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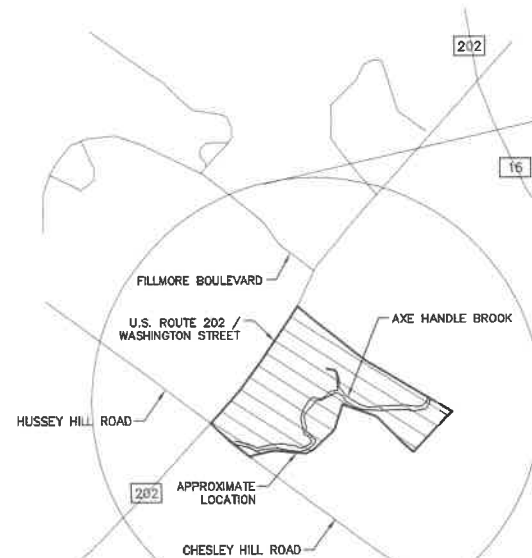
OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DRIVE / P.O. BOX 7306
ROCHESTER, NH 03839-7306

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: JOHN P. HAYES III, CSS, CWS
& SOIL SCIENTIST: 7 LIMESTONE WAY
NORTH HAMPTON, NH 03862
(603) 205-4396

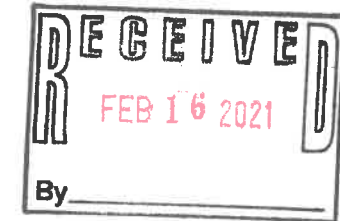
LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



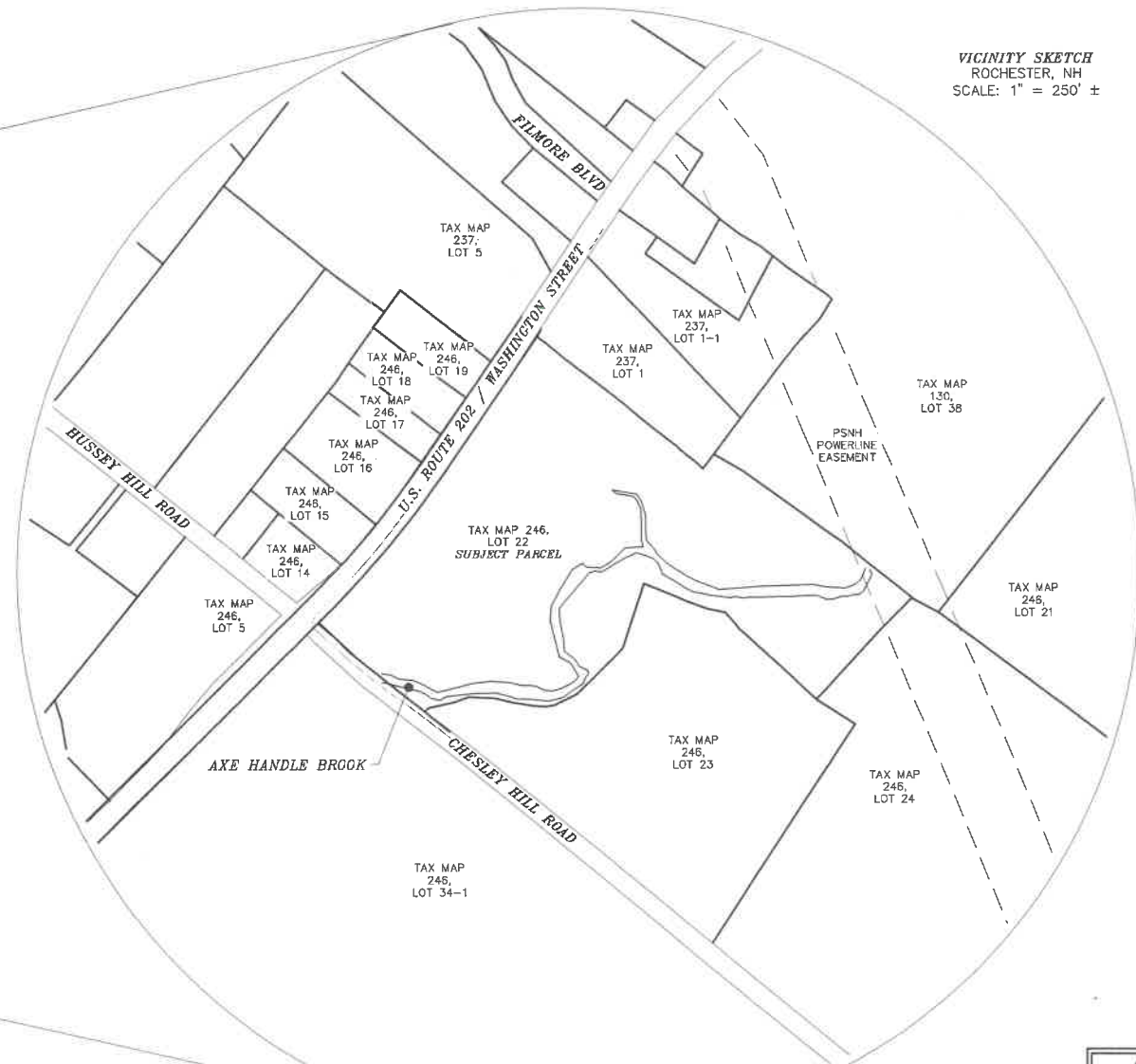
MAJOR SITE PLAN FOR HOMELESS CENTER FOR STRAFFORD COUNTY U.S. ROUTE 202 / 202 WASHINGTON STREET ROCHESTER, N.H. TAX MAP 246, LOT 22

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CITY OF ROCHESTER COMMUNITY SERVICES DEPARTMENT.



VICINITY SKETCH
ROCHESTER, NH
SCALE: 1" = 250' ±



REQUIRED PERMITS:

- 1.) US EPA NOI & SWPPP: 2 WEEKS PRIOR TO CONSTRUCTION
- 2.) NH DIVISION OF HISTORICAL RESOURCES: #12042
- 3.) NHDOT DRIVEWAY PERMIT: 06-389-643
- 4.) NHDES SUBSURFACE DISPOSAL PERMIT: eCA2021020825

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: *[Signature]*
DATE: 2/16/21



REVISION	DATE	DESCRIPTION
#5	2-6-21	FINALIZE PER NOD AND STATE PERMITS
#4	2-1-21	REVISED PER NHDOT COMMENT
#3	11-24-20	REVISED PER TRG REVIEW
#2	11-10-20	REVISED PER CLIENT REQUEST
#1	9-9-20	SUBMITTED FOR NHDOT DRIVEWAY PERMIT

MAJOR SITE PLAN
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS SHOWN
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

ABBREVIATION LEGEND:

E.O.P.	EDGE OF PAVEMENT
V.G.C.	VERTICAL GRANITE CURB
S.G.C.	SLOPED GRANITE CURB
BITUM.	BITUMINOUS
E.O.P.	EDGE OF PAVEMENT
E.S.H.W.T	ESTIMATED SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.E.	UNDER GROUND ELECTRIC / UTILITY
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
INV.	INVERT
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
E.T.W.	EDGE OF TRAVELED WAY
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EX.	EXISTING
PROP.	PROPOSED
STA.	STATION

FEET / FEET

SSL () ~ [SIZE]	SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ [SIZE]	DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ [SIZE]	SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SSL () ~ [SIZE]	SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ [SIZE]	DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

EXISTING LEGEND:

○	IRON BOUND (FND)
○	REBAR (FND)
○	RAILROAD SPIKE (FND)
○	UTILITY POLE / GUY WIRE
+	SINGLE POST SIGN
⊕	CURB STOP
⊕	GATE VALVE
⊕	GAS VALVE
⊕	FIRE HYDRANT
⊕	CATCH BASIN
⊕	DRAIN MANHOLE
⊕	TREE
⊕	EXISTING SPOT ELEVATION

---	BUILDING SETBACK LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING DRAIN LINE
---	OVERHEAD UTILITIES
---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	50'/100' WETLAND BUILDING SETBACK
---	FLOOD LINE (ZONE A)

TEST PITS:

TEST PIT #1
MAY 29, 2020

0-48" GENERAL FILL, FINE SANDY LOAM
48-55" 10YR 2/2, FINE SANDY LOAM, GRANULAR, FRIABLE
55-62" 10YR 4/4, FINE SAND, SINGLE GRAIN, LOOSE IN HAND
62-98" 10YR 6/4 FINE LOAMY SAND, GRANULAR, FRIABLE
98-115" 2.5Y 6/4, FINE LOAMY SAND, GRANULAR, FRIABLE
15% REDOX

E.S.H.W.T. @ 98"
NO LEDGE
NO GW.
PERC = 4 MIN/ IN

TEST PIT #2
MAY 29, 2020

0-6" 10YR 2/2, FINE SANDY LOAM, GRANULAR, FRIABLE
6-12" 10YR 4/4, FINE SAND, SINGLE GRAIN, LOOSE IN HAND
12-48" 10YR 6/4 FINE LOAMY SAND, GRANULAR, FRIABLE
48-80" 2.5Y 6/4, FINE LOAMY SAND, GRANULAR, FRIABLE
80-98" 10YR 6/4 FINE LOAMY SAND, GRANULAR, FRIABLE
98-115" 2.5Y 6/4, FINE LOAMY SAND, GRANULAR, FRIABLE
15% REDOX

E.S.H.W.T. @ 48"
NO LEDGE
NO GW.
PERC = 4 MIN/ IN

TEST PIT #3
MAY 29, 2020

0-36" GENERAL FILL, FINE SANDY LOAM
36-88" 10YR 5/4, FINE LOAMY SAND, GRANULAR, FRIABLE
88-98" 10YR 4/4, FINE LOAMY SAND, GRANULAR, FRIABLE
98-98" 10YR 6/4 FINE LOAMY SAND, GRANULAR, FRIABLE
98-115" 2.5Y 6/4, FINE LOAMY SAND, GRANULAR, FRIABLE
15% REDOX

E.S.H.W.T. @ 98"
NO LEDGE
NO GW.
PERC = 4 MIN/ IN

TEST PIT #4
OCTOBER 30, 2020

0-4" 10YR 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE
4-22" 2.5Y 5/4, FINE SANDY LOAM, GRANULAR, FRIABLE
22-52" 7.5YR 5/4, FINE SANDY LOAM, GRANULAR, BLOCKY IN PLACE FRIABLE IN HAND

E.S.H.W.T. @ 22"
NO LEDGE
NO GW.
PERC = 6 MIN/ IN

TEST PIT #5
OCTOBER 30, 2020

0-5" 10YR 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE
5-22" 7.5YR 4/8, FINE SANDY LOAM, BLOCKY, FRIABLE
22-52" 10YR 4/6, FINE SANDY LOAM, GRANULAR, FRIABLE

E.S.H.W.T. @ 22"
NO LEDGE
NO GW.
PERC = 6 MIN/ IN

PROPOSED LEGEND:

⊕	UTILITY POLE
⊕	OUTLET STRUCTURE
⊕	SIGNAGE
⊕	CHECK DAM-MATERIAL AS SPECIFIED
⊕	FLOW ARROW
⊕	WELL
⊕	TEMPORARY BENCH MARK (T.B.M.)
⊕	DETAIL SHEET / DETAIL
⊕	SEWER MANHOLE W/STRUCTURE
⊕	CATCH BASIN W/STRUCTURE

---	CONTOUR MINOR
---	CONTOUR MAJOR
---	CULVERT W/ FLARED END SECTION (F.E.S.)
---	PROPOSED WATER LINE
---	PROPOSED SEWER LINE
---	PROPOSED TREE LINE
---	GUARD RAIL
---	SHOULDER
---	CENTER LINE
---	CLEAR ZONE LINE
---	BUILDING SETBACK LINE
---	SAW CUT & MILL
---	TRANSFORMER / J.BOX
---	UNDERGROUND UTILITY
---	UNDER DRAIN
---	SILT FENCE / EROSION MIX BERM
---	FLITREX 8" - 12" SILT SOXX AS SPECIFIED
---	ORANGE CONSTRUCTION PERIMETER FENCE
---	NRCS SOIL DELINEATION
---	SOIL TYPE

G.S.B.

RIP RAP

RAIN GARDEN

BERM

ADJUTERS WITHIN 300':

N/F STATE OF NEW HAMPSHIRE
P.O. BOX 483
JOHN MORTON BUILDING
CONCORD, NH 03301
TAX MAP 237, LOT 6
S.C.R.D. BOOK 3822, PAGE 617

N/F MCLURE, JOSEPH J III &
DIAZ, ANGELES GETINO
183 WASHINGTON STREET
ROCHESTER, NH 03867
TAX MAP 246, LOT 10
S.C.R.D. BOOK 3778, PAGE 368

N/F BERTRAND, JENNIFER & JEFFREY
189 WASHINGTON STREET
ROCHESTER, NH 03869-5506
TAX MAP 246, LOT 17
S.C.R.D. BOOK 3582, PAGE 918

N/F MILLER, TODD & JESSICA
185 WASHINGTON STREET
ROCHESTER, NH 03869-5506
TAX MAP 246, LOT 14
S.C.R.D. BOOK 3855, PAGE 540

N/F MCCALLUM, JAMES & LINDA
187 WASHINGTON STREET
ROCHESTER, NH 03869-5506
TAX MAP 246, LOT 17
S.C.R.D. BOOK 2047, PAGE 370

N/F CULLY, CAMERON
189 WASHINGTON STREET
ROCHESTER, NH 03869-5506
TAX MAP 246, LOT 18
S.C.R.D. BOOK 4641, PAGE 504

ADJUTERS WITHIN 300':

N/F KELLY, BYRON
203 WASHINGTON STREET
ROCHESTER, NH 03867
TAX MAP 246, LOT 16
S.C.R.D. BOOK 3685, PAGE 87

N/F ROBIDAS, LACI & CRESPO, RAFAEL
1 HUSSEY HILL ROAD
ROCHESTER, NH 03867-4205
TAX MAP 246, LOT 14
S.C.R.D. BOOK 4471, PAGE 14

N/F ROBIDAS, LACI & CRESPO, RAFAEL
1 HUSSEY HILL ROAD
ROCHESTER, NH 03867-4205
TAX MAP 246, LOT 14
S.C.R.D. BOOK 4471, PAGE 14

N/F CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03867
TAX MAP 246, LOT 6
S.C.R.D. BOOK 515, PAGE 319

N/F GILBERT, DONALD J & RUTH E.
75 CHESLEY HILL ROAD
ROCHESTER, NH 03869-5500
TAX MAP 246, LOT 94-1
S.C.R.D. BOOK 1169, PAGE 54

ADJUTERS WITHIN 300' CONT.:

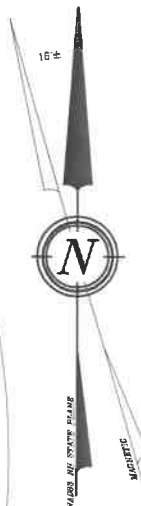
N/F ST. LAURENT, PAUL JR.
980 COLUMBIA TER.
PORT CHARLOTTE, FL 33948-3573
TAX MAP 248, LOT 29
S.C.R.D. BOOK 2288, PAGE 328

N/F THONE, DOROTHY K.
92 CHESLEY HILL ROAD
ROCHESTER, NH 03869-5500
TAX MAP 246, LOT 24
S.C.R.D. BOOK 1751, PAGE 345

N/F OCW RETAIL ROCHESTER, LLC
C/O THE WILDER COMPANIES
800 BOSTON ST SITE 1300
BOSTON, MA 02199
TAX MAP 180, LOT 88
S.C.R.D. BOOK 3525, PAGE 855

N/F MCCALLUM, DONALD JR. & PAULA
7 JODY LANE
STRAFFORD, NH 03884
TAX MAP 237, LOT 1
S.C.R.D. BOOK 3401, PAGE 741

CIS SKETCH
ROCHESTER, NH
SCALE: 1" = 250' ±

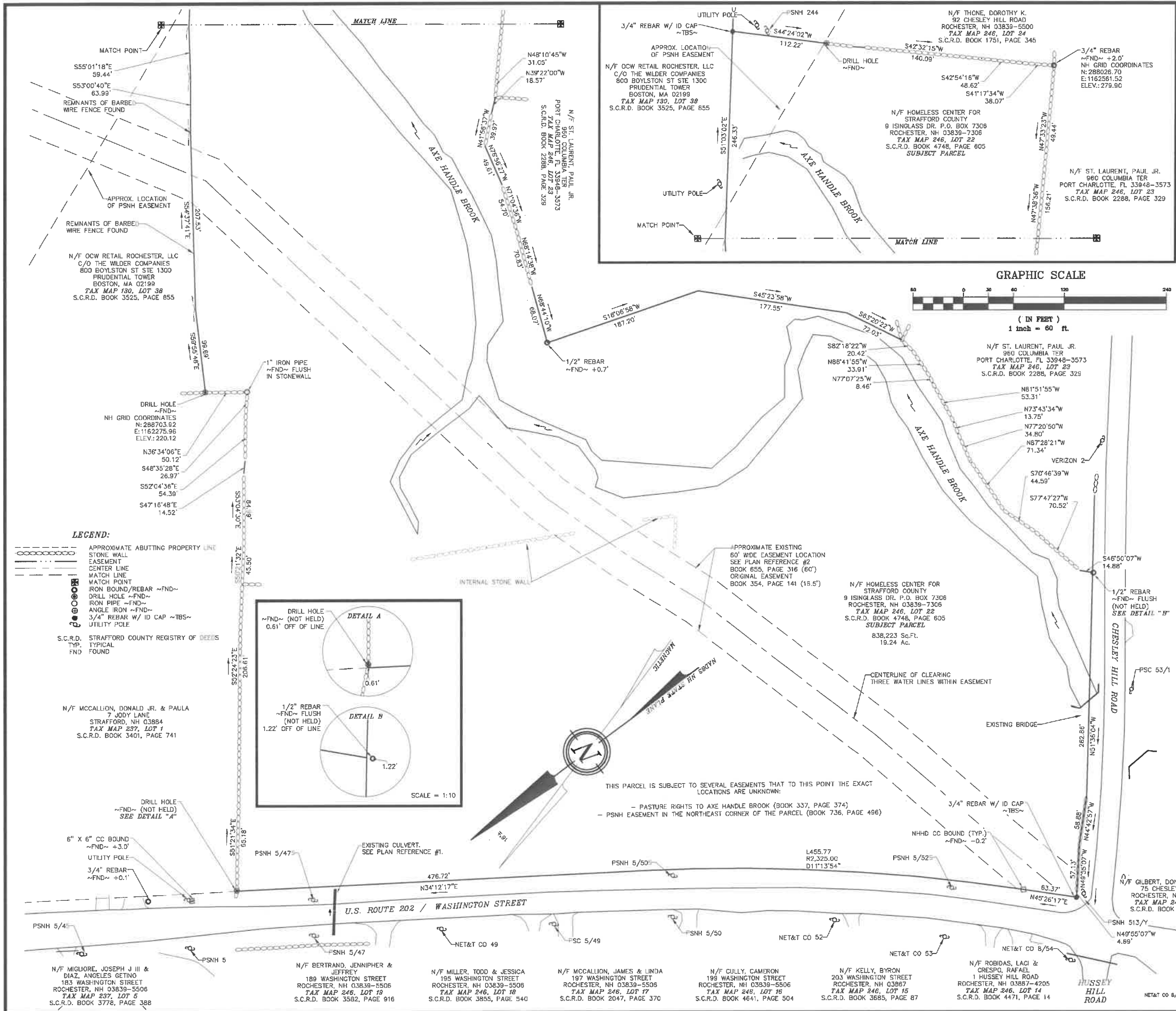


REVISION	DATE	DESCRIPTION
2-8-21		FINALIZE PER NHD AND STATE PERMITS
2-8-21		REVISION PER NHD PERMIT
2-8-21		REVISION PER NHD PERMIT
11-10-20		REVISION PER CLIENT REQUEST
9-9-20		SUBMITTED FOR NHDOT DRIVEWAY PERMIT

NEIGHBORHOOD PLAN LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY U.S. ROUTE 202 / 202 WASHINGTON STREET ROCHESTER, N.H. TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : AS SHOWN
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
BERRY SURVEYING & ENGINEERING
REGISTERED PROFESSIONAL ENGINEER

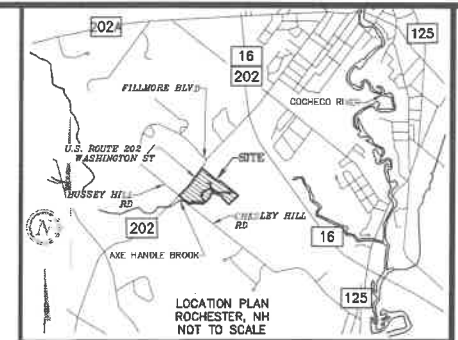


NOTES:

- 1.) OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR P.O. BOX 7306
ROCHESTER, NH 03839-7306
- 2.) TAX MAP 246, LOT 22
- 3.) LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- 4.) S.C.R.D.: BOOK 4748, PAGE 605
- 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 246, LOT 22, LOCATED IN ROCHESTER, N.H.
- 6.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JULY OF 2020, WITH AN ERROR OF CLOSURE OF 1 PART IN 89,752.
- 7.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

PLAN REFERENCES:

- 1.) "THE STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT, FAS 269-B(1), WASHINGTON STREET" SHEETS 8 & 9 OF 25
BY: THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION
DATED: JULY 7, 1939
ON FILE AT THIS OFFICE
- 2.) "PLAN SHOWING PIPE LOCATIONS ON LAND OF W. HERSOM, WASHINGTON STREET, ROCHESTER, NH, TRACED FROM PLAN OF HARDING, HADEN, AND BUCHANAN"
BY: UNKNOWN
DATED: OCTOBER 28, 1957
ON FILE AT THIS OFFICE
- 3.) "PLAN OF LAND OF FLORENCE BROCK BOUSQUIN, WASHINGTON STREET, ROCHESTER, N.H."
BY: THE BERRY CONSTRUCTION COMPANY, INC.
DATED: JUNE 27, 1966
BS&E PLAN #DB66-20
- 4.) "PLOT PLAN OF LAND & OUTPARCELS"
BY: KIMBALL CHASE
DATED: SEPTEMBER 8, 1988
S.C.R.D.: PLAN # 37A-27
- 5.) "SUBDIVISION PLAN, LAND OF BERTHA M. MCCALLION, 184 WASHINGTON STREET, RTE 202, ROCHESTER, NH 03867"
BY: LAND TECHNICAL SERVICES
DATED: JUNE 9, 1990
S.C.R.D.: PLAN # 38A-14
- 6.) "LAND OF PAUL ST. LAURENT, CHESLEY HILL ROAD, ROCHESTER, N.H."
BY: BERRY SURVEYING & ENGINEERING
DATED: JUNE 13, 2001
BS&E PLAN #DB2001-028
- 7.) "PROPOSED SUBDIVISION, LAND OF BERTHA M. MCCALLION, 184 WASHINGTON STREET, ROCHESTER, NH"
BY: BERRY SURVEYING & ENGINEERING
DATED: SEPTEMBER 27, 2001
S.C.R.D.: PLAN # 64-45
- 8.) "PROPOSED LOT LINE REVISION FOR DONALD MCCALLION ROUTE 202 ROCHESTER, N.H. TAX MAP 237, LOT 1-1"
BY: BERRY SURVEYING & ENGINEERING
DATED: JULY 20, 2003
S.C.R.D.: PLAN #72-63
- 9.) "SUBDIVISION PLAN, CHESLEY HILL ROAD, ROCHESTER, N.H."
BY: NORWAY PLAINS ASSOCIATES, INC.
DATED: MAY, 2004
S.C.R.D.: PLAN # 76-69
- 10.) "LEASE PLAN, LOT 130, MAP 38, IN ROCHESTER NEW HAMPSHIRE"
BY: VANASSE HANGEN BRUSTLIN, INC.
DATED: MAY 12, 2006
S.C.R.D.: PLAN # 89-26
- 11.) "PLOT OF LAND MAP 130, LOT 68 IN ROCHESTER NEW HAMPSHIRE"
BY: VANASSE HANGEN BRUSTLIN, INC.
DATED: APRIL 20, 2007
S.C.R.D.: PLAN # 90-33
- 12.) "WASHINGTON STREET WATER MAIN UPGRADE PLAN"
BY: OLD CONSULTING ENGINEERS
DATED: MAY, 2007
ON FILE AT THIS OFFICE
- 13.) "CITY OF ROCHESTER, NH, CHESLEY HILL ROAD WATER MAIN EXTENSION" SHEET #5 OF 7
BY: WRIGHT-PIERCE
NOT DATED
ON FILE AT THIS OFFICE



REVISION		DATE	DESCRIPTION
2-8-21	1	2-8-21	FINALIZE PER ADO AND STATE PERMITS
2-11-21	2	2-11-21	REVISION PER ADO AND STATE PERMITS
11-24-20	3	11-24-20	REVISION PER TRG REVIEW
11-10-20	4	11-10-20	REVISION PER CLIENT REQUEST
9-9-20	5	9-9-20	SUBMITTED FOR NHDOT DRIVEWAY PERMIT

BOUNDARY PLAN LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY U.S. ROUTE 202 / 202 WASHINGTON STREET ROCHESTER, N.H. TAX MAP 246, LOT 22	
---	--

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863

SCALE : 1 IN. EQUALS 60 FT.

DATE : JULY 7, 2020

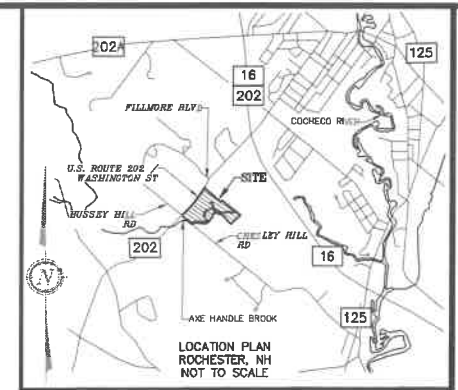
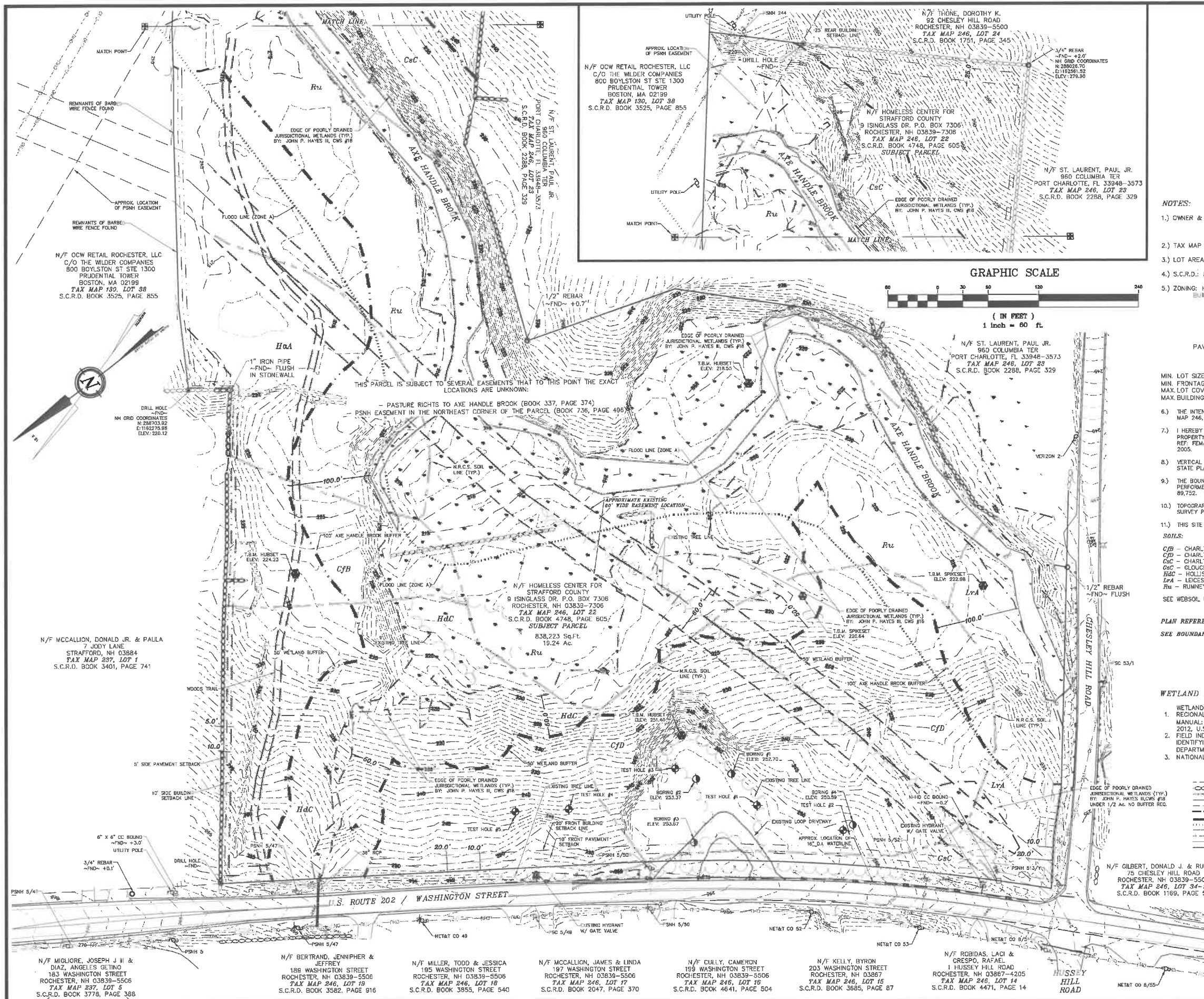
FILE NO. : DB 2019 - 042

1 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF SURVEY AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

2-12-21

KENNETH A. BERRY L.L.S. 605 DATE

SHEET 2 OF 24



NOTES:

- OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03839-7306
- TAX MAP 246, LOT 22
- LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- S.C.R.D. BOOK 4748, PAGE 605
- ZONING: HC (HIGHWAY COMMERCIAL ZONE)
BUILDING SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 25'
WETLAND: 50' (WETLANDS GREATER THAN 0.5 AC.)
PAVEMENT SETBACKS:
FRONT - 10'
SIDE - 5'
REAR - 10'

MIN. LOT SIZE: 20,000 Sq. Ft.
MIN. FRONTAGE: 100'
MAX. LOT COVERAGE: 85%
MAX. BUILDING HEIGHT: N/A

6) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES AND CONDITIONS OF TAX MAP 246, LOT 22, LOCATED IN ROCHESTER, N.H., AS OF THE DATE OF THE FIELD WORK.

7) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, A PORTION OF THIS PROPERTY FALLS WITHIN THE FLOOD PLAIN FLOOD HAZARD (ZONE A) REF. FEMA COMMUNITY #330150, MAP 33017C01550 & MAP 33017C02010, DATED: MAY 17, 2005.

8) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.

9) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JULY OF 2020, WITH AN ERROR OF CLOSURE OF 1 PART IN 89,752.

10) TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED IN SUMMER 2020.

11) THIS SITE IS SERVICED BY MUNICIPAL WATER.

SOILS:

Cfb - CHARLTON FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
Cfd - CHARLTON FINE SANDY LOAM, 15 TO 25 PERCENT SLOPES
Csc - CHARLTON FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES, VERY STONY
Csd - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
Hdc - HOLLISS-CHARLTON VERY ROCKY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
Lra - LEICESTER-RIDGEBURY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
Ru - RUNNEY FINE SANDY LOAM

SEE WEBSOIL. USDA-NRCS

PLAN REFERENCES:
SEE BOUNDARY PLAN

WETLAND NOTES: JOHN P. HAYES, III CWS #18.
WETLANDS WERE DELINEATED BY JOHN P. HAYES, III NOVEMBER 2019
1. REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHWESTERN REGIONS, (VERSION 2.0) JANUARY 2012, U.S. ARMY CORPS OF ENGINEERS.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 3.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2018).
3. NATIONAL WETLAND PLANT LIST (CURRENT VERSION).

LEGEND:

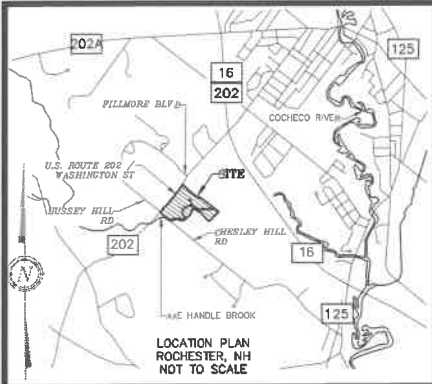
APPROXIMATE ADJUTING PROPERTY LINE
STREET WALL
WETLAND DELINEATION LINE
BUILDING SETBACK LINE
SUBMITTAL SETBACK LINE
WETLAND LINE
50' WETLAND BUILDING SETBACK
OVERHEAD UTILITIES LINE
CONCRETE LINE, UNDER CONCRETE LINE, BLACK EXISTING DRAIN LINE
IRON BOUND/REBAR - FND -
DRILL HOLE - FND -
ANGLE IRON - FND -
UTILITY POLE
TEST PIT
BOTANICAL BOUNDARY

SEE SEE LAND STRAFFORD COUNTY REGISTER OF DEEDS
TYPICAL
FND

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

2-12-21
KENNETH A. BERRY L.L.S. 505 DATE

EXISTING CONDITIONS PLAN		DATE		REVISION	
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY		JULY 7, 2020		#5	
U.S. ROUTE 202 / 202 WASHINGTON STREET		DB 2019 - 042		2-8-21	
TAX MAP 246, LOT 22		11-10-20		2-1-21	
		9-9-20		#4	
				#3	
				#2	
				#1	



STANDARD SITE PLAN NOTES:

- 1.) OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03835-7306
- 2.) TAX MAP 246, LOT 22
- 3.) LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- 4.) S.C.R.D.: BOOK 4748, PAGE 605
- 5.) ZONING: HC (HIGHWAY COMMERCIAL ZONE)
BUILDING SETBACKS:
FRONT - 20'
SIDE - 10'
REAR - 25'
WETLAND: 50' (WETLANDS GREATER THAN 0.5 AC.)
AXE HANDLE BROOK: 100'
PAVEMENT SETBACKS:
FRONT - 10'
SIDE - 5'
REAR - 10'
MIN. LOT SIZE: 20,000 Sq. Ft.
MIN. FRONTAGE: 100'
MAX. LOT COVERAGE: 85%
MAX. BUILDING HEIGHT: N/A
- 6.) AS-BUILT PLANS OF SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN A PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ERSI FORMAT TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- 7.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN JULY 2020 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.
- 8.) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT ONE REQUIRE DROP POLE.
- 9.) THE SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER.
- 10.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- 11.) ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE 500 BOTTOMS.

STANDARD SITE PLAN NOTES CONT.:

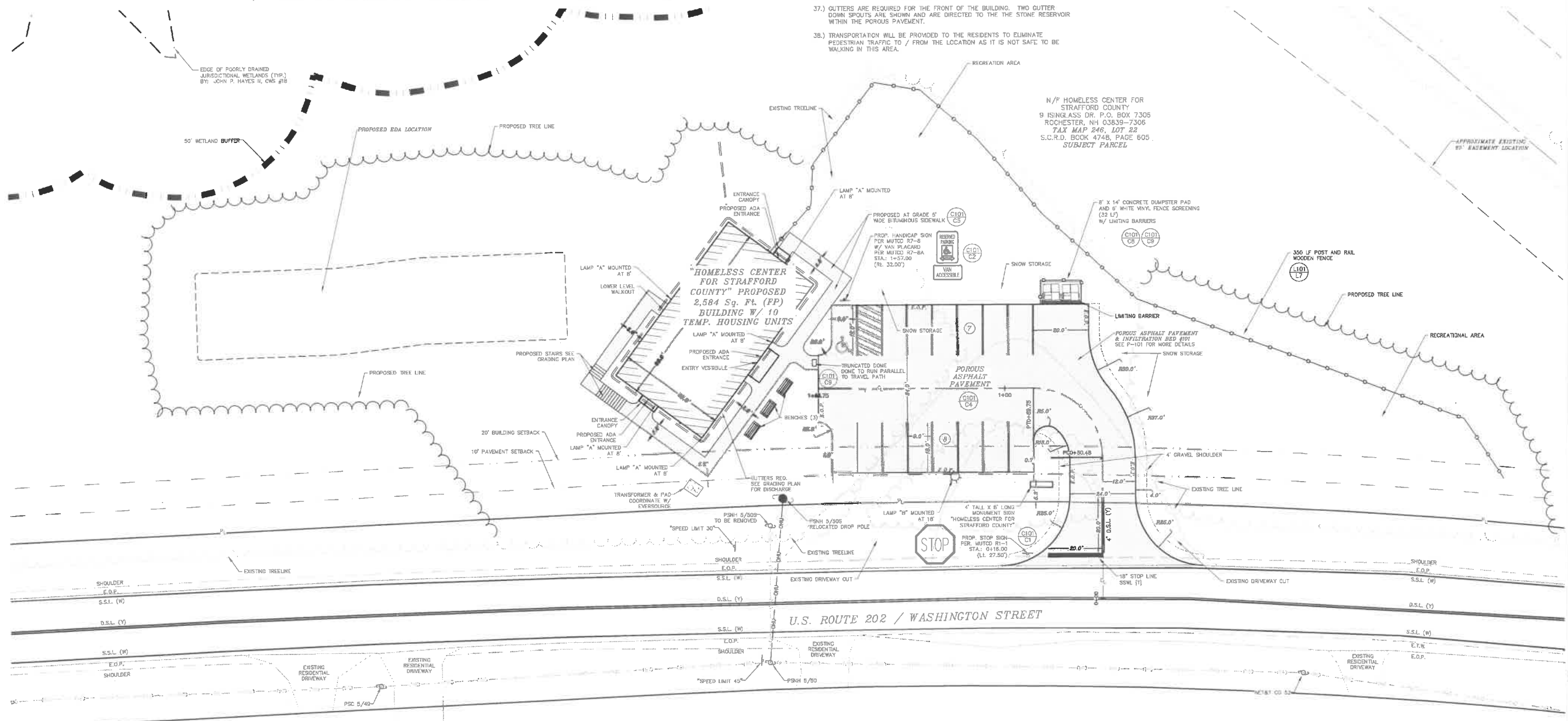
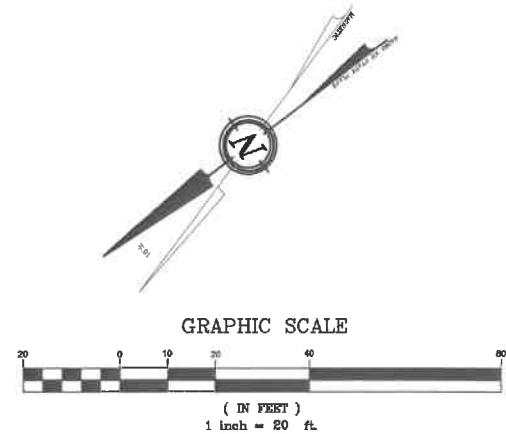
- 12.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL TO BE DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH THE CITY OF ROCHESTER DEPARTMENT OF PLANNING & DEPARTMENT OF PUBLIC WORKS.
- 13.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE TECHNICAL STAFF WORKS SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 14.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE ASSESSING DEPARTMENT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- 15.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2016. CONSTRUCTION SHALL ALSO CONFORM TO THE CITY OF ROCHESTER POLICES AND PRACTICES.
- 16.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233).
- 17.) CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.
- 18.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 438-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- 19.) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS AT (800) 941-1064 OR ATLANTIC BROADBAND AT (800) 952-1001.
- 20.) ALL UNPAVED DISTURBED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- 21.) THE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 8AM-6PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- 22.) FROM GROUND BREAKING THE SITE SHALL REMAIN ACCESSIBLE YEAR ROUND IN ALL WEATHER CONDITIONS.
- 23.) THIS SITE DESIGN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE ACCESSIBILITY REGULATIONS IN ACCORDANCE WITH NH RSA 11-A:5.
- 24.) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 25.) FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13, AS APPLICABLE.

STANDARD SITE PLAN NOTES:

- 26.) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.
- 27.) BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- 28.) THE LIMITS OF CONSTRUCTION DISTURBANCE AND TREE CLEARING LIMITS ARE TO BE MARKED OUT AND APPROVED BY THE CITY PRIOR TO WORK.
- 29.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
US EPA NOI & SWPPP: 2 WEEKS PRIOR TO CONSTRUCTION
NHDES SUBSURFACE DISPOSAL PERMIT: #CA2021020225
NH DIVISION OF HISTORICAL RESOURCES: #12042
NH DOT DRIVEWAY PERMIT: 06-389-643
- 30.) STREET TREES ARE PROVIDED FOR WITHIN THIS PLAN SET. THREE SPECIES ARE SUGGESTED. IT SHOULD BE NOTED THAT A MIX OF THESE SPECIES IS REQUIRED. AN ALTERNATING PATTERN IS PREFERRED.
- 31.) THIS PLAN PROPOSES APPROXIMATELY 46,600 SQ. FT. (1.07 AC.) OF DISTURBANCE.
- 32.) IF REQUIRED, SNOW SHALL BE REMOVED TO AN APPROVED LOCATION. SNOW STORAGE SHALL NOT IMPED DRAINAGE.
PAVEMENT COVERAGE: 7,420 Sq. Ft.
SNOW STORAGE: 1,240+ Sq. Ft.
MINIMUM 6:1 RATIO PROVIDED
PLOTS ARE TO BE RUBBER EGGED. SAND AND SALT APPLICATIONS SHOULD BE CONSIDERED CAREFULLY.
- 33.) LOT COVERAGE:
EXISTING BUILDING IMPERVIOUS AREA: 0 Sq. Ft. (0%)
EXISTING PAVED IMPERVIOUS AREA: 0 Sq. Ft. (0%)
TOTAL EXISTING IMPERVIOUS COVER: 0 Sq. Ft. (0%)
PROPOSED BUILDING IMPERVIOUS AREA: 2,680 Sq. Ft. (0.3%)
PROPOSED PAVED IMPERVIOUS AREA: 7,420 Sq. Ft. (0.9%)
PROPOSED POROUS ASPHALT IMPERVIOUS AREA: 6,212 Sq. Ft. (0.7%)
TOTAL PROPOSED IMPERVIOUS COVER: 10,100 Sq. Ft. (1.2%)
- 34.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 35.) FOR MORE INFORMATION ABOUT THIS SITE PLAN PLEASE CONTACT THE CITY OF ROCHESTER PLANNING OFFICE AT 603-335-1336.
- 36.) ON-SITE SECURITY SYSTEM IS REQUIRED.
- 37.) GUTTERS ARE REQUIRED FOR THE FRONT OF THE BUILDING. TWO GUTTER DOWN SPOUTS ARE SHOWN AND ARE DIRECTED TO THE STONE RESERVOIR WITHIN THE POROUS PAVEMENT.
- 38.) TRANSPORTATION WILL BE PROVIDED TO THE RESIDENTS TO ELIMINATE PEDESTRIAN TRAFFIC TO / FROM THE LOCATION AS IT IS NOT SAFE TO BE WALKING IN THIS AREA.

PARKING REQUIREMENTS:

- SECTION 10 PARKING REQUIREMENTS
(HALFWAY HOUSE (HOMELESS SHELTER)
(0.75 SPACES PER BED:
(40 BEDS (10 TEMPORARY HOUSING UNITS (ASSUMED
(2 ADULTS/ROOM) x 0.75 SPACES = 15 SPACES
(SEE DETAILED EXPLANATION IN PROJECT NARRATIVE
- TOTAL PROPOSED = 15 SPACES



FINALIZE PERMITS SUBMITTED FOR NHDOT DRIVEWAY PERMIT	DESCRIPTION
2-8-21	DATE
2-1-21	REVISION
11-24-20	REVISION
11-10-20	REVISION
9-9-20	REVISION

SITE PLAN
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2024

Certified 2/20/2021 Jeff Chief Planner

NOTES:

- OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03839-7306
- TAX MAP 246, LOT 22
- LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- S.C.R.D.: BOOK 4748, PAGE 605
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF TAX MAP 246, LOT 22.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.

STANDARD CONSTRUCTION NOTES:

- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- ONE ON SITE BENCHMARK IS PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.
- EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016, CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.

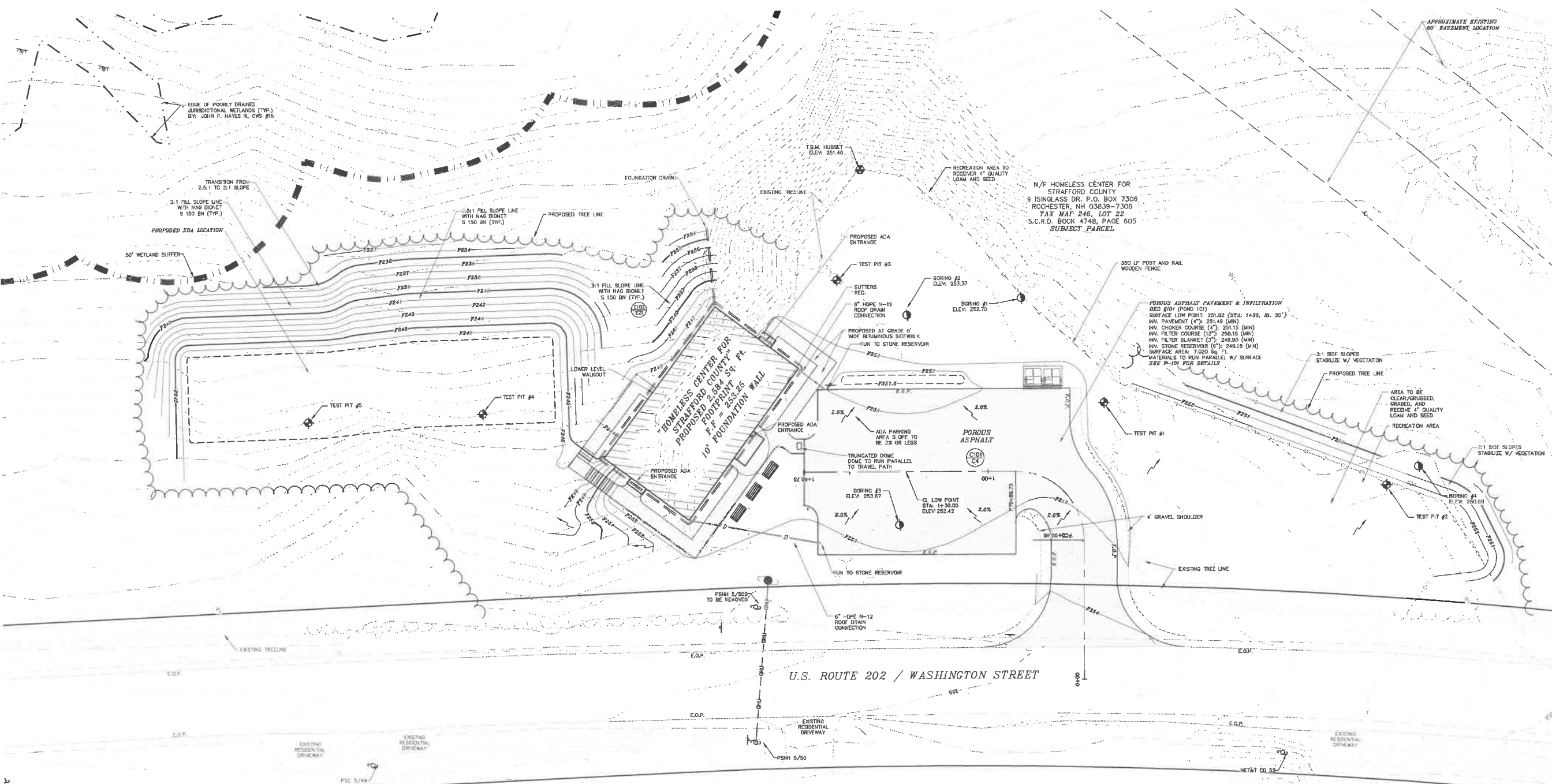
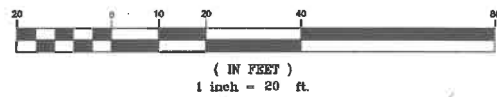
STANDARD CONSTRUCTION NOTES CONT.:

- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. DISTURBANCE OUTSIDE AREAS SHOWN TO BE APPROVED BY DESIGN ENGINEER.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R).
- ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [T] SHALL BE THERMOPLASTIC.
- ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER OR AFTER A STORM EVENT OF GREAT THAN 0.25".

STANDARD CONSTRUCTION NOTES CONT.:

- UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
- A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND ROCHESTER CITY STAFF SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- SEE DETAILS CONCERNING SITE LAYOUT, UTILITY, AND SEDIMENT AND EROSION CONTROLS.

GRAPHIC SCALE



REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NHDOT AND STATE PERMITS
#4	2-1-21	REVISED PER NHDOT COMMENT
#3	11-24-20	REVISED PER TRG REVIEW
#2	11-10-20	REVISED PER CLIENT REQUEST
#1	9-9-20	SUBMITTED FOR NHDOT DRIVEWAY PERMIT

OVERALL GRADING PLAN
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042



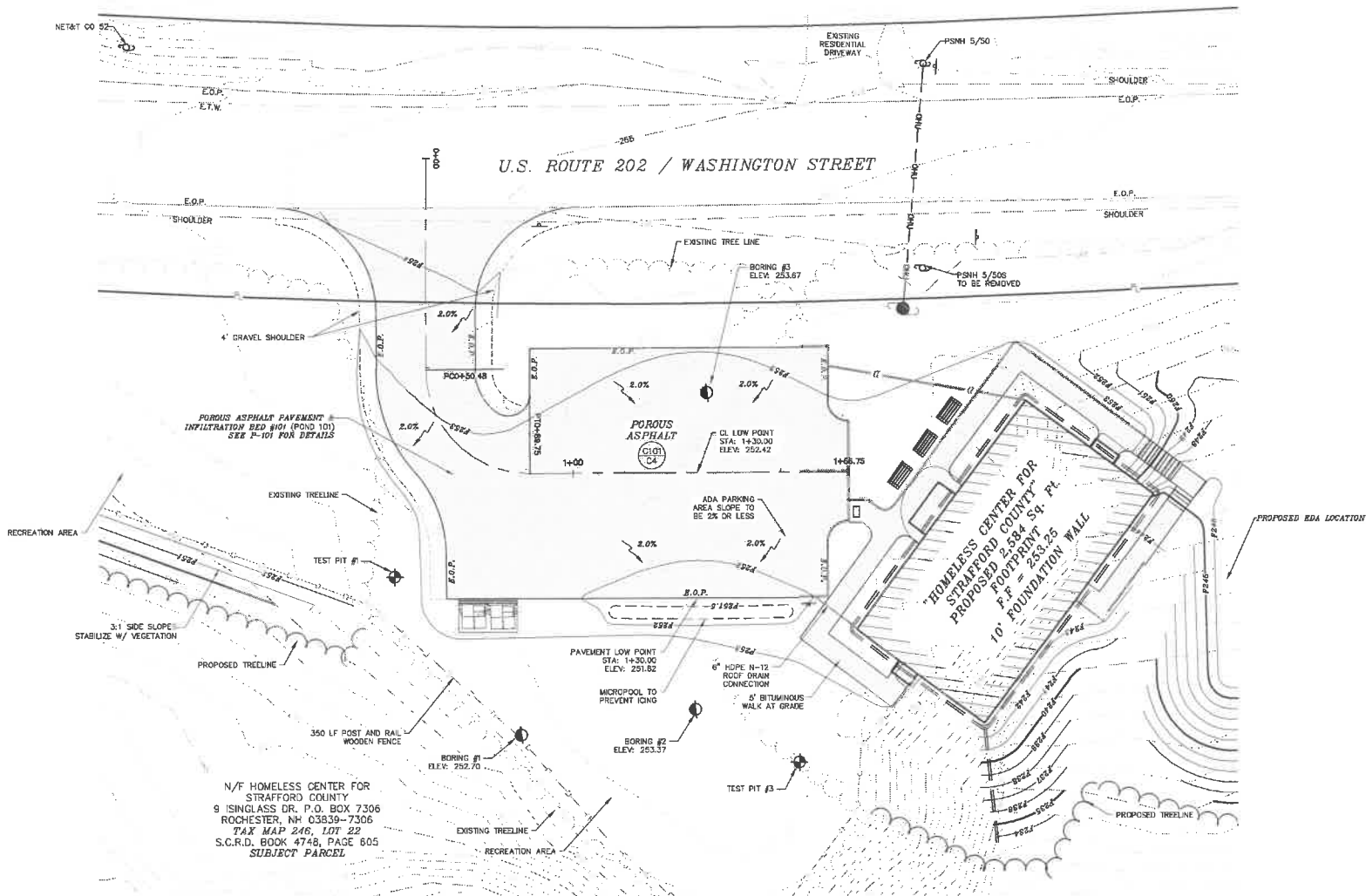
NOTES:

- 1.) OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03608-7306
- 2.) TAX MAP 246, LOT 22
- 3.) LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- 4.) S.C.R.D.: BOOK 4748, PAGE 605
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF TAX MAP 246, LOT 22.
- 6.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
- 7.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 9.) SEE SHEET 5 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



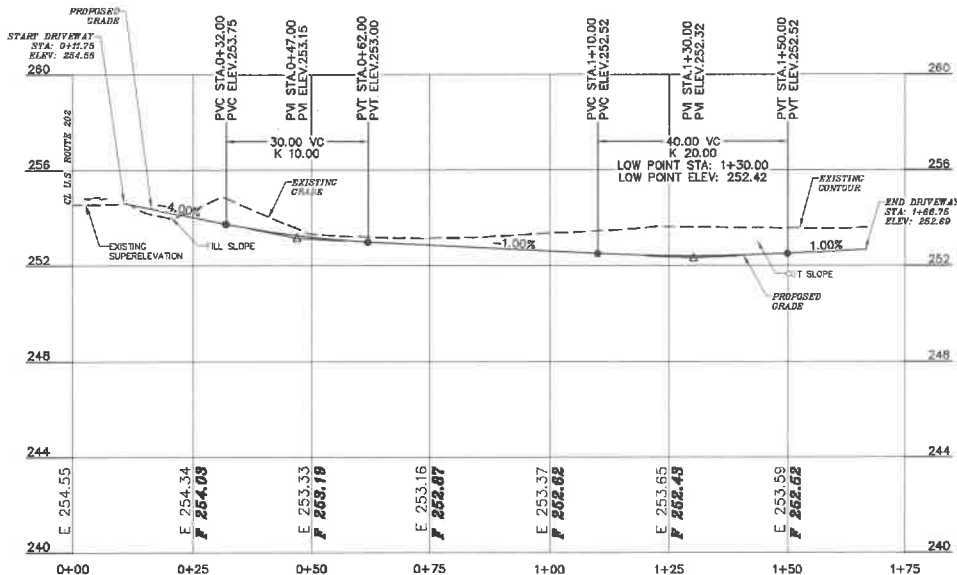
PLAN VIEW DRIVEWAY 0+00 - 1+66.75
PROFILE VIEW DRIVEWAY 0+00 - 1+66.75

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

VERTICAL SCALE: 1" = 4'



FINALIZE PER NHD AND STATE PERMITS
REVISED PER NHDOT COMMENT
REVISED PER NHDOT COMMENT
REVISED PER CLIENT REQUEST
SUBMITTED FOR NHDOT DRIVEWAY PERMIT

DESCRIPTION

REVISION

DATE

DRIVEWAY PLAN & PROFILE
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : JULY 7, 2020

FILE NO. : DB 2019 - 042



DESIGN NOTES:

- POROUS ASPHALT PAVEMENT WILL CONFORM TO UNHSC (2007b) SPECIFICATIONS AS UPDATED BY UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS (DATED: SEPTEMBER 2016).
 - THE FILTER COURSE WILL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES AND CONSIST OF NHDOT (2016) SAND, ITEM 304.1 PER THE NH STORMWATER MANUAL.
 - SEE CROSS SECTIONS FOR DETAILS.
 - SEE STORMWATER SYSTEM OPERATIONS AND MAINTENANCE PLAN, DATED OCTOBER 30, 2020 FOR MAINTENANCE REQUIREMENTS.
- REFERENCE:
- NH STORMWATER MANUAL: VOLUME 2, SECTION 4C PERMEABLE PAVEMENT.
 - UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, FEBRUARY 2014, REVISED SEPTEMBER 2016, UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER, DURHAM, NH 03824-3534.
 - POROUS ASPHALT PAVEMENT FOR STORMWATER MANAGEMENT, THE UNH STORMWATER CENTER.

BORING LOGS:

- SEE DETAIL E17, SHEET E102 FOR BORING B-3 LOG.

CHOKER COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
1 1/2"	100
1"	95 - 100
3/4"	25 - 60
# 4	0 - 10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #57 - AASHTO

FILTER BLANKET COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
1 1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

FILTER COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
6"	100
# 4	70 - 100
# 200	0 - 6**

* EQUIVALENT TO MODIFIED NHDOT 304.1 - SECTION 304 OF NHDOT STANDARD SPECIFICATIONS
** LESS THAN 4% FINES

RESERVOIR COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
2 1/2"	100
2"	80 - 100
1 1/2"	35 - 70
1"	0 - 15
1/2"	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #3 - AASHTO

POROUS ASPHALT MIX DESIGN CRITERIA	
SIEVE SIZE	% PASSING BY WEIGHT
3/4"	100
1/2"	85 - 100
3/8"	55 - 75
# 4	10 - 25
# 8	5 - 12
# 200	2 - 4

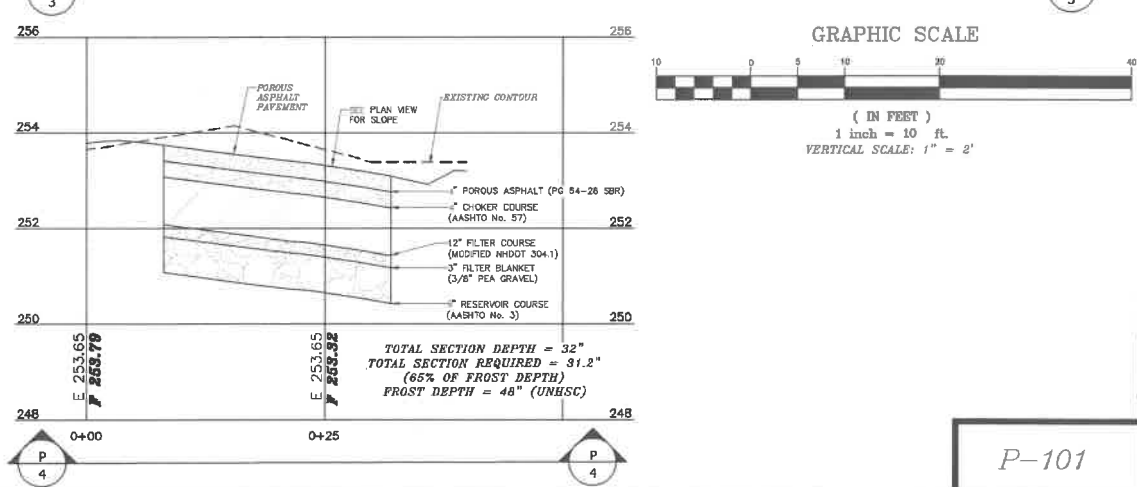
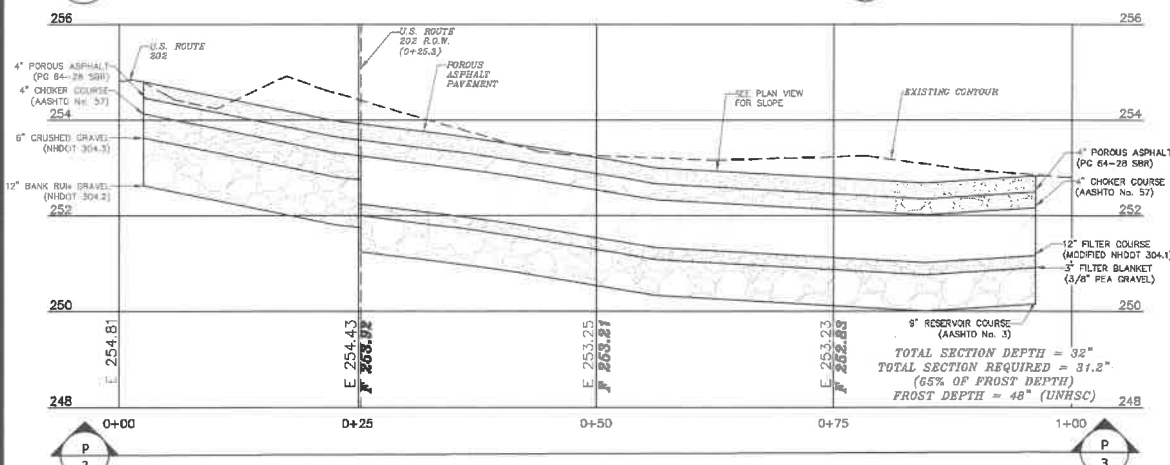
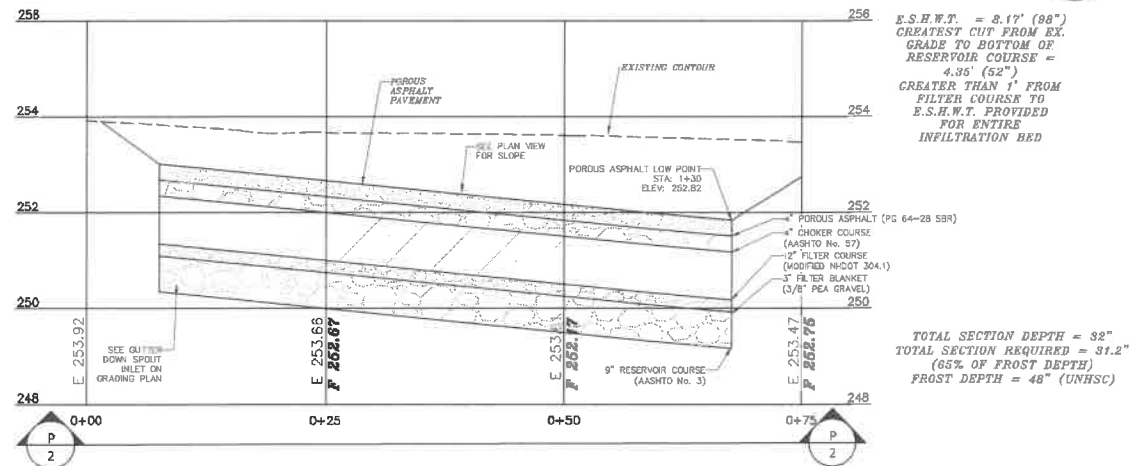
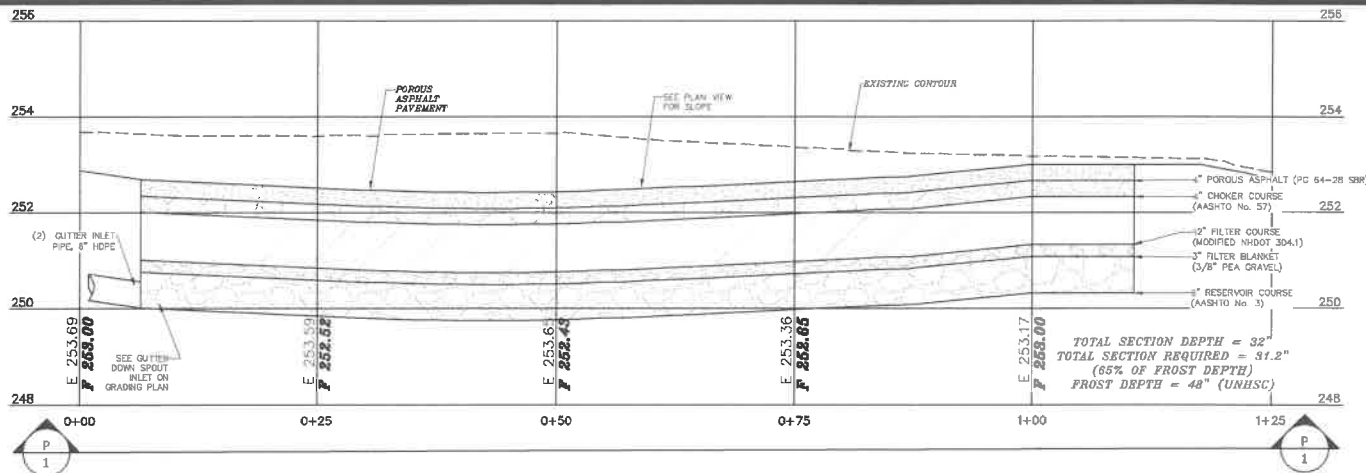
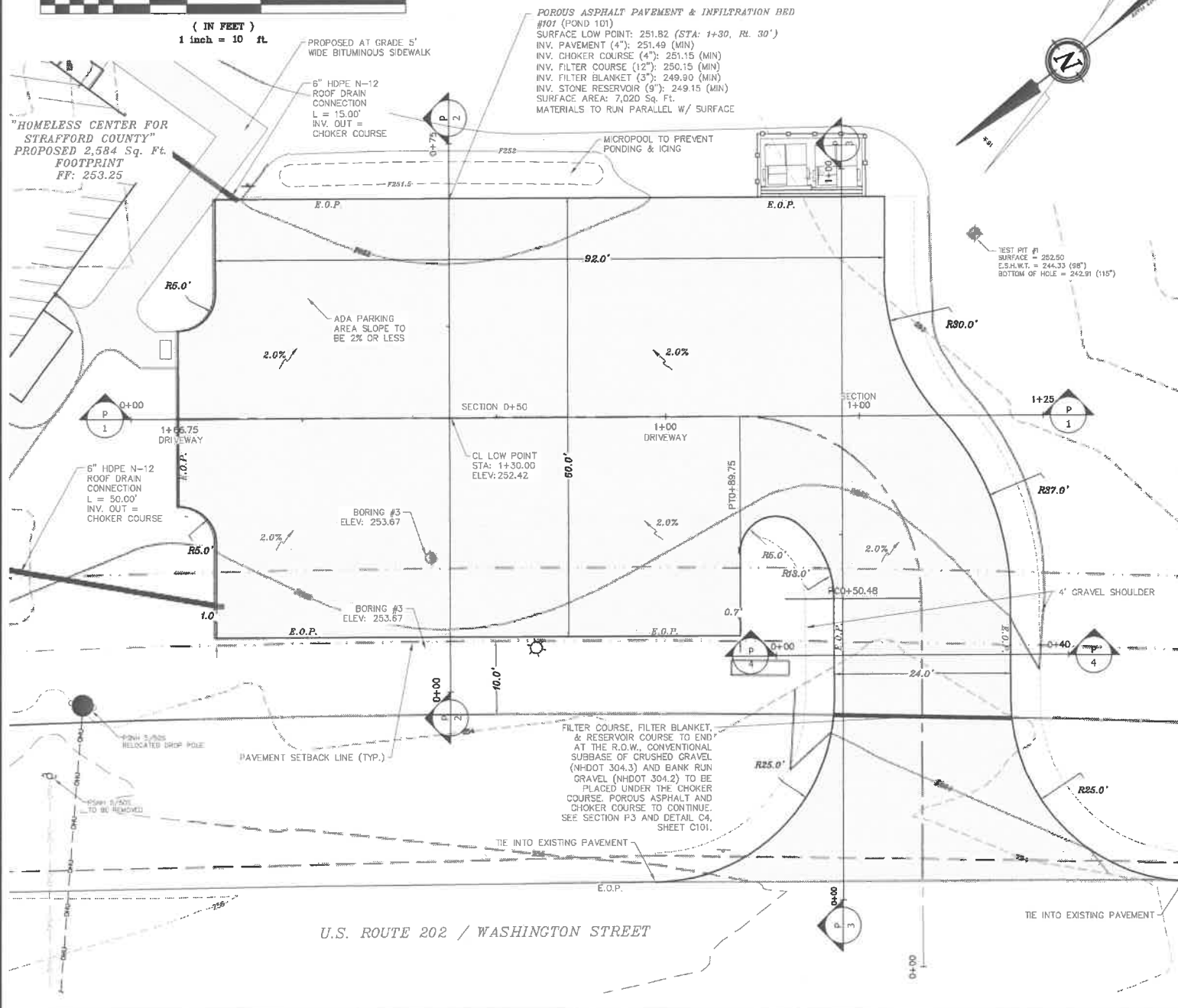
BINDER CONTENT (AASHTO T164) 5.8 - 6.5%

AIR VOID CONTENT (AASHTO D6752) 16 - 22%

POROUS ASPHALT PAVEMENT

NOT TO SCALE

GRAPHIC SCALE

FINALIZE PER NOD AND STATE PERMITS
REVISION #1
REVISION #2
REVISION #3
REVISION #4
REVISION #5
SUBMITTED PER NHDOT DRIVEWAY PERMIT

DESCRIPTION

DATE

REVISION

POROUS ASPHALT PAVEMENT & INFILTRATION BED
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: 1 IN. EQUALS 10 FT.
DATE: JULY 7, 2020
FILE NO.: DB 2019 - 042

SHEET 7 OF 24

SOILS & DEWATERING:

C/D	CHARLTON	FINE SANDY LOAM	K= 0.43
C/D	CHARLTON	FINE SANDY LOAM	K= 0.43
C/C	CHARLTON	FINE SANDY LOAM	K= 0.43
C/C	CLIOCESTER	STONY FINE SANDY LOAM	K= 0.17
H/C	HOLLIS-CANTON	STONY FINE SANDY LOAM	K= 0.43
L/A	LEICESTER	FINE SANDY LOAM	K= 0.17
R/A	RUMFORD	FINE SANDY LOAM	K= N/A

SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPSC MANUAL, ENVIRONMENTAL INTERNATIONAL INC. &
ROCKINGHAM COUNTY SOIL SURVEY, ROCKFORD SOIL ATTRIBUTES.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION
PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY
DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN
ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE
CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES
CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

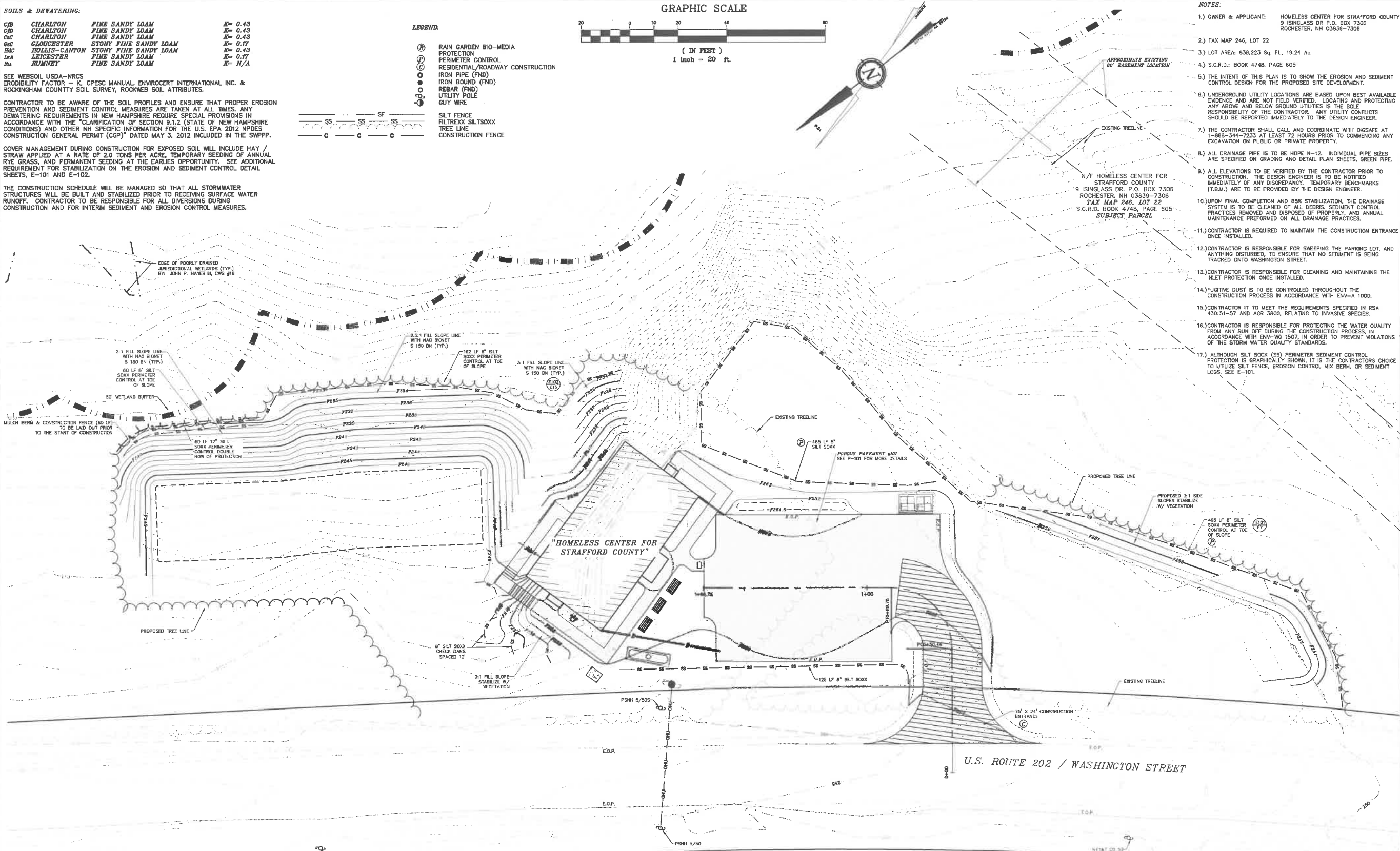
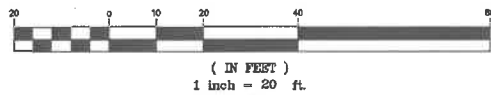
COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY /
STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL
RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL
REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL
SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER
STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER
RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING
CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

LEGEND:

- (R) RAIN GARDEN BIO-MEDIA
- (P) PROTECTION
- (C) PERIMETER CONTROL
- (S) RESIDENTIAL/ROADWAY CONSTRUCTION
- (FND) IRON PIPE (FND)
- (FND) IRON BOUND (FND)
- (FND) REBAR (FND)
- (FND) UTILITY POLE
- (FND) GUY WIRE
- (S) SILT FENCE
- (S) FILTERED SILT SOXX
- (S) TREE LINE
- (S) CONSTRUCTION FENCE

GRAPHIC SCALE



NOTES:

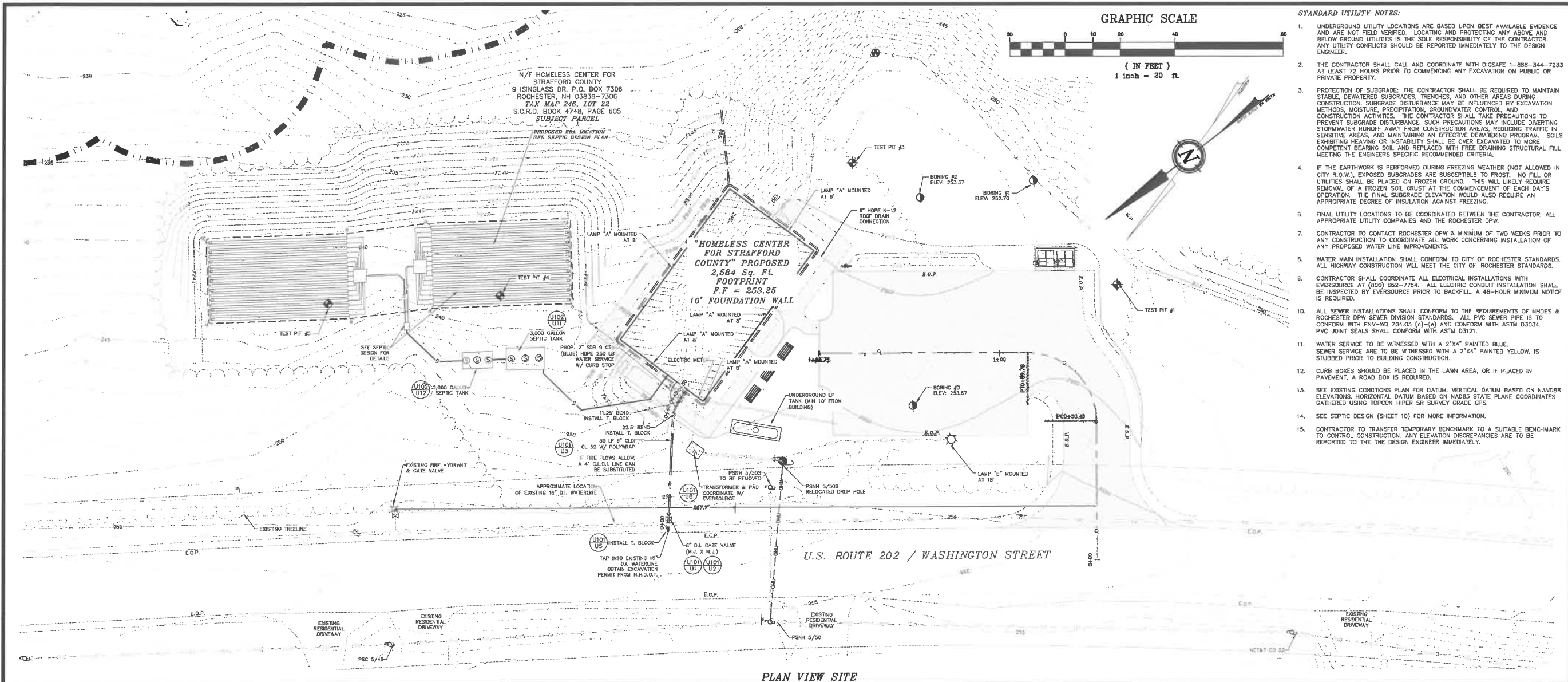
- OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03855-7306
- TAX MAP 246, LOT 22
- LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
- S.C.R.D.: BOOK 4748, PAGE 805
- THE INTENT OF THIS PLAN IS TO SHOW THE EROSION AND SEDIMENT
CONTROL DESIGN FOR THE PROPOSED SITE DEVELOPMENT.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE
EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING
ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE
RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS
SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE AT
1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY
EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- ALL DRAINAGE PIPE IS TO BE HOPE N-12. INDIVIDUAL PIPE SIZES
ARE SPECIFIED ON GRADING AND DETAIL PLAN SHEETS, GREEN PIPE.
- ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO
CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED
IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS
(T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- UPON FINAL COMPLETION AND 65% STABILIZATION, THE DRAINAGE
SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL
PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL
MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES.
- CONTRACTOR IS REQUIRED TO MAINTAIN THE CONSTRUCTION ENTRANCE
ONCE INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR SWEEPING THE PARKING LOT, AND
ANYTHING DISTURBED, TO ENSURE THAT NO SEDIMENT IS BEING
TRACKED ONTO WASHINGTON STREET.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE
INLET PROTECTION ONCE INSTALLED.
- FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE
CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- CONTRACTOR IT TO MEET THE REQUIREMENTS SPECIFIED IN RSA
430.51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY
FROM ANY RUN OFF DURING THE CONSTRUCTION PROCESS, IN
ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS
OF THE STORM WATER QUALITY STANDARDS.
- ALTHOUGH SILT SOCK (SS) PERIMETER SEDIMENT CONTROL
PROTECTION IS GRAPHICALLY SHOWN, IT IS THE CONTRACTORS CHOICE
TO UTILIZE SILT FENCE, EROSION CONTROL MIX BERM, OR SEDIMENT
LOGS. SEE E-101.

REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NOD AND STATE PERMITS
#4	2-1-21	REVISED PER NODOT COMMENT
#3	11-24-20	REVISED PER TRG REVIEW
#2	11-10-20	REVISED PER CLIENT REQUEST
#1	9-9-20	SUBMITTED FOR NODOT DRIVEWAY PERMIT

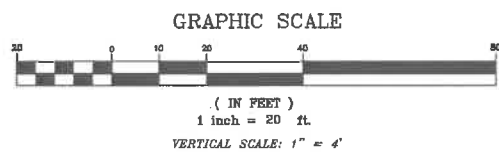
EROSION AND SEDIMENT CONTROL PLAN
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

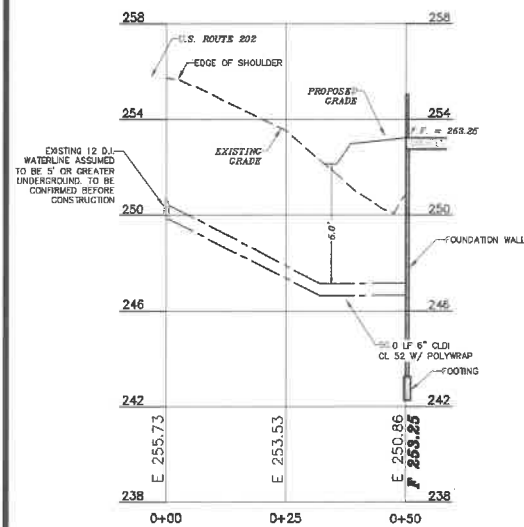




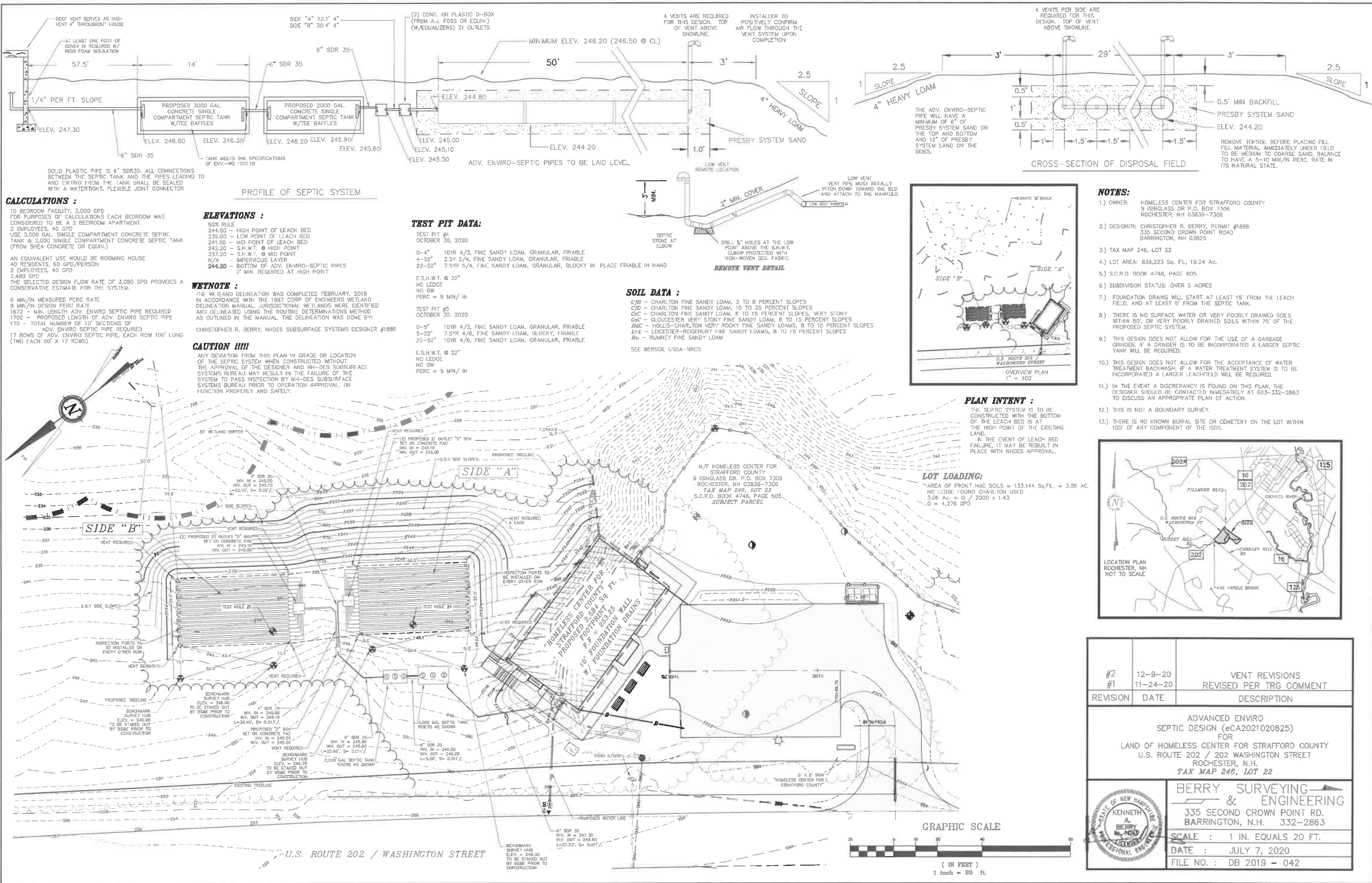
- NOTES:**
- OWNER & APPLICANT: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03839-7306
 - TAX MAP 246, LOT 22
 - LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
 - S.C.R.D.: BOOK 4748, PAGE 605
 - THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF TAX MAP 246, LOT 22.
 - SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.

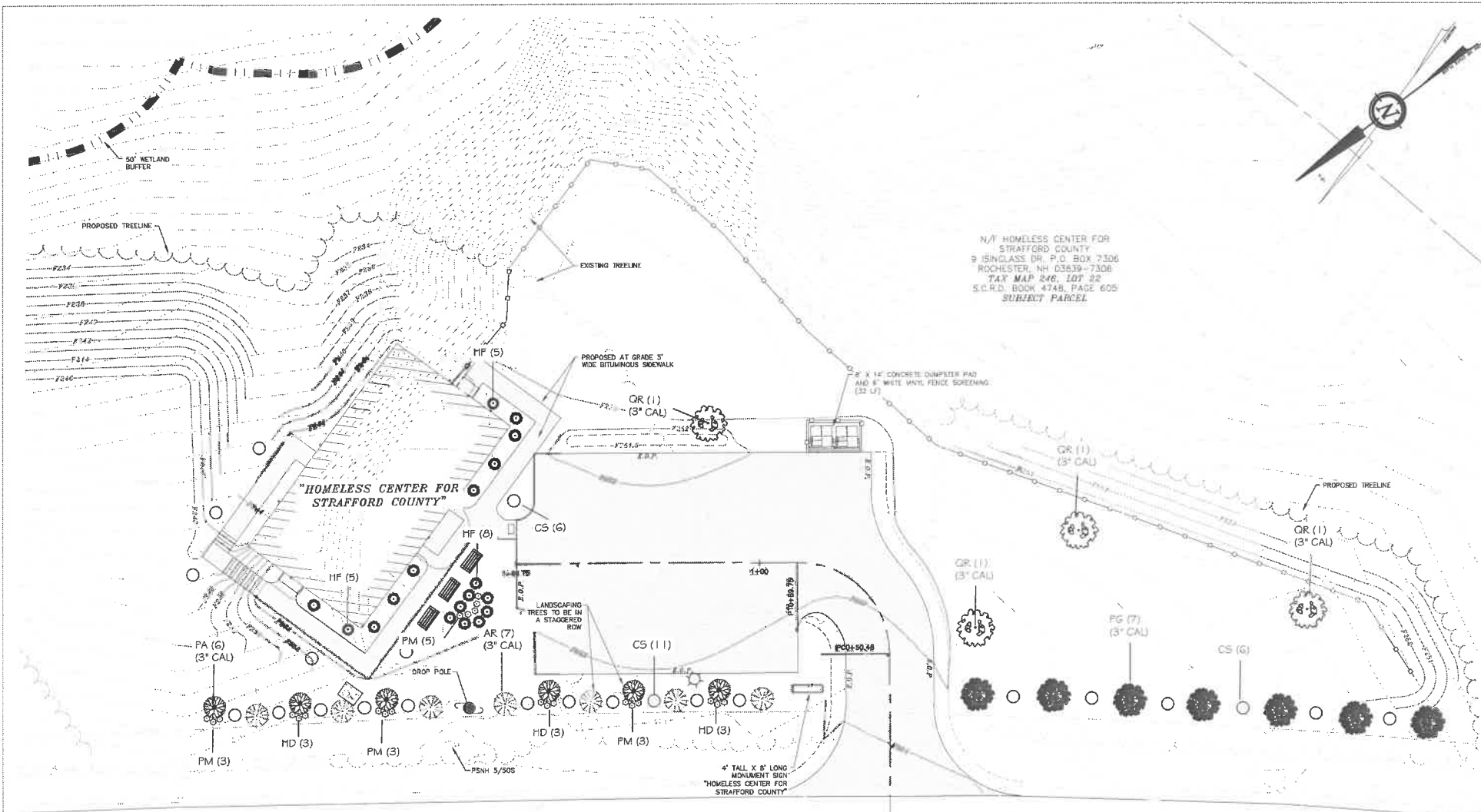


PROFILE VIEW WATERLINE 0+00 - 0+64.50

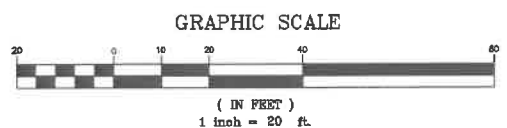


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N/T HOMELESS CENTER FOR STRAFFORD COUNTY
9 BINGHAM DR. P.O. BOX 7306
ROCHESTER, NH 03619-7306
TAX MAP 246, LOT 22
S.C.R.D. BOOK 4748, PAGE 605
SUBJECT PARCEL



- NOTES:**
1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
 2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
 3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
 4. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
 5. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
 6. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
 7. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
 8. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
 9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
 10. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
 11. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH
 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
 13. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
 14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
 15. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
 17. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
 18. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
 19. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
 20. TREES ARE TO BE 6' TALL AT PLANTING.
 21. ALL PLANT STOCK SHALL CONFORM TO ANSI Z26.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
 22. 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL)

- SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
23. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
 24. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON PLANS.
 25. TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
 26. ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
 27. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
 28. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ONGOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
 29. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
 30. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NO LESS THAN ONE FULL YEAR FROM THE TIME OF INSTALLATION. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE OWNER IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
 31. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, THAT HAS LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESS PRUNING OR INADEQUATE OR IMPROPER CARE, OR IS, IN THE OPINION OF THE OWNER, IN UNHEALTHY OR UNSIGHTLY CONDITION.
 32. THE CONTRACTOR IS TO USE TEMPORARY MEASURES FOR WATERING PLANTS DURING THE ESTABLISHMENT PERIOD. INCLUDING CONNECTING TEMPORARY HOSES TO THE STRUCTURE WATER SUPPLY LINE AND UTILIZING SPRINKLERS UNTIL 85% GROWTH OCCURS.

- PLANTING NOTES:**
1. CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIAL.
 2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS IMPACTED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
 3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
 4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE REMOVED IN A LEGAL MANNER.
 5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD HEALTH & SHOWING GROWTH FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT SOOT TO OWNER AND AT OWNERS RISK, ANY DEAD AND DISEASED PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS. THIS PERIOD COMMENCES FROM DATE OF REPLACEMENT PLANTS APPROVAL BY L.A.
 6. ALL BEDS TO BE MULCHED WITH 3" DEEP SHREDDED BARK UNLESS NOTED OTHERWISE.
 7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.
 8. ALL PLANT MATERIAL IS TO COMPLY WITH THE CITY OF ROCHESTER TREE REVIEW REGULATIONS, 149-14103, SUCH THAT THERE SHALL BE DECIDUOUS SHADE TREES PLANTED ADJACENT TO THE FRONTING OF THE PARCELS LOTS AND SHRUBS PLANTED 2 FEET OR WITHIN THE PERMEABLE BUFFER SET PLANT LIST FOR SPECIES AND SIZE OF PLANTS.
- TEMPORARY WATERING NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR ASSURING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
 2. THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
 3. TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

PLANTING SCHEDULE			
Washington Street			
Botanical Name / Common Name	Size	Qty	Label
Trees			
<i>Quercus rubra</i> / Red Oak	3" Cal.	4	QR
<i>Platanus Acerifolia</i> / London Plane Tree	3" Cal.	6	PA
<i>Acer Rubrum</i> / Red Maple	3" Cal.	7	AR
<i>Picea glauca</i> / White Spruce	3" Cal.	7	PG
Shrubs			
<i>Comus sanguinea</i> 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	23	CS
Perennials			
<i>Hemerocallis</i> 'Big Time Happy' / Big Time Happy Daylily	#1	9	HD
<i>Hemerocallis</i> 'Pardon Me' / Pardon Me Daylily	#1	14	PM
Ground Covers			
<i>Dennstaedtia punctilobula</i> / Hay Scented Fern	#1	18	HF



- General Plant Maintenance Guide**
- General Plant Bed Maintenance:**
- All plant maintenance should be performed by a qualified horticulturist or licensed arborist. Cleaning the dead material out of the planting bed in the fall helps keep them from building up around the plants and in some cases killing the plants. Watering the trees over during dry periods will help get the plants established. Watering every year is not necessary. Water the old shrubs and trees in over half that is needed. When necessary only break over back of mulch and do not place the mulch closer than 2" to the trunks or stems of woody plants.
- Trees:**
- The first year watering during dry periods will be necessary.
 - 3" inches of mulch evenly used. The mulch should be kept 3 inches from the trunk.
 - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
 - Fertilization should occur prior to late 21" or after areas have dropped their leaves for the year.
 - Prune dead wood once a year.
 - Depending on the amount of compaction the best and easiest, cheap and safe way may be needed water time.
- Woody Shrubs:**
- The first year watering during dry periods will be necessary.
 - 3" inches of mulch evenly used. The mulch should be kept 3 inches from the stems.
 - Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
 - Fertilization should occur prior to late 21" or after the leaves have dropped their leaves or before dormancy for the year.
 - Prune dead wood once a year.
- Grasses:**
- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
 - Do not over mulch. Too much mulch will prevent the grass from developing into a strong clump.
- Perennials:**
- All perennials need to be pruned back after a dry down toward hard frost. A two-step method: first dead head or the flower heads and let drop to the ground for re-seeds. Second cut them back to 3" above the ground and remove the stems and leaf litter and place in compost. Do not over mulch. Too much mulch will prevent the growth and development.
 - Fertilizing perennials once in the spring with a slow release fertilizer will help the plants get going in the spring.
- www.terrainplanning.com 311 kast hill road hopkinton nh 03229 763-491-2322



311 kast hill road
hopkinton, nh 03229
603. 491. 2322
terrainplanning.com

WASHINGTON STREET

Site Location:
Washington Street
Rochester, NH
Tax Map 246, Lot 22

Prepared For:
Berry Surveying & Engineering
335 Second Crown Point Rd
Barrington, NH 03825

LANDSCAPE PLAN

DATE:

SCALE: 1" = 20'

PROJECT #: 19-042

Drawn By: ID

Checked By: ERB

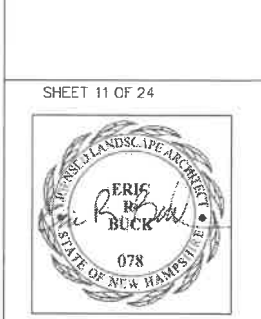
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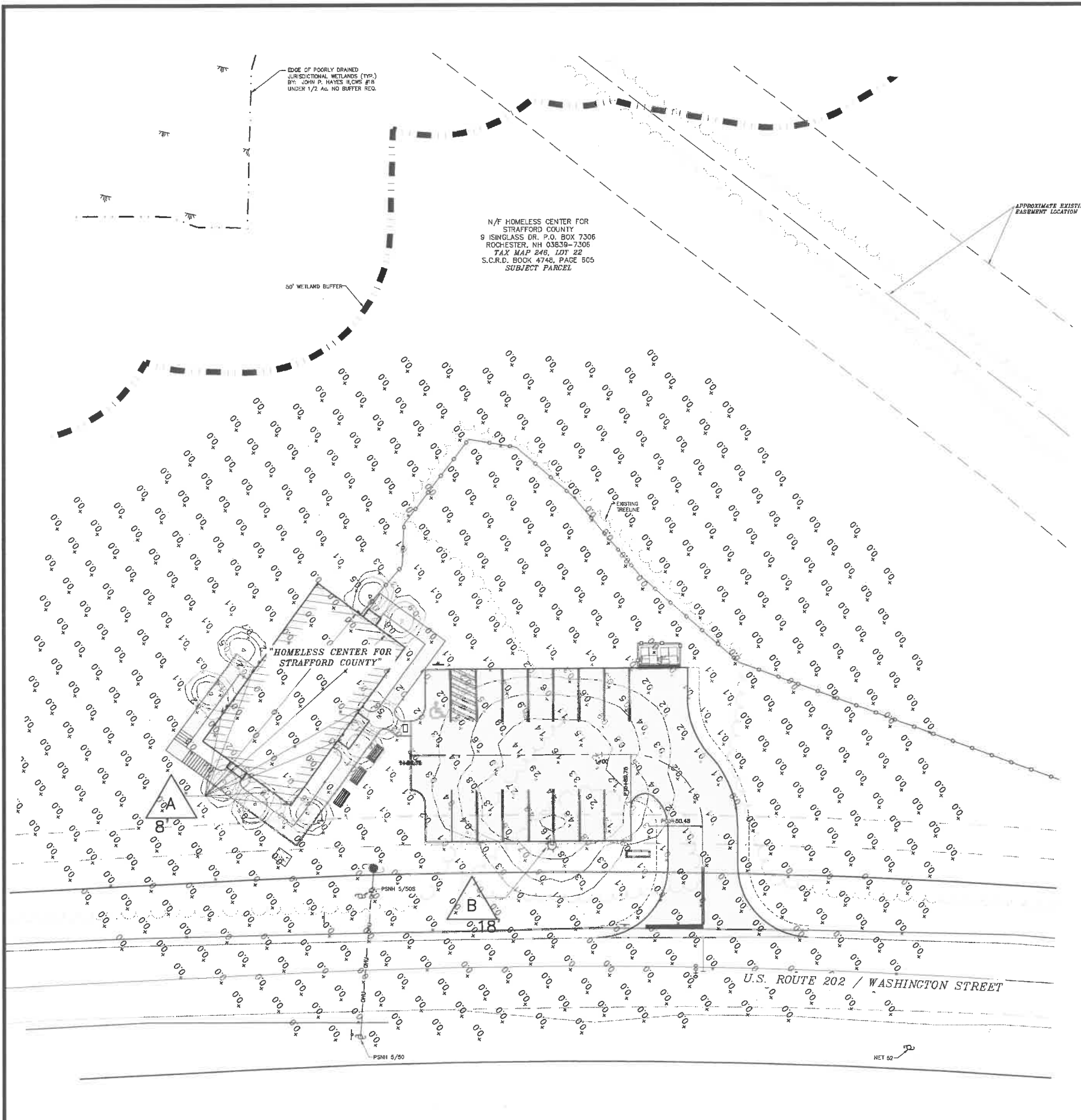
Issued for Client Review

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L - 01

SHEET 11 OF 24

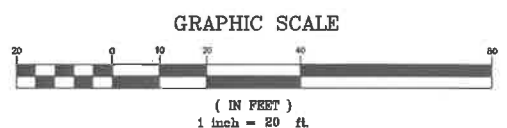




- NOTES:
1. OWNER: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DR. P.O. BOX 7306
ROCHESTER, NH 03839-7306
 2. TAX MAP 246, LOT 32
 3. LOT AREA: 838,223 Sq. Ft., 19.24 Ac.
 4. S.C.R.D. BOOK 4748, PAGE 605
 5. THE INTENT OF THIS PLAN IS TO PROVIDE THE LIGHTING SCHEME FOR THE PROPOSED SITE PLAN.
 6. ALL LAMPS ARE SHOWN ON THE SITE PLAN WITH LOCATION, TYPE AND HEIGHT.
 7. SEE CONSTRUCTION DETAILS FOR PRODUCT CUT SHEETS.
 8. LAMP "A" MOUNTED 8' ON BUILDING
LAMP "B" MOUNTED 18' ABOVE THE GROUND



Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor
□	A MOUNTED @ 8'	9	Lithonia Lighting	TWAC DC2012 (EMERGENCY ONLY)	SPECIFICATION ON BUILDING MOUNTED LUMINAIRE WITH ONE 20W 12V MR11 LAMP IN OPERATION	ONE 20-WATT CLEAR MR11 DC HALOGEN, HORIZONTAL POS.	1	TWAC_DC2012_EMRGE_NCY_ONLY.1	350	1
☆	B MOUNTED @ 18'	1	Lithonia Lighting	KAD 1505 R4 HS	Area Luminaire, 150W HPS, R4 Reflector, Full Cutoff, House Side Shield MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 150-WATT CLEAR ET-23.5 HIGH PRESSURE SODIUM, HORIZONTAL POSITION	1	KAD_1505_R4_HS.ies	10000	1



REVISION		DATE	DESCRIPTION
#5	2-8-21		FINALIZE PER NOD AND STATE PERMITS
#4	11-24-20		REVISION PER NOD PERMIT
#3	11-10-20		REVISED PER TRC REVIEW
#2	9-9-20		REVISED PER CLIENT REQUEST
#1	8-9-20		SUBMITTED FOR NHDOT DRIVEWAY PERMIT

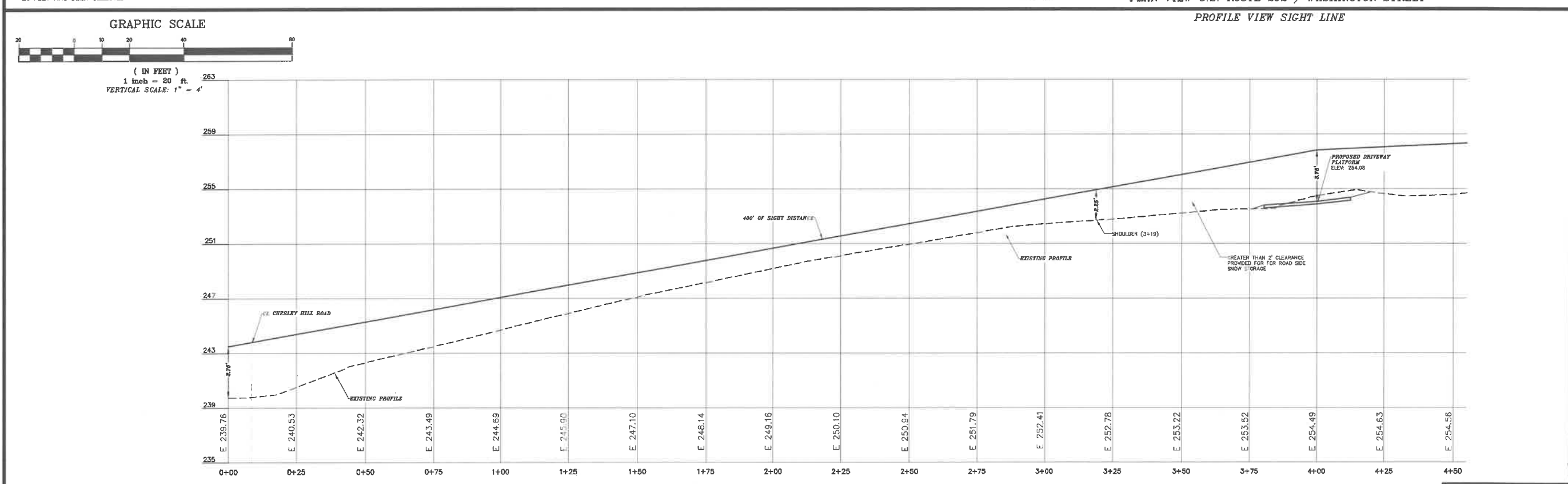
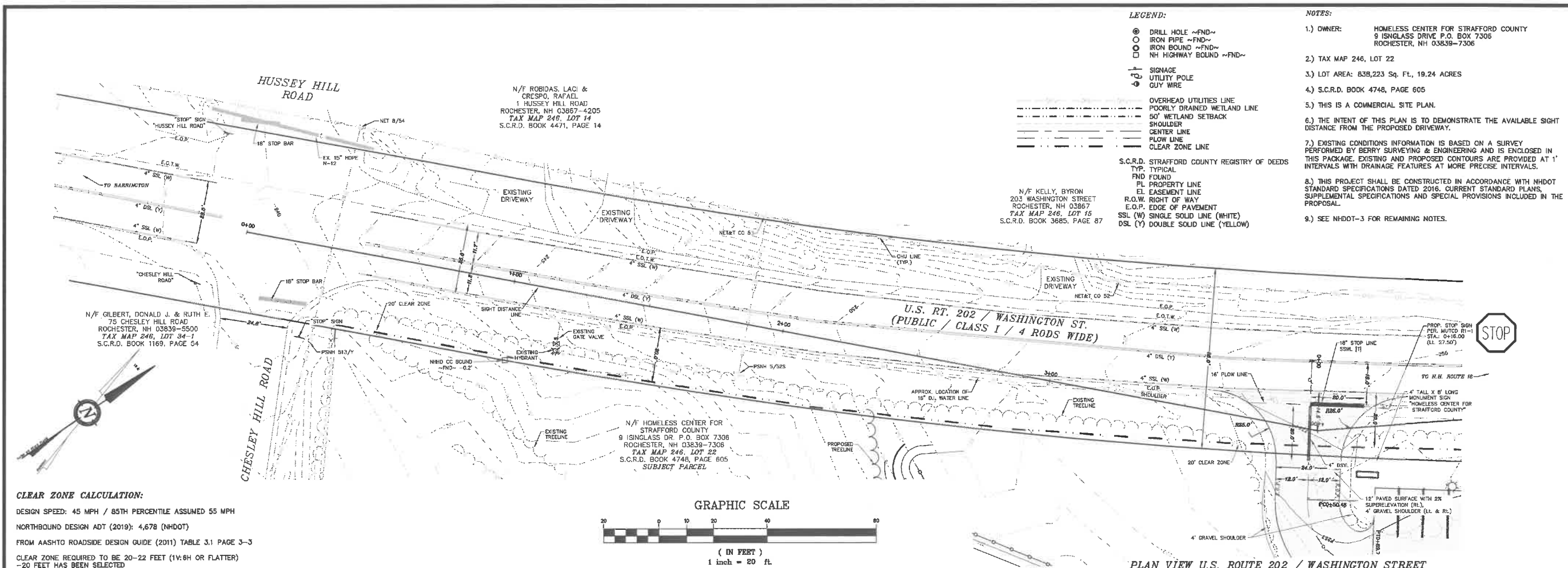
LIGHTING PLAN

LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: JULY 7, 2020
FILE NO.: DB 2019 - 042

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: 12/31/2024

SHEET 12 OF 24



NHDOT-1

REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NHDOT AND STATE PERMITS
#4	11-24-20	REVISIONS TO PERMITS
#3	11-24-20	REVISIONS TO PERMITS
#2	9-9-20	REVISIONS TO PERMITS
#1	9-9-20	REVISIONS TO PERMITS

NHDOT ACCESS PLAN NORTH BOUND
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : JULY 7, 2020

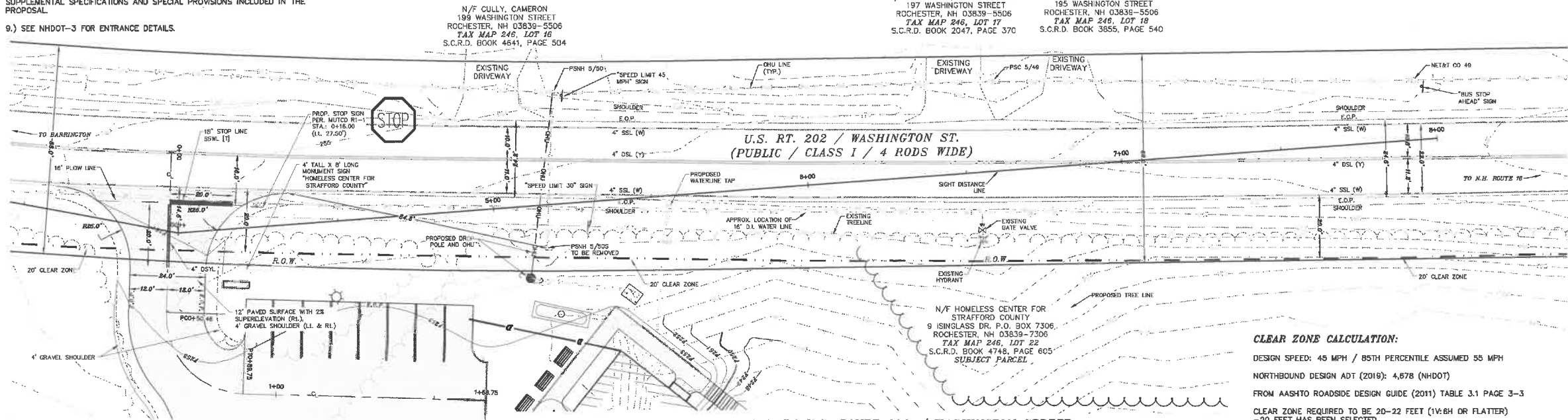
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
BERRY SURVEYING & ENGINEERING
REGISTERED PROFESSIONAL ENGINEER

SHEET 13 OF 24

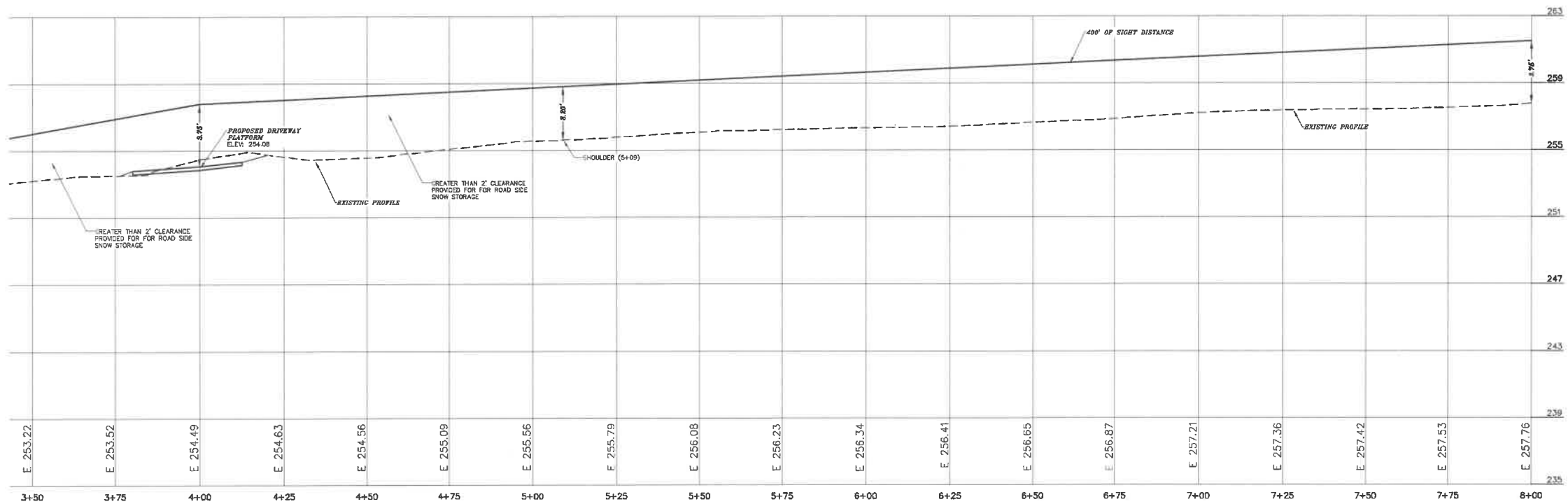
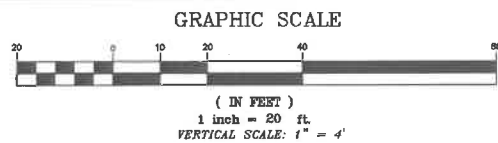
NOTES:

- 1.) OWNER: HOMELESS CENTER FOR STRAFFORD COUNTY
9 ISINGLASS DRIVE P.O. BOX 7306
ROCHESTER, NH 03839-7306
- 2.) TAX MAP 246, LOT 22
- 3.) LOT AREA: 838,233 Sq. Ft., 19.24 ACRES
- 4.) S.C.R.D. BOOK 4748, PAGE 605
- 5.) THIS IS A COMMERCIAL SITE PLAN.
- 6.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE AVAILABLE SIGHT DISTANCE FROM THE PROPOSED DRIVEWAY.
- 7.) EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE. EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 8.) THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDOT STANDARD SPECIFICATIONS DATED 2016. CURRENT STANDARD PLANS, SUPPLEMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS INCLUDED IN THE PROPOSAL.
- 9.) SEE NHDOT-3 FOR ENTRANCE DETAILS.

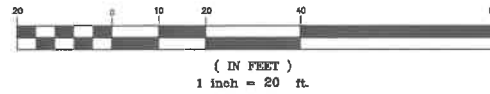


PLAN VIEW U.S. ROUTE 202 / WASHINGTON STREET

PROFILE VIEW SIGHT LINE



GRAPHIC SCALE



LEGEND:

- DRILL HOLE ~FND~
- IRON PIPE ~FND~
- IRON BOUND ~FND~
- NH HIGHWAY BOUND ~FND~
- SIGNAGE
- UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITIES LINE
- POORLY DRAINED WETLAND LINE
- 50' WETLAND SETBACK
- SHOULDER
- CENTER LINE
- FLOW LINE
- CLEAR ZONE LINE

S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FND FOUND
PL PROPERTY LINE
EL EASEMENT LINE
R.O.W. RIGHT OF WAY
E.O.P. EDGE OF PAVEMENT
SSL (W) SINGLE SOLID LINE (WHITE)
DSL (Y) DOUBLE SOLID LINE (YELLOW)

CLEAR ZONE CALCULATION:

DESIGN SPEED: 45 MPH / 85TH PERCENTILE ASSUMED 55 MPH
NORTHBOUND DESIGN ADT (2019): 4,678 (NHDOT)
FROM AASHTO ROADSIDE DESIGN GUIDE (2011) TABLE 3.1 PAGE 3-3
CLEAR ZONE REQUIRED TO BE 20-22 FEET (1V:6H OR FLATTER)
-20 FEET HAS BEEN SELECTED

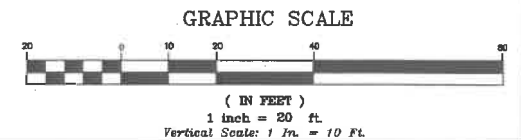
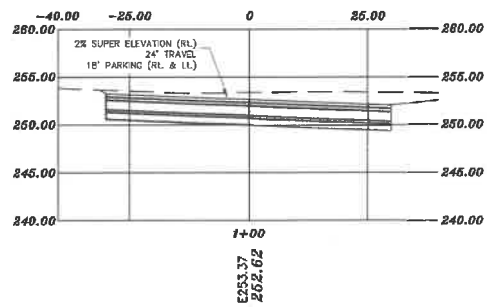
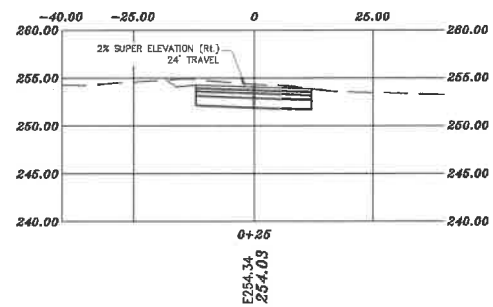
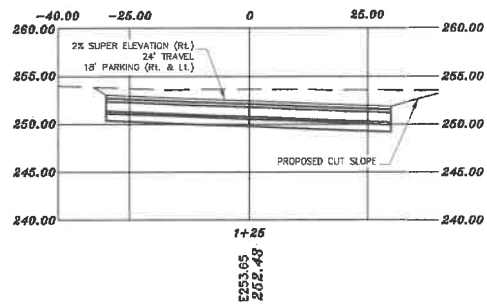
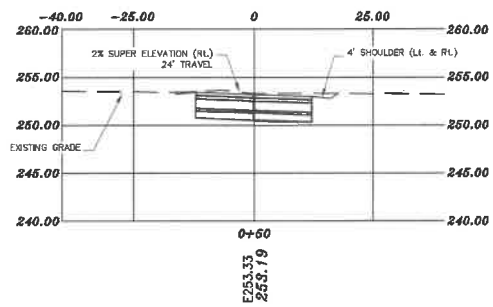
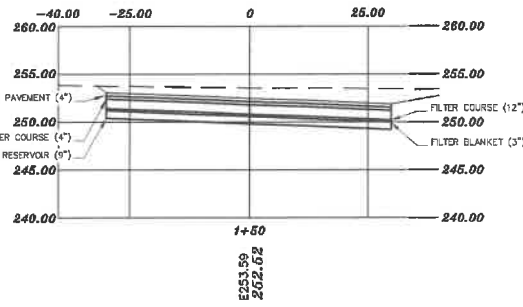
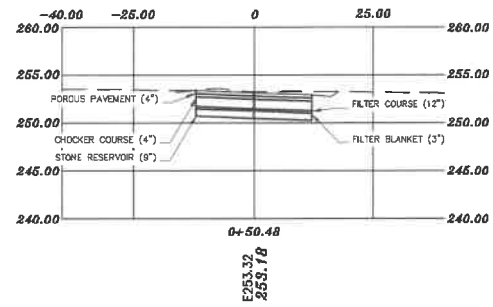
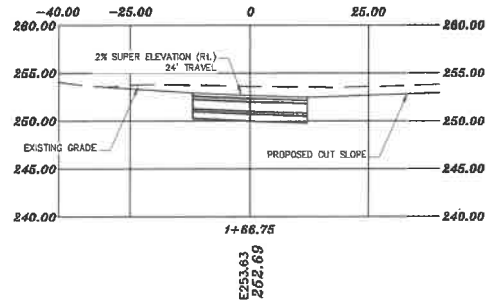
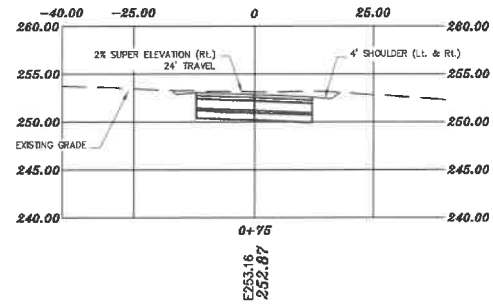
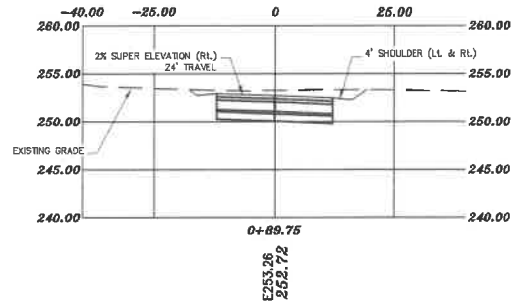
REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NHDOT AND STATE PERMITS
#4	2-1-21	REVISED PER NHDOT COMMENT
#3	11-24-20	REVISED PER TRG REVIEW
#2	11-10-20	REVISED PER CLIENT REQUEST
#1	9-9-20	SUBMITTED FOR NHDOT DRIVEWAY PERMIT

NHDOT ACCESS PLAN SOUTH BOUND
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
PROFESSIONAL ENGINEER

NHDOT-2
SHEET 14 OF 24



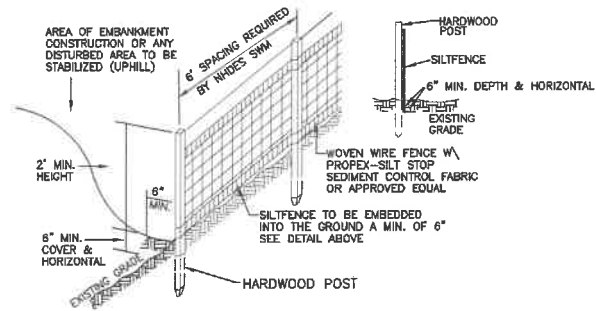
REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NHD AND STATE PERMITS
#4	11-24-20	REVISED PER NHD PERMIT
#3	11-10-20	REVISED PER NHD PERMIT
#2	9-9-20	REVISED PER CLIENT REQUEST
#1		SUBMITTED FOR NHDOT DRIVEWAY PERMIT

DRIVEWAY CROSS SECTIONS 0+00 - 1+66.75
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
BERRY
PROFESSIONAL ENGINEER
LICENSED

E1



SILT FENCE CONSTRUCTION SPECIFICATIONS

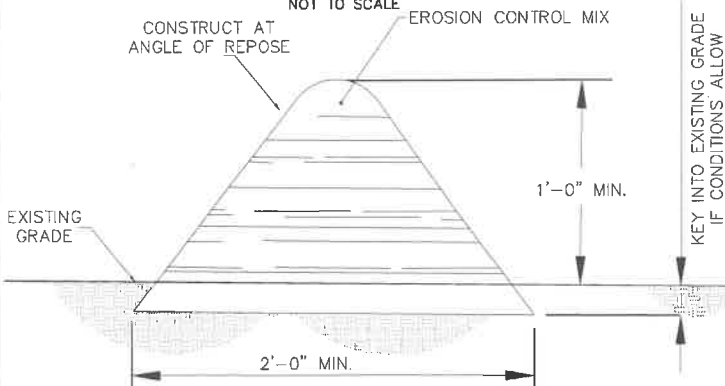
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL
NOT TO SCALE

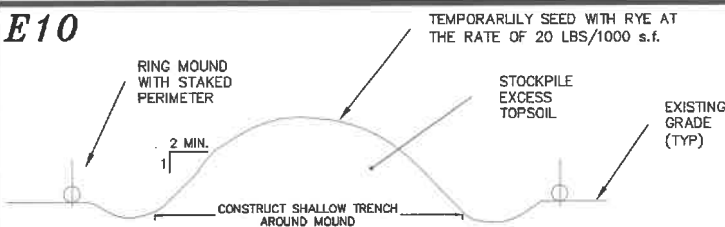
E5

EROSION CONTROL MIX BERM
NOT TO SCALE

EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDED BARK, STUMP GRINDINGS, COMPOSED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
5. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
6. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
7. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
8. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
9. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E10

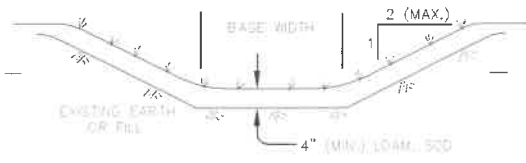


TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, SOIL STOCKPILE PRACTICES, PAGE 46.

TOPSOIL STOCKPILE MOUND

NOT TO SCALE

E2



GRASS CONVEYANCE SWALE

NOT TO SCALE

INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.

MOW GRASS ANNUALLY TO A DEPTH OF 4".

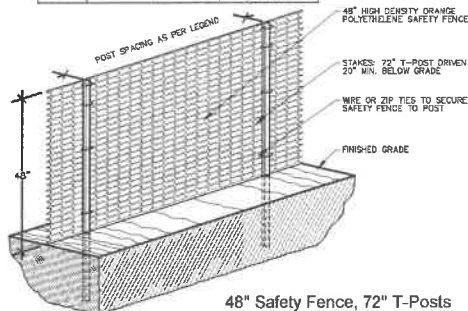
INSTALL STABILIZATION MATTING DURING CONSTRUCTION

TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5 TREATMENT SWALES, PAGE 123.

E3

CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



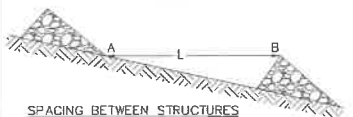
48" Safety Fence, 72" T-Posts

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

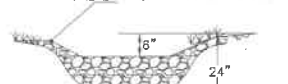
STONE CHECK DAM

NOT TO SCALE

THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.

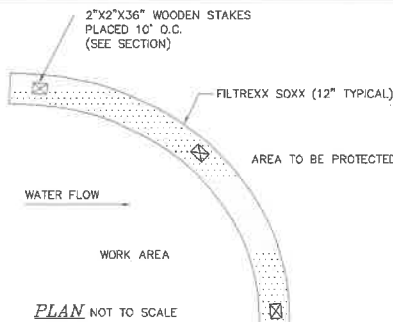


NOTE: KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.



1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
3. THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
4. THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
5. THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
6. CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
7. TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

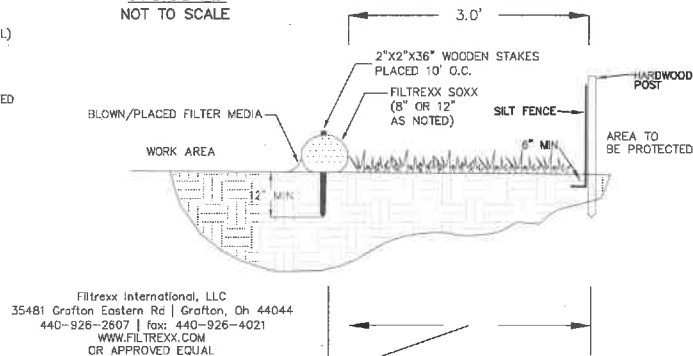
E6



PLAN NOT TO SCALE

NOTES

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILT/SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILT/SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
7. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
8. TO BE CONSTRUCTED IAW FILTREXX, SECTION 1: EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL.

FILTREXX SEDIMENT CONTROL
NOT TO SCALE

SECTION NOT TO SCALE

Filtrexx International, LLC
35481 Grafton Eastern Rd | Grafton, OH 44044
440-926-2807 | fax: 440-926-4021
WWW.FILTREXX.COM
OR APPROVED EQUAL

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX OR ORANGE CONSTRUCTION FENCE AS NOTED.

E7

E9

CONSTRUCTION SEQUENCE:

1. CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REMOVED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
3. EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
4. CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
6. CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY. SEE BEST MANAGEMENT PRACTICES FOR BLASTING ON SHEET C-102.
7. START BUILDING CONSTRUCTION.
8. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
9. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 45 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED, ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.
10. CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT. EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OF RAINFALL.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
14. SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
15. FINISH PAVING ALL ROADWAYS.
16. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

E-101

FINALIZE PER NHD AND STATE PERMITS
REVISED PER NHDOT COMMENT
REVISED PER TRG REVIEW
REVISED PER CLIENT REQUEST
SUBMITTED FOR NHDOT DRIVEWAY PERMIT

DESCRIPTION

DATE

REVISION

EROSION & SEDIMENT CONTROL DETAILS
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JULY 7, 2020

FILE NO.: DB 2019 - 042



SHEET 17 OF 24

E11

NOTE: Temporary seed mix for stabilization of turf shall be winter rye or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15. If permanent seeding not yet complete.

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY DRAINED	POORLY DRAINED
SHEEP CUTS AND FILL, BORDERS AND TERRACE AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	GOOD	FAIR
	C	FAIR	FAIR	EXCELLENT	POOR
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, DRIVEWAYS, UNPAVED LOTS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	GOOD	FAIR
	C	GOOD	GOOD	GOOD	FAIR
	D	GOOD	GOOD	GOOD	FAIR
PLAY AREAS AND ATHLETIC FIELDS	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL, PFT, SEE MH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL FILL.
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-35.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING

A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED.

WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDBED PREPARATION

A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.

B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND

A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE,

THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIME, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)

NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
RED TOP	20	0.45
TOTAL	60	1.35
B. TALL FESCUE	10	0.23
CREEPING RED FESCUE	10	0.23
CROWN VETCH	10	0.23
GRASS PEA	30	0.75
TOTAL	60 OR 55	0.85 OR 1.35
C. TALL FESCUE	24	0.55
CREEPING RED FESCUE	24	0.55
BIRDS FOOT TREFOIL	24	0.55
TOTAL	72	1.65
D. TALL FESCUE	20	0.45
GRASS PEA	30	0.75
TOTAL	50	1.20
E. CREEPING RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	100	2.30
TOTAL	150	3.45
F. TALL FESCUE 1	150	3.45

CONSERVATION MIX	POUNDS PER ACRE	POUNDS PER 1,000 S.F.
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TALL FESCUE (35%)	15	0.35
CREEPING RED FESCUE (25%)	15	0.35
ANNUAL RYEGRASS (12%)	5	0.12
PERENNIAL RYEGRASS (10%)	5	0.12
KENTUCKY BLUEGRASS (10%)	15	0.35
WHITE CLOVER (3%)	7	0.16

B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

C. REFER TO TABLE (G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE (H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT TREFOIL, AND PLATYSA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.

D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

4. MULCH

A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.

B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.

5. MAINTENANCE TO ESTABLISH A STAND

A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.

B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.

C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

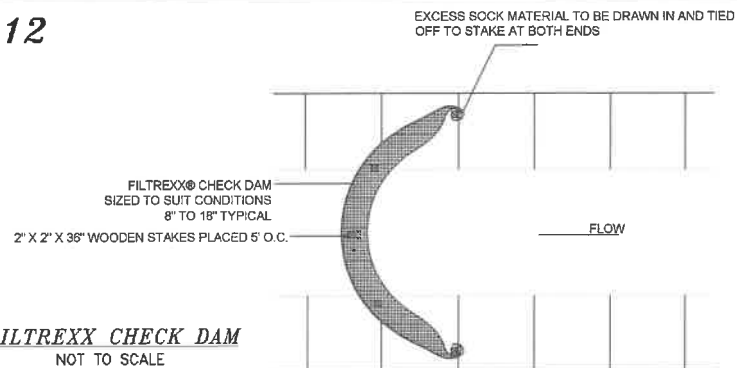
D. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, PERMANENT VEGETATION, PAGE 60.

7. SEE RAIN GARDEN AND INFILTRATION DETAIL SHEETS FOR SPECIFIC PLANTING INSTRUCTIONS AND SEEDING.

E12

FILTREXX CHECK DAM

NOT TO SCALE



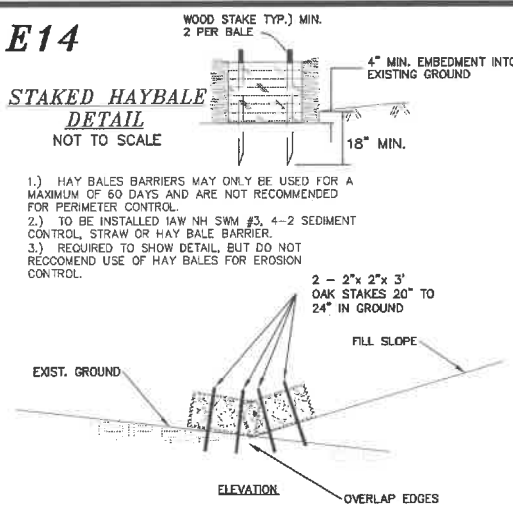
NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. CHECK DAM SHOULD BE USED IN AREAS THAT DRAIN 1 ACRE OR LESS.
3. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
4. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
5. CONTRACTOR IS REQUIRED TO BE A FILTREXX CERTIFIED™ INSTALLER.

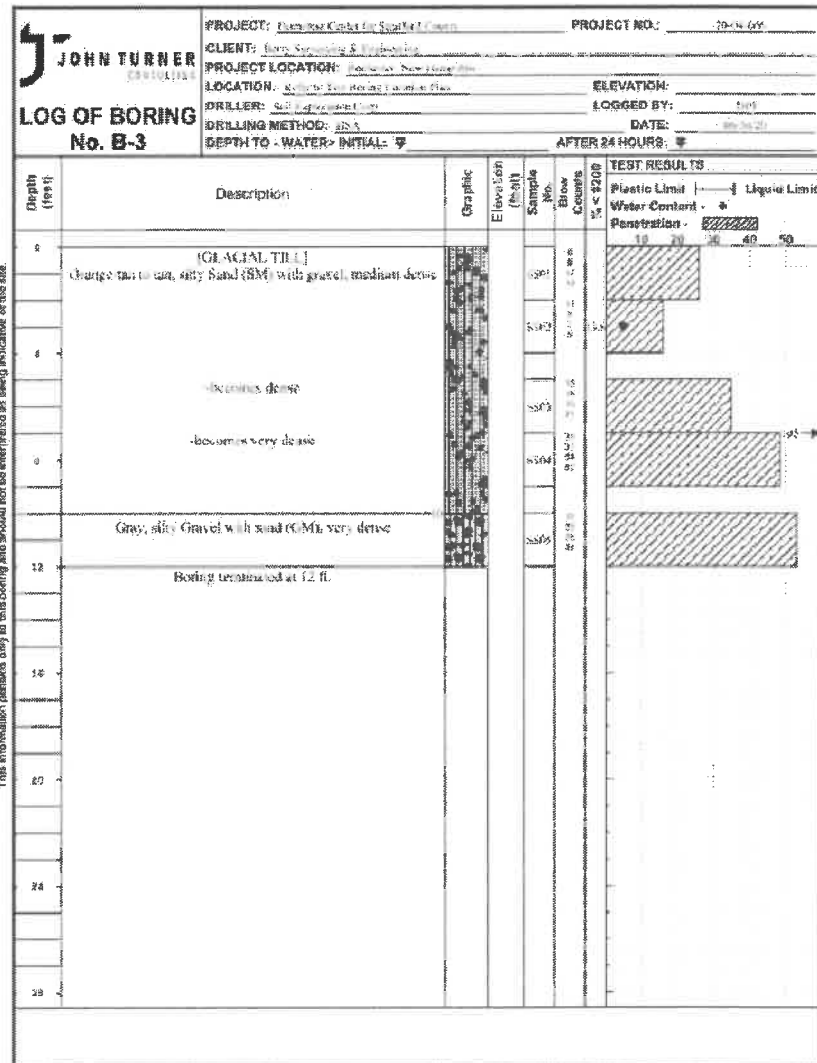
E14

STAKED HAYBALE DETAIL

NOT TO SCALE



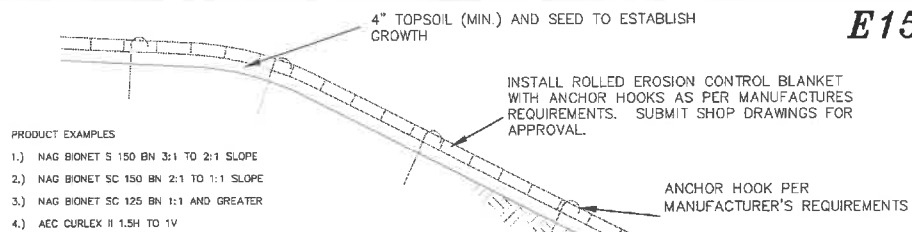
E17



Figure

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E15



PRODUCT EXAMPLES

- 1.) NAG BIONET S 150 BN 3:1 TO 2:1 SLOPE
- 2.) NAG BIONET SC 150 BN 2:1 TO 1:1 SLOPE
- 3.) NAG BIONET SC 125 BN 1:1 AND GREATER
- 4.) AEC CURLEX II 1.5H TO 1V

1. TO BE CONSTRUCTED IAW NH SWM #3 4-1 EROSION CONTROL PRACTICES, TEMPORARY EROSION CONTROL BLANKET, PAGE 59.
2. ANCHOR PATTERN AND INSTALLATION INSTRUCTIONS FROM NORTH AMERICAN GREEN (NAG) AND AMERICAN EROSION COMPANY (AEC) WILL BE FOLLOWED FOR EACH APPLICATION AND SLOPE CONDITIONS WILL APPLY.
3. SLOPES MORE GRADUAL THAN 3:1 MAY BE STABILIZED WITH VEGETATION OR HEC-2 (HYDRAULICALLY APPLIED EROSION CONTROL MIX)/BONDED FIBER MATRIX. HOWEVER THE ENGINEER RESERVES THE RIGHT TO REQUEST INCREASED RECB TO BE INSTALLED ON ANY SLOPE.

ROLLED EROSION CONTROL BLANKET (RECB) SLOPE STABILIZATION DETAIL

NOT TO SCALE

E16

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

E13

DEFINITION OF STABLE:

PER ENV-WO 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

FINALIZE PER NOD AND STATE PERMITS
REVISED PER NDOT COMMENT
REVISED PER TRG REVIEW
REVISED PER CLIENT REQUEST
SUBMITTED FOR NDOT DRIVEWAY PERMIT

DESCRIPTION

2-8-21
2-11-21
11-24-20
11-10-20
9-9-20

#5
#4
#3
#2
#1

REVISION

DATE

EROSION & SEDIMENT CONTROL DETAILS
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING

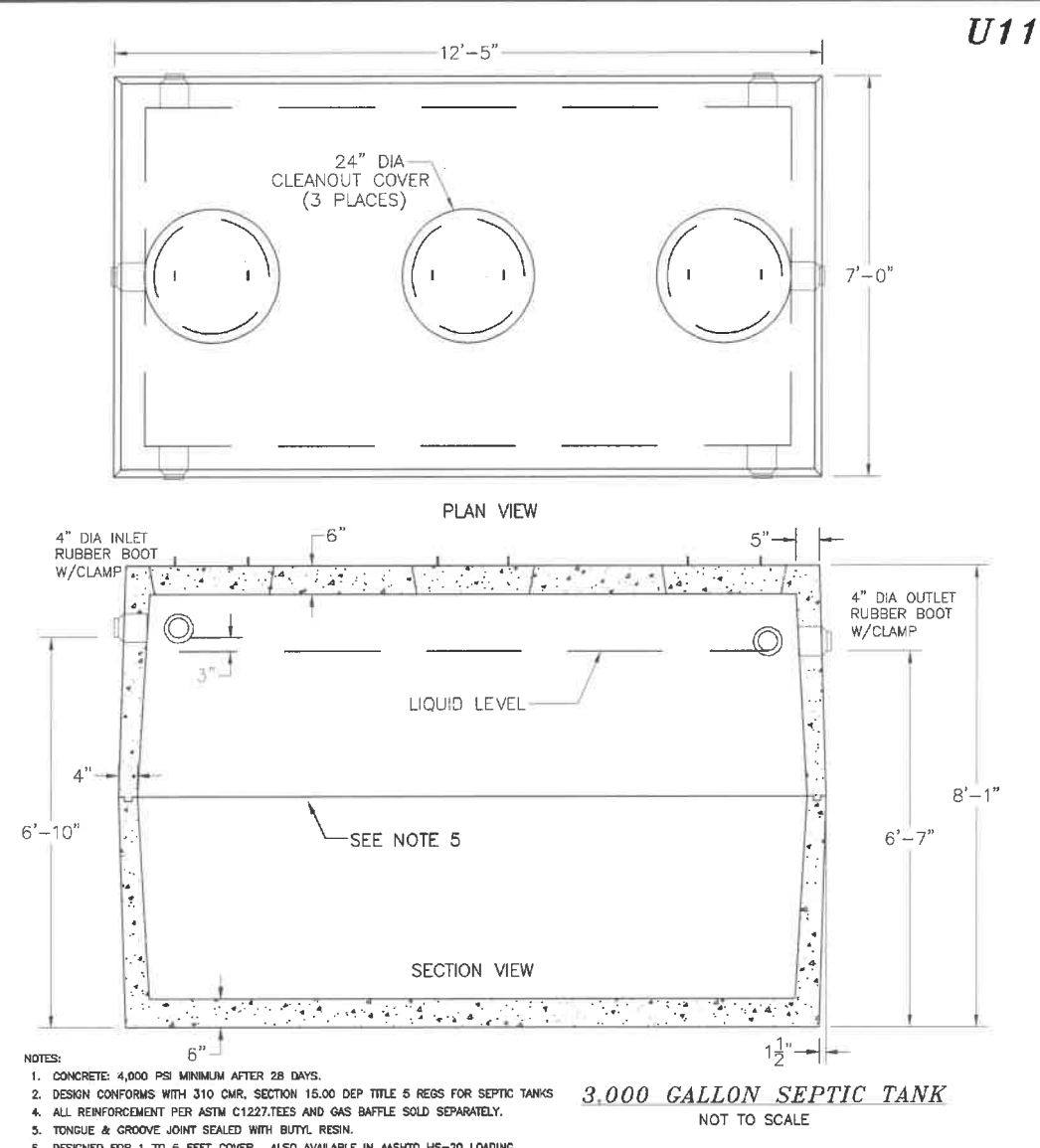
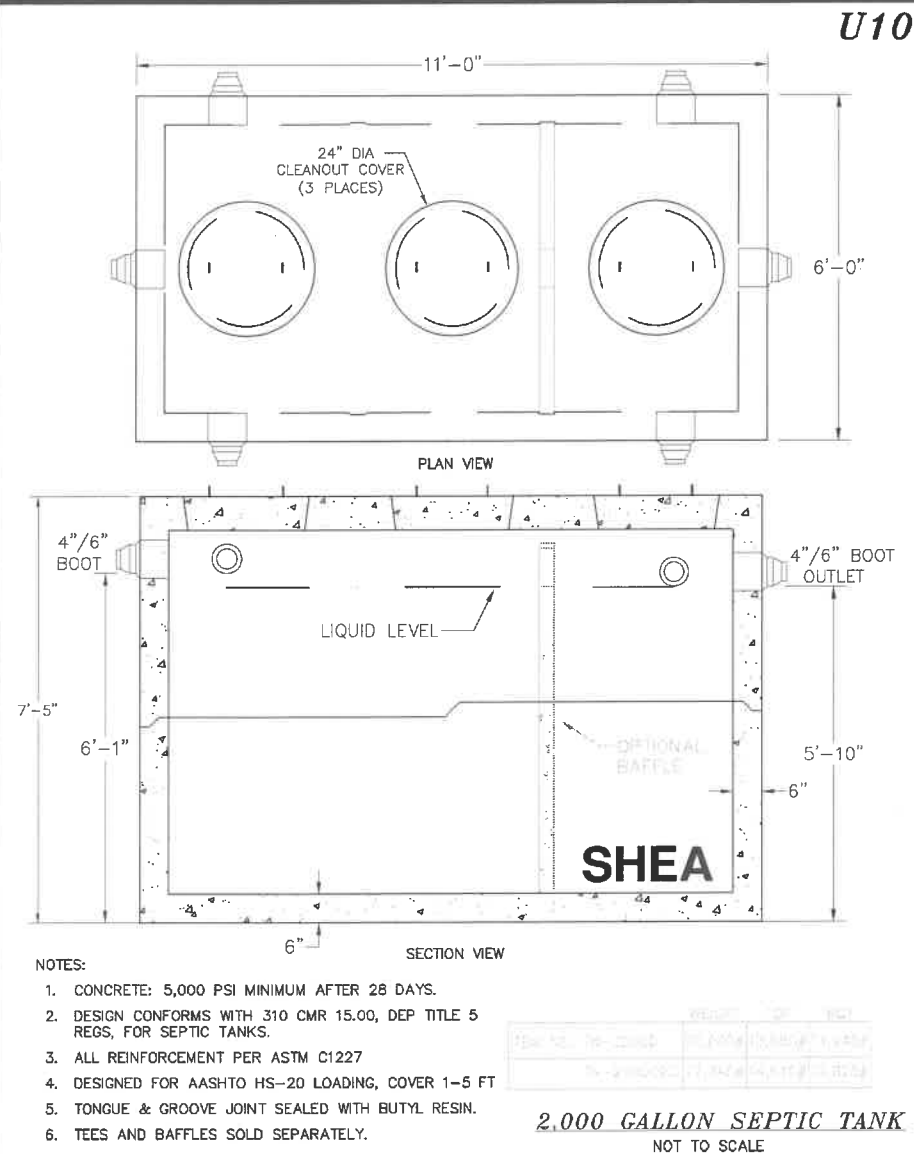
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE: AS NOTED

DATE: JULY 7, 2020

FILE NO.: DB 2019 - 042





UTILITY CONSTRUCTION DETAILS

LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : AS NOTED

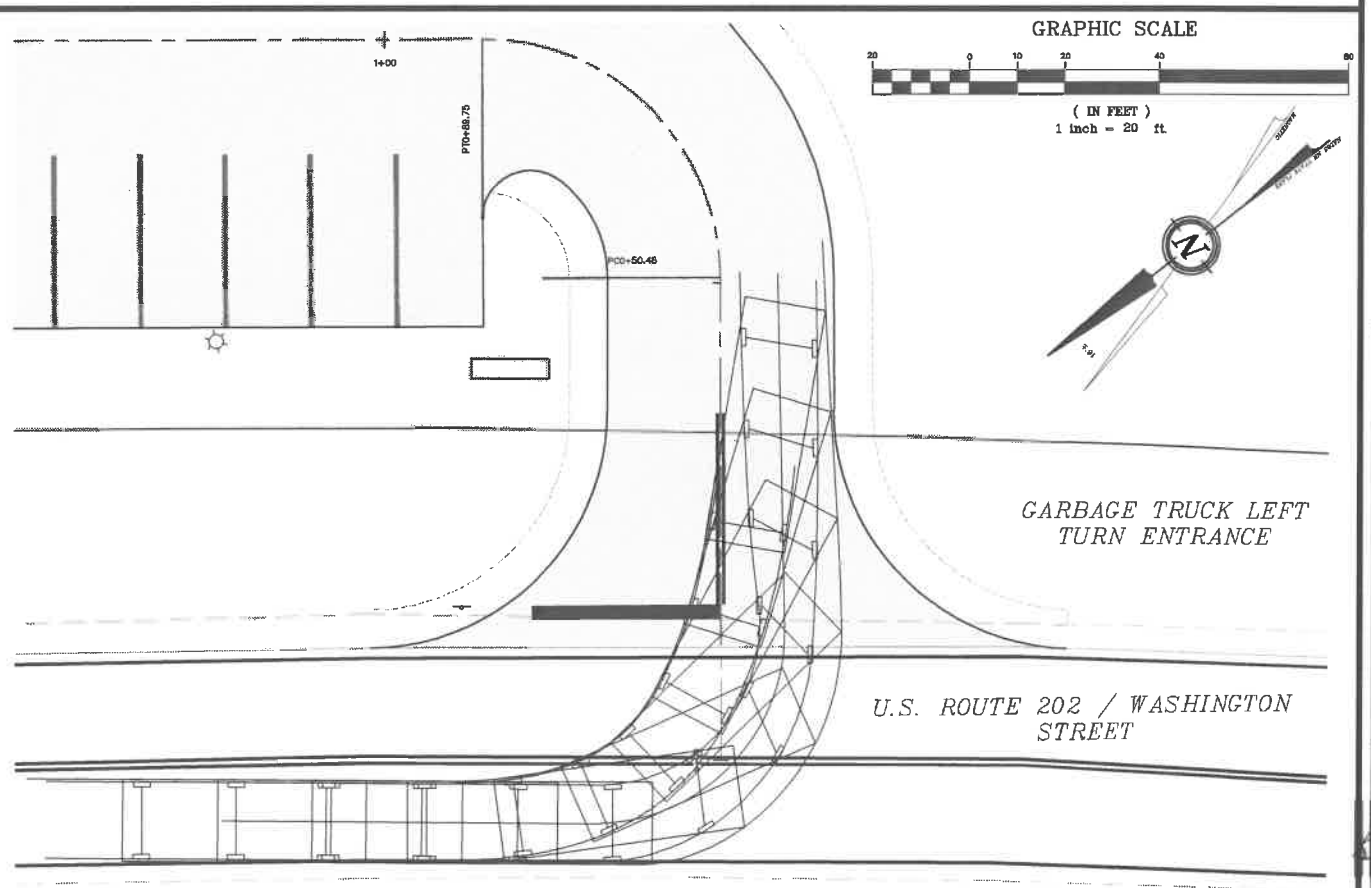
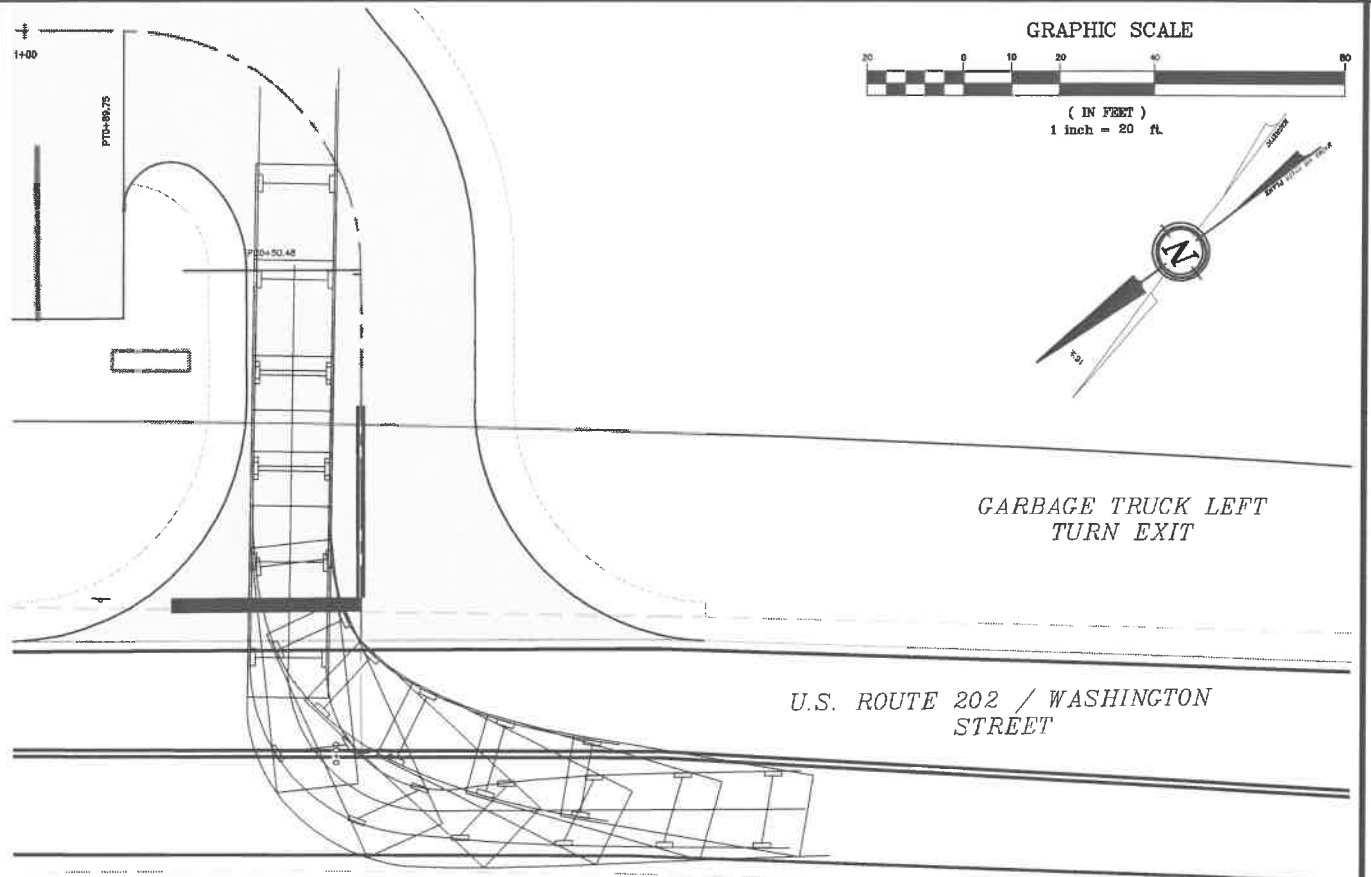
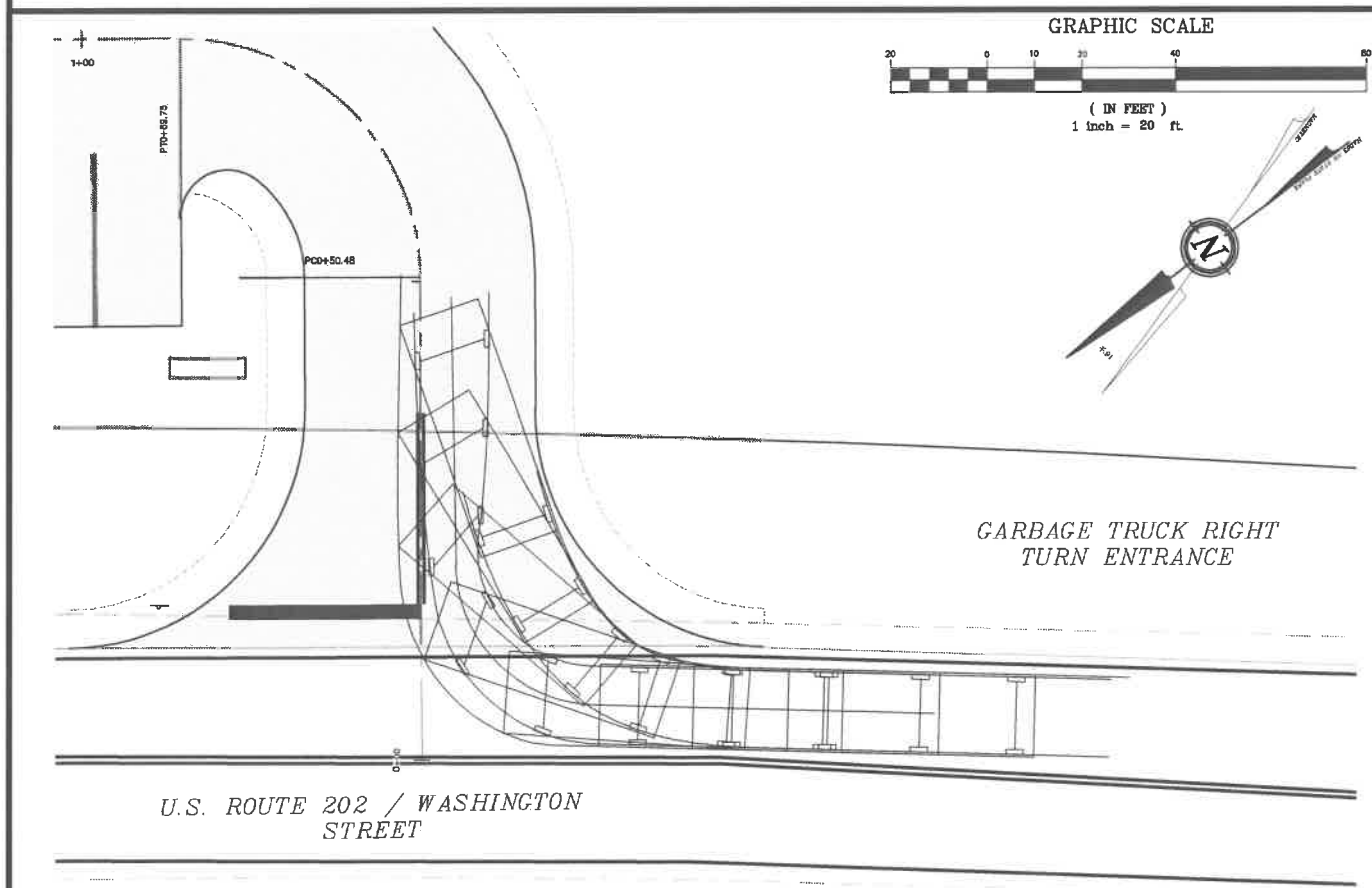
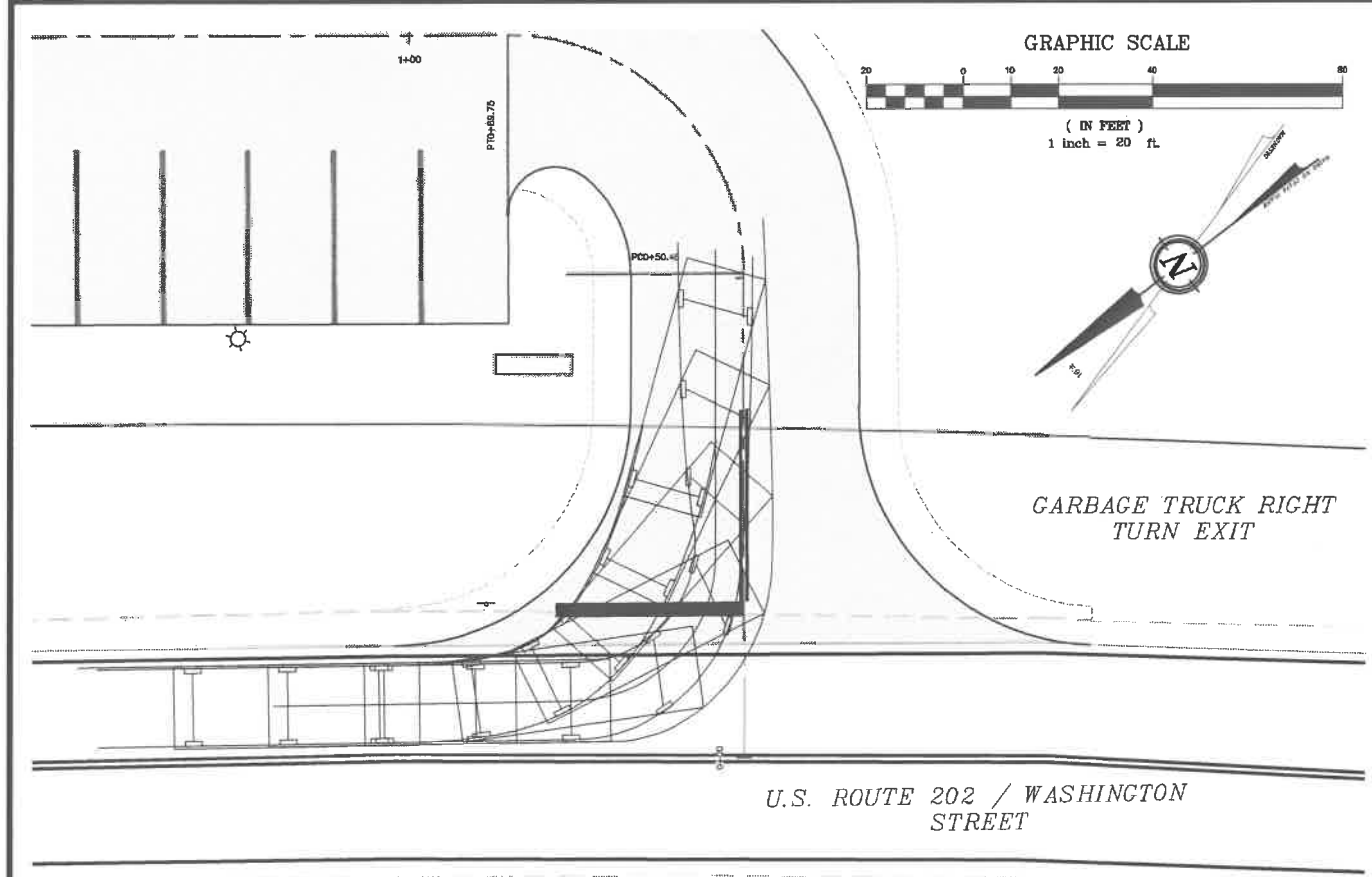
DATE : JULY 7, 2020

FILE NO. : DB 2019 - 042

#	REVISION	DATE	DESCRIPTION
#5			
#4			
#3			
#2			
#1			

FINALIZE PER NHD AND STATE PERMITS
2-8-21
2-1-21
11-24-20
11-10-20
9-9-20
REVISED PER NHDOT COMMENT
REVISED PER TRG REVIEW
REVISED PER CLIENT REQUEST
SUBMITTED FOR NHDOT DRIVEWAY PERMIT

SHEET 21 OF 24



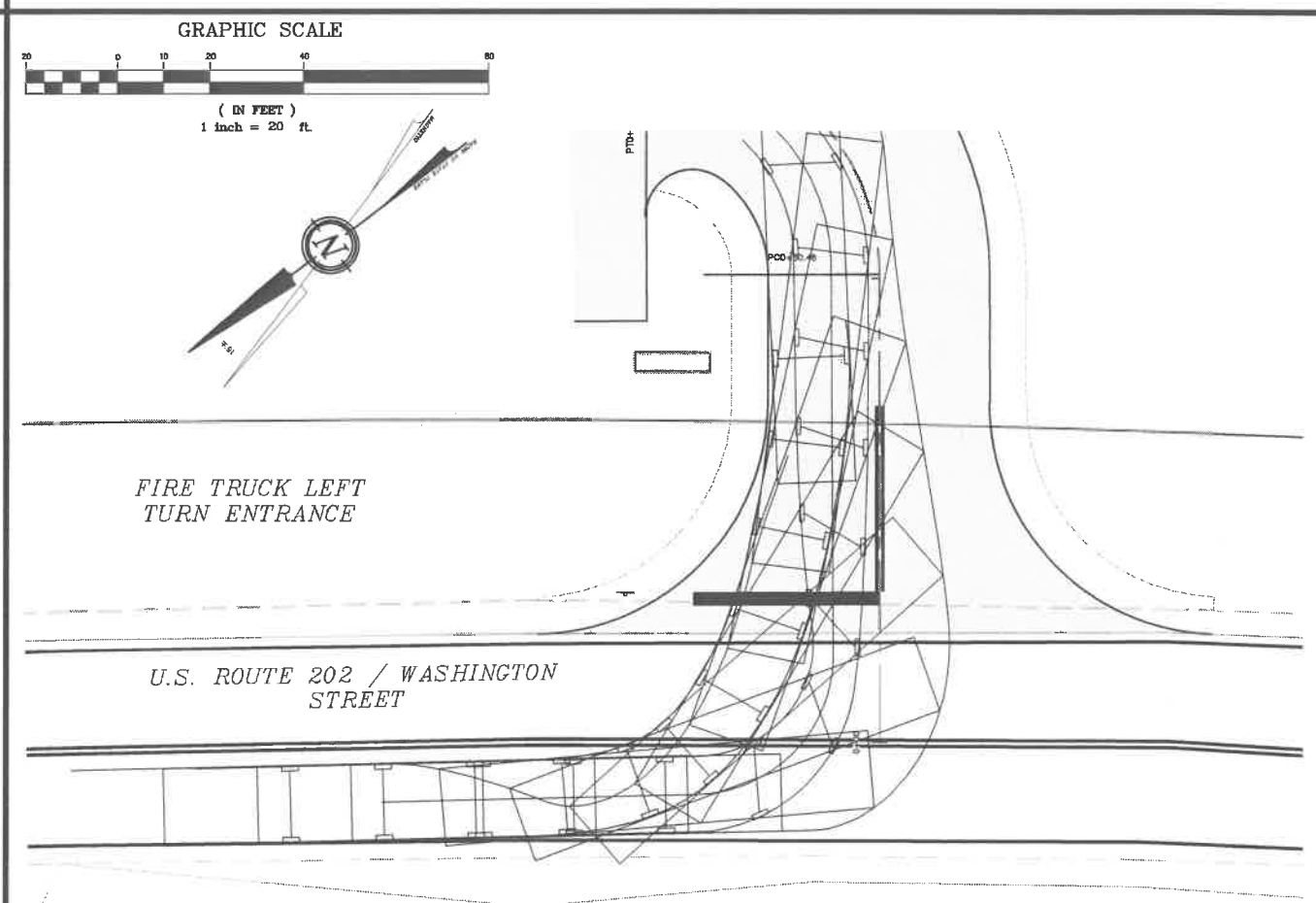
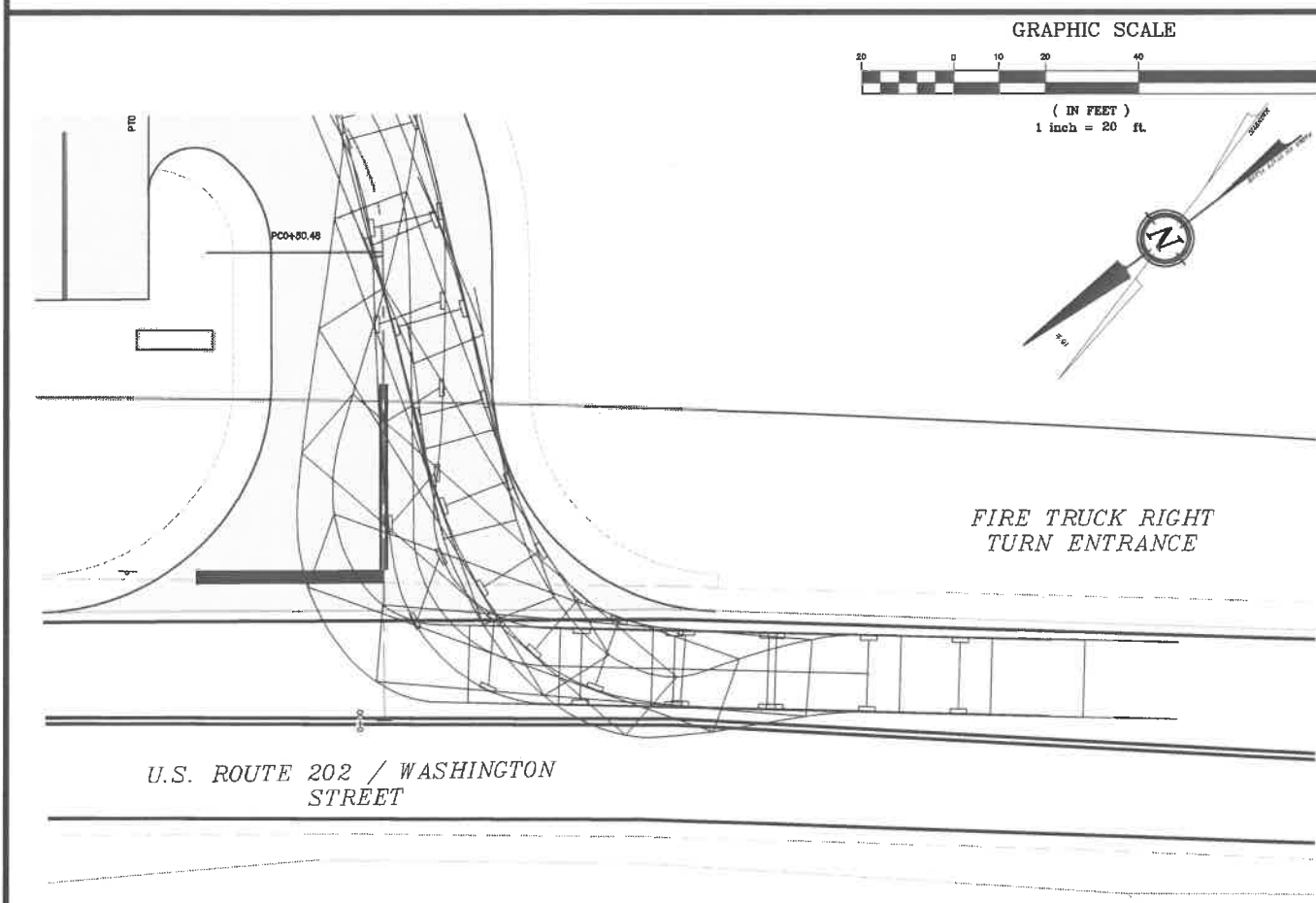
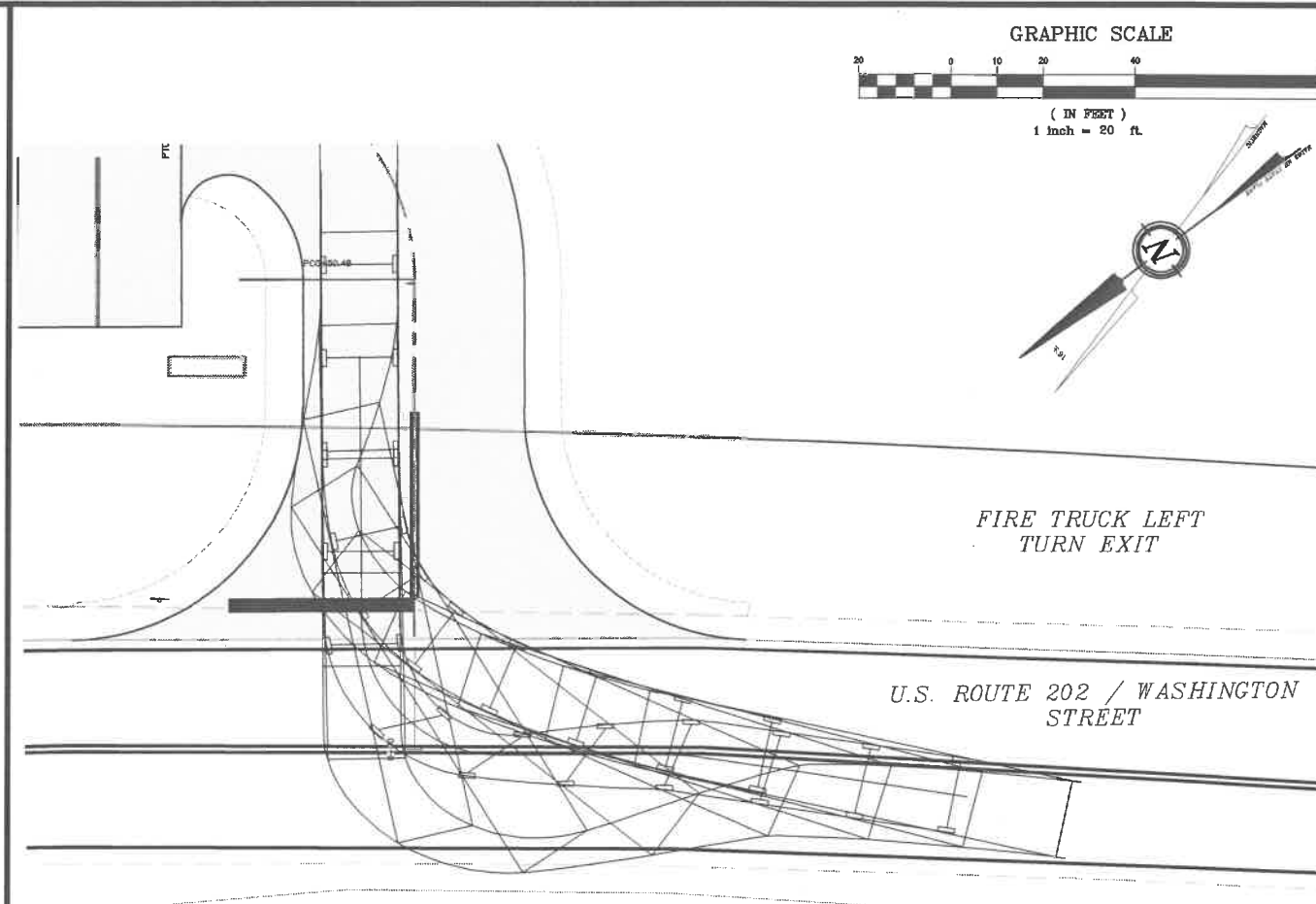
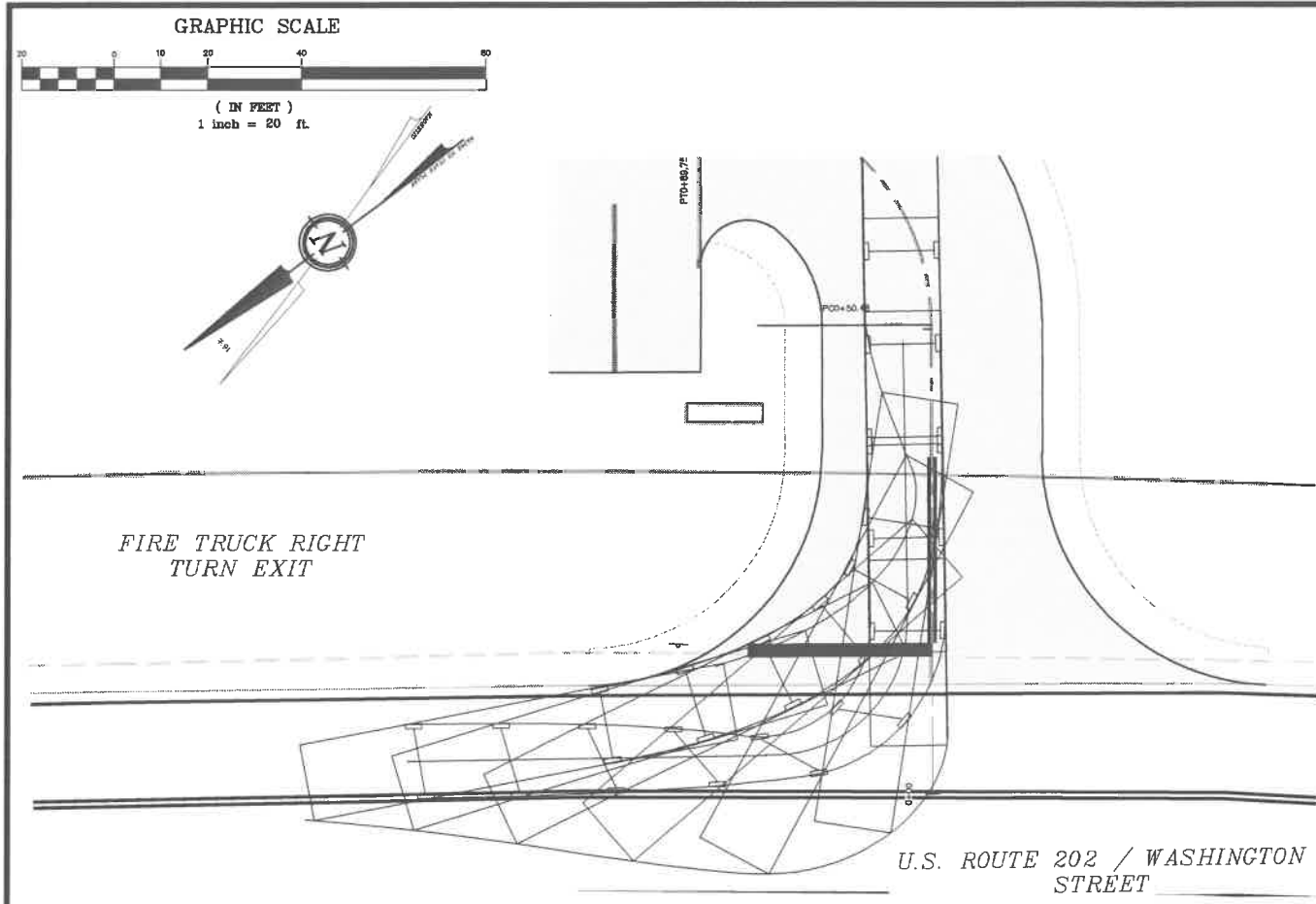
REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NHD AND STATE PERMITS
#4	11-24-20	REVISED PER NHDOT COMMENT
#3	11-10-20	REVISED PER NHDOT COMMENT
#2	9-9-20	REVISED PER CLIENT REQUEST
#1	9-9-20	SUBMITTED FOR NHDOT DRIVEWAY PERMIT

FRONT-END LOADING GARBAGE TRUCK TURN MOVEMENTS
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
PROFESSIONAL ENGINEER



REVISION	DATE	DESCRIPTION
#5	2-8-21	FINALIZE PER NOD AND STATE PERMITS
#4	2-8-21	REVISION FOR NOD AND STATE PERMITS
#3	11-24-20	REVISION FOR NOD AND STATE PERMITS
#2	11-10-20	REVISION FOR NOD AND STATE PERMITS
#1	9-9-20	SUBMITTED FOR NDOT DRIVEWAY PERMIT

ROCHESTER FIRE TRUCK TURN MOVEMENTS
LAND OF HOMELESS CENTER FOR STRAFFORD COUNTY
U.S. ROUTE 202 / 202 WASHINGTON STREET
ROCHESTER, N.H.
TAX MAP 246, LOT 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JULY 7, 2020
FILE NO. : DB 2019 - 042

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER