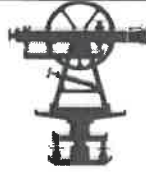


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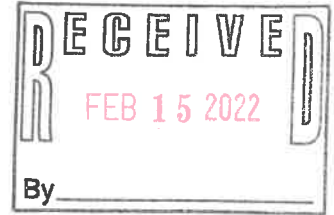
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February 14, 2022

Shanna Saunders, Planning Director
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867



Re: Nonresidential Site Plan Application; Hagan's Motor Pool, LLC, 152 Farmington Road, Map 208, Lot 6-1.

Dear Ms. Saunders:

On behalf of Hagan Motor Pool, LLC, Norway Plains Associates, Inc. is pleased to submit a Non-Residential Site Plan Application. Rednose Property Management, LLC is the owner of the parcel located at 152 Farmington Road identified by the City of Rochester assessors as Tax Map 208, Lot 6-1 with a total area of 0.93 acres. The parcel is located in the Granite Ridge Development Zoning District as well as the Conservation Overlay and Aquifer Protection Overlay Districts.

The parcel is located on the south side of Farmington Road. Access to the parcel is off Route 11 via a shared driveway with Motor City Automotive Group, LLC. Hagan's Motor Pool Inc has been operating at this location since 2011. The parcel has been utilized as a used car dealership and service for many years after a conversion from an ice cream stand. The existing 2,330 square feet sales office has two service bay with an outside service area. This building is currently serviced by an on-site well and shares the common septic system with Motor City Holdings on the abutting lot.

Parking for the employees and visitors is located to the east and south of the building and is suitable for 20 vehicles. Currently, Hagan's Motor Pool has 4 employees and operates Monday through Friday 8am to 5pm and Saturday 9am to 5pm. With the expansion, they hope to add 3 more employees to a total of 7.

To the southwest of the property and development there is a wetland complex that was delineated by Joseph Noel, CWS in June of 2021. The abutting property to the northwest of the parcel is an automobile sales and service business. There is a paved connection between the abutting properties. To the north of the property is NH Route 11 and to the east is the site of the future Granite State Credit Union which is currently under construction.

The proposed project is the expansion of the Hagan's Motor Pool existing office and service building. The expansion will be approximately 3,300 square foot addition that will consist of 6 new service bays for vehicle maintenance. The new addition will have a small break area for the employees as well as a small restroom. The service bays will have exhaust ventilation system and air conditioning for better environmental atmosphere for the workers.

The vehicle display areas will be delineated with painted lines as will the customer and employee parking spaces. The site requires a total of 35 parking spaces based on the size of the building, number of service bays and the vehicles displayed. 18 parking spaces will be stripped, including one ADA accessible space. The majority of the

spaces required are associated with the service bays. Whereas the service business is based on scheduling of service appointments and not under a "walk in" bases, the owner can control the number of customers that would be on site at any given timeframe. Therefore, they do not require the overall number of spaces the Site Review Regulations would suggest. As such, a waiver to the overall number of spaces is respectfully requested.

As a result of the proposed site development, there will be an increase the impervious surfaces by approximately 137 square feet. To account for the minimal additional stormwater runoff, a shallow grass infiltration basin will be constructed in the southeasterly corner of the site. This basin will provide some recharge of runoff back into the groundwater, provide treatment of runoff that doesn't currently exist and avoid any additional runoff from leaving the property.

A Conditional Use Permit application will be necessary to allow for more than 20 percent of the lot to be impervious as well as allowing for the storage of bulk motor oil and other automotive products on a parcel located in the aquifer protection overlay district. The bulk oil would be stored inside of the garage addition in 55-gallon drums with proper secondary containment. Majority of the used oils will be recycled through a waste oil furnace. Otherwise, all other automotive waste such as tires, batteries, antifreeze, etc. will be disposed of following state and local guidelines.

During the site work, a new domestic water line will be installed to tie the building into the City water main located on Farmington Road. The new restroom will connect to the building sanitary waste pipes within the basement and the septic system. Even with the expansion to the facility, the overall demands to the septic system will be less than the original approval and will not require any additional changes to the septic system.

A couple of the existing wall mounted lights on the existing building will be removed and replaced with new wall mounted fixtures meeting the City lighting requirements. Furthermore, three new pole mounted light fixtures will be installed to provide more illumination for the parking lot and the vehicle displace areas. The area around the existing sign will be landscaped with some perennials and three street trees will be planted along the Route 11 frontage. The dumpster is currently located behind the existing building which will continue to remain out of sight from the public way.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration
Sincerely,

NORWAY PLAINS ASSOCIATES, INC.



By:
Scott A. Lawler, PE, Project Engineer

cc: Hagan's Motor Pool, Inc.

Describe proposed activity/use: The proposal is to construct a 3,300 square foot building to the existing facility. The
expansion will allow for an increase in service bays to 8.

Describe existing conditions/use (vacant land?): The property is an automotive sales and service facility. The facility
consist of a 2,328 square foot office, sales and service building. There are currently two service bays with an outside service area.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? 130 ft

City sewer? yes ☐ no ☒; How far is City sewer from the site?

If City water, what are the estimated total daily needs? gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☐

Where will stormwater be discharged? Infiltration Basin

Building information

Type of building(s): Wood frame

Building height: Finished floor elevation: Office - 249.3'; Garage - 246.7'

Other information

parking spaces: existing: total proposed: 12; Are there pertinent covenants? No

Number of cubic yards of earth being removed from the site

Number of existing employees: 4; number of proposed employees total: 7

Check any that are proposed: variance ☐; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? No; area to be filled: ; buffer impact? No

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	5,933	14.6
Parking and vehicle circulation	18,654	46.0
Planted/landscaped areas (excluding drainage)	6,224	15.4
Natural/undisturbed areas (excluding wetlands)	0	
Wetlands	821	2.0
Other – drainage structures, outside storage, etc.	8,902	22.0

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: 1/19/2022

Signature of applicant/developer: _____

Date: 1/19/2022

Signature of agent: _____

Date: 1/24/2022

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

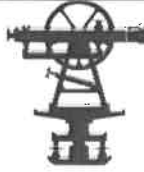
Signature of property owner: _____

Date: 1/19/22

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February 14, 2022

Shanna Saunders, Planning Director
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867

Re: Conditional Use Application; Hagan's Motor Pool, Inc., 152 Farmington Road, Map 208, Lot 6-1.

Dear Ms. Saunders:

On behalf of Hagan's Motor Pool, Inc., Norway Plains Associates, Inc. is pleased to submit a Condition Use Permit Application. Rednose Property Management, LLC is the owner of the parcel located at 152 Farmington Road identified by the City of Rochester assessors as Tax Map 208, Lot 6-1 with a total area of 0.93 acres. The parcel is located in the Granite Ridge Development Zoning District as well as the Conservation Overlay and Aquifer Protection Overlay Districts.

To the southwest of the property and development there is a wetland complex that was delineated by Joseph Noel, CWS in June 2021. The abutting property to the northwest of the parcel is an automobile sales and service business. There is a paved connection between the abutting properties. To the north of the property is NH Route 11 and to the east is the site of the future Granite State Credit Union which is currently under construction.

The proposed project is the expansion of the Hagan's Motor Poll existing office and service building. The expansion will be approximately 3,300 square foot addition that will consist of 6 new service bays for vehicle maintenance.

As a result of the proposed site development, there will be an increase the impervious surfaces slightly by approximately 137 square feet. To account for the extra impervious surface a shallow grass infiltration basin will be constructed in the southeasterly corner of the property. This basin will provide some recharge of runoff back into the groundwater, provide treatment of runoff that doesn't currently exist and avoid any additional runoff from leaving the property.

The existing site is approximately 61.3 percent impervious. Between the proposed building addition and pavement reduction, the proposed development will render the site about 61.5 percent impervious. This coverage will require a Conditional Use Permit to allow for more than 20 percent of the lot to be impervious in the aquifer protection overlay district. The guidelines of chapter 218, Stormwater

Management and Erosion Control has been followed in creating this site plan. The infiltration basin will provide treatment for the small storm events, provide attenuation for peak runoff from larger storm events, and allow for infiltration of runoff back into the ground.

A Conditional Use Permit will also be necessary to allow for the storage of bulk motor oil and other automotive products on a parcel located in the aquifer protection overlay district. The bulk oil would be stored inside of the garage addition in 55-gallon drums with proper secondary containment. Any used oil would be disposed of following state and local guidelines.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Scott A. Lawler". The signature is fluid and cursive, with the first name "Scott" and last name "Lawler" clearly distinguishable.

By:
Scott A. Lawler, PE, Project Engineer

cc: Hagan's Motor Pool, Inc.



Conditional Use Permit Application
City of Rochester, New Hampshire

Date: 1/19/2022

Property information

Tax map #: 208; Lot #'s: 6-1; Zoning district: GRD

Property address/location: 152 Farmington Road

Name of project (if applicable): Proposed Automotive Sales and Service Expansion

Property owner

Name (include name of individual): Rednose Property Management LLC - Michael Hagan

Mailing address: 1 Lily Pond Road, Somersworth, NH 03878

Telephone #: 603-332-6822 Fax

Applicant/developer (if different from property owner)

Name (include name of individual): Hagan's Motor Pool LLC - Michael Hagan

Mailing address: Same as property owner

Telephone #: Fax #:

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc. - Scott A. Lawler

Mailing address: PO Box 249, Rochester, NH 03867

Telephone #: 603-335-3948 Fax #:

Email address: slawler@norwayplains.com Professional license #: 10026

Proposed Project

Please describe the proposed project: The proposed addition will be to add six service bays onto the existing office

and garage building. A Conditional Use Permit is requested to allow for the lot to be more than 20% impervious and for the storage of


bulk motor oil and other automotive products within the Aquifer Protection Overlay District.

Please describe the existing conditions: The property is an automotive sales and service facility. The facility consist of a 2,328 square foot office, sales and service building. There are currently two service bays with an outside service area.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: 

Date: 1/19/2022

Signature of applicant/developer: 

Date: 1/19/2022

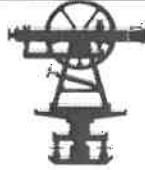
Signature of agent: 

Date: 1/24/2022

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January 21, 2022

Shanna Saunders, Planning Director
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867

Re: Nonresidential Site Plan Application; Hagan's Motor Pool, LLC, 152 Farmington Road, Map 208, Lot 6-1.

Dear Ms. Saunders:

On behalf of Hagan Motor Pool, LLC, Norway Plains Associates, Inc. respectfully requests waiver to the following Site Plan Regulation:

Waiver Request Section 10 (A):

Section 10(A) of the Rochester Site Plan Review Regulations requires that the minimum number of designated off street parking shall be provided on each site based upon the type of use, as shown in the Table of Parking Requirements. For automobile use, the requirement is 1.5 space per 1000 square feet of gross floor area plus 1 spaces per 15 exterior sale/rental display spaces and plus 4 spaces per service bay.

Under the Site Review Regulations, the proposed industrial use, the total number of parking spaces based on the total gross floor area of the industrial use and the office use is 35:

<u>976 sf Office Space</u>	Plus	<u>30 Display Spaces</u>	Plus	<u>8 Service Bays</u>
3 spaces per 1,000 sf Office		1 spaces per 15 Vehicles		4 spaces per Service Bays

The vehicle display areas will be delineated with painted lines as will the customer and employee parking spaces. The site requires a total of 35 parking spaces based on the size of the building, number of service bays and the vehicles displayed. 18 parking spaces will be stripped, including one ADA accessible space.

The majority of the spaces required are associated with the service bays. Whereas the service business is based on scheduling of service appointments and not under a "walk in" bases, the owner can control the number of customers that would be on site at any given timeframe. Therefore, they do not require the overall number of spaces the Site Review Regulations would suggest. As such, a waiver to the overall number of spaces is respectfully requested.

We look forward to discussing this request with staff and the Planning Board. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

By:
Scott A. Lawler, PE, Project Engineer

cc: Hagan's Motor Pool, Inc.

NORWAY PLAINS ASSOCIATES, INC.

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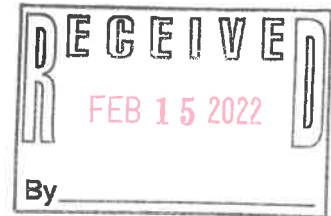
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February 14, 2022

Ryan O'Connor, Planner
Department of Planning and Development
33 Wakefield Street
Rochester, NH 03867-1917



**Re: Case SP-22-01, Proposed Automotive Sales and Service Expansion for Hagan's Motor Pool;
Technical Review Group Response.**

Dear Ryan:

The following is a summary of action taken to address the comments from the February 3, 2022 TRG meeting and follow up comments posted on the City of Rochester View Point Cloud for the proposed major Non-Residential Site Plan Review Application for Rednose Property Management LLC located at 152 Farmington Road. To expedite the review process; I have listed the different departments comments and our responses.

Planning Dept. & Conservation Commission Comments (Ryan O'Connor):

- a) Along with the Conditional Use Permit for having greater than 20% of the site impervious and the storage of regulated materials, a response plan will need to be included with the application. The specific requirements are within the aquifer overlay district section of our ordinance. Please contact staff with any questions:
 - *Attached is a Spill Prevention Plan generated by the Applicant.*
 - *If additional information is needed, let us know and the applicant can work with the staff.*
- b) A maintenance and inspection plan is also needed for continued maintenance of the stormwater system within the aquifer overlay district.
 - *The Stormwater Management System Inspection and Maintenance Manual was included within the Stormwater Report as part of the initial submission.*
 - *A separate Stormwater Management Systems Inspection and Maintenance Manual is attached.*
- c) Please include a traffic memo with the application and complete appropriate permits before any new signage is installed.
 - *Attached is a copy of the letter sent to NHDOT as part of the NHDOT Driveway Permit Application. The letter describes the anticipated trip generated at the driveway as part of the proposed project. Please let us know if additional information is necessary.*
 - *The applicant is aware that they will need to apply to the City for any new signage.*

Economic Development (Jenn Marsh):

No concerns.

Dept. of Public Works (Tim Goldthwaite):

- a) Being the site plan has >40% existing impervious and technically classifies as a redevelopment type project, the disturbed area is below the 5,000 sf threshold and therefore CH 218 would not be applicable, and no stormwater permit is required.

- *The Site Plan and Construction Detail (sheets C-1 & C-2, respectively) were revised to eliminate the associated site work which is not necessary for this project. More specifically, the infiltration basin and outlet structure between the parking lot and the shared driveway was deleted.*
- *Although Chapter 218 is no longer applicable, the Drainage Report was revised to reflect the changes to the stormwater analyzes. A copy of the updated stormwater management report was emailed to the Assistant City Engineer.*
- b) The proposed small grassed lined infiltration area near the addition is recommended to help mitigate the minimal increase in impervious area.
 - *This grassed line infiltration basin remains part of the proposed site work.*
- c) A water service connection permit will be required.
 - *The applicant is aware of the need to apply for a water service connection permit as part of the building permit phase.*
 - *Note 20 has been added to the Site Plan, Sheet C-1, to alert the contractor to submit for a water service connection permit.*
- d) A backflow prevention device permit for the proposed water service will be required.
 - *The applicant is aware of the need to apply for a water service connection permit as part of the building permit phase.*
 - *Note 21 has been added to the Site Plan, Sheet C-1, to alert the contractor that a backflow prevention device permit for the proposed water service is required.*

Building & Licensing Services (Jim Grant):

No comments entered as of 2/10/22

Zoning (Crystal Galloway):

No concerns.

Fire Dept. (Tim Wilder):

No concerns.

Assessing Dept. (Theresa Hervey)

No comments entered as of 2/10/22


Police Dept. (Gary Boudreau):

No concerns.

If you have any questions regarding the revisions made to this plan set, the design itself or any supplemental material submitted to satisfy the conditions of approval, please feel free to call or email me.

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

By: 
Scott A. Lawler, P.E., Project Engineer

Cc: Hagan's Motor Pool

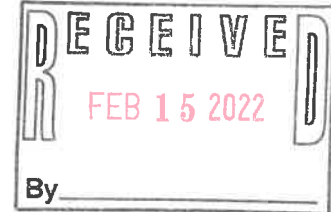
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February 14, 2022

Mr. James Hewitt, PE
NHDOT Maintenance District 6 PO Box 740
Durham, NH 03824-0740

Re: NHDOT Driveway Permit Application for Rednose Property Management LLC; NH Route 11 (Farmington Road), Rochester NH

Dear Jim;

On behalf of the Rednose Property Management LLC, Norway Plains Associates, Inc. is pleased to submit a Driveway Permit Application for their property. Rednose Property Management LLC are the owner of the parcel located at 152 Farmington Road identified by the City of Rochester assessors as Tax Map 208, Lot 6-1 with a total area of 0.93 acres. This parcel shares an existing driveway with 154 Farmington Road LLC, Tax Map 208, Lot 6.

The parcels are located on the south side of Farmington Road, about 900 feet westerly of the Two Rod Road intersection. Access to the parcels is off Route 11 via a paved driveway servicing Motor City Holdings and Hagan's Motor Pool. The shared driveway has a deeded right-of-way to a larger undeveloped parcel located south of the two active businesses. This driveway is approximately 30 feet wide and is paved. The driveway was previously reapproved by NHDOT in November 2020 when Motor City Holdings when through an expansion of their facility. Please refer to the attached NHDOT Permit 6-389-640.

Hagan's Motor Pool is in the process of expanding their facility, by constructing a 3,300 square foot addition. Please refer to the attached plan. This addition will allow them to expand the number of service bays from 2 to a total of 8 (5,000 sf). There is no proposed changes to the 720 square foot vehicle sales office. Hagan's Motor Pool currently has 4 employees and hope to add 3 more to a total of 7 once the additional service bays are constructed.

Motor City Holdings has completed their expansion last year. As such, they currently have four service bays (1,650 sf) and 750 sf of vehicle sales office space. Given the similar businesses and the size in structures, it is assumed that Hagan's Motor Pool also around 5 employees.

The Institute of Traffic Engineers (ITE) publishes trip generation information for a wide variety of land uses based on extensive data and studies from throughout the country. In the case of auto sales and service, the land use can be broken into two codes; Car Sales (LU 841) and Automobile Care Center (LU 942). For car sales, peak hour trip generation can be based on the number of employees or gross floor area. Whereas, automobile care center, peak hour trip generation can be based on number of service stalls, number of employees or square foot of occupied gross floor area. The peak hour totals will be the combination of the two services. The following is a breakdown of each service and their respective ITE published peak hour trip generation rates.

Auto Sales (#841)

	Trip Generation rates	
	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
Number of employees	0.67 (44% entering, 56% exiting)	0.96 (48% entering, 52% exiting)
Per 1,000 sf gross floor area	2.03 (74% entering, 26% exiting)	2.59 (39% entering, 61% exiting)

Automobile Care Center (#942)

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
Number of employees	1.00 (68% entering, 32% exiting)	1.43 (68% entering, 32% exiting)
Per 1,000 sf gross floor area	2.94 (65% entering, 35% exiting)	3.38 (50% entering, 50% exiting)
Per Service Stalls	1.52 (68% entering, 32% exiting)	2.17 (68% entering, 32% exiting)

Trip Generation rates

Based on these published rates, the following peak hour trips will be generated for the existing two businesses;

Hagan's Motor Pool (Rednose Property Management, LLC):**Auto Sales (#841)**

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
2 Employees	1 (1 entering, 0 exiting)	2 (1 entering, 1 exiting)
720 sf gross floor area	2 (2 entering, 0 exiting)	2 (1 entering, 1 exiting)

Trip Generation rates

Automobile Care Center (#942)

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
5 employees	5 (3 entering, 2 exiting)	7 (5 entering, 2 exiting)
5,000 sf gross floor area	15 (10 entering, 5 exiting)	17 (8 entering, 9 exiting)
8 Service Stalls	12 (8 entering, 4 exiting)	17 (12 entering, 5 exiting)

Trip Generation rates

Motor City Holdings (154 Farmington Road, LLC):**Auto Sales (#841)**

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
3 Employees	2 (1 entering, 1 exiting)	3 (2 entering, 1 exiting)
750 sf gross floor area	2 (1 entering, 1 exiting)	2 (1 entering, 1 exiting)

Trip Generation rates

Automobile Care Center (#942)

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
2 employees	2 (1 entering, 1 exiting)	3 (2 entering, 1 exiting)
1,650 sf gross floor area	5 (3 entering, 2 exiting)	6 (3 entering, 3 exiting)
4 Service Stalls	6 (3 entering, 3 exiting)	9 (6 entering, 3 exiting)

Trip Generation rates

Combined Businesses:**Auto Sales (#841)**

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
Employees	3 (2 entering, 1 exiting)	5 (3 entering, 2 exiting)
Gross floor area	4 (3 entering, 1 exiting)	4 (2 entering, 2 exiting)

Trip Generation rates

Automobile Care Center (#942)

	<u>Morning Peak Hour (7 – 9 am)</u>	<u>Afternoon Peak Hour (4 – 6 pm)</u>
Employees	7 (4 entering, 3 exiting)	10 (7 entering, 3 exiting)
Gross floor area	20 (13 entering, 7 exiting)	23 (11 entering, 12 exiting)
Service Stalls	18 (11 entering, 7 exiting)	26 (18 entering, 8 exiting)

Trip Generation rates

As can be seen above, the peak hour trip generations for the auto sales are nearly the same between the number of employees and the square area of gross floor area. Whereas, for the automobile care center, the gross floor area and number of service stall generated higher peak hour trips than the number of employees. Therefore, the combining the auto sales with the service, the morning peak hour trips generated for both properties would be 24 and the afternoon peak hour trips would be 30.

Given the limited number of peak hour trips generated by both businesses and based on the recent work by NHDOT on this section of Route 11, we do not anticipate any off-site improvements is necessary as part of the proposed expansion at Hagan's Motor Pool.

It is understood that if any development on the vacant parcel to the south of the businesses is to be proposed, an updated NHDOT Driveway Permit would need to be applied for; and at which improvements maybe warranted.

We look forward to discussing this project with you. Thank you for your consideration Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Scott A. Lawler", written in a cursive style.

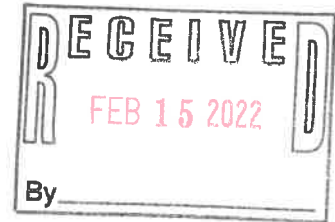
By:

Scott A. Lawler, PE, Project Engineer

cc: Rednose Property Management, LLC



1/31/2022



To All Concerned Parties,

Hagan's Motor Pool's oil / coolant spill prevention plan is as follows:

1. We store no more than two 55-gallon drums of new coolant on top of two spill prevention pallets rated to control complete loss from 55-gallon drums.
2. Waste coolant is stored in the same manner as new coolant, and we store no more than one 55-gallon drum of waste coolant.
3. Waste oil is stored in the same way as waste coolant, and we store no more than two drums of waste oil.
4. New oil is stored on shelves in individual quart containers and individual 5-quart containers.
5. Small spills are to be cleaned up immediately using oil / coolant absorbent mats (pig mats).
6. Large spills are to be controlled from spreading using dams and cleaned up immediately using absorbent mats and a shop air operated fluid pump if required.

Any questions about this plan will be answered by contacting me at 603 332-6822 or mike@hagansmotorpool.com

Respectfully,

Michael S. Hagan, President

Hagan's Motor Pool



AUTOMOBILE SALE AND SERVICE EXPANSION

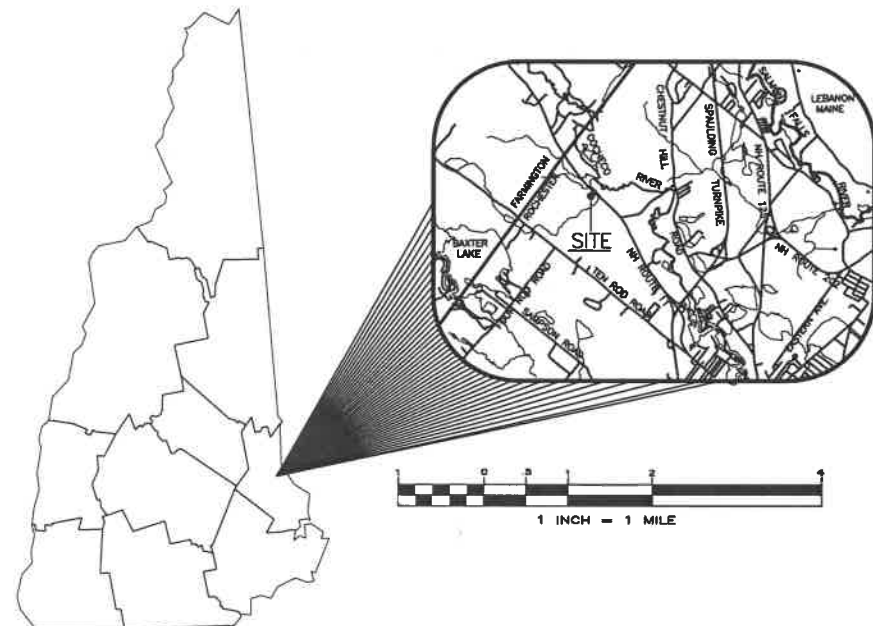
152 FARMINGTON ROAD

PREPARED FOR

HAGAN'S MOTOR POOL

ROCHESTER, NH

JANUARY 2022



CIVIL ENGINEERS
 NORWAY PLAINS ASSOCIATES, INC.
 2 CONTINENTAL BOULEVARD
 ROCHESTER, NEW HAMPSHIRE 03867
 (603) 335-3948

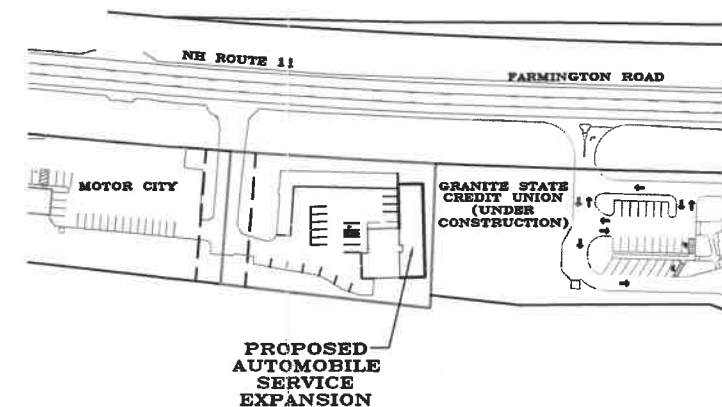
OWNER
 REDNOSE PROPERTY MANAGEMENT, LLC
 1 LILY POND ROAD
 SOMERSWORTH, NEW HAMPSHIRE 03878

APPLICANT
 HAGAN'S MOTOR POOL
 152 FARMINGTON ROAD
 ROCHESTER, NEW HAMPSHIRE 03867
 (603) 435-3249

ARCHITECTS
 ISAAK DESIGN, PLLC
 35 OYSTER RIVER ROAD
 DURHAM, NEW HAMPSHIRE 03824
 (603) 969-6711

FINAL APPROVAL BY
 ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____



OVERALL SITE
 1" = 200'

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

SHEET INDEX		
SHEET C-0	COVER	1" = 20'
SHEET E-1	EXISTING FEATURES	1" = 20'
SHEET C-1	SITE PLAN	AS SHOWN
SHEET C-2	CONSTRUCTION DETAILS	AS SHOWN
SHEET C-3	EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET L-1	LIGHTING PLAN AND DETAILS	1" = 20'

FILE NO. 116
 PLAN NO. C-3159
 DWG. NO. 20229/SP-1

<u>LEGEND</u>	
	PROPERTY LINE
	LIMITS OF JURISDICTIONAL WETLANDS
	EXISTING EDGE OF PAVEMENT
	EXISTING TREE LINE
	EXISTING CONTOUR LINE
	EXISTING DRAIN LINE
	EXISTING OVERHEAD WIRES
	EXISTING FORCE MAIN SEWER LINE
	EXISTING UTILITY POLE
	EXISTING CATCH BASIN
	EXISTING SEWER MANHOLE
	EXISTING MONUMENT
	EXISTING HYDRANT
	EXISTING WATER GATE OR SHUT-OFF VALVE
	EXISTING LIGHTS
	EXISTING WETLANDS
	EXISTING WELL
	EXISTING SPOT ELEVATION
	EXISTING TEST PIT LOCATION & NUMBER

NH ROUTE 11 / FARMINGTON ROAD

GENERAL SITE PLAN NOTES

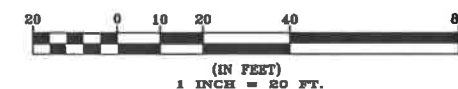
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 2008, LOT 6-1.
2. THIS PARCELS ARE LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE. CONSTRUCTION OVERLAY AND AQUIFER PROTECTION OVERLAY DISTRICT
3. TOTAL PARCEL AREA: 40,534 SQUARE FEET OR 0.93 ACRES
4. THE LOT IS SERVED BY ON SITE SEPTIC SYSTEM AND WELL.
5. DRAINAGE REGULATIONS PER ZONE OCCURRENCE:
GRANITE RIDGE DEVELOPMENT (GRD) ZONE:
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
MINIMUM LOT FRONTAGE = 50 FEET
PAVEMENT SETBACKS:
FRONT = 10'
SIDE = 5'
REAR = 10'
6. MINIMUM YARD SETBACKS:
FRONT = NO DIMENSIONAL STANDARD
SIDE = NO DIMENSIONAL STANDARD
REAR = NO DIMENSIONAL STANDARD
7. MAXIMUM LOT COVERAGE = NO STANDARD
EXISTING LOT COVERAGE = 24,830 SF => 61.3%
8. MAXIMUM PLANTING HEIGHT = NO STANDARD
9. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NAD29
10. THE PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017001840 DATED MAY 17, 2005.
11. THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST #0117 AND NH CERTIFIED WETLAND SCIENCE #089, ON JULY 11, 2017. THE FLAG WAS SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987) ALONG WITH THE REQUIRED REGULATIONS TO SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTH-EAST REGION, (VERSION 2, JANUARY 2012).
12. SOILS SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE
SANDS - HICKLEY LOAM - 2 TO 8 PERCENT SLOPES
CAC - CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY

TAX MAP 208, LOT 5
GRANITE STATE CREDIT UNION
1415 ELM STREET
MANCHESTER, NH 03101
(BOOK 4933, PAGE 414)
CREDIT UNION BRANCH
(UNDER CONSTRUCTION)

TAX MAP 208, LOT 6-1
OWNER OF RECORD:
REDNOSE PROPERTY MANGEMENT LLC
1 LILY POND ROAD
SOMERSWORTH, NH 03878-2014
SCRD BOOK 4430, PAGE 838

EXISTING FEATURES PLAN
TAX MAP 208, LOT 6-1
152 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR:
HAGAN'S MOTOR POOL, INC.

JANUARY 2022
GRAPHIC SCALE



E-1

1) "SUBDIVISION OF LAND, ROCHESTER, NH FOR IRENE & NORRIS GERRY" DATED JUNE 1993; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 44-4.

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS

CIVIL ENGINEERS

LEGEND

150	PROPERTY LINE
---	LIMITS OF JURISDICTIONAL WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE OF PAVEMENT
---	EXISTING TREE LINE
---	EXISTING CONTOUR LINE
---	EXISTING DRAIN LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING FORCE MAIN SEWER LINE
---	EXISTING UTILITY POLE
---	EXISTING CATCH BASIN
---	EXISTING SEWER MANHOLE
---	EXISTING MONUMENT
---	EXISTING HYDRANT
---	EXISTING WATER GATE OR SHUT-OFF VALVE
---	EXISTING LIGHTS
---	EXISTING WETLANDS
---	EXISTING WELL
---	EXISTING SPOT ELEVATION

---	PROPOSED STANDARD PARKING SPACES (8' x 16')
---	PROPOSED VAN ACCESSIBLE PARKING SPACES (8' x 16' WITH 5' x 16' ACCESS ISLE)
---	PROPOSED WATER SERVICE
---	PROPOSED TREE LINE
---	PROPOSED DRAIN LINE
---	PROPOSED CONTOUR LINE
---	PROPOSED SILT SOCK
---	PROPOSED BLOCK RETAINING WALL
---	PROPOSED CHAINLINK FENCE
---	PROPOSED WATER SHUT-OFF VALVE
---	PROPOSED LIGHT POLES
---	PROPOSED BUILDING LIGHT FIXTURES
---	PROPOSED SPOT GRADE

TAX MAP 208, LOT 15
CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03607

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



REVISIONS:
02/24/22 - REVISE PER TRC COMMENTS.

NH ROUTE 11 / FARMINGTON ROAD

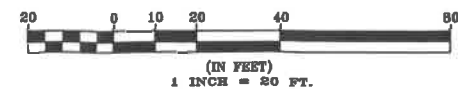
- GENERAL SITE PLAN NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 208, LOT 6-1.
 - THIS PARCELS ARE LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, CONSERVATION OVERLAY AND AQUIFER PROTECTION OVERLAY DISTRICT.
 - TOTAL PARCEL AREA: 40,534 SQUARE FEET OR 0.93 ACRES.
 - THE LOT IS SERVICED BY ON SITE SEPTIC SYSTEM AND WELL.
 - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
GRANITE RIDGE DEVELOPMENT (GRD) ZONE:
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
MINIMUM LOT FRONTAGE = 50 FEET
PAVEMENT SETBACKS:
FRONT = 10'
SIDE = 5'
REAR = 10'
 - MINIMUM YARD SETBACKS:
FRONT = NO DIMENSIONAL STANDARD
SIDE = NO DIMENSIONAL STANDARD
REAR = NO DIMENSIONAL STANDARD
MAXIMUM LOT COVERAGE = NO STANDARD
EXISTING LOT COVERAGE = 24,830 SF => 61.3%
PROPOSED LOT COVERAGE = 24,818 SF => 61.3%
MAXIMUM BUILDING HEIGHT = NO STANDARD
ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NAD83
 - THE PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017001840 DATED MAY 17, 2006.
 - THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST #017 AND NH CERTIFIED WETLAND SCIENTIST #086, IN JUNE 2021. THE FLAGS WERE SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).
 - SOILS SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE. HUB - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES. CAC - CHARTERED LOAMY SAND, 8 TO 15 PERCENT SLOPES, VERY STONY.
 - PARKING REQUIREMENTS (SITE PLAN REGULATIONS SECTION 10(A))
AUTOMOTIVE - USED CAR SALES AND SERVICE:
1.5 SPACES PER 1,000 GROSS SQUARE FEET, PLUS ONE SPACE PER 15 EXTERIOR SALE/RENTAL DISPLAY SPACES, PLUS FOUR SPACES PER SERVICE BAY.
REQUIRED:
1.5 SPACES/1,000 OFFICE GSF * 978 GSF = 1 SPACE
1 SPACE/15 SPACES OF SALE DISPLAY * 30 SALE DISPLAY = 2 SPACES
4 SPACES/BAY * 8 BAYS = 32 SPACES
TOTAL REQUIRED SPACES = 33 SPACES
TOTAL PROVIDED SPACES = 18 SPACES INCLUDING 1 ACCESSIBLE SPACE.
 - THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE NOTED.
 - THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE CHAPTER 215. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED.
 - ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THAT ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
 - SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON NH ROUTE 11 AND ALL DROPS SHALL BE REMOVED FROM THE SITE.
 - ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 5:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 5:00 P.M. SATURDAY.
 - ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRING ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
 - THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNS SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW PROCESS. IN ADDITION, IF ANY SUBSTANTIAL CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED PRESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
 - ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO THE PLANNING DEPARTMENT.
 - NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLAN IS SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
 - A WATER SERVICE CONNECTION PERMIT IS REQUIRED FOR THE CONNECTION TO THE WATER MAIN.
 - A BACKFLOW PREVENTION DEVICE PERMIT FOR THE PROPOSED WATER SERVICE IS REQUIRED.

TAX MAP 208, LOT 6-1
OWNER OF RECORD:
REDNOSE PROPERTY MANGEMENT LLC
1 LILY POND ROAD
SOMERSWORTH, NH 03878-2014
SCRD BOOK 4430, PAGE 838

SITE PLAN
TAX MAP 208, LOT 6-1
152 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR:
HAGAN'S MOTOR POOL, INC.

JANUARY 2022
GRAPHIC SCALE



SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

TAX MAP 208, LOT 2
JEAN M KANE 2009 REVOCABLE TRUST
& MICHAEL J KANE
117 BOW STREET
PORTSMOUTH, NH 03801
(VACANT)

CITY OF ROCHESTER
MIS COORDINATES
N:306640.13
E:1156887.92
WETLAND DELINEATION
CONDUCTED BY JOSEPH NOEL,
CWS #86 ON JULY 10, 2020

EXISTING 60' WIDE
ACCESS EASEMENT
FOR THE BENEFIT OF
MAP 208, LOT 2 AS
RECORDED IN BOOK
1778, PAGE 390.



LOCUS MAP
NTS

FILE NO. 116
PLAN NO. C-3237
DWC. NO. 21126

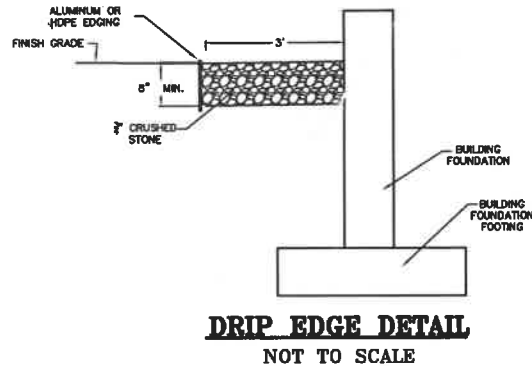
31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



REVISIONS:
02/04/22 - REVISE PER TRC COMMENTS.

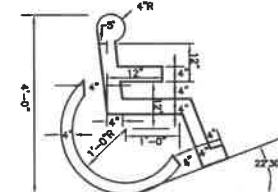
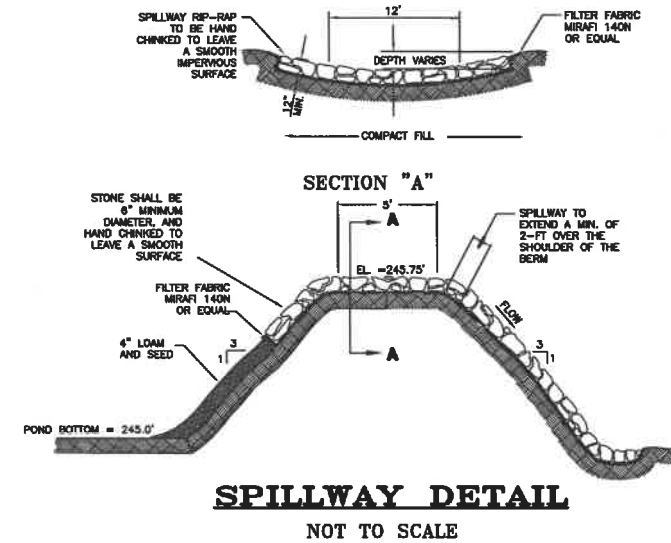


INFILTRATION BASIN CROSS SECTION NOT TO SCALE

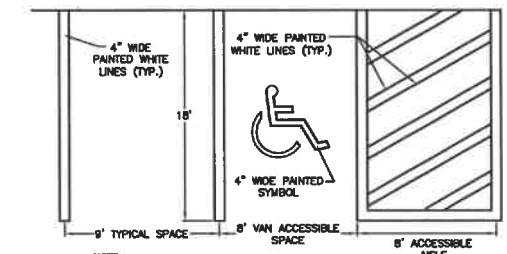
- CONSTRUCTION NOTES:**
- DO NOT PLACE INFILTRATION BASIN INTO SERVICE UNTIL THE BMP HAS BEEN SEEDING AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN DURING ANY STAGE OF CONSTRUCTION.
 - CLEAR AND GRUB THE AREA WHERE THE INFILTRATION BASIN IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE LATER.
 - THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE BERM SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
 - THE BERM SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMITY ALONG ITS ENTIRE LENGTH. PLACE MATERIALS IN MAXIMUM 12" LOOSE LIFTS COMPACTED TO 95% MAXIMUM DRY DENSITY. EMBANKMENT SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LOOSE LIFT THICKNESS. EMBANKMENT FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

SEIVE SIZE	% PASSING
#4	80-90
#10	50-60
#40	30-45
#100	15-30
#200	15-30

- THE BOTTOM OF THE INFILTRATION BASIN SHALL RECEIVE FOUR INCHES OF LOAM AND BE SEEDING WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOST SITES. THE MIX SHALL BE APPLIED AT A RATIO OF 3S LBS PER ACRE. SEED MIX AVAILABLE FROM:
NEW ENGLAND WETLAND PLANTS, INC.
820 WEST STREET
AMHERST, MA 01002
- ALL DISTURBED AREAS NOT OTHERWISE PLANTED SHALL RECEIVE FOUR INCHES OF LOAM AND SEEDING PER THE CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES ON SHEET D1.



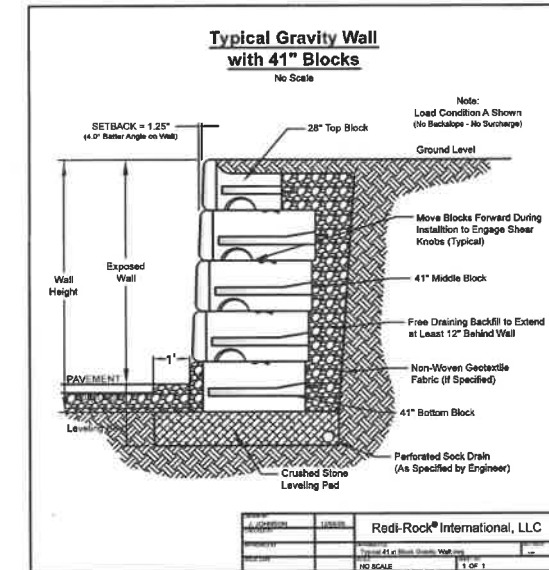
ACCESSIBLE SYMBOL



- NOTE:
1. HANDICAP GRAPHIC SYMBOL (PAINTED WHITE) TO BE CENTERED IN SPACE. SYMBOL TO BE PAINTED ON ASPHALT AS PER DETAIL.

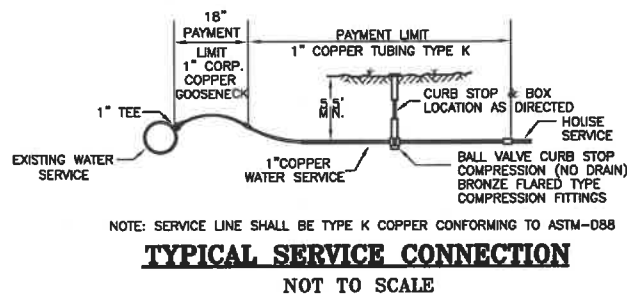
STALL STRIPING DETAIL NOT TO SCALE

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R7-8a	18"	12"		1



TYPICAL BLOCK RETAINING WALL DETAIL NOT TO SCALE

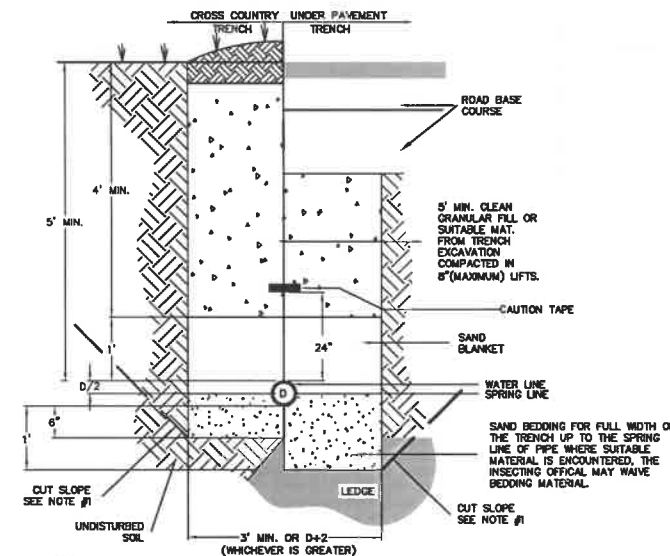
- NOTES:**
- DESIGN OF RETAINING WALLS TO BE PROVIDED BY MANUFACTURE AND INSTALLED PER THE MANUFACTURES REQUIREMENTS.
 - SHOP DRAWINGS SHALL BE SUBMITTED PRIOR TO ORDERING AND APPROVED BY NORWAY PLAINS ASSOCIATES, INC.
 - CHAINLINK FENCE SHALL BE INSTALLED ON TOP OF WALL WHERE THE VERTICAL DROP IS GREATER THAN 2 FEET OR AS REQUIRED BY CODES.



NOTE: SERVICE LINE SHALL BE TYPE K COPPER CONFORMING TO ASTM-D88

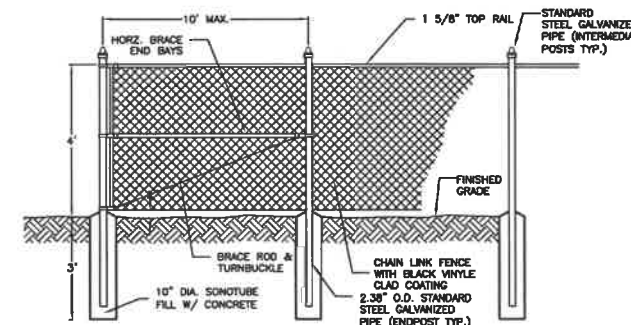
TYPICAL SERVICE CONNECTION NOT TO SCALE

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



- NOTES:**
- PIPES MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4-FT. INSTALLATIONS DEEPER THAN 4-FT REQUIRE THE USE OF A TRENCH BOX.
 - PIPE MATERIALS SHALL BE AS SPECIFIED ON THE DESIGN PLAN.
 - SAND BLANKET MAY BE OMITTED FOR REINFORCED CONCRETE PIPE.

WATER PIPE TRENCH INSTALLATION DETAIL NOT TO SCALE



TYPICAL CHAINLINK FENCE NOT TO SCALE

CONSTRUCTION DETAILS
TAX MAP 208, LOT 6-1
152 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR:
HAGAN'S MOTOR POOL, INC.
JANUARY 2022

FILE NO. 116
PLAN NO. C-3237
DWG. NO. 21126

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

GENERAL CONSTRUCTION PHASING:

1. **STABILIZATION:**
A SITE IS DEFINED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10-YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO:
a) A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
b) A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR A CERTIFIED COMPOST BLANKET HAS BEEN INSTALLED, OR;
c) EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
SOIL AREAS THAT WILL NOT BE PAVED:
a) BASE COURSE GRAVELS HAVE BEEN INSTALLED.
b) TEMPORARY STABILIZATION:
ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS FROM THE TIME OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES. THE CONSTRUCTION OF TEMPORARY STABILIZATION SHALL BE APPROVED AS PART OF THE ISSUED PERMIT OR AN INDEPENDENT MONITOR.
c) PERMANENT STABILIZATION:
ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 3 DAYS FOLLOWING FINAL GRADING.
d) MAXIMUM AREA OF DISTURBANCE:
THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, NO MORE THAN 5 ACRES SHALL BE DISTURBED (NOT STABILIZED) AT ANY TIME.
e) ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.
f) FLAG OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED.
g) EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL VEGETATION.
h) ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CONSTRUCTION AND RESTORATION IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN DEPICTED ON SHEET C-3.
i) ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DEPICTED ON SHEET C-4.
j) TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND BE PROTECTED FROM EROSION.
k) STOCKPILES, BORROW AREAS AND SPOILS SHALL BE STABILIZED AS DESCRIBED UNDER "SOIL STOCKPILE PRACTICES".
l) SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SLURPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED DAMAGE.
m) AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND/OR OTHER OBJECTIONABLE MATERIALS.
n) AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3-INCHES PRIOR TO PLACEMENT OF TOPSOIL. TOPSOIL SHALL BE PLACED WITHOUT SIGNIFICANT COMPACTION TO PROVIDE A LOOSE BEDDING FOR PLACEMENT OF SEED.
o) ALL FILLS SHALL BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO REDUCE EROSION, SLURPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, SITE UTILITIES, CONDUITS AND OTHER FACILITIES, SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
p) IN GENERAL, FILLS SHALL BE COMPACTED IN LAYERS RANGING FROM 8 TO 24 INCHES IN THICKNESS. THE CONTRACTOR SHALL REVIEW THE PROJECT GEOTECHNICAL REPORT AND/OR THE "PROJECT SPECIFIC PHASING NOTES" FOR SPECIFIC GUIDANCE.
q) ANY AND ALL FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS (LARGER THAN 3/4" THE DEPTH OF THE LIFT BEING INSTALLED), LOGS, STUMPS, BUILDING DEBRIS, FROZEN MATERIAL AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
r) FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE (E.G. CLAY, SILT) MATERIALS ARE SUSCEPTIBLE TO ACCELERATED SETTLEMENT AND POTENTIAL ACCELERATED EROSION. WORK IN AREAS OF THESE MATERIALS SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER.
s) THE OUTER FACE OF THE FILL SLOPE SHALL BE ALLOWED TO STAY LOOSE, NOT ROLLED OR COMPACTED, OR BLADE SMOOTHED. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TRACKS (CLEAT TRACKS) CREATE GROOVES PERPENDICULAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR. SEE "SURFACE ROUGHENING" IN THE NHSM, VOL.3.
t) ROUGHEN THE SURFACE OF ALL SLOPES DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION AND FACILITATE VEGETATION ESTABLISHMENT.
u) USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE TO REDUCE THE LENGTH OF CUT-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GULLY EROSION. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION.
v) SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE EVALUATED BY A PROFESSIONAL ENGINEER (PREFERABLY THE DESIGN ENGINEER) TO DETERMINE IF THE PROPOSED DESIGN SHALL BE REVISED TO PROPERLY MANAGE THE CONDITION.
w) STABILIZE ALL GRADED AREAS (AS ABOVE) WITH VEGETATION, CRUSHED STONE, COMPOST BLANKET, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETE OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH OR OTHER APPROVED METHODS TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
x) ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
y) THE PROJECT SHALL BE CONSTRUCTED TO MEET ALL REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARS 3800 RELATIVE TO INVASIVE SPECIES.

ABOVE NOTES EXCEPTED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" (NHSM, VOL. 3)

PROJECT SPECIFIC CONSTRUCTION PHASING:

1. REFER TO THE "GENERAL CONSTRUCTION PHASING" NOTES PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING PHASING. THE "GENERAL CONSTRUCTION PHASING" NOTES APPLY TO THE OVERALL CONSTRUCTION AND SHALL BE ADHERED TO.
2. INSTALL ALL TEMPORARY SEDIMENT CONTROL BARRIERS (I.E. SILT SOCK, ETC.) AROUND THE OUTER PERIMETER OF THE CONSTRUCTION SITE AS DEPICTED ON SHEET C-1 PRIOR TO EARTH MOVING OPERATIONS.
3. INSTALL ORANGE SNOW FENCE AROUND THE PERIMETER OF THE INFILTRATION BASIN AND THE FENCE SHALL REMAIN IN PLACE UNTIL CONSTRUCTION OF THE BASINS HAS STARTED.
4. CLEAR, GRUB AND STRIP THE SITE. STUMPS, BRUSH AND OTHER ORGANIC MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
5. STOCKPILE STRIPPED TOPSOIL AND CUT MATERIAL TO BE REUSED ON SITE IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH THE "SOIL STOCKPILE PRACTICES". MAINTAIN THE STOCKPILES AS DIRECTED IN THE "SOIL STOCKPILE PRACTICES".
6. PERFORM THE NECESSARY CUTS AND FILLS TO CONSTRUCT THE INFILTRATION BASIN AS DEPICTED ON SHEET C-1 AND IN ACCORDANCE WITH THE INFILTRATION BASIN DETAILS SHOWN ON SHEET C-2.
7. ALL DITCHES/SWALES/AND BASINS SHALL BE STABILIZED PRIOR TO CONSTRUCTION OF THE BASINS AND DITCHES.
8. PERFORM THE NECESSARY CUTS AND FILLS TO SUBGRADE IN THE PROPOSED BUILDING ADDITION AND RETAINING WALL.
a) INSTALL REQUIRED FILLS IN MAXIMUM 8-INCH LIFTS AND COMPACT EACH LIFT TO 95% MAXIMUM PROCTOR DENSITY.
9. AS SUBGRADE IS ACHIEVED INSTALL REMAINING SEDIMENT CONTROL BARRIERS WITHIN THE SITE (I.E. ADDITIONAL SILT FENCE, CHECK DAMS AND SEDIMENT CONTROLS AND CATCH BASINS, ETC.)
10. INSTALL ALL UTILITIES AND CLOSED DRAINAGE SYSTEM COMPONENTS (I.E. PIPE CULVERTS, CATCH BASINS AND REMAINING WATER MAIN) PER THE CORRESPONDING DETAILS AND AS SHOWN ON SHEET C-2 AND C-3, AS EACH STRUCTURE IS COMPLETED INSTALL THE CORRESPONDING SEDIMENT CONTROL MEASURE.
11. CONSTRUCT THE INFILTRATION BASIN AND OUTLET PROTECTION. LOAM SEED AND MULCH THE SIDE SLOPES OF THE BASIN AS DIRECTED IN THE INFILTRATION BASIN DETAILS AND TEMPORARY SEDIMENT CONTROL BARRIER DEPICTED ON SHEET C-3.
12. ALL CUT AND FILL SLOPES AND LAWN AREAS NOT TO BE PAVED SHALL BE LOAMED AND SEEDED FOR PERMANENT VEGETATION AND STABILIZATION AS DESCRIBED UNDER THE "PERMANENT VEGETATION PRACTICES" WITHIN 3 DAYS OF ACHIEVING FINAL GRADE.
13. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS POSSIBLE. IN NO CASE SHALL ANY DISTURBED AREA BE LEFT UN-STABILIZED FOR LONGER THAN 21 DAYS. IF NECESSARY TEMPORARY STABILIZATION MEASURES AS DISCUSSED IN THE "GENERAL CONSTRUCTION PHASING NOTES" AND NHSM, VOL. 3 SHOULD BE EMPLOYED.
14. MAINTENANCE AND INSPECTION:
a) DURING AND AFTER TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL, AND STORMWATER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY 1/2 INCH OF RAINFALL, AND ANNUALLY.
b) EXCESS SEDIMENT SHOULD BE REMOVED FROM TEMPORARY SEDIMENT, EROSION CONTROL, AND STORMWATER MANAGEMENT PRACTICES WHEN IT REACHES PRESCRIBED THRESHOLDS DISCUSSED IN THE DETAILS FOR EACH PRACTICE.
c) ALL DAMAGED TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL, AND STORMWATER MANAGEMENT PRACTICES SHOULD BE REPAIRED OR REPLACED IMMEDIATELY UPON NOTICE.
d) SEDIMENT SHALL BE DISPOSED OF PROPERLY EITHER ON SITE OR OFF SITE.

PROJECT COMPLETION AND STABILIZATION:

1. UPON PROJECT COMPLETION, ONCE THE SITE IS DEEMED STABILIZED (VEGETATION IS GERMINATED), THE TEMPORARY SEDIMENT CONTROL BARRIERS AND EROSION CONTROL PRACTICES SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING REMOVAL SHALL BE REPAIRED IN AN APPROPRIATE MANNER.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE INFILTRATION BASIN.

EROSION AND SEDIMENTATION CONTROL DETAILS

TAX MAP 208, LOT 6-1
152 FARMINGTON ROAD

ROCHESTER, NH

PREPARED FOR:

HAGAN'S MOTOR POOL, INC.

JANUARY 2022

C-3

WINTER STABILIZATION & CONSTRUCTION PRACTICES:

MAINTENANCE REQUIREMENTS:

1. MAINTENANCE MEASURES SHALL BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL CONDUCT INSPECTION OF ALL INSTALLED EROSION CONTROL PRACTICES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUED FUNCTION.
2. FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHALL CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF THE VEGETATION AND REPAIR ANY DAMAGED AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH.)

SPECIFICATIONS:

1. THE FOLLOWING STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 15.
a) THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1-ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NHSM, VOL. 3 OR ELSEWHERE IN THIS PLAN SET, PRIOR TO ANY THAW OR SPRING MELT EVENT.
2. STABILIZATION AS FOLLOWS SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
a) ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (REFER TO NHSM, VOL. 3 FOR SPECIFICATION).
3. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15 SHALL BE SEEDED AND COVERED WITH A PROPERLY INSTALLED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCHES OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHALL NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
4. ALL STONE COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
5. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
6. ALL MULCH APPLIED DURING WINTER SHALL BE ANCHORED (I.E. BY NETTING, TRACKING, WOOD CELLULOSE FIBER). WITHIN 24 HOURS OF STOCKPILING SOIL MATERIALS SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4 INCH LAYER OF EROSION CONTROL MIX. MULCH SHALL BE REESTABLISHED PRIOR TO ANY RAIN OR SNOWFALL. NO SOIL STOCKPILE SHALL BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100-FT. OF ANY WETLAND OR OTHER WATER RESOURCE AREA.
7. FROZEN MATERIAL (I.E. FROST LAYER REMOVED DURING WINTER CONSTRUCTION) SHALL BE STOCKPILED SEPARATELY AND IN A LOCATION AWAY FROM ANY AREA NEEDING PROTECTION. FROZEN MATERIAL STOCKPILES CAN MELT IN SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO HIGH SOIL MOISTURE CONTENT.
8. INSTALLATION OF EROSION CONTROL BLANKETS SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN EROSION CONTROL MIX.
9. ALL GRASS-LINED DITCHES AND CHANNELS SHALL BE CONSTRUCTED BY SEPTEMBER 1. ALL DITCHES AND SWALES WHICH DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AS DETERMINED BY A PROFESSIONAL ENGINEER. IF STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
10. ALL STONE LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
11. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF SAND AND GRAVEL, WITH A GRADATION THAT IS LESS THAN 12% OF THE SAND PORTION, OR MATERIAL PASSING THE NUMBER 4 SIEVE, BY WEIGHT, PASSES THE NUMBER 200 SIEVE.
12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHALL CONSIST OF EROSION CONTROL MIX BERM, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHALL NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

USE	MIXTURE	SPECIES	lbs./acre	lbs./1,000-SF
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
LIGHTLY USED PARKING LOTS, OOD AREAS, UNUSED LANDS, AND LOW INTENSITY RECREATION SITES	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL ESSENTIAL FOR GOOD TURF)	F	CREeping RED FESCUE	50	1.15
		KENTUCKY BLUEGRASS	50	1.15
		LATER	100	2.30
		TOTAL		

SOURCES:

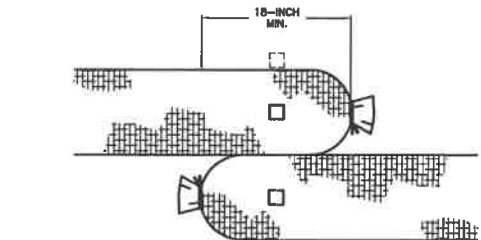
1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

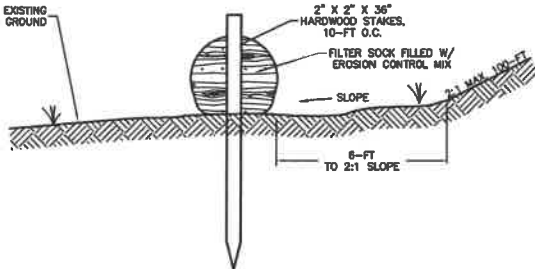
SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 112 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED FROM MARCH 15 TO MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYE GRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYE GRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

SOURCES:

1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)



FILTER SOCK CONNECTION PLAN VIEW



FILTER SOCK CROSS-SECTION

NOT TO SCALE

CONTINUOUS CONTAINED BERM (FILTER SOCK ALTERNATIVE):

1. AN ALTERNATIVE PRODUCT, THE CONTINUOUS CONTAINED BERM (OR "FILTER SOCK") CAN BE AN EFFECTIVE SEDIMENT BARRIER AS IT ADDS CONTAINMENT AND STABILITY TO A BERM OF EROSION CONTROL MIX.
2. IN THE EVENT THAT USE OF CONTINUOUS CONTAINED BERM IS DESIRED, THE PRODUCT SELECTED SHOULD BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER.
3. INSTALLATION OF CONTINUOUS CONTAINED BERMS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER.

MAINTENANCE REQUIREMENTS:

1. FILTER SOCK MAINTENANCE SHALL FOLLOW THE SAME SCHEDULE AS EROSION CONTROL MIX BERMS.

CONSTRUCTION SPECIFICATIONS:

1. COMPOSITION OF THE EROSION CONTROL MIX SHALL EITHER BE THE SAME AS EROSION CONTROL MIX BERM MATERIAL OR AS SPECIFIED BY THE FILTER SOCK MANUFACTURER.
2. THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR.
3. IT MAY BE NECESSARY TO CUT TALL GRASSES AND WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES IN THE BARRIER THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
4. FILTER SOCK DIAMETER (HEIGHT) SHALL BE PER THE MANUFACTURER RECOMMENDATION FOR THE AREA OF INSTALLATION.

CONTINUOUS CONTAINED BERM "FILTER SOCK" DETAIL

TEMPORARY VEGETATION:

SPECIFICATIONS:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHALL BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

1. STONES AND TRASH SHALL BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
2. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
3. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
4. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TUNING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)
*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)
*LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT

SEEDING:

1. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
2. TEMPORARY SEED SHALL TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
3. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSM, VOL. 3.
4. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.

MAINTENANCE REQUIREMENTS:

1. TEMPORARY SEEDING SHALL BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHALL BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
2. BASED ON INSPECTION, AREAS SHALL BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED.
3. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

FILE NO. 116
PLAN NO. C-3237
DWC NO. 21126

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS



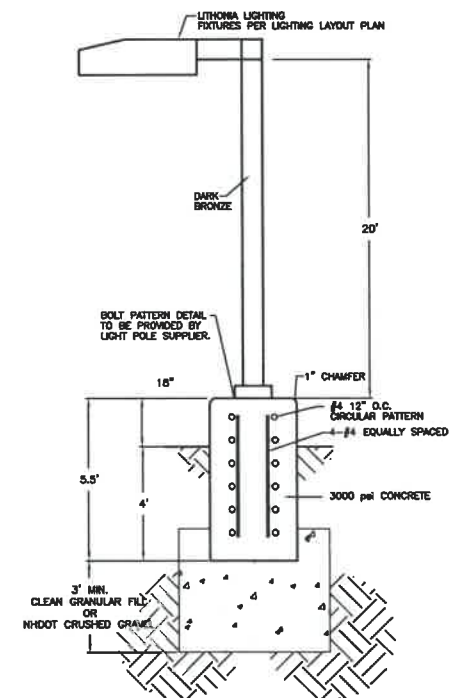
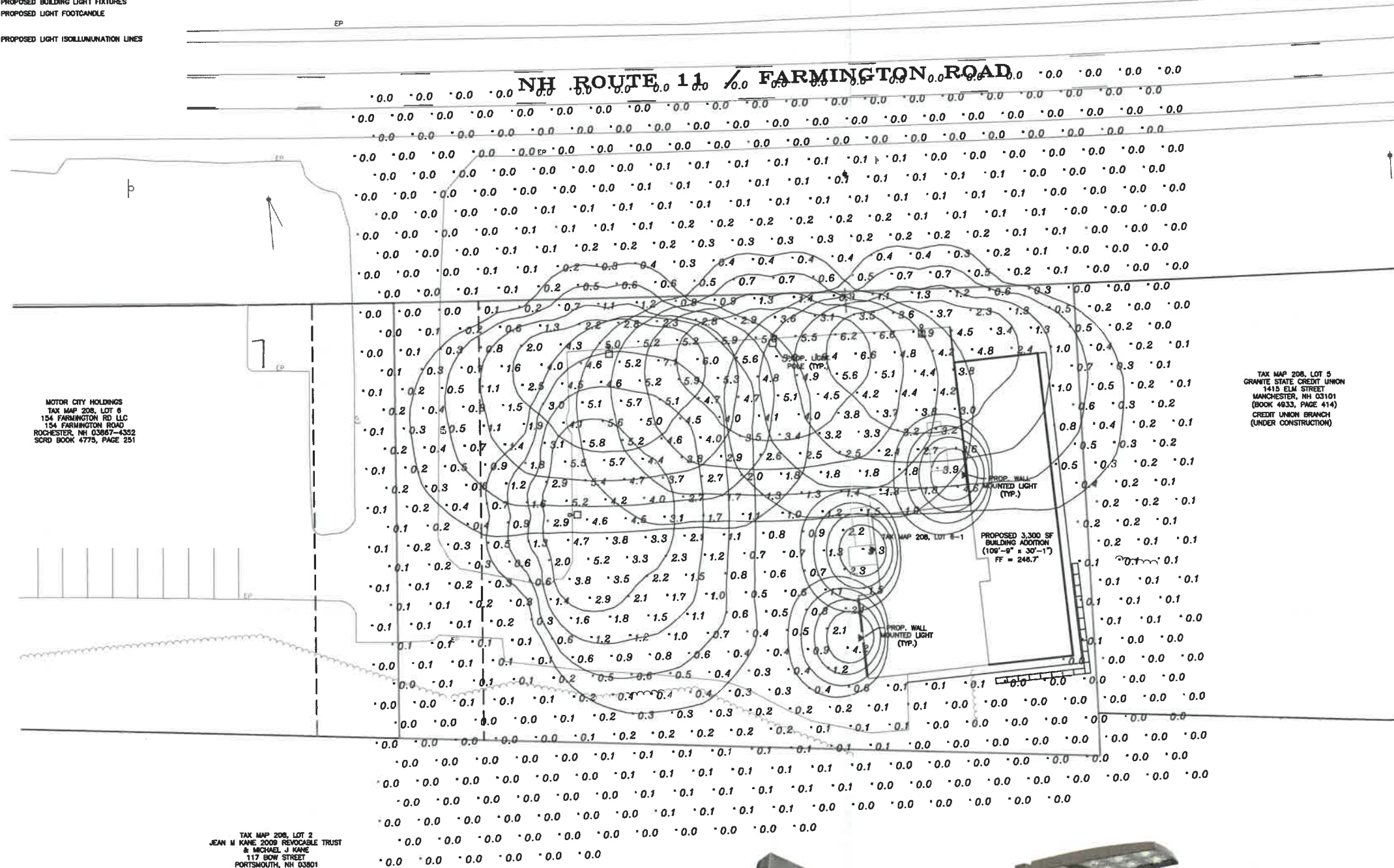
CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT WITH CURBING
- PROPOSED LIGHT POLES
- PROPOSED BUILDING LIGHT FIXTURES
- PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ILLUMINATION LINES

Luminaire Schedule				
Symbol	Label	Qty	Arrangement	Description
W1	S4	4	SINGLE	PRV-C40-D-UNV-T4-B2 / SSS4A20SPN1 (20' AFG)
W1	W1	3	SINGLE	AXCS1A / WALL MTD 12' AFG

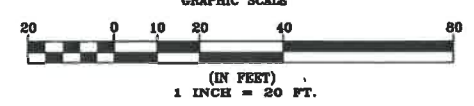
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE. GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



POLE MOUNTED LIGHT DETAIL

- POLE MOUNTED LIGHTING SPECIFICATIONS:
1. ALL STEWORY SHALL CONFORM TO CITY OF ROCHESTER STANDARDS AND LOCAL AUTHORITIES HAVING JURISDICTION.
 2. ALL MATERIAL WORKMANSHIP SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING STANDARDS, NEW HAMPSHIRE ELECTRIC CODE, FIRE PROTECTION ASSOCIATION, NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION.
 3. ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE 1 1/2" DIAMETER PVC SCHEDULE 40. ALL ELBOWS SHALL BE GALVANIZED RIGID STEEL. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE MINIMUM COVER OF THREE (3) FEET.
 4. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPE TO FACILITATE PULLING IN CABLES.
 5. ALL EQUIPMENT TO BE LITHONIA LIGHTING - AS2 SERIES.
 6. LUMINAIRES SHALL BE LITHONIA LIGHTING - AS2 SERIES, LITHONIA AS2 400M SR45A SPA CATALOG NUMBERS, LITHONIA AS2 400M SR45A WBA LITHONIA AS2 400M SR3 SPA LITHONIA AS2 400M SR3
 7. ALL EXTERIOR CONDUITS SHALL BE PROVIDED WITH 6" WIDE, METALLIZED CONTINUOUS WARNING TAPE.
 8. POLES SHALL BE IOW INDUSTRIES SSS 20 SC DN18AS OR DN28AS POLES.
 9. PROVIDE FUSING ON ALL LUMINAIRES. FUSES TO BE LOCATED AT POLE HANDLES. ALL LUMINAIRES 277 VOLT.
 10. GROUND ALL POLES. PROVIDE 3/4" x 6'-0" GROUND ROD AT EACH POLE WITH #6 AWG COPPER GROUND CONNECTION.
 11. PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
 12. ALL NO. 8 WIRE AND LARGER SHALL BE TYPE THIN COPPER NO. 8 WIRE AND SMALLER SHALL BE THIN COPPER.

LIGHTING PLAN
TAX MAP 208, LOT 6-1
152 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR:
HAGAN'S MOTOR POOL, INC.
JANUARY 2022



FILE NO. 116
PLAN NO. C-3237
DWC. NO. 21126

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



