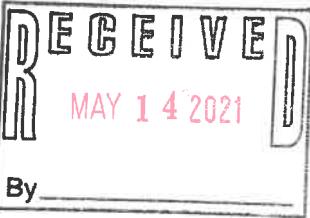


UTILITY BUILDING
SITE PLAN
TAX MAP 129 & 131, LOT 59
ROCHESTER HOUSING AUTHORITY
ROCHESTER, NH



OWNERS OF RECORD/PREPARED FOR:
HOUSING AUTHORITY OF THE CITY OF ROCHESTER
77 OLDE FARM LANE
ROCHESTER, NH 03867

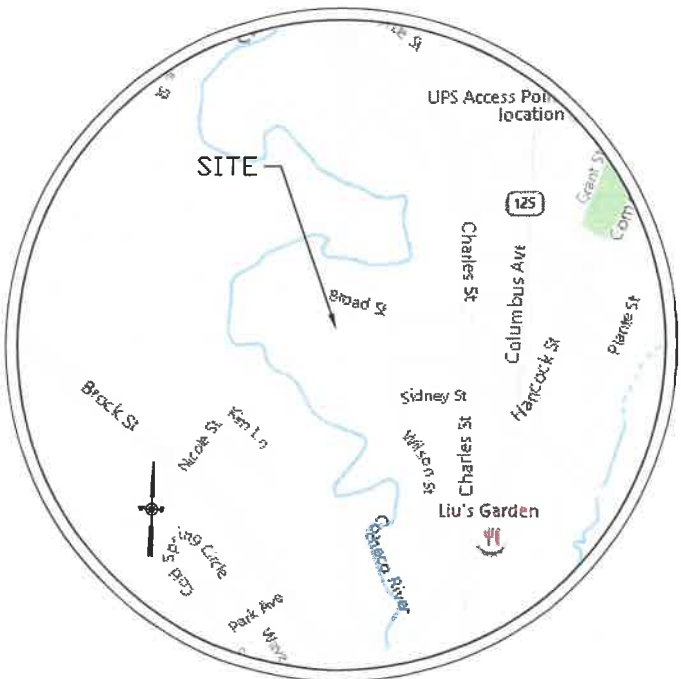
CIVIL ENGINEER:
CIVILWORKS NEW ENGLAND
181 Watson Road, PO Box 1106
Dover, New Hampshire 03821
603.749.0443

SURVEYOR:
MCENEANEY SURVEY ASSOC. OF NEW ENGLAND
P.O. BOX 681
DOVER, NH 03821-0681

ARCHITECT:
PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH 03801
TEL.# 603-436-8891.

GENERAL NOTES:

1. FOR MORE INFORMATION ABOUT THIS SITE PLAN, OR TO SEE THE COMPLETE PLAN SET, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, CITY HALL ANNEX, 33 WAKEFIELD STREET, ROCHESTER, NH 03867-1917, (603) 335-1338.
2. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
3. ALL PROPOSED UTILITIES MUST BE UNDERGROUND.
4. ACCESS TO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 603-335-7545 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
5. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
6. THIS PROJECT PROPOSES TO DISTURB 0.21 ACRES (8,000 SQ. FT.) ; LESS THAN ONE ACRE OF EXISTING GROUND COVER. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.
7. THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF CITY ORDINANCE CHAPTER 50. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE RECONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE THE SOIL HAS BEEN DISTURBED.



Location Map
scale 1"=1000'

FINAL APPROVAL BY THE ROCHESTER PLANNING BOARD;
CERTIFIED BY: _____
DATE _____

INDEX	SHEET NO.
Cover Sheet	1
Existing Conditions	2
Demolition Plan	3
Site Plan	4
Grading, Drainage and Erosion Control Plan	5
Utility Plan	6
Detail Sheets	7-9
Architectural Floor Plan and Exterior Elevations	A1.1-A2.1



SANITARY SEWER
STRUCTURE SCHEDULE

SMH A	RIM	= 223.6
SMH B	RIM	= 224.6
SMH C	(NOT FOUND)	

STORM DRAINAGE
STRUCTURE SCHEDULE

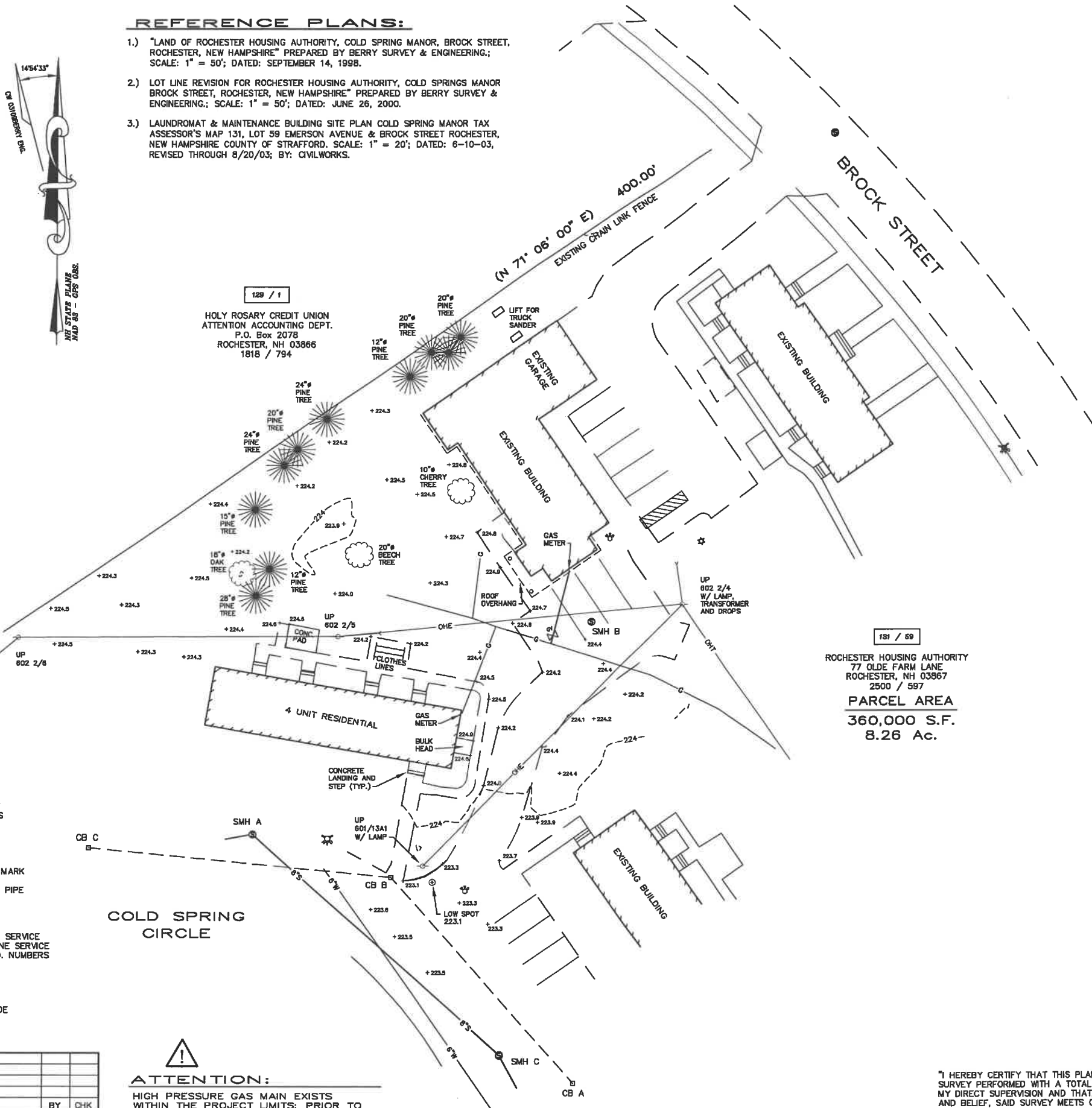
CB A	RIM	= 222.8
CB B	RIM	= 223.24
INV. IN 15" CMP		= 219.04
INV. OUT 15" CMP		= 218.94
SUMP		= 218.4
CB C	RIM	= 223.6

LEGEND

S.F.	-	SQUARE FEET
Ac.	-	ACRE
(TYP.)	-	TYPICAL
±	-	MORE OR LESS
S.C.R.D.	-	STRAFFORD COUNTY REGISTRY OF DEEDS
N	-	NORTH
E	-	EAST
CB	-	CATCH BASIN
SMH	-	SEWER MANHOLE
TBM	-	TEMPORARY BENCH MARK
224	-	CONTOUR LINE
CMP	-	CORRUGATED METAL PIPE
D	-	DRAINAGE PIPE
G	-	GAS SERVICE
S	-	SEWER SERVICE
W	-	WATER SERVICE
OHE	-	OVERHEAD ELECTRIC SERVICE
OHT	-	OVERHEAD TELEPHONE SERVICE
602 2/4	-	UTILITY POLE W/ I.D. NUMBERS
602 2/4	-	GUY WIRE
602 2/4	-	GAS VALVE
602 2/4	-	FIRE HYDRANT
602 2/4	-	WATER SHUT-OFF
602 2/4	-	EXISTING SPOT GRADE

REFERENCE PLANS:

- 1.) "LAND OF ROCHESTER HOUSING AUTHORITY, COLD SPRING MANOR, BROCK STREET, ROCHESTER, NEW HAMPSHIRE" PREPARED BY BERRY SURVEY & ENGINEERING.; SCALE: 1" = 50'; DATED: SEPTEMBER 14, 1998.
- 2.) LOT LINE REVISION FOR ROCHESTER HOUSING AUTHORITY, COLD SPRING MANOR BROCK STREET, ROCHESTER, NEW HAMPSHIRE" PREPARED BY BERRY SURVEY & ENGINEERING.; SCALE: 1" = 50'; DATED: JUNE 26, 2000.
- 3.) LAUNDROMAT & MAINTENANCE BUILDING SITE PLAN COLD SPRING MANOR TAX ASSESSOR'S MAP 131, LOT 59 EMERSON AVENUE & BROCK STREET ROCHESTER, NEW HAMPSHIRE COUNTY OF STRAFFORD. SCALE: 1" = 20'; DATED: 6-10-03, REVISED THROUGH 8/20/03; BY: CIVILWORKS.



NOTES:

- 1.) OWNER OF RECORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NEW HAMPSHIRE 03867
S.C.R.D. VOLUME 2500, PAGE 597
- 2.) 181 / 59 - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) PARCEL AREA = 360,000 S.F. / 8.26 Ac.
- 4.) THE INTENT OF THIS PLAN IS TO DEPICT EXISTING SITE CONDITIONS IN THE AREA SHOWN AS OF AUGUST 10, 2020.
- 5.) ZONING DISTRICT: R-2, X-1MILE OVERLAY
DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA = 6,000 S.F.
MINIMUM FRONTAGE = 60 FEET
BUILDING SETBACK REQUIREMENTS:
FRONT SETBACK = 10 FEET
SIDE SETBACK = 8 FEET
REAR SETBACK = 20 FEET
MAXIMUM BUILDING FOOTPRINT = 30 PERCENT
MAXIMUM LOT COVERAGE = 60 PERCENT
MAXIMUM BUILDING HEIGHT = 35 FEET MAXIMUM
- 6.) THE SUBJECT PARCEL IS LOCATED OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 330150; PANEL 0211 SUFFIX D; MAP NUMBER 33017C0211D; EFFECTIVE DATE MAY 17, 2005.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED AUGUST 10, 2020.
VERTICAL DATUM IS NH STATE PLANE (NAVD88) BASED ON GPS OBSERVATION DATED AUGUST 10, 2020.
- 8.) THE IMPROVEMENTS AND UTILITIES SHOWN ARE FROM OBSERVATIONS MADE IN THE FIELD OR REFERENCE PLANS. LOCATIONS OF UNDERGROUND UTILITIES NOT MARKED ON THE SURFACE WERE NOT LOCATED. ALL VISIBLE UTILITIES ARE SHOWN.
- 9.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- 10.) GAS LINES SHOWN ARE AS TAKEN FROM REFERENCE PLAN No. 3.

ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
2500 / 597
PARCEL AREA
360,000 S.F.
8.26 Ac.

LIMITED EXISTING CONDITIONS SKETCH
PREPARED FOR
ROCHESTER HOUSING AUTHORITY
TAX MAP 131, LOT No. 59
EMERSON AVENUE & BROCK STREET
CITY of ROCHESTER
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DRAWN BY: RJM FILE: 1432\DWGS\20-1432
SCALE: 1" = 20' DATE: AUGUST 11, 2020

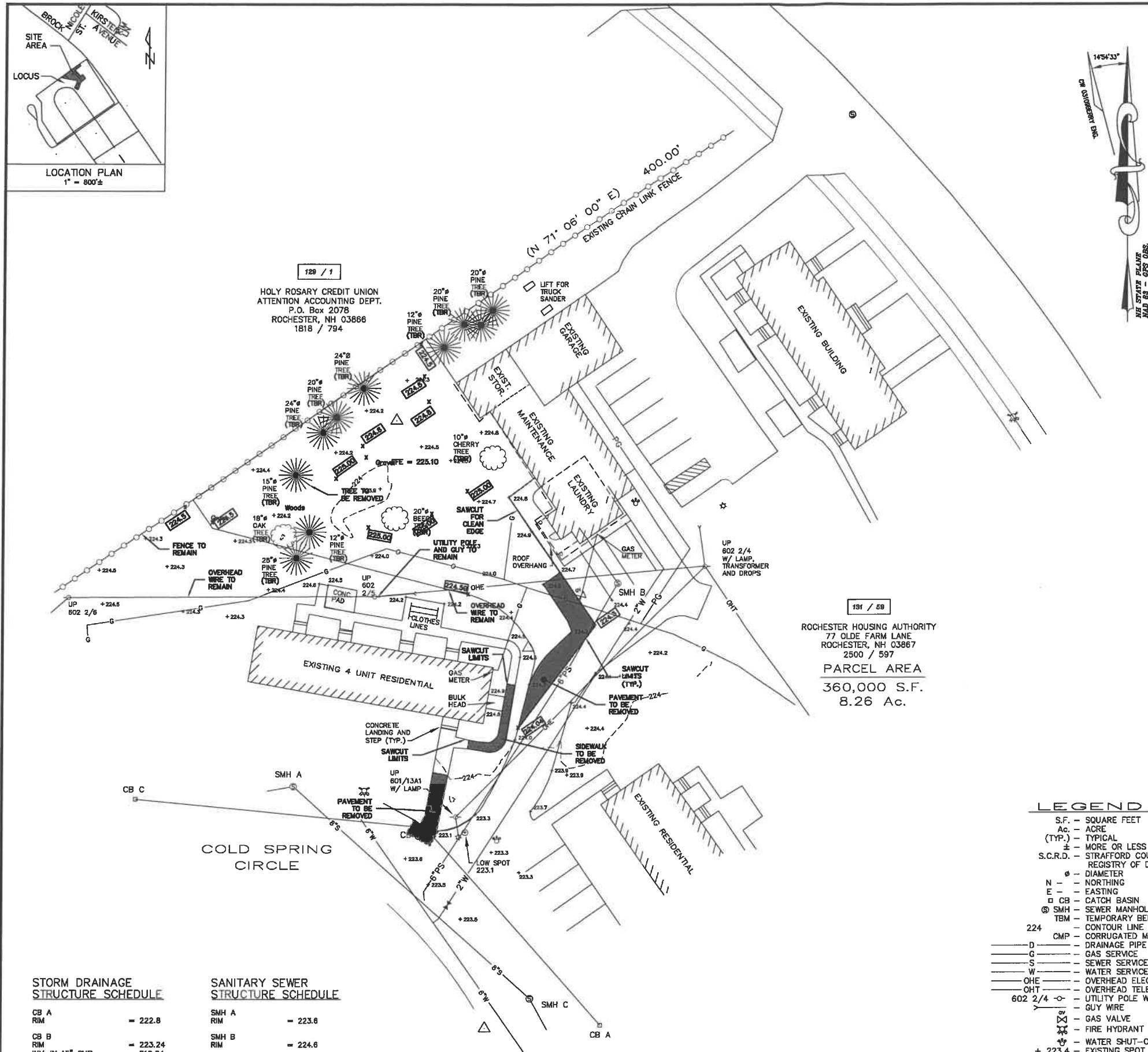
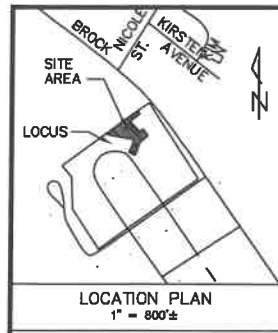


McGeaney
Survey
Associates
of NEW ENGLAND
P.O. Box 681 - 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742-0911

SURVEYING - PLANNING - CONSULTING

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

NO.	DATE	DESCRIPTION	BY	CHK
20-1432	EXIST. COND.	20-08	66-68	
PROJECT NO	TYPE	FIELDBOOK & PAGES		



STORM DRAINAGE STRUCTURE SCHEDULE

CB A	RIM	= 222.8
CB B	RIM	= 223.24
INV. IN 15" CMP		= 219.04
INV. OUT 15" CMP		= 218.94
SUMP		= 218.4
CB C	RIM	= 223.6

SANITARY SEWER STRUCTURE SCHEDULE

SMH A	RIM	= 223.6
SMH B	RIM	= 224.6
SMH C	(NOT FOUND)	

ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
2500 / 597
PARCEL AREA
360,000 S.F.
8.26 Ac.

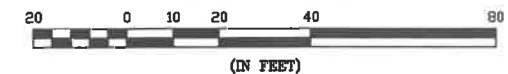
LEGEND	
S.F.	- SQUARE FEET
Ac.	- ACRE
(TYP.)	- TYPICAL
±	- MORE OR LESS
S.C.R.D.	- STRAFFORD COUNTY REGISTRY OF DEEDS
Ø	- DIAMETER
N	- NORTHING
E	- EASTING
CB	- CATCH BASIN
SMH	- SEWER MANHOLE
TBM	- TEMPORARY BENCH MARK
224	- CONTOUR LINE
CMP	- CORRUGATED METAL PIPE
D	- DRAINAGE PIPE
G	- GAS SERVICE
S	- SEWER SERVICE
W	- WATER SERVICE
OHE	- OVERHEAD ELECTRIC SERVICE
OHT	- OVERHEAD TELEPHONE SERVICE
602 2/4	- UTILITY POLE W/ I.D. NUMBERS
Ø	- GUY WIRE
Ø	- FIRE HYDRANT
Ø	- WATER SHUT-OFF
+ 223.4	- EXISTING SPOT GRADE
225.5	- PROPOSED CONTOUR
225.5	- PROPOSED SPOT GRADE
225.5	- PROPOSED SILTSOXX



ATTENTION:

HIGH PRESSURE GAS MAIN EXISTS
WITHIN THE PROJECT LIMITS; PRIOR TO
ANY EARTH MOVING ACTIVITY CONTACT
DIGSAFE AT 1-888-344-7233 TO
VERIFY LOCATION.

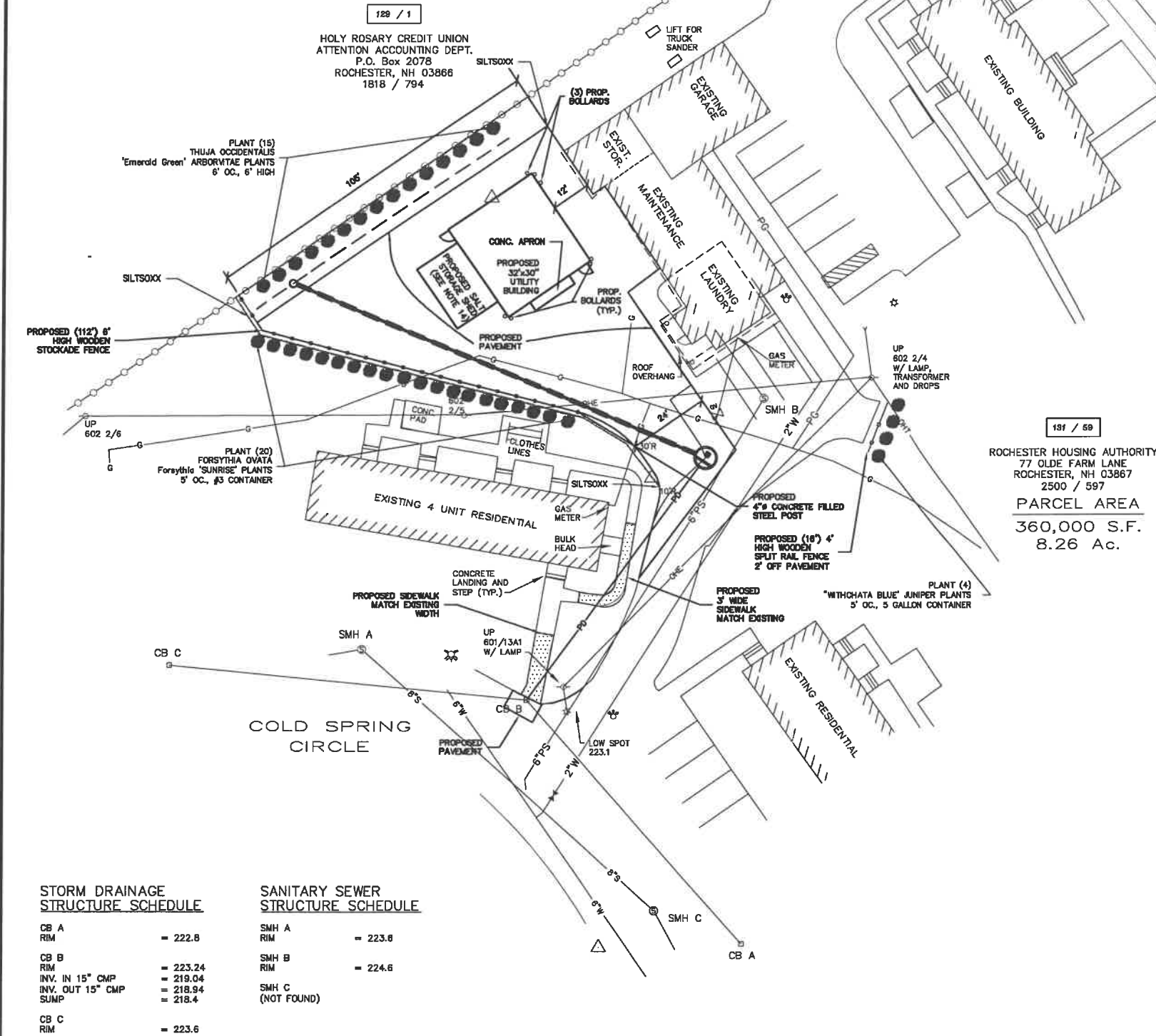
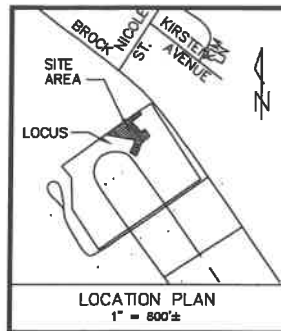
GRAPHIC SCALE



DEMOLITION NOTES:

- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL NOTIFY "DIG SAFE" PRIOR TO ANY DEMOLITION/ CONSTRUCTION ACTIVITIES. (811).
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, UTILITIES AND PAVEMENT ON THE SITE TO THE LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NOT ALREADY OBTAINED BY THE OWNER AND ARRANGE AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
- ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.

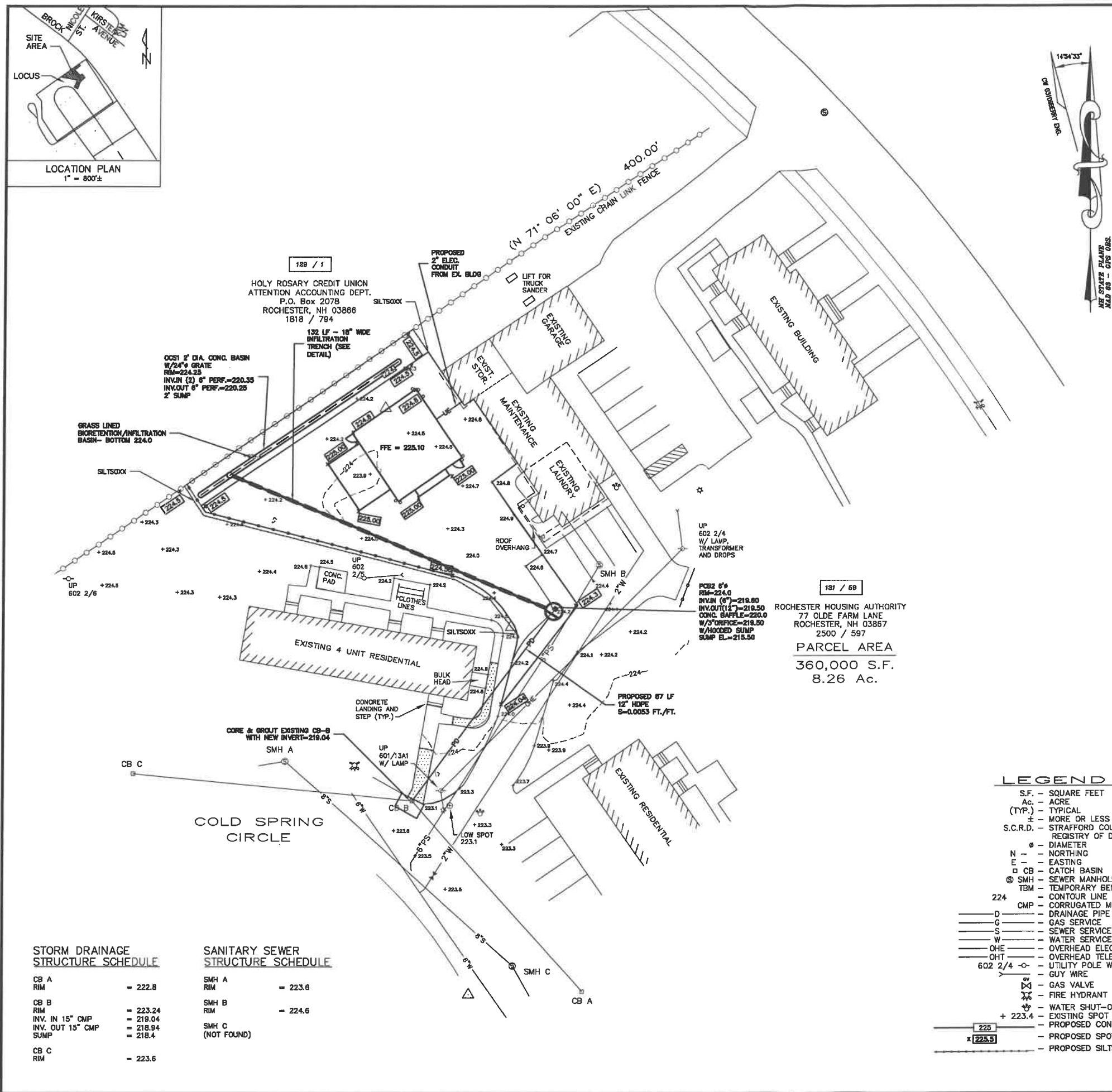
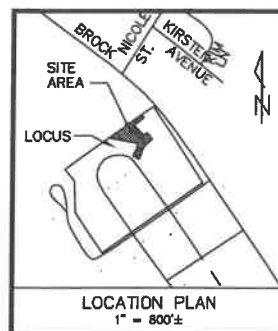
NOT FOR CONSTRUCTION FOR PERMIT USE ONLY			
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	DESIGN BY: DL		
	APPROVED BY: SMH		
	PROJECT NO: 1784		
	FILE: 1784-STEDING NO.		
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SITE NOTES:

- PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A PLAN REFERENCED AND PREPARED BY MCNEANEY SURVEY ASSOCIATES OF NEW ENGLAND (SEE EXISTING CONDITIONS PLAN IN THIS PLAN SET).
- THE INTENT OF THIS PLAN IS TO SHOW SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A UTILITY BUILDING, SALT STORAGE SHED, DRIVE AISLES, DRAINAGE IMPROVEMENTS, AND UTILITIES.
- EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES PER CHAPTER 149-14-E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- ON-SITE SNOW STORAGE SHALL OCCUR ALONG THE EDGES OF PROPOSED PAVEMENT.
- ALL LAYOUT SHALL BE PERFORMED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR UNDER CONTRACT WITH THE CONTRACTOR.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE CONSTRUCTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE FACILITIES AND THEIR COMPONENTS DURING DEMOLITION AND CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNERS REPRESENTATIVE. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIE-DOWNS. SUCH MATERIALS SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AT THE COMPLETION OF THE PROJECT.
- METHODS OF DEMOLITION, CONSTRUCTION AND ERECTION ARE THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND MAINTAIN ENVIRONMENTAL CONTROLS AS REQUIRED BY FEDERAL, STATE AND MUNICIPAL REGULATIONS AND PERMITS. ENVIRONMENTAL CONTROLS SHALL INCLUDE BUT SHALL NOT BE LIMITED TO DUST CONTROL AND SILT BARRIERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO STRUCTURES OR UTILITIES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION PHASE CAUSED BY HIMSELF, HIS EMPLOYEES, HIS SUBCONTRACTORS OR EMPLOYEES OF SAME. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY FACILITIES FOR THE PROTECTION OF THE WORK, WORKERS AND PUBLIC SAFETY.
- THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS NH RSA 155-A:5. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
- THE SITE SHALL BE MAINTAINED TO PROVIDE ACCESSIBILITY IN ALL WEATHER CONDITIONS.
- AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ESRI FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- ALL CONSTRUCTION SHALL CONFORM WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND WITH THE CITY OF ROCHESTER DPW REGULATIONS AND STANDARD SPECIFICATION FOR CONSTRUCTION. THE MORE STRINGENT SPECIFICATION SHALL APPLY.
- PROPOSED SALT STORAGE SHED SHALL BE IN ACCORDANCE WITH SECTION 12 - PUBLIC HEALTH AND SAFETY OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS. SALT SHALL BE HANDLED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES. THE MATERIALS SHALL BE STORED IN FULLY ENCLOSED ROOFED STRUCTURE IMPENETRABLE TO RAIN AND SNOW. STRUCTURE HARDWARE SHALL BE GALVANIZED. A COVER SHALL BE SUPPLIED OVER THE OPEN END SO SALT INSIDE IS NOT EXPOSED TO THE ELEMENTS. THE FLOOR SHALL BE ASPHALT. THE STRUCTURE SHALL BE AT THE HIGH POINT OF THE SITE AND SHALL DRAIN AWAY. FLOORS AND WALLS SHALL BE SEALED TO PREVENT PENETRATION BY RAIN AND SNOW.

NOT FOR CONSTRUCTION FOR PERMIT USE ONLY					CIVILWORKS NEW ENGLAND		
					181 Wilson Road, PO Box 1168 Dover, New Hampshire 03821 603.749.0443		
DATE	SCALE	REVISION	PER	DATE	DATE	DATE	DATE
9/14/20	1"=20'	5	REVISED PER TING COMMENTS	5/14/21	SH	5/19/21	SH
		4	REVISED NOTES	3/19/21	SH	3/19/21	SH
		3	ADDED UTILITIES, & PAVEMENT AREA	3/19/21	SH	3/19/21	SH
		2	ADDED INFILTRATION & GARAGE	3/19/21	SH	3/19/21	SH
		1	REVISED INFILTRATION & GARAGE	3/19/21	SH	3/19/21	SH
			REVISION		APPROVED		DATE
			NO.				
					FILE: 1784-SITELDWG		
					HOUSING AUTHORITY OF THE CITY OF ROCHESTER 77 OLDE FARM LANE ROCHESTER, NH 03867		
					UTILITY BUILDING TAX MAP 129 & 131, LOT 59 ROCHESTER, NH		
					4		



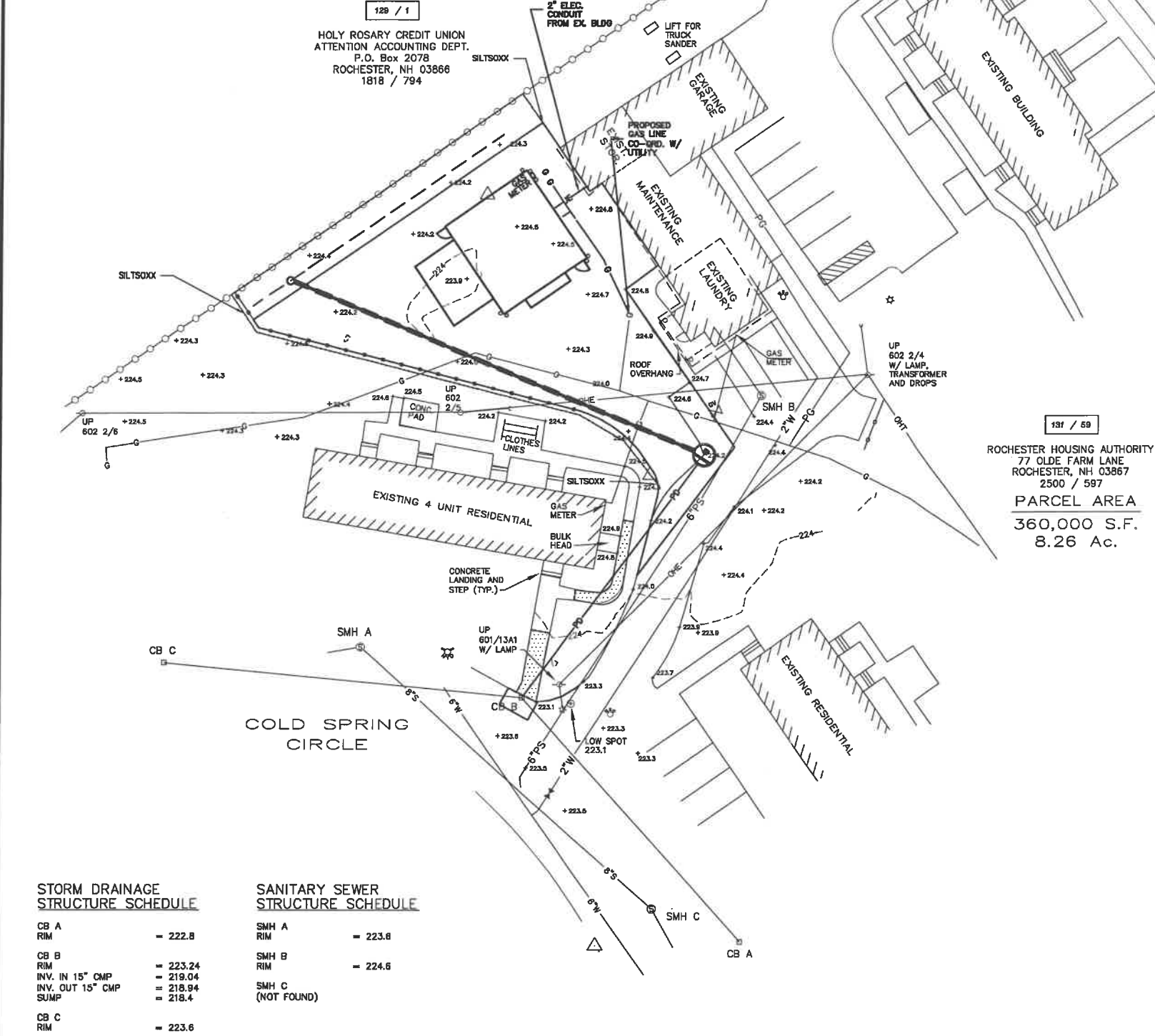
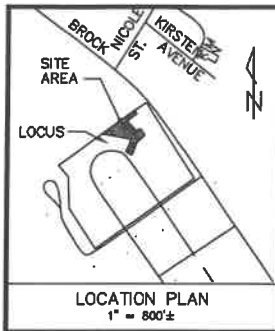
DEMOLITION NOTES:

[illegible]

GRADING, DRAINAGE AND EROSION CONTROL PLAN

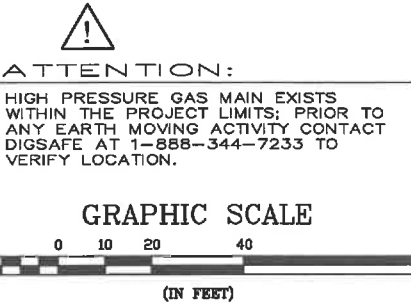
UTILITY BUILDING TAX MAP 129 & 131, LOT 59 ROCHESTER, NH	HOUSING AUTHORITY OF THE CITY OF ROCHESTER 77 OLDFARM LANE ROCHESTER, NH 03867
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5



- UTILITY NOTES:**
- THE BEST AVAILABLE INFORMATION WAS USED TO DETERMINE THE LOCATION AND SIZE OF EXISTING UTILITIES. THE LOCATION IS NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE EXACT SIZE AND LOCATION OF UTILITIES SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 - ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-388-7233 OR "811".
 - ALL PROPOSED UTILITY SERVICES SHALL BE UNDERGROUND WITHIN THE SITE.
 - UNDERGROUND ELECTRIC, TELEPHONE, AND CABLE TV CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH PER EVERSOURCE, VERIZON, COMCAST, AND UNTIL STANDARDS.
 - PROPOSED INSTALLATION OF UNDERGROUND CONDUITS FOR TELEPHONE, ELECTRIC AND GAS SERVICE SHALL BE COORDINATED WITH THE RESPECTIVE CONTACTS AS FOLLOWS:
ELECTRIC: EVERSOURCE 1.800.362.7764
CABLE: COMCAST 603.334.3615
GAS: UNTIL 866.933.3821
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.

- LEGEND**
- S.F. - SQUARE FEET
 - Ac. - ACRE
 - (TYP.) - TYPICAL
 - ± - MORE OR LESS
 - S.C.R.D. - STRAFFORD COUNTY REGISTER OF DEEDS
 - Ø - DIAMETER
 - N - NORTHING
 - E - EASTING
 - CB - CATCH BASIN
 - SMH - SEWER MANHOLE
 - TBM - TEMPORARY BENCH MARK
 - 224 - CONTOUR LINE
 - CMP - CORRUGATED METAL PIPE
 - D - DRAINAGE PIPE
 - G - GAS SERVICE
 - S - SEWER SERVICE
 - W - WATER SERVICE
 - OHE - OVERHEAD ELECTRIC SERVICE
 - OHT - OVERHEAD TELEPHONE SERVICE
 - 602 2/4 - UTILITY POLE W/ I.D. NUMBERS
 - - - - - GUY WIRE
 - ⊕ - GAS VALVE
 - ⊕ - FIRE HYDRANT
 - ⊕ - WATER SHUT-OFF
 - + 223.4 - EXISTING SPOT GRADE
 - + 223.4 - PROPOSED CONTOUR
 - + 223.4 - PROPOSED SPOT GRADE
 - - - - - PROPOSED SILT/SOXX



UTILITY PLAN		UTILITY BUILDING TAX MAP 129 & 131, LOT 59 ROCHESTER, NH		HOUSING AUTHORITY OF THE CITY OF ROCHESTER 77 OLDE FARM LANE ROCHESTER, NH 03867				NOT FOR CONSTRUCTION FOR PERMIT USE ONLY			
								CIVILWORKS NEW ENGLAND 181 Watson Road, PO Box 1169 Dover, New Hampshire 03821 603.749.0443			
6						DATE: 9/14/20					
						SCALE: 1"=20'					
						DRAWN BY: SRD	5	REVISED PER TRG COMMENTS	SH	5/14/21	
						DESIGN BY: D.L.	4	REVISED NOTES	SH	3/19/21	
						APPROVED BY: SH	3	ADDED UTILITIES, & PAVEMENT AREA	SH	3/18/21	
						PROJECT NO: 1784	2	ADDED INFILTRATION & GARAGE	SH	3/9/21	
						FILE: 1784-SITE/DMG	1	REVISED FENCE ENPOST TO STEEL	SH	10/6/20	
								REVISION	APP'D	DATE	



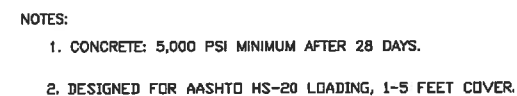
NOT TO SCALE




NOT TO SCALE

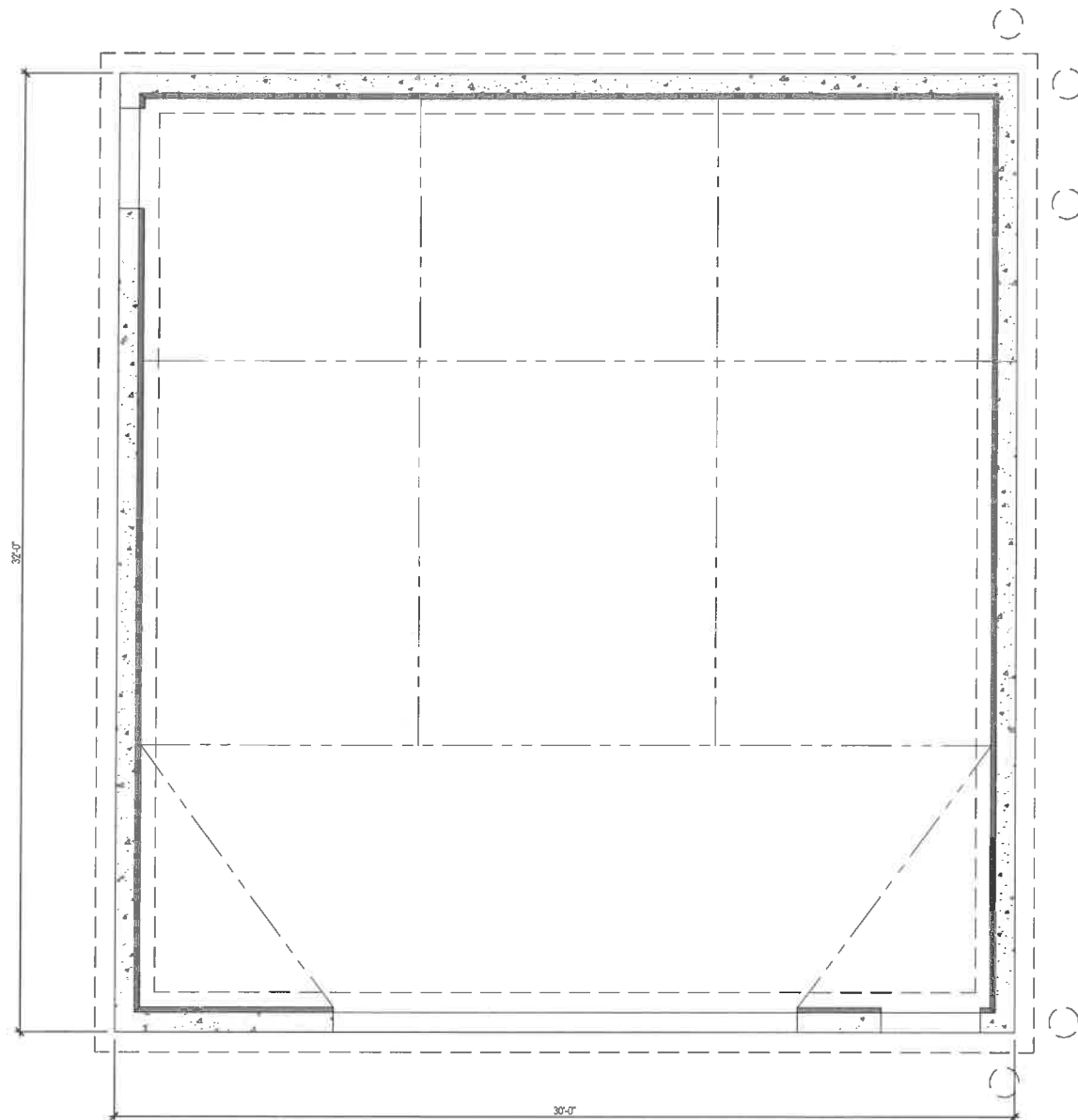
1. PLACE SILTSOIL AROUND BIORETENTION AREA PRIOR TO CONSTRUCTION OF BIORETENTION SYSTEM.
2. THE BIORETENTION BASIN SUBGRADE SHALL BE EXCAVATED TO THE DESIGN DEPTH PLUS TWO (2) INCHES. AT THAT DEPTH FOUR (4) INCHES OF COMPOST SHALL BE TILLED INTO THE EXISTING SOILS SUCH THAT THE SOILS ARE WELL MIXED.
3. DO NOT DRIVE CONSTRUCTION EQUIPMENT ON FILTER SUBGRADE NOR ON THE FILTER MATERIAL. INSTALL FILTER MATERIAL BY MEANS OF AN EXCAVATOR LOCATED ADJACENT TO THE FILTER AREA.
4. MATERIALS: CRUSHED STONE LAYER SHALL MEET NHDOT 301.4.4. STONE SHALL CONTAIN NO MORE THAN 5% FINES PASSING THE #200 SIEVE. TOPSOIL SHALL CONTAIN 15 TO 25% FINES PASSING THE #200 SIEVE. MULCH SHALL BE SHREDDED HARDWOOD, AGES IN A STOCKPILE OR STORED FOR AT LEAST 12 MONTH. NON-MOVEN GEOTEXTILE BE 4 TO 6 OZ. PER SQUARE YARD WITH A.O.S. OF #70 SIEVE OR LOWER, AND A MINIMUM FLOW RATE OF 125 GAL PER SQUARE FEET.
5. INITIAL ESTABLISHMENT: DURING THE FIRST 2-3 MONTHS OF ESTABLISHMENT WATER THE GARDEN ON A WEEKLY BASIS (TO SUPPLEMENT RAINFALL FOR TOTAL OF 1 INCH PER WEEK).
6. ANNUAL MAINTENANCE: IN THE SPRING OF EACH YEAR, ANY DEAD VEGETATION SHALL BE REMOVED TO ALLOW FOR NEW GROWTH, AND ANY ACCUMULATED SEDIMENT (NORMALLY AT THE ENTRANCE TO THE GARDEN) SHALL ALSO BE REMOVED. DURING THE GROWING SEASON THE RAIN GARDEN SHALL BE WEEDED TWO (2) TIMES AND ADDITIONAL HARDWOOD MULCH SHALL BE ADDED AS NEEDED TO ASSIST IN WEED SUPPRESSION. TURF AT FILTER SHALL BE MOWED NO MORE THAN 3 TIMES PER GROWING SEASON. IF WATER PONDS ON THE SURFACE FOR MORE THAN 24 HOURS DURING THE FIRST YEAR OR 72 HOURS THEREAFTER, THE FILTER SURFACE SHALL BE AERATED WITH DEEP TINES OR THE SURFACE REPLACED.

BIORETENTION BASIN DETAIL
NOT TO SCALE

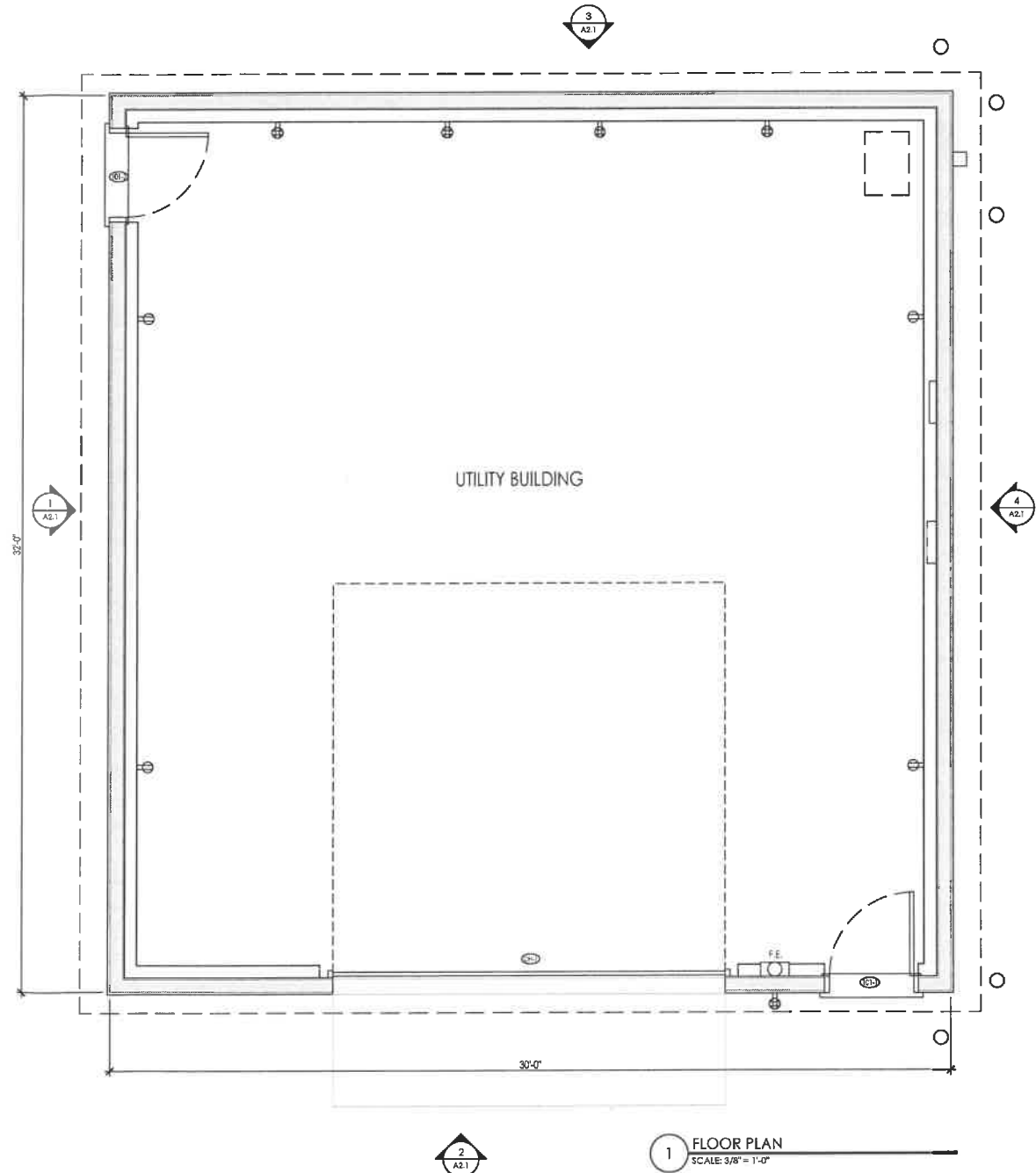


OUTLET CONTROL STRUCTURE OCS1
NOT TO SCALE

DETAILS	UTILITY BUILDING TAX MAP 131, LOT 59 ROCHESTER, NH	ROCHESTER FAMILY HOUSING, INC C/O ROCHESTER HOUSING AUTHORITY 13 WELLSFEEPER ACRES ROCHESTER, NH 03867		DATE: XXX SCALE: 1"=20' DRAWN BY: SRD DESIGN BY: D.J. APPROVED BY: S.H. PROJECT NO: 1784 FILE: SITE/DWG	1 REVISED PER TRG COMMENTS REVISION	S.H. APP'D	5/14/21 DATE	NOT FOR CONSTRUCTION FOR PERMIT USE ONLY
	CIVILWORKS NEW ENGLAND 181 Nelson Road PO Box 1188 Dover, New Hampshire 03821 603.749.0443							

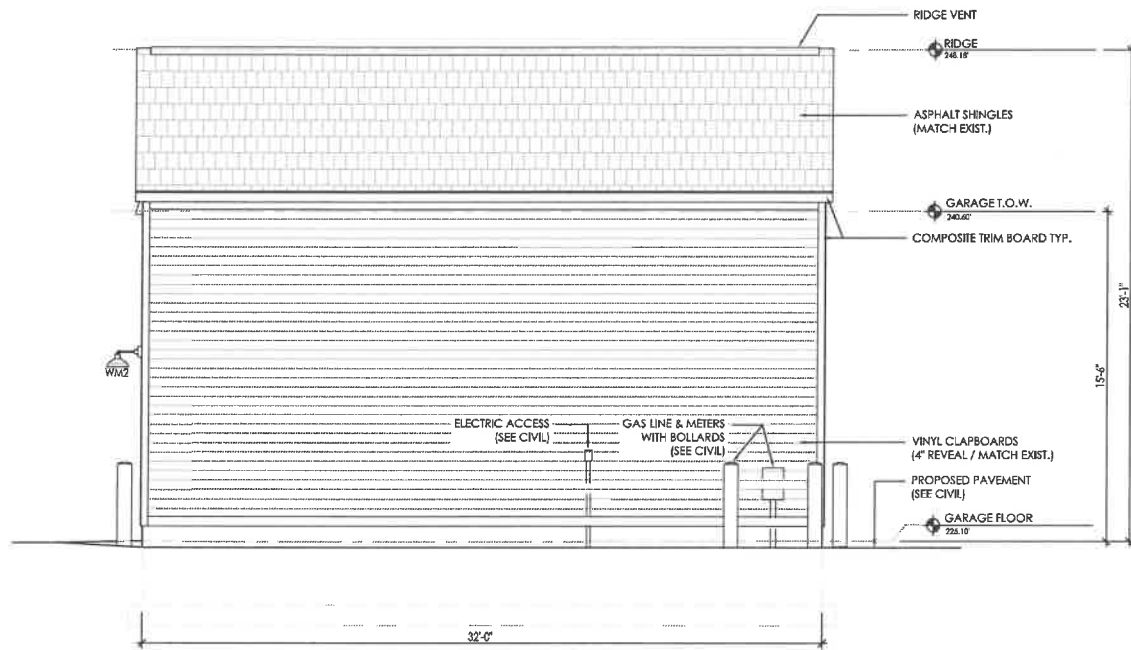


2 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

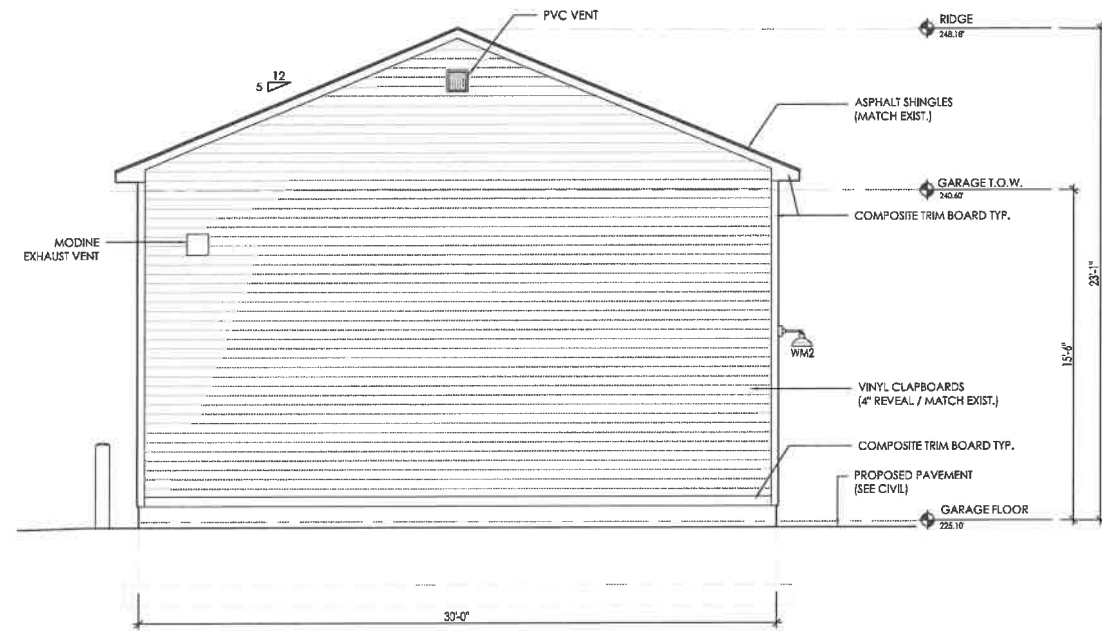


1 FLOOR PLAN
SCALE: 3/8" = 1'-0"

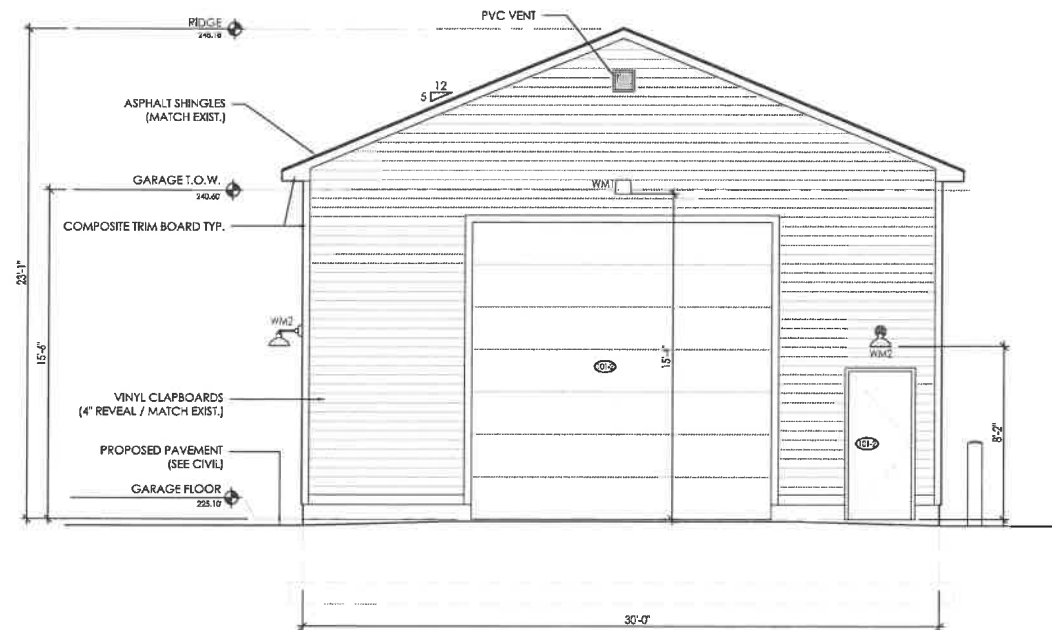
Owner	
Housing Authority of the City of Rochester 77 Old Farm Lane, Rochester, NH 03867 P. 603.332.4126	
Architectural	
PORTONE ARCHITECTS 858 Islington Street Portsmouth, NH 03801 603.438.8891 info@portonearchitects.com <small>Copyright © 2021 by Portone Architects, Inc. No reuse without permission</small>	
Structural	
Fire Protection	
Lighting	
HVAC	
Electrical	
Sewer	
Date	
Description	
Rev. No.	
Project	COLD SPRING MANOR ROCHESTER, NH
Phase	UTILITY BUILDING PERMIT DOCUMENTS
Project No.	20-065
Date	MARCH, 30 2020
Scale	As Noted
Drawn By:	BG
Reviewed By:	WD
Sheet Contents	
FLOOR PLAN & FOUNDATION PLAN	
Sheet No.	
A1.1	



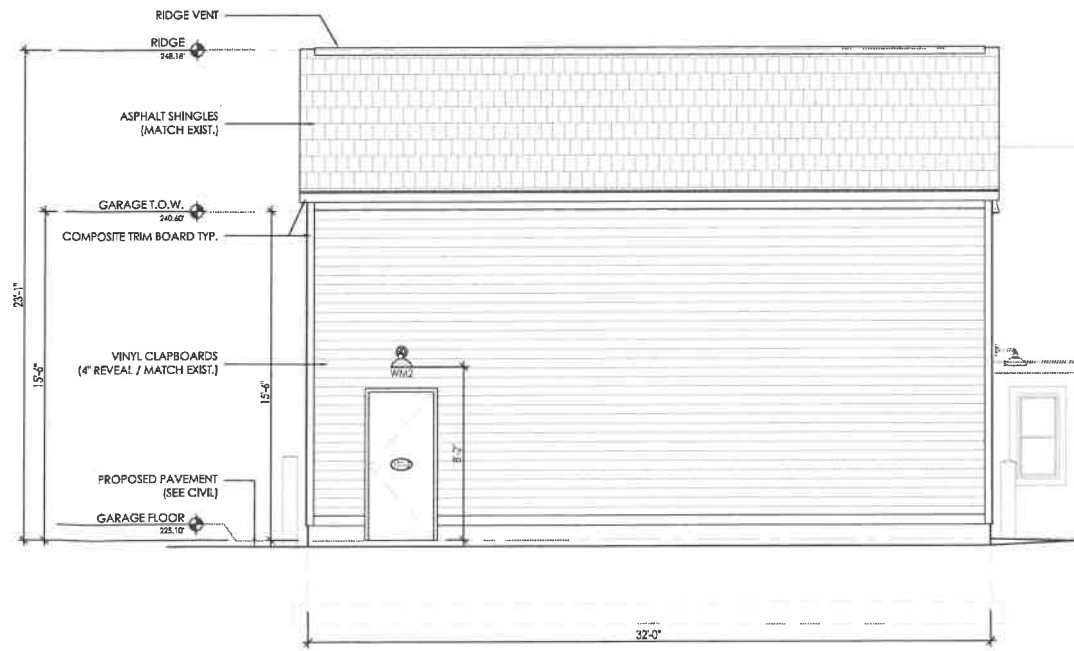
4 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

Owner Housing Authority of the City of Rochester 77 Olde Farm Lane, Rochester, NH 03867 P: 603.332.4126	
Architectural PORTLINE ARCHITECTS 959 Islington Street Portsmouth, NH 03801 603.435.5851 info@portlinearchitects.com <small>CONTRACT © 2021 BY PORTLINE ARCHITECTS, INC. NO RE-USE WITHOUT PERMISSION</small>	
Structural	
Fire Protection	
Plumbing	
HVAC	
Electrical	
Seal	
Date	
Description	
Rev. No.	
Project	COLD SPRING MANOR ROCHESTER, NH UTILITY BUILDING PERMIT DOCUMENTS
Project No.	20-065
Date	MARCH, 30 2020
Scale	As Noted
Drawn By:	BG
Reviewed By:	WD
Sheet Contents EXTERIOR ELEVATIONS	
Sheet No. A2.1	