



Building, Zoning and Licensing Services  
33 Wakefield Street  
Rochester, NH 03867  
(603) 332-3508 Fax (603) 330-0023

### APPLICATION FOR EQUITABLE WAIVER

TO: ZONING BOARD OF ADJUSTMENT  
CITY OF ROCHESTER

DO NOT WRITE IN THIS SPACE

CASE NO. Z-20-11

DATE FILED 5/20/20

Dee Mondou  
ZONING BOARD CLERK

Phone No 603-424-6904

Name of applicant Chris Strickler

Address 746 Daniel Webster Hwy. Unit B, Merrimack NH 03054

Owner of property concerned Highfield Commons Development LLC  
(If the same as applicant, write "same")

Address Same  
(If the same as applicant, write "same")

Location of property 24 Eisenhower Dr

Map No. 237A Lot No. 3-8 Zone PUD

Description of property Frontage 74', side 125', rear 74'  
(give length of frontage, side & rear)

Proposed use or existing use affected Single family house lot

The undersigned hereby requests an equitable waiver to the terms of RSA 674:33-a \_\_\_\_\_,  
Section 1 and asked that said terms be waived to permit \_\_\_\_\_

Construction of a single family home, part of which is inside 15' set back  
The undersigned alleges that the violation occurred by virtue of a good-faith error in calculation or measurement and thus constitutes grounds for an equitable waiver.

Signed Chris

E-Mail chris@cdenr.com

Considerations Governing Granting of a Dimensional Equitable Waiver (RSA 674:33-a):

1. The violation was not noticed or discovered by any owner, former owner, owner's agent or representative, or municipal official, until after a structure in violation had been substantially completed, or until after a lot or other division of land in violation had been subdivided by conveyance to a bona fide purchaser for value.

Yes

2. The violation was not an outcome of ignorance of the law or ordinance, failure to inquire, obfuscation, misrepresentation, or bad faith on the part of any owner, owner's agent or representative, but was instead caused by either a good faith error in measurement or calculation made by an owner or owner's agent, or by an error in ordinance interpretation or applicability made by a municipal official in the process of issuing a permit over which that official had authority.

Error in ordinance interpretation

3. That the physical or dimensional violation does not constitute a public or private nuisance, nor diminish the value of other properties in the area, nor adversely affect any present or permissible future uses of any such property.

No

4. That due to the degree of past construction or investment made in ignorance of the facts constituting the violation, the cost of correction so far outweighs any public benefit to be gained, that it would be inequitable to require the violation to be corrected.

Yes

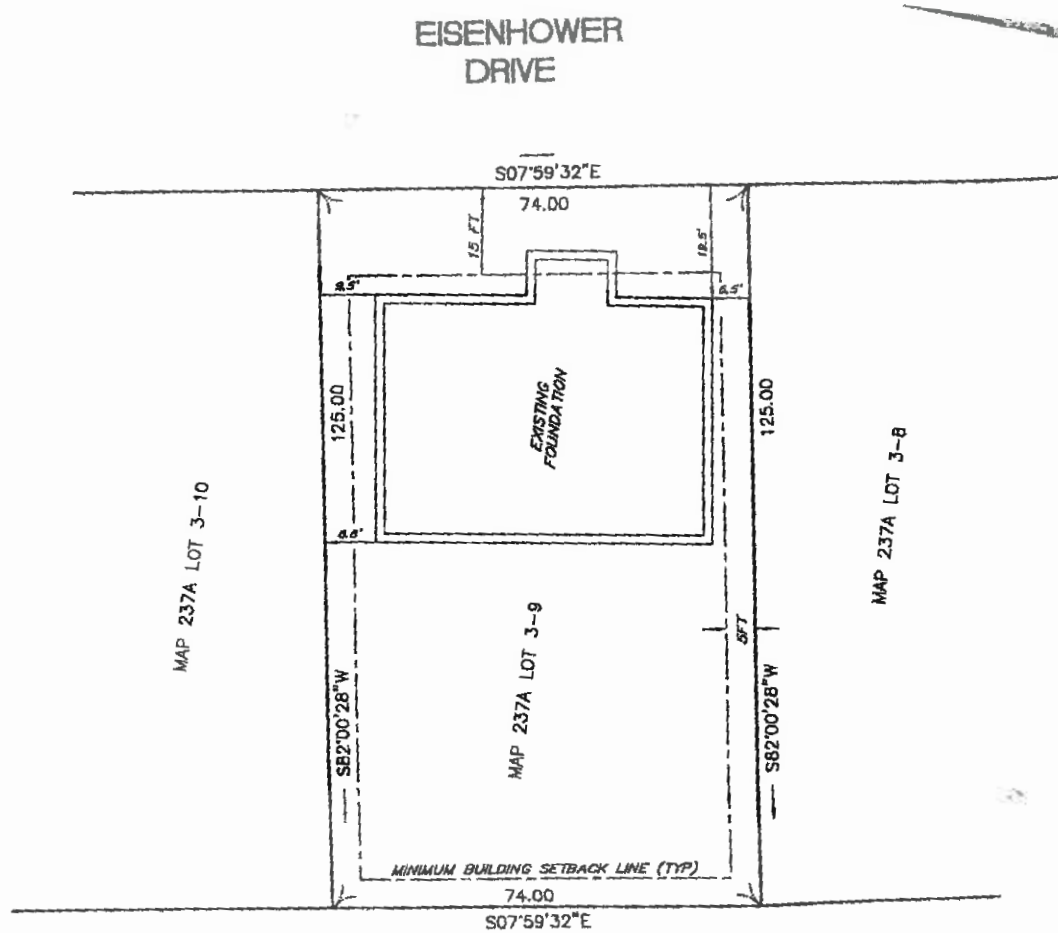
5. If all 4 of the above are not proven by the property owner, an equitable waiver may still be granted if the property owner can prove to the satisfaction of the Board that the violation has existed for 10 years or more, and that no enforcement action, including written notice of violation, has commenced against the violation during that time by the municipality or any person directly affected.

Property is not 10 years old

# CERTIFIED FOUNDATION AS-BUILT PLAN

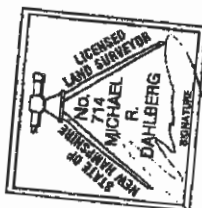
MAP 237A LOT 3-9  
24 EISENHOWER DRIVE  
ROCHESTER, N.H.

SCALE: 1"= 20' 4-05-2019



I CERTIFY THAT THE FOUNDATION SHOWN COMPLIES  
WITH THE CITY OF ROCHESTER BUILDING SETBACK  
REQUIREMENTS EXCEPT AS SHOWN HEREON.

*Michael R. Dahlberg*  
MICHAEL R. DAHLBERG  
LICENSED LAND SURVEYOR  
4-5-19  
DATE



**KNA**  
**KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

PROJECT NO. 1704173

# Highfield Homes LLC

746 Daniel Webster Hwy – Unit B

Merrimack NH 03054

Hi Jim and Seth,

Recently the set back at 24 Eisenhower was questioned by a surveyor preparing a plan for the buyer's mortgage company. As you know, this project has had a long history and we appreciate all the City has done to work with us to get it done. We feel that this specific issues has been addressed by the City in the past, and we would like to review with you why we think this.

I realize things are taking a bit longer with the pandemic, but I am hoping that you can review this email and the attachments as soon as possible. I felt the best way to approach this was to go through the relevant documents and provided narrative for each:

1) NOD - 09/22/10

Under general design #4, "no specific setbacks required as part of this PUD. However, under each phase as part of site and subdivision review appropriate setbacks shall be proposed and established, subject to all appropriate building and fire requirements. "

2) Regulating Plan - 10/14/10

We submit a regulating plan that proposes 15' front setback for foundations, porches were allowed in the set back.

3) Summer 2011

We asked Michael Behrendt, Chief of Planning, to advise us on foundation placement for the Annabel model. We were to begin construction at 119 Fillmore in the early summer. This was the fourth house in the subdivision and is a ranch style that has a bump out in the front façade. This feature is also on the Elisabeth models. Michael wanted us to line up the porches on the front of each of these houses, to create a uniform street scape and be more aesthetically pleasing.

4) NOD – 09/04/11

This decision allowed us to pull houses forward to a min of 7' for any house that has a front porch which extends for at least 50% of the façade. This decision addressed the front bump outs on the Annabel and Elisabeth models. Although the wording is a bit ambiguous as to what the façade actually consists of, it clearly did not include the garages, as if it had, none of the houses would meet the requirement. It is also noted in the 2010 NOD under Architectural Design #4 Garages, "where garages are visible from the road they shall be handled as a subordinate mass, clearly reading as secondary to the primary mass of the house."

5) 09/19/11 – 119 Fillmore As Built

119 Fillmore foundation plans were submitted, as built provided and building plans approved. This house was set back 7'7".

6) 09/28/12 – 20 Pierce As Built

An Abigail model was built at 20 Pierce Drive in the fall of 2012. Plot plans, driveway and foundation applications were applied for and granted, and building plans were submitted and approved. This house was set back 12'6".

7) 06/13/17 – 22 Pierce As Built.

An Abigail model was built at 22 Pierce Drive in the summer of 2017. Plot plans, driveway and foundation applications were applied for and granted. Building plans submitted and approved. This house was set back 8'1".

8) 03/11/19 – 24 Eisenhower Drive

Foundation permit for 24 Eisenhower with As Built, plot plan and building permit application.

The above information, when taken as a whole, demonstrates that moving the foundations forward on Annabel and Elisabeth models is in compliance with the spirit of the 2011 NOD and is actually in keeping with the intent set forth by Michael Behrendt - to create an intentional uniform street scape in the subdivision. The building of 24 Eisenhower as done, accomplishes this goal.

I am more than happy to discuss any of this with you and answer any questions you may have at your earliest convenience. I am available for you all day and can arrange to talk on the phone or have a conference call, if that would be best. I am also aware that if this cannot be resolved we will have to submit an application to appear at the next planning board meeting by the end of the day tomorrow. In light of this, I will reach out to each of you in a bit to see if we can resolve this matter.

Thank you very much for your time and I look forward to speaking with each of you.

Chris



Christian Strickler

Highfield Homes LLC

746 Daniel Webster Hwy – Unit B

Merrimack NH 03054

(603) 424-6904



**PLANNING & DEVELOPMENT DEPARTMENT**

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Planning & Zoning  
Community Development  
Conservation Commission  
Historic District Commission

**NOTICE OF DECISION**

**Planned Unit Development**

Amended June 21, 2010

from earlier October 19, 2009 modifications

Amended September 20, 2010

September 22, 2010

Mr. Chris Strickler  
183 Washington Street, LLC  
501 Daniel Webster Highway, Suite F  
Merrimack, NH 03054

**RE: Amended Notice of Decision of for Highfield Commons Planned Unit Development  
- PUD. Case #237-3, 6, 8 and 246-5-A-02**

Dear Chris:

**RE: Highfield Commons Planned Unit Development, Hussey Hill Road.**

I am pleased to inform you that the Planned Unit Development referenced above was AMENDED by the Rochester Planning Board at its June 21, 2010 meeting with the conditions shown below. This is an amendment from the original January 27, 2003 approval and October 19, 2010 modification. This approval herein supersedes those earlier approvals, which are now null and void.

**HIGHFIELD COMMONS PUD**

**Documents**

The following documents shall constitute/guide review of the Highfield Commons Planned Unit Development Master Plan for the purposes of zoning and development regulatory requirements:

- 1) All of the documentation submitted by the applicant which is contained in files located in the Planning and Development Department office, with the more recent documentation superseding conflicting earlier documentation unless otherwise noted.
- 2) The most recent Highfield Commons Revised Master Plan map. This includes the "Concept Plan" and "Phasing Plan" both marked "Official PUD Plan - 12/16/02" and

the Phase I drawings received on May 27, 2010. In case of conflict, the Phasing Plan supersedes the Concept Plan and the May 27, 2010 drawings supersede the others.

- 3) The City of Rochester Planned Unit Development Ordinance
- 4) The City of Rochester Site Plan Regulations and Subdivision Regulations pursuant to guidelines established in the PUD Ordinance
- 5) Additions, modifications, amendments, and clarifications described herein which shall supersede any described in 1) and 2), above.
- 6) Any other appropriate laws, statutes, ordinances, regulations, policies, procedures, standards, or principles as reasonably determined by the City of Rochester Planning Board consistent with the legitimate intent of this approval.

#### **General Guidelines**

- 1) The Planning Board may impose any appropriate requirements in the course of site plan and subdivision review to ensure that elements of the master plan which are important, which enhance the quality of the project, and which serve a public purpose are completed in a timely manner. This may involve requiring elements to be completed prior to issuance of building permits or certificates of occupancy, or subsequent phase approvals, or stipulating appropriate bonds. Such elements may include, for example, landscaping, trails, sidewalks, pavilions, recreational features, valuable nonresidential uses, those residential uses which provide diversity to the plan such as the townhouses. Provision of these facilities and features shall generally follow the phasing plan unless it is reasonably determined that another schedule or approach is in order.
- 2) It is the intention of the Master Plan map to be a diagram with a moderate degree of specificity. Adjustments may be made in dimensions and layouts of roads, utilities, drainage systems, buildings, structures, etc. in the course of site plan and subdivision review provided the intent of the PUD is clearly met as reasonably determined by the Planning Board
- 3) Consistency with PUD. The Planning Board may use its reasonable judgment in the course of reviewing site and subdivision plans in determining which types of adjustments in the approved master plan are consistent with the approved PUD and may simply be reviewed in accordance with the PUD and which would constitute significant changes such that an amended PUD application would be required. For example, minor adjustments in architectural standards, such as the width of clapboards should not require an amended PUD application.
- 4) While all of the items included in documentation submitted by the applicant are part of this approved PUD, statements which clearly do not impact the quality or effectiveness of the PUD, or in which the Planning Board does not take any interest are not considered to be requirements by the City, as reasonably determined by the staff or Planning Board, as appropriate.
- 5) **In the event active and substantial development or building has not begun on the site by the owner or the owner's successor-in-interest in accordance with**



**the approved master plan by August 6, 2011, then the master plan shall be deemed to have expired and the underlying zoning shall then control development of the land.** Landowners may apply to the Planning Board for extensions of this time period for good cause shown.

- 6) Commencement of active and substantial development for this PUD (same as for construction phase A1) is defined as the extension and placement of water and sewer pipes, sufficient to reach construction phase A1.
- 7) Every reference to Phase I through Phase 6 herein pertains to the phases as depicted PUD master plan drawing, not to the actual phases of development (e.g. Phase I subdivision or Phase II site plan), nor to construction phases.

#### **Process**

- 1) Specific detailed plans will need to be submitted and reviewed under the customary site plan and subdivision process for conformance with this approved PUD and other applicable law. The Planning Board may, of course, impose appropriate requirements and limitations consistent with this PUD and applicable law during that process.
- 2) Prior to approval of any subsequent phases the board may stipulate review of proposed condominium or association documents by the city attorney at the applicant's expense.
- 3) Prior to approval of any phases the developer must submit proof that he owns/controls the entire PUD tract.
- 4) Engineering Phases 2 and 3. In order to provide confidence about the buildability of Phases 2 and 3 prior to construction of all of the apartment buildings, the developer shall submit to the Planning Board fully engineered drawings – including appropriate test borings - for the entirety of Phases 2 and 3 prior to issuance of any building permits for the apartment buildings in Phase IA. These drawings do not have to be approved but simply demonstrate the construction of Phases 2 and 3 is reasonably workable.
- 5) It is understood that this approved Master Plan specifies what is allowed on this tract of land. If for some reason in the future, a) most or all of the apartment buildings were to be built but relatively little else of the Master Plan and b) the property owner applied to amend the remainder of the PUD in order to construct single family houses or other uses in a conventional manner, not consistent with the intent of this PUD, there is no assurance that a conventional development would be approved at that point. If such an application were submitted, for the purpose of determining allowable density, each constructed apartment unit could – at the discretion of the Planning Board – count at a minimum, as one single-family dwelling. *The developer – and any subsequent prospective purchaser of the tract/project - proceeds with this caveat.*
- 6) Updated drawing. For clarity, prior to Planning Board approval of any site or subdivision plan the developer shall submit a revised/updated final PUD Master Plan incorporating all appropriate elements described herein. The developer should coordinate with the Planning staff in determining which elements are best included in the updated plan. Some – but not all - of the elements, which should be included, are



identification of service lanes, and correcting phases, updating uses.

- 7) Building permits and architecture. The Code Enforcement Office will not be involved in reviewing building permits for compliance with the PUD community development or architectural standards. It shall be the responsibility of the HAC (Highfields Architecture Committee) to ensure the intent of these standards is met. The developer/HAC shall work with the Code Enforcement Officer to develop a system for ensuring the HAC has conducted its review prior to issuance of Rochester building permits, such as requiring a letter of approval from the HAC prior to issuance of building permits. In cases where uncertainty arises whether these standards are met, the Planning and Development Department shall be responsible for making these determinations and ensuring appropriate implementation (subject to appropriate support from the Code Enforcement Office).

### **Density**

- 1) Maximum units. The maximum number of residential dwelling units is 370 (except for provision for Granny Flats). Under no circumstances could the total exceed this amount. Developing this number is not guaranteed and is subject to addressing various appropriate standard site constraints. (Phase I is approved with 135 buildable residential lots, including the following: 87 single family lots; 47 townhouse Phase II is approved with 97 multifamily units. The density for the original Phase II was reduced from 126 to 97 units based upon an amendment (June 21, 2010) to increase the density of Phase I. The applicant may apply for an amendment to change the housing type(s) in Phase II subject to the appropriate review and judgment of the Planning Board. As of June 21, 2010 Phase III has been accepted as complete but not approved. Again, the total number of dwelling units for all three phases may not exceed 370.
- 2) Conveyances. Any land conveyed to abutting property owners outside of the PUD may not be subdivided (excluding any simple lot line adjustments consistent with the intent of this Master Plan) nor developed except for any uses that are customarily accessory to single family use and underground utilities. Deeds shall include covenants against this development in favor of the developer/homeowner's association. The reason for this requirement is to establish a firm maximum amount of development over this current 200+ acre tract. A covenant shall also be established on the parcel along Axe Handle Brook providing for public access within 50 feet of the near high water mark of the brook.
- 3) All apartments shown in phases 1 and 1A shall be 1 or 2 bedroom.

### **Uses**

- 1) Granny flats. "Granny flats" may be incorporated into a limited number of detached single family lots. They shall be small additional housing for one individual in each unit (though the units are not limited to one individual). The number may not exceed 20% of the total number of dwelling units approved in any one phase. All granny flats must be one bedroom or studio apartments. They must be under 500 square feet and may not exceed three rooms (i.e. bedroom, kitchen, living room, not counting the bathroom). They may not include a study, as it is desirable to avoid creation of a possible second bedroom.

- 2) Live/work units. The townhouses around and fronting the central square in Phase 5 are designated as "live/work units". Persons who live in a specific unit may/are encouraged to operate a small scale, "cottage type business" on the first floor facing the square. The purpose of live/work units is to accommodate low impact pedestrian oriented nonresidential uses in a central location. Live/work allows any customary home occupation as specified in the City of Rochester Zoning Ordinance, an artists studio, antique shop, boutique, crafts store, and personal services establishment. There may be no outdoor display of goods or materials. No automobile oriented products nor products with an internal combustion engine may be sold or serviced. Use of typical downtown pedestrian retail frontage design is encouraged. It is the intent that over time this area might develop a more commercial but still low impact, pedestrian oriented character. An amendment to the PUD master plan would be needed to expand the retail or eliminate the live requirement.
- 3) Tot lot. The developer shall build an acceptable tot lot with playground equipment as part of the Phase 2 multifamily site plan. This shall be completed prior to issuance of any certificate of occupancies for the apartments in Phase 2.
- 4) Full range of uses. The applicant will work diligently to create nonresidential uses and full range of residential uses as specified and will market the spaces aggressively. It is understood that certain uses may not be marketable as quickly as other uses but nonetheless these uses are considered integral components of this PUD.
- 5) Residential adjustments. In the course of subdivision and site plan reviews the developer and Planning Board may mutually agree to minor modifications/clarifications in exact type of dwelling units whether single family detached, side by side duplex, or townhouse fronting on squares and greens for the purpose of enhancing development quality provided: a) the intent of the Master Plan is clearly met; b) a reasonable balance of housing types is maintained; c) the number of dwelling units does not exceed 370; d) the number of units in the specific phase is not increased; and e) this provision does not allow for change in Phase 6 nor around the central square in Phase 5.
- 6) Age restricted units. Phase 6 [from original PUD master plan] will be age restricted (55 years of age or older subject to applicable law). The Phase III subdivision must include at least 22 55+ units.
- 7) Meeting house. Phase 6 (as shown on master plan drawing) should be designated for a "meeting house" in the green (rather than a church; however, this would also allow for a church). Construction of this meeting house is encouraged but is at the option of the developer. It must be built prior to City acceptance of the streets in Phase 6. The design will follow traditional meeting house/church design and should incorporate a cupola or tower, for example. It is understood that much of the parking to accommodate this use will be on street around the green. Some off street parking may be established near the church but must be designed and screened very carefully in order not to compromise the aesthetic character of the meeting house and green. The developer is encouraged to tell prospective buyers of lots around the green about the meetinghouse and plan for parking. The meetinghouse may also function as a community center to accommodate community events and might be leased to outside parties for use.

- 8) Nonresidential uses, generally. If in the future, any building for a particular nonresidential use shown on the Master Plan is established and then subsequently that use is found not to be supportable in the market, such that the building would be vacant, the Planning Board may authorize another use for that building provided that: a) the proposed new use is no more intensive than the original specified use in all pertinent regards; b) the proposed new use is consistent with the intent of this Master Plan; and c) a public hearing is held on the proposed use. If these conditions are not met, submission of an amended Master Plan will be required. It is intended that if market conditions change, there be some reasonable flexibility in this process in order that a nonresidential building not be left vacant indefinitely.

#### **General Design**

- 1) The approved Master Plan is as shown. Therefore, there are no specific minimum lot sizes or frontages, but rather platting must be consistent with the clear intent of the Master Plan. For example, use of flag lots would not be permitted because this concept is clearly not depicted on the drawings.
- 2) During the site plan process the Planning Board shall determine exactly where sidewalks and closed drainage is necessary.
- 3) All single family detached lots must be at least 5,000 square feet in area.
- 4) There are no specific setbacks required as part of this PUD. However, under each phase as part of site and subdivision review appropriate setbacks shall be proposed and established, subject to all appropriate building and fire requirements.

#### **Landscaping**

- 1) Landscaping. A generous landscaping program shall be submitted as part of each site plan phase. The entryway from US 202 shall include a landscaped median with trees in the median. A generous program of street trees (deciduous shade trees such as maple, oak, linden, ash, or smaller deciduous trees, if necessary) shall be included with each site plan and subdivision plan.
- 2) Invasive species. No invasive plant species – such as Norway Maples, burning bush, or barberry – may be used for landscaping. Should any invasive species develop within newly established wetlands or drainage structures these will be managed according to best management practices for invasive species.

#### **Traffic/Circulation**

- 1) Corridor study. In the course of the site plan review for Phase 1 the Planning Board and developer shall negotiate a reasonable percentage of the cost of the US 202 Corridor Study for the developer to contribute, based on an appropriate formula. It is understood that the Planning Board may also assess reasonable and appropriate costs for Phase 1 and/or future phases of the PUD for off site improvements in accordance with applicable law and common practice.
- 2) Entry point. A traffic analysis for the entrance to the project at US 202 conducted by Laurie Rauseo, P.E. that is included as part of this Master Plan dated September 24, 2002 recommends turn lanes for all approaches, signal conduit to be installed, and to

monitor for potential future signal installation. The sketch layout shows two lanes out, one lane in, a right turn lane in, and a left turn lane in. The exact design of the intersection will be determined in the course of the site and subdivision reviews.

- 3) Secondary connection. A secondary or emergency connection shall be maintained with Hussey Hill Road as stipulated by the Planning Board in consultation with the Fire Department. Even if the Hussey Hill Road is only for emergency access the secondary connection to it will need to be maintained and plowed as may be stipulated by the Fire Department to accommodate such emergency access. It may be necessary to place a gate here, including a knox box.
- 4) City streets. It is the intent that all streets in the development be dedicated to the City as City streets with the following exceptions/refinements:
  - a) The entire area encompassing the apartments will be privately owned and maintained, including the road around the square, parking areas, and driveways.
  - b) The network of service lanes in Phase 5 will be dedicated to the City as City streets. All other service lanes, including the service lane in Phase 4 shall be privately owned and maintained.
- 5) Entry boulevard. It is the intent for the entry boulevard to have one lane in each direction measuring 18 feet in width, with a landscaped central median.
- 6) Future road connection. There is a 50-foot opening from Phase 3 toward an adjoining parcel of land reserved for potential future road connection. During subdivision of Phase 3 it should be confirmed that this is the optimal location for the opening to allow for the connection to that adjoining parcel if it is ever developed. Also, the design of the loop road in that area should be such to accommodate this potential connection.
- 7) DOT curb cut. A precedent condition for the site plan approval of Phase 1 will be confirmation that NHDOT will issue a curb cut for the main road onto US 202.
- 8) One way streets. The street network will include a number of one way streets as shown in the Traffic Circulation Plan "from 11/26/02 mtg." The Planning Board and Developer may coordinate in making appropriate adjustments in this pattern in the subdivision/site plan stage. The intent of the one-way streets is to reduce pavement width in order to create a more attractive streetscape. The patterns were designed as shown based on consideration of conventional counter clockwise rotary patterns and preferred clockwise plowing directions to direct snow into open areas on the right side of the road. The service lane in Phase 5 (as depicted in the PUD master plan drawing) is shown as counter clockwise because there is more room to plow snow toward the single family lots.
- 9) Cross sections. The street cross sections illustrated by Robert Rook, PE dated 11/11/02 shall serve as the guide for street design, subject to final determinations by the Public Works Department and Planning Board of workability, and any terms herein which shall supersede the cross sections. It is the intent that all streets without on street parking be 24 (12-12) feet in width, that streets with parking on one side be 30

(11-11-8) feet in width, except as may be specifically approved in any site plan or subdivision phase. It is understood that the standard curb type for City streets is vertical granite curbing.

- 10) Curbing. It is the intent that "single loaded streets" (development on one side) have curbing and a sidewalk on one side, the developed side, unless topographic conditions direct otherwise. Less intensive areas with a rural collector type character may be designed with an open ditch/swale and culvert design, if appropriate and workable. In more intensive areas use of curbing on one side will generally be appropriate. Where necessary, curbing on both sides may be stipulated. Curbing is appropriate around the border of formal squares including the main square in Phase 5 and likely the square in Phase 1 next to the single family, the largest square in Phase 4, the secondary square in Phase 5, and the square in Phase 6.
- 11) Grade. All city streets shall have a maximum grade of 7% unless otherwise approved by Public Works and the Planning Board.
- 12) Service lanes. All townhouses will be served by service lanes as shown.
- 13) City service lane. The service lane to be conveyed to the City must be designed in a manner that is fully functional for appropriate service lane circulation and for City plowing. This may or may not involve curbing, though it is preferable that curbing not be used (in spite of cross section provided by Robert Rook), consistent with simplifying service lane design as much as practical. The expected design would be a one way pattern with 18 feet of pavement with a 30 foot right of way.
- 14) Hussey Hill Road. There should be no street connection from this development to Hussey Hill Road (notwithstanding the private right of way of Gary Hussey) and all residents of and visitors to Highfields PUD should only use the new road to be constructed to access US 202. At the appropriate phase the developer must present a plan for addressing this in accordance with all applicable law and the due property rights of all neighboring property owners.

#### Parking

- 1) Parking for nonresidential uses shall be reviewed by the Planning Board to ensure that the location, amount, and design is sufficient and consistent with the intent of this Master Plan.
- 2) At each phase the applicant may propose any number of parking spaces independent of the zoning requirements, consistent with the intent of the PUD Master Plan. The Planning Board may use its reasonable discretion in determining the appropriate number of spaces. For example, the Zoning Ordinance stipulates 2 parking spaces per dwelling unit. However, if the applicant reasonably demonstrates that 1-1/2 spaces should be sufficient for the apartments, the board may approve that number. *The Parking section contained in the Site Plan Regulations provide good guidance for reviewing parking.*
- 3) All parking for townhouse units shall be at the rear.

- 4) Parking will be very carefully handled in order to make it as unobtrusive as possible. All garages for townhouses shall be at the rear (or at the side on end units if determined not otherwise practical). All parking for apartments shall be at the rear, except that parking may be placed on the side if determined not otherwise practical and if fully screened from the street/main driveway. Every reasonable effort shall be made to avoid any parking lots fronting on any of the greenspaces/squares.

#### **Sidewalks/paths**

- 1) There shall be an asphalt sidewalk measuring at least 5 feet wide along the collector type roads with a lawn strip at least 5 feet wide. It may meander alongside the road with an undulating lawn strip.
- 2) All sidewalks shall include a planting strip at least 5 feet wide.
- 3) There should be a sidewalk on most streets, located on one side only. There will be no sidewalks in any service lanes.
- 4) Trails. Trail/footpath plans will be finalized as part of the site and subdivision plan approvals to determine exact locations, widths, design, materials, and amount of clearance. Appropriate treatment is needed to ensure trails next to single family lots do not get privatized, such as construction of a section of asphalt path next to the road.

#### **Utilities**

- 1) The PUD will be serviced by City water (except as noted immediately below) and sewer. Water lines must be placed in the street rather than in service lanes, unless otherwise approved by the Fire and Public Works Departments. Subject to Public Works approval sewer lines may be placed in service lanes. Highfields was amended on September 20, 2010 to allow for a mix of City water and individual private wells in accordance with the Water Infrastructure Reimbursement and Use Agreement.
- 2) All utility lines shall be underground.
- 3) Use of attractive wet ponds rather than dry detention basins is encouraged to the extent practical.
- 4) Accessory utilities to serve the PUD shall be installed as reasonably stipulated by the Planning Board in consultation with Public Works.
- 5) It is the intention to place as many utilities in the alleys as practical, including sewer, all electrical lines, and garbage pickup (though not water lines).

#### **Environmental Aspects**

- 1) Best management practices will be employed throughout, particularly with regard to stormwater management.
- 2) A conservation easement shall be established on the couple of lots neighboring Axe Handle Brook prohibiting removal of healthy vegetation or construction in a 50 foot buffer at the rear of the lots near the brook.



- 3) Existing stonewalls will be preserved to the extent practical.

### **Open Space**

- 1) Areas shown as open space on the master plan map remain in perpetuity as open space. There can be reasonable, incremental adjustments of developed areas around/within these open space areas as long as the size and integrity of each open space area is maintained.
- 2) All open space, greens, and squares will be owned and maintained privately. The landscaped median in the entry boulevard will be maintained privately, whether it is owned by the City or privately; if it can be retained privately as well it shall be.
- 3) In designated open space areas there may be no asphalt (other than paths and trails as approved). There can be open-air gazebos and pavilions not to exceed 1000 square feet in area each. No motorized vehicles including ATV's are allowed on paths or sidewalks, or in open space areas.
- 4) Plaza. The central square in Phase 5 is intended to be a formal, central square. As such, it is desirable that it have some of the character of a "plaza", i.e. to incorporate some hard scape to accommodate public gatherings (not for parking).
- 5) Maintenance plans will be submitted as part of subdivision/site plans to ensure that all squares and greens are appropriately maintained. It is expected that there will be a range of styles: some spaces will be formal, others informal, and the main field to be mowed only once or twice each year.
- 6) One or more focal points will be designed and built in most of the squares and greens, such as a gazebo, pavilion, statue, or fountain. In smaller areas this may be as simple as a bench.

### **Architectural Design**

- 1) The Master Plan includes Community Development Standards and Architectural Standards submitted by the developer. While these are part of the Master Plan and must be implemented, waivers may be granted by the HAC. Wide latitude is given to the HAC in reviewing applications and in granting waivers as its members see fit completely independently of City oversight. It is emphasized that the City does not wish to participate in the implementation of these standards on a day-by-day basis, but rather prefers to defer implementation to the HAC. However, where there is evidence of a widespread failure to implement the standards in a reasonable manner consistent with the intent of this Master Plan the City reserves its right to intervene, as it deems appropriate to ensure reasonable implementation.
- 2) Models for architecture. The intention is for the architecture in Highfields Commons to be similar in character to the architecture at Chapman's Reach at Marina Bay in Quincy, Ma. and for the single family homes to be similar in character to the houses illustrated in the documents a) *Carolina Inspirations* published by Allison Ramsey Architects and b) *Authentic Historical Designs* (Jackson, MS) but on a more modest scale. While this is not binding it is stated here to elucidate the objective. It is

emphasized that any use or reference to these designs in the actual project must conform with all appropriate copyright protections.

- 3) Architectural regulations. The City of Rochester Architectural Regulations shall apply in the customary manner (i.e. to all buildings except single family detached). While some schematic architectural designs have been submitted, the applicant may work out any reasonable arrangement to provide for efficient and effective review of designs in accordance with those regulations and the intent of the PUD ordinance.
- 4) Garages. There shall be no double size garage doors facing the road. Where garages are visible from the road they shall be handled as a subordinate mass, clearly reading as secondary to the primary mass of the house. Devices shall be employed to mitigate their impact such as using pitched roofs, dormers, special architectural treatment, turning the garages 90 degrees from the road, incorporating transom windows, painted garage doors, beveled or curved corners of the doors, etc.
- 5) The applicant shall work with the City to modify the submitted architectural designs consistent with the Architectural Regulations. For example, shutters shall not be used on double windows or on any windows for which they are not properly sized. The designs shall utilize the traditional vocabulary of architectural tools in order to create attractive, gracious designs, such as pitched roofs, columns, dormers, transom windows, sidelights, porticos, entablatures, various volumes, etc.
- 6) Architectural styles. It is the intent that the inspiration for single family and townhouse units will generally be the Italianate, Greek Revival, Neoclassical, Victorian, Craftsman, and Folk architectural styles. Use of low-slung ranch style structures is not appropriate.
- 7) The developer shall work out a palette of designs in order to avoid monotonous repetition of design. The objective within each phase, is to achieve "variety within unity" to the extent practical.
- 8) Townhouses. Townhouses define the street better when the primary facades are situated in a straight line rather than with recesses and projections. Interest is created more effectively with architectural detail, pitched roofs, bays, and other minor recesses and projections.
- 9) Siding. Use of natural siding materials such as wood clapboard, wood shingles, brick, stucco, or stone or cementitious clapboard such as hardy plank is strongly encouraged but not required.
- 10) Entry way. The entryway of all buildings, shall be made prominent in some manner, such as through use of porches, stoops, sidelights/transom windows, and/or a door surround. All primary entryways should be placed on the front facade of the building. Use of full front porches is strongly encouraged.
- 11) Foundation. All residential units must be on a raised foundation; none may be built on a slab. However, the senior housing units in phase 6 may be built on a slab.

#### **Miscellaneous**

- 1) Expansion of PUD. It is understood that the developer has the right to apply to amend the PUD by adding adjoining land through the PUD amendment process outlined in the PUD ordinance. The Planning Board would evaluate any such proposal in accordance with the ordinance.
- 2) Blasting. Any necessary blasting will be carried out in compliance with Fire Department requirements, including a pre-blast survey if requested by the Fire Department.
- 3) Abutters. The applicant shall make reasonable efforts to mitigate the impacts of the development on Ms. Jean Shaw and other abutters during subsequent phases, to include, for example, installation of planting or earthen materials to buffer/screen residences from traffic.
- 4) Public access. The general public shall have general access to the site, including streets, sidewalks, paths, open space, and outdoor recreational facilities, notwithstanding any reasonable limitations that may be necessitated. The general public will be expected to follow the rules of the HOA when on common property within the PUD. No gate may be erected to the overall site barring entry to the public except as may be stipulated by the City such as a crash gate at the Hussey Hill Road entrance. If such a gate is stipulated the developer shall install one.
- 5) Off premises sign. One permanent off premises advertising sign (with exterior illumination only, if illuminated) may be placed on private property in the vicinity of US 202, with the design and dimensions to be approved by the Planning Board consistent with the intent of this provision. The sign may advertise any or all of the nonresidential uses within the PUD.
- 6) Construction vehicles. It is the intent that all construction vehicles for this project use the new road for access and not Hussey Hill Road.
- 7) Hussey property. The PUD may or may not include the property now or formerly owned by Gary Hussey, lot 237-3-1, consisting of 13.89 acres. This will be clarified as part of the overall Phase III subdivision

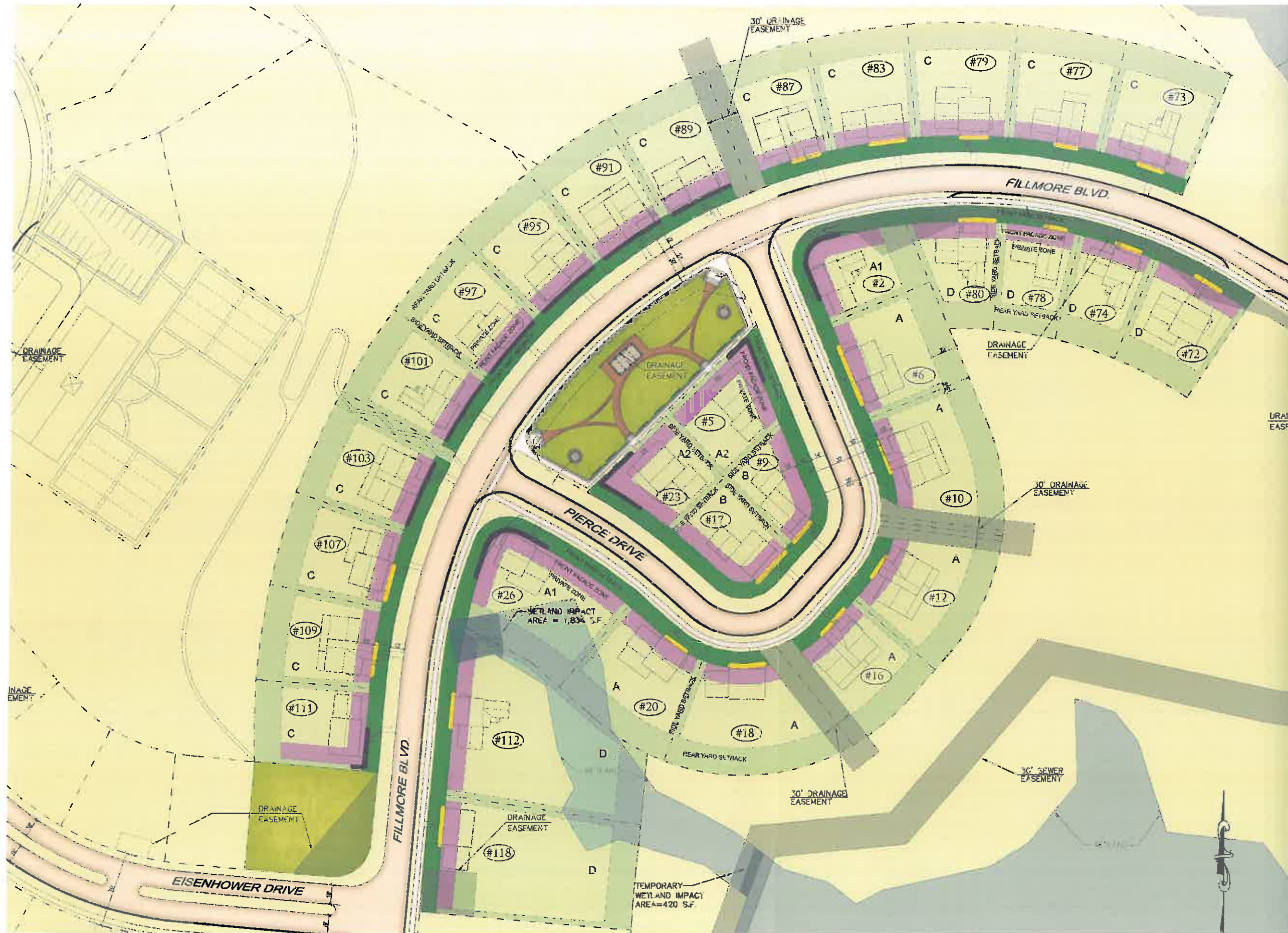
Chris, I wish you the best of luck with your project and if you have any questions, please feel free to contact me. It has been a pleasure working with you so far.

Sincerely,

Michael Behrendt, AICP  
Chief of Planning

CC: Robert Rook, 12 Sunset Avenue, Concord, NH 03301  
Attorney Uchida (via email) ruchida@orr-reno.com  
File





LEGEND	
<span style="display:inline-block; width:20px; height:10px; background-color:yellow; border:1px solid black;"></span>	PRIVATE ZONE
<span style="display:inline-block; width:20px; height:10px; background-color:purple; border:1px solid black;"></span>	FRONT FACADE ZONE (15')
<span style="display:inline-block; width:20px; height:10px; background-color:green; border:1px solid black;"></span>	FRONT YARD SETBACK (15')
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue; border:1px solid black;"></span>	EASEMENT
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	WETLAND
<span style="display:inline-block; width:20px; height:10px; background-color:yellow; border:1px solid black;"></span>	PARK
<span style="display:inline-block; width:20px; height:10px; background-color:yellow; border:1px solid black;"></span>	STOOP, PORTICO, OR FULL PORCH
<span style="display:inline-block; width:20px; height:10px; background-color:yellow; border:1px solid black;"></span>	MANDATORY PORCH LOCATION

#### PHASE IA SINGLE FAMILY LOTS

**BUILDING FORM:**  
A AND D LOTS TO BE ONE AND A HALF STORY COTTAGES OR TWO-STORY HOUSES WITH ATTACHED GARAGES ON THE FRONT FACADE. SET BACK A MINIMUM OF 3'-6" FROM THE PRIMARY FACADE.

A1 LOTS TO BE ONE AND A HALF STORY COTTAGES OR TWO-STORY HOUSES WITH ATTACHED GARAGES ON THE SECONDARY FACADE.

A2 LOTS TO BE ONE AND A HALF STORY COTTAGES OR TWO-STORY HOUSES WITH ATTACHED GARAGES ON THE SECONDARY FACADE.

B LOTS TO BE ONE AND A HALF STORY COTTAGES OR TWO-STORY HOUSES WITH GARAGES ON THE SECONDARY FACADE.

C LOTS TO BE ONE AND A HALF STORY COTTAGES OR TWO-STORY HOUSES WITH ATTACHED GARAGES SET SEVERAL FEET BELOW FIRST FLOOR LEVEL TO TAKE ADVANTAGE OF THE SLOPING SITE.

**BUILDING PLACEMENT:**  
- 15' FRONT YARD SETBACK: EXTENDS 15' FROM FRONT YARD SETBACK LINE.

- FRONT YARD SETBACK TO WRAP AROUND CORNER WHERE INDICATED. IN LOCATIONS WHERE THERE ARE FRONT YARD SETBACKS ON TWO SIDES, THE PRIMARY FACADE IS DEFINED AS THE FACADE WITH THE FRONT ENTRANCE. THE GARAGES ON THESE LOTS WILL BE LOCATED ON THE ALTERNATE SECONDARY FACADE.  
- PORCHES TO EXTEND 8' MAXIMUM INTO FRONT YARD SETBACK ZONE.

- 15' FRONT FACADE ZONE: EXTENDS 15' FROM BACK EDGE OF FRONT YARD SETBACK.  
- FACE OF BUILDING TO BE LOCATED WITHIN THE FRONT FACADE ZONE.

- 5' SIDE YARD SETBACKS: STRUCTURES TO BE SET BACK 5' MINIMUM FROM SIDE PROPERTY LINE, UNLESS OTHERWISE NOTED AT LOTS ADJACENT TO EASEMENTS.

#### PORCH PLACEMENT

A1 LOTS ARE CORNER LOTS WITH FRONT YARD SETBACKS ON TWO SIDES. THESE LOTS ARE TO HAVE WRAP-AROUND PORCHES AS INDICATED ON THE REGULATING PLAN.

A2 LOTS ARE FRONTED AS CORNER LOTS WITH THE PRIMARY FACADE FACING THE PARK. THESE LOTS ARE TO PROVIDE A CONTINUOUS FACADE AROUND THE PARK WITH PORCHES AS INDICATED ON THE REGULATING PLAN.

B LOTS ARE CORNER LOTS WITH FRONT YARD SETBACKS ON TWO SIDES. THESE LOTS ARE TO HAVE A STOOP OR PORCH LOCATED ON THE PRIMARY FACADE AS INDICATED ON THE REGULATING PLAN.

C LOTS FRONTING THE PARK ARE TO PROVIDE A CONTINUOUS FACADE AROUND THE PARK WITH PORCHES AS INDICATED ON THE REGULATING PLAN.

ALL OTHER LOTS MAY HAVE A PORTICO, HALF PORCH, OR FULL PORCH AT THE PRIMARY ENTRANCE AS INDICATED ON THE REGULATING PLAN.





**PLANNING & DEVELOPMENT DEPARTMENT**  
City Hall - Second Floor  
31 Wakefield Street  
Rochester, New Hampshire 03867-1917  
(603) 335-1338 - Fax (603) 335-7585  
Web Site: [www.rochesternh.net](http://www.rochesternh.net)

Planning & Zoning  
Community Development  
Conservation Commission  
Historic District Commission

**NOTICE OF DECISION**

August 4, 2011

Mr. Christian Strickler  
183 Washington Street, LLC  
501 Daniel Webster Highway  
Merrimack, NH 03054-3713

**RE:** Modifications for approved Phase I subdivision. Case # 237-3, 5, 6, 8 8-A-02

Dear Chris:

This is to inform you that the Rochester Planning Board at its August 1, 2011 meeting **APPROVED** your application for modifications as follows:

- The minimum front setback is now set at 7 feet for any house prototype that has a front porch which extends for at least 50% of the width of the front facade
- Street lights for Phase 1A need not be installed until August 1, 2012. Certificates of occupancy may be issued at this time without street lights, but none will be issued after that date unless street lights are installed.
- There is presently no rear setback for Phase 1. The issue of a prospective rear setback must be discussed with the Planning Board by November 1, 2011.

I wish you the best of luck with your project. If you have any questions or concerns, please feel free to contact me.

Sincerely,

Michael Behrendt  
Chief of Planning

cc: Matthew J. Petterson  
File

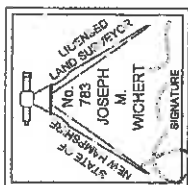
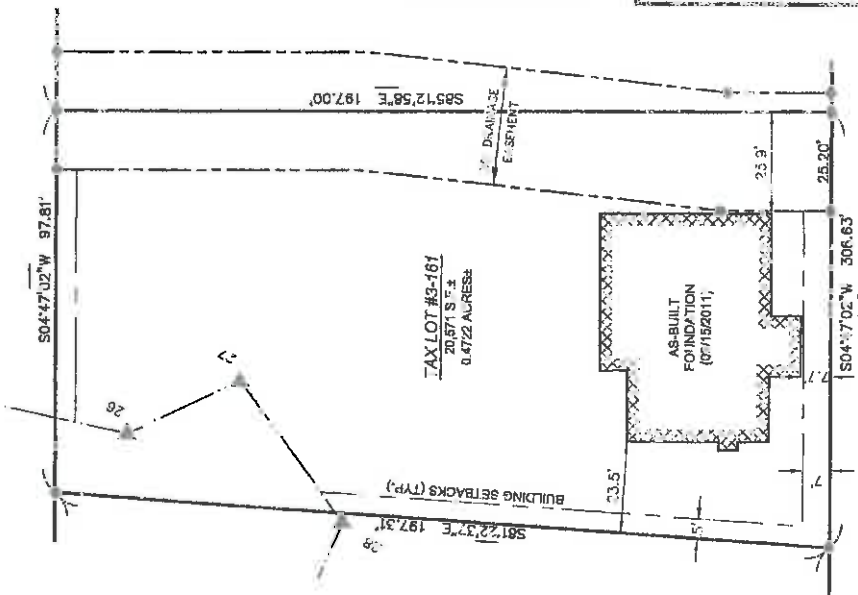
1.1), "REVISED LOT DETAIL PLAN OF HIGHTFIELD COMMONS - PHASE 1, OWNED BY 483 WASHINGTON STREET, LLC, TAX MAP 237 LOTS 8, 9-1 & 3, WASHINGTON STREET (ROUTE 202), HUSSEY HILL, ROAD AND BICKFORD ROAD, ROCHESTER, NEW HAMPSHIRE" SHEET S-4. DATED AUGUST 2, 2010. PREPARED BY THIS OFFICE. PLAN APPROVED BY THE ROCHESTER PLANNING BOARD. NOT YET RECORDED.



- REBAR W/CAP TO BE SET
- GRANITE BOUND W/DISK TO BE SET



( IN FEET )  
1 inch = 30 ft.



1.) THE SUBJECT PARCEL IS LOT 1181 ON THE CITY OF ROCHESTER TAX MAP 237. THE OWNER OF RECORD IS 183 WASHINGTON STREET, LLC OF 501 DANIEL WEBSTER HIGHWAY, MERRIMACK, NH. V. 3743 P. 558.

- AS 2). THE SUBJECT PARCEL IS ZONED PUD #2/RESIDENTIAL AS APPROVED BY THE ROCHESTER PLANNING BOARD ON JANUARY 7, 2003 AND AS AMENDED IN 2010. SETBACKS ARE "FRONT SETBACK = 15', SIDE AND REAR = 5' SEE OVERALL PUD NOTICE OF DECISION FOR DETAILED REQUIREMENTS. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3). THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2011, I, JOSEPH M. WICKERT, NHLS #783, CERTIFY THAT THE "WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4). THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE BUILT FOUNDATION IN RELATION TO THE LOT LINES AS ESTABLISHED ON REFERENCE PLAN 1.

AS BUILT FOUNDATION PLAN FOR  
183 WASHINGTON STREET, LLC  
TAX MAP 237 LOT 3-161  
118 FILLMORE BLVD.

ROCHESTER, NEW HAMPSHIRE  
DATE: SEPTEMBER 19, 2011  
SCALE: 1" = 30'

DATE: SEPTEMBER 19, 2011

US BUILT PLAN BY:

802 AMHERST STREET  
MANCHESTER, NH 03104  
TEL: (603) 647-4282 OR 736-6203  
FAX: (603) 623-1910  
WEB: WWW.JM-VALS.COM

LAND SURVEYOR &amp; SEPTIC SYSTEM DESIGNER

SHEETS 1 OF 1 F.B. TB-2 P. 8 JOB #2003150 2010 AB

COPYRIGHT © 2011 JOSEPH M. WCHERT, L.L.S., INC.



# REFERENCE PLAN:

"REVISED LOT DETAIL" PLAN OF HIGHFIELD COMMONS - PHASE 1, OWNED BY 183 WASHINGTON STREET, LLC, TAX MAP 237, LOTS 8 & 3, WASHINGTON STREET (ROUTE 202), HUSSEY HILL ROAD AND BICKFORD ROAD, ROCHESTER, NEW HAMPSHIRE DATED JUNE 30, 2010 AND LAST REVISED ON 8/30/2010 AS PREPARED BY THIS OFFICE. SEE S.C.R.D. PLANS 100-58 THRU 64.

# NOTES:

- 1.) THE SUBJECT PARCEL IS LOT 3-150 ON THE CITY OF ROCHESTER TAX MAP 237. THE OWNER OF RECORD IS 183 WASHINGTON STREET, LLC OF 501 DANIEL WEBSTER HIGHWAY, MERRIMACK, NH. V. 3743 P. 558.
- 2.) THE SUBJECT PARCEL IS ZONED PUD #2/RESIDENTIAL AS APPROVED BY THE ROCHESTER PLANNING BOARD ON JANUARY 7, 2003 AND AS AMENDED IN 2010. SETBACKS ARE FRONT = 7', SIDE AND REAR = 5'. SEE OVERALL PUD NOTICE OF DECISION FOR DETAIL REQUIREMENTS. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3.) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER OF 2012. I, JOSEPH M. WICHERT, NHILLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4.) THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE AS BUILT FOUNDATION IN RELATION TO THE LOT LINES AS ESTABLISHED ON THE REFERENCE PLAN.

## AS BUILT FOUNDATION PLAN FOR 183 WASHINGTON STREET, LLC TAX MAP 237 LOT 3-150 20 PIERCE DRIVE ROCHESTER, NEW HAMPSHIRE

SCALE: 1" = 20'

DATE: SEPTEMBER 28, 2012

AS BUILT PLAN BY:

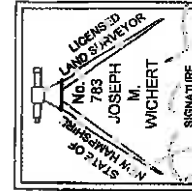
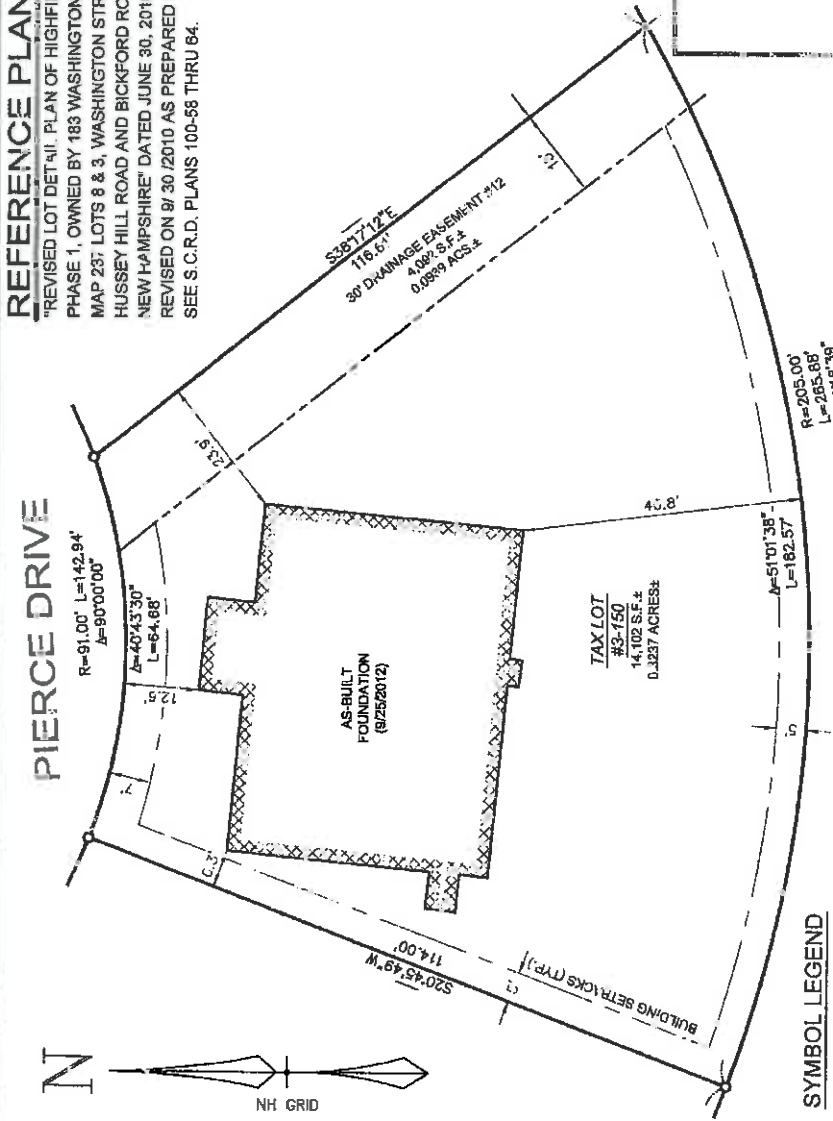
802 AMHERST STREET  
MANCHESTER, NH 03104  
TEL: (603) 847-4282 OR 736-8203  
FAX: (603) 623-1910  
WEB: WWW.JMWLLS.COM



Joseph M. Wichert  
L.L.S., INC.

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER

SHEET S1 SHEET 1 OF 1 F.B. 552 P. 61 JOB #2003150 2010 AB



# SYMBOL LEGEND

- REBAR W/CAP TO BE SET
- GRANITE BOUND W/DISK TO BE SET
- 5/8" IR W/D CAP SET
- DRILL HOLE SET

# GRAPHIC SCALE



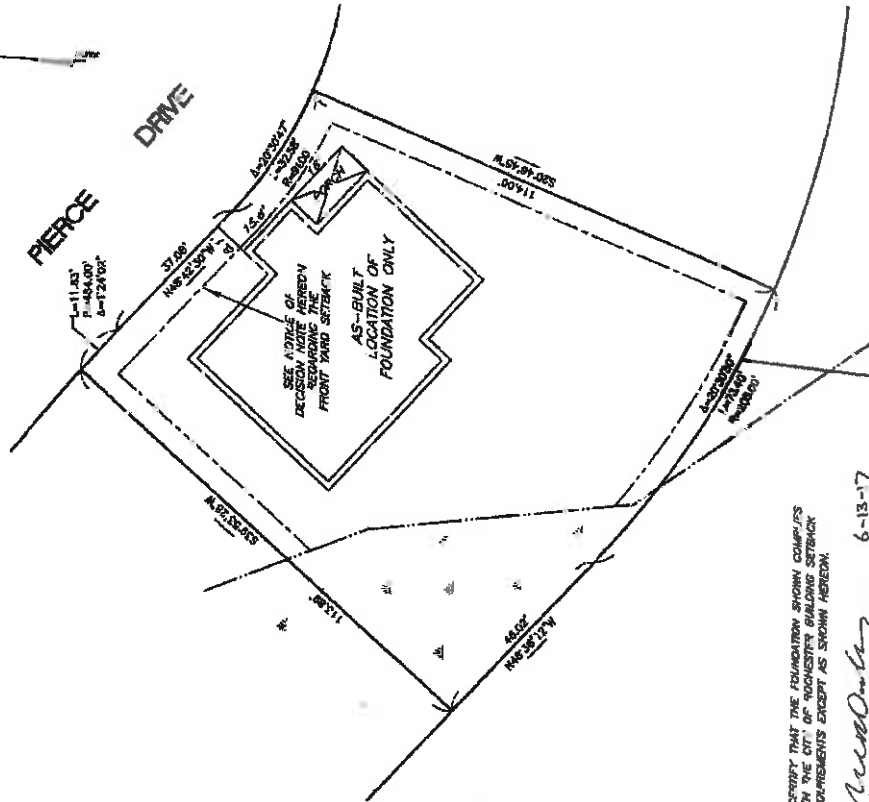
COPYRIGHT 2012 JOSEPH M. WICHERT, L.L.S., INC.

# CERTIFIED FOUNDATION AS-BUILT PLAN

MAP 237 LOT 3-151  
22 PIERCE DRIVE  
ROCHESTER, N.H.

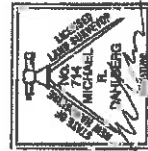
SCALE: 1" = 20' 6-13-2017

SEE NOTICE OF DECISION FROM THE ROCHESTER PLANNING BOARD DATED AUGUST 4, 2014. The minimum front setback is now set at 7 feet for any house prototype that has a front porch which extends for at least 50% of the width of the front facade.



I CERTIFY THAT THE FOUNDATION SHOWN COMPARES WITH THE CITY OF ROCHESTER BUILDING SETBACK REQUIREMENTS EXCEPT AS SHOWN HEREON.

*David A. Keach*  
LICENSED LAND SURVEYOR 6-13-17 DATE



**K/A KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 301, Bedford, NH 03110 Phone (603) 887-3881

PROJECT NO. 1212151

22 Pierce  
8'1"



# City of Rochester

Building, Zoning, & Licensing Services

31 Wakefield Street  
Tel. (603) 332-3508



Permit No. **B-19-104**

Parent PIN

MBL **0237-0003-0009**

This certifies that **SDJ DEV OF ROCHESTER LLC**

has permission to erect, alter, or demolish a building on: **24**

**EISENHOWER DR**

No. of Units: **0**

as follows: **New Foundation for a new home at Highfield Commons**

provided that the person accepting this permit shall in every respect conform to the terms of the application therefore on file in this office, and to the provisions of regulations or ordinances relating to the Location, Inspection, Alteration and Construction of Buildings in the of Rochester.

NOTE: The recipient of this permit accepts this permit on the condition that, as owner or as agent of the owner, he/she agrees to comply with all Building & Zoning Regulations of the City of Rochester & the State Statutes of the State of New Hampshire regarding the use, occupancy & type of building or structure to be constructed, added to, demolished, or altered. The recipient also agrees that this building is to be located the proper distance from all street lines, all property yard lines & required distances from all other zones & is located in a zone in which the building & its use is allowed or has been approved. Additional conditions listed below:

## Comments:

Current Use Group:

Contractor Name: **Highfield Homes LLC**

Address: **746 D.W. Highway Unit B**

**Merrimack**

**NH 03054**

Phone: **(603) 496-3684**

Proposed Use Group:

Owner Name: **SDJ DEV OF ROCHESTER LLC**

Address: **746 DANIEL WEBSTER HWY  
UNIT B**

**MERRIMACK**

**NH 03054-2700**

Phone: **(603) 496-3684**

Construction Type:

Occupant Load:

**0**

All permits approved are subject to inspections performed by a representative of this office. Requests for inspections must be made at least 48 hours in advance, call (603) 332-3508.

*James Schmitt*

Building Official

All Other Work and MEPs Require Separate Permits

**3/11/2019**

Construction Cost: **\$10,000.00**

Fee Paid: **\$100.00**

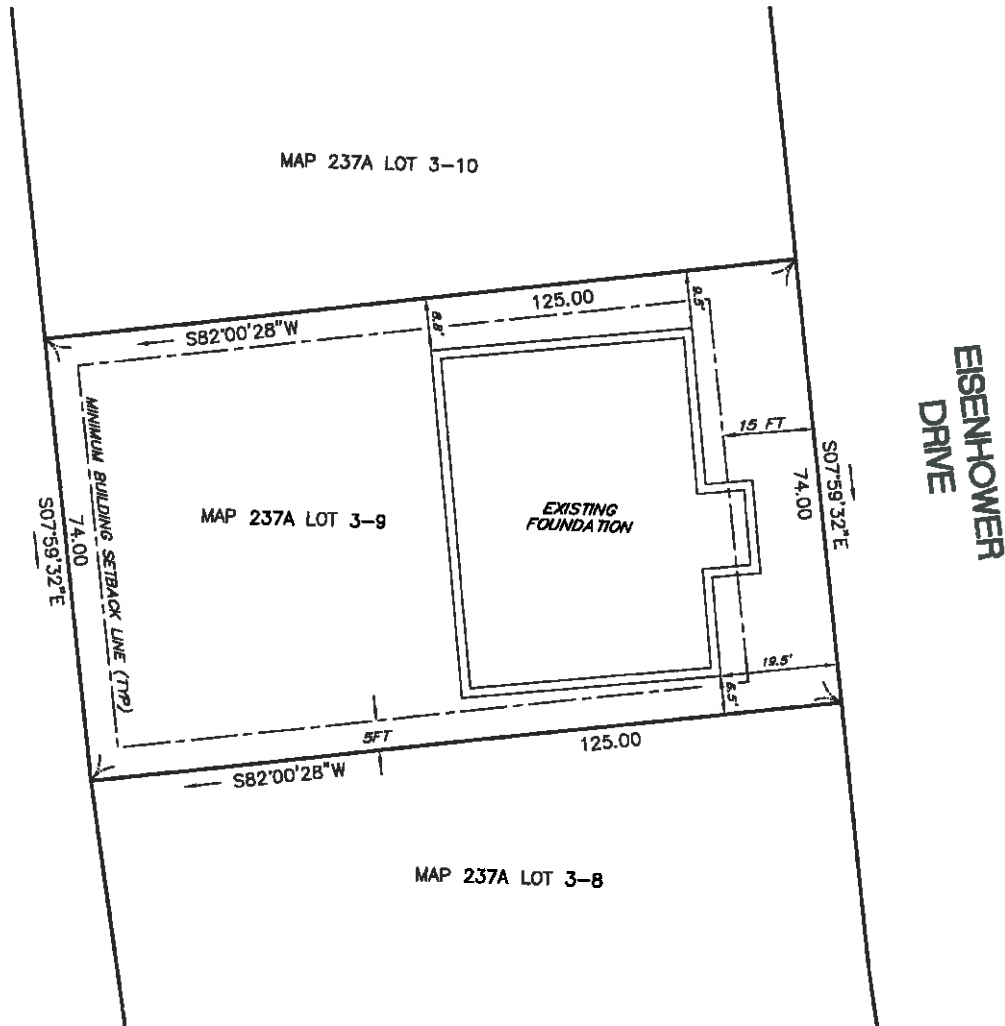
Date Issued: **3/11/2019**

Date Expired: **3/11/2020**

# PERMIT TO BUILD

# CERTIFIED FOUNDATION AS-BUILT PLAN

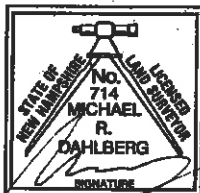
MAP 237A LOT 3-9  
24 EISENHOWER DRIVE  
ROCHESTER, N.H.  
SCALE: 1"= 20' 4-05-2019



I CERTIFY THAT THE FOUNDATION SHOWN COMPLIES  
WITH THE CITY OF ROCHESTER BUILDING SETBACK  
REQUIREMENTS EXCEPT AS SHOWN HEREON.

*Michael R. Dahlberg*  
LICENSED LAND SURVEYOR

4-5-19  
DATE



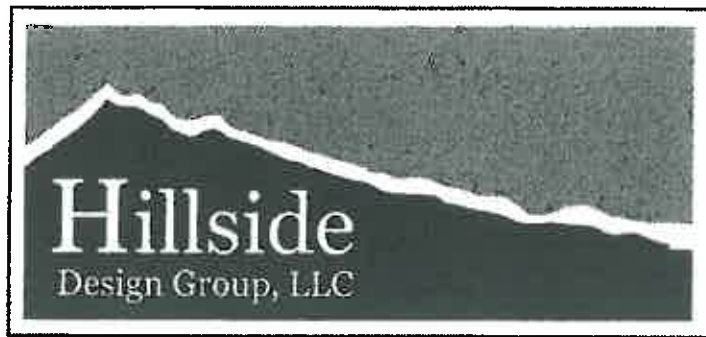
**KMA** KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 887-2881





# Letter of Transmittal



To:

City of Rochester

City Hall

31 Wakefield Street

Rochester, NH 03867

Attn: Jim Grant

CC:

From: Hillside Design Group, LLC  
Matthew J. Peterson

Date: February 22, 2019

Project #: 2010-0831-1

Re: "Highfield Commons Phase 1B"  
Tax Map 237A, Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire

We are sending the following:

☐ Prints    ☐ Shop Drawings    ☐ Displays

☒ Plans    ☐ Specifications    ☐ Photographs

☒ Reports    ☐ Correspondence    ☐ \_\_\_\_\_

The enclosed are being transmitted:

☐ Approved per notes    ☐ For your use    ☐ As requested

☒ For approval    ☐ For your review & comments    ☐ Forbid(s) due

☐ Returned for correction    ☐ \_\_\_\_\_

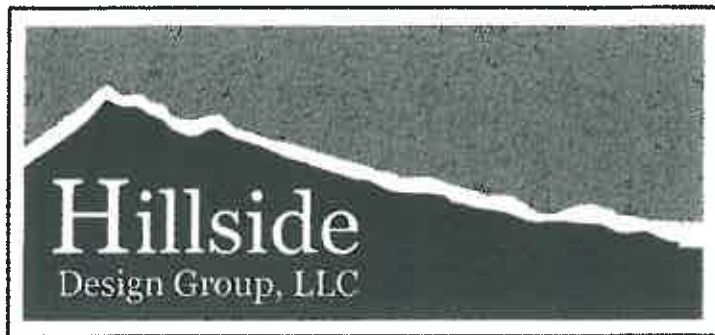
No.	Date	Copies	Description
1	2-22-19	1	Foundation Permit Application.
2	2-22-19	1	Foundation Permit Fee - \$100.00.
3	2-22-19	1	Foundation Plan.
4	2-22-19	1	Proposed Lot Sketch.
5	2-22-19	1	Cover Letter.

Remarks: Please contact Matthew Peterson at (603) 496-3684 if you have any questions or require additional information regarding the submitted Foundation Permit.



February 22, 2019

City of Rochester  
Attn: Jim Grant  
Director of Code Enforcement Services  
31 Wakefield Street  
Rochester, NH 03867



**Re: Foundation Permit Application - "Highfield Commons Phase 1B" Subdivision Plan  
Tax Map 237; Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire**

Jim Grant:

The enclosed package is being submitted for a foundation permit to the City of Rochester for the Highfield Commons subdivision project. As part of this submittal we have included a breakdown of anticipated building costs;

**Breakdown of Budgeted Home Building Costs:**

1. Electrical:	Budgeted Costs = TBD
2. Plumbing:	Budgeted Costs = TBD
3. Mechanical:	Budgeted Costs = TBD
4. Building:	Estimated Costs = TBD
5. Foundation:	Estimated Cost = \$10,000

Total anticipated building cost:	\$TBD
Price foundation permit based on:	\$10,000

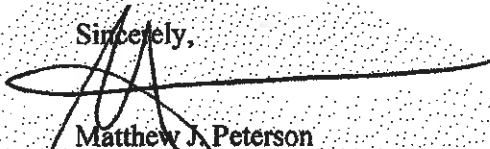
Cost of foundation permit =  $10,000/1000 = 10 \times 9 = \$90.00$  plus  $\$10.00 = \$100.00$

Enclosed is the following material for your review and approval:

1. Major Building Permit Application for Foundation Permit and Fee.
2. Lot Sketch Plan.
3. Foundation Plan.

If you have any questions or comments please contact me at (603) 496-3684.

Sincerely,

  
Matthew J. Peterson  
Hillside Design Group, LLC  
746 D.W. Highway, Unit B  
Merrimack, NH 03054

501 D.W. Highway, Unit F • Merrimack NH, 03054 • Office 603-424-1132 • Fax 603-424-8998



# Major Building Permit Application

City of Rochester, New Hampshire

Department of Building, Zoning, and Licensing Services

33 Wakefield St. Rochester, NH

Telephone: 603-332-3508

Issue Date:	_____
Permit #:	_____
Map#	<u>237A</u>
Lot#	<u>3</u>
Block#	<u>9</u>
Zoning	<u>POD</u>

Location of Construction (Address): 24 Eisenhower Drive

Property Owner: SDJ Development of Rochester LLC Phone #: 603-424-6904

Mailing Address: 746 D.W. Highway Unit B City: Merrimack

State: NH Zip Code: 03054 E-mail: chris@cdcnh.com, mpeterson@hillsidedg.com

Contractor: Highfield Homes LLC Phone #: 603-424-6904

Mailing Address: 746 D.W. Highway Unit B City: Merrimack

State: NH Zip Code: 03054 E-mail: chris@cdcnh.com

<i>Proposed Construction is for:</i> <i>(Please Circle all that apply)</i>	<input checked="" type="radio"/> New Single-Family	<input type="radio"/> Replacement/ New Mobile Home	<input type="radio"/> Commercial Alteration
	<input type="radio"/> New Two-Family	<input type="radio"/> New Commercial Structure	<input type="radio"/> Repair/Replace non-residential
	<input type="radio"/> New Multi-Family	<input type="radio"/> Commercial Addition	<input type="radio"/> Other: _____
<i>Property Located in:</i> <i>(Respond to all)</i>	<input checked="" type="radio"/> Historic District (Yes/No)		<input checked="" type="radio"/> Approved Site Plan (Yes/No)
	<input checked="" type="radio"/> Major or Minor Subdivision (Yes/No)		<input checked="" type="radio"/> Shoreland Protection Zone (Yes/No)
	<input checked="" type="radio"/> Flood Hazard Area- per the Flood Insurance Rate Map (Yes/No)		
	Is proposed work located within 50 feet of a jurisdictional Wetland Area (Yes/No)- if so please document.		
<i>Land Information:</i>	<input checked="" type="radio"/> City Water (Yes/No)	<input checked="" type="radio"/> City Sewer (Yes/No)	<input checked="" type="radio"/> Corner Lot (Yes/No)
<i>Primary use of Property is:</i>	<input checked="" type="radio"/> Residential <input type="radio"/> Commercial <input type="radio"/> Mixed Use (Both Res & Com)		
<i>Construction Type:</i>	IA IIA IIIA IV VB		<i>Occupancy:</i> Use and Occupancy: _____ Occupant Load: _____
	IB IIB IIIB VA		

Description of work to be performed: Construction of a Foundation for an Annebel Unit.

Page 2 - Section A

EXISTING (or PREVIOUS) CONDITIONS

Existing Use: (land only ☐ - if so skip to "B")

Residential ☐ Commercial ☐ Mixed Use (both) ☐

Existing Structures: (Existing Conditions)

Existing # of Buildings on site: \_\_\_\_\_

Total Sq Ft of existing building(s): \_\_\_\_\_

Garage Parking: \_\_\_\_\_ Exterior Parking: \_\_\_\_\_

Electrical Service: \_\_\_\_\_

Type of Heat: \_\_\_\_\_ Fuel Type: \_\_\_\_\_

# of Fireplaces: \_\_\_\_\_ # of Kitchens: \_\_\_\_\_

Foundation Type: \_\_\_\_\_ Building Height: \_\_\_\_\_

# of Full Baths: \_\_\_\_\_ # of Partial Baths: \_\_\_\_\_

For Residential Units: (Existing Conditions)

# of Units: \_\_\_\_\_

# of Bathrooms: \_\_\_\_\_

# of Bedrooms: \_\_\_\_\_

For Commercial Units: (Existing Conditions)

# of Units: \_\_\_\_\_

Office Area (sq ft): \_\_\_\_\_

Office Area (sq ft): \_\_\_\_\_

Page 2 - Section B

PROPOSED CONDITIONS

Proposed Use:

New Foundation

Residential ☒ Commercial ☐ Mixed Use (both) ☐

Setbacks:

Front Setback: 15 Left Setbacks: 5

Rear Setback 5 Right Setbacks: 5

Proposed Structures: (Total of existing + proposed)

Proposed # of Buildings on site: 1

Total Sq Ft of proposed building(s): 1,850

Garage Parking: 2 Exterior Parking: N/A

Electrical Service: Yes

Type of Heat: Propane Fuel Type: Propane

# of Fireplaces: 1 # of Kitchens: 1

Foundation Type: Conc Building Height: 28'

# of Full Baths: 2 # of Partial Baths: 1

For Residential Units: (Total of existing + proposed)

Proposed # of units: 1

Proposed # of Bathrooms: 2

Proposed # of Bedrooms: 2

For Commercial Units: (Total of existing + proposed)

Proposed # of units: \_\_\_\_\_

Proposed Office Area: \_\_\_\_\_

Proposed Other Area: \_\_\_\_\_

ATTACHMENTS AND SUBMITTALS REQUIRED AT THE TIME OF APPLICATION			
For Residential 1 and 2 Family		For Commercial or Multi-unit Residential	
Site Plan	<input checked="" type="checkbox"/>	Site Plan – Approved Site Plans Must be Certified Prior to Issuance of Building Permits.	<input type="checkbox"/>
Driveway Permit [Contact DPW (603) 332-4096]	<input checked="" type="checkbox"/>	Driveway Permit [If Required] [Contact DPW (603) 332-4096]	<input type="checkbox"/>
N.H. Approved Septic Design [If Required]	<input type="checkbox"/>	N.H. Approved Septic Design	<input type="checkbox"/>
Approved Storm Water Management Plan [Contact DPW (603) 332-4096]	<input checked="" type="checkbox"/>	Approved Storm Water Management Plan [Contact DPW (603) 332-4096]	<input type="checkbox"/>
One full set of building plans and PDF's	<input checked="" type="checkbox"/>	Two full sets of plans and PDF's [Stamped When Required by RSA 310 -A]	<input type="checkbox"/>
P.U. C. Prescriptive Compliance Application, Res Check Compliance Application, or	<input type="checkbox"/>	Letter of Energy Compliance From Design Prof. [May Use Residential Compliance Options to a Maximum building size of 4000 Square Feet]	<input type="checkbox"/>
Have you filled out page two Section A and B completely?	<input checked="" type="checkbox"/>	Have you filled out page two Section A and B completely?	<input type="checkbox"/>
Footing Certification – This is Due Prior to Foundation Inspection or Issuance of Building Permit.	<input type="checkbox"/>	Footing Certification – This Is Due Prior to Foundation Inspection or Issuance of Building Permit.	<input type="checkbox"/>
All Precedent Conditions of the Notice of Decision that was Approved by the Planning Board are met.	<input checked="" type="checkbox"/>	Statement of Special Inspection [IBC Section 1705] [If Applicable]	<input type="checkbox"/>
Fire Department – Fire Protection Plans and Review Fee Submitted In Addition to Building Permit/Fee [If Applicable]	<input type="checkbox"/>	Fire Department – Fire Protection Plans and Review Fee Submitted In Addition to Building Permit/Fee.	<input type="checkbox"/>

Please be advised, the order of inspections, for the BUILDING INSPECTOR ONLY, are as follows:

1. Reinforcing steel prior to placement of concrete
2. Foundation/ Pier Depth
3. Rough Framing ( After sub's have passed)
4. Insulation
5. Drywall Installation ( Prior to mud & tape)
6. Penetration Firestop
7. Final Inspection

Note: Not all inspections may apply to every situation and additional inspections may be required may be required as needed. Electrical, plumbing, and mechanical work all require additional inspections. Check with Fir Department for their required inspections.

Certification of Accuracy: As the owner/owners agent of record, I certify that all information contained within this application is true and accurate to the best of my knowledge and belief.

Certification of Compliance: I hereby certify that I am familiar with all pertinent codes relating to the above specified work, and that all work shall be performed in compliance with these codes, also that I am familiar with the City Rochester Ordinance, Chapter 42 and all use and dimensional regulations.

Inspections: This signed application constitutes consent on the applicant's part to allow for inspections at the property by the department of Building, Zoning, and Licensing Services, Assessing Office and any other required City Staff. Any work that is covered prior to the inspection may be required to be removed for inspection.

Certificate of Occupancy (C/O): A C/O must be issued PRIOR to any occupancy of residential and/or commercial structures. A Certificate of Occupancy shall be clearly displayed in all structures of non-residential uses. For Commercial Projects: As-Built Drawings must be submitted prior to issuance of C/O.

Permits are non-transferable. If this is an "After the Fact" permit, it will be subject to a fee two times the normal permit fee.

Applicants are advised that the making of a false statement on this form is a criminal offense.

**40.16 Permits. (a) (4) Fees for building permits shall be waived for honorably discharged veteran of an active duty, National Guard or reserve member of the United States Armed Forces, who plans to construct or have constructed for himself a home or appurtenance to a home already owned by him for exclusive occupancy by himself and his immediate family. IF THIS APPLIES, PLEASE CHECK THE BOX. (VERIFICATION MAY BE REQUIRED)** ☐

Cost of Construction: 10,000 Permit Fee: 100.00

Permit fee is based on \$9.00 per \$1,000.00 of Construction Cost (Rounded Up Nearest \$1,000.00) plus a \$10.00 application fee. Minimum Permit Fee is \$20.00

ECN  
Applicant Signature

2/5/19  
Date

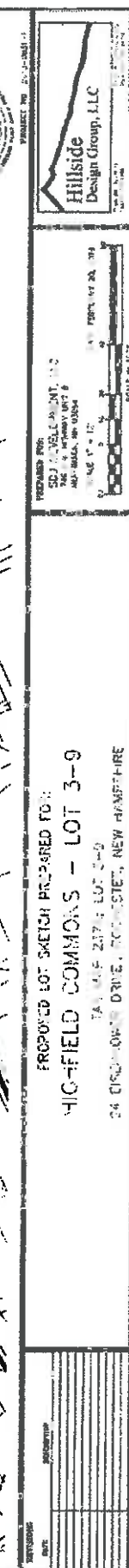
\*\*\*OFFICE USE ONLY – DO NOT WRITE IN THIS SPACE\*\*\*

Paid: ☐ Cash \$ \_\_\_\_\_ ☐ Check # \_\_\_\_\_

THIS PERMIT IS: ☐ ISSUED with the following conditions: ☐ DENIED for the following reason(s):

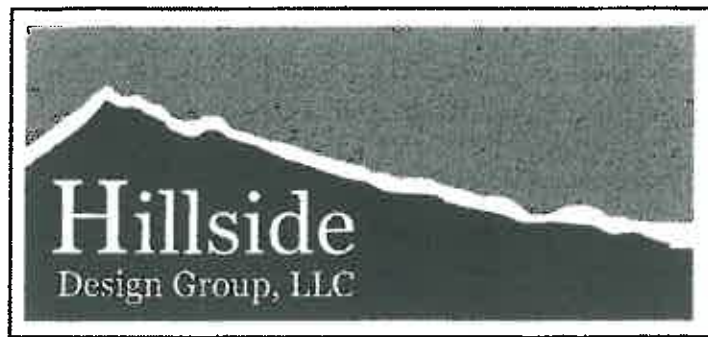
Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

Department of Building, Zoning, and Licensing Services





# Letter of Transmittal



To:

City of Rochester  
Public Works Dept.  
45 Old Dover Road  
Rochester, NH 03867  
Attn: Michael Bezanson P.E.

CC:

From: Hillside Design Group, LLC  
Matthew J. Peterson

Date: February 22, 2019

Project #: 2010 -0831-1

Re: "Highfield Commons Phase 1B"  
Tax Map 237A, Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire

We are sending the following:

☐ Prints ☐ Shop Drawings ☐ Displays

☒ Plans ☐ Specifications ☐ Photographs

☒ Reports ☐ Correspondence ☐

The enclosed are being transmitted:

☐ Approved per notes ☐ For your use ☐ As requested

☒ For approval ☐ For your review & comments ☐ Forbid(s) due

☐ Returned for correction ☐

No.	Date	Copies	Description
1	2-22-19	1	Water and Sewer Service Connection Application.
2	2-22-19	1	Permit Fee - \$100.00.
3	2-22-19	1	Proposed Lot Sketch.

Remarks: Please contact Matthew Peterson at (603) 496-3684 if you have any questions or require additional information regarding the submitted information.



## City of Rochester, New Hampshire

### PUBLIC WORKS DEPARTMENT

45 Old Dover Road • Rochester, NH 03867  
(603) 332-4096 Fax (603) 335-4352

[www.rochesternh.net](http://www.rochesternh.net)

### Water and Sewer Service Connection Application Permit Fee \$50 for Each Service Request (Includes Inspections)

Water Service ☒ \$50.00 Sewer Service ☒ \$50.00

#### OWNER INFORMATION:

(Check one or both)

Name: SDJ Development of Rochester, LLC

Date of Application: 2-22-19

Address: 746 D.W. Highway, Unit B, Merrimack NH

Map: 237A

Property Address: 24 Eisenhower Drive

Lot: 3-9

Telephone #: 603-424-6904

Cell/Business #: 617-413-4660

Owner's Email Address: chris@cdcnh.com

Is the **Water** service New or Existing?

☒ New ☐ Existing ☐ N/A

Is the **Sewer** service New or Existing?

☒ New ☐ Existing ☐ N/A

Is the Service for Residential or Commercial Use

☒ RES. ☐ COM. ☐ N/A

Number of  
units? 1

Approximate elevation of  
foundation 430

Current available  
utilities At the street

#### CONTRACTOR INFORMATION:

Contact Name Chris Strickler

Business Name: Highfield Homes LLC

Address: 746 D.W. Highway Unit B, Merrimack NH 03054

Telephone # 603-424-6904

Cell/Business # 617-413-4660

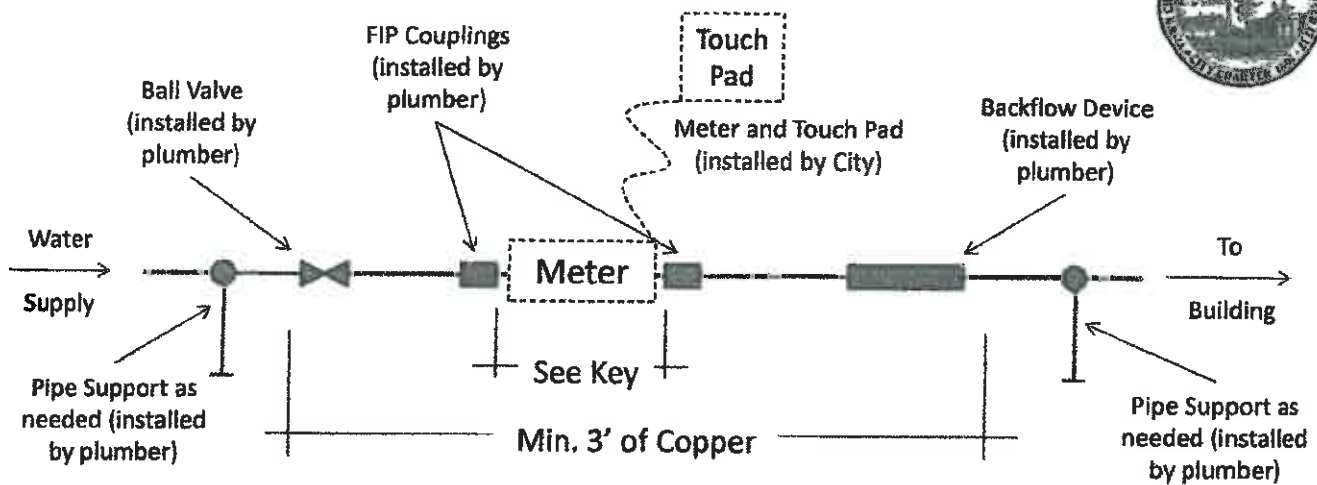
Email Address: chris@cdcnh.com

Additional Comments: \_\_\_\_\_

#### **Call 603-332-4096 at least 24 hours in advance for all inspections.**

- Sewer/Water License – Any contractor doing **ANY** sewer or water work within a City Road must be licensed by the city to do so. Water taps only by specifically approved contractors as determined by the City and authorized on their Installer's License.
- Public Works representative is to be notified for inspections of any sewer or water connection.
- Public Works representative is to be notified for inspection of third party water pressure and bacteria testing.
- Public Works representative is to be notified for inspection for vacuum testing of sewer manholes and air pressure and mandrel testing for sewer lines
- A city excavation permit is required for any excavation within the City Right-of-Way.

# Residential Water Meter Installation Guide



## KEY

Meter/Coupler Size	Laying Length
5/8"	11-7/8"
3/4"	11-7/8"
1"	15-1/4"

## NOTES:

- 1 – Meter installation area shall be no less than 3' x 1' x 1' with pipe length in 3' direction.
- 2 – Meter technician cannot manipulate plumbing, only install meter and touch pad.
- 3 – Piping on outlet side of backflow prevention device to meet all plumbing codes.
- 4 – All water into building must be metered. There shall be no branches or tees prior to the meter on the water supply line.
- 5 – All work must be completed by plumber AND City prior to water being turned on.
- 6 – Touch pad to be installed by City on exterior of building and shall be accessible at all times for reading.
- 7 – Any leaks prior to the water meter connection point shall be fixed immediately and will require rescheduling of meter technician.
- 8 – Curb stops (valves located outside of the residence, typically adjacent to the street) are to be operated by City staff only. Any operation of curb stops without express written permission of DPW will result in legal action.

28 August 2017

**GENERAL NOTE:**

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO THE CENTER OF THE LOT.
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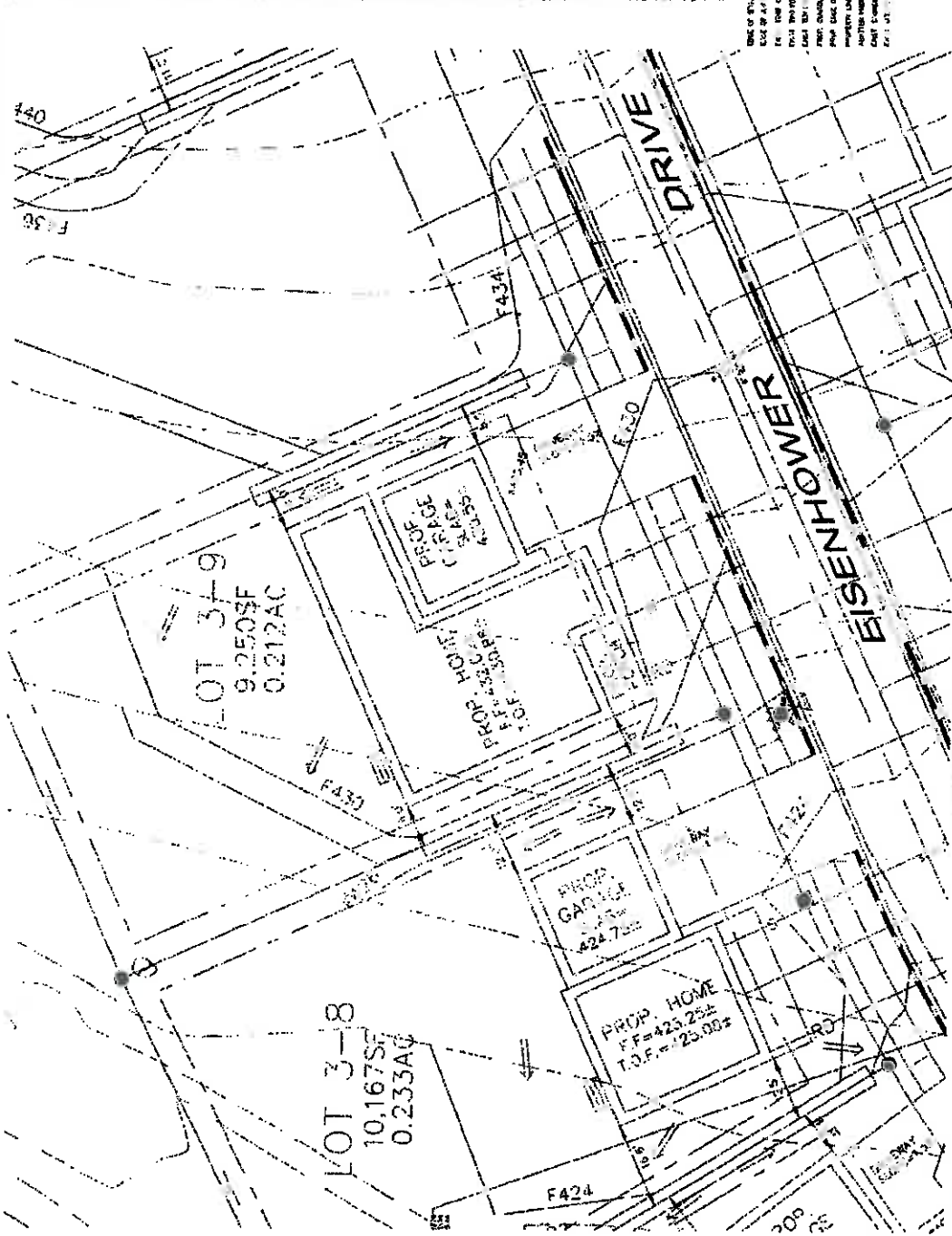
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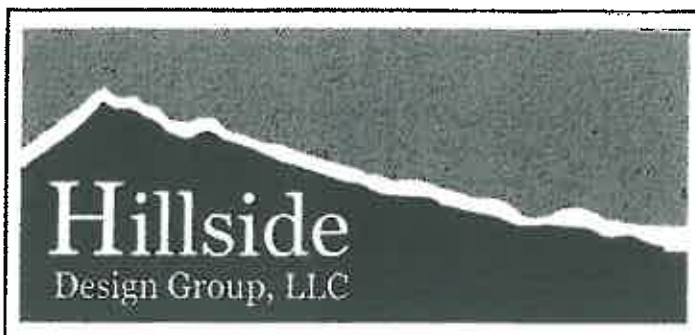
**PROPOSED LOT SPLIT SKETCH PREPARED FOR:**  
**HIGHFIELD COMMONS - LOT 3-9**  
 TA 227A LOT 3-9  
 21 BIVINGTON DRIVE, ROCKY HILL, CT 06152

**PREPARED FOR:**  
 2220 EXETER AVENUE, SUITE 100  
 ROCKY HILL, CT 06152  
 PHONE: (860) 261-1111  
 FAX: (860) 261-1112  
 DATE: FEBRUARY 15, 1994  
 SCALE: 1" = 40'

**Hillside Design Group, LLC**  
 2220 EXETER AVENUE, SUITE 100  
 ROCKY HILL, CT 06152  
 PHONE: (860) 261-1111  
 FAX: (860) 261-1112

**PROJECT NO. 1111-1111**  
**SHEET NO. 1**

# Letter of Transmittal



To:

City of Rochester

Public Works Dept.

45 Old Dover Road

Rochester, NH 03867

Attn: Michael Bezanson P.E.

CC:

From: Hillside Design Group, LLC  
Matthew J. Peterson

Date: February 22, 2019

Project #: 2010 -0831-1

Re: "Highfield Commons Phase 1B"  
Tax Map 237A, Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire

We are sending the following:

☐ Prints ☐ Shop Drawings ☐ Displays

☒ Plans ☐ Specifications ☐ Photographs

☒ Reports ☐ Correspondence ☐ \_\_\_\_\_

The enclosed are being transmitted:

☐ Approved per notes ☐ For your use ☐ As requested

☒ For approval ☐ For your review & comments ☐ Forbid(s) due

☐ Returned for correction ☐ \_\_\_\_\_

No.	Date	Copies	Description
1	2-22-19	1	Driveway Application.
2	2-22-19	1	Stormwater Management & Erosion Control Permit Application.
3	2-22-19	1	Permit Fee - \$150.00.
4	2-22-19	1	Proposed Lot Sketch.

Remarks: Please contact Matthew Peterson at (603) 496-3684 if you have any questions or require additional information regarding the submitted information.





## City of Rochester, New Hampshire

### PUBLIC WORKS DEPARTMENT

45 Old Dover Road • Rochester, NH 03867  
(603) 332-4096 Fax (603) 335-4352

[www.rochesternh.net](http://www.rochesternh.net)

### Driveway Permit Application

**Permit Fee \$150**

Owners Name: SDJ Development of Rochester, LLC Date of Application: 2-22-19  
Owners Address: 746 D.W. Highway Unit B, Merrimack NH  
Property Address: 24 Eisenhower Drive Telephone # 603-424-6904  
Cell/Business #: 617-413-4660 Map # 237A Lot # 3-9  
Owner's Email Address: chris@cdcnh.com

Do you want your permit emailed to the email address above? ☒ Yes or ☐ No  
Will the driveway impact wetlands and/or will it impact any area within 50 feet of wetlands? ☐ Yes or ☒ No  
Was this lot created prior to September 23, 2003? ☒ Yes or ☐ No  
Will you be installing a culvert as part of this driveway application? ☐ Yes or ☒ No

**DESCRIBE DRIVE LOCATION** (Provide narrative and sketch in the space provided below. If necessary attach addition sketches, images, maps, etc. to the back of this application. If installing a culvert please provide size, material and direction of flow. )

See Lot Sketch

#### Contractor Information:

Contact Name Chris Strickler Business Name: Highfield Homes LLC  
Address: 746 D.W. Highway Unit B, Merrimack NH 03054  
Telephone # 603-424-6904 Cell/Business # 617-413-4660  
Email Address: chris@cdcnh.com

I, Chris Strickler Do hereby request permission for a DRIVEWAY ACCESS PERMIT and I have reviewed, understand and agree to abide by the applicable City of Rochester regulations and ordinances and any State Agency requirements that may apply

OWNERS' SIGNATURE: [Signature] Date: 2/25/19  
☐ Owner or ☐ Owner's agent



***City of Rochester, New Hampshire***  
**DRIVEWAY APPLICATION CONTROL REGULATIONS**

1. No permit shall be required for any existing driveway, entrance, or approach unless the grade or location of the existing driveway is changed.
2. The grade of the approach at the location to be agreed upon is to be such as will permit a safe and controlled approach to the highway at all seasons and so designed that no water will discharge from the approach upon the paved surface of the highway.
3. Drainage structures necessary to maintain existing highway drainage are to be furnished and installed by owner and are to be designed to meet all Department of Public Works and Highway Specifications.
4. Anyone who excavates or disturbs the shoulders, ditches, sidewalks, embankments, or surfaces or improved for travel of any highway shall restore them to the satisfaction of the Director of Public Works
5. The Director of Public Works may require that a bond satisfactory to him/her be furnished to the city providing for the satisfactory restoration of the highway.
6. The Director of Public Works will not permit more than one access to a parcel of land unless an all-season sight distance of 400 feet in both directions can be obtained. The location of the access shall be that location deemed to be the safest by the Director of Public Works.
7. No driveway shall be wider than 50 feet, except that a driveway, entrance, exit, or approach may be flare beyond a width of 50 feet at its junction with the highway to accommodate the turning radius of vehicles expected to use the particular driveway, entrance, exit, or approach.
8. All driveways shall be a minimum of 20' wide, unless serving a single residential home.
9. There will be no more than two driveways, entrances, exits or approaches from any one highway to any one parcel of land unless the frontage along the highway exceeds 500 feet.
10. The owner of the property to which the access is appurtenant shall have continuing responsibility for the adequacy of the access and any grades, culverts, or other structures pertaining to such access, whether or not located in the public right-of-way.
11. See Section 14 – Traffic and Access Management of the City of Rochester Site Plan Regulations for additional regulations governing General Provisions, Access Management and Site Distance. These regulations apply to Driveway Permits regardless if site plan review or approval is required,.
12. **Penalty:** Any person who violates any provision of RSA 236:13 or any provision of Rochester Ordinance Chapter 15 shall be guilty of a violation, fined \$100, and be liable for the cost of restoration of the highway to a condition satisfactory to the Director of Public Works.

**STANDARD TERMS AND CONDITIONS ASSOCIATED WITH A DRIVEWAY PERMIT.**

1. Pursuant to NH RSA 236:13, it shall be unlawful to construct or maintain any driveway, entrance, or approach within the limits of the right-of-way of any street or highway in the City of Rochester without a written permit from the Director of Public Works. If the entrance is from a Class I, II, or III highway under the jurisdiction of the State of New Hampshire a permit shall also be secured from the New Hampshire Department of Transportation's District Engineer.
2. The Director of Public Works is authorized to make such rules and regulations as to the grade and location of driveways, entrances, and approaches on said highways as will adequately protect and promote the safety of the traveling public, but s/he shall in no case deny access to property abutting the highway.
3. All driveway permits expire one year from the date of issue if not acted upon. The application fee will not be refunded if the permittee fails to act on any issued permit.



City of Rochester, New Hampshire  
PUBLIC WORKS DEPARTMENT  
45 Old Dover Road • Rochester, NH 03867  
(603) 332-4096 Fax (603) 335-4352  
[www.rochesternh.net](http://www.rochesternh.net)

## STORMWATER MANAGEMENT AND EROSION CONTROL PERMIT APPLICATION

**APPLICABILITY:** Pursuant to Chapter 50 of the General Ordinances, no person shall alter land or engage in any activity which causes or contributes to stormwater runoff discharge, without first having obtained a Stormwater Management Permit (SMP) for land proposed to be altered, or which will be affected by such activity. The owner shall be required to apply to the Department of Public Works and obtain such permit from the Department, prior to undertaking any action. This requirement shall apply to any activity that will disturb or impact a land area greater than 5000 cumulative square feet unless specifically exempted by the ordinance.

**INSTRUCTIONS:** Please complete this permit application completely and fully. Be sure to review the reverse side. Any omissions may delay the processing of your application and the signing of your permit. This permit is not valid unless it has been signed and numbered in the Shaded Block below. It is recommended that all permittees review Chapter 50 of the General Ordinances of Rochester prior to disturbing significant land areas. The ordinance is available online at the following link [http://www.rochesternh.net/Public\\_Documents/RochesterNH\\_Clerk/General\\_Ordinances/](http://www.rochesternh.net/Public_Documents/RochesterNH_Clerk/General_Ordinances/) and then click on Chapter 50. Permittees are expected to use available best management practices to prevent the degradation of stormwater runoff from the site and the formation of soil erosion. A Stormwater Management and Erosion Control Plan (referred herein as the "Local Stormwater Plan") must be prepared for larger projects as outlined in Section 50.6(b) of the ordinance. Completed applications can be: (1) dropped off at the address above, (2) faxed in its entirety to the fax no. above, or (3) e-mailed as a .pdf attachment to the Assistant City Engineer.

DATE OF APPLICATION: 2-22-19

APPLICANT INFORMATION			
PROPERTY OWNER NAME: SDJ Development of Rochester, LLC			
PROPERTY OWNER ADDRESS: 746 D.W. Highway Unit B			
CITY, STATE, ZIP: Merrimack, NH 03054	PHONE NO. 603-424-6904	FAX NO.	E-MAIL ADDRESS chris@cdcnh.com
CONTRACTOR OR REPRESENTATIVE NAME: Highfield Homes LLC			
CONTRACTOR ADDRESS: 746 D.W. Highway Unit B			
CITY, STATE, ZIP Merrimack, NH 03054	PHONE NO. 603-424-6904	FAX NO.	E-MAIL ADDRESS Chris@cdcnh.com
INFORMATION ON PROPERTY TO BE DISTURBED			
PROPERTY LOCATION (STREET ADDRESS) 24 Eisenhower Drive		TAX MAP AND LOT NO. (REQUIRED)	
ESTIMATED AREA TO BE DISTURBED (SQ. FT.) 10,000 SF	DISTANCE TO NEAREST WETLAND OR WATER BODY (FT) 1 A	237A-3-9	
DID THE PROPERTY TO BE DISTURBED RECEIVE SITE PLAN APPROVAL FROM THE PLANNING BOARD? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> IF SO, WHEN (date of approval)	PURPOSE FOR LAND DISTURBANCE (check all that apply)		
	<input checked="" type="checkbox"/> single family home construction <input type="checkbox"/> commercial development (site plan approved) <input type="checkbox"/> multi-family residential construction <input type="checkbox"/> other (please specify)		
<input checked="" type="checkbox"/> utility construction (water, sewer, drain, gas, etc.) <input checked="" type="checkbox"/> new subdivision with road construction <input type="checkbox"/> logging			
I have reviewed and am familiar with the City of Rochester's Stormwater Management and Erosion Control Ordinance (chapter 50). I agree to allow appropriate officials from the City of Rochester on the property referenced in this application to review and monitor compliance with the ordinance.			
Signature of owner or Representative	Printed Name Chris Strickler	Date 2/25/19	Do not write below this line (for official use only)
See reverse Side More Instructions			
PERMIT: Signature below represents that property listed above is permitted to disturb soil provided that all activities are done in accordance with chapter 50 of the General Ordinance of the City of Rochester. Permit not valid unless signed and numbered by an authorized official of Rochester DPW.			
Authorized Signature		Permit No.	

BUILDINGS AND GROUNDS • HIGHWAY • WATER • SEWER • ENGINEERING

Is your project of such a size that you are required to file a Stormwater General Permit for Construction Activities Notice of Intent (NOI) to the U.S. Environmental Protection Agency (EPA)? These are required when there is a contiguous disturbed area greater than one acre. See <http://cfpub.epa.gov/npdes/stormwater/cgp.cfm> for more information.

☒ Yes ☐ No

If so, has an NOI been filed with the EPA?

☒ Yes ☐ No

Have you prepared a Stormwater Pollution Prevention Plan (SWPPP) as required by the EPA stormwater program?

If so, please attach a copy of the plan to this application.

☒ Yes ☐ No

If you are disturbing less than one acre of continuous area with your project, are you doing any of the following (check as applicable)?

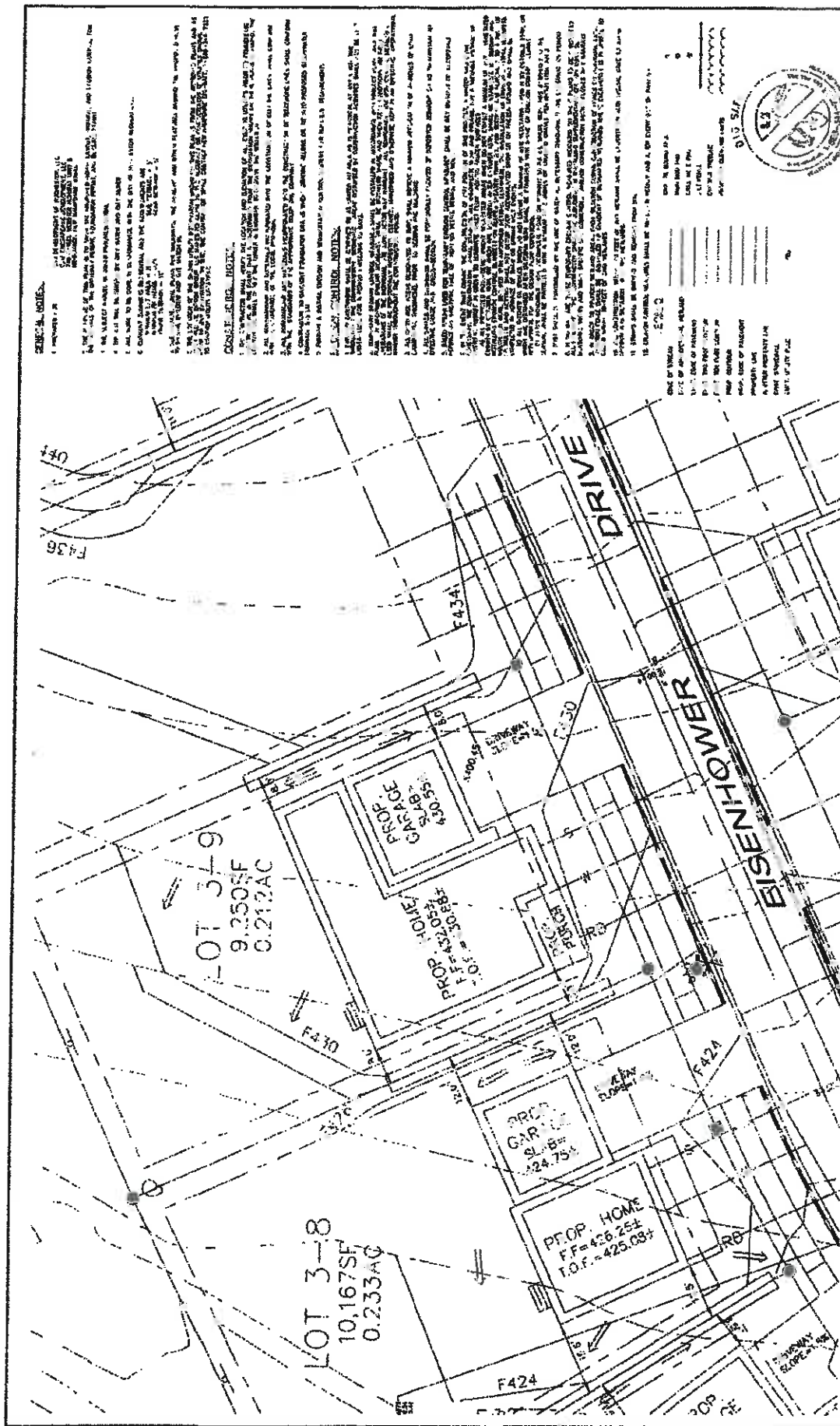
<input type="checkbox"/> Disturbing a cumulative area exceeding 20,000 sq. ft., unless the disturbance is solely related to construction or reconstruction of a street or road?	<input type="checkbox"/> Constructing more than three residential dwellings in the same subdivision or housing project at a time.
<input type="checkbox"/> Phasing more than three building lots per year in an existing or proposed subdivision.	<input type="checkbox"/> Constructing utilities requiring contiguous ground disturbance of more than 20,000 square feet outside the limits of an existing paved roadway.
<input type="checkbox"/> Performing work in or within 35 feet of a permanent or intermittent vernal pool, stream, or bog; within 35 feet of poorly drained or very poorly drained soils, or floodplain; disturbing areas exceeding 2,000 sq. ft. of highly erodible soils, or disturbing areas containing slope lengths exceeding 25 feet on slopes greater than 15 percent. ("critical areas")	

If any of the blocks above are checked, you are required to prepare and submit a Stormwater Management and Erosion Control Plan (Local Stormwater Plan). The plan shall be unique to the site and contain all the information required by sections 50.8 and 50.9 of the ordinance. A Federal SWPPP may be substituted for this plan provided that the SWPPP addresses all the elements of the Local Stormwater Plan.

If you are not required to prepare a SWPPP or a Local Stormwater Plan, briefly describe below what Best Management Practices (BMP's) you intend to use to prevent the movement of contaminated or large quantities of stormwater offsite or into water bodies, stormdrains, wetlands, or to prevent or control soil erosion. **Permit will not be issued without BMP description.**

Prepare sketch of site below. Show prominent features including property lines, structures, streets, critical areas, utilities, and proposed BMPs. If you have a separate site plan, septic design plan, lot plan, or similar plan, you may mark it up and attach it to this application. Sketch not required if a SWPPP or Local Stormwater Plan must be filed.





CONFIDENTIAL

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P.O. Box 1000, New York, NY 10001  
Tel: (212) 696-1000

The above information was obtained from a review of the files of the FBI, New York Office, and the files of the FBI, New Orleans Office.

[illegible]

5 COMPANY ISSUES TO BE RESOLVED AND THE AGED MEMBERS ARE  
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 2. TO BE 1.5 HOURS - 11  
 3. TO BE 1.5 HOURS - 11  
 4. TO BE 1.5 HOURS - 11  
 5. TO BE 1.5 HOURS - 11

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PHILO NOTES

1. W. C. Young, SALES, MANAGEMENT, AND FINANCIAL ANALYSIS, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370,

TO THE HONORABLE CHIEF OF POLICE, NEW YORK CITY  
FROM THE NEW YORK CITY POLICE DEPARTMENT  
SUBJECT: [REDACTED]

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FILED WITH THE UNITED STATES DISTRICT COURT FOR THE DISTRICT OF COLUMBIA, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655,

1. The first of the three is the "General Information" section, which contains the following information:

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**McAfee**

McAfee is a leading provider of security solutions, including anti-virus, email security, and web security. McAfee is a public company listed on the NASDAQ stock exchange under the ticker symbol MCFE.

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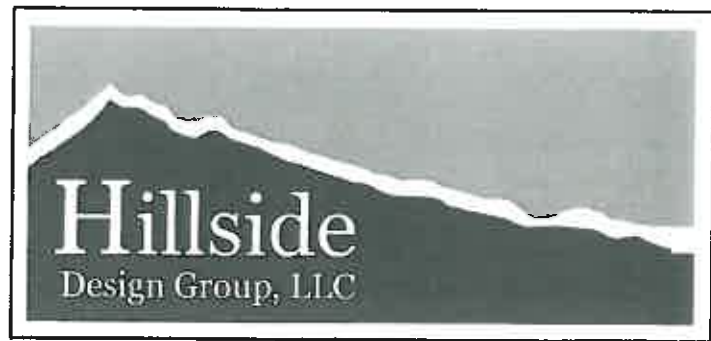
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DATE: FEBRUARY 20, 1991

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# Letter of Transmittal



To:

City of Rochester

City Hall

31 Wakefield Street

Rochester, NH 03867

Attn: Jim Grant

CC:

From: Hillside Design Group, LLC  
Matthew J. Peterson

Date: May 8, 2019

Project #: 2010 -0831-1

Re: "Highfield Commons"  
Tax Map 237, Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire

We are sending the following:

☐ Prints ☐ Shop Drawings ☐ Displays

☒ Plans ☐ Specifications ☐ Photographs

☒ Reports ☐ Correspondence ☐ \_\_\_\_\_

The enclosed are being transmitted:

☐ Approved per notes ☐ For your use ☐ As requested

☒ For approval ☐ For your review & comments ☐ Forbid(s) due

☐ Returned for correction ☐ \_\_\_\_\_

No.	Date	Copies	Description
1	5-8-19	1	Major Building Permit Application & RES Check Info.
2	5-8-19	1	Building Permit Fee - \$2,152.00.
3	5-8-19	1	Building Plans & 1 - 8x11 plan set.
4	5-8-19	1	Proposed Lot Sketch.
5	5-8-19	1	Cover Letter.
6	5-8-19	1	Certified Foundation Plan - Emailed Via KNA on 4-5-19 also to Staff.

Remarks: Please contact Matthew Peterson at (603) 496-3684 if you have any questions or require additional information regarding the submitted Building Permit.

May 8, 2019

City of Rochester  
Director of Code Enforcement Services  
31 Wakefield Street  
Rochester, NH 03867



**Re: Building Permit Application - "Highfield Commons" PUD Plan  
Tax Map 237; Lot 3-9  
24 Eisenhower Drive  
Rochester, New Hampshire**

Code Enforcement Services:

The enclosed package is being submitted for a building permit to the City of Rochester for the Highfield Commons subdivision project. As part of this submittal we have included a breakdown of anticipated building costs;

**Breakdown of Budgeted Home Building Costs:**

1. Heated Space (3,759 @ 102.91):	= \$386,838.69
2. Basement Space (125 @ 15.00):	= \$1,875.00
3. Garage Space (598 @ 38.65):	= \$23,112.70
Total Cost:	= \$411,826.39 or 412,000
Total Cost @ (60%):	= \$247,200 or 248,000
Total Cost Building Permit:	= \$248,000 - \$10,000(Foundation) = \$238,000

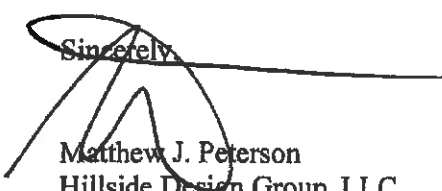
Cost of Building permit =  $238,000/1000 = 238 \times 9 = \$2,142$  plus \$10.00= **\$2,152.00**

Enclosed is the following material for your review and approval:

1. Major Building Permit Application and Fee.
2. Building Plans.
3. Lot Sketch Plan.
4. Res Check Compliance Application.
5. Certified Foundation Plan.

If you have any questions or comments please contact me at (603) 496-3684.

Sincerely,

  
Matthew J. Peterson  
Hillside Design Group, LLC  
746 D.W. Highway, Unit B  
Merrimack, NH 03054

501 D.W. Highway, Unit F • Merrimack NH, 03054 • Office 603-424-1132 • Fax 603-424-8998





# Major Building Permit Application

City of Rochester, New Hampshire  
Department of Building, Zoning, and Licensing Services  
33 Wakefield St. Rochester, NH  
Telephone: 603-332-3508

Issue Date:	_____
Permit #:	_____
Map#	<u>237A</u>
Lot#	<u>3</u>
Block#	<u>9</u>
Zoning	<u>PUD</u>

Location of Construction (Address): 24 Eisenhower Drive  
Property Owner: SDJ Development of Rochester LLC Phone #: 603-424-6904  
Mailing Address: 746 D.W. Highway Unit B City: Merrimack  
State: NH Zip Code: 03054 E-mail: chris@cdcnh.com, mpeterson@hillsidedg.com  
Contractor: Highfield Homes LLC Phone #: 603-424-6904  
Mailing Address: 746 D.W. Highway Unit B City: Merrimack  
State: NH Zip Code: 03054 E-mail: chris@cdcnh.com

<i>Proposed Construction is for:</i> <i>(Please Circle all that apply)</i>	<input checked="" type="radio"/> New Single-Family	<input type="radio"/> Replacement/ New Mobile Home	<input type="radio"/> Commercial Alteration
	<input type="radio"/> New Two-Family	<input type="radio"/> New Commercial Structure	<input type="radio"/> Repair/Replace non-residential
	<input type="radio"/> New Multi-Family	<input type="radio"/> Commercial Addition	<input type="radio"/> Other: _____
<i>Property Located in:</i> <i>(Respond to all)</i>	<input checked="" type="radio"/> Historic District (Yes/No)		<input checked="" type="radio"/> Approved Site Plan (Yes/No)
	<input checked="" type="radio"/> Major or Minor Subdivision (Yes/No)		<input checked="" type="radio"/> Shoreland Protection Zone (Yes/No)
	<input checked="" type="radio"/> Flood Hazard Area- per the Flood Insurance Rate Map (Yes/No)		
	Is proposed work located within 50 feet of a jurisdictional Wetland Area (Yes/No)-if so please document.		
<i>Land Information:</i>	<input checked="" type="radio"/> City Water (Yes/No)	<input checked="" type="radio"/> City Sewer (Yes/No)	<input checked="" type="radio"/> Corner Lot (Yes/No)
<i>Primary use of Property is:</i>	<input checked="" type="radio"/> Residential <input type="radio"/> Commercial <input type="radio"/> Mixed Use (Both Res & Com)		
<i>Construction Type:</i>	IA IIA <del>IIIA</del> IV VB		<i>Occupancy:</i> Use and Occupancy: <u>Res</u> Occupant Load: _____
	IB IIB IIIB VA		

Description of work to be performed: Construction of new Annebel Unit.

Page 2 - Section A

EXISTING (or PREVIOUS) CONDITIONS

Existing Use: (land only ☐ - If so skip to "B")

Residential ☐ Commercial ☐ Mixed Use (both) ☐

Existing Structures: (Existing Conditions)

Existing # of Buildings on site: \_\_\_\_\_

Total Sq Ft of existing building(s): \_\_\_\_\_

Garage Parking: \_\_\_\_\_ Exterior Parking: \_\_\_\_\_

Electrical Service: \_\_\_\_\_

Type of Heat: \_\_\_\_\_ Fuel Type: \_\_\_\_\_

# of Fireplaces: \_\_\_\_\_ # of Kitchens: \_\_\_\_\_

Foundation Type: \_\_\_\_\_ Building Height: \_\_\_\_\_

# of Full Baths: \_\_\_\_\_ # of Partial Baths: \_\_\_\_\_

For Residential Units: (Existing Conditions)

# of Units: \_\_\_\_\_

# of Bathrooms: \_\_\_\_\_

# of Bedrooms: \_\_\_\_\_

For Commercial Units: (Existing Conditions)

# of Units: \_\_\_\_\_

Office Area (sq ft): \_\_\_\_\_

Office Area (sq ft): \_\_\_\_\_

Page 2 - Section B

PROPOSED CONDITIONS

Proposed Use:

New Home Construction

Residential ☒ Commercial ☐ Mixed Use (both) ☐

Setbacks:

Front Setback: 15 Left Setbacks: 5

Rear Setback 5 Right Setbacks: 5

Proposed Structures: (Total of existing + proposed)

Proposed # of Buildings on site: \_\_\_\_\_

Total Sq Ft of proposed building(s): 1,850

Garage Parking: 2 Exterior Parking: N/A

Electrical Service: Yes

Type of Heat: Propane Fuel Type: Propane

# of Fireplaces: 1 # of Kitchens: 1

Foundation Type: Conc Building Height: 28'

# of Full Baths: 2 # of Partial Baths: 1

For Residential Units: (Total of existing + proposed)

Proposed # of units: 1

Proposed # of Bathrooms: 3

Proposed # of Bedrooms: 4

For Commercial Units: (Total of existing + proposed)

Proposed # of units: \_\_\_\_\_

Proposed Office Area: \_\_\_\_\_

Proposed Other Area: \_\_\_\_\_

ATTACHMENTS AND SUBMITTALS REQUIRED AT THE TIME OF APPLICATION	
For Residential 1 and 2 Family	For Commercial or Multi-unit Residential
Site Plan <input checked="" type="checkbox"/>	Site Plan – Approved Site Plans Must be Certified Prior to Issuance of Building Permits. <input type="checkbox"/>
Driveway Permit [Contact DPW (603) 332-4096] <input checked="" type="checkbox"/>	Driveway Permit [If Required] [Contact DPW (603) 332-4096] <input type="checkbox"/>
N.H. Approved Septic Design [If Required] <input type="checkbox"/>	N.H. Approved Septic Design <input type="checkbox"/>
Approved Storm Water Management Plan [Contact DPW (603) 332-4096] <input checked="" type="checkbox"/>	Approved Storm Water Management Plan [Contact DPW (603) 332-4096] <input type="checkbox"/>
One full set of building plans and PDF's <input checked="" type="checkbox"/>	Two full sets of plans and PDF's [Stamped When Required by RSA 310 -A] <input type="checkbox"/>
P.U. C. Prescriptive Compliance Application, Res Check Compliance Application, or <input type="checkbox"/>	Letter of Energy Compliance From Design Prof. [May Use Residential Compliance Options to a Maximum building size of 4000 Square Feet] <input type="checkbox"/>
Have you filled out page two Section A and B completely? <input checked="" type="checkbox"/>	Have you filled out page two Section A and B completely? <input type="checkbox"/>
Footing Certification – This is Due Prior to Foundation Inspection or Issuance of Building Permit. <input type="checkbox"/>	Footing Certification – This Is Due Prior to Foundation Inspection or Issuance of Building Permit. <input type="checkbox"/>
All Precedent Conditions of the Notice of Decision that was Approved by the Planning Board are met. <input checked="" type="checkbox"/>	Statement of Special Inspection [IBC Section 1705] [If Applicable] <input type="checkbox"/>
Fire Department – Fire Protection Plans and Review Fee Submitted In Addition to Building Permit/Fee [If Applicable] <input type="checkbox"/>	Fire Department – Fire Protection Plans and Review Fee Submitted In Addition to Building Permit/Fee. <input type="checkbox"/>

Please be advised, the order of inspections, for the BUILDING INSPECTOR ONLY, are as follows:

1. Reinforcing steel prior to placement of concrete
2. Foundation/ Pier Depth
3. Rough Framing ( After sub's have passed)
4. Insulation
5. Drywall Installation ( Prior to mud & tape)
6. Penetration Firestop
7. Final Inspection

**Note:** Not all inspections may apply to every situation and additional inspections may be required may be required as needed. Electrical, plumbing, and mechanical work all require additional inspections. Check with Fir Department for their required inspections.

Certification of Accuracy: As the owner/owners agent of record, I certify that all information contained within this application is true and accurate to the best of my knowledge and belief.

Certification of Compliance: I hereby certify that I am familiar with all pertinent codes relating to the above specified work, and that all work shall be performed in compliance with these codes, also that I am familiar with the City Rochester Ordinance , Chapter 42 and all use and dimensional regulations.

Inspections: This signed application constitutes consent on the applicant's part to allow for inspections at the property by the department of Building, Zoning, and Licensing Services, Assessing Office and any other required City Staff. Any work that is covered prior to the inspection may be required to be removed for inspection.

Certificate of Occupancy (C/O): A C/O must be issued PRIOR to any occupancy of residential and/or commercial structures. A Certificate of Occupancy shall be clearly displayed in all structures of non-residential uses. For Commercial Projects: As-Built Drawings must be submitted prior to Issuance of C/O.

Permits are non- transferable. If this is an "After the Fact" permit, it will be subject to a fee two times the normal permit fee.

Applicants are advised that the making of a false statement on this form is a criminal offense.

**40.16 Permits. (a) (4) Fees for building permits shall be waived for honorably discharged veteran of an active duty, National Guard or reserve member of the United States Armed Forces, who plans to construct or have constructed for himself a home or appurtenance to a home already owned by him for exclusive occupancy by himself and his immediate family. IF THIS APPLIES, PLEASE CHECK THE BOX. (VERIFICATION MAY BE REQUIRED) ☐**

Cost of Construction: 238,000 Permit Fee: 2,152.00

Permit fee is based on \$9.00 per \$1,000.00 of Construction Cost (Rounded Up Nearest \$1,000.00) plus a \$10.00 application fee. Minimum Permit Fee is \$20.00

  
Applicant Signature

5/8/19  
Date

\*\*\*OFFICE USE ONLY – DO NOT WRITE IN THIS SPACE\*\*\*

Paid: ☐ Cash \$ \_\_\_\_\_ ☐ Check # \_\_\_\_\_

THIS PERMIT IS: ☐ ISSUED with the following conditions: ☐ DENIED for the following reason(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Approved By: \_\_\_\_\_ Date: \_\_\_\_\_

Department of Building, Zoning, and Licensing Services



# REScheck Software Version 4.6.5 Compliance Certificate

**Project**      The Annabel - Lot 237A-3-9, 24 Eisenhower Drive

Energy Code:            **2009 IECC**  
Location:                **Rochester, New Hampshire**  
Construction Type:    **Single-family**  
Project Type:           **New Construction**  
Conditioned Floor Area: **3,759 ft<sup>2</sup>**  
Glazing Area            **10%**  
Climate Zone:          **5 (7002 HDD)**  
Permit Date:  
Permit Number:

Construction Site:  
24 Eisenhower Drive  
Rochester, NH

Owner/Agent:  
SDJ Development LLC Chris  
Strickler  
c/o Chesapeake Development LLC  
746 D.W. Highway Unit B  
Merrimack, NH 03054  
603-424-6904

Designer/Contractor:  
Highfield Homes LLC c/o Chris  
Strickler  
746 D.W. Highway Unit B  
Merrimack, NH 03054  
603-424-6904

## Compliance: Passes using UA trade-off

Compliance: **7.6% Better Than Code**      Maximum UA: **514**      Your UA: **475**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.  
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	2,504	38.0	0.0	0.030	75
Wall 1: Wood Frame, 16" o.c.	3,915	21.0	0.0	0.057	193
Window 1: Vinyl Frame:Double Pane with Low-E	378			0.290	110
Door 1: Solid	144			0.230	33
Floor 1: All-Wood Joist/Truss:Over Unconditioned Space	1,942	30.0	0.0	0.033	64

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck Version 4.6.5 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Hillside Design Group

Signature

Date

5/8/19





## REScheck Software Version 4.6.5

# Inspection Checklist

Energy Code: 2009 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.2 [PR1] <sup>1</sup> u	Construction drawings and documentation demonstrate energy code compliance for the building envelope.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.2, 403.7 [PR3] <sup>1</sup> u	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the commercial code.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [PR2] <sup>2</sup> u	Heating and cooling equipment is sized per ACCA Manual S based on loads per ACCA Manual J or other approved methods.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11] <sup>2</sup> ✓	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.8 [FO12] <sup>2</sup> ☹	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] <sup>1</sup> ☹	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] <sup>1</sup> ☹	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] <sup>1</sup> ☹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.4 [FR20] <sup>1</sup> ☹	Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] <sup>2</sup> ☹	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.1 [FR12] <sup>1</sup> ☹	Supply ducts in attics are insulated to ≥R-8. All other ducts in unconditioned spaces or outside the building envelope are insulated to ≥R-6.	R-____ R-____	R-____ R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.2 [FR13] <sup>1</sup> ☹	All joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts are sealed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.3 [FR15] <sup>3</sup> ☹	Building cavities are not used for supply ducts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3 [FR17] <sup>2</sup> ☹	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR18] <sup>2</sup> ☹	Circulating service hot water pipes are insulated to R-2.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5 [FR19] <sup>2</sup> ☹	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] <sup>2</sup> ☞	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN1] <sup>1</sup> ☞	Floor insulation R-value.	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.6 [IN2] <sup>1</sup> ☞	Floor insulation installed per manufacturer's instructions, and in substantial contact with the underside of the subfloor.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.4, 402.2.5 [IN3] <sup>1</sup> ☞	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies.	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-_____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] <sup>1</sup> ☞	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1   High Impact (Tier 1)	2   Medium Impact (Tier 2)	3   Low Impact (Tier 3)
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2 [FI1] <sup>1</sup> ☺	Ceiling insulation R-value. Where > R-30 is required, R-30 can be used if insulation is not compressed at eaves. R-30 may be used for 500 ft <sup>2</sup> or 20% (whichever is less) where sufficient space is not available.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [FI2] <sup>1</sup> ☺	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft <sup>2</sup> .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [FI3] <sup>1</sup> ☺	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.2, 402.4.2.1 [FI17] <sup>1</sup> ☺	Building envelope tightness verified by blower door test result of <7 ACH at 50 Pa. This requirement may instead be met via visual inspection, in which case verification may need to occur during Insulation Inspection.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.2 [FI4] <sup>1</sup> ☺	Post construction duct tightness test result of ≤8 cfm to outdoors, or ≤12 cfm across systems. Or, rough-in test result of ≤6 cfm across systems or ≤4 cfm without air handler. Rough-in test verification may need to occur during Framing Inspection.	____ cfm	____ cfm	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [FI9] <sup>2</sup> ☺	Programmable thermostats installed on forced air furnaces.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [FI10] <sup>2</sup> ☺	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FI11] <sup>2</sup> ☺	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] <sup>1</sup> ☺	50% of lamps in permanent fixtures are high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [FI7] <sup>2</sup> ☺	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [FI18] <sup>3</sup> ☺	Manufacturer manuals for mechanical and water heating equipment have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Project Title: The Annabel - Lot 237A-3-9, 24 Eisenhower Drive

Report date: 05/08/19

Data filename: C:\Users\User\Documents\Hillside-Design-Projects\2010-0831-1-Rochester\2010-0831-1\DWG\Phase1B\Building-Lots-Permits-Plans\Lot-237A-3-9-24EISENHOWER\ResCheck-Annabel.rck

Page 7 of 7



## 2009 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	21.00
Below-Grade Wall	0.00
Floor	30.00
Ceiling / Roof	38.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
Window	0.29	
Door	0.23	

Heating & Cooling Equipment	Efficiency
Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

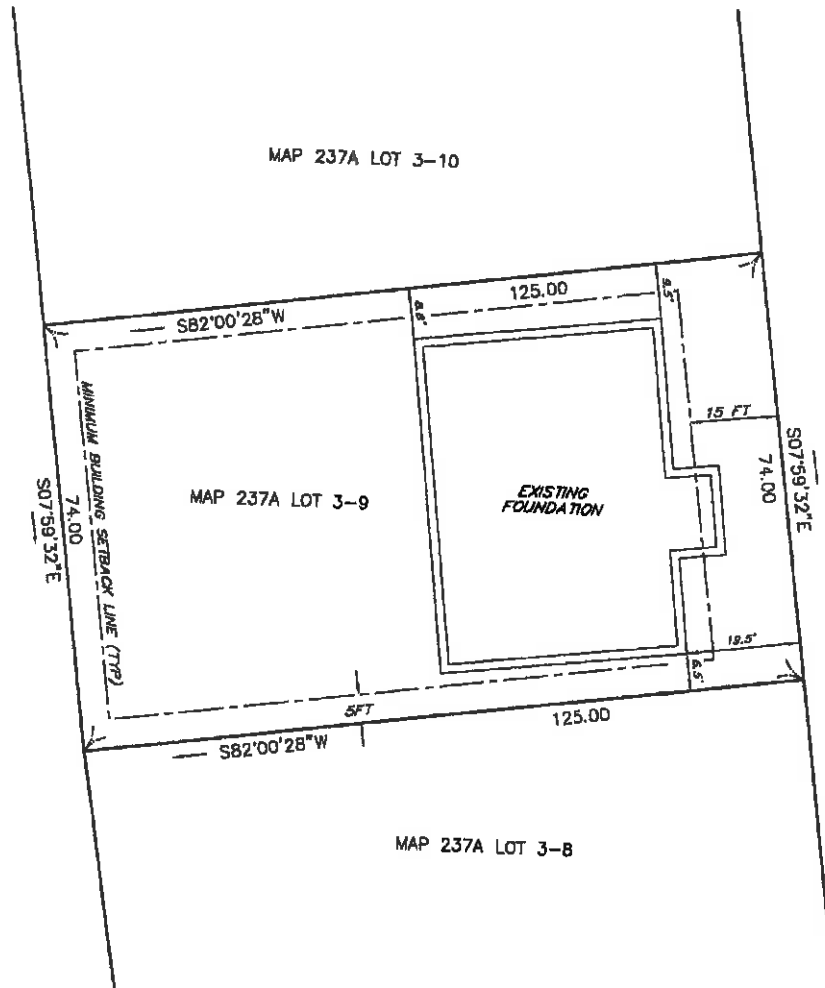
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comments

# CERTIFIED FOUNDATION AS-BUILT PLAN

MAP 237A LOT 3-9  
24 EISENHOWER DRIVE  
ROCHESTER, N.H.

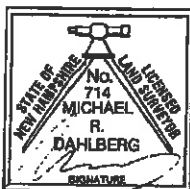
SCALE: 1"= 20' 4-05-2019



I CERTIFY THAT THE FOUNDATION SHOWN COMPLIES  
WITH THE CITY OF ROCHESTER BUILDING SETBACK  
REQUIREMENTS EXCEPT AS SHOWN HEREON.

*Michael R. Dahlberg*  
LICENSED LAND SURVEYOR

4-5-19  
DATE

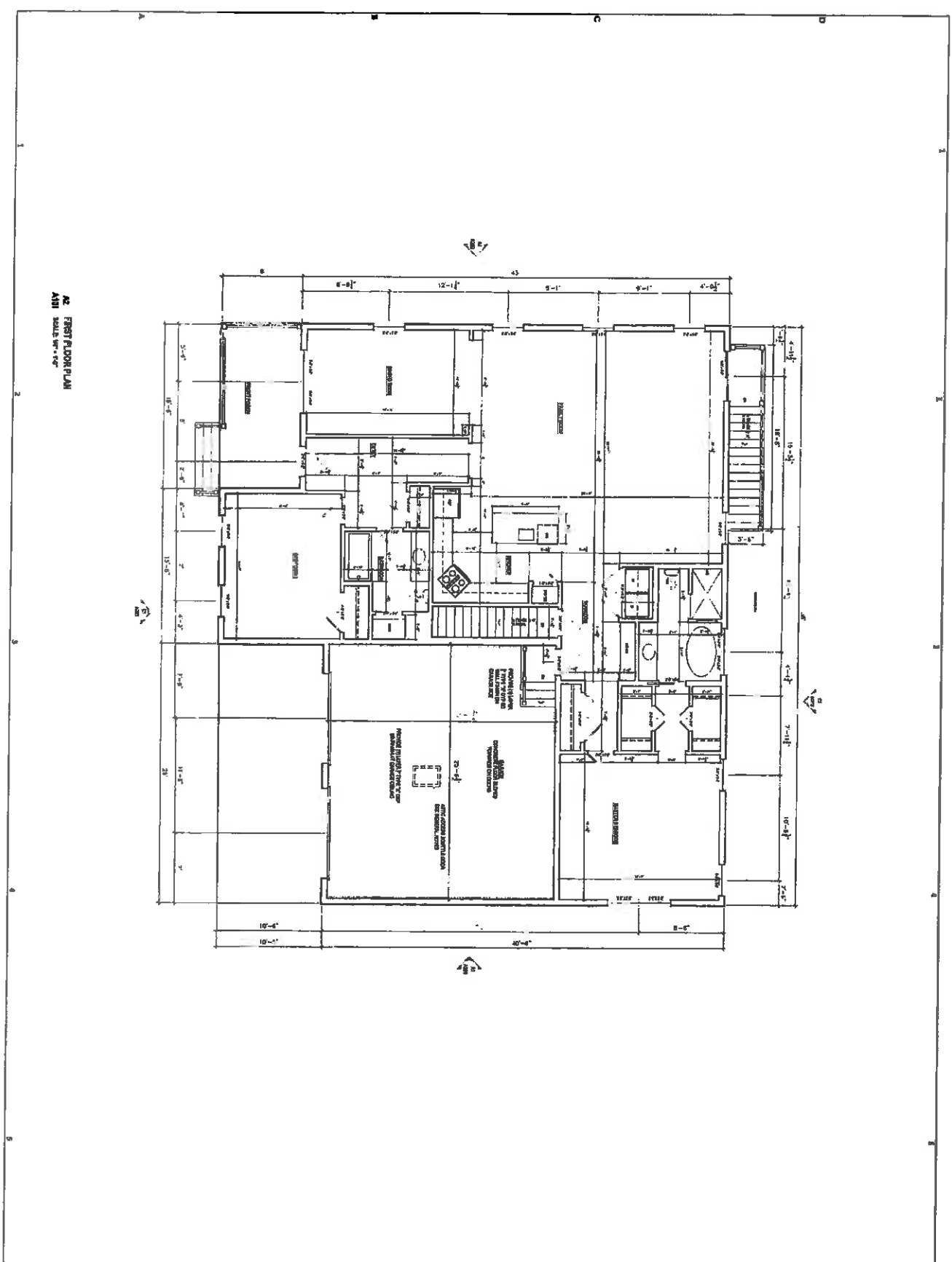


**KMA** KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

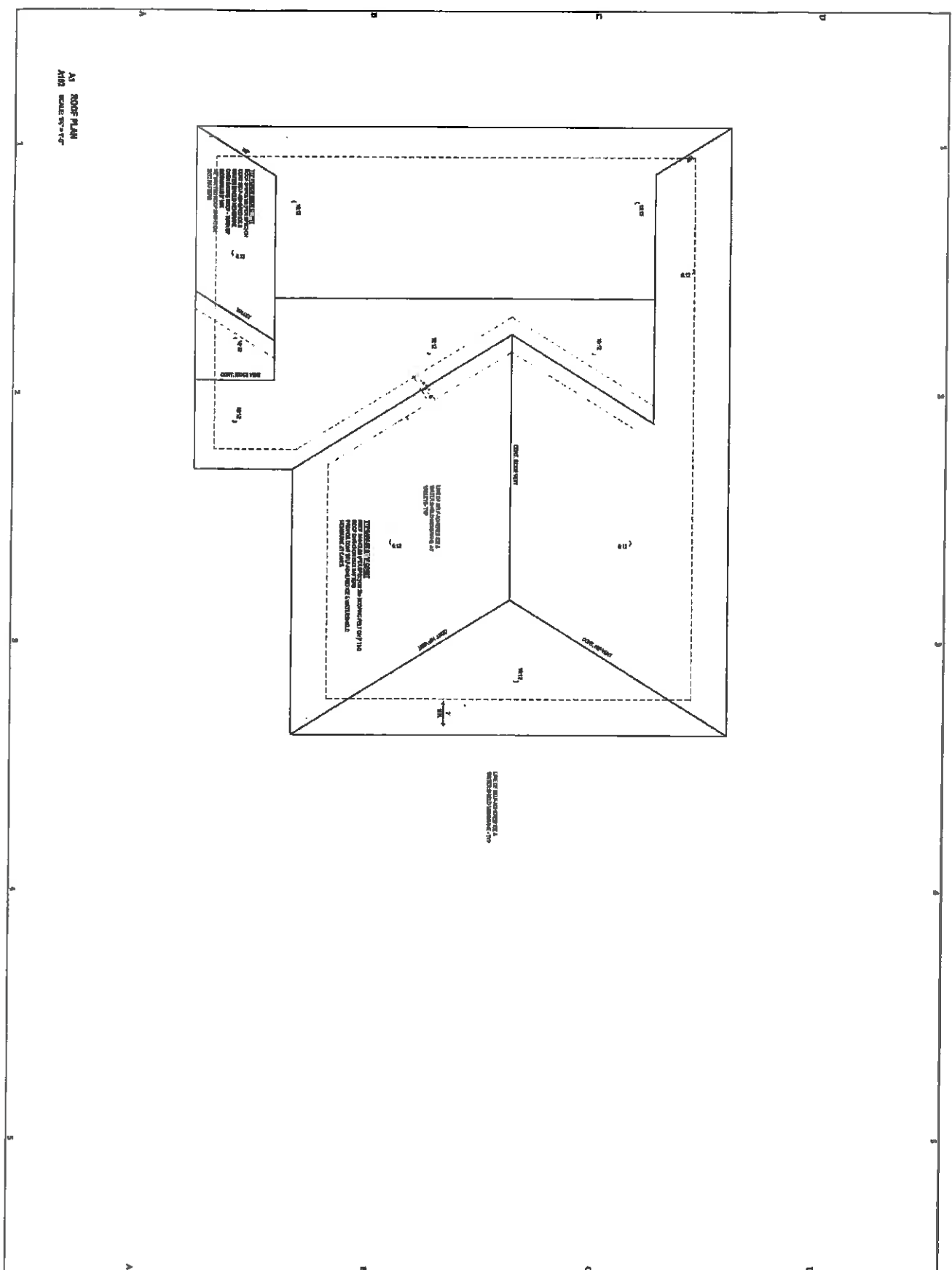


JOB #	
DATE	1 APRIL 2018
SCALE	AS NOTED
FOUNDATION PLAN	



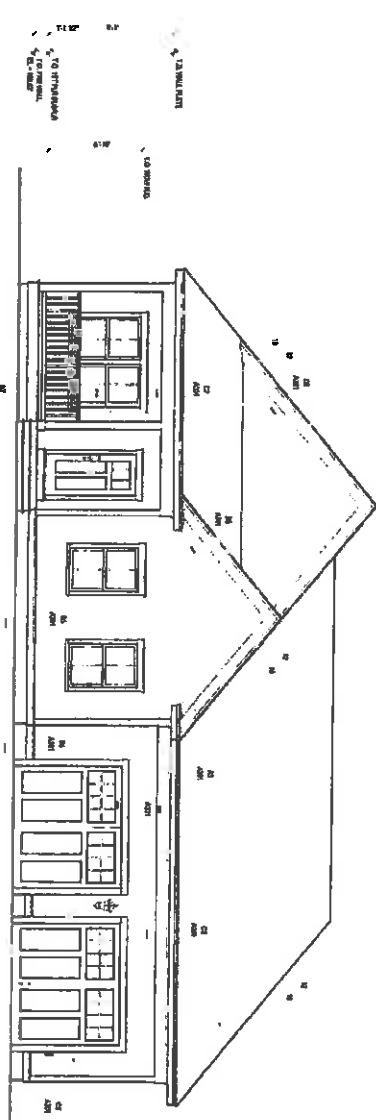
N2 FIRST FLOOR PLAN  
ANSI SCALE 1/8" = 1'-0"

<p><b>Item design LLC</b> 1400 North Main Street, Suite 100 Rochester, NH 03060 Tel: (603) 424-4304 Fax: (603) 424-4305 www.itemdesign.com</p>	<p><b>CLIENT:</b> HIGHFIELD HOMES, LLC 24 EISENHOWER DRIVE ROCHESTER, NH 03064</p>	<p>These drawings and specifications, including the three red arrangements represented herein, are the property of the Designer. The Designer or Author of these documents, shall retain all common law, statutory and other reserved rights including copyright. No part hereof shall be copied, reproduced or used in connection with any other project without the specific written consent of the Designer. (b) (2) Design/Construct. Written permission shall be given prior to any reproduction or use of these drawings. The Designer shall be notified of any changes to the drawings prior to any changes prior to work being initiated. (c) (2) Design/Construct. The Designer shall be notified of any changes to the drawings prior to work being initiated. The Designer shall be held responsible for the validity of all dimensions and measurements and shall be responsible for any errors or omissions in the drawings. Copyright © 2010 Item design LLC</p>
	<p><b>PROJECT:</b> THE ANNABELLE 24 EISENHOWER DRIVE ROCHESTER, NH 03064</p>	
	<p><b>DATE:</b> 1 APRIL 2010</p>	
	<p><b>SCALE:</b> AS NOTED</p>	
	<p><b>PLAN:</b> FIRST FLOOR PLAN A101</p>	

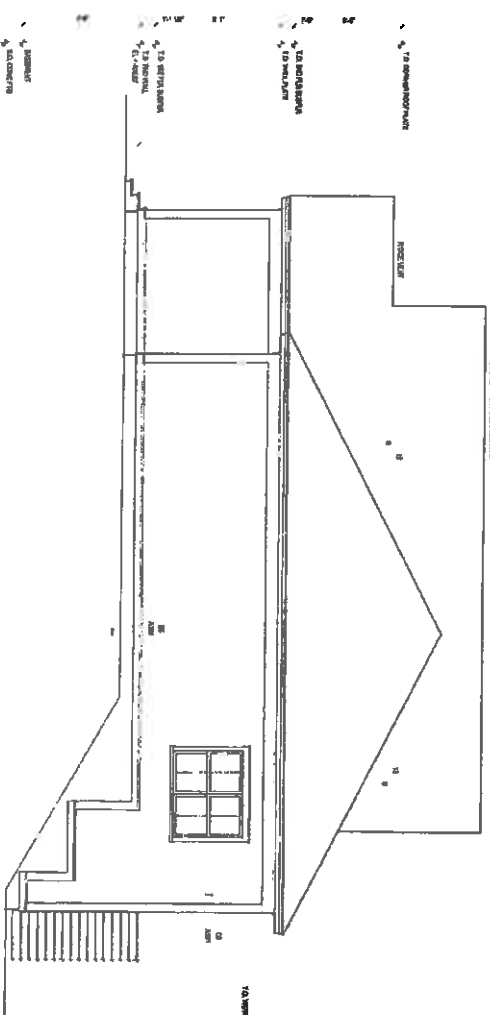


<b>lkm design inc</b> 100 Main Street, Suite 100 Rochester, NH 03066 Tel: (603) 424-0904 Fax: (603) 424-0905 Email: info@lkmdesign.com		<b>CLIENT:</b> HIGHFIELD HOMES, LLC 24 E. Highway Littleton, CO 80120 Tel: (303) 424-0904 Fax: (303) 424-0905 Email: info@highfieldhomes.com		<b>PROJECT:</b> The Annabelle HIGHFIELD COMMONS 24 Eisenhower Dr. Rochester, New Hampshire Strafford County Lot #	
<b>DATE:</b> 1 APRIL 2019 <b>SCALE:</b> AS NOTED <b>DESIGNER:</b> [Signature] <b>CHECKED:</b> [Signature] <b>DATE:</b> 1 APRIL 2019		<b>ROOF PLAN</b> <b>A102</b>			





51 FRONT ELEVATION  
A201 SCALE: 1/8" = 1'-0"



A1 GARAGE SIDE ELEVATION  
A201 SCALE: 1/8" = 1'-0"

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**ikm design llc**  
1000 Main Street  
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Fax: (603) 424-4904  
Email: info@ikmdesign.com  
Website: www.ikmdesign.com

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**CLINCH**  
HIGHERFIELD HOMES, LLC  
1000 Main Street  
Rochester, NH 03060  
Tel: (603) 424-4904  
Fax: (603) 424-4904  
Email: info@ikmdesign.com  
Website: www.ikmdesign.com

**The Annabelle  
HIGHERFIELD COMMONS**  
24 Eisenhower Dr.  
Rochester, New Hampshire  
Strafford County  
Lot #

A201	ELEVATIONS	DATE: 1 APRIL 2018	SCALE: AS NOTED	SHEET #
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DATE ORDERED: 02/02/2003 BY: 000567/ALP

CONFIDENTIAL

**ESSENTIALS OF THE JOURNAL**

12345

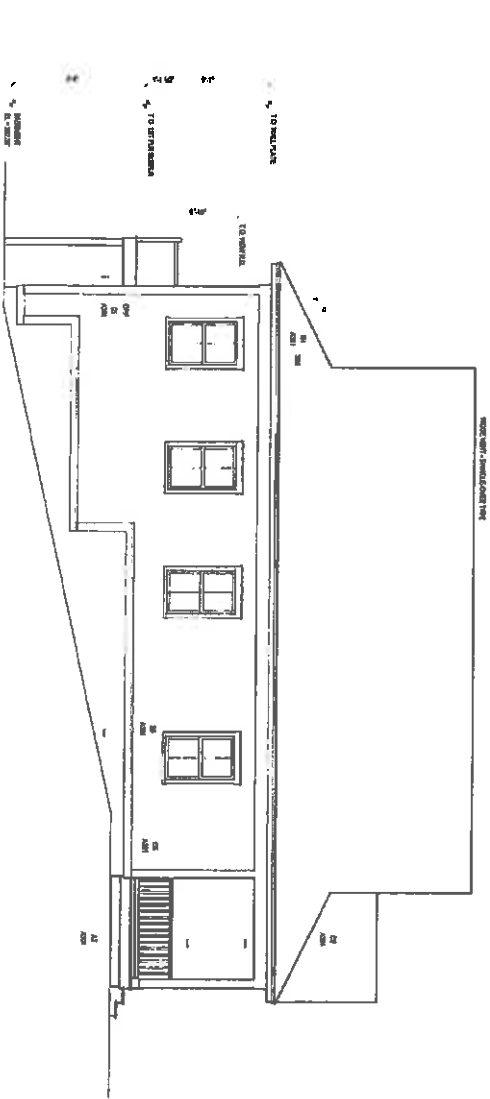
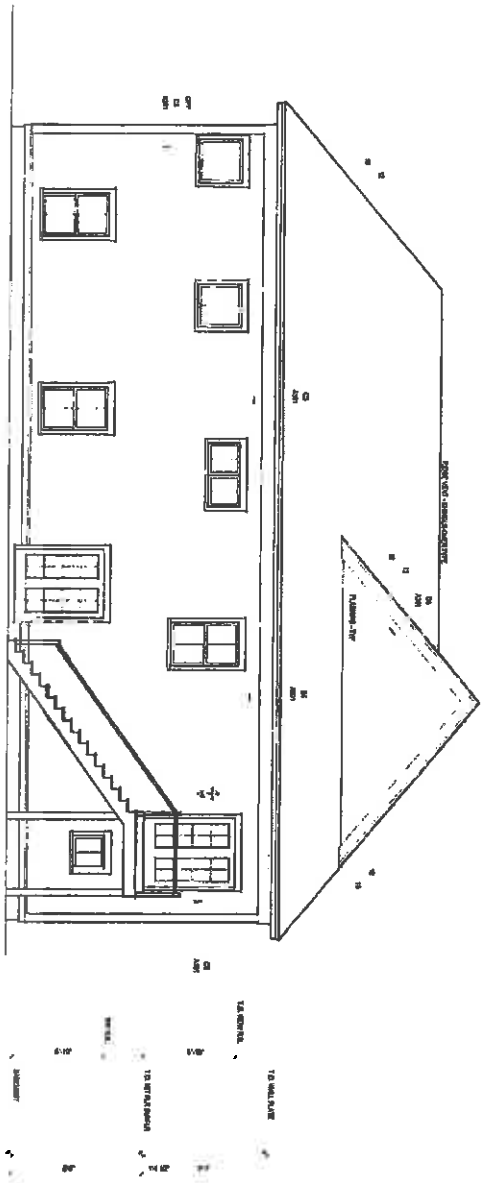
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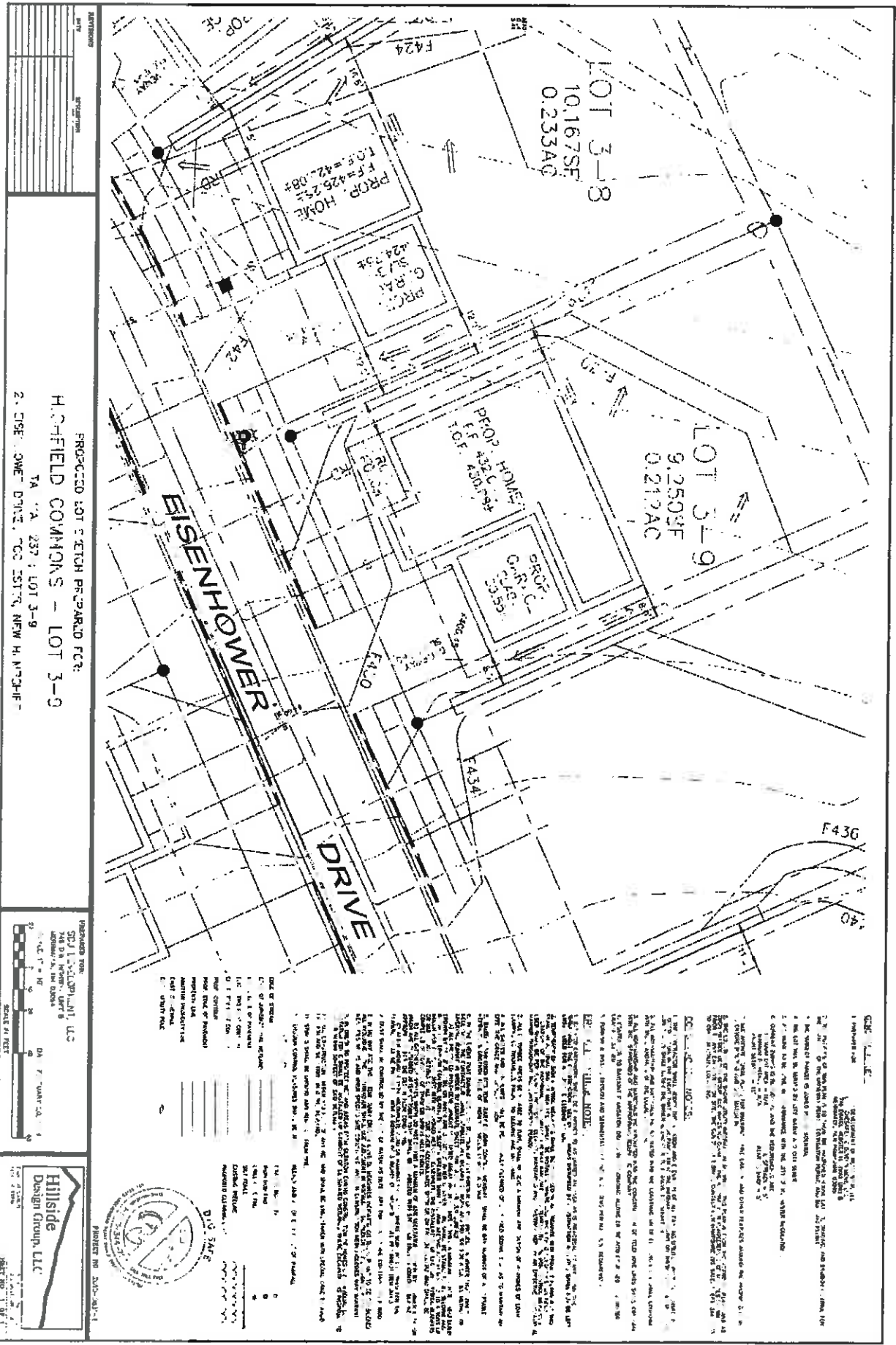
1101

SCALE: 0" = 1"

**NEW BOOKS**







PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8  
HOFFFIELD COMMONS - LOT 3-9  
TA 10.1675F LOT 3-8  
2.05E 0.233AC LOT 3-9  
2.05E 0.2172AC LOT 3-9

DESIGNED FOR: HILLSIDE DESIGN GROUP, LLC  
DATE: 2010-01-11  
SCALE: AS SHOWN  
Hillside Design Group, LLC  
10111 1st Street, Suite 100  
Hillside, IL 60162  
Tel: 708.441.1111  
Fax: 708.441.1112  
www.hillsidegroup.com

**NOTES:**

1. THE PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8 IS SHOWN ON THE ATTACHED MAP. THE PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8 IS SHOWN ON THE ATTACHED MAP. THE PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8 IS SHOWN ON THE ATTACHED MAP.
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**LEGEND:**

- PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8
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- PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8
- PROPOSED LOT 3-9 EATCH PROPOSED LOT 3-8

**DATE:** 2010-01-11

**PREPARED BY:** HILLSIDE DESIGN GROUP, LLC

**SCALE:** AS SHOWN

**PROJECT NO:** 2010-01-11

# **TITLE LXIV PLANNING AND ZONING**

## **CHAPTER 674**

### **LOCAL LAND USE PLANNING AND REGULATORY POWERS**

#### **Zoning Board of Adjustment and Building Code Board of Appeals**

##### **Section 674:33-a**

###### **674:33-a Equitable Waiver of Dimensional Requirement. –**

I. When a lot or other division of land, or structure thereupon, is discovered to be in violation of a physical layout or dimensional requirement imposed by a zoning ordinance enacted pursuant to RSA 674:16, the zoning board of adjustment shall, upon application by and with the burden of proof on the property owner, grant an equitable waiver from the requirement, if and only if the board makes all of the following findings:

(a) That the violation was not noticed or discovered by any owner, former owner, owner's agent or representative, or municipal official, until after a structure in violation had been substantially completed, or until after a lot or other division of land in violation had been subdivided by conveyance to a bona fide purchaser for value;

(b) That the violation was not an outcome of ignorance of the law or ordinance, failure to inquire, obfuscation, misrepresentation, or bad faith on the part of any owner, owner's agent or representative, but was instead caused by either a good faith error in measurement or calculation made by an owner or owner's agent, or by an error in ordinance interpretation or applicability made by a municipal official in the process of issuing a permit over which that official had authority;

(c) That the physical or dimensional violation does not constitute a public or private nuisance, nor diminish the value of other property in the area, nor interfere with or adversely affect any present or permissible future uses of any such property; and

(d) That due to the degree of past construction or investment made in ignorance of the facts constituting the violation, the cost of correction so far outweighs any public benefit to be gained, that it would be inequitable to require the violation to be corrected.

II. In lieu of the findings required by the board under subparagraphs I(a) and (b), the owner may demonstrate to the satisfaction of the board that the violation has existed for 10 years or more, and that no enforcement action, including written notice of violation, has been commenced against the violation during that time by the municipality or any person directly affected.

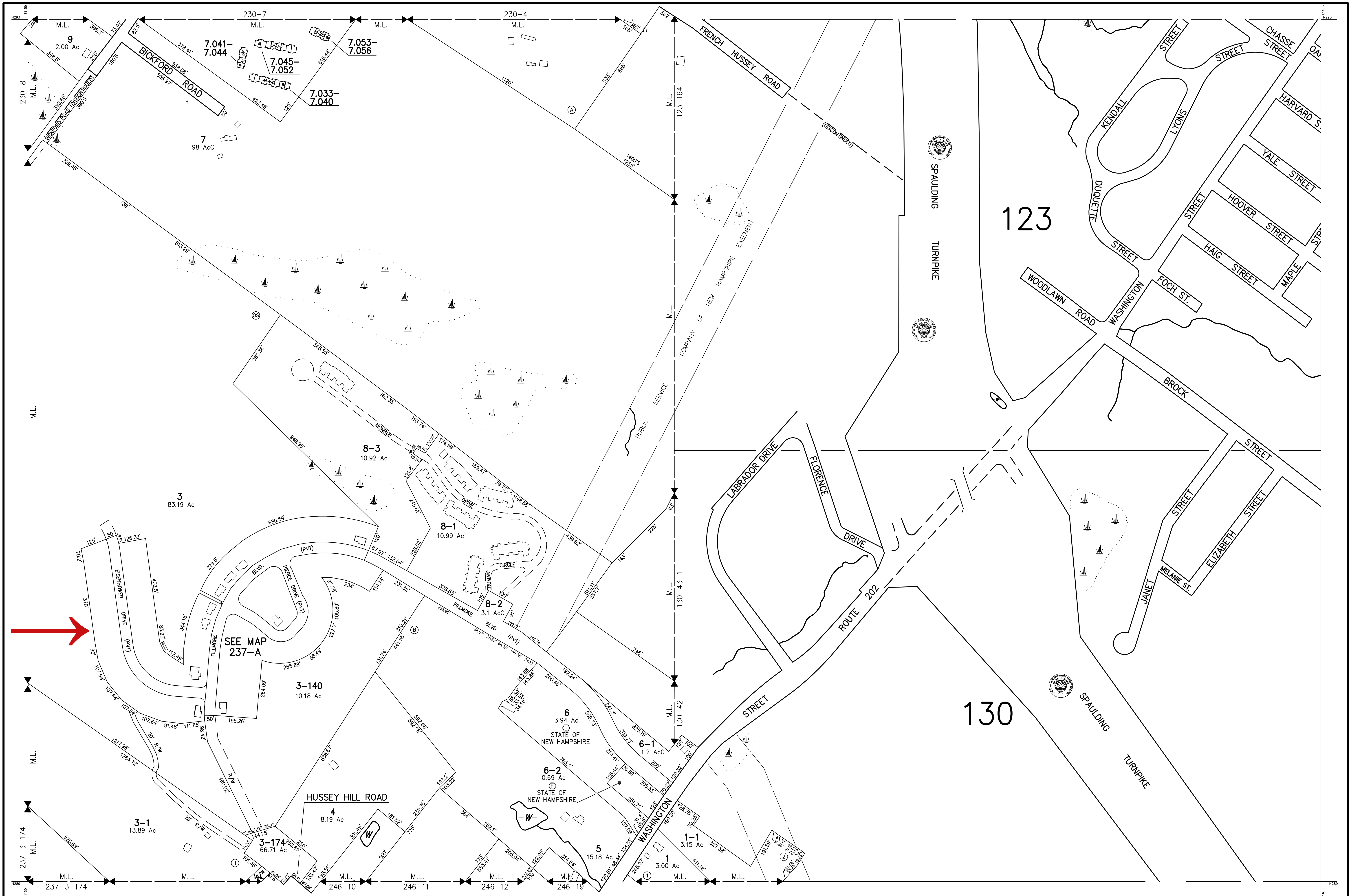
III. Application and hearing procedures for equitable waivers under this section shall be governed by RSA 676:5 through 7. Rehearings and appeals shall be governed by RSA 677:2 through 14.

IV. Waivers shall be granted under this section only from physical layout, mathematical or dimensional requirements, and not from use restrictions. An equitable waiver granted under this section shall not be construed as a nonconforming use, and shall not exempt future use, construction, reconstruction, or additions on the property from full compliance with the ordinance. This section shall not be construed to alter the principle that owners of land are bound by constructive knowledge of all applicable requirements. This section shall not be construed to impose upon municipal officials any duty to guarantee the correctness of plans reviewed by them or property inspected by them.

**Source.** 1996, 226:4, eff. Jan. 1, 1997.







THIS MAP IS FOR ASSESSMENT PURPOSES. IT IS NOT VALID FOR LEGAL DESCRIPTION OR CONVEYANCE.

THE HORIZONTAL DATUM IS THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM.

PHOTOGRAPHY DATE: APRIL 28, 1990

COMPLETION DATE: JUNE 30, 1992

PRODUCED IN 1992 BY

**CAI Technologies**

Precision Mapping/ Geospatial Solutions.

11 PLEASANT STREET, LITTLETON, NH 03661  
800.322.4540 - WWW.CAI-TECH.COM

LEGEND

AREA SURVEYED . . . . . Ac

AREA CALCULATED . . . . . AcC

RECORD DIMENSION . . . . . 100'

SCALED DIMENSION . . . . . 100'S

MATCH LINE . . . . . M.L.

WATER . . . . . W

EXEMPT PROPERTY, SUBDIVISION LOT NO. . . . .

RIGHT OF WAY . . . . . R/W

COMMON OWNERSHIP . . . . .

WETLANDS . . . . .

SCALE 1" = 200'

FEET 0 100 200 400 600

METERS 0 50 100 150

REVISED TO : APRIL 1, 2019

PROPERTY MAPS

**ROCHESTER**

NEW HAMPSHIRE

INDEX DIAGRAM

231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246

MAP NO.

**237**

Map      Block      Lot

**Building Location**  
24 EISENHOWER DR

RESIDENTIAL

Acct: 13142

**City of Rochester**

APPRaised:  
USE VALUE:  
ASSESSed:

<b>Total Card</b>	<b>Total Parcel</b>
165,400 /	165,400
0 /	0
165,400 /	165,400



**Patriot**  
Properties Inc.  
**User Defined**

### Property Location

No.	Alt No.	Direction/Street/City
24		EISENHOWER DR, ROCHESTER

## Ownership

Owner 1	SDJ DEV OF ROCHESTER LLC				
Owner 2	% CHESAPEAKE DEV LLC				
Owner 3					
Street 1	746 DANIEL WEBSTER HWY UNIT B				
Street 2					
Town/City	MERRIMACK				
St/Prov	NH	Country		Occ	
Postal	03054			Type	

### Previous Owner

Owner 1	183 WASHINGTON ST LLC		
Owner 2	% CHESAPEAKE DEV LLC		
Street 1	501 DANIEL WEBSTER HWY		
Town/City	MERRIMACK		
St/Prov	NH	Country	
Postal	03054		

### Narrative Description

This parcel contains 0.21000 AC of land mainly classified as SINGLE FAM with a RANCH Building built about 2019, having primarily VINYL Exterior and 1,946 Square Feet, with 1 Residential Unit, 1 Bath, 1 3/4 Bath, 1 Half Bath.

## Other Assessments

Code	Description	Amount	Com In

## Property Factors

Item	Code	Description	%	Item	Code	Description
Zone 1	A	AGRICULTURAL	100	Utility 1	4	NONE
Zone 2				Utility 2		
Zone 3				Utility 3		
Census Tract				Exempt		
Flood Hazard						
District 1	RO	ROCHESTER	0	Topo	4	ROLLING
District 2				Street	1	PAVED
District 3				Traffic	4	MEDIUM

### Land Section (First 9 Lines Only)

Use Code	Description	LUC Factor	No of Units	Depth/ Price/Unit	Unit Type	Land Type	LT Factor	Base Value	Unit Price	Adjusted Unit Price	Neigh	Neigh Inft	Neigh Modifier	Inft 1	%	Inft 2	%	Inft 3	%	Appraised Value	Alt Class	%	Spec Land	Juris	Land Factor	Assessed Value	Notes
101	SINGLE FAM	1.0000	0.2100		PRIMARY ACRE	SITE	1.00000		65,000.00	272,857.14	1308	1.000	H							57,300					1.00000	57,300	
Total AC/HA		0.210000		Total SF/SM		9,147.60000		Parcel LUC		101	SINGLE FAM		Prime NB Desc		RESIDENTIAL		Total		57,300.00	Total				Total		57,300	

### In Process Appraisal Summary (First 4 Lines Only)

Use Code	Land Size	Building Value	Yard Items	Land Value	Total Value
101	0.21	108,100.00	0.00	57,300.00	165,400.00
Total Card	0.21	108,100.00	0.00	57,300.00	165,400.00
Total Parcel	0.21	108,100.00	0.00	57,300.00	165,400.00
Source	Mkt Adj Cost	Total Value per Sq Unit / Card	84.99	/Parcel	84.99

### Previous Assessment (First 9 Lines Only)

Tax Yr	Use	Cat	Bldg Value	Yrd Items	Land Size	Land Value	Total Value	Assessed Value	Notes	Date
2020	101	FV1	108,100	0	0.2100	57,300	165,400	165,400		05/01/2021
2019	101	FV	0	14,200	0.2100	57,300	71,500	71,500		10/30/2019
2018	016	FV	0	0	0.1700	475	475	107	Year End Roll	09/19/2019
2017	016	FV	0	0	0.1700	475	475	105	Year End Roll	09/07/2019
2016	016	FV	0	0	0.1700	475	475	105	Year End Roll	09/08/2019
2015	016	FV	0	0	0.1700	475	475	105	Year-end	10/01/2019
2014	016	FV	0	0	0.1700	475	475	105	Year End Roll	09/29/2019
2013	016	FV	0	0	0.1700	625	625	106	Year End Roll	09/04/2019
2012	016	FV	0	0	0.1700	625	625	109	Year End Roll	09/20/2019

**Sales Information (First 5 Lines Only)**

Grantor	Legal Ref	Type	Date	Sale Code	Sale Price	V	TSF	Verification	Notes
183 WASHINGTON ST LLC	3927-453	1	10/09/2010	Business Aff	2,585,001.00	No	No	OTHER	
HIGHFIELD COMMONS OF ROCKES	3743-558	1	05/28/2009	Current Use	1,350,001.00	No	No	OTHER	

### Building Permits (First 8 Lines Only)

Date	Number	Description	Amount	C/O	Last Visit	Fed Code	F. Description	GeneralNotes
04/08/2020	E-20-134	ELECTRIC	9,500.00	O		1	RES CONST	
03/11/2019	B-19-104	FOUNDATION	10,000.00	O	04/20/2020	1	RES CONST	

### Activity Information (First 11 Lines Only)

Date	Result	By	Name
08/06/2019	CORRECTION	rochester1	Darcy.Freer
06/25/2019	CORRECTION	TG	THERESA
04/03/2019	MAPPING CHG	JR	JON
09/11/2015	OWN ADD CHG	LA	LEONA
05/31/2011	DEED CHANGE	VB	VERNA

## Card

1 of 1

Exterior Information

Type	01 - RANCH		
Story Height	1 - 1		
(Liv) Units	1	Total	1
Foudation	1 - CONCRETE		
Frame	01 - WOOD		
Prime Wall	4 - VINYL		
Sec Wall			
Roof Struct	1 - GABLE		
Roof Cover	1 - ASPH SHINGLE		
Color			
View/Desir	NONE		
Bld Name			

General Information

Grade	B- - GOOD (-)		
Year Blt	2019	Eff Yr Blt	
Alt LUC		Alt %	
Jurisdic		Fact	1.00000
Const Mod			
Lump Sum Adj			

Interior Information

Avg Ht/Ft			
Prime Int Wall	6 - AVERAGE		
Sec Int Wall			
Partition	T - TYPICAL		
Prim Floors			
Sec Floors			
Basement Floors	12 - CONCRETE		
Subfloor			
Basement Garage			
Electric	2 - GOOD		
Insulation	2 - TYPICAL		
Int vs Ext	SAME - SAME		
Heat Fuel	10 - PROPANE		
Heat Type	17 - GEOTHERMAL		
# Heat Sys	1.00		
% Heated	100	% AC	0
Solar HW	No	Cntrl Vac	No
% Com Wall	0	% Sprinkled	0

Special Features/Yard Items (First 20 Lines Only)

Code	Description	A	Y/S	Qty	Size/Dim	Qual	Con	Year	Unit Price	D/S	Dep	LUC	Fact	NB	Fact	Appr Value	J Code	J Fact	Juris Value
More	N	Total Yard Items				Total Special Features				Total SFYI									

Bath Features

Full Bath	1	Rating	SAME	
A Bath		Rating		
3/4 Bath	1	Rating	SAME	
A 3QBath		Rating		
1/2 Bath	1	Rating	SAME	
A HBath		Rating		
Othr Fix		Rating		

Other Features

Kitchen	1	Rating	SAME	
A Kitchen		Rating		
Fireplace		Rating		
WSFlues		Rating		

Condo Information

Location			
Total Units	0		
Floor			
% Own			
Name			

Depreciation

Phys Cond	AV - Average	
Functional		
Economic		
Special	NC - NEWCON	62%
Override		
Total	62%	

Calc Summary

Basic \$ / SQ	101.00000
Size Adj	0.93256
Const Adj	1.03000
Adj \$ / SQ	97.01000
Other Features	39,530.00
Grade Factor	1.18000
NBHD Inf	1.00000
NBHD Mod	0.84000
LUC Factor	1.00000
Adj Total	284,517
Depreciation	176,401
Depricated Total	108,116

Comments

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Res Breakdown (First 4 Only)

No Unit	Rooms	Bed Rooms	Floor
Totals			

Remodeling

Exterior	
Interior	
Additions	
Kitchen	
Baths	
Plumbing	
Electric	
Heating	
General	

Mobile Home

Make	
Model	
Serial #	
Year	0
Color	

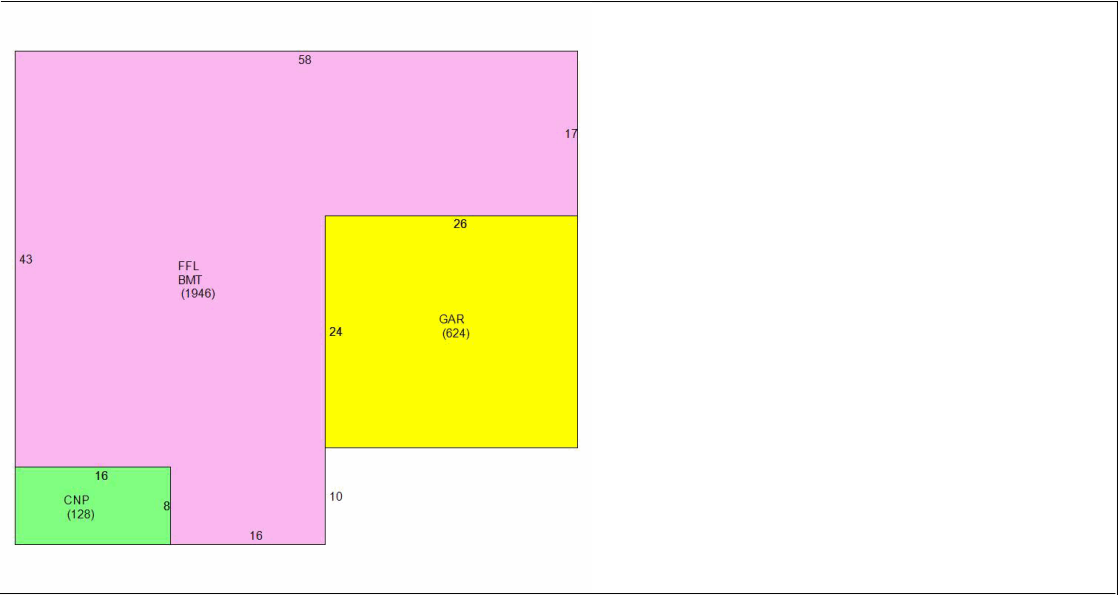
0237-0003-0009

Parcel ID

Comparable Sales (First 7 Only)

Rating	Parcel ID	Type	Date	Sale Price
WtAv\$/SQ		AvRate		
Ind Val				

Sketch



Sub Area (First 8 Only)

Code	Description	Area - SQ	Rate - AV	Undepr Value
FFL	1ST FLOOR	1,946.00	97.010	188,781.46
GAR	GARAGE	624.00	25.200	15,724.80
BMT	BASEMENT	1,946.00	24.250	47,190.50
CNP	CANOPY	128.00	14.410	1,844.48
Net Sketched Area	4,644.00	Total	253,541.24	
Size Adj	1,946.00	Gross Area	4,644.00	Fin Area 1,946.00

Sub Area Detail (First 10 Only)

Sub Area	% Usbl	Description	% Type	Qu	# of Tenants

Image







# Abutters List Report

Rochester, NH

May 21, 2020

## Subject Property:

Parcel Number: 237A-0003-0009  
CAMA Number: 0237-0003-0009  
Property Address: 24 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

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## Abutters:

Parcel Number: 0237-0003-0000  
CAMA Number: 0237-0003-0000  
Property Address: 0 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

Parcel Number: 237A-0003-0008  
CAMA Number: 0237-0003-0008  
Property Address: 22 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

Parcel Number: 237A-0003-0009  
CAMA Number: 0237-0003-0009  
Property Address: 24 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

Parcel Number: 237A-0003-0010  
CAMA Number: 0237-0003-0010  
Property Address: 28 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

Parcel Number: 237A-0003-0062  
CAMA Number: 0237-0003-0062  
Property Address: 21 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700

Parcel Number: 237A-0003-0061  
CAMA Number: 0237-0003-0061  
Property Address: 25 EISENHOWER DR

Mailing Address: SDJ DEV OF ROCHESTER LLC %  
CHESAPEAKE DEV LLC  
746 DANIEL WEBSTER HWY UNIT B  
MERRIMACK, NH 03054-2700



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5/21/2020

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