

NONRESIDENTIAL SITE PLAN APPLICATION
City of Rochester, New Hampshire

Date: March 23, 2021 Is a conditional use needed? Yes: ☒ No: ☐ Unclear: ☐
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 216; Lot #'s): 29; Zoning district: Granite Ridge Development

Property address/location: 21 Farmington Road

Name of project (if applicable): _____

Size of site: 2.15 acres; overlay zoning district(s)? Wetlands

Property owner

Name (include name of individual): 21 Farmington Road LLC

Mailing address: 549 US Highway 1 BYP, Portsmouth NH 03801

Telephone #: (603) 436-0666 Email: sroberts@hpgirlaw.com

Applicant/developer (if different from property owner)

Name (include name of individual): Miles Cook, NM Cook Development LLC

Mailing address: 22 Isaac Lucas Circle Dover NH 03820

Telephone #: 603-502-5200 Email: mcook@metrocast.net

Engineer/designer

Name (include name of individual): Kenneth A. Berry & Christopher R. Berry Berry Surveying & Engineering

Mailing address: 335 Second Crown point Road Barrington NH 03825

Telephone #: 603-332-2863 Fax #: _____

Email address: k.berry@berrysurveying.com & crberry@metrocast.net Professional license #: 14243

Proposed activity (check all that apply)

New building(s): ☒ Site development (other structures, parking, utilities, etc.): ☒

Addition(s) onto existing building(s): ☒ Demolition: ☒ Change of use: ☐

Describe proposed activity/use: See attached narrative

Describe existing conditions/use (vacant land?): See attached narrative

Utility information

City water? yes X no ; How far is City water from the site? On site

City sewer? yes X no ; How far is City sewer from the site? On Site

If City water, what are the estimated total daily needs? 500 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes X no

If City sewer, do you plan to discharge anything other than domestic waste? yes no X

Where will stormwater be discharged? Underground infiltration system

Building information

Type of building(s): Bank

Building height: 15-20' Finished floor elevation: 255.40'

Other information

parking spaces: existing: 0 total proposed: 15; Are there pertinent covenants? Yes

Number of cubic yards of earth being removed from the site Fill Only

Number of existing employees: 0; number of proposed employees total: 4-8

Check any that are proposed: variance N/A; special exception N/A; conditional use X

Wetlands: Is any fill proposed? N/A; area to be filled: N/A; buffer impact? 600 SF

THIS CHART IS FILLED OUT BASED ON FINISHED LOT 29-1

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	2264	10.3
Parking and vehicle circulation	16850	75.8
Planted/landscaped areas (excluding drainage)	2851	12.8
Natural/undisturbed areas (excluding wetlands)	0	
Wetlands	0	
Other – drainage structures, outside storage, etc.	250	1.1

22,215 Sq.Ft. 100%

Comments

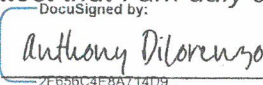
Please feel free to add any comments, additional information, or requests for waivers here:

See attached narrative

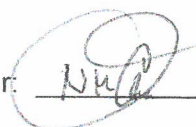
Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

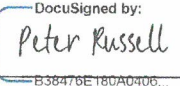
I/we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner:  2F656C4E8A714D9...

Date: 3/16/2021

Signature of applicant/developer: 

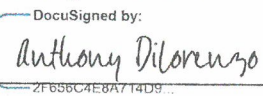
Date: 3-22-21

Signature of agent:  B38476E18DA0406...

Date: 3/16/2021

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner:  2F656C4E8A714D9...

Date: 3/16/2021

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: 3-23-21

Property information

Tax map #: 216; Lot #'s): 29; Zoning district: Granite Ridge Development

Property address/location: 21 Farmington Road

Name of project (if applicable): _____

Property owner

Name (include name of individual): 21 Farmington Road LLC

Mailing address: 549 US Highway 1 BYP, Portsmouth NH 03801

Telephone #: 603-436-0666 Fax 603-431-0879

Applicant/developer (if different from property owner)

Name (include name of individual): Miles Cook, NM Cook Development LLC

Mailing address: 22 Isaac Lucas Circle Dover NH 03820

Telephone #: 603-502-5200 Fax #: mcook@metrocast.net

Engineer/designer

Name (include name of individual): Kenneth A. Berry & Christopher R. Berry Berry Surveying & Engineering

Mailing address: 335 Second Crown point Road Barrington NH 03825

Telephone #: 603-332-2863 Fax #: _____

Email address: k.berry@berrysurveying.com & crberry@metrocast.net Professional license #: 14243

Proposed Project

Please describe the proposed project: Proposed 600 SF of disturbance within the 50' wetland buffer
to fill around a proposed bank, fire lane and storm water treatment area.

Please describe the existing conditions: See attached narrative.

(continued Conditional Use application Tax Map: 216 Lot: 29)

Please fill in **one of the next two sections – for either Conditional Uses or Buffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

See attached narrative.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

See attached narrative.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

See attached narrative.

(iv) Economic advantage is not the sole reason for the proposed location of work.

See attached narrative.

(Buffer Reductions on next page)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, **or** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel **or** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Anthony DiLorenzo
DocuSigned by: 2F636C4E8A714D9...

Date: 3/16/2021

Signature of applicant/developer: [Signature]

Date: 3-22-21

Signature of agent: Peter Russell
DocuSigned by: B36470E180A0480...

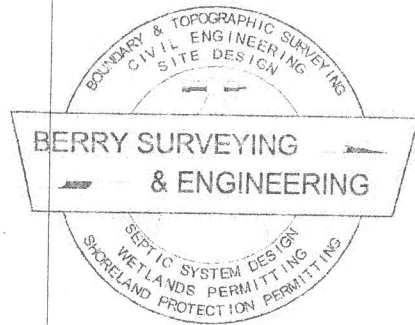
Date: 3/16/2021

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: Anthony DiLorenzo
DocuSigned by: 2F636C4E8A714D9...

Date: 3/16/2021



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

www.BerrySurveying.Com

crberry@metrocast.net

City of Rochester Planning Board
Attention: Chief Planner, Seth Creighton
33 Wakefield Street
Rochester, NH 03867

March 23, 2021

Re: Site Plan & Subdivision
21 Farmington Road
Rochester, NH 03867
Tax Map 216, Lot 29

Mr. Creighton,

On behalf of our client, NM Cook Development, Berry Surveying & Engineering (BS&E) is submitting for TRG, to discuss a proposed site plan and minor subdivision.

Background and General Narrative:

21 Farmington LLC owns the parcel at 21 Farmington Road in Rochester, NH (Tax Map 216, Lot 29). Berry Surveying & Engineering has conducted an on-site survey of the parcel which includes a topographic analysis as well as a wetlands analysis. This work was conducted under a prior application and has been updated and reviewed in 2021. Wetlands were found along the existing stream to the rear of the parcel. The parcel has 2 existing buildings that sit on the northerly side of the parking lot. The site is mostly paved area with some grass and wooded area towards the rear.

The Proposal:

The proposed project consists of 2 portions. The first is to subdivide the parcel into 2 lots. A portion of the lot will be subdivided off to encompass the proposed site plan (this will be known as Lot 29-1). The remaining land will continue to be Lot 29. Due to the applications being conducted at the same time, the tax map and lot numbers reference the original parcel, 29, however much of the site activity will take place on the newly created lot 29-1. As part of the subdivision the existing buildings will be removed prior to recording because the proposed boundary line runs through one of them. As part of this subdivision, there will be 3 easements. Easement 1 will be for access and stormwater in service of Lot 29-1. Easements 2 & 3 will be access easements in favor of Lot 29. The shape and design of the subdivision is specific to this proposed user as well as the topographic limits of the site. Due to the future ownership of the remainder of Lot 29, it is important for some of the congruent abutting businesses that the lots be congruent in nature. The applicant is very cognizant of the need for future connections of the

parcels moving forward and has left an access easement at the front of the project site, as well as keeping the existing trail system free of the subdivision lines.

The second portion of the application is the proposed site plan. As stated above, the existing buildings and a portion of the existing parking lot will be removed. A proposed bank and relating parking will be constructed in its place on Lot 29-1. The proposed bank will require 7 spaces, however, 15 spaces are provided based on the needs of the end user and their experiences at their other locations. After discussions with the planning department, the applicant is proposing to keep the rear of the site open for future proposed parking. The site plan notes its location and the grading and drainage plan note the design intent and construction style needed for its construction. In addition the applicant will likely enter into a private agreement to allow additional parking on the remainder of the 21 Farmington Road. The proposed bank will have a drive up ATM lane at the rear of the site, two drive through teller lanes and a bypass lane (a turning template is included in the plan set demonstrating a Rochester fire truck can navigate the bypass lane).

As part of the site plan, an intensive drainage design was conducted. Given the existing condition of the site, soil type and proximity to adjacent wetlands, underground infiltration systems were designed. These underground infiltration systems will capture all of the runoff from the proposed bank development as well as some of the parking area on Lot 29. The stormwater will be pretreated and then infiltrated into native soil for full treatment. An overflow device will also be installed to route any runoff towards a level spreader that will be constructed along the 50' buffer. The proposed underground infiltration and level spreader will add a level of stormwater protection to the existing stream and wetlands that was not previously there.

All proper erosion and sediment control measures will be taken to ensure that no runoff is tracked onto Farmington Road or areas outside the proposed construction zone.

The proposed bank will continue to use the same sewer and water service on site.

As part of this application a conditional permit will be required for disturbing area within the 50' buffer. See attached conditional use narrative. Additionally, a permit is being filed with NHDOT for the proposed use. As part of the NHDOT application a traffic analysis was conducted for the proposed use. This analysis demonstrated that a deceleration lane will be required along N.H. Route 11 approaching the site. This deceleration lane was required for the prior application on this project site and replicated in this design. Design plans for the decel lane are included in the plan set.

Respectfully submitted,
BERRY SURVEYING & ENGINEERING

James F. Hayden
Project Engineer

Christopher E. Berry, SIT
Principal, President

BERRY SURVEYING & ENGINEERING
335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
www.BerrySurveying.Com



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ASTERISKS INDICATE PLANS TO BE RECORDED

OWNER: 21 FARMINGTON ROAD, LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131

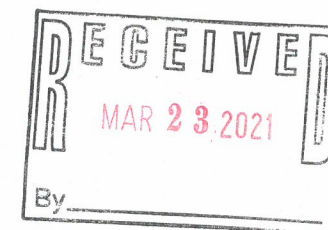
APPLICANT: NM COOK DEVELOPMENT LLC
22 ISAAC LUCAS CIRCLE
DOVER, NH 03820

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

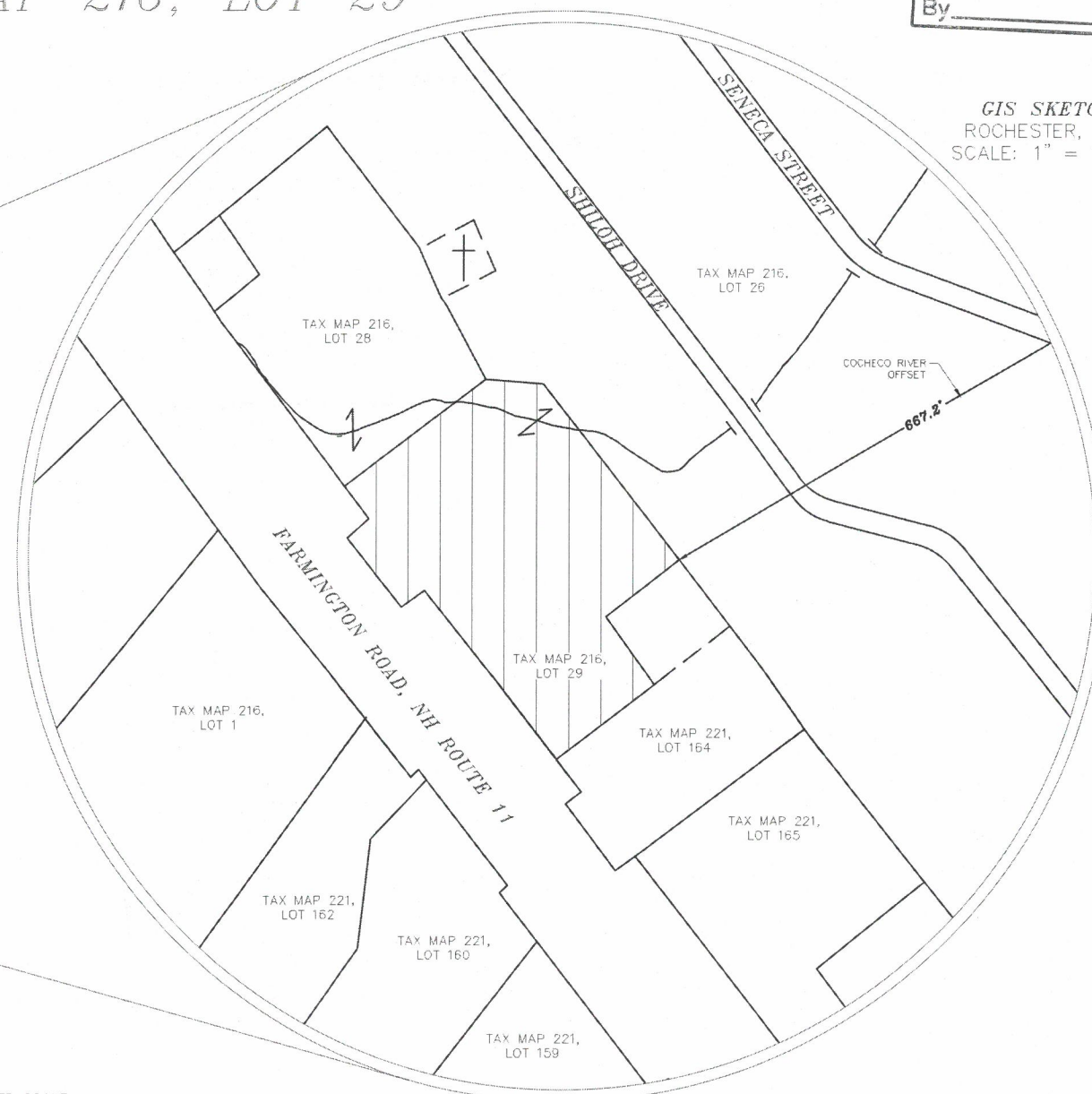
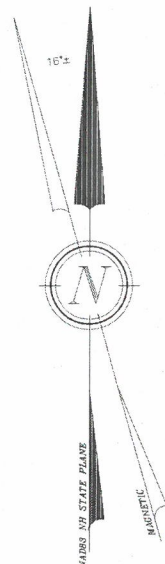
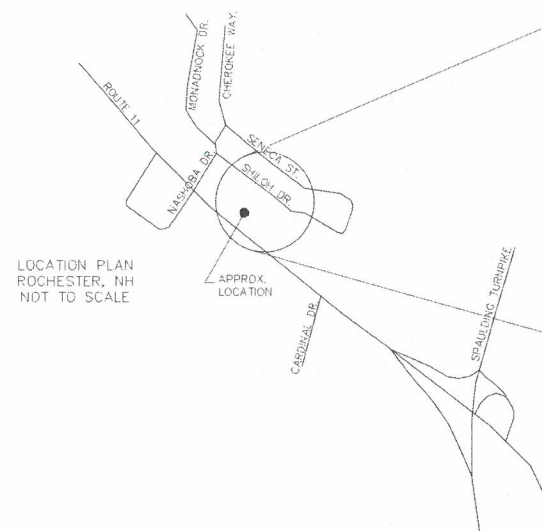
ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: DAMON E. BURT, CWS #163
FRAGGLE ROCK ENVIRONMENTAL SERVICES
38 GARLAND ROAD
STRAFFORD, NH 03884
(603) 969-5574

PROPOSED SUBDIVISION & SITE PLAN FOR NM COOK DEVELOPMENT LLC LAND OF 21 FARMINGTON ROAD, LLC 21 FARMINGTON ROAD ROCHESTER, N.H. TAX MAP 216, LOT 29



GIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 100'±



NOTE:

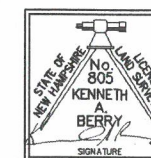
A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE. THOSE PRESENT SHOULD INCLUDE THE OWNER OF RECORD, DESIGN ENGINEER, CONSTRUCTION MANAGER, CITY ENGINEER OR DESIGNEE, AND HEAD OF THE PLANNING DEPARTMENT OR DESIGNEE.

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECT'S DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CEO AS DIRECTED IN THE MANUAL.

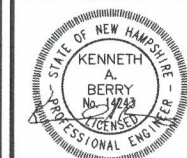
GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.
- 3.) FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867, (603) 335-1338.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY : _____
DATE : _____



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : AS SHOWN
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022



PROPOSED SUBDIVISION AND SITE PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

REVISION	DATE	DESCRIPTION

ABBREVIATION LEGEND:

V.G.C. VERTICAL GRANITE CURB
E.O.P. EDGE OF PAVEMENT
BITUM. BITUMINOUS
E.S.H.W.T. ESTIMATED SEASONAL HIGH WATER TABLE
TYP. TYPICAL
U.G.E. UNDER GROUND ELECTRIC / UTILITY
HDPE HIGH DENSITY POLYETHYLENE
ACP ASBESTOS CLAY PIPE
F.G. FINISHED GRADE
E.G. EXISTING GRADE
L.F. LINEAR FOOT
F.D. FINISHED FLOOR
FND FOUND
T.B.R. TO BE REMOVED
P.L. PROPERTY LINE
E.L. EASEMENT LINE
T.B.M. TEMPORARY BENCHMARK
', FOOT / FOOT

SSL () ~ [SIZE] SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ [SIZE] DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ [SIZE] SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL () ~ [SIZE] SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ [SIZE] DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

EXISTING LEGEND:

IRON BOUND (FND)
REBAR (FND)
RAILROAD SPIKE (FND)
UTILITY POLE / GUY WIRE
SINGLE POST SIGN
CURB STOP
GATE VALVE
FIRE HYDRANT
CATCH BASIN
SEWER MANHOLE
EXISTING SPOT ELEVATION

BUILDING SETBACK LINE
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SEWER LINE
EXISTING DRAIN LINE
OVERHEAD UTILITIES
EXISTING CONTOUR MINOR
EXISTING CONTOUR MAJOR

PROPOSED LEGEND:

IRON BOUND (FND)
TEMPORARY BENCHMARK
CURB STOP
GATE VALVE
GAS VALVE
CATCH BASIN
SHEET DETAIL
LIGHTING

PROPOSED SPOT ELEVATION
EASEMENT LINE
PROPOSED WATER LINE
PROPOSED SEWER LINE
PROPOSED DRAIN LINE
PROPOSED CONTOUR MINOR
PROPOSED CONTOUR MAJOR
SAW CUT LINE
PROPOSED UNDERGROUND UTILITY
SILT FENCE / EROSION MIX BERM
FILTREXX SILT SOXX (8" or 12" AS NOTED)
ORANGE CONSTRUCTION PERIMETER FENCE

TEST PIT DATA:

4-20-15

- 0'-3" 10YR 3/3, FINE SANDY LOAM, GRANULAR, FRIABLE, TOPSOIL
3'-10" 10YR 5/4, SAND, GRANULAR, FRIABLE
10'-24" 5YR 7/2, SEPTIC STONE, GRANULAR, FRIABLE, ABANDONED LEACH FIELD
24'-72" 10YR 4/4, FINE SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 9"
E.S.H.W.T. N/A, ROOTS TO 4"
TERMINATED @ 72", NO GROUNDWATER
- 0'-10" 10YR 5/4, SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 9"
16'-72" 10YR 6/4, SAND, GRANULAR, FRIABLE
E.S.H.W.T. N/A, TERMINATED @ 72"
NO GROUNDWATER
- 0'-12" 10YR 3/3, FINE SANDY LOAM, GRANULAR, FRIABLE, TOPSOIL
12'-36" 10YR 4/4, SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 12"
36'-72" 10YR 6/4, SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 12"
E.S.H.W.T. N/A, ROOTS TO 12"
TERMINATED @ 72", NO GROUNDWATER

TEST PIT DATA CONTINUED:

10-20-15

- 0'-12" 10YR 3/3, FINE SANDY LOAM, GRANULAR, FRIABLE, TOPSOIL
12'-72" 7.5YR 5/6, SAND AND GRAVEL, GRANULAR, FRIABLE, TOPSOIL
E.S.H.W.T. N/A, ROOTS TO 12"
TERMINATED @ 72", NO GROUNDWATER
- 0'-12" 10YR 5/4, SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 9"
12'-72" 10YR 6/4, SAND, GRANULAR, FRIABLE
E.S.H.W.T. N/A, NO GROUNDWATER
- 0'-18" 10YR 5/4, SAND AND GRAVEL, GRANULAR, FRIABLE, COBBLES TO 9"
18'-72" 10YR 6/4, SAND, GRANULAR, FRIABLE
E.S.H.W.T. N/A, TERMINATED @ 72"
NO GROUNDWATER

GIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 300'±



SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)
R7-8	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN W/ WHITE SYMBOL ON BLUE	RED	SQUARE (2)
R7-8a	12"x6"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	WHITE	GREEN	GREEN	SQUARE (0)
R5-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE W/ RED SYMBOL	WHITE	WHITE	SQUARE (1)
R6-1R	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (1)
R6-1L	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (2)

ABUTTERS:

N/F ROCHESTER MOTORSPORTS
23 FARMINGTON RD
ROCHESTER, NH 03867
BOOK 3379, PAGE 464
TAX MAP 216, LOT 28
S.C.R.D. BOOK 3379, PAGE 464

N/F NM COOK 17 FARMINGTON RD LLC
22 ISAAC LUCAS CIR
DOVER, NH 03820
TAX MAP 221, LOT 164
S.C.R.D. BOOK 4766, PAGE 234

N/F DONALD & BONNIE TOY
TOYS MANUFACTURED HOUSING INC
15 NASHUA DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 86
S.C.R.D. BOOK 1110, PAGE 658

N/F JOHN R & MARY PLUMER
9 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-92
S.C.R.D. BOOK 4167, PAGE 982

N/F ELMER V & J HERMINE BURNS
13 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-93
S.C.R.D. BOOK, 2017, PAGE 256

N/F TINA P & JOHN W BRUNO
15 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-94
S.C.R.D. BOOK 3579, PAGE 628

N/F BLANCHE B LESSARD
18 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-96
S.C.R.D. BOOK 4257, PAGE 680

N/F BRIAN A TUCKER
23 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-98
S.C.R.D. BOOK 4626, PAGE 277

N/F JANET L MCDONALD
23 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-97
S.C.R.D. BOOK 3918, PAGE 355

ABUTTERS CONTINUED:

N/F ROBERT J & ISABEL S MANSON LIV TRUST
29 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-98
S.C.R.D. BOOK 4319, PAGE 623

N/F ANDERSON REV TRUST OF 2003
LUELLA ANDERSON TRUSTEE
33 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-99
S.C.R.D. BOOK 4323, PAGE 933

N/F JOSEPH J & NORMA J TAVERNESE
JANICE A BURNS
37 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-101
S.C.R.D. BOOK 3307, PAGE 471

N/F VIRGINIA CHAPPELL REV TRUST
VIRGINIA CHAPPELL TRUSTEE
38 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-102
S.C.R.D. BOOK 4600, PAGE 868

N/F WESSLER PROPERTIES LLC
20 FARMINGTON RD
ROCHESTER, NH 03867
TAX MAP 216, LOT 1
TAX MAP 221, LOT 162
S.C.R.D. BOOK, 4009, PAGE 573
S.C.R.D. BOOK 4193, PAGE 444

N/F MICHAEL V & JEAN F GARZILLO
11 FARMINGTON RD
ROCHESTER, NH 03867
TAX MAP 221, LOT 180
S.C.R.D. BOOK 3431, PAGE 885

N/F SECKENDORF REAL ESTATE HOLDINGS LLC
2 FARMINGTON RD
ROCHESTER, NH 03867
TAX MAP 221, LOT 185
S.C.R.D. BOOK 3192, PAGE 036

N/F ROCHESTER MOTORSPORTS
23 FARMINGTON RD
ROCHESTER, NH 03867
TAX MAP 216, LOT 28
S.C.R.D. BOOK 3379, PAGE 464

ABUTTERS CONTINUED:

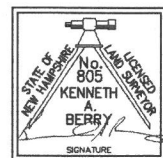
N/F EDWARD J & KATHLEEN N WILENT
41 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-102
S.C.R.D. BOOK 3461, PAGE 421

N/F LEESE V & ANN M HEISLER
40 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-103
S.C.R.D. BOOK 4279, PAGE 064

N/F GOLONKA FAMILY TRUST
WILLIAM & JOANNE GOLONKA
49 SHILOH DR
ROCHESTER, NH 03867
TAX MAP 216, LOT 26-104
S.C.R.D. BOOK, 3948, PAGE 424

N/F 10 FARMINGTON ROAD LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
TAX MAP 221, LOT 159
S.C.R.D. BOOK 4173, PAGE 380

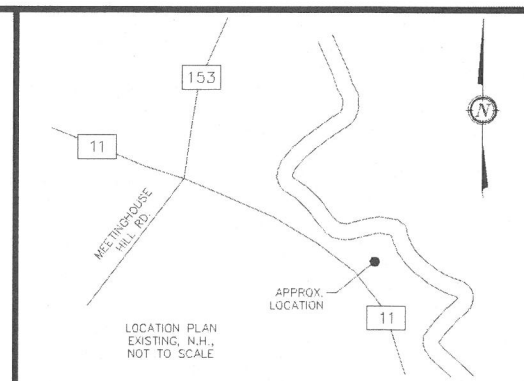
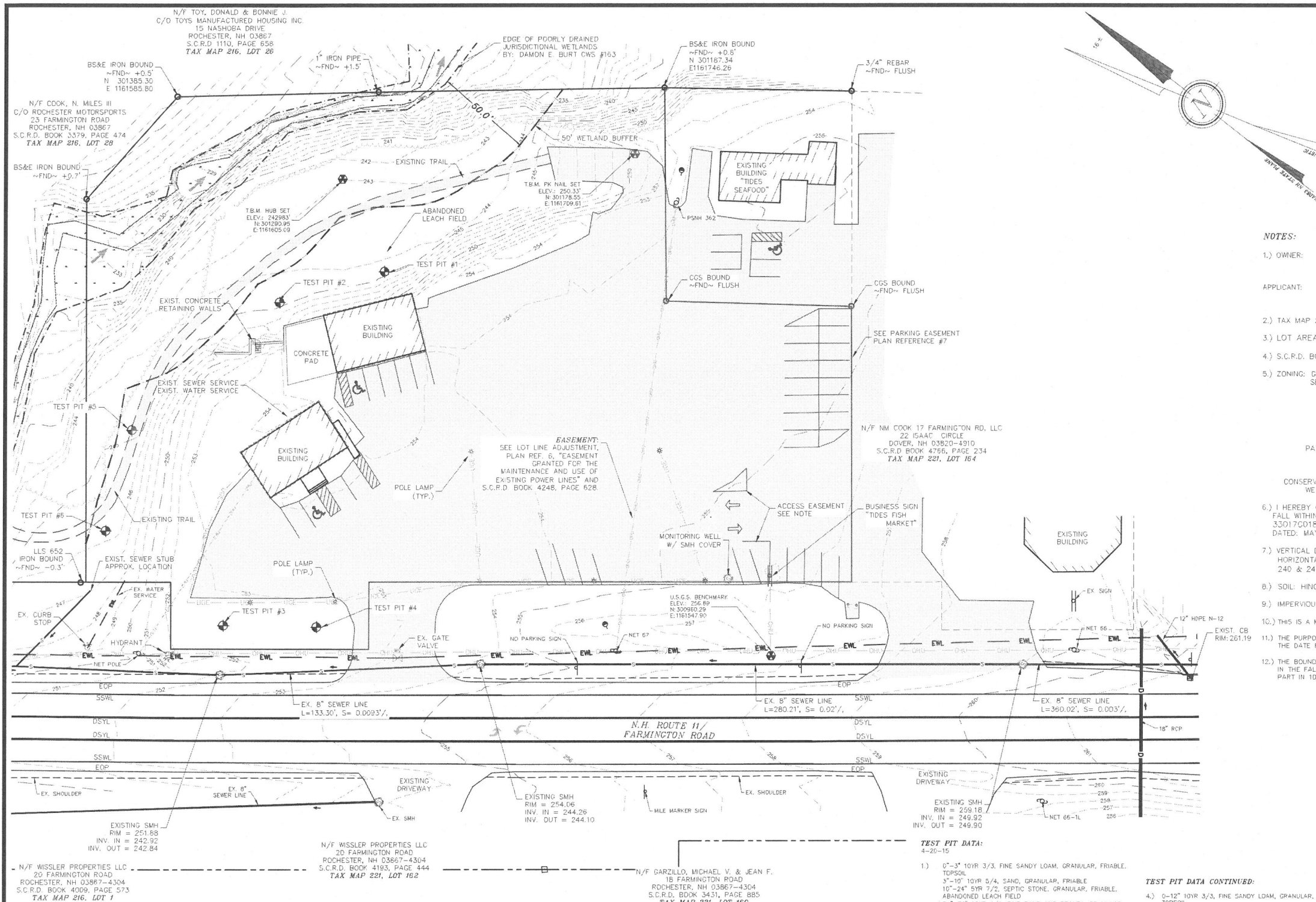
N/F JEAN W EDERLY REV TRUST
JEAN W EDERLY SALADINO TRUSTEE
2 FARMINGTON RD
ROCHESTER, NH 03867
TAX MAP 221, LOT 154
S.C.R.D. BOOK 3357, PAGE 1015



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : AS SHOWN
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

NEIGHBORHOOD PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 1424
PROFESSIONAL ENGINEER

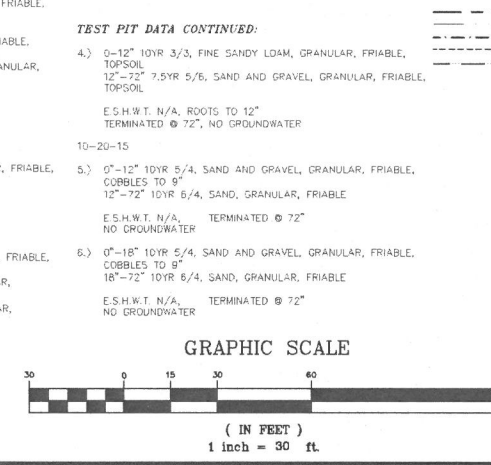


- NOTES:**
- 1.) OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - 2.) TAX MAP 216, LOT 29
 - 3.) LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
 - 4.) S.C.R.D. BOOK 4248, PAGE 628
 - 5.) ZONING: GRD - GRANITE RIDGE DEVELOPMENT
SETBACKS:
FRONTAGE: 50 FEET, MINIMUM
MIN. LOT AREA: NO REGULATION
MAX. LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
MAXIMUM COVERAGE: NO REGULATION
PAVEMENT SETBACKS:
FRONT PAVEMENT: 10 FEET
SIDE PAVEMENT: 5 FEET
REAR PAVEMENT: 10 FEET
CONSERVATION OVERLAY DISTRICT
WETLAND BUFFER: 50 FEET
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# - 330150, MAP# - 33017C0184D, DATED: MAY 17, 2005 & FEMA COMMUNITY# - 330150, MAP# - 33017C0203D, DATED: MAY 17, 2005
 - 7.) VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS
HORIZONTAL COORDINATES BASED ON NH GRID. (CITY OF ROCHESTER NH - CONTROL POINTS 240 & 241)
 - 8.) SOIL: HINCKLEY LOAMY SAND, 3-8% SLOPE THROUGHOUT. SOURCE: USDA-NRCS WEBSOIL
 - 9.) IMPERVIOUS COVER: 50,008 Sq. Ft., 1.15 Ac., 53.3%
 - 10.) THIS IS A MULTI PAGE PLAN SET WITH ADDITIONAL ENGINEERING INFORMATION PROVIDED
 - 11.) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 216, LOT 29, AS OF THE DATE FIELD SURVEY IN THE FALL OF 2014 AND SUBSEQUENT SITE INSPECTIONS.
 - 12.) THE BOUNDS SHOWN ON THIS PLAN ARE A RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN THE FALL OF 2014 UNDER NO SNOW CONDITIONS, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.

- EXISTING LEGEND:**
- IRON BOUND (FND)
 - UTILITY POLE / GUY WIRE
 - SINGLE POST SIGN
 - ⊙ CURB STOP
 - ⊙ GATE VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ CATCH BASIN
 - ⊙ SEWER MANHOLE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING DRAIN LINE
 - OVERHEAD UTILITIES
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - PROPOSED BOUNDARY LINE
 - BUILDING SETBACK LINE
 - POORLY DRAINED WETLAND LINE
 - EASEMENT LINE
 - 50' WETLAND BUILDING SETBACK
 - TBS TO BE SET
 - FND FOUND
 - TYP TYPICAL
 - S.C.R.D. STAFFORD COUNTY REGISTRY OF DEEDS

- PLAN REFERENCES:**
- 1.) "PROPOSED SITE REVIEW FOR MARC MOTORS, ROUTE 11, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING
DATED: NOVEMBER 9, 1995
FILE #1995-53
 - 2.) "PROPOSED RETAIL OUTLET RENE & WAYNE CARDINAL ROUTE 11, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING
DATED: APRIL 2, 1986
FILE # 1986-52
 - 3.) "LEON J. CARDINAL LOT, ROCHESTER, NH"
BY: NEW ENGLAND FORESTRY FOUNDATION
D.P. POPPENA SURVEYOR
DATED: NOVEMBER 1972
ROCHESTER PLAN # 38 POCKET 6 FOLDER 3
 - 4.) "PLAN OF LAND OF RICHARD L. COUSINEAU ROUTE 11, ROCHESTER, NH"
BY: BERRY CONST. CO.
DATED: FEBRUARY 5, 1975
FILE # 1975-12
- PLAN REFERENCES CONTINUED:**
- 5.) "PROPOSED 2 BEDROOM RESIDENCE CARDINALS SEAFARER RESTAURANT, ROUTE 11, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING
DATED: APRIL 1986. FILE # 1986-74
 - 6.) "PROPOSED LOT LINE REVISION RENE CARDINAL & WAYNE CARDINAL ROUTE 11, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING
DATED: DECEMBER 8, 1986. S.C.R.D. PLAN # 30A-85
 - 7.) "PROPOSED BOUNDARY LINE ADJUSTMENT FOR CARDINALS SEAFARER RESTAURANT INC. AND BOF-A LLC, ROCHESTER, NH"
TAX MAP 216, LOT 29 & TAX MAP 221, LOT 164
BY: BERRY SURVEYING & ENGINEERING
DATED: DECEMBER 11, 2011
FILE #DB 2011-154. S.C.R.D. PLAN # 103-048
 - 8.) NHDOT PLANS F 022-1(1), SHEET 19, 1958
NH ROUTE 11 - HENRY WILSON HIGHWAY
ON FILE AT NHDOT, HAZEN DRIVE, CONCORD, NH
 - 9.) "EXISTING CONDITIONS PLAN, 21 FARMINGTON ROAD LLC 21 FARMINGTON ROAD, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING, FILE DB 2014-149
- EASEMENTS:**
- SEE LOT LINE ADJUSTMENT, PLAN REF. 6, "INCLUDES CROSS EASEMENTS FOR THE TWO SUBJECT LOTS FOR PARKING, ACCESS INTO THE SITE AND CIRCULATION THROUGH THE SITE, TO BE USED IN A REASONABLE AND IN THE CUSTOMARY FASHION OF SUCH EASEMENTS. IN THE EVENT THAT EITHER LOT IS REDEVELOPED SUCH THAT A CHANGE OR TERMINATION OF ONE OR MORE OF THE EASEMENTS IS IN ORDER, THE APPLICANT FOR SUCH REDEVELOPMENT MAY PROPOSE A CHANGE OR TERMINATION AS PART OF THE SITE PLAN APPLICATION, SUBJECT TO REASONABLE APPROVAL BY THE PLANNING BOARD." SEE ALSO S.C.R.D. BOOK 4248 PAGE 628 FOR INGRESS AND EGRESS ONLY BUT NOT FOR PARKING VEHICLES WITH REFERENCE TO S.C.R.D. BOOK 3973, PAGE 707.
- UTILITY NOTE:**
- THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THE WETLAND DELINEATION WAS COMPLETED IN THE WINTER OF 2021 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY: DAMON E. BURT, CWS #163. FRAGGLE ROCK ENVIRONMENTAL SERVICES**

DAMON E. BURT
CWS #163



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-

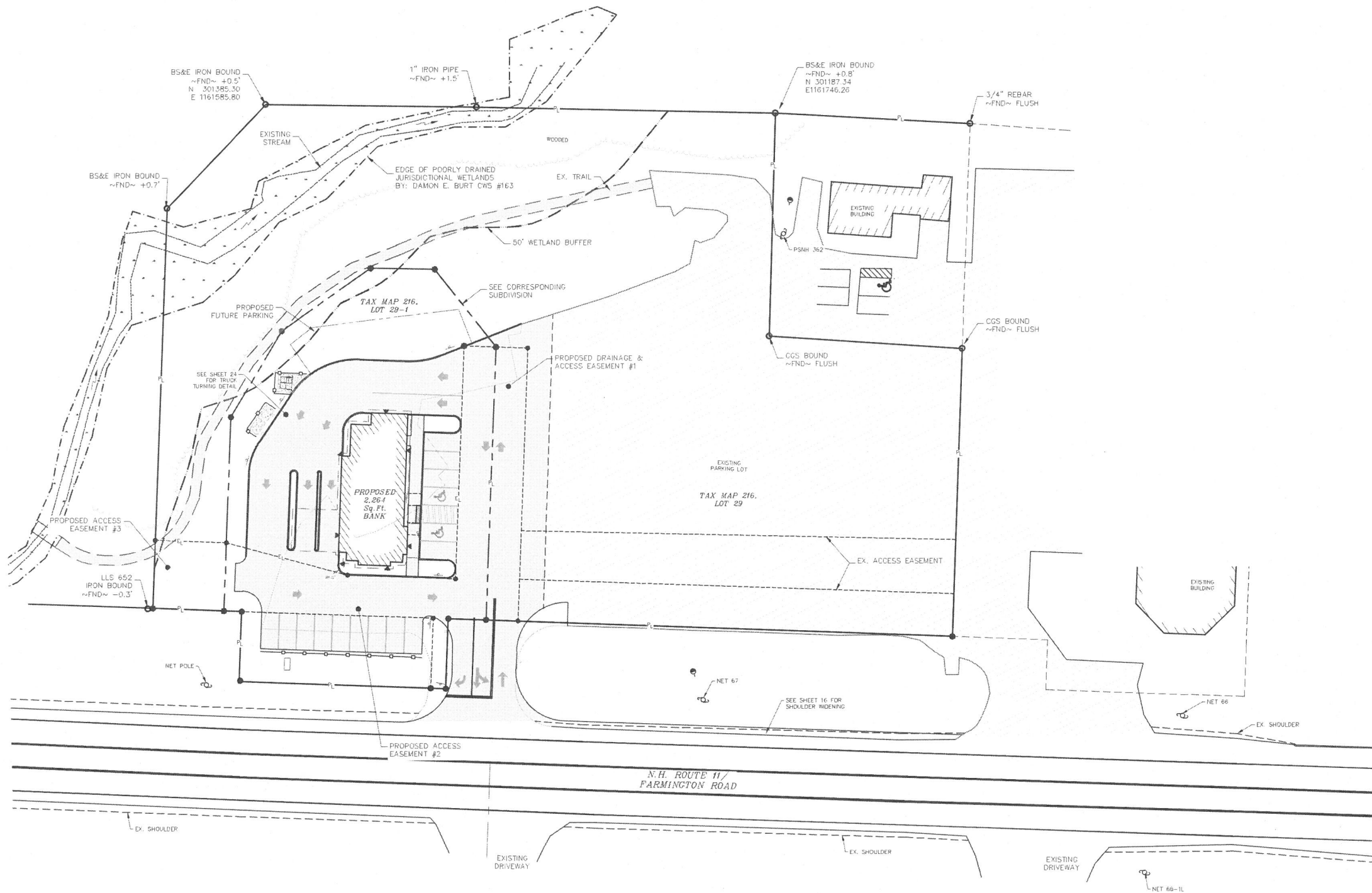
KENNETH A. BERRY L.L.S. 805 DATE

REVISION	DATE	DESCRIPTION

EXISTING CONDITIONS PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

SHEET 2 OF 24



PARKING REQUIREMENTS:

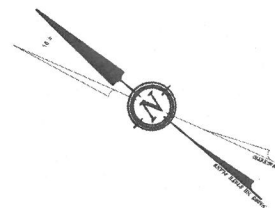
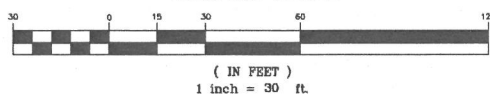
- SECTION 10 - PARKING AND CIRCULATION
- RETAIL, OFFICE, RESTAURANT OR SERVICE USES
 - 3 SPACES PER 1,000 GSF
 - (2,264 SF / 1000 GSF) X 3 SPACES = 6.8 SPACES

REQUIRED = 7 SPACES
PROPOSED = 15 SPACES (TENET REQUIREMENT)

SNOW STORAGE:

- STORAGE CALCULATION (6:1 RATIO USED)
- PAVED AREA = 12,714 Sq.Ft. / 6,000 = 2,119 Sq.Ft.

GRAPHIC SCALE



STANDARD SITE PLAN NOTES:

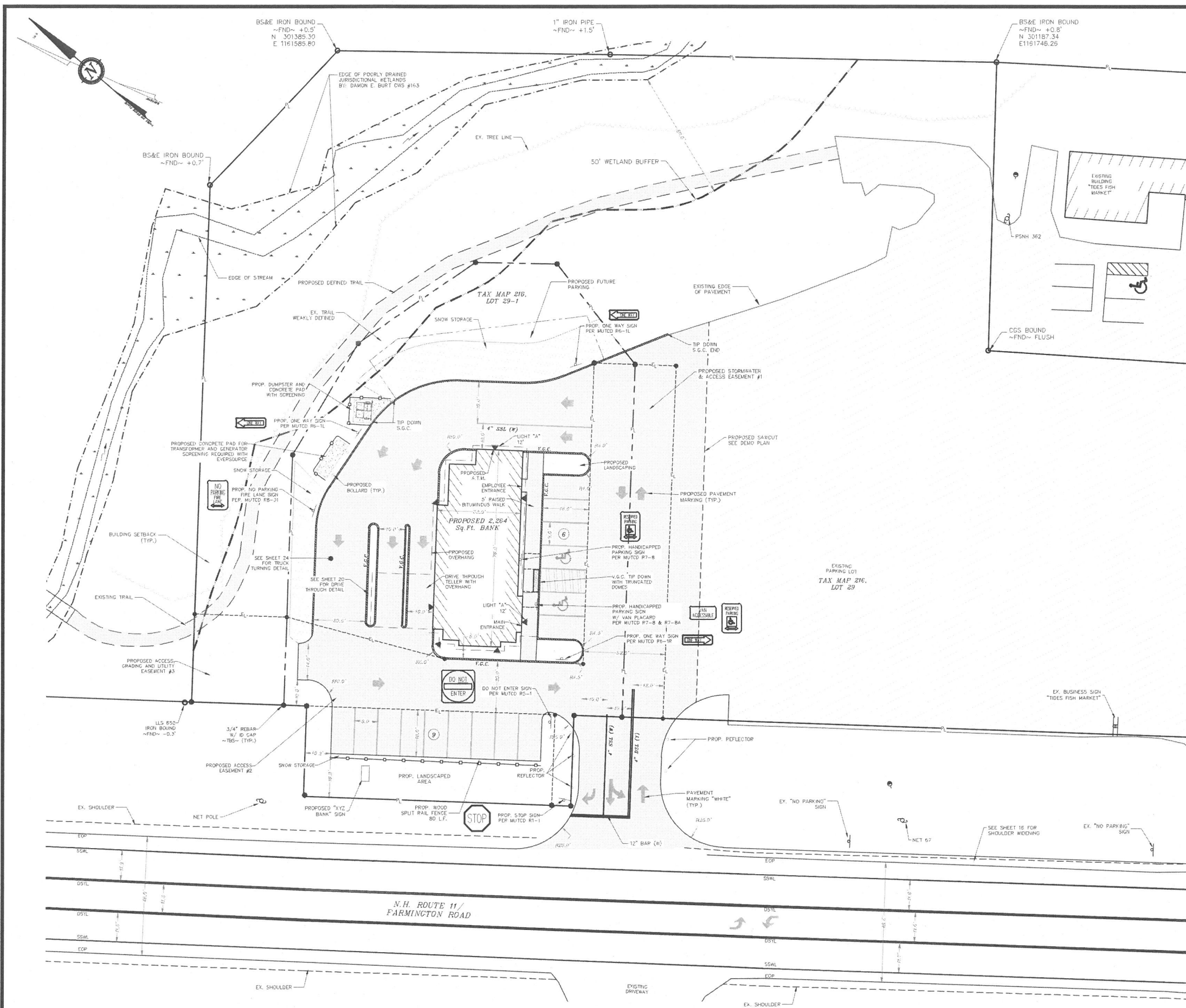
- OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
- APPLICANT: NM COOK DEVELOPMENT, LLC
22 ISAAC LUCAS CIRCLE
DOVER, NH 03820
- TAX MAP 216, LOT 29
- LOT AREA: 92,832 Sq. Ft., 2.15 Ac.
- S.C.R.D. BOOK 4248, PAGE 628
- ZONING: GRD -GRANITE RIDGE DEVELOPMENT
SETBACKS:
FRONTAGE: 50 FEET, MINIMUM
MIN. LOT AREA: NO REGULATION
MAX LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
MAXIMUM COVERAGE: NO REGULATION
PAVEMENT SETBACKS:
FRONT PAVEMENT: 10 FEET
SIDE PAVEMENT: 5 FEET
REAR PAVEMENT: 10 FEET
CONSERVATION OVERLAY DISTRICT
WETLAND BUFFER: 50 FEET
- ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT ONE REQUIRED DROP POLE.
- THE SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE 500 BOTTOMS.
- A LETTER OF CREDIT FOR 10% OF THE TOTAL COST OF CONSTRUCTION OF TO BE DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH THE CITY OF ROCHESTER DEPARTMENT OF PLANNING & DEPARTMENT OF PUBLIC WORKS.
- A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE TECHNICAL STAFF SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- BUILDING ADDRESSES SHALL BE ASSIGNED BY THE ASSESSING DEPARTMENT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2016. CONSTRUCTION SHALL ALSO CONFORM TO THE CITY OF ROCHESTER POLICIES AND PRACTICES.
- CALL DIG DATE PRIOR TO BEGINNING WORK (1-888-344-7233).
- CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS AND CABLE INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS, COMCAST, OR ATLANTIC BROADBAND.
- ALL UNPAVED DISTURBED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- THE SITE WORK HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 8AM-12PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- FROM GROUND BREAKING THE SITE SHALL REMAIN ACCESSIBLE YEAR ROUND IN ALL WEATHER CONDITIONS.
- THIS SITE DESIGN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE ACCESSIBILITY REGULATIONS IN ACCORDANCE WITH NH RSA 11-A:5.
- WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALED REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- FOR MORE INFORMATION ABOUT THIS VESTED SITE PLAN PLEASE CONTACT THE CITY OF ROCHESTER PLANNING OFFICE AT 603-335-1335.
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
NHCDT DRIVEWAY PERMIT: PENDING
- ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNTIL ALL REQUIRED PERMITS ARE OBTAINED AND PLANS ARE STAMPED FOR CONSTRUCTION.
- MECHANICALS ARE TO BE PLACED ON THE ROOF OF THE STRUCTURE.
- AS BUILT PLANS OF SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN A PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ERSI FORMAT TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- IMPERVIOUS COVERAGE LOT 29:
EXISTING BUILDING IMPERVIOUS: 3,021 Sq. Ft. (3.2%)
EXISTING PAVED IMPERVIOUS: 46,477 Sq. Ft. (49.5%)
EXISTING TOTAL IMPERVIOUS: 49,498 Sq. Ft. (52.7%)
PROPOSED BUILDING IMPERVIOUS: 0 Sq. Ft. (0%)
PROPOSED PAVED IMPERVIOUS: 38,628 Sq. Ft. (41.2%)
PROPOSED TOTAL IMPERVIOUS: 38,628 Sq. Ft. (41.2%)
IMPERVIOUS COVERAGE LOT 29-1:
EXISTING BUILDING IMPERVIOUS: 0 Sq. Ft. (0%)
EXISTING PAVED IMPERVIOUS: 0 Sq. Ft. (0%)
EXISTING TOTAL IMPERVIOUS: 0 Sq. Ft. (0%)
PROPOSED BUILDING IMPERVIOUS: 2,264 Sq. Ft. (8.6%)
PROPOSED PAVED IMPERVIOUS: 12,714 Sq. Ft. (53.7%)
PROPOSED TOTAL IMPERVIOUS: 14,978 Sq. Ft. (63.2%)
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- THE LIMITS OF CONSTRUCTION DISTURBANCE AND TREE CLEARING LIMITS ARE TO BE MARKED OUT AND APPROVED BY THE CITY PRIOR TO WORK.
- ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNTIL ALL REQUIRED PERMITS ARE OBTAINED AND PLANS ARE STAMPED FOR CONSTRUCTION.
- THE INTENT OF THIS PLAN IS TO SHOW THE OVERVIEW SITE PLAN IN RELATION TO THE ADJUTING LOTS.

REVISION	DATE	DESCRIPTION

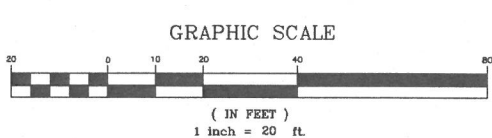
OVERVIEW SITE PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2883
SCALE : 1 IN. EQUALS 30 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER
NO. 7442



- STANDARD SITE PLAN NOTES:
- 1.) OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - 2.) TAX MAP 216, LOT 29
 - 3.) LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
 - 4.) S.C.R.D. BOOK 4248, PAGE 628
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE DETAILED SITE PLAN DESIGN.
 - 6.) SEE SHEET 6 FOR ALL OTHER STANDARD SITE PLAN NOTES.



SITE PLAN

LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : MARCH 23, 2021

FILE NO. : DB 2021 - 022

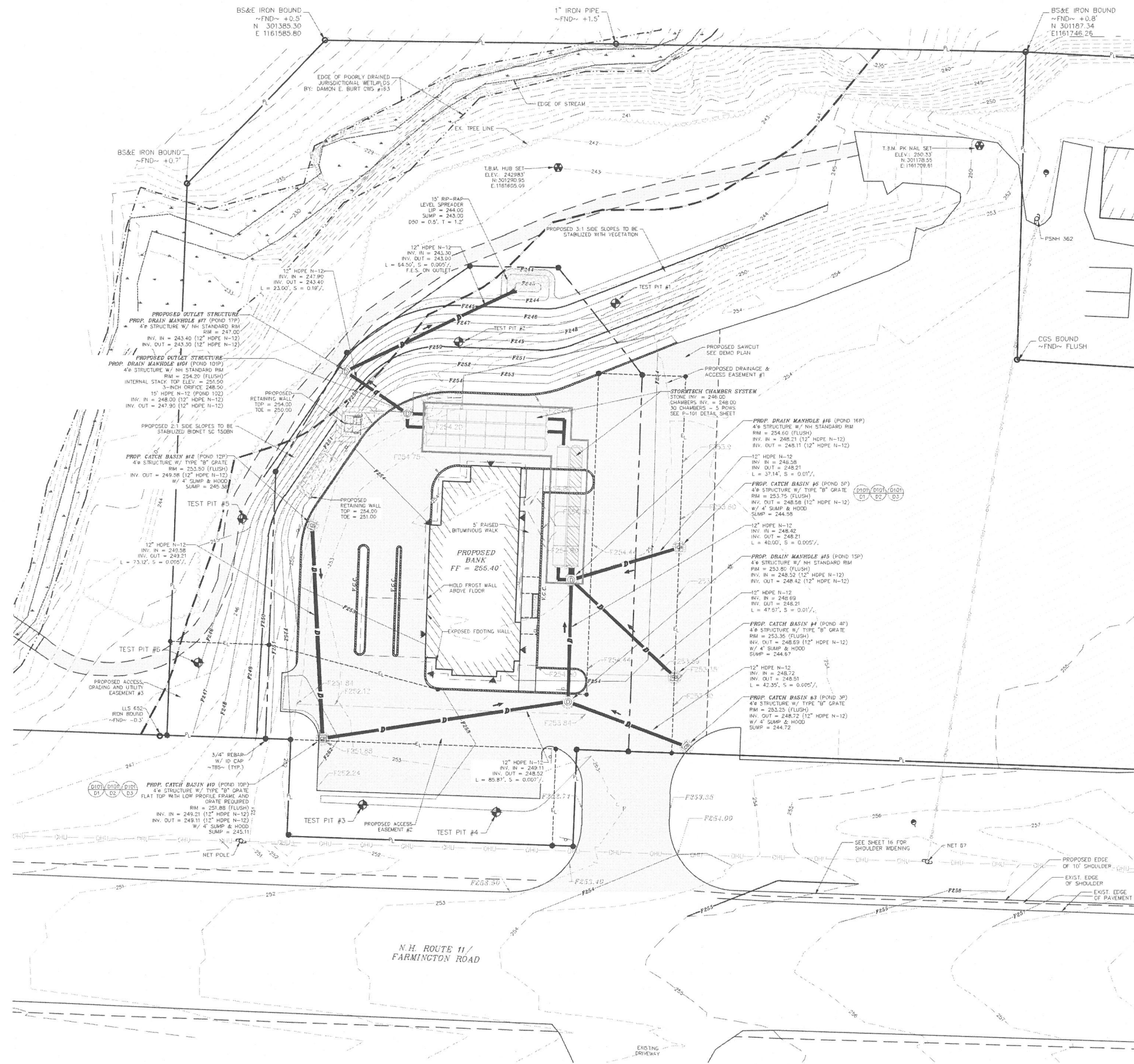
STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

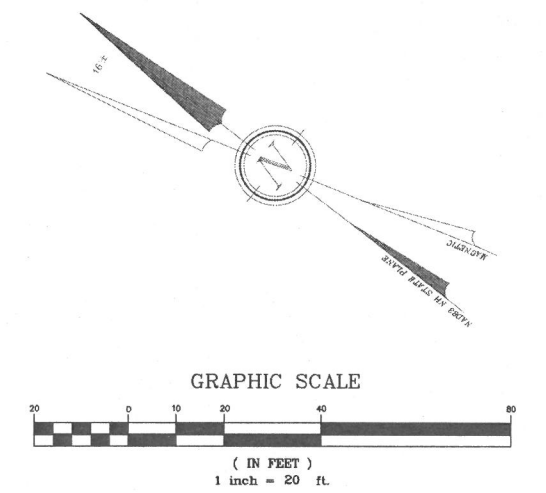
REGISTERED PROFESSIONAL ENGINEER

REVISION	DATE	DESCRIPTION

SHEET 7 OF 24



- NOTES:**
- OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - APPLICANT: NM COOK DEVELOPMENT, LLC
22 ISAAC LUCAS CIRCLE
DOVER, NH 03820
 - TAX MAP 216, LOT 29
 - LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
 - S.C.R.D. BOOK 4248, PAGE 628
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD RPT.: FEMA COMMUNITY# - 330150, MAP# - 33017001640, DATED: MAY 17, 2005 & FEMA COMMUNITY# - 336150, MAP# - 33017002030, DATED: MAY 17, 2005
 - VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS.
HORIZONTAL COORDINATES BASED ON NH GRID. (CITY OF ROCHESTER NH - CONTROL POINTS 240 & 241)
 - SOIL: HINCKLEY LOAMY SAND, 3-8% SLOPE THROUGHOUT
SOURCE: USDA-NRCS WEBSOIL
 - PLAN INTENT: TO DEMONSTRATE THE PROPOSED GRADING AND DRAINAGE INFRASTRUCTURE.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCKS).
 - TWO ON SITE BENCHMARKS ARE PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED SEWER, WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.
 - EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
 - CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DISTURB EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (544-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
 - WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
 - THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. DISTURBANCE OUTSIDE AREAS SHOWN TO BE APPROVED BY DESIGN ENGINEER.
 - THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
 - ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [T] SHALL BE THERMOPLASTIC.
 - ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - UPON FINAL COMPLETION AND 80% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
 - ALL CATCH BASINS AND DRAIN MANHOLES ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS. CATCH BASINS ARE TO HAVE NHDOT TYPE "B" GRATES AND DRAIN MANHOLES ARE TO HAVE NH STANDARD COVERS.
 - SEE DETAILS CONCERNING SITE LAYOUT, UTILITY, AND SEDIMENT AND EROSION CONTROLS.
 - ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HDPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
 - ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SUMPS (4' MIN.) AND HOODS (SEE DETAILS) HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSTREAM RIMS ARE TO BE NHDOT TYPE "B" STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY ROCHESTER DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A. MADE. HOODS ARE TO BE INSTALLED IMMEDIATELY AFTER BASIN CONSTRUCTION.
 - THIS SITE PLAN PROPOSES 38,000 Sq.Ft. OF DISTURBANCE.
 - ROOF DRAINS TO TIE INTO DMH #15 OR #16.
 - FUTURE PARKING LOCATION PROVIDED ON THE SITE PLAN, IF FUTURE PARKING IS TO BE CONSTRUCTED, FILL AND A RETAINING WALL WILL BE REQUIRED. PARKING AREA SHALL BE CONSTRUCTED SO THAT RUNOFF FLOWS TOWARDS THE BANK AND INTO THE PROPOSED CATCH BASINS AS IS THE DESIGN INTENT.



REVISION	DATE	DESCRIPTION

GRADING & DRAINAGE PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 7442

NOTES:

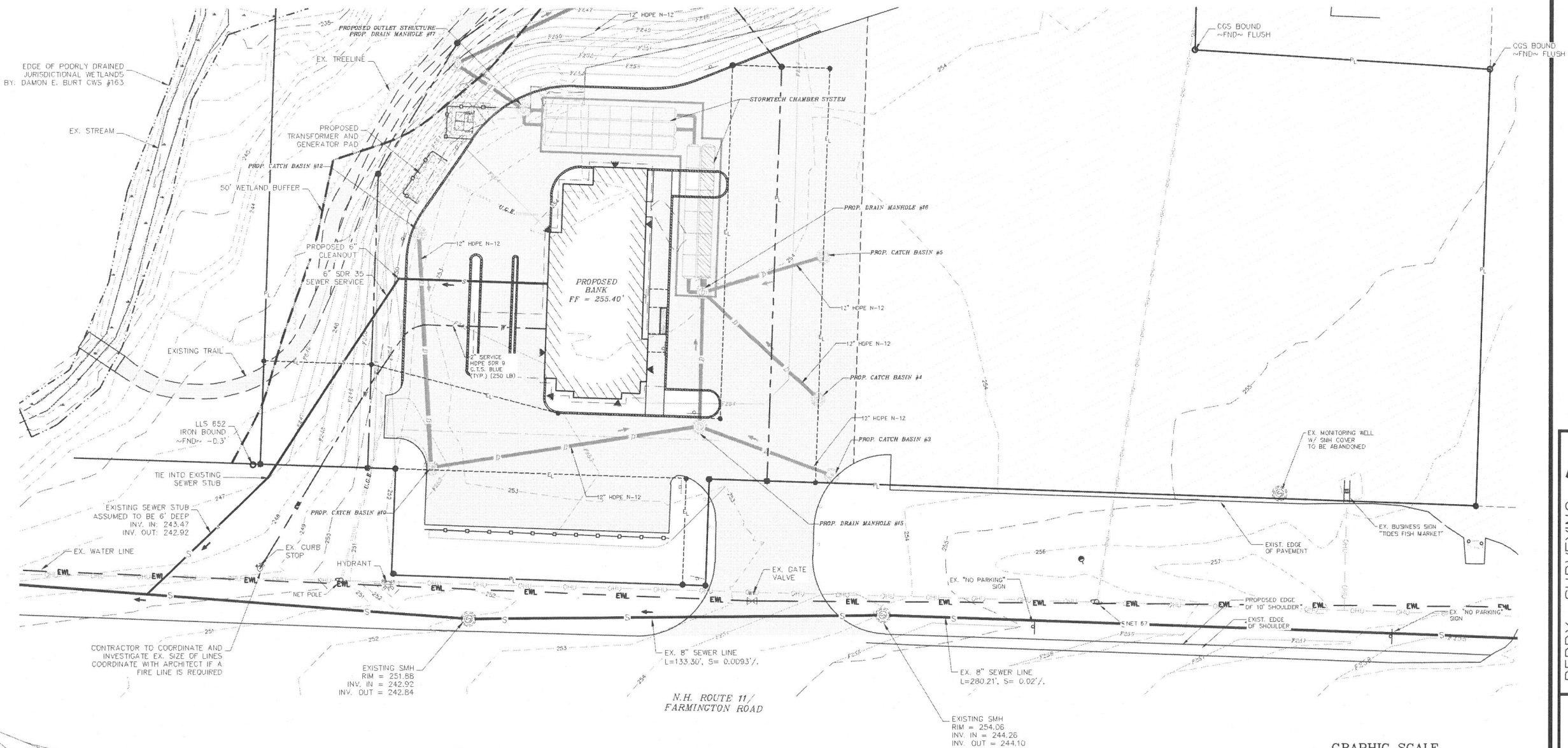
- OWNER: 21 FARMINGTON ROAD, LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
- TAX MAP 216, LOT 29
- LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
- S.C.R.D. BOOK 4248, PAGE 628
- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED UTILITY DESIGN.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIOSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEER'S SPECIFIC RECOMMENDED CRITERIA.

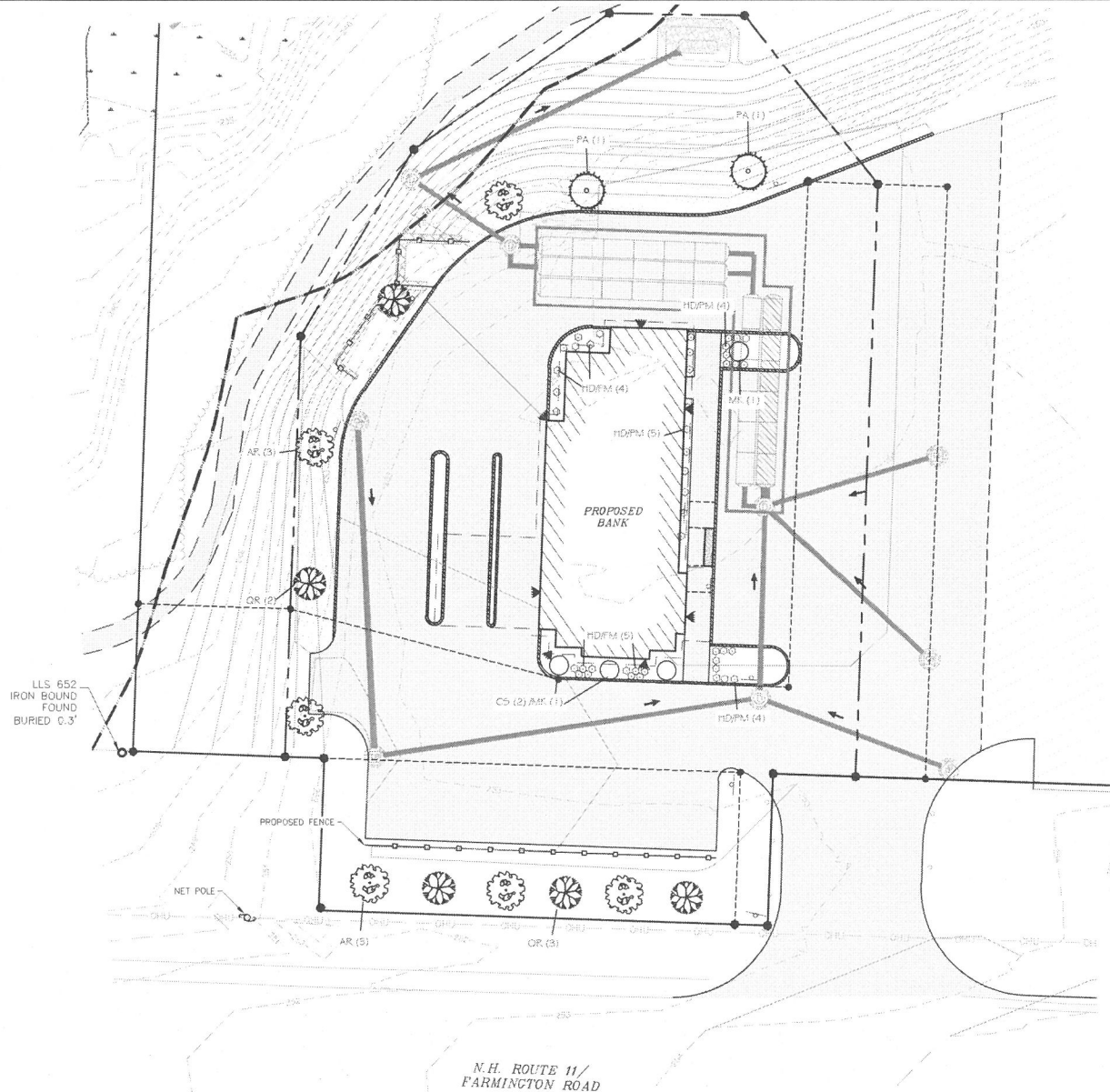
NOTES CONTINUED:

- IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.
- CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
- ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS. ALL HIGHWAY CONSTRUCTION WILL MEET THE CITY OF ROCHESTER STANDARDS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (800) 662-7764. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FAIRPOINT COMMUNICATIONS AT (603) 427-5525.

NOTES CONTINUED:

- CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
- CONTRACTOR SHALL COORDINATE ALL GAS INSTALLATIONS WITH UNILIT.
- ALL WATER SERVICES ARE TO BE WITNESSED WITH A 2"x4" PAINTED BLUE. ALL SEWER SERVICES ARE TO BE WITNESSED WITH A 2"x4" PAINTED YELLOW. IS STUBBED PRIOR TO BUILDING CONSTRUCTION.
- CURB BOXES SHOULD BE PLACED IN THE LAWN AREA, OR IF PLACED IN PAVEMENT, A ROAD BOX IS REQUIRED.
- SEE EXISTING CONDITIONS PLAN FOR DATUM. VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- ALL SEWER INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF NHDES & ROCHESTER DPW SEWER DIVISION STANDARDS. ALL PVC SEWER PIPE IS TO CONFORM WITH ENV-WQ 704.05 (c)-(e) FOR SDR 35 GRAVITY SEWER PIPE, CONFORM WITH ENV-WQ 704.08 FOR SDR 21 / 11 / 9 FORCE MAIN PRESSURE PIPE, AND CONFORM WITH ASTM D3034. PVC JOINT SEALS SHALL CONFORM WITH ASTM D3121. THE FORCE MAIN SHALL BE TESTED IN ACCORDANCE WITH ENV-WQ 704.09.
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- CONTRACTOR TO TRANSFER TEMPORARY BENCHMARK TO A SUITABLE BENCHMARK TO CONTROL CONSTRUCTION. ANY ELEVATION DISCREPANCIES ARE TO BE REPORTED TO THE THE DESIGN ENGINEER IMMEDIATELY.





NOTES:

1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
4. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
5. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
6. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
7. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
8. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
10. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
11. TREES ALONG THE RIGHT OF WAY ARE TO BE REGULARLY PRUNED SO THAT THERE ARE NO BRANCHES BELOW 8', TO NOT IMPEDE SIGHT DISTANCE.

12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
13. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
15. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
17. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
18. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
19. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
20. ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)

21. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
22. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
23. TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
24. ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
25. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
26. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
27. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NO LESS THAN ONE FULL YEAR FROM THE TIME OF INSTALLATION. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE OWNER IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
28. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, THAT HAS LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESS PRUNING OR INADEQUATE OR IMPROPER CARE, OR IS, IN THE OPINION OF THE OWNER, IN UNHEALTHY OR UNSIGHTLY CONDITION.
29. THE CONTRACTOR IS TO USE TEMPORARY MEASURES FOR WATERING PLANTS DURING THE ESTABLISHMENT PERIOD. INCLUDING CONNECTING TEMPORARY HOSES TO THE STRUCTURE WATER SUPPLY LINE AND UTILIZING SPRINKLERS UNTIL 85% GROWTH OCCURS.
30. A MULCH BED IS TO BE INSTALLED IN A 6' RADIUS AROUND THE PROPOSED TREE. THE REMAINING AREA IS TO BE LOAMED AND SEEDED.
31. TREES ARE TO BE 6' TALL AT PLANTING.
32. ALL UNPAVED AREAS SHALL BE LOAMED AND SEEDED.

PLANTING NOTES

1. CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS. AT NO ADDITIONAL COST TO THE OWNER.
3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY & FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
6. ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDED BARK MULCH UNLESS NOTED OTHERWISE.
7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

TEMPORARY WATERING NOTES

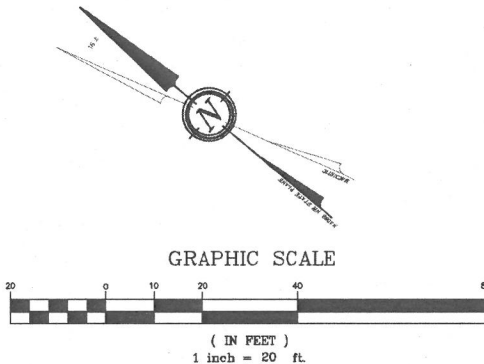
1. CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
2. THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
3. TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

PLANTING SCHEDULE

21 Farmington Road

Botanical Name / Common Name

Trees	Size	Qty	Label
Plantanus acerifolia / London Planetree	3" Cal.	2	PA
Acer Rubrum / Red maple	3" Cal.	6	AR
Quercus rubra / Red Oak	3" Cal.	5	QR
Shrubs			
Syringa pubescens / Miss Kim Lilac	#3.3-4'	2	MK
Cornus sanguinea 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	2	CS
Perennials			
Hemerocallis 'Big Time Happy' / Big Time Happy Daylily	#1	22	HD
Hemerocallis 'Pardon Me' / Pardon Me Daylily	#1	22	PM



General Plant Maintenance Guide

General Plant Maintenance

- All plant maintenance should be performed by a qualified horticulturalist or licensed arborist. Cleaning the dead material out of the planting bed in the fall helps keep it free from building up around the plants and in some cases killing the plants. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. Raking the old mulch and turning it over is all that is needed. When necessary only install one inch of mulch and do not place the mulch closer than 2" to the trunk or stems of woody plants.

Trees

- The first year watering during dry periods will be necessary.
- 2" inches of mulch may be used. The mulch should be kept 3 inches from the trunk.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to May 31st or after trees have dropped their leaves for the year.
- Prune dead wood once a year.
- Depending on the amount of competition the bed area receives, deep root aeration may be needed every 10-15 years.

Woody Shrubs

- The first year watering during dry periods will be necessary.
- 2" inches of mulch may be used. The mulch should be kept 3 inches from the stems.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to May 31st or after shrubs have dropped their leaves or gone dormant for the year.
- Prune dead wood once a year.

Grasses

- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
- Do not use mulch. Too much mulch will prohibit the grass from developing into a strong clump.

Perennials

- All perennials need to be pruned back after the first or second hard frost. A two step method. First dead head all the flower heads and let dry on the ground for one week. Second cut the stems back to 2" above the ground and remove the stem and leaf litter and place in compost. Do not over mulch. Too much mulch will prohibit the growth and development.
- Fertilizing perennials once in the spring with a low phosphate fertilizer will help the plants to get started in the spring.

www.terrainplanning.com

311 East Hill Road Hopkinton NH 03229

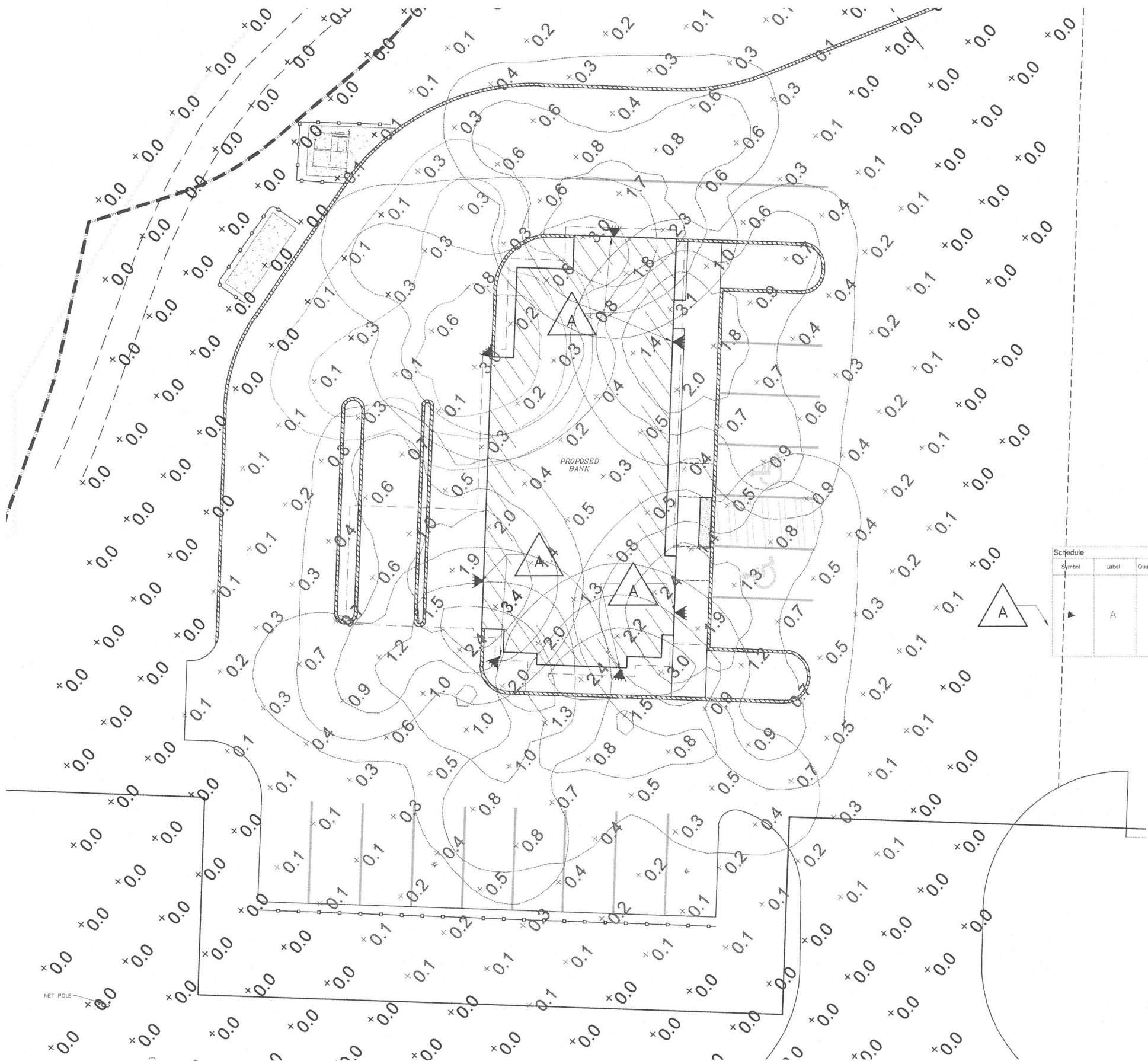
783-495-2333

REVISION	DATE	DESCRIPTION

LANDSCAPING PLAN LAND OF: 21 FARMINGTON ROAD LLC FOR: NM COOK DEVELOPMENT LLC FARMINGTON ROAD ROCHESTER, N.H. TAX MAP 216, LOT 29
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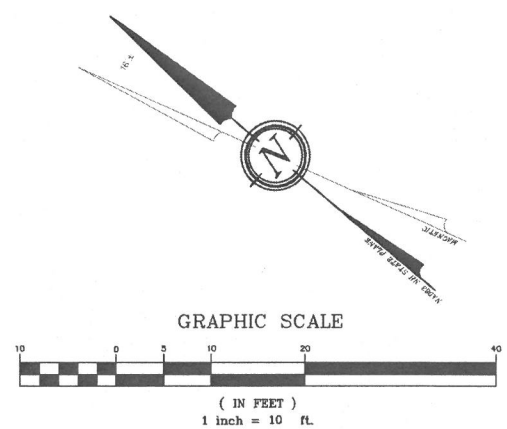
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER



- NOTES:
- 1.) OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
 - 2.) TAX MAP 216, LOT 29
 - 3.) LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
 - 4.) S.C.R.D. BOOK 4248, PAGE 628
 - 5.) THE INTENT OF THIS PLAN IS TO PROVIDE THE LIGHTING SCHEME FOR THE PROPOSED PROJECT.
 - 6.) LAMPS ARE SHOWN ON THE SITE PLAN WITH LOCATION, TYPE AND HEIGHT.
 - 7.) SEE CONSTRUCTION DETAILS FOR PRODUCT CUT SHEET.

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor
A		7	Urbosia Lighting	WSR LED 1 10A70040K SR4 MVOLT	WSR LED WITH 1 MODULE, 10 LED's, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 4 LENS	LED	1	WSR_LED_1 10A700 40 K_SR4_MVOLT.LT.ies	1927	1



REVISION	DATE	DESCRIPTION

LIGHTING PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
1 IN. EQUALS 10 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

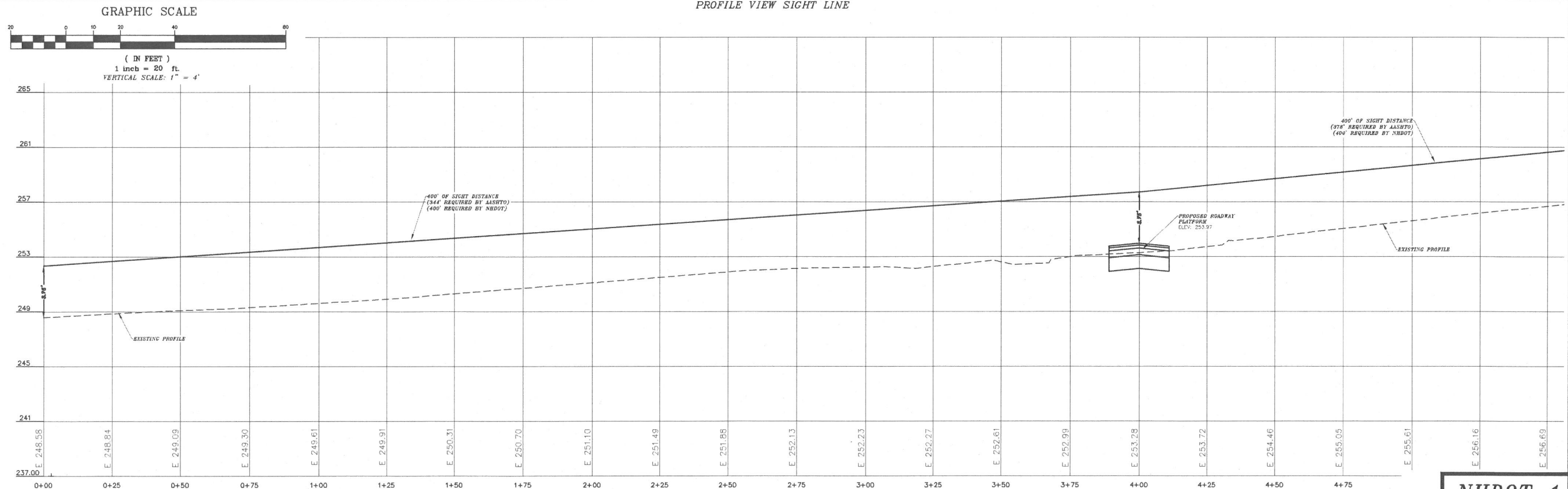
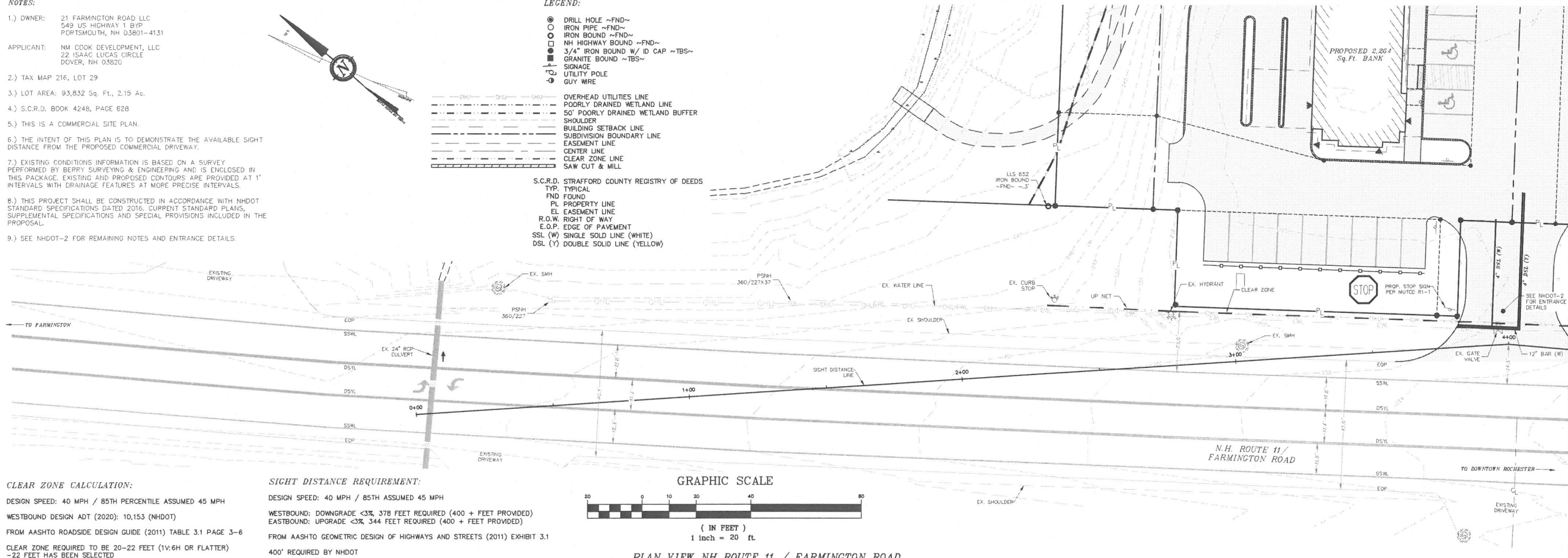
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

NOTES:

- 1.) OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
- 2.) TAX MAP 216, LOT 29
- 3.) LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
- 4.) S.C.R.D. BOOK 4248, PAGE 628
- 5.) THIS IS A COMMERCIAL SITE PLAN.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED COMMERCIAL DRIVEWAY.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 9.) SEE NHDOT-2 FOR REMAINING NOTES AND ENTRANCE DETAILS.

LEGEND:

- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- NH HIGHWAY BOUND ~FND~
- 3/4" IRON BOUND W/ ID CAP ~TBS~
- GRANITE BOUND ~TBS~
- SIGNAGE
- UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITIES LINE
- POORLY DRAINED WETLAND LINE
- 50' POORLY DRAINED WETLAND BUFFER
- SHOULDER
- BUILDING SETBACK LINE
- SUBDIVISION BOUNDARY LINE
- EASEMENT LINE
- CENTER LINE
- CLEAR ZONE LINE
- SAW CUT & MILL
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. TYPICAL
- FND FOUND
- PL PROPERTY LINE
- EL EASEMENT LINE
- R.O.W. RIGHT OF WAY
- E.O.P. EDGE OF PAVEMENT
- SSL (W) SINGLE SOLID LINE (WHITE)
- DSL (Y) DOUBLE SOLID LINE (YELLOW)



NHDOT-1

REVISION	DATE	DESCRIPTION

NHDOT ACCESS PLAN EAST BOUND
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

NOTES:

- 1.) OWNER: 21 FARMINGTON ROAD LLC
549 US HIGHWAY 1 BYP
PORTSMOUTH, NH 03801-4131
- 2.) TAX MAP 216, LOT 29
- 3.) LOT AREA: 93,832 Sq. Ft., 2.15 Ac.
- 4.) S.C.R.D. BOOK 4248, PAGE 628
- 5.) THIS IS A COMMERCIAL SITE PLAN.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED COMMERCIAL DRIVEWAY.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 9.) SEE NHDOT-2 FOR ENTRANCE PROFILE AND LEGEND.

NOTES CONT.:

- 10.) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- 11.) WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.

NOTES CONT.:

- 12.) THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- 13.) AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 14.) THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
- 15.) ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS NOTED OTHERWISE.

NOTES CONT.:

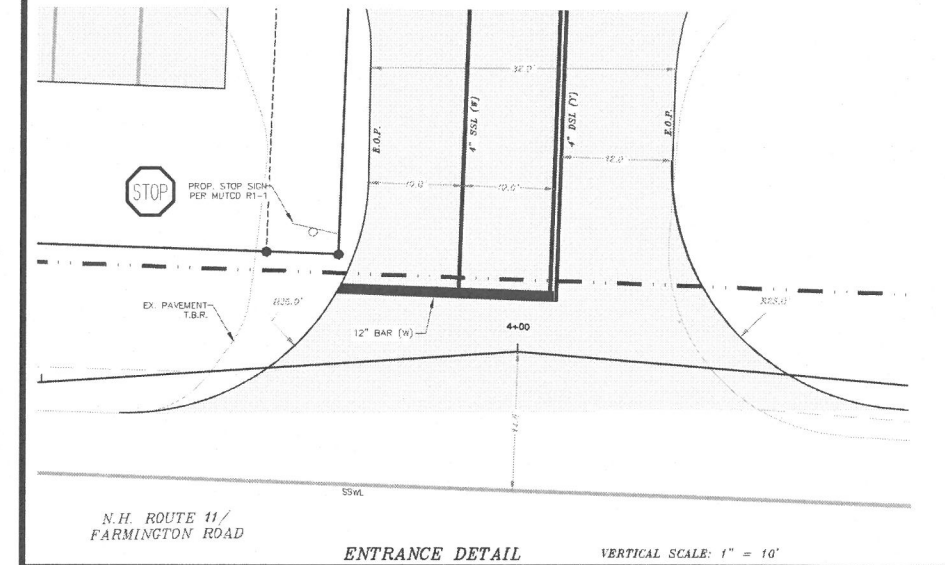
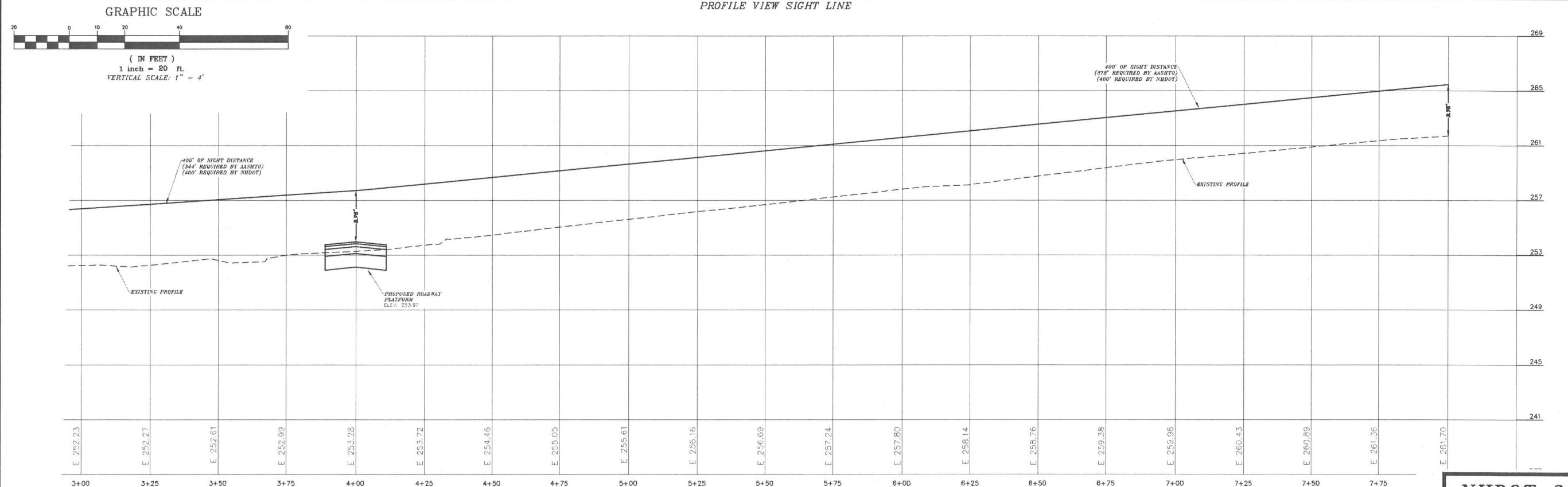
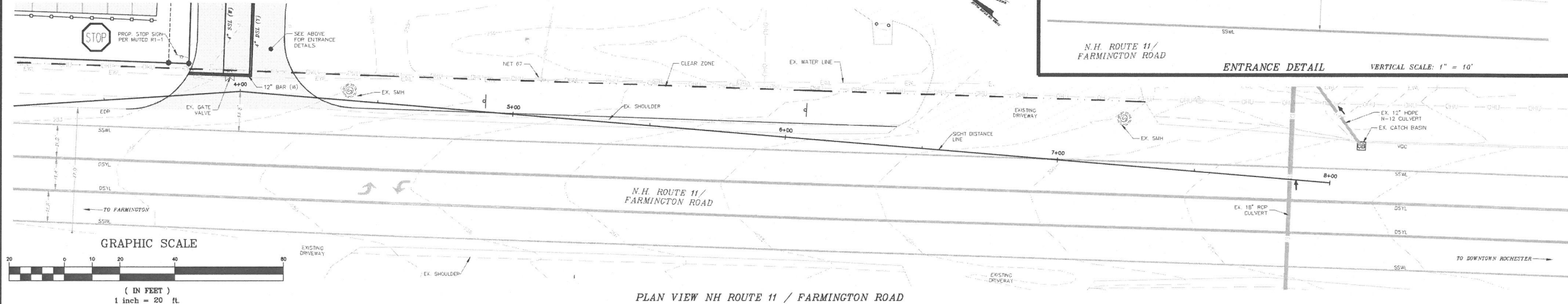
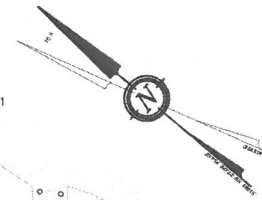
- 16.) ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH (T) SHALL BE THERMOPLASTIC.
- 17.) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE LOAM PLACED AND SEEDED. THE LOAM SHALL HAVE A MINIMUM DEPTH OF 4 INCHES AND SHALL BE PLACED FLUSH WITH THE TOP OF THE ADJACENT CURB, EDGING, BERM OR PAVEMENT SURFACE.
- 18.) THE CONTRACTOR SHALL CONTACT THE NHDOT BUREAU OF TRAFFIC AT (603) 271-2291 ONE WEEK PRIOR TO PAVEMENT MARKINGS.
- 19.) ALL PAVEMENT MARKINGS TO BE PAINTED TO NHDOT STANDARD NO. PM-9.
- 20.) THE SPEED LIMIT ON NH ROUTE 11 ROAD IS 40 MPH.

CLEAR ZONE CALCULATION:

DESIGN SPEED: 40 MPH / 85TH PERCENTILE ASSUMED 45 MPH
WESTBOUND DESIGN ADT (2020): 10,153 (NHDOT)
FROM AASHTO ROADSIDE DESIGN GUIDE (2011) TABLE 3.1 PAGE 3-6
CLEAR ZONE REQUIRED TO BE 20-22 FEET (1V:6H OR FLATTER)
-22 FEET HAS BEEN SELECTED

SIGHT DISTANCE REQUIREMENT:

DESIGN SPEED: 40 MPH / 85TH ASSUMED 45 MPH
WESTBOUND: DOWNGRADE <3%, 378 FEET REQUIRED (400 + FEET PROVIDED)
EASTBOUND: UPGRADE <3%, 344 FEET REQUIRED (400 + FEET PROVIDED)
FROM AASHTO GEOMETRIC DESIGN OF HIGHWAYS AND STREETS (2011) EXHIBIT 3.1
400' REQUIRED BY NHDOT



NHDOT-2

REVISION	DATE	DESCRIPTION

NHDOT ACCESS PLAN EAST BOUND
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

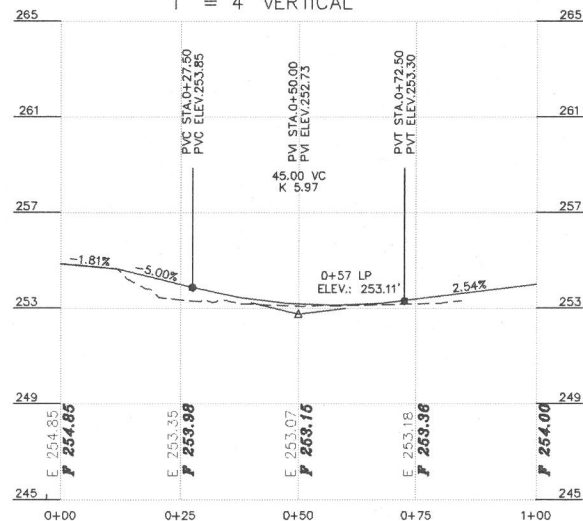
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

LEGEND:

- IRON BOUND ~TBS~
- IRON BOUND ~FND~
- GRANITE BOUND ~FND~
- STONE BOUND ~FND~
- UTILITY POLE
- GUY WIRE
- CURB STOP
- GATE VALVE
- GAS VALVE
- FIRE HYDRANT
- CATCH BASIN
- SEWER MAN HOLE
- SINGLE POST SIGN
- POLE LIGHT
- TESTPIT
- TREE

- BUILDING SETBACK LINE
- EASEMENT LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- OVERHEAD UTILITIES
- HIGHWAY FENCE
- SOILS LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- SPOT ELEVATION
- PROPOSED CULVERT WITH FLARED END SECTION (F.E.S.)

PROFILE OF DRIVEWAY ENTRANCE
1" = 20' HORIZONTAL
1" = 4' VERTICAL



EMULSIFIED ASPHALT FOR TACK COAT AT 0.02 GAL/SY OVER EXISTING PAVEMENT & BETWEEN EACH COURSE

EXISTING PAVED SURFACE

INSTALL 4" WHITE STRIPE AS SHOWN ON PLANS PER NHDOT SPEC

NHDOT 628.20 SAW CUT EX. BITUM. ALONG FOG LINE TACK COAT

1' FROM SAW CUT MILL 1.5" DEPTH PRIOR TO INSTALLING WEARING COURSE

INSTALL TACK COAT MILLLED EDGE IS TO BE INSPECTED AND BE CLEAN OF ALL DEBRIS THEN INSTALL WEARING COURSE

JOINT SEAL

TYPICAL ROADWAY SECTION NHDOT WIDENING
NOT TO SCALE

MATCH EXISTING PAVEMENT DEPTHS 6" MAX ~ 4" MIN

ITEM 403.11 HOT BITUMINOUS PAVEMENT, MACHINE METHOD, 1.5" WEARING COURSE

ITEM 403.11 HOT BITUMINOUS PAVEMENT, MACHINE METHOD, 2.5" TO 4.5" (TWO LIFTS) BINDER COURSE,

5% GRAVEL SHOULDER

4:1 SLOPE

ITEM 646.31 TURF
ITEM 647.1 4" LOAM & SEED

WIDENED SHOULDER 10'

5% (MIN.)

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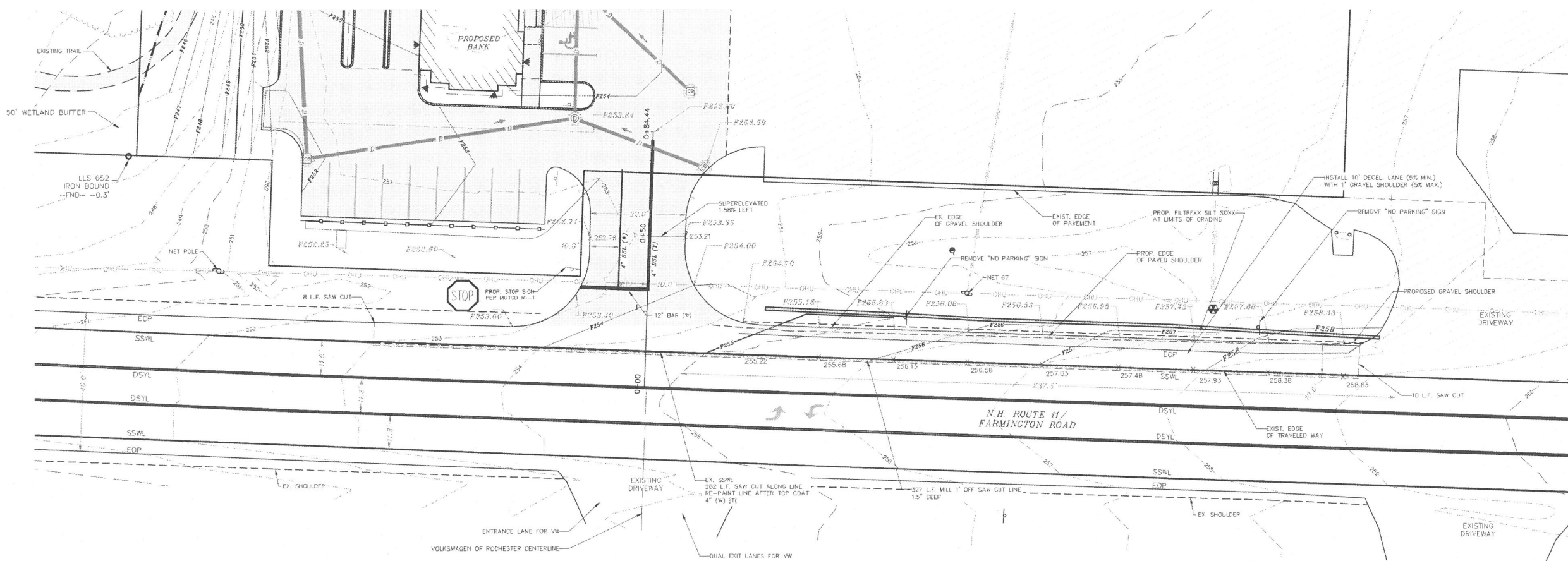
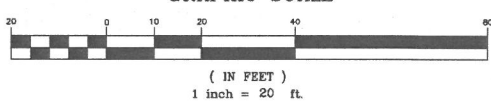
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GRAPHIC SCALE



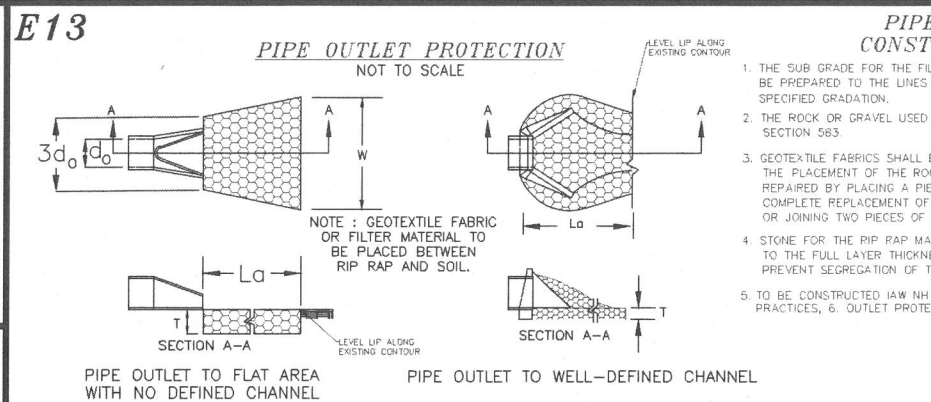
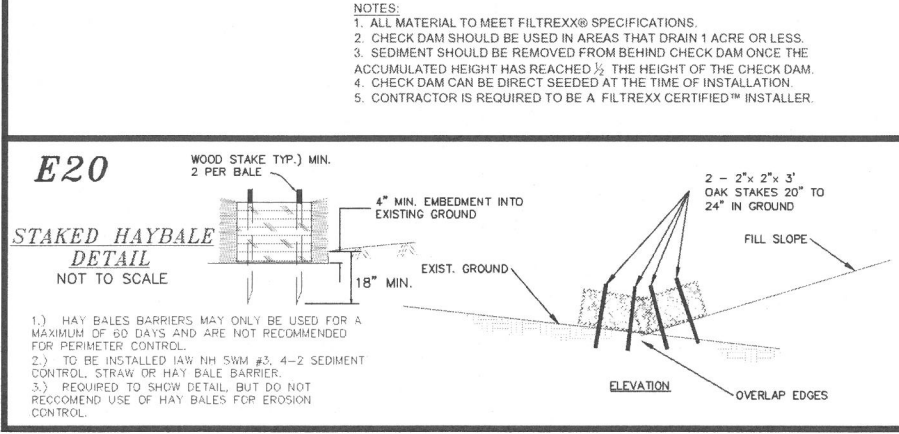
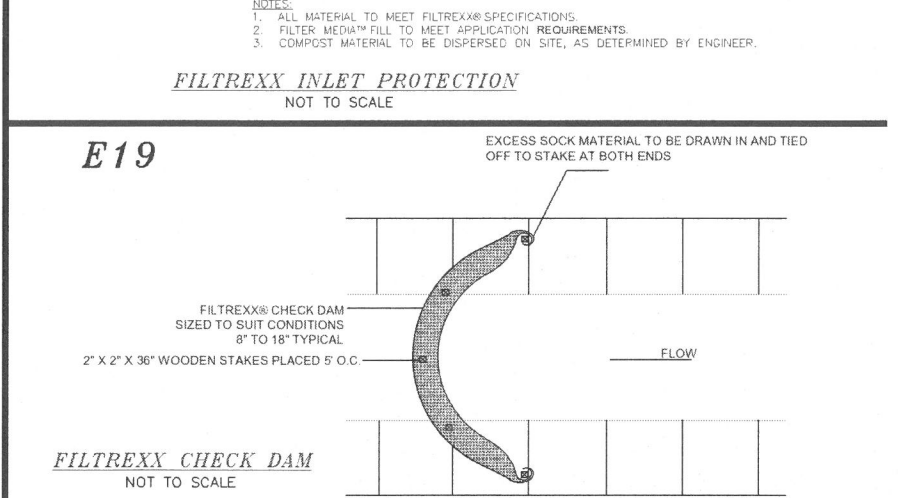
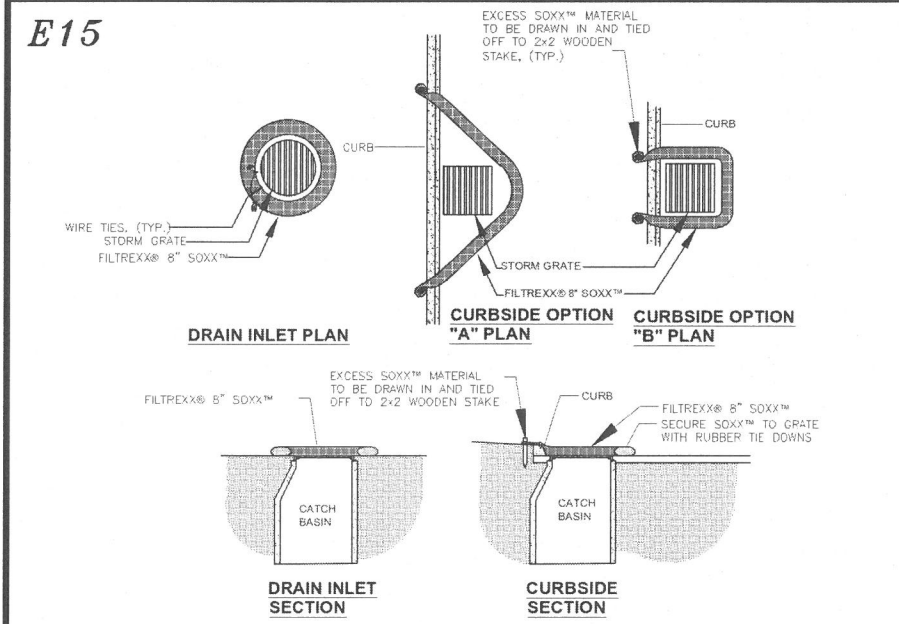
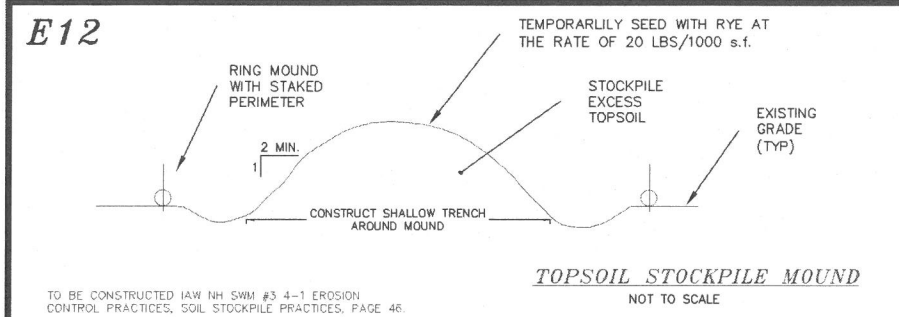
NHDOT-3

REVISION	DATE	DESCRIPTION

HIGHWAY ACCESS PLAN
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER



E16

NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	ORCHARD	WELL DRAINED	MODERATELY DRAINED	POORLY DRAINED
STEEP CUTS AND FILL, BORROW AREAS	A	POOR	GOOD	GOOD	FAIR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	C	GOOD	GOOD	GOOD	GOOD
LIGHTLY USED PARKING LOTS, ROAD AREAS, UNPAVED LANEWAYS, AND LOW INTENSITY USE RECREATION SITES	B	GOOD	GOOD	GOOD	GOOD
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	D	GOOD	GOOD	GOOD	GOOD

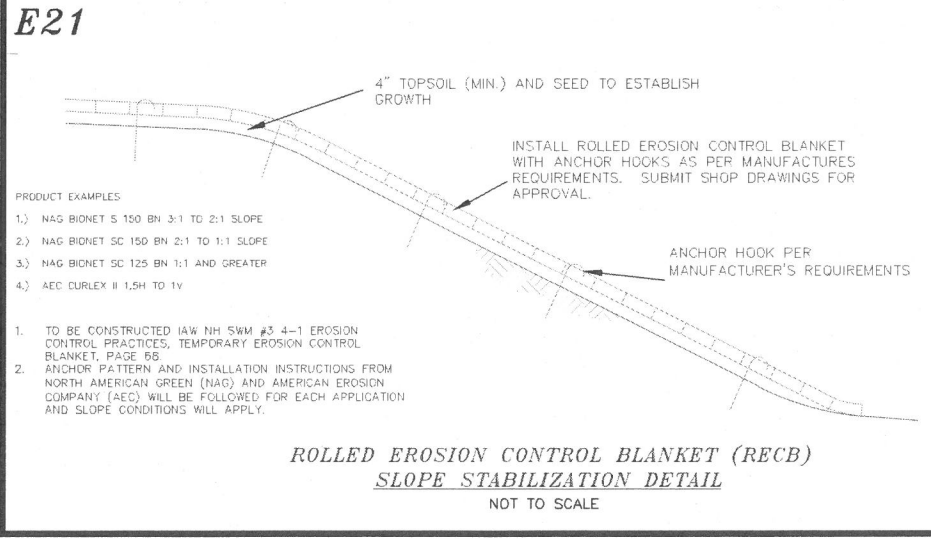
SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
A. TALL FESCUE	20	0.45
B. CREEPING RED FESCUE	20	0.45
C. ANNUAL RYEGRASS	20	0.45
D. PERENNIAL RYEGRASS	20	0.45
E. KENTUCKY BLUEGRASS	20	0.45
F. WHITE CLOVER	20	0.45

CONSERVATION MIX

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
TALL FESCUE (35%)	15	0.35
CREEPING RED FESCUE (25%)	15	0.35
ANNUAL RYEGRASS (12%)	5	0.12
PERENNIAL RYEGRASS (10%)	5	0.12
KENTUCKY BLUEGRASS (10%)	5	0.35
WHITE CLOVER (3%)	7	0.16

- SEEDING SPECIFICATIONS**
- GRADING AND SHAPING
A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED.
B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 25 INCH OF SOIL OR LESS BY CULTIPACKING OR RAKING.
C. REFER TO TABLE (G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE (H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRD'S FOOT TREFOL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
 - MULCH
A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
C. MAINTENANCE TO ESTABLISH A STAND
A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.
D. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.



E14

PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

- THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 563.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- TO BE CONSTRUCTED IAW NH SWM #2 4-6 CONVEYANCE PRACTICES, 6. OUTLET PROTECTION, PAGE 172.

E17

CONSTRUCTION SEQUENCE:

- CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
- CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
- EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
- CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY.
- CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED.
- CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY.
- START BUILDING CONSTRUCTION.
- INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES.
- CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
- FINISH PAVING ALL ROADWAYS.

- E18**
- DEFINITION OF STABLE:**
- PER ENV-WQ 1500 ALTERATION OF TERRAIN
- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ADDITION STABILIZATION NOTES:
- HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
 - DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

- E22**
- WINTER STABILIZATION NOTES**
- ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
 - ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
 - PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
 - AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDING BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

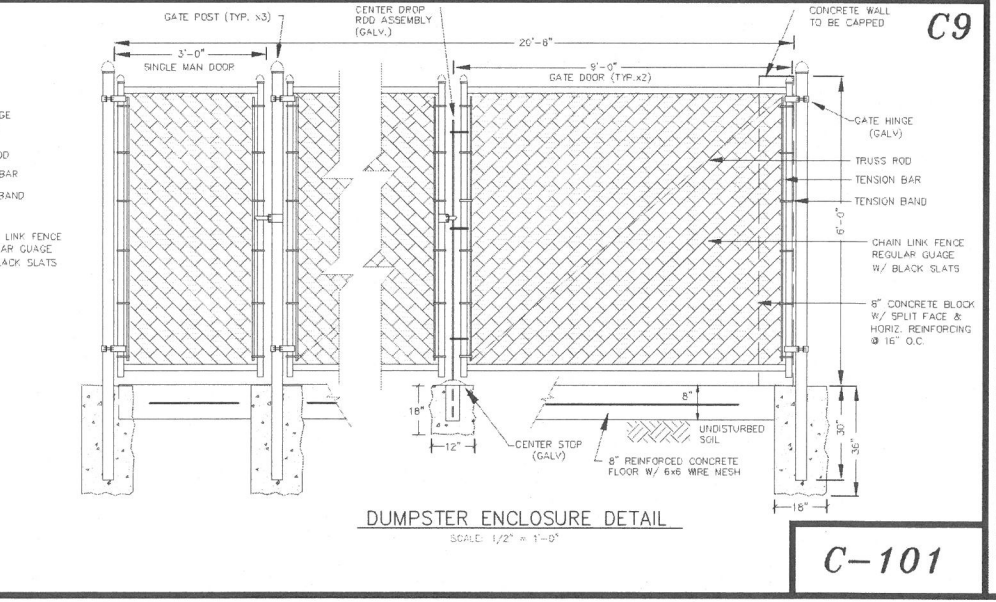
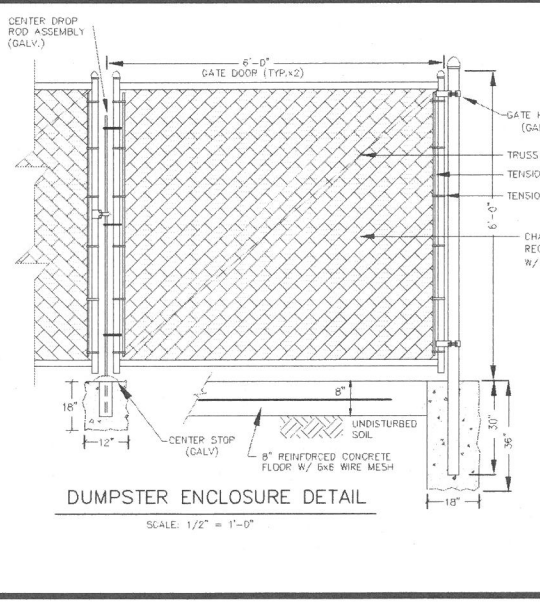
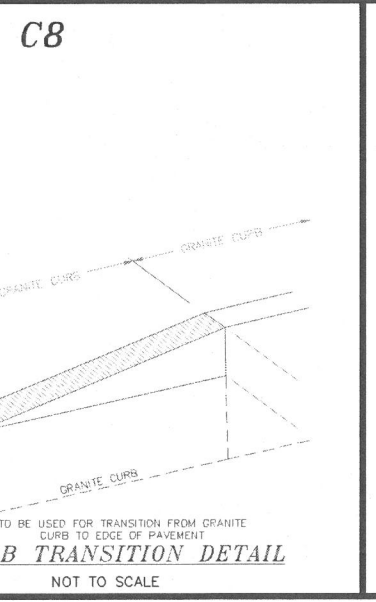
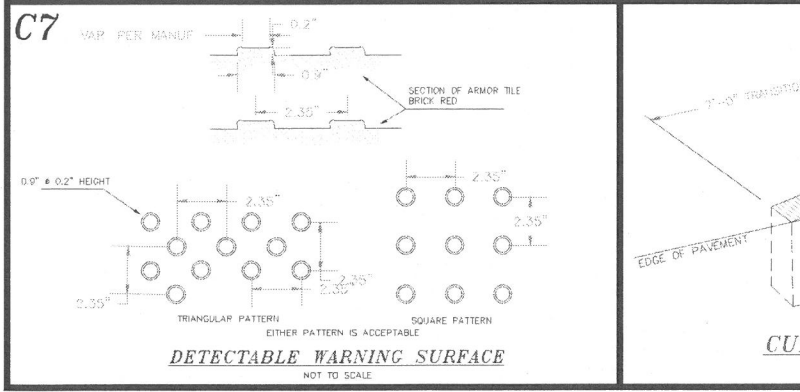
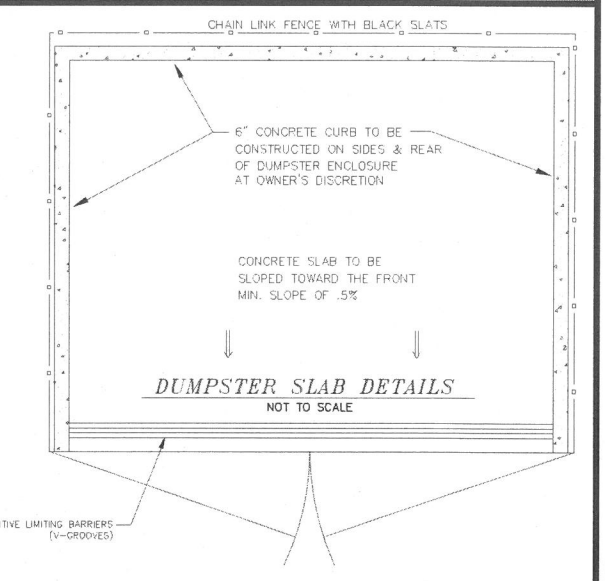
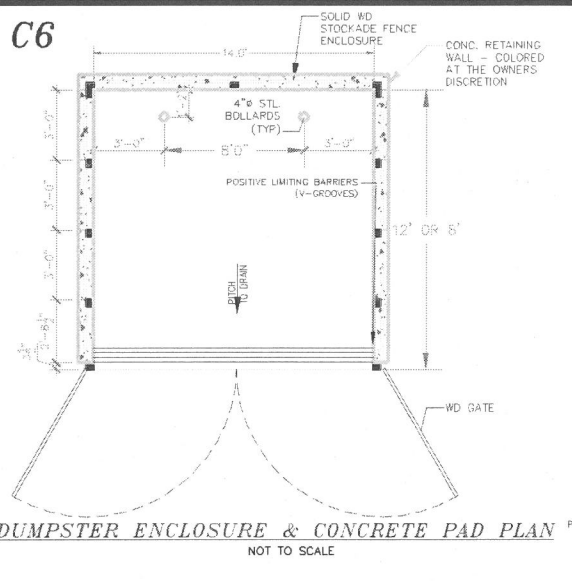
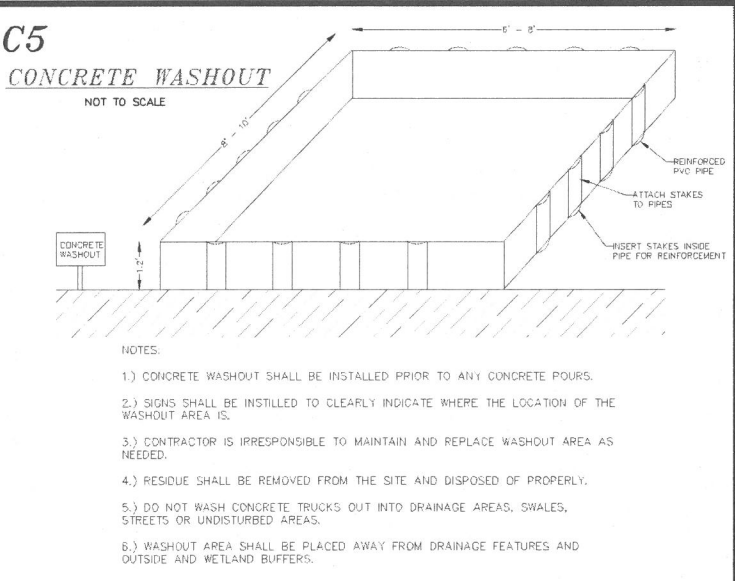
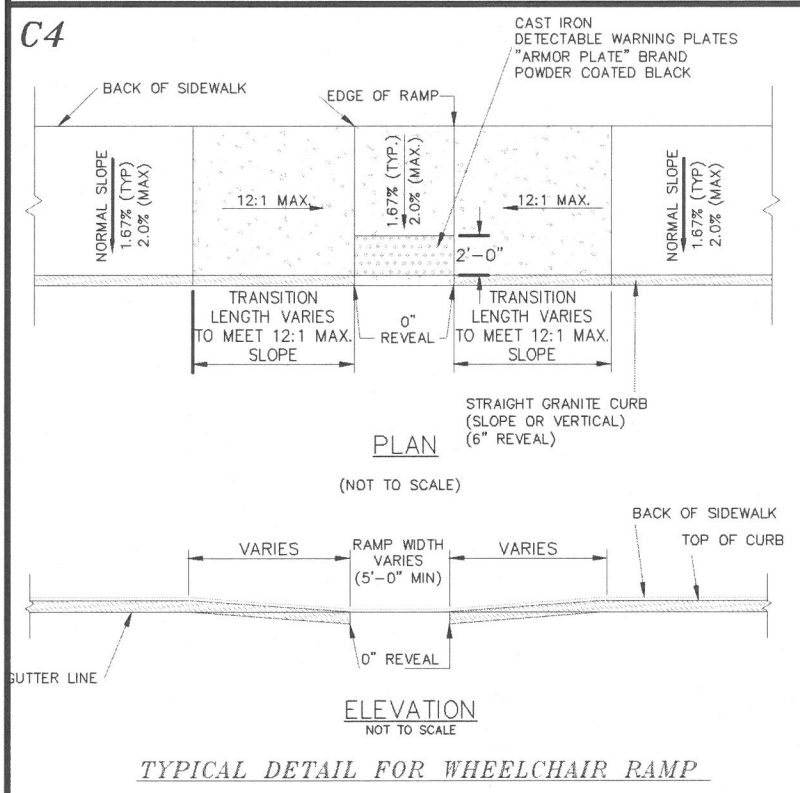
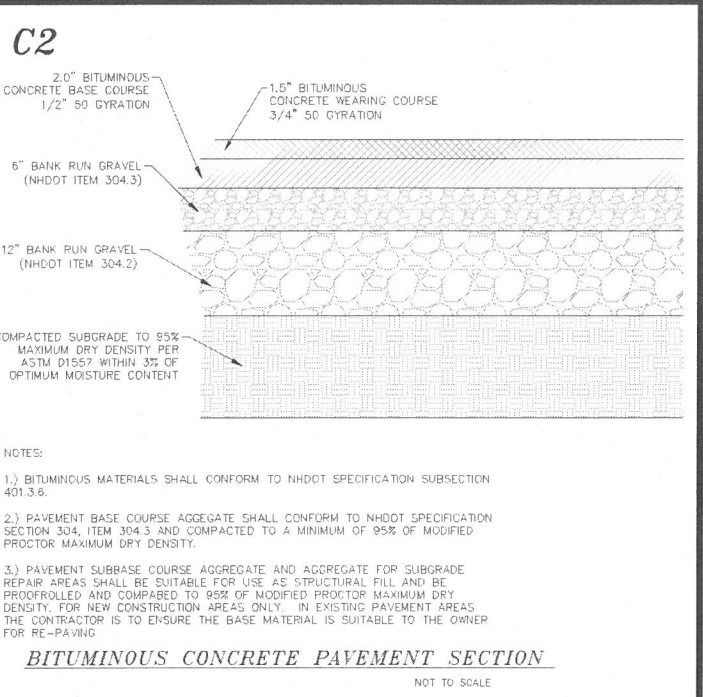
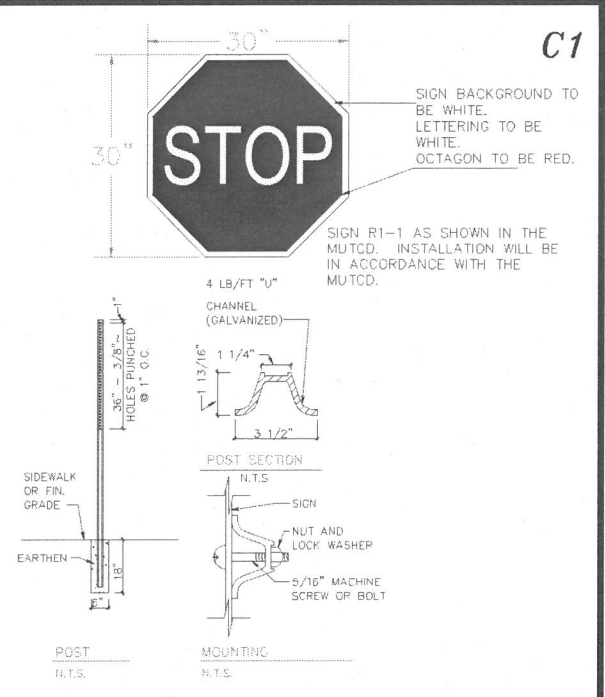
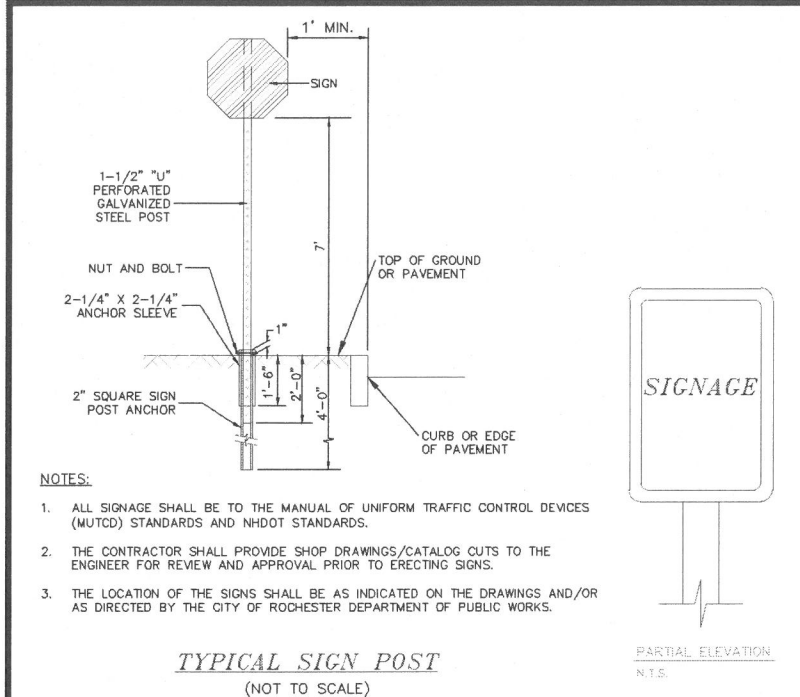
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2883
AS NOTED
DATE: MARCH 23, 2021
FILE NO.: DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER

E-102

SHEET 18 OF 24



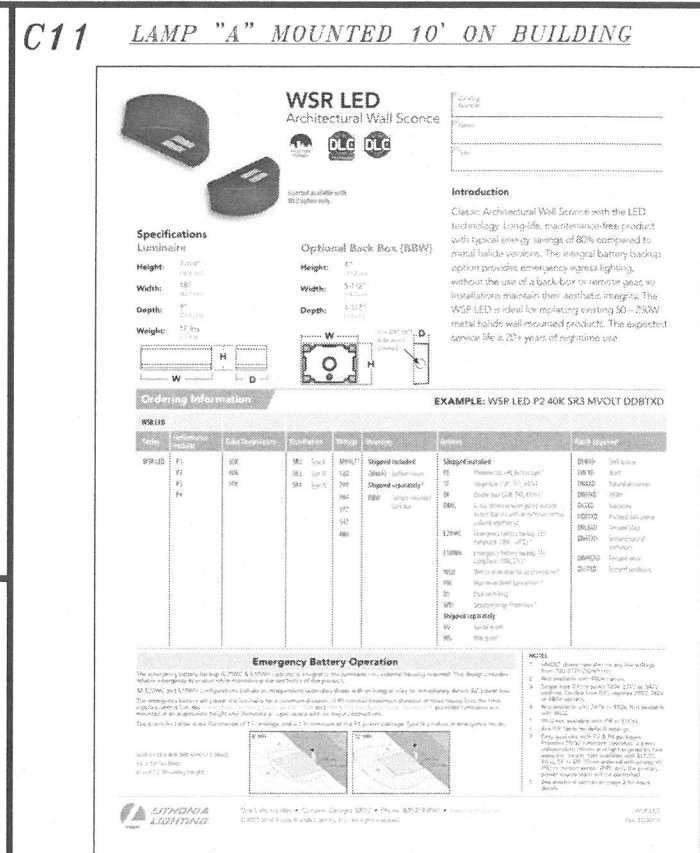
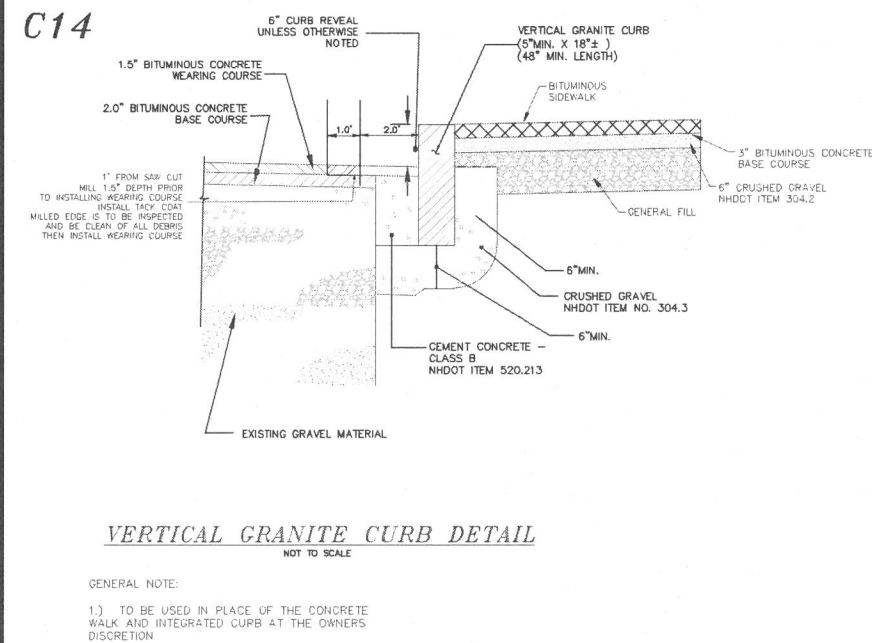
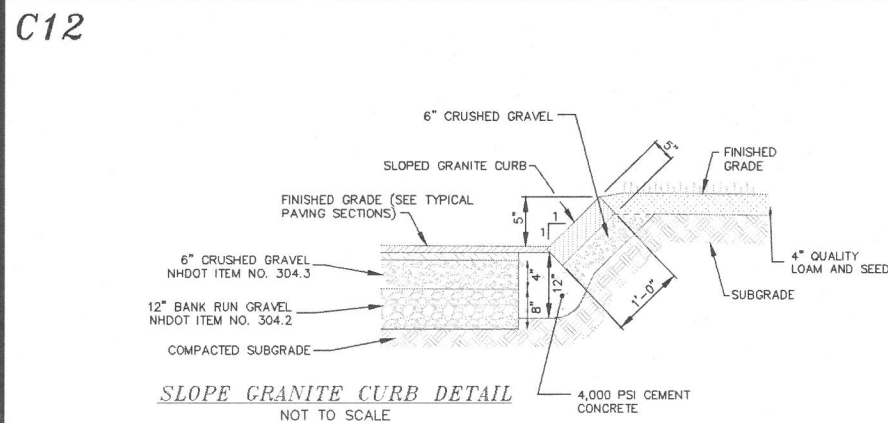
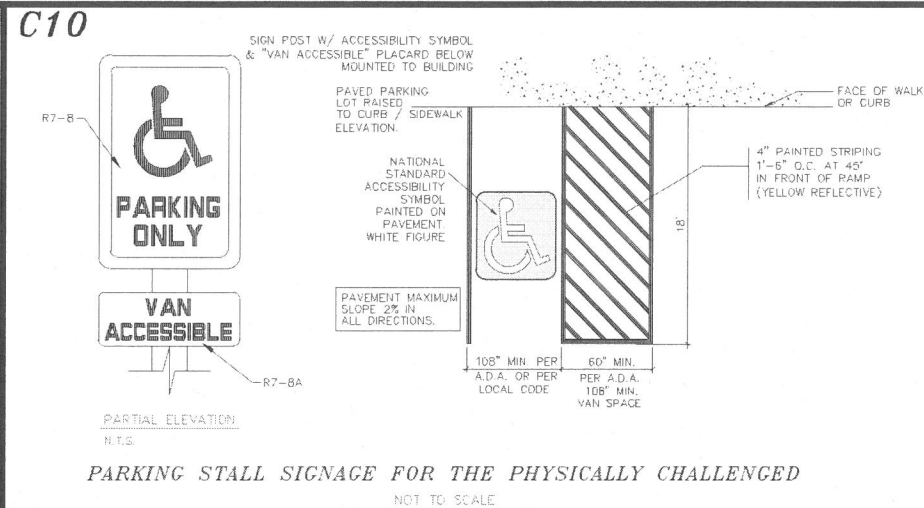
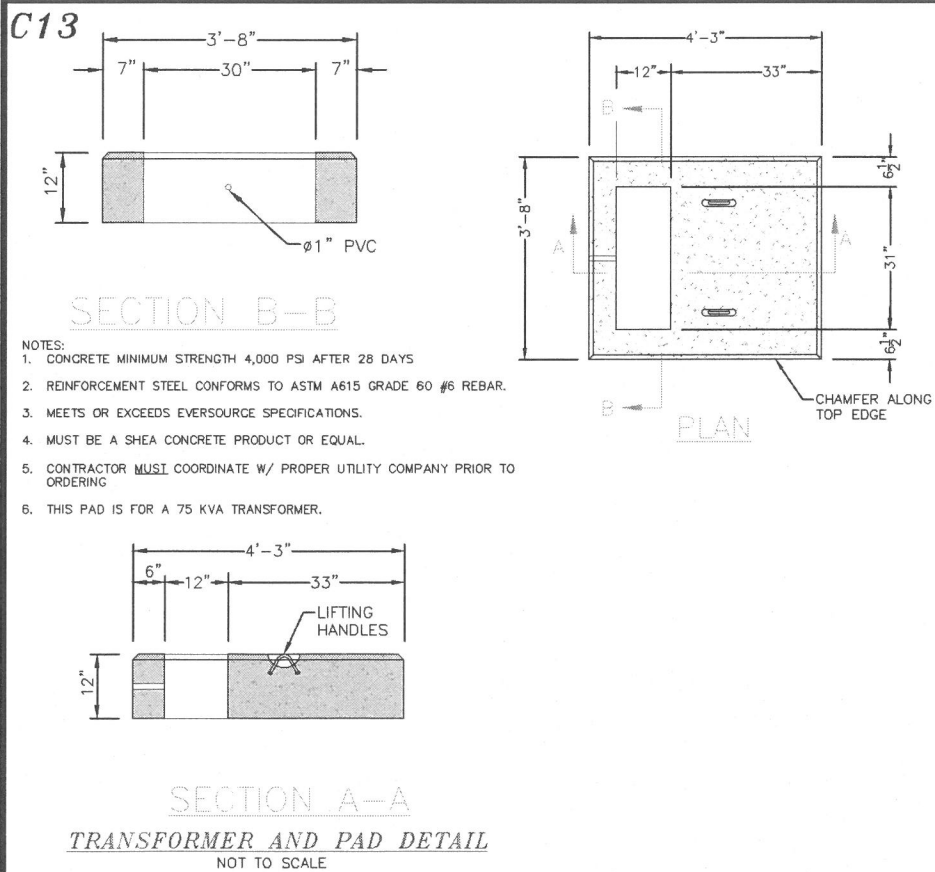
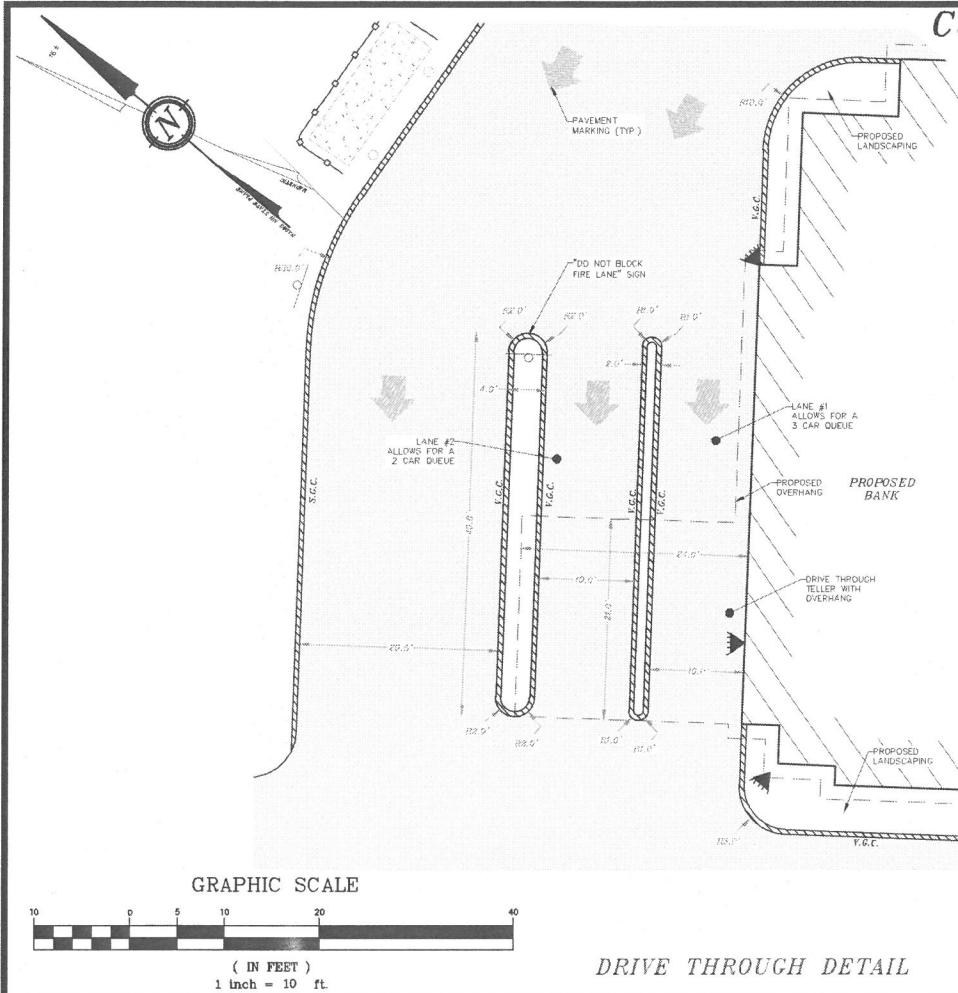
REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

AS NOTED
DATE: MARCH 23, 2021
FILE NO.: DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER



REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS
 LAND OF: 21 FARMINGTON ROAD LLC
 FOR: NM COOK DEVELOPMENT LLC
 FARMINGTON ROAD
 ROCHESTER, N.H.
 TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2863
 AS NOTED
 DATE: MARCH 23, 2021
 FILE NO.: DB 2021 - 022



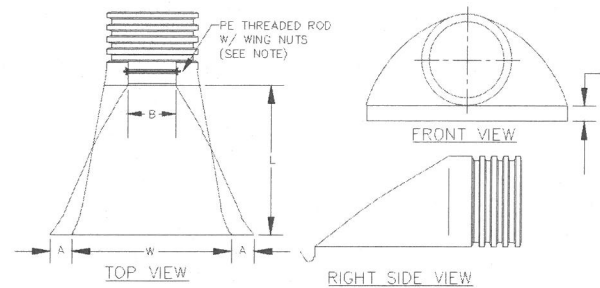
D1

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15" 375 mm	6.5" 165 mm	10" 254 mm	6.5" 165 mm	25" 635 mm	29" 735 mm
1810-NP	18" 450 mm	7.5" 190 mm	15" 380 mm	6.5" 165 mm	32" 812 mm	35" 890 mm
2410-NP	24" 600 mm	7.5" 190 mm	18" 450 mm	6.5" 165 mm	36" 900 mm	45" 1140 mm
3010-NP	30" 750 mm	10.5" 265 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm
3610-NP	36" 900 mm	10.5" 265 mm	N/A	7.0" 178 mm	53" 1345 mm	68" 1725 mm

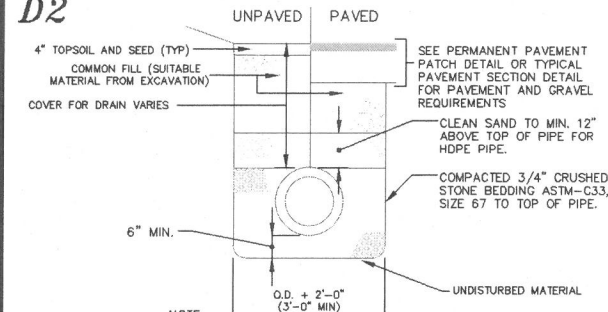
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24".
30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S
RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



D2



NOTE:

PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.

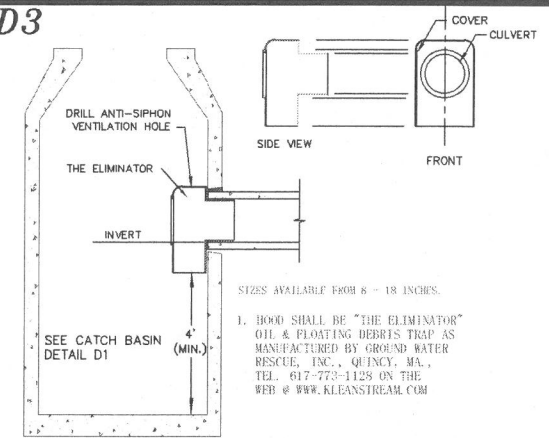
DI DRAIN PIPE SHALL BE CL. 50.

RC DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.

TYPICAL DRAIN AND SEWER PIPE TRENCH

NOT TO SCALE

D3

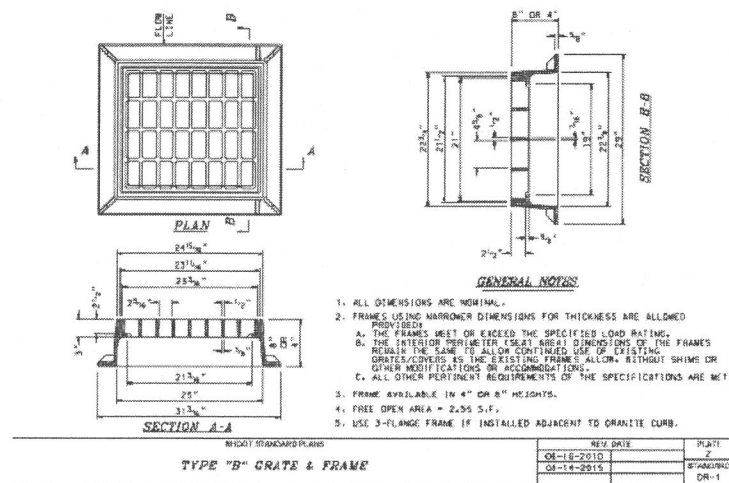


1. HOOD SHALL BE "THE ELIMINATOR" OIL & FLOATING DEBRIS TRAP AS MANUFACTURED BY GROUND WATER RESCUE, INC., QUINCY, MA., TEL. 617-773-1125 ON THE WEB @ WWW.KLEANSTREAM.COM

CATCH BASIN HOOD DETAIL

NOT TO SCALE

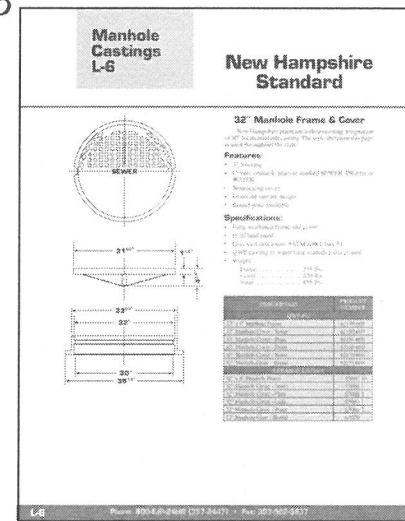
D4



CATCH BASIN GRATE

NOT TO SCALE

D5

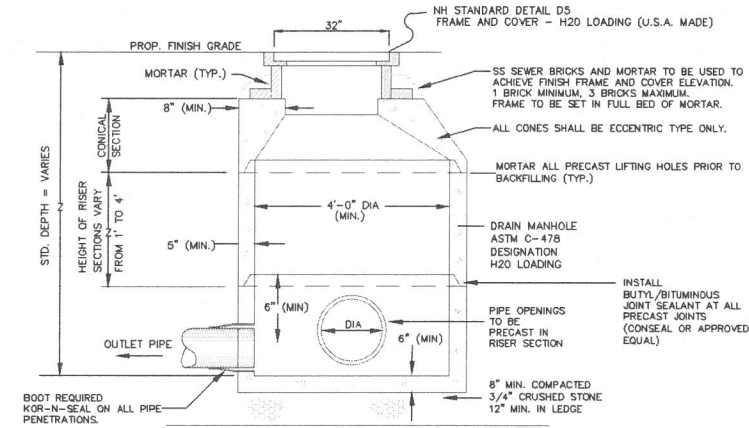


DRAIN MANHOLE FRAME AND GRATE WILL BE NEW HAMPSHIRE STANDARD, OR APPROVED EQUAL, 32 INCH OPENING, CAST IRON, H20 LOADING.

DRAIN MANHOLE COVER DETAIL

NOT TO SCALE

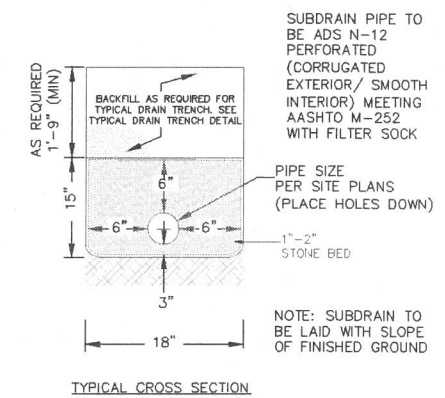
D6



PRECAST DRAIN MANHOLE DETAIL

NOT TO SCALE

D7



NOTES:

CROWN OF 6" SUBDRAIN PIPES TO MATCH CROWN OF DRAIN PIPES IN CATCH BASINS

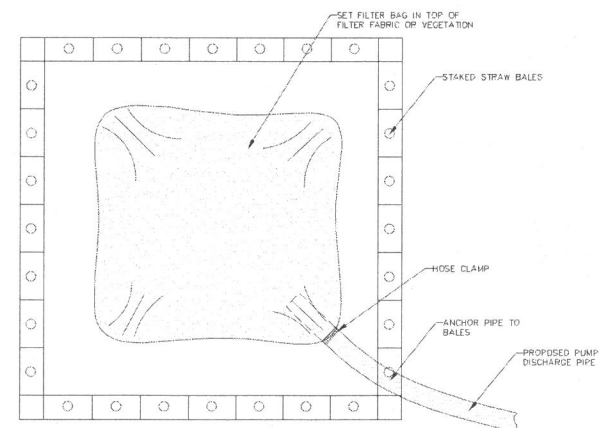
SUBDRAIN TO BE INSTALLED AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.

SHORING AND STABILIZING OF TRENCH SIDEWALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY TRENCH EXCAVATION BEYOND THE LIMITS OF PAY EXCAVATION INDICATED.

SUBDRAIN DETAIL TYPICAL

NOT TO SCALE

D8



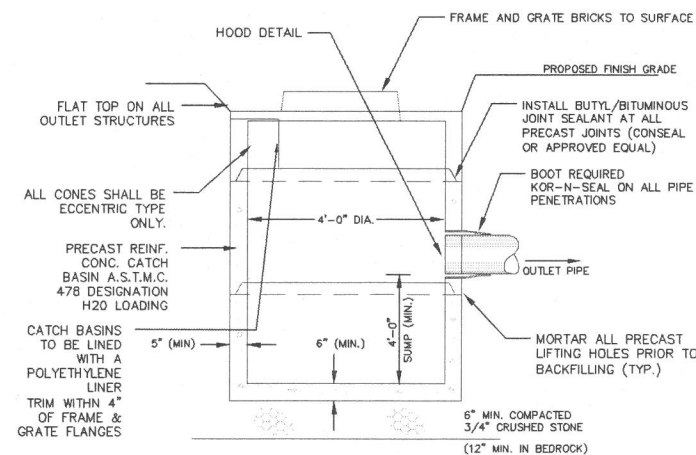
NOTES:

- 1.) ENSURE DISCHARGE POINT IS STABILIZED WITH VEGETATION OR PROPER EROSION AND SEDIMENT CONTROL PRACTICES.
- 2.) USE DIFFUSER NOZZLE OR LOW DISCHARGE RATE TO PREVENT SCOURING.
- 3.) TO BE PLACED AT AN UPLAND LOCATION THAT WILL ALLOW WATER TO DRAIN INTO THE GROUND.
- 4.) SIZE OF DE-WATERING AREA TO BE 10' X 10', ADJUST SIZE DEPENDING ON VOLUME AND USE.
- 5.) ADDITIONAL BALES MAY BE USED TO INCREASE RETENTION AND FILTERING.

DE-WATERING BASIN

NOT TO SCALE

D9



CATCH BASIN DETAIL

NOT TO SCALE

REVISION	DATE	DESCRIPTION

DRAINAGE DETAILS
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON, N.H.
TAX MAP 276, LOT 29

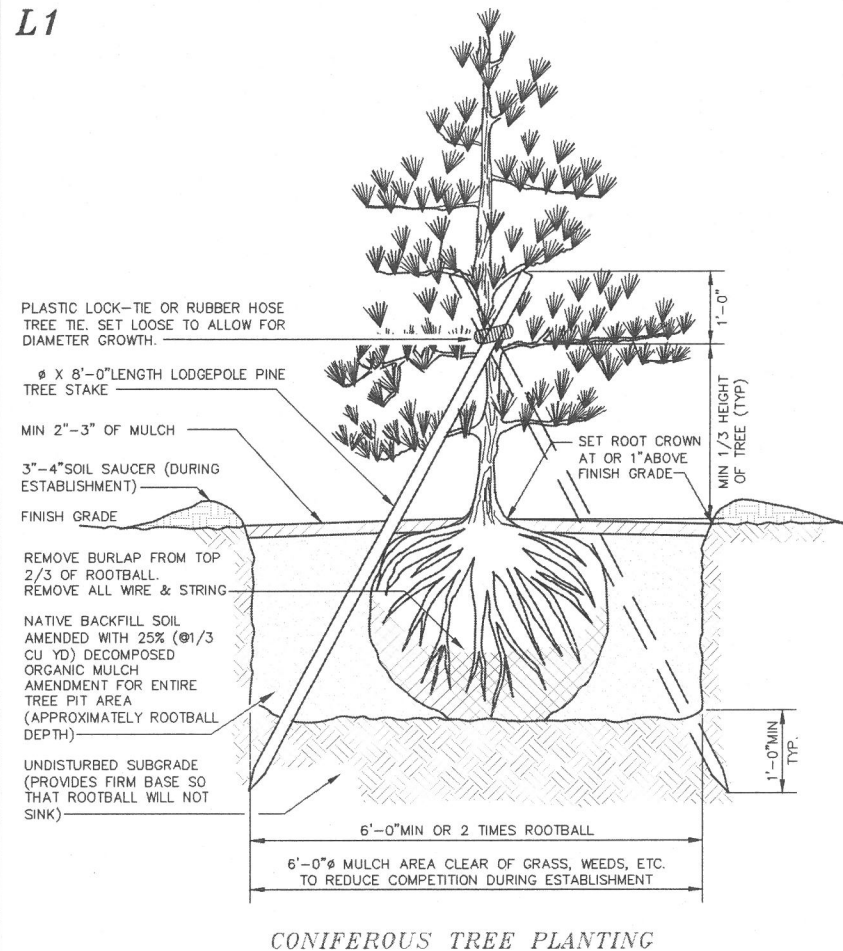
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER

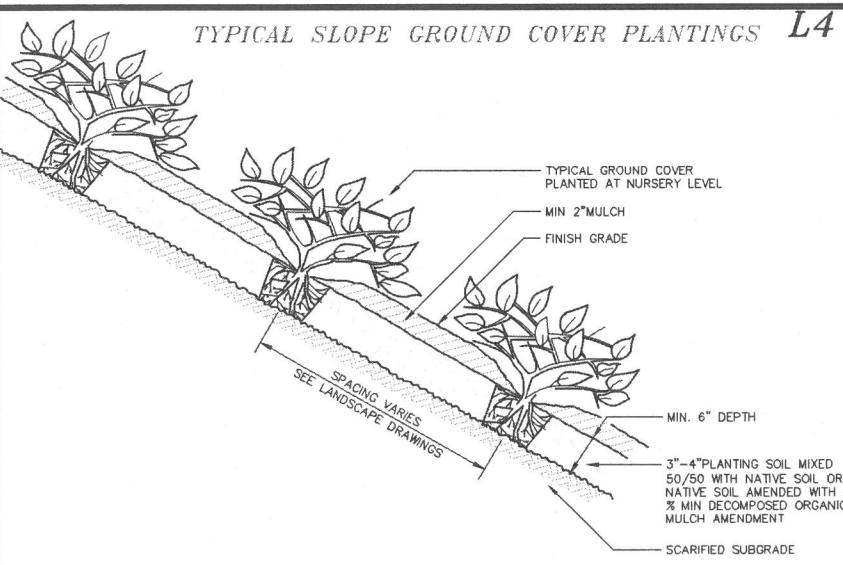
D-101

SHEET 21 OF 24

L1

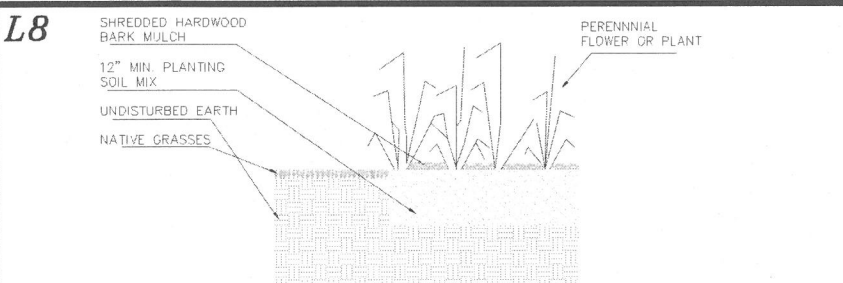


CONIFEROUS TREE PLANTING

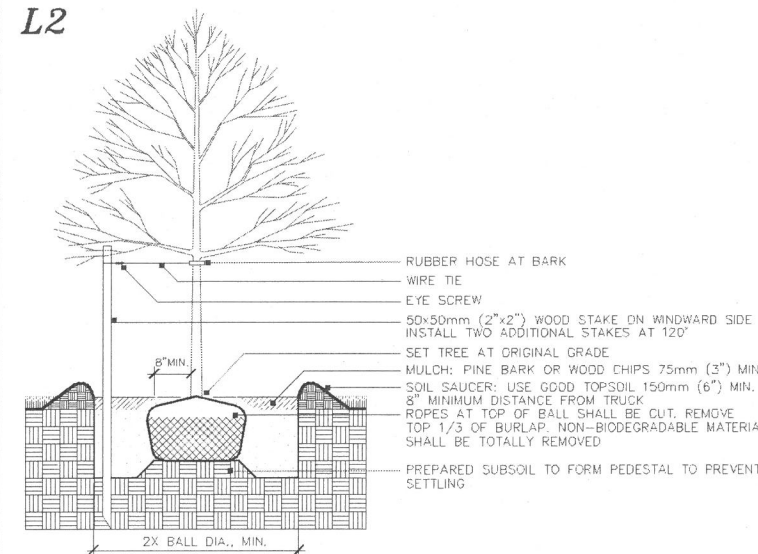


PERENNIAL PLANTING DETAIL

L8



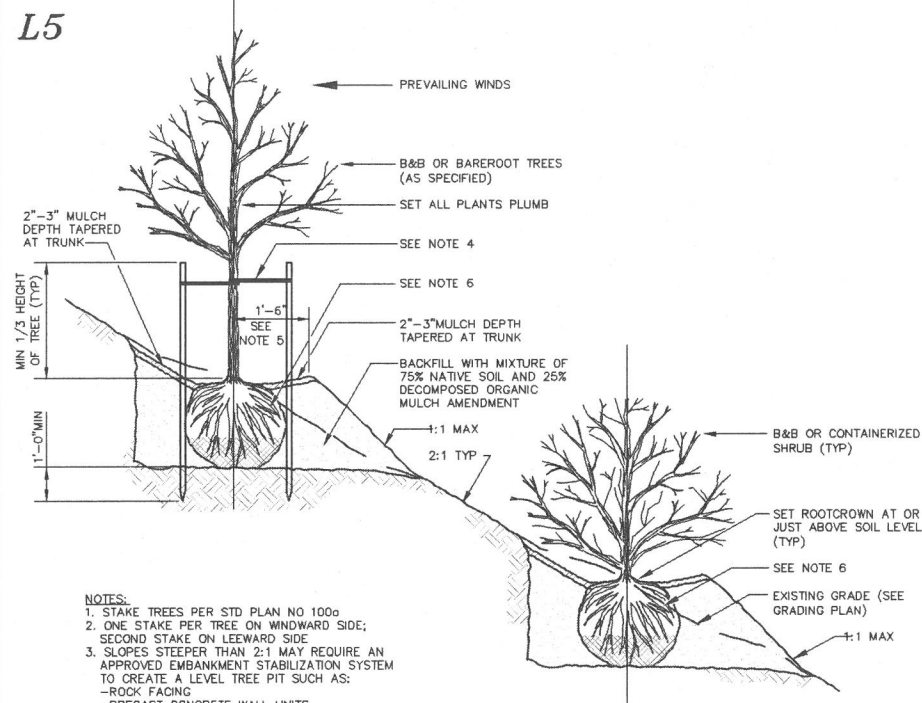
L2



DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

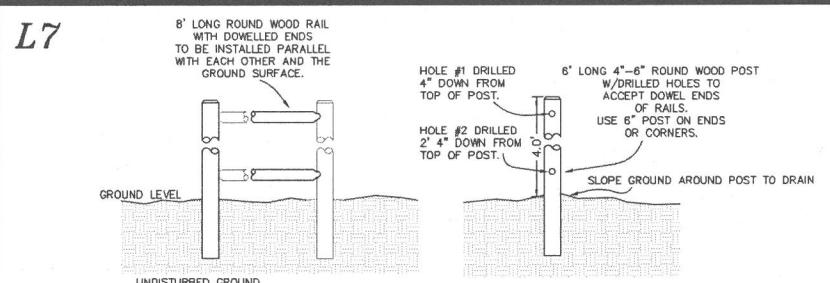
L5



TREE PLANTING ON SLOPES

- NOTES:
1. STAKE TREES PER STD PLAN NO 1000
 2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEeward SIDE
 3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS
 - TIMBER WALL
 - MANUFACTURED SLOPE RETENTION UNITS
 4. CHAINLOCK TREE TIE, LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
 5. SHAPE SOIL TO PROVIDE 3" DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
 6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

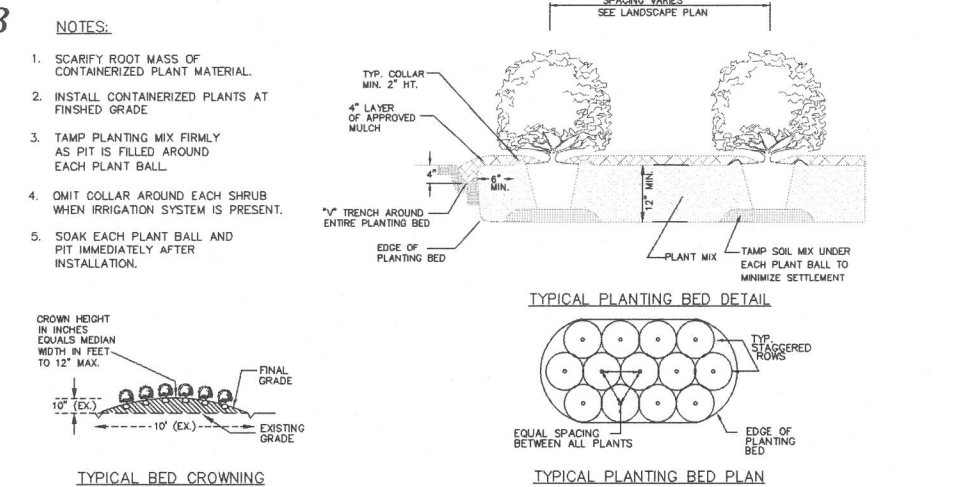
L7



TYPICAL POST & RAIL FENCE DETAIL

N.T.S.

L3



SHRUB & HEDGE PLANTING

NOTES:

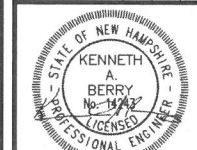
1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING. SEE NOTE XXX ON OVERALL SITE PLAN.
3. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
4. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
6. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
7. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
9. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
10. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
11. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
12. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
14. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
16. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
17. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
18. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
19. TREES ARE TO BE 3" CALIPER 6" OFF THE ROOT BALL.
20. ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
21. 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
22. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
23. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOG AS INDICATED ON PLANS.

L-101

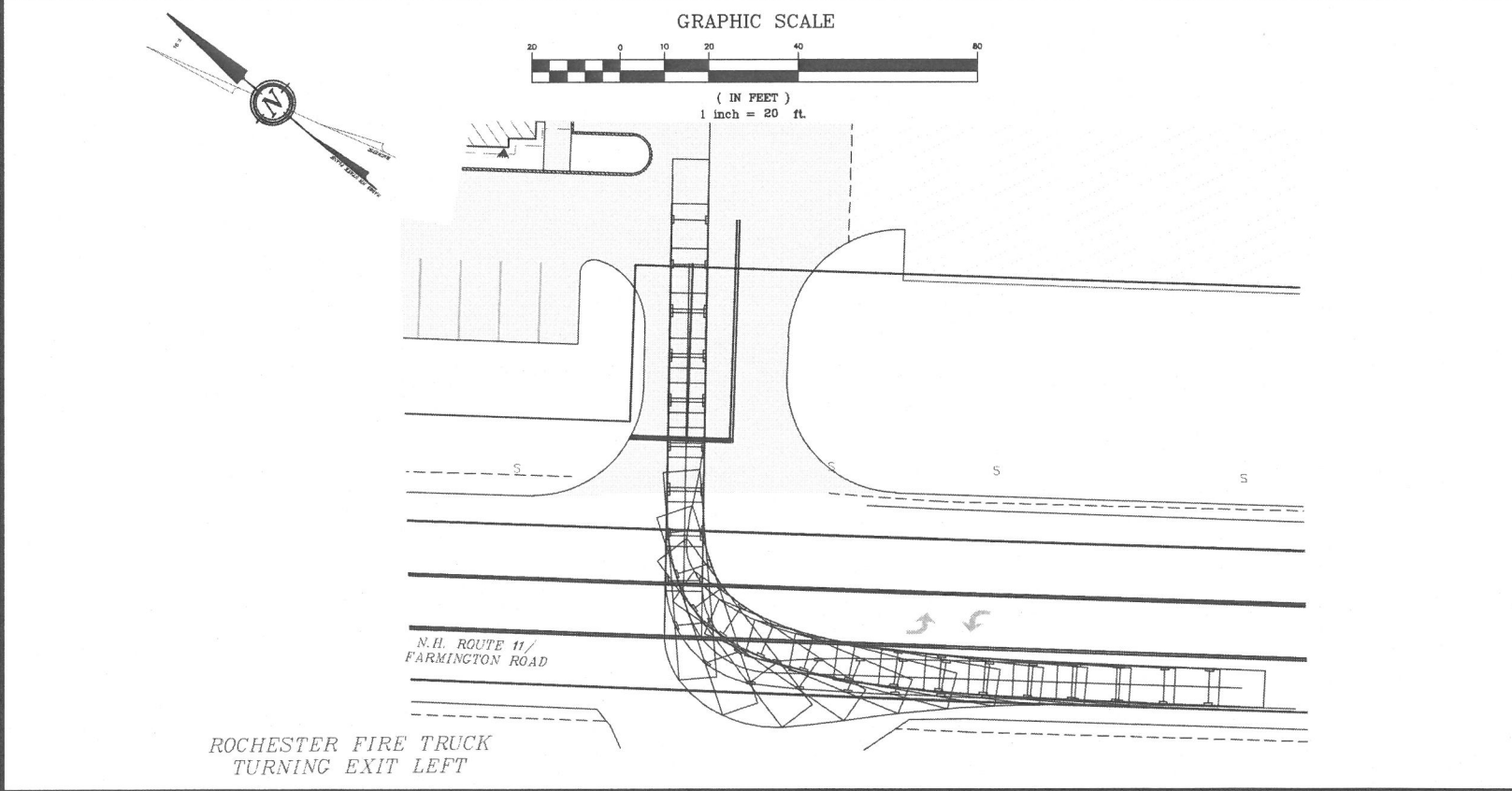
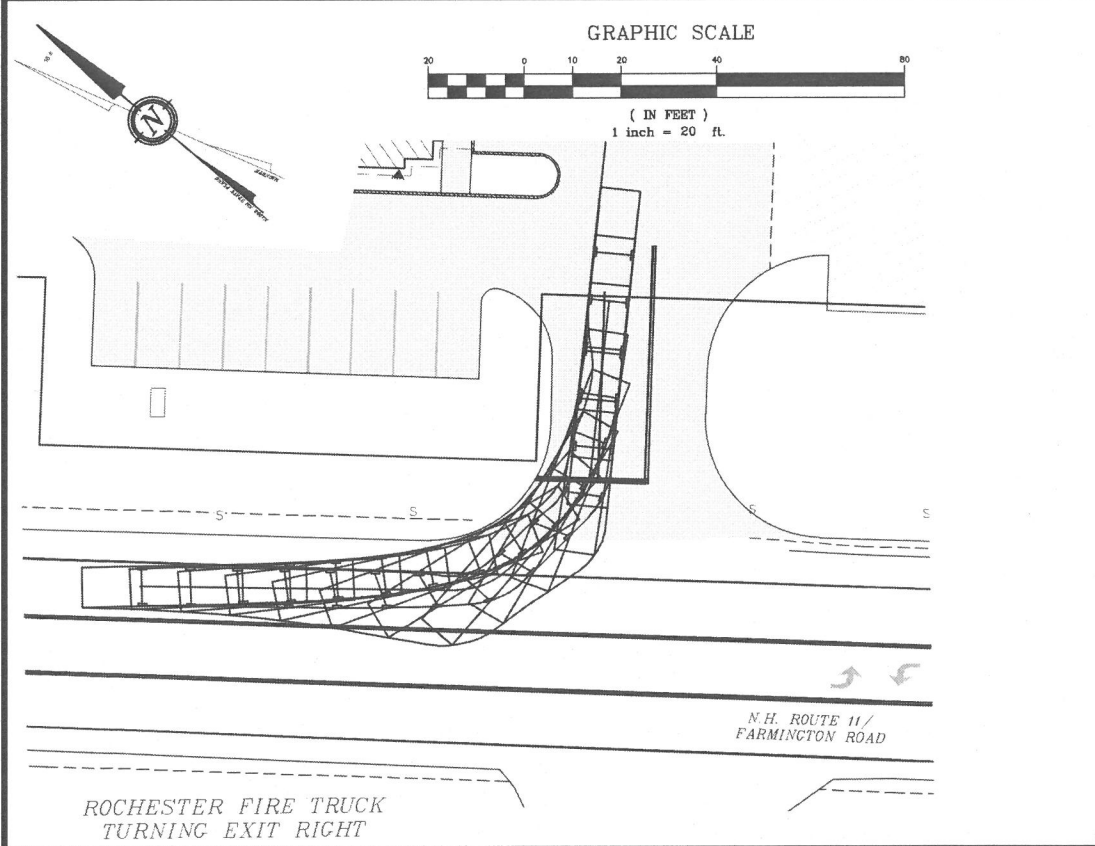
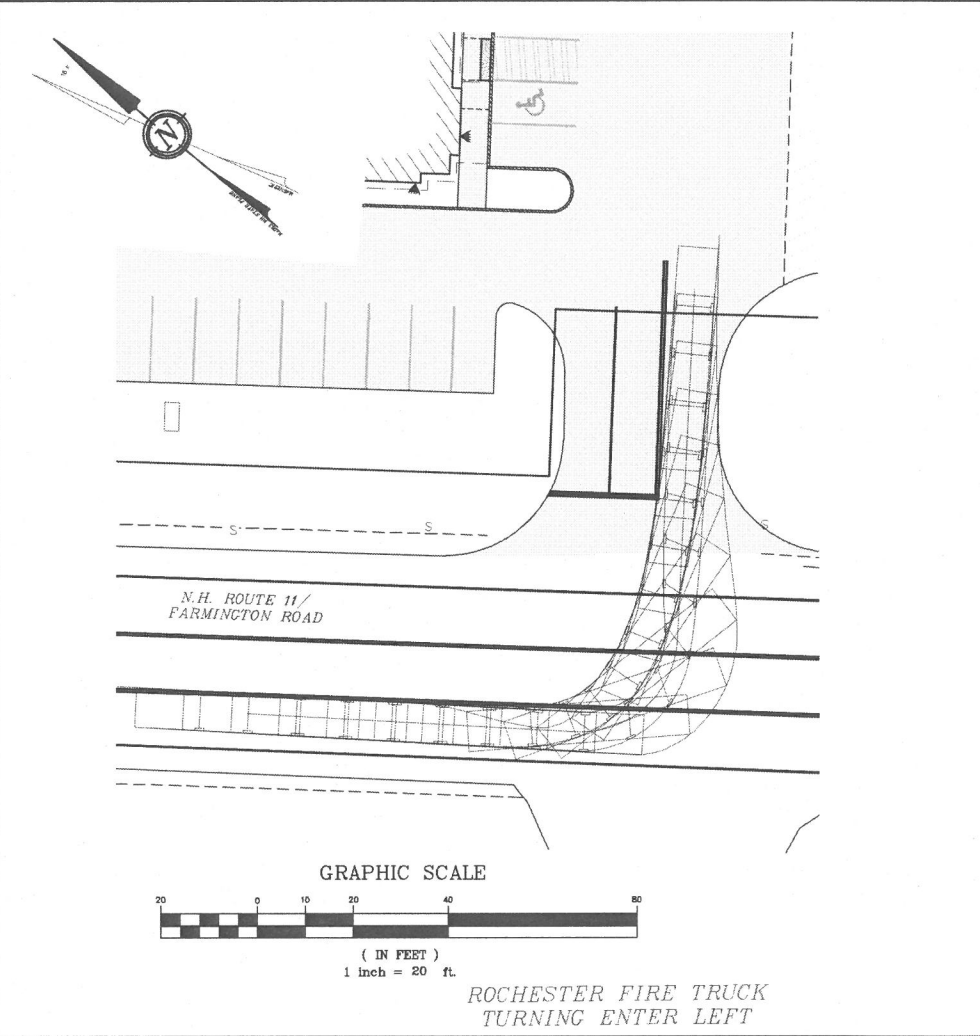
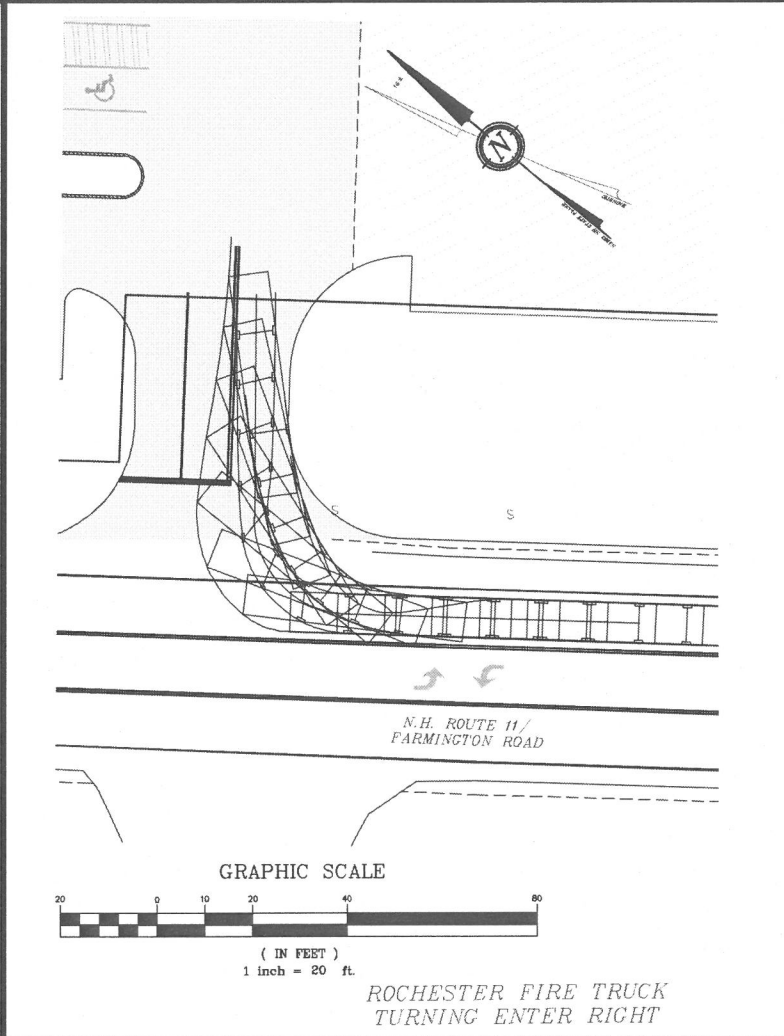
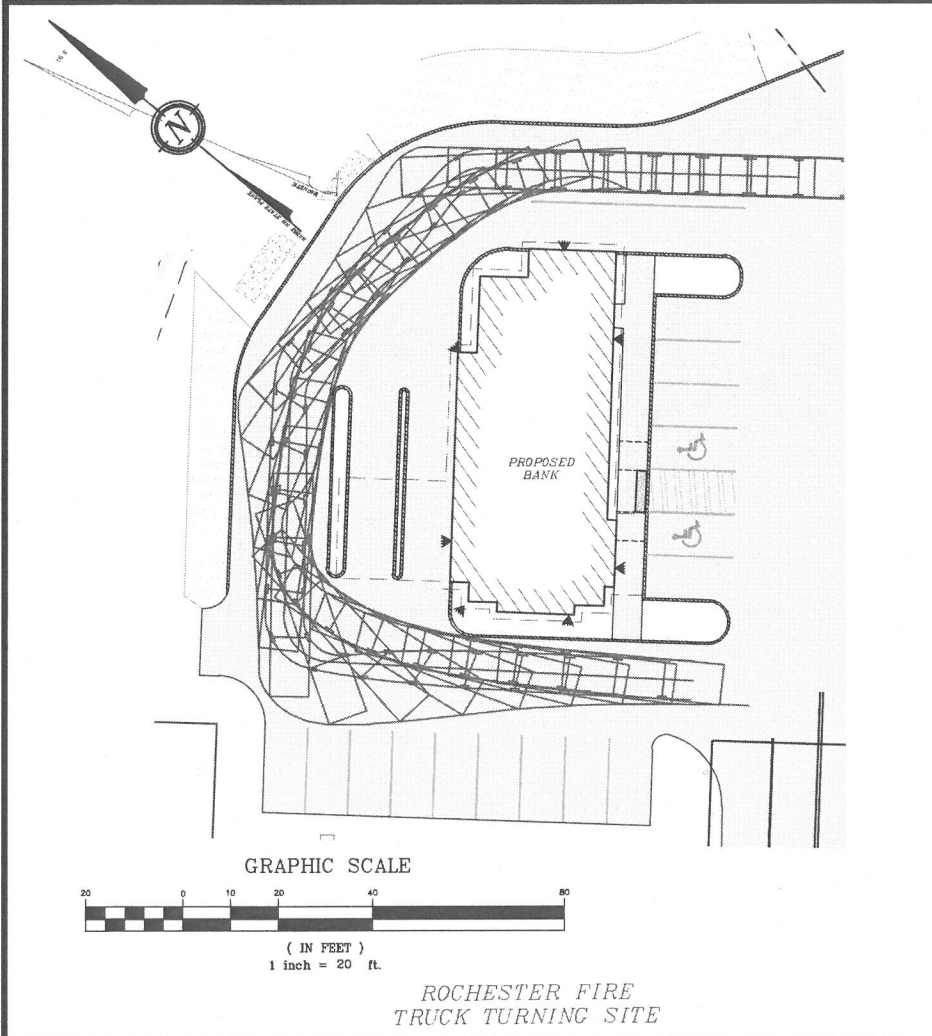
LANDSCAPING CONSTRUCTION DETAILS

LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE: MARCH 23, 2021
FILE NO.: DB 2021 - 022



SHEET 23 OF 24



REVISION	DATE	DESCRIPTION

ROCHESTER FIRE TRUCK TURNING TEMPLATE
LAND OF: 21 FARMINGTON ROAD LLC
FOR: NM COOK DEVELOPMENT LLC
FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOT 29

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 23, 2021
FILE NO. : DB 2021 - 022



GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

Wa
WARRENSTREET
ARCHITECTS
27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

PLAN KEY:

PROJECT TITLE / ADDRESS:

ROCHESTER
21 FARMINGTON ROAD
ROCHESTER, NH

SCALE: AS NOTED DWN BY: KL
JOB #: 3687 CHK BY: JH

PRINT DATE: 2/25/2021 10:00:36 AM

ISSUE DATE:

NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

A201

SHEET NUMBER: OF ? ARCHITECTURAL

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GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

WA
WARRENSTREET
ARCHITECTS
27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

PLAN KEY:

PROJECT TITLE / ADDRESS:

ROCHESTER
21 FARMINGTON ROAD
ROCHESTER, NH

SCALE: AS NOTED DWN BY: KL
JOB #: 3687 CHK BY: JH

PRINT DATE: 2/25/2021 10:00:39 AM

ISSUE DATE:

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SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

A202

SHEET NUMBER: OF ? ARCHITECTURAL

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