# TILITY BUILDING

TAX MAP 129 & 131, LOT 59 ROCHESTER HOUSING AUTHORITY ROCHESTER, NH



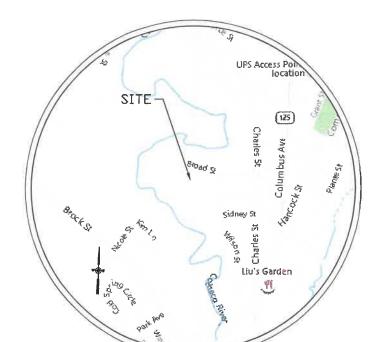
**DWNERS OF RECORD/PREPARED FOR:** HOUSING AUTHORITY OF THE CITY OF ROCHESTER 77 OLDE FARM LANE ROCHESTER, NH 03867

# CIVIL ENGINEER:

# CIVILWORKS NEW ENGLAND 181 Watson Road, PO Box 1166 Dover, New Hampshire 03821 603,749.0443

SURVEYOR: MCENEANEY SURVEY ASSOC.OF NEW ENGLAND P.O. BOX 681 DOVER, NH 03821-0681

ARCHITECT: PORT ONE ARCHITECTS 959 ISLINGTON STREET PORTSMOUTH, NH 03801 TEL.# 603-436-8891.



Location Map scale 1" = 1000

FINAL APPROVAL BY THE ROCHESTER PLANNING BOARD; CERTIFIED BY: DATE

SHEET NO. INDEX Cover Sheet Existing Conditions Demolition Plan Site Plan Grading, Drainage and Erosion Control Plan Utility Plan Detail Sheets A1.1-A2.1 Architectural Floor Plan and Exterior Elevations

- GENERAL NOTES:

  1. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, CITY HALL ANNEX, 33 WAKEFIELD STREET, ROCHESTER, NH 03867–1917, (603) 335–1338.

  2. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. SATURDAY,

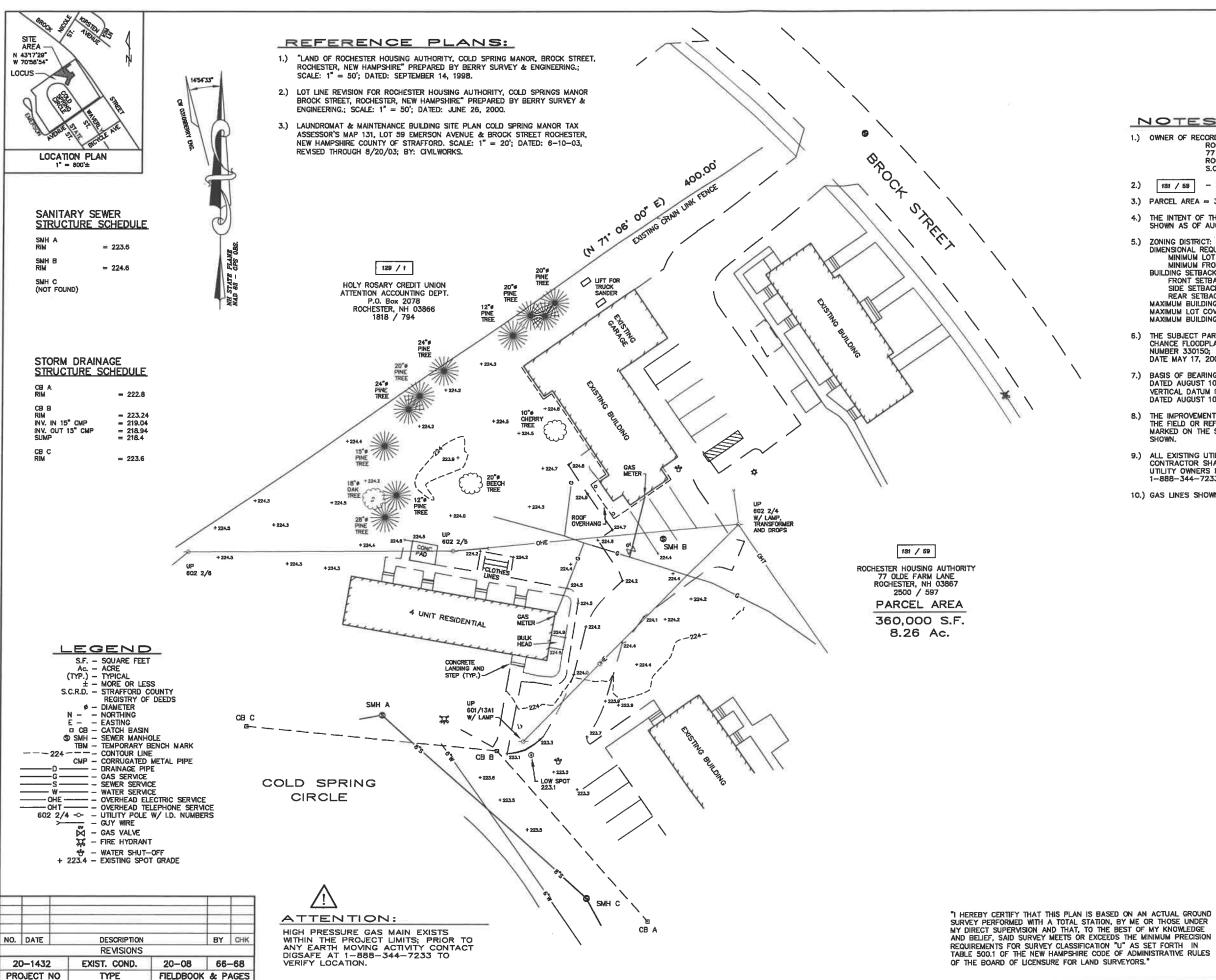
  3. ALL PROPOSED UTILITIES MUST BE UNDERGROUND.

  4. ACCESS TO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 603–335–7545 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.

  5. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW INCLUDING ALL PERTINENT TPROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS UNLESS OTHERWISE WAIVED.
- OTHERWISE WAIVED.
- OTHERWISE WAIVED.

  THIS PROJECT PROPOSES TO DISTURB 0.21 ACRES (8,000 SQ. FT.); LESS THAN ONE ACRE OF EXISTING GROUND COVER. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.

  THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO DE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF CITY ORDINANCE CHAPTER SO. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE RECONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE THE SOIL HAS BEEN DISTURBED.



# NOTES:

1.) OWNER OF RECORD: CORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NEW HAMPSHIRE 03867
S.C.R.D. VOLUME 2500, PAGE 597

2.) 181 / 59 - DENOTES TAX MAP AND PARCEL NUMBER.

3.) PARCEL AREA = 360,000 S.F. / 8.26 Ac.

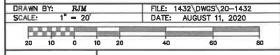
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT EXISTING SITE CONDITIONS IN THE AREA SHOWN AS OF AUGUST 10, 2020.
- 5.) ZONING DISTRICT: R-2, X-1MILE OVERLAY DIMENSIONAL REQUIREMENTS:
  MINIMUM LOT AREA

= 6,000 S.F. = 60 FEET MINIMUM FRONTAGE MINIMUM FRONTAGE
BUILDING SETBACK REGUIREMENTS:
FRONT SETBACK
SIDE SETBACK
REAR SETBACK
MAXIMUM BUILDING FOOTPRINT
MAXIMUM LOT COVERAGE = 10 FFFT

= 8 FEET = 20 FEET = 30 PERCENT = 60 PERCENT = 35 FEET MAXIMUM

- 6.) THE SUBJECT PARCEL IS LOCATED OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 33015C; PANEL 0211 SUFFIX D; MAP NUMBER 33017C0211D; EFFECTIVE DATE MAY 17, 2005.
- BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED AUGUST 10, 2020.
   VERTICAL DATUM IS NH STATE PLANE (NAVD88) BASED ON GPS OBSERVATION DATED AUGUST 10, 2020.
- 8.) THE IMPROVEMENTS AND UTILITIES SHOWN ARE FROM OBSERVATIONS MADE IN THE FIELD OR REFERENCE PLANS. LOCATIONS OF UNDERGROUND UTILITIES NOT MARKED ON THE SURFACE WERE NOT LOCATED. ALL VISIBLE UTILITIES ARE
- 9.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE
- 10.) GAS LINES SHOWN ARE AS TAKEN FROM REFERENCE PLAN No. 3.

LIMITED EXISTING CONDITIONS SKETCH PREPARED FOR ROCHESTER HOUSING AUTHORITY TAX MAP 131, LOT No. 59 EMERSON AVENUE & BROCK STREET CITY of ROCHESTER COUNTY of STRAFFORD STATE of NEW HAMPSHIRE



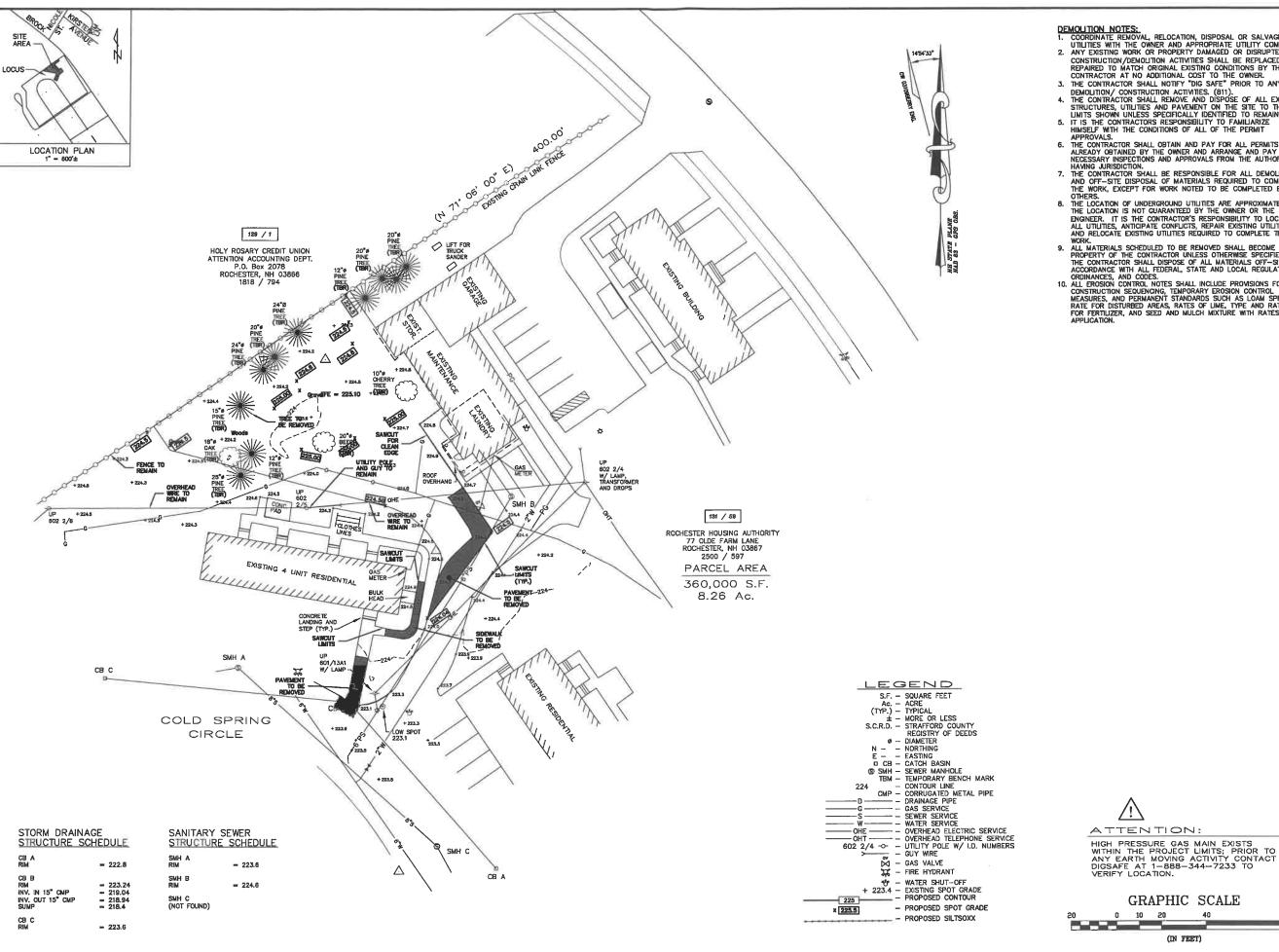


 $M^{c_E neaney}$ S urvey ssociatesof NEW ENGLAND

DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

P.O. Box 681 - 24 CHESTNUT STREET



- DEMOLITION NOTES:

  1. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

  2. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

  3. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY
- THE CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO ANY
  DEMOLITION/ CONSTRUCTION ACTIVITIES. (811).

   THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING
  STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE
  LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.

   IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILLARIZE
- 5. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
  6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- HAMMIG JURISDICTION.

  THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.

  THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, MATICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- AND RELOCATE EXISTING UILITIES REQUIRED TO COMPLETE THE WORK.

  9. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF—SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.

  10. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR ISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.

	DATE: 9/14/20				
	SCALE: 1"-20"				
	DRAWN BY: SRD	*	REVISED NOTES	SE	3/1
	DESIGN BY: D.IL	10	ADDED UTILITIES, & PAVEMENT AREA	퍐	3/1
	APPROVED BYSJH	7	ADDED INFILTRATION & GARAGE	돐	3/8
	PROJECT NO: 1764	-	REMSED FENCE ENDPOST TO STEEL	돐	10/1
	FILE: 1764—SITE.DWG NO.	Š	REVISION	APP'D	۵
ł		ĺ			l



69

UTILITY BUILDING MAP 129 & 131, LOT ROCHESTER, NH

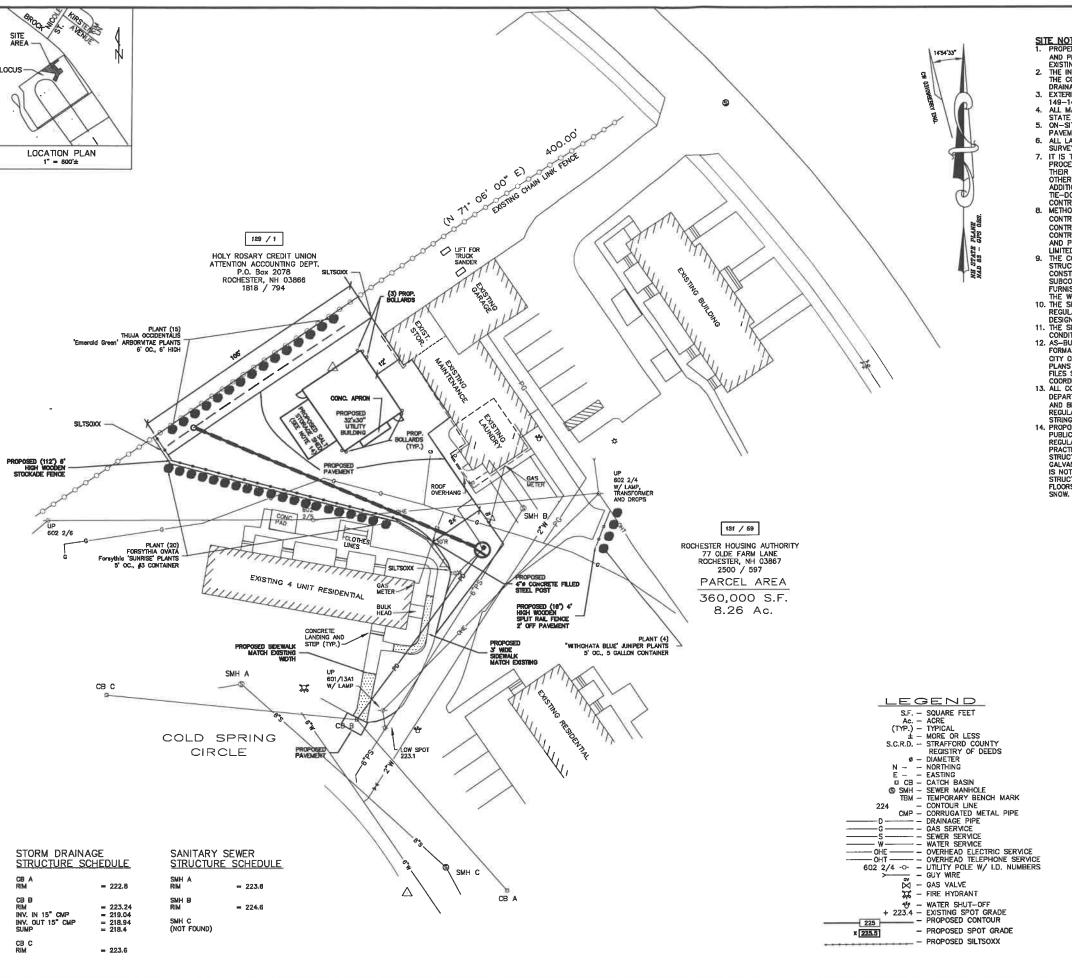
GRAPHIC SCALE

(IN FEET)

10 20

DEMOLITION

3



SITE NOTES:

1. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A PLAN REFERENCED.

PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A PERENCED AND PREPARED BY MCENEAREY SURVEY ASSOCIATES OF NEW ENGLAND (SEE EXISTING CONDITIONS PLAN IN THIS PLAN SET.

THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A UTILITY BUILDING, SALT STORAGE SHED, DRIVE AISLES, DRAINAGE IMPROVEMENTS, AND UTILITIES.

EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149—14—E AND SHALL PROVIDE LIGHTING DIRECTED ON—SITE ONLY.

- 4. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.

  ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED

- SURVEYOR UNDER CONTRACT WITH THE CONTRACTOR.

  7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITIES AND THEIR COMPONENTS DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERMISE DIRECTED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE PROJECT.

  8. METHODS OF DEMOLITION, CONSTRUCTION AND ERECTION ARE THE CONTRACTOR AT ERESPONSIBILITY IN THE SECONDER SECCIOED. IT IS THE

CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE

CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE CONTRACTORS' RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE AND MUNICIPAL REQUIRATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO DUST CONTROL AND SILT BARRIERS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO STRUCTURES OR UTILITIES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION PHASE CAUSED BY HIMSELF, HIS EMPLOYEES, HIS SUBCONTRACTORS OR EMPLOYEES OF SAME. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY FACILITIES FOR THE PROTECTION OF THE WORK, WORKERS AND PUBLIC SAFETY.

10. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REQUILATIONS IN RSA 155-63.5. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.

11. THE SITE SHALL BE MAINTAINED TO PROVIDE ACCESSIBILITY IN ALL WEATHER CONDITIONS.

12. AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DWF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A LLS. OR P.E. DIGITAL FILES SHALL BE CEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NADB3 AND SHALL BE EXPRESSED IN FEET.

13. ALL CONSTRUCTION SHALL COMPORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE STATE OF NEW HAMPSHIRE REQUIATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.

14. PROPOSED SALT STORAGE SHED SHALL BE IN ACCORDANCE WITH SECTION 12 PUBLIC HEALTH AND SAFETY OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS, SALT SHAL BE HANDLED IN ACCORDANCE WITH BEST MANGEMENT PRACTICES. THE MATERIALS SHALL BE STORED IN FULLY ENCLOSED ROOFED STRUCTURE INFENETRABLE TO RAIN AND SNOW, STRUCTURE HARDWARE SHALL BE GALVANIZED. A COVER SHALL BE SUPPLED OVER THE OPEN END SO SALT INSIDE IS NOT EXPOSED TO THE ELEMENTS. THE FLOOR SHALL BE ASPHALT. THE STRUCTURE SHALL BE AT THE HIGH POINT OF THE SITE AND SHALL DRAIN AWAY. FLOORS AND WALLS SHALL BE SEALED TO PREVENT PENETRATION BY RAIN AND SNOW.

CIVIL WORKS NEW ENGLA ONLENGRERING 181 Welson Road, PO Box 1166 Dover, New Hampshire 03921 .......................

돐

DESIGN BY: D.L. 3 ADDED UTILITIES, & PAVEMENT AREA S.H 3/18/	APPROVED BYSJH 2 ADDED INFILTRATION & GARAGE SJH 3/8/2	PROJECT NO:1784 1 REVISED FENCE ENDPOST TO STEEL SJH   10/8/7	FILE: 1784—STE,DWG NO. REVISION APP'D DATE	
DESIGN	APPROVE	PROJECT	FILE: 178,	



59 UTILITY BUILDING MAP 129 & 131, LOT ROCHESTER, NH

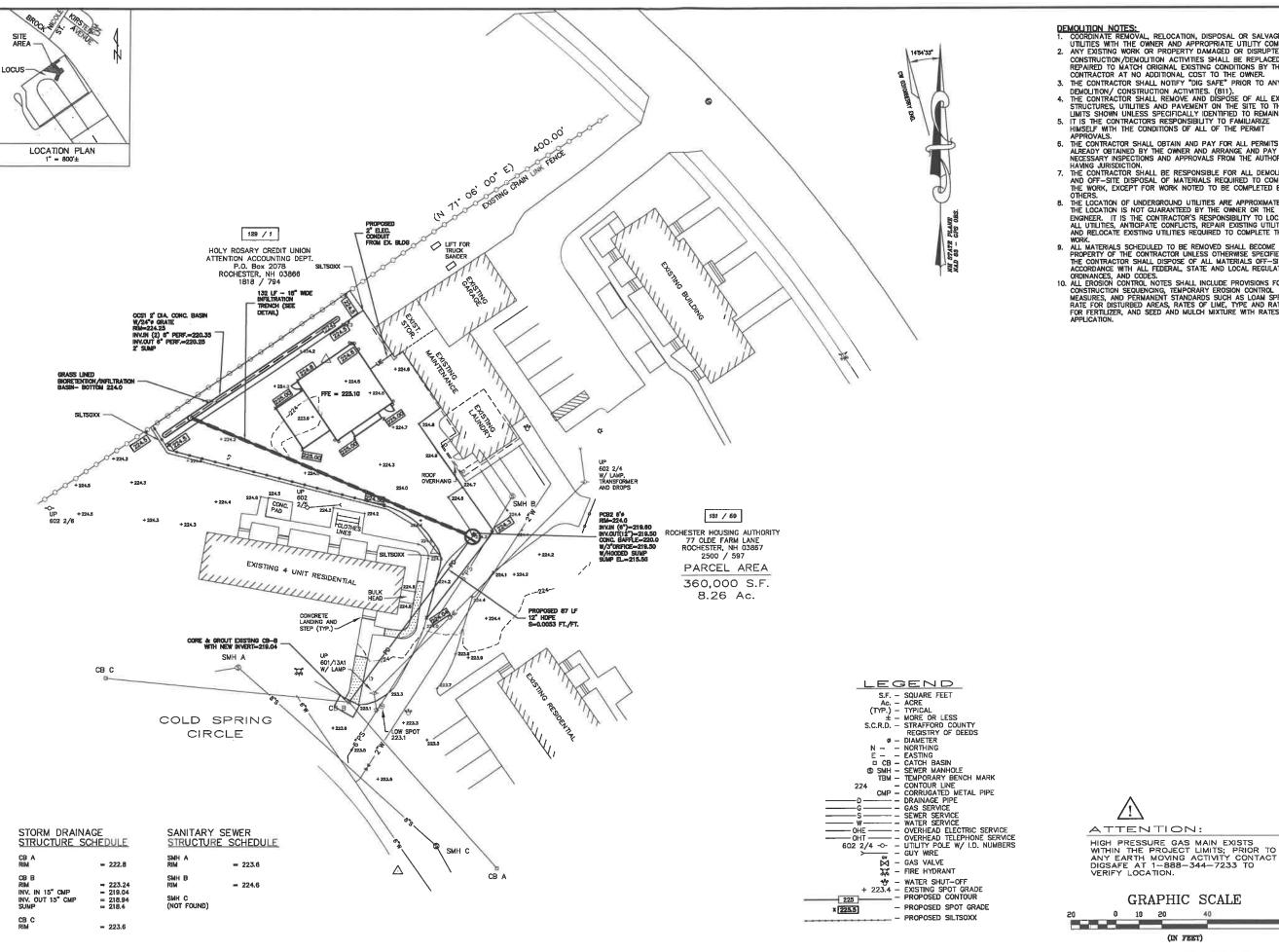
PLAN

SITE

GRAPHIC SCALE 10 20 (IN FEET)

HIGH PRESSURE GAS MAIN EXISTS WITHIN THE PROJECT LIMITS; PRIOR TO ANY EARTH MOVING ACTIVITY CONTACT DIGSAFE AT 1-888-344-7233 TO VERIFY LOCATION.

ATTENTION:



- DEMOLITION NOTES:

  1. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

  2. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

  3. THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY DEMOLITICAL CONSTRUCTION ACTIVITIES (911)
- DEMOLITION/ CONSTRUCTION ACTIVITIES. (811).

  4. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.

  5. IT IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPERIVALS.

- HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.

  6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.

  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF—SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.

  8. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LICCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTIGIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- WORK.

  9. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.

  10. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.

GRAPHIC SCALE

(IN FEET)

DATE: 9/14/20	П			
SCALE: 1"-20"	2	REWISED PER TRG COMMENTS	돐	5/
DRAWN BY: SRD	4	REVISED NOTES	돐	3/
DESIGN BY: DJL	2	ADDED UTILITIES, & PAVEMENT AREA	퍐	3/1
APPROVED BYSJIH	2	ADDED INFILTRATION & GARAGE	돐	3/
PROJECT NO:1784	F	REVISED FENCE ENDPOST TO STEEL	SE	10/
FILE: 1764-SITE.DWG	ÑO.	REVISION	APP'D	۵



OF ABSTER LANE 03867

CONTROL

EROSION

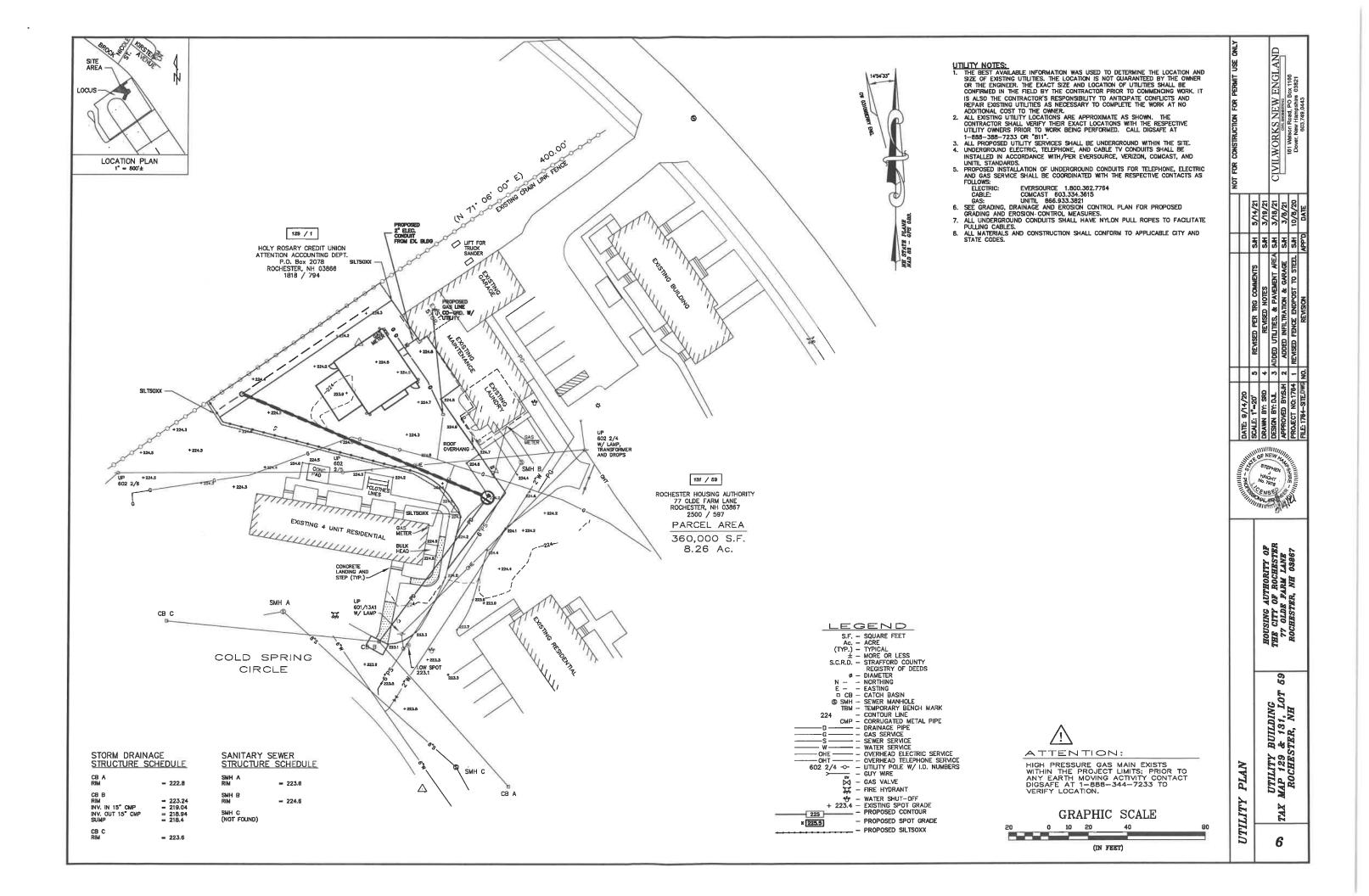
DRAINAGE

GRADING,

69 BUILDING & 131, LOT STER, NH

UTILITY E MAP 129 5 ROCHEST

5



**DESCRIPTION** 

THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH CONSTRUCTION OF A PAVED UTILITY STORAGE AREA, UTILITY BUILDING, AND SALT STORAGE SHED.

PROJECT NAME AND LOCATION HOUSING AUTHORITY OF THE CITY OF ROCHESTER COLD SPRING MANOR

LATITUDE N43.292 DEGREES NORTH LONGITUDE W70.981 DEGREES WEST

# SECUENCE OF MAJOR ACTIVITIES

- 1. PLACE TEMPORARY EROSION AND SEDIMENT CONTROL BMP'S PRIOR TO EARTH MOVING

- 1. PLACE TEMPORARY EROSION AND SEDMENT CONTROL BMP'S PRIOR TO EARTH MOVING ACTIVITIES.
  2. ALL EROSION CONTROL AND PERMETER CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING EARTH MOWING OPERATIONS.
  3. SELECTIVE DEMOLITION.
  4. RECORDED STRE TO SUBGRADE.
  5. INSTALL DRAWINGS STRUCTURES AND CONTROLS.
  6. INSTALL DRAWINGS STRUCTURES AND CONTROLS.
  7. STABILEZE ROADBAYS & PARKING LOTS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
  8. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED (AS APPLICABLE) WITHIN 72 HOURS OF ACKIEVED FINISH CAUGE.
  9. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EVERY 14.4" OF RAMEAU.
- 1/4" OF RAINFALL

  10. IN ALL CASES THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION.
  ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF INITIAL DISTURBANCE.

  11. WHEN ALL SIE MORK IS COMPLETE AND ALL DISTURBED AREAS ARE STABILIZED REMOVE ALL
  TEMPORARY ENGINE CONTROL MEASURES AND PILE THE EFA NO.1. IF APPLICABLE.

# DEFINITIONS

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED.

  1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED

  2. A MINIMUM OF BST. VECETATED GROWIN HAS BEEN ESTABLUSHED.

  3. A MINIMUM OF BST. VECETATED GROWIN HAS BEEN ESTABLUSHED.

  4. BINDHALLED, OR

  4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

# INSTALLATION. MAINTENANCE AND INSPECTION PROCEDURES OF EROSION AND SEDIMENT CONTROLS

- GENERAL

- CENERAL THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MIPLEUDY THE PLAN.
  ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
  ALL DITCHES AND SWALES SHALL BE INSPECTED AT LEAST CACE EACH WEEK AND FOLLOWING ANY STORM EVENT MY PERFORMENT OF MEATING. OR MORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE MINISTED WITH MY MEMORIAN PROPERT.
  BUILT UP SEDMENT WILL BE REMOKED FROM SULT FENCE OR CHECK DAMS WHEN IT HAS REACHED ONE THEM THE HIGHT OF THE FENCE OR DAM.
  ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
  TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
  A MAINTENANCE RISPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
  A REPRESENTATIVE OF THE OWNER, WILL BE MADE AFTER EACH INSPECTIONS, MAINTENANCE AND REPAIR CHINTES, AND TELLING OUT THE INSPECTION AND MAINTENANCE REPORT.

- Sit Fence

  a. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene yorn and shall be certified by the manufacturer or eupplier as conforming to the following requirements: Physical Property
  Filtering Efficiency
  Tensis Strength ot

  20% Maximum Elongation\*
  Stondard Strength
  30 (b)(in in (min))

  Company

  VIM-51

  0.3 gal/st/min (min)

ite VTM-51 0.3 gal/sf/min (min) irements reduced by 50 percent after six (6) months of installation

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120 Degrees F.

- b. The height of a silt fence shall not exceed thirty-six (36) inches.
  c. The filter fobric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter doth shall be spliced together only at support post, with a minimum six (6) inch overlap, and securally scaled.

- spliced together only at support post, with a minimum shr (8) inch overlap, and securely seeled.

  Posts shall be spaced a maximum of ten (10) feet apart at the barrier location and driven securely into the ground (minimum of 12 inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet. Posts for sit fences sould be 2-inch diameter wood with a minimum length of 5 feet. Whe fence reinforcement for sit fences using standard strength filter cloth shall be ambinum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spocing of 6 inches.

  A trench shall be exceeded approximately four (4) inches wide and four (4) inches deep dong the line of posts and upstope from the barrier. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upstope side of the posts using heavy duty wire staples at least one (1) inch long, its wires or hag rings. The wire shall extend no more than 38 inches above the original ground surfaces.

  The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the tranch. The fabric shall not extend more than 36 inches above the original ground surfaces. Filter fabric shall not extend more than 36 inches above the original ground surfaces. Filter fabric shall not be estapled to existing trees.
- extend more than 35 inches above the original ground surface. Filter tabric shall not be stapled to edisting free that it was a support fence may be eliminated. In such a case, the filter fabric is stapped from the most of term (1) applying, the stapped from the stapped from the stapped for the posts with all other provisions of filter (1) applying, the trench shall be backfilled and the soll compacted over the filter fabric. Sit fences shall be removed when they have served their useful purpose, but not before the upsidepe areas has been permonently stocklized.
- Sequence of Installation
- requences or instanction

  Sediment barriers shall be installed prior to any soil disturbance of the contributing drainage area above them.

  faintenance
- a. Check dams and sit fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repaire shall be mode immediately, if there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind them, sediment barriers shall be replaced with a temporary check dam.
  b. Should the fortic on a slit fence or filter barrier decompose or become ineffective prior to the end of the expected vendel life and the barrier still is necessary, the fabric shall be replaced promptly.
  c. Sedment deposits should be removed after each storm event. They must be removed when deposits reach approximately one third (1/3) the height of the barrier.
  d. Any sediment deposits remaining in place after the sitt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

- Timing In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this.
  - .

    a. Apply mulch prior to any storm event. It will be necessary to closely monitor weather predictions, usually by contacting the Nation Weather Service in Concord, to have adequate warning of significant
- Weather Service in Concord, to have adequate warning of significant storms.

  b. Required Mulching within a specified time period. The time period can range from 14 to 21 days of inactivity on a area, the length of time warning with site conditions. Professional judgement shall be used to waluate the interaction of site conditions (soil eradibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erasion on adjacent areas to choose an appropriate time restriction. Application Rate

  Mulch shall be applied at a rate of between 1.5 to 2 tons per ocre, or 90 to 100 pounds per 1000 square feet.
- Guidelines for Winter Muich Application. When mulch is applied to provide protection over winter (post the growing season) it shall be at a rate of 6,000 pounds of hay or straw per ocre. A tocklifer may be odded to the
- Maintenance All mulches must be inspected periodically, in particular ofter rainstorms, to check for rill erosion. If less than 93% of the soil surface is covered by mulch, additional mulch shall be immediately applied.
- Excelsior Matting Excelsior Matting shall be used in place of mulch on all slopes steeper than 3.1.
- TEMPORARY GRASS COVER
  Seedbed Preparation
  Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply
  limestone (equivalent to 50 percent calcium plus magnesium axide) at a rate
- of three (3) tons per ocre.
- a. Utilize annual rye grass at a rate of 40 lbs/ocre.

  b. Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.

  c. Apply seed uniformly by hand, cyclone seeder, or hydroseeder (elurry including seed and fertilizer). Hydroseedings, which include muich, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.

warrenance Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erasion or sedimentation is apparent, repairs shall be made and other temporary measures used in the Interim (mulch, filter barriers, check dorms, etc.).

- Bedding stones larger than 1 ½ ", trash, roots, and other debris interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 4" to prepare a seecbed and mix fertilizer into the soil.
- Fertilizer lime and fertilizer should be applied evenly over the area prior to
  or at the time of seeding and incorporated into the soil. Kinds and
  amounts of lime and fertilizer should be based on an evaluation of soil tests.
  When a soil test is not available, the following minimum amounts should be
  applied.

Rate: Type	LBS. per Acre	IBS. per 1.000 s.f.
Tall Fescue Creeping Red 20	20	0.45
Fescue Birdsfoot Trefoil Total	8 48	<u>0.20</u> 1.10

4. Sodding — sodding is done where it is desirable to rapidly establish cover a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere as site. Bed preparation, fertikizing, and placement of sod shall be performed according to the S.C.S. Handbook.

Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/siit) etc.

5. Provide a minimum of 4 inches (5 inches loose) of topsoil to all areas to be

- Straw/Hay Bale Inlet Structure
  - a. Bales shall be either wire bound or string tied with the bindings oriented around the sides rather than over and under the bales.
  - Bales shall be placed lengthwise in a single row surrounding the inlet, with the ends of adjacent bales pressed together.
  - The filter barrier shall be entrenched and backfilled. A trench shall be excovated around the inlet the width of bale to a minimum depth of four (4) inches. After the bates are staked, the excavated soil shall be backfilled and compacted opposit the filter barrier.
  - d. Each bole shall be securely anchored and held in place by at least two (2) stakes or rebars driven through the bale.
  - Loose straw/hay shall be wedged between bales to prevent water from entering between bales.
  - All structures should be inspected after every rainstorm and repairs
  - Sediment should be removed from the devices after the sediment has reached a maximum of one—third the depth of the trop. Haybales should be removed and the area repaired as soon as the contributing drainage area to the injet has been completely stabilized.

# TIMING OF CONTROLS/MEASURES

As indicated in the sequence of Mojor Activities the sit fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Areas where construction activity temporarily ceases for more than twenty one (21) days will be stabilized with a temporary seed and mulch within fourteen (14) days of the last disturbance. Once construction activity ceases permanently in on area, silt fences and any earth/dikes will be removed once permanent measures are established. All areas shall be stabilized within 72 hours of achieving finish

# WASTE DISPOSAL

# WASTE MATERIALS

- All waste materials will be collected and stored in securely lidded receptacles. A trush and construction debris from the site will be deposited in a dumpster. No construction waste materials will be buried on site. All personnel will be instruct regarding the correct procedure for waste disposal by the superintendent.
- HAZARDOUS WASTE
- All hazardous waste materials will be disposed of in the manner specified by local or state regulation or by the manufacturer. Site personnel will be instructed in these practices by the superintendent.
- SANITARY WASTE
- All sanitary waste will be collected from the partable units a minimum of once per week by a licensed sanitary waste management contractor.

## SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

The following are the material management practices that will be used to reduce the risk of spills or other accidental exposure of materials and substances during construction to stormwater runoff:

The following good housekeeping practices will be followed on site during the construction project:

- An effort will be made to store only sufficient amounts of products to do the
- All materials stored on site will be stored in a neat, orderly manner in their proper (original if possible) containers and, if possible, under a roof or other enclasurs.
- Monufacturer's recommendations for proper use and disposal will be followed. The site superintendent will inspect daily to ensure proper use and disposal of
- materials.

  Substances will not be mixed with one another unless recommended by the manufacturer.
- Whenever possible all of a product will be used up before disposing of the

The following practices will be used to reduce the risks associated with hazardous

- Products will be kept in their original containers unless they are not reseatable Original labels and material eafety data will be retained for important product information.
- Surplus product that must be disposed of will be discorded according to the manufacturer's recommended methods of disposal.

PRODUCT SPECIFICATION PRACTICES
The following product specific proctices will be followed on site:

All on alte vehicles will be monitored for leaks and receive regular preventive maintenance to reduce leakage. Petroleum products will be stored in tightly sealed containers which are clearly labeled. Any asphalt based substances used on alte will be applied according to the manufacturer's recommendations. Fertilizers: Fartilizers used will be applied only in the minimum amounts directed by the specifications. Once applied fartilizer will be worked into the soil to limit exposure to stormwater. Storage will be in a covered shed or enclosed trailers. The contents of any partially used bags of fartilizer will be transferred to a scalable plastic bin to avoil

spills.

As a political will be lightly sealed and stored when not required for use. Excess plant will not be discharged to the storm sewer system but will be disposed of properly according to manufacturer's instructions or state and local regulations.

# Concrete Trucks:

Concrete trucks will discharge and wash out surplus concrete or drum wash water in a

# SPILL CONTROL PRACTICES

In addition to good housekeeping and moterial management practices discussed in the previous section the following practices will be followed for spill prevention and cleanup:

- Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the pracedures and the location of the information and cleanup supplies.
- Materials and equipment necessary for spill cleanup will be kept in the material storage area on site. Equipment and materials will include but not be limited brooms, dustpans, mops, rags, gloves, goggles, kitty litter, sand, sowdust and plastic or metal trash containers specifically for this purpose.
- All spills will be cleaned up immediately after discovery
- The epil area will be kept well ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with a hazardous substance.
- Spills of toxic or hazardous material will be reported to the appropriate state or local government agency, regardless of the size.
- The spill prevention plan will be adjusted to include measures to prevent this type of spill from recurring and how to cleanup the spill if it recurs. A description of the spill, its cause, and the cleanup measures will be included.
- The site superintendent responsible for day-to-day site operations will be the mill prevention and cleanup coordinator.

The project proponent is required to manage construction to meet the requirements of AGR 3800 relative to controlling invasive species and controlling fugitive dust in accordance with ENV-A 1002.

AGR 3800 Prohibited Invasive Plant Species Rules

The rule, Agr 3800, states: "No person shall collect, transport, import, export, move, buy, sell, distribute, propagate or transplant any liking and violable portion of any plant species, which includes all of their cultivars and varieties, listed in Toble 3800.1, New Hampshire prohibited invasive species list." A complete copy of the rules can be occessed on the internet at http://agricultura.nh.gov/loplea/plants\_trasscta.htm.

Env-A 1002 FUGITIVE DUST: Precautions to Prevent. Abote. and Control Fugitive Dust. (g) Any person engaged in any activity within the state that emits fugitive dust, other than those listed in Env.—A 1020.02(b), shall take precultions throughout the duration of the activity in order to prevent, obsta, and control the emission of fugitive dust.

- (b) Precoutions required by (a), above, shall include but not be limited to the following
- (1) The use of water or hydrophilic material on operations or surfaces, or both:
- The application of asphalt, water or hydrophilic material, or tarps or other such covers to material stockpiles;
- (4) The use of containment methods for sandblasting or similar operations; and
- (5) The use of vacuums or other suction devices to collect airborne particulate matter,

# MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES

The project proponent is responsible for the mointenance of all stormwater facilities during const and the property owner is responsible after construction is complete.

# CATCH BASINS & STORMWATER TREATMENT STRUCTURES

Catch basins & Stormwater treatment structures should be inspected on a monthly basis and/or after a major rainful event to assure that debris or sediments do not reduce the effectiveness of the system.

# WINTER CONSTRUCTION NOTES

- 1. All proposed post—development registated areas which do not exhibit a minimum of 85% registative grawth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing excelon control distributes on slopes graater from 3.1, and seeding and placing 3 to 4 tons of mulch per acrs, secured with archored noting, elsewhere. The placement of erosion control blankets or mulch and nothing shall not occur over accumulated ence or on frozen ground and shall be completed in odvance of these or spring melt.
- All slopes which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th shall be stabilized with stone or erasion
- After October 15th, incomplete road surfaces shall be protected with a minimum 3-inches of crushed gravel per NHDOT Item 403.3, or if construction is to continuing the winter season be cleared of any accumulated snow after each starm event.

DATE: 9/14/20 SCALE: 1°=20' DRAWN BY: SRD DESIGN BY: D.L APPROVED BYSJI PROJECT NO: 178 OF NEW STEPHEN HAIGHT No. 7978

CENSER

CONSTRUCTION FOR PERMIT USE

NEW ENGL. LENGHERING
LENGHERING
AGORD, PO BOX 1166
Hampshire 03821
3,749,043

IVII.WORKS D

뜅

CITY OF ROCHESTER 7 OLDS FARM LANS CHESTER, NH 03867

UTILITY BUILDING TAX MAP 131, LOT 59 ROCHESTER, NH

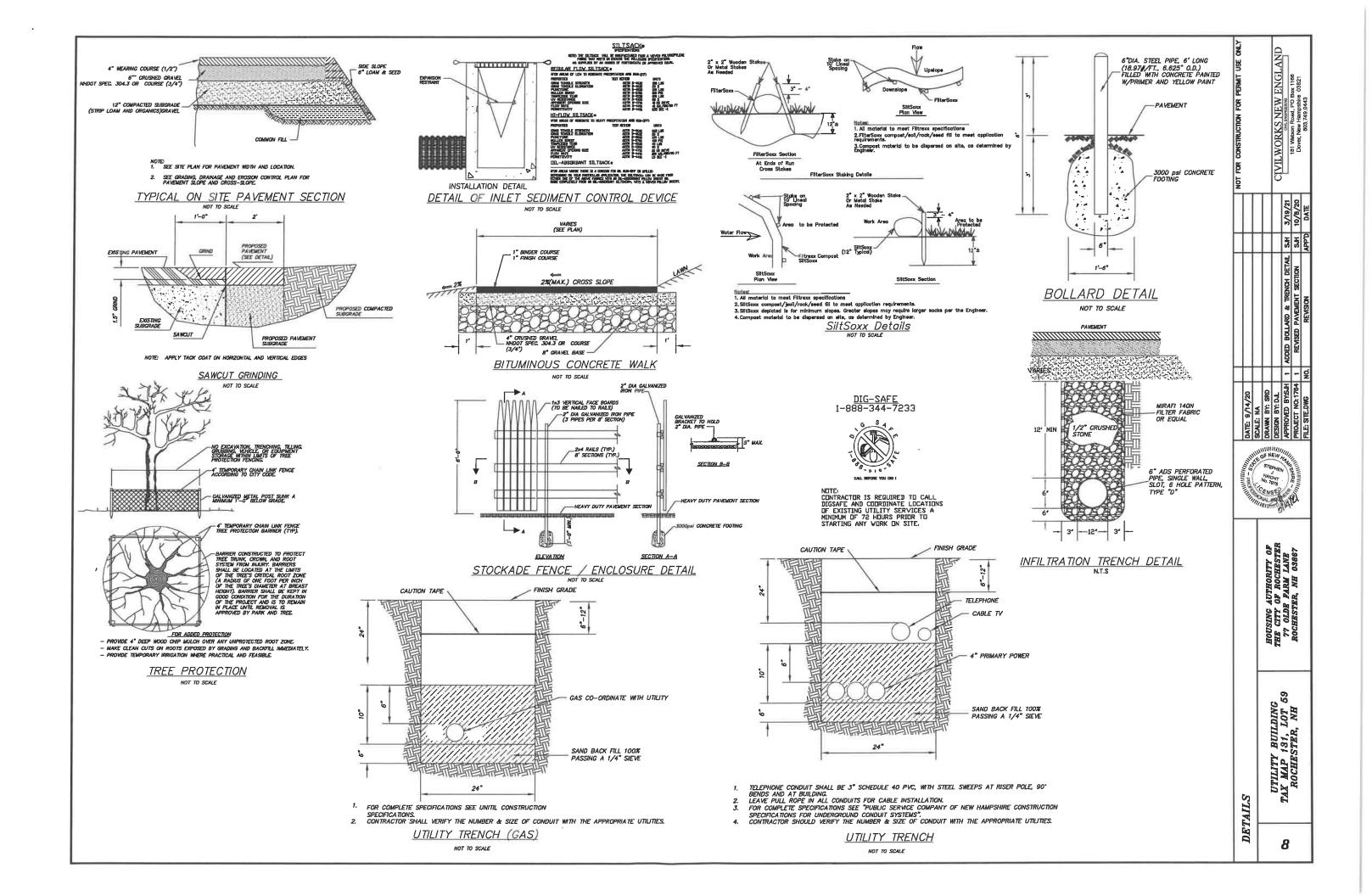
NOTE CONTROL

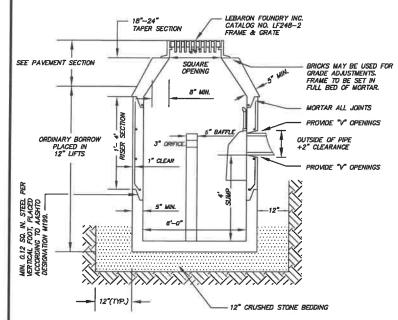
DIG-SAFE 1-888-344-7233

CONTRACTOR IS REQUIRED TO CALL
DIGSAFE AND COORDINATE LOCATIONS
OF EXISTING UTILITY SERVICES A
MINIMUM OF 72 HOURS PRIOR TO

STARTING ANY WORK ON SITE.

7

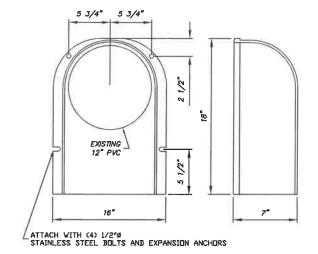




# NOTE

1. PROVIDE "SNOUT" OIL DEBRIS HOOD AVAILABLE FROM BEST MANAGEMENT PRODUCTS, INC. OR APPROVED EQUIVALENT IN ALL NEW CATCH BASINS.

# CONCRETE CATCH BASIN NOT TO SCALE



CATCH BASIN HOOD DETAIL (NOT TO SCALE)

# SPECIFICATIONS

- 1. All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT), "Standard Specifications for Road and Bridge Construction"; hereinafter referred to as the "Standard Specifications".
- Catch basins and manholes shall be pre-cast reinforced concrete designed by an engineer registered in New Hampshire, and able to withstand loadings of 8 tons (H2O Loading).
- Manholes shall have cast iron frames and covers with 30" inside digmeter openings. A 3-inch (minimum) letter "D" for drain shall be plainly cast into the center of each cover.
- Catch basins and manholes shall be adjusted to grade with courses of brick. Maximum adjustment to grade shall be 12 inches. Frames shall be set on a full bed of mortar, true to grade and concentric with the masonry. All voids between the top of the structure and the bottom flange of the frame shall be completely filled to make a watertight fit. A ring of mortar at least one inch thick and pitched to shed water away from the frame, shall be placed over and around the outside of the bottom flange. The mortar shall extend to the outer edge of the masonry all around its circumference and shall be finished smooth. No visible leakage will be permitted.
- 5. Invert channels of sewer manholes shall be formed smoothly to the largest pipe radius. Changes in grade shall be formed smoothly and evenly. The floor of the structure outside the channels shall be sloped towards the channels at approximately 1/2 inch per foot. The floor at the channel shall match the crown of the largest
- 5. Trench construction will conform with Section 603.3.1 of the Standard Specifications (1974).
- Wood sheeting or a suitable trench box shall be used to support the trench as necessary. If wood sheeting is used, it shall be driven at a distance of 1 foot from the outside diameter of the pipe to a depth 6 inches below the invert of the pipe. Wood sheeting shall be cut off and left in place to an elevation not less than 1 foot above the top of the pipe, but not greater than 3 feet below the finished grade.

  8. Bedding shall conform with Section 603.3.2 of the Standard
- Specifications (1974).
- Backfill material will conform with Section 603.3.5 of the Standard Specifications (1974) and, in addition, shall exclude debris, pieces of pavement, organic matter, top soil, all wet or soft muck, peat or clay, all excavated ledge material, frozen material, all rocks over 6 inches in largest dimension, or any material which, as determined by the Engineer, will not provide sufficient support or maintain the completed construction in a stable condition. Backfill shall not be placed on frozen or previously frozen material.

  10. All backfill and bedding compaction shall meet the requirements
- of AASHTO 99 Method C. Density shall be 95 percent. Compaction shall be 6 inch lifts for bedding and backfill to a plane 1 foot above the pipe and in 12 inch lifts thereafter by an approved
- 11. Should frozen material be encountered, it shall not be placed in the backfill nor shall backfill be placed upon frozen material. Previously frozen material shall be removed as required before new backfill is placed.
- 12. The Contractor shall be responsible for any damage to frames and grates during and from the time of removal from the existing structure to and during the time of resetting, and shall replace in kind any damaged frames or grates at no additional compensation.

  13. All trenches will be covered and debris, including any rejected
- materials, shall be removed daily. Strict safety precautions shall be maintained at all times.
- 14. Location of utilities shown on the plans are approximate. a) the Contractor shall, 48 hours prior to construction, notify the utility companies and have all utilities in the vicinity of the construction marked in the field.
- b) after the utilities have been located and prior to construction, the Contractor with the Engineer, shall layout the proposed drainage system in the field and rectify any utility conflicts which may be found.
  c) Any conflicts with utilities found during construction by the
- Contractor shall be immediately brought to the attention of the Engineer and the Utility Company and properly rectified.
  d) The Contractor is responsible for the cost of repair for any
- utilities damaged during construction. The Contractor shall contact the Utility Company to repair any damages, however. the Contractor may make appropriate repairs with the Utility
- Company's permission.

  15. Complete shop drawings for pipe, manholes, catch basins, frames, grates and covers shall be submitted in triplicate for approval by the Engineer prior to the start of construction. Each shop drawing shall be checked and initialized by the Contractor to indicate approval before it is submitted to the Engineer.
- 16. Shop drawings for flat concrete covers shall be stamped prior to submission for approval by a New Hampshire Registered Professional Engineer.
- 17. Brick masonry for setting frames and brick and mortar plugs shall conform to the Standard Specification Section 604.2.4.

PAVEMENT PONDING BOTTOM OF POND ELEV.: 224.00 18" SOIL FILTER BOTTOM OF SAND MEDIA ELEV .: 222.50 1' THICK 3/4" RESERVOIR STONE BOTTOM OF PRACTICE ELEV .: 221.25 3" FILTER BLANKET, 3/8" PEA GRAVEL PROPOSED 6° PERF. UNDERDRAIN ELEV.=221.50 END-221.35 INV OUT

DLACE SILTSOX AROUND BIORETENTION AREA PRIOR TO

CONSTRUCTION OF BIORETENTION SYSTEM. THE BIORETENTION BASIN SUBGRADE SHALL BE EXCAVATED TO THE DESIGN DEPTH PLUS TWO (2)

EXCAVATED TO THE DESIGN DEPTH PLUS TWO (2)
INCHES. AT THAT DEPTH FOUR (4) INCHES OF
COMPOST SHALL BE TILLED INTO THE EXSTING SOILS
SUCH THAT THE SOILS ARE WILL MIXED.
DO NOT DRIVE CONSTRUCTION EQUIPMENT ON FILTER
SUBGRADE NOR ON THE FILTER MATERIAL. INSTALL
FILTER MATERIAL BY MEANS OF AN EXCAVATOR
LOCATED ADJACENT TO THE FILTER AREA.
MATERIALS: CRUSHED STONE LAYER SHALL MEET NHOOT
304.4. STONE SHALL CONTAIN NO MORE THAN 5%
FINES PASSING THE \$200 SIEVE. TOPSOIL SHALL
CONTAIN 15 TO 25% FINES PASSING THE \$200 SIEVE.
MULCH SHALL BE SHREDDED HARDWOOD, AGES IN A
STOCKPILE OR STORED FOR AT LEAST 12 MONTH.
NON-WOVEN GEOTEXTILE BE 4 TO 6 02. PER SQUARE
YARD WITH A.O.S. OF \$70 SIEVE OR LOWER, AND A
MINIMUM FLOW RATE OF 125 GAL PER SQUARE FEET.
INITIAL ESTABLISHMENT: DURING THE FIRST 2-3 MONTHS
OF ESTABLISHMENT WATER THE GARDEN ON A WEEKLY
BASIS (TO SUPPLEMENT RAINFALL FOR TOTAL OF 1 INCH

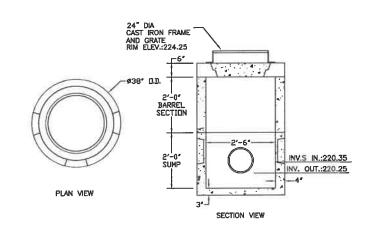
BASIS (TO SUPPLEMENT RAINFALL FOR TOTAL OF 1 INCH

PER MEEK).

6. ANNUAL MAINTENANCE: IN THE SPRING OF EACH YEAR,
ANY DEAD VEGETATION SHALL BE REMOVED TO ALLOW
FOR NEW GROWTH, AND ANY ACCUMULATED SEDIMENT
(NORMALLY AT THE ENTRANCE TO THE GARDEN) SHALL
ALSO BE REMOVED. DURING THE GROWING SEASON THE ALSO BE REMOVED. DURING THE GROWING SEASON THE RAIN GARDEN SHALL BE WEEDED TWO (2) TIMES AND ADDITIONAL HARDWOOD MULCH SHALL BE ADDED AS NEEDED TO ASSIST IN WEED SUPPRESSION. TURE AT FILTER SHALL BE MOWED NO MORE THAN 3 TIMES PER GROWING SEASON. IF WATER PONDS ON THE SURFACE FOR MORE THAN 24 HOURS DURING THE FIRST YEAR OR 72 HOURS THEREAFTER, THE FILTER SURFACE SHALL BE AERATED WITH DEEP TIMES OR THE SURFACE REPLACED.

BIOF	RETENTION FILTER MEDIA S	PECIFICATIONS	
	DEDOCAL OF MATHEE	GRAD	ATION OF MATERIAL
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
	FILTER MEDIA OPTIO	N A	
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
	FILTER MEDIA OPTIO	N B	
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 10 30	200	< 5
	70 TO 80	10	85 TO 100
		20	70 TO 100
LOAMY COARSE SAND		60	15 TO 40
		200	8 TO 15

BIORETENTION BASIN DETAIL



# NOTES:

- 1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS
- 2. DESIGNED FOR AASHTO HS-20 LOADING, 1-5 FEET COVER.

SECTIONS	ITEM NO	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

**OUTLET CONTROL STRUCTURE OCS1** 

DATE	SCALI	DRAW	DESIG	APPR	PROL
, III	IIII	STE HAIC	IIII)	1111	BIN THINKS
HHHHHHHHHH		STE	PHEI	1	AHR.
IIIIII	60	EN:	78	Sec.	THIN
-/	mi	HIL	7	M	E.

IVILWORKS I

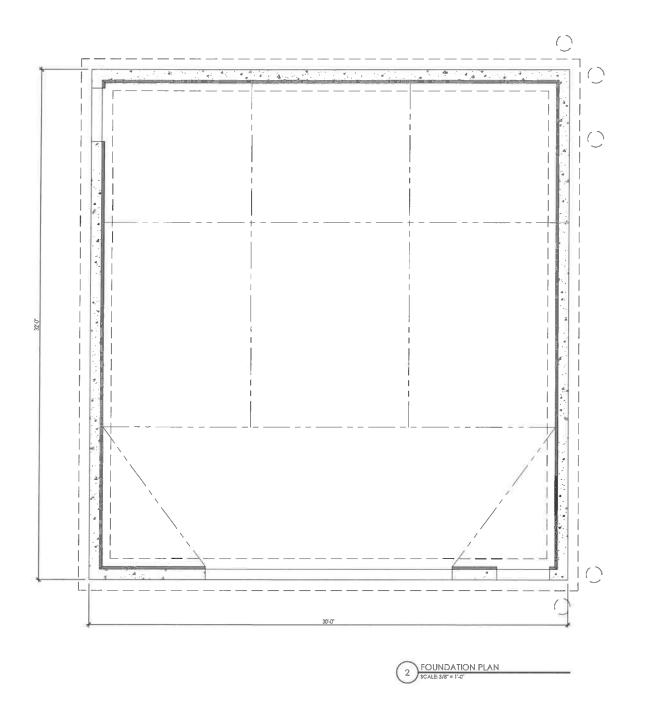
HOUSING. C/O ROCI 200

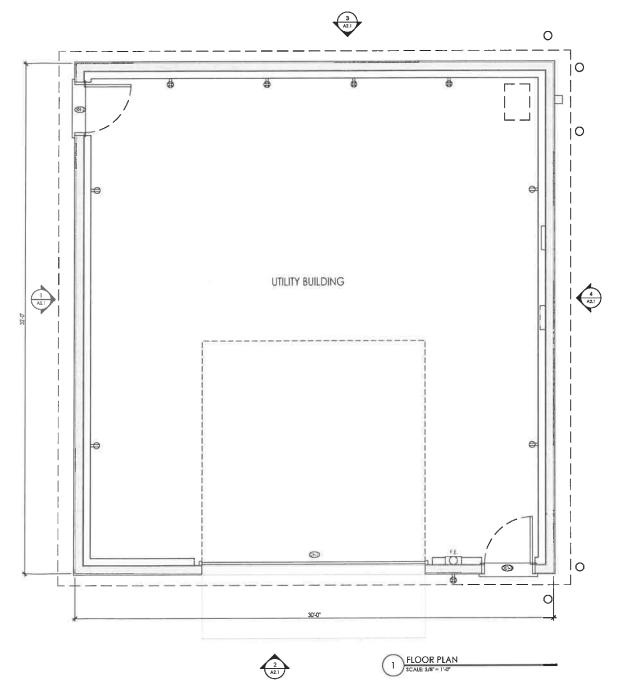
UTILITY BUILDING TAX MAP 181, LOT 59 ROCHESTER, NH

DETAILS

9

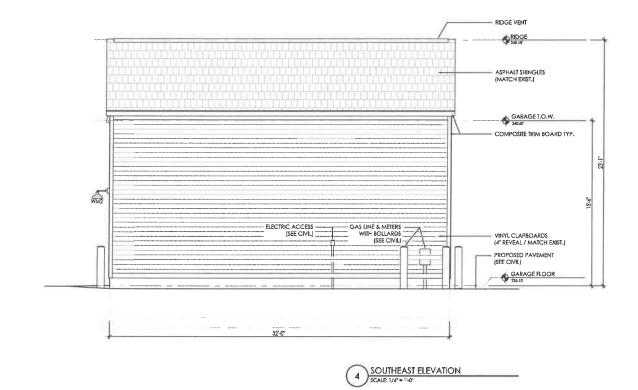
CATCH BASIN DETAIL





Owner	_	_		_	_	_		_	_	-
7 R	lous lity 7 Ok oche 603,3	of l	arm	hes	ster	, of	the	•		
95 Pi 60 Int	59 is orter 23.436. Co@pos	Ingl nout	ton S th, N nothing	H 03	t 1801				š	_
Fire Pro	tecti	on	_	_	_	_		_		_
Plumbin	ıg	_		_	_		_	_	_	_
HVAC		_	_							_
Electrica	Electrical									
Sea	Seal									
e l							r-			
Date										
Description										
Rev. No.										
Project	COLD SPRING MANOR		ROCHESTER, NH		ONIG III III AXEI II EI I	OSICII I BOILDING		Phase	PERMIT DOCUMENTS	
Project 20 Scale		)6	5		_	AR	_	30		20
Sheet C	As N		d			riew			MD	_
F	FI OU		ID C							1

A1.1



PVC VENT -

**(1)** 

**@** 

NORTHWEST ELEVATION
SCALE: 1/4" = 1"-0"

RIDGE &

ASPHALT SHINGLES — (MATCH EXIST.)

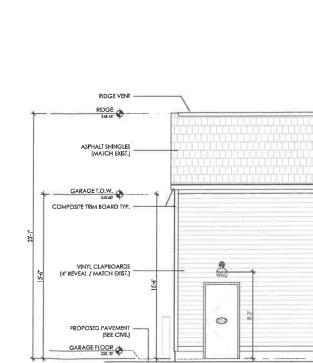
GARAGET.O.W.

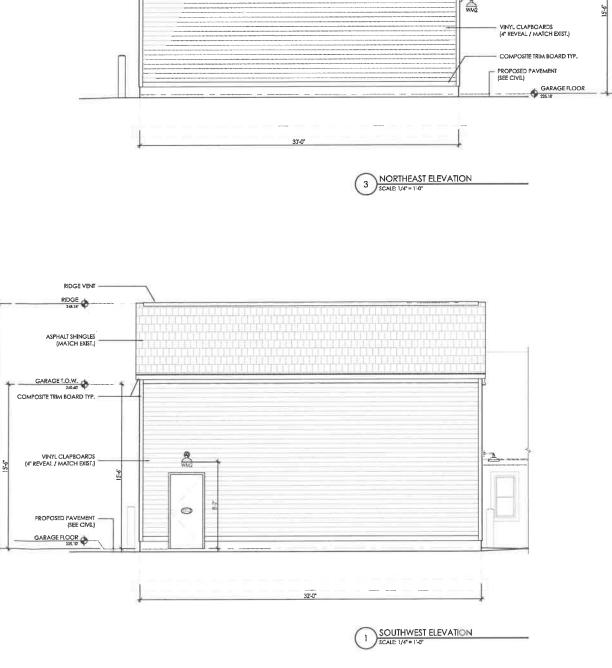
COMPOSITE TRIM BOARD TYP.

VINYL CLAPBOARDS (4" REVEAL / MATCH EXIST.)

PROPOSED PAVEMENT -(SEE CIVIL)

GARAGE FLOOR





PVC VENT

ASPHALT SHINGLES (MATCH EXIST.)

GARAGE T.O.W. COMPOSITE TRIM BOARD TYP.

		House City 77 Ole Roche P: 803.3	of F	erm I	hes	ter		the	1		
RIDGE 244.16		959 Is Portsr 503,436. nfo@por	lingt nout	ion S ih, Ni ichlact	H 03	t 1801				S	
HINGLES UST.]	Fire Pr	olecti	on		_						-
GARAGE T.O.W. 2004 ETRIM BOARD TYP.	Plumb	ng		_	_	_			_	_	-
233:14	HVAC					_	_		_		-
마하스 (PBOARDS L / MATCH EXIST.)	Flectri	cal									
ITE TRIM BOARD TYP.  D PAVEMENT  GARAGE FLOOR 225.10	Seil										
-	Date								_		-
	Description										
	Rev. No.			-					,	_	-
	Project Project		TONICH CHICAGO	KOCHESTER, NH		ONIC III a ALI III II			Phase	PERMIT DOCUMENTS	
4	20 Scale	)-( As N				M. Dra	AR(	CH, By: ad By	В	G	0
	Sheet		E	EX		RI	0	R			
-	Sheet	No.	/	Δ		2	•	1			