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LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



VESTED RESIDENTIAL SITE PLAN FOR HALF PEAK HOLDINGS, LLC LEDGEVIEW LOT 68 LEDGEVIEW DRIVE ROCHESTER, N.H. TAX MAP 251, LOT 68

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CITY OF ROCHESTER PLANNING DEPARTMENT.

OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: STONEY RIDGE ENVIRONMENTAL
CYNTHIA M. BALCIUS, CSS, CWS, CPESC
229 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 776-5825

VICINITY SKETCH
ROCHESTER, NH
SCALE: 1" = 350' ±



REQUIRED PERMITS:

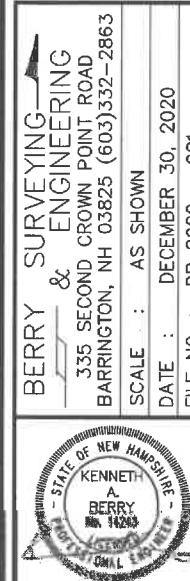
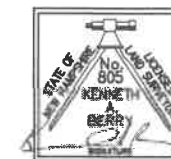
- 1.) NHDES ALTERATION OF TERRAIN: AOT-1937
- 2.) NHDES SEWER DISCHARGE: D2021-0304
- 3.) EPA NOTICE OF INTENT/SWPPP: NHR10018E
- 4.) DIVISION OF HISTORICAL RESOURCES #12019
- 5.) NATIONAL HISTORIC BUREAU #20-2030

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNTIL ALL REQUIRED PERMITS ARE OBTAINED AND PLANS ARE STAMPED FOR CONSTRUCTION.

NEW HAMPSHIRE FISH AND GAME NOTES:

- 1.) ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHREGVIEW@WILDLIFE.NH.GOV, EMAIL SUBJECT LINE: NHB20-2030, LEDGEVIEW LOT 68, WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
- 2.) THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.
- 3.) ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, AND INLET PROTECTION, CHECK DAMS, SEDIMENT TRAPS, AND SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH.
- 4.) ALL CURBING SHALL CONSIST OF SLOPED CURBING.



RESIDENTIAL SITE PLAN
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : AS SHOWN
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES AOT COMMENTS
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES AOT PERM/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WWEB RFM

200' ABUTTERS LIST:

- 1) N/F LEONARD, ROBERT J. & SARAH J.
13 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 58
S.C.R.D. BOOK 3235, PAGE 345
- 2) N/F SEANEY, CHESTER A. III & JEAN M.
15 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 87
S.C.R.D. BOOK 4203, PAGE 533
- 3) N/F AREL, JAMES J. & VICTORIA L.
17 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 38
S.C.R.D. BOOK 1501, PAGE 778
- 4) N/F MACOLEX, TYLER J.
21 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 39
S.C.R.D. BOOK 4201, PAGE 832
- 5) N/F ROY, MORGAN M. & WEDDROS, KATHERINE E.
23 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 40
S.C.R.D. BOOK 4644, PAGE 214
- 6) N/F POST, DALE A.
25 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 41
S.C.R.D. BOOK 2554, PAGE 314
- 7) N/F RIDGEVIEW ROCHESTER CONDO HOMEOWNERS ASSOC. C/O DAVID INGRAM
PO BOX 83
BARRINGTON, NH 03825
TAX MAP 251, LOT 57
S.C.R.D. BOOK 3260, PAGE 158
- 8) N/F CLOUGH, JON & CHRISTINE
75 BETTS ROAD
ROCHESTER, NH 03857
TAX MAP 251, LOT 5A
S.C.R.D. BOOK 4251, PAGE 201
- 9) N/F LEBELIN, CAMERON
59 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 59
S.C.R.D. BOOK 4472, PAGE 211
- 10) N/F DMOORE, RUNYAN EMILY
61 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 60
S.C.R.D. BOOK 4777, PAGE 686
- 11) N/F JASNEKI, DAVID & TRACY
63 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 61
S.C.R.D. BOOK 2554, PAGE 613
- 12) N/F BARNARD, JONATHAN R. & ROBIN M.
65 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 82
S.C.R.D. BOOK 3982, PAGE 482

200' ABUTTERS LIST CONT'D:

- 13) N/F WALKER, KIM S.
67 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 63
S.C.R.D. BOOK 3015, PAGE 182
- 14) N/F POTVIN, SCOTT E.
68 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 64
S.C.R.D. BOOK 3237, PAGE 636
- 15) N/F CRAVEN, ROBERT D. JR. & CATHERINE A.
912 FIRST CROWN POINT ROAD
STRAFFORD, NH 03304
TAX MAP 251, LOT 66
S.C.R.D. BOOK 3710, PAGE 248
- 16) N/F VINOGRADSKA, MICHAEL J. & RACHEL D.
73 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 69
S.C.R.D. BOOK 3024, PAGE 578
- 17) N/F KELLY, ROBERT W. & SUSAN M.
75 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 67
S.C.R.D. BOOK 1543, PAGE 314
- 18) N/F SULLIVAN, SARAH & IAN
1 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 68
S.C.R.D. BOOK 4143, PAGE 097
- 19) N/F HANSON, SCOTT P. & DEANNA M.
3 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 70
S.C.R.D. BOOK 2136, PAGE 91
- 20) N/F MORRISON, TIMOTHY P.
5 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 71
S.C.R.D. BOOK 3577, PAGE 579
- 21) N/F CLARK, WENDY L.
7 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 72
S.C.R.D. BOOK 3357, PAGE 450
- 22) N/F SCHER, VALERIE A.
9 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 73
S.C.R.D. BOOK 3310, PAGE 200
- 23) N/F MACKAY HE & AE REV. LIVING TRUST
TRUSTEES MACKAY, HARRISON D. & ANN E.
11 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 74
S.C.R.D. BOOK 4247, PAGE 301

200' ABUTTERS LIST CONT'D:

- 24) N/F THOMPSON, ELISE F.
74 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 4
S.C.R.D. BOOK 4381, PAGE 265
- 25) N/F COLLINS, JASON M. & SUZANNE T.
72 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 5
S.C.R.D. BOOK 4387, PAGE 580
- 26) N/F VARGHESE, HILARY SC KATES & ANDRUCP JACOB
70 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 6
S.C.R.D. BOOK 4570, PAGE 339
- 27) N/F KRUPSKI, JOHN S & AMANDA J.
68 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 7
S.C.R.D. BOOK 3026, PAGE 050
- 28) N/F TREADWELL, STACY PAUL & TAMMY J.
66 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 6
S.C.R.D. BOOK 3584, PAGE 781
- 29) N/F TAPSCOTT, BRIAN P FAM REV TRUST OF 2018
SUSAN TAPSCOTT TTEE
84 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 9
S.C.R.D. BOOK 4591, PAGE 180
- 30) N/F GREAT BRIDGE ROCHESTER LTD PARTNERSHIP
PO BOX 10840
BEDFORD, NH 03110
TAX MAP 251, LOT 10
S.C.R.D. BOOK 2802, PAGE 719
- 31) N/F CLARKSON, JACLYN M.
62 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 11
S.C.R.D. BOOK 4387, PAGE 848
- 32) N/F SOUZA, ELAINE M.
80 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 12
S.C.R.D. BOOK 4607, PAGE 003
- 33) N/F HOUSER, GACE R.
58 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 13
S.C.R.D. BOOK 4551, PAGE 391
- 34) N/F WELLS, AARON P.
56 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 14
S.C.R.D. BOOK 4403, PAGE 279
- 35) N/F MCALLISTER, LINDA G.
22 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 51
S.C.R.D. BOOK 2593, PAGE 025
- 36) N/F CORMICAN, THOMAS J. & ALLEN, WENDY L.
20 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 82
S.C.R.D. BOOK 3170, PAGE 979

200' ABUTTERS LIST CONT'D:

- 37) N/F STEPHENS, ROBERT P. & JULIE M.
18 LEDGEVIEW DRIVE
CONC. NH 03839
TAX MAP 251, LOT 83
S.C.R.D. BOOK 2713, PAGE 528
- 38) N/F LEDGEVIEW CONDOMINIUM ASSOC
EXECUTIVE PROPERTIES
PO BOX 383
ROCHESTER, NH 03866
TAX MAP 251, LOT 84
S.C.R.D. BOOK 1464, PAGE 155
- 39) N/F MURPHY, MARK
14 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 85
S.C.R.D. BOOK 4415, PAGE 273
- 40) N/F CRER, SHAWN M. & FRISBIE, SARAH C.
27 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 42
S.C.R.D. BOOK 3895, PAGE 042
- 41) N/F ABBETT, DAVID M. & ALANE M.
29 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 43
S.C.R.D. BOOK 3465, PAGE 968
- 42) N/F KUNOZ, JASON A. & CARLA
53 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 65
S.C.R.D. BOOK 4456, PAGE 853
- 43) N/F BATEMAN, MATTHEW V.
35 LEDGEVIEW DRIVE
ROCHESTER, NH 03867
TAX MAP 251, LOT 68
S.C.R.D. BOOK 4447, PAGE 770
- 44) N/F STOKES, ERIC W.
72 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 75
S.C.R.D. BOOK 4644, PAGE 868
- 45) N/F HARTON, NICOLE M.
10 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 79
S.C.R.D. BOOK 4616, PAGE 132
- 46) N/F KAROLIAN, BRYAN S. & SAMANTHA ANN
8 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 77
S.C.R.D. BOOK 3764, PAGE 828
- 47) N/F LAROCHELLE, NORMANNE REV. TRUST
LAROCHELLE, NORMANNE TRUSTEE
6 LEDGEVIEW LANE
ROCHESTER, NH 03839
TAX MAP 251, LOT 78
S.C.R.D. BOOK 4774, PAGE 895
- 48) N/F WILLIAMSON, RICHARD A. & MICHAEL
4 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 79
S.C.R.D. BOOK 3612, PAGE 245
- 49) N/F HART, KEVIN J. & TAMMY K.
2 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 80
S.C.R.D. BOOK 2321, PAGE 564



GIS SKETCH
ROCHESTER, NH
SCALE: 1" = 350' ±



#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS	DESCRIPTION
#4	4-16-21	REVISED PER NHDES ACT COMMENTS	
#3	4-2-21	REVISED PER NH FAG CONDITIONS	
#2	3-17-21	REVISED PER NHDES ACT RFM/WILDLIFE STUDY	
#1	3-17-21	REVISED PER NHDES WMB RFM	

NEIGHBORHOOD PLAN	DATE
LAND OF HALF PEAK HOLDINGS, LLC LEDGEVIEW DRIVE ROCHESTER, N.H. TAX MAP 251, LOT 68	

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863

SCALE : AS SHOWN
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2024

ABBREVIATION LEGEND:

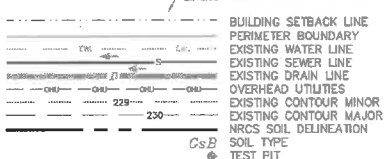
BITUM.	BITUMINOUS
E.O.P.	EDGE OF PAVEMENT
S.G.C.	SLOPED GRANITE CURB
E.S.H.W.T	ESTIMATED SEASONAL HIGH WATER TABLE
TYP.	TYPICAL
U.G.E.	UNDER GROUND ELECTRIC / UTILITY
U.D.	UNDER DRAIN
C.O.	CLEAN OUT
INV.	INVERT
ELEV.	ELEVATION
F.E.S.	FLARED END SECTION
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
C.L.D.I.	CONCRETE LINED DUCTILE IRON
RECB	ROLLED EROSION CONTROL BLANKET
F.G.	FINISHED GRADE
E.G.	EXISTING GRADE
E.T.W.	EDGE OF TRAVELED WAY
T.B.R.	TO BE REMOVED
PL	PROPERTY LINE
EL	EASEMENT LINE
R.O.W.	RIGHT OF WAY
CL	CENTER LINE
CF	CUBIC FEET
P.C.	POINT OF CURVATURE
P.T.	POINT OF TANGENCY
P.V.C.	POINT OF VERTICAL CURVATURE
P.V.I.	POINT OF VERTICAL INTERSECTION
P.V.T.	POINT OF VERTICAL TANGENCY
EX.	EXISTING
PROP.	PROPOSED
R&R	REMOVE AND REPLACE
STA.	STATION
'/.	FOOT / FOOT

SSL () ~ [SIZE] SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
 DSL () ~ [SIZE] DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
 SSB () ~ [SIZE] SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
 SBL () ~ [SIZE] SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
 DBL () ~ [SIZE] DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

EXISTING LEGEND:

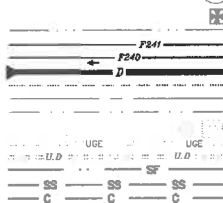
	IRON BOUND ~FND~
	IRON PIPE ~FND~
	DRILL HOLE ~FND~
	STEEL STAKE ~FND~
	UTILITY POLE / GUY WIRE
	SINGLE POST SIGN
	CURB STOP
	GATE VALVE
	FIRE HYDRANT
	CATCH BASIN
	SEWER MANHOLE
	DRAIN MANHOLE

EXISTING SPOT ELEVATION



PROPOSED LEGEND:

	UTILITY POLE
	LIGHT TYPE "A" MOUNTED ON LIGHT POLE
	LIGHT TYPE "B" MOUNTED ON BUILDING
	DRAIN MANHOLE W/STRUCTURE
	SEWER MANHOLE W/STRUCTURE
	CATCH BASIN W/STRUCTURE
	SIGNAGE
	CHECK DAM—MATERIAL AS SPECIFIED
	FLOW ARROW
	TEMPORARY BENCHMARK (T.B.M.)
	DETAIL SHEET / DETAIL



RIP RAP

STORMWATER BEST MANAGEMENT PRACTICE

BERM

GATE VALVE

CURB STOP

HYDRANT

THRUST BLOCKS

PROPOSED SPOT ELEVATION

PROPOSED GAS LINE

PROPOSED WATER LINE

PROPOSED SEWER LINE

PROPOSED UNDER GROUND LP TANK

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	5	RED	WHITE	WHITE	SQUARE (5)
R8-31	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	5	WHITE	RED	RED	SQUARE (5)
W1-8L	18"x24"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	YELLOW	BLACK	YELLOW	SQUARE (1)
W1-8R	18"x24"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	YELLOW	BLACK	YELLOW	SQUARE (2)
R2-1	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	4	WHITE	BLACK	BLACK	SQUARE (4)
W14-2	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	SQUARE (0)

STANDARD SITE PLAN NOTES:

- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- TAX MAP 251, LOT 68
- LOT AREA: 415,275 Sq. Ft., 9.53 Ac.
- S.C.R.D.: BOOK 4846, PAGE 408
- AS BUILT PLANS OF SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN A PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ERSI FORMAT TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT ONE REQUIRED DROP POLE.
- THE SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.
- A LETTER OF CREDIT FOR 10% OF THE TOTAL COST OF CONSTRUCTION OF TO BE DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH THE CITY OF ROCHESTER DEPARTMENT OF PLANNING & DEPARTMENT OF PUBLIC WORKS.
- A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE TECHNICAL STAFF WORKS SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- BUILDING ADDRESSES SHALL BE ASSIGNED BY THE ASSESSING DEPARTMENT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2016. CONSTRUCTION SHALL ALSO CONFORM TO THE CITY OF ROCHESTER POLICES AND PRACTICES.
- CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233).
- CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS AND CABLE INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS, COMCAST, OR ATLANTIC BROADBAND.
- ALL UNPAVED DISTURBED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- THE SITE WORK HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 8AM-6PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- THIS SITE DESIGN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE ACCESSIBILITY REGULATIONS IN ACCORDANCE WITH NH RSA 11-A:5.
- WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- FOR MORE INFORMATION ABOUT THIS VESTED SITE PLAN PLEASE CONTACT THE CITY OF ROCHESTER PLANNING OFFICE AT 603-335-1338.
- DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN JULY 2019 AND PROJECT DATUM IS NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- THE LIMITS OF CONSTRUCTION DISTURBANCE AND TREE CLEARING LIMITS ARE TO BE MARKED OUT AND APPROVED BY THE CITY PRIOR TO WORK.
- THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
NHDES ALTERATION OF TERRAIN PERMIT: AOT-1837
NHDES SEWER DISCHARGE PERMIT: D0201-D304
US EPA NOI & SHPPP: NH001016
NH DIVISION OF HISTORICAL RESOURCES: #12019
NATIONAL HISTORIC BUREAU: #20-2030
- STREET TREES ARE PROVIDED FOR WITHIN THIS PLAN SET. THREE SPECIES ARE SUGGESTED. IT SHOULD BE NOTED THAT A MIX OF THESE SPECIES IS REQUIRED. AN ALTERNATING PATTERN IS PREFERRED.
- ALL PROPOSED STREET TREES ARE TO BE AT LEAST 15' FROM ALL UTILITIES AND STORM DRAINS.
- ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNTIL ALL REQUIRED PERMITS ARE OBTAINED AND PLANS ARE STAMPED FOR CONSTRUCTION.

STANDARD UTILITY NOTES:

- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEERS SPECIFIC RECOMMENDED CRITERIA.
- IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS. ALL HIGHWAY CONSTRUCTION WILL MEET THE CITY OF ROCHESTER STANDARDS.

STANDARD CONSTRUCTION NOTES:

- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- TWO ON SITE BENCHMARKS ARE PROVIDED. BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE UTILITY PLANS FOR DETAILS ON THE PROPOSED SEWER, WATER, AND UNDERGROUND ELECTRIC LINES SHOWN.
- EXISTING CONDITIONS INFORMATION IS BASED ON A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING AND IS ENCLOSED IN THIS PACKAGE.
- CONTRACTOR SHALL TAKE SPECIAL CARE IN NOT DISTURBING EXISTING MONUMENTS, BOUNDS, AND OR BENCHMARKS WITHOUT FIRST MAKING PROVISIONS FOR RELOCATION.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES CALL "DIG-SAFE" 1-888-DIGSAFE (344-7233) AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- WHERE AN EXISTING UNDERGROUND UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. DISTURBANCE OUTSIDE AREAS SHOWN TO BE APPROVED BY DESIGN ENGINEER.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS, OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE & RESET" (R & R)
- ALL SYMBOLS, WORDS, TRANSVERSE MARKINGS (STOP BARS, CROSSWALK LINES, AND RAILROAD SYMBOLS), LANE LINES, AND ALL OTHER MARKINGS NOTED WITH [!] SHALL BE THERMOPLASTIC.
- ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER OR AFTER A STORM EVENT OF GREAT THAN 0.25".
- UPON FINAL COMPLETION AND BSR STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SWIMPS.
- ALL DRAINAGE PIPE IS TO BE HDPE N-12. INDIVIDUAL PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED HDPE PIPE "GREEN PIPE" IS ACCEPTABLE FOR THIS PROJECT SITE.
- ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SLUMPS (4' MIN.) AND HOODS (SEE DETAILS) HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSTREAM. RIMS ARE TO BE NHDOT TYPE "B" STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY ROCHESTER DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A MADE. HOODS ARE TO BE INSTALLED IMMEDIATELY AFTER BASIN CONSTRUCTION.
- THIS SITE PLAN PROPOSES 248,150 Sq. Ft. (5.70 Ac.) OF DISTURBANCE. AN ENVIRONMENTAL MONITOR WILL BE REQUIRED.

LEGEND & NOTES

LAND OF
 HALF PEAK HOLDINGS, LLC
 11 LAFAYETTE ROAD
 ROCHESTER, N.H.
 TAX MAP 251, LOT 68

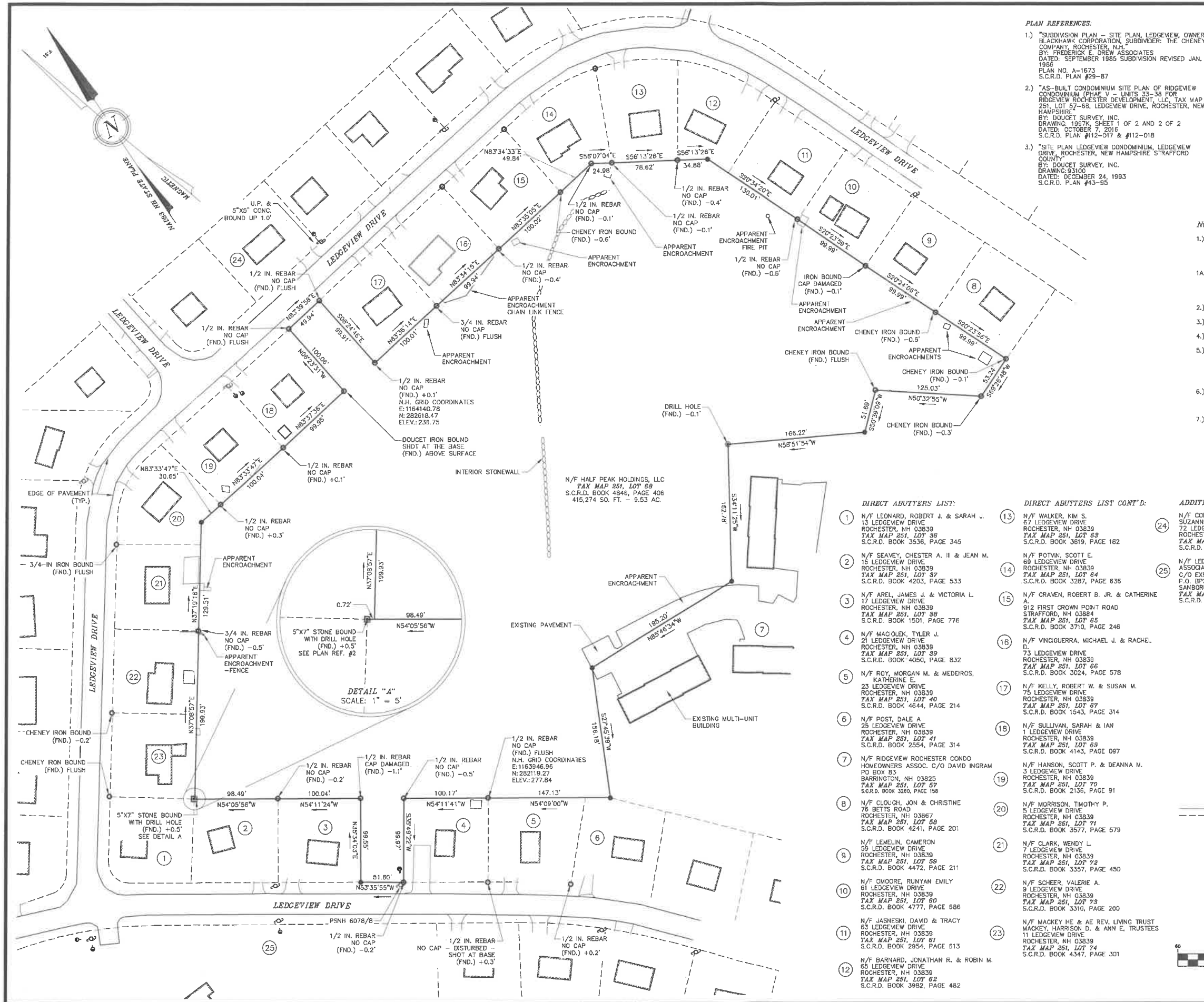
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863

SCALE : N/A

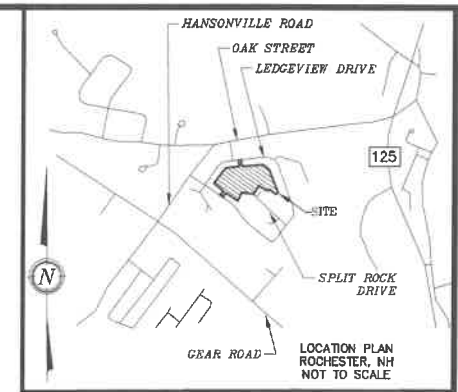
DATE : DECEMBER 30, 2020

FILE NO. : DB 2020 - 081





- PLAN REFERENCES:**
- 1.) "SUBDIVISION PLAN - SITE PLAN, LEDGEVIEW, OWNER: BLACKHAWK CORPORATION, SUBDIVIDER: THE CHENEY COMPANY, ROCHESTER, N.H. BY: FREDERICK E. DREW ASSOCIATES DATED: SEPTEMBER 1985 SUBDIVISION REVISED JAN. 1986 PLAN NO. A-1673 S.C.R.D. PLAN #29-87
 - 2.) "AS-BUILT CONDOMINIUM SITE PLAN OF RIDGEVIEW CONDOMINIUM (PHASE V - UNITS 33-38 FOR RIDGEVIEW ROCHESTER DEVELOPMENT, LLC, TAX MAP 251, LOT 57-68, LEDGEVIEW DRIVE, ROCHESTER, NEW HAMPSHIRE BY: DOUCET SURVEY, INC. DRAWING: 1997K, SHEET 1 OF 2 AND 2 OF 2 DATED: OCTOBER 7, 2016 S.C.R.D. PLAN #112-017 & #112-018
 - 3.) "SITE PLAN LEDGEVIEW CONDOMINIUM, LEDGEVIEW DRIVE, ROCHESTER, NEW HAMPSHIRE STRAFFORD COUNTY BY: DOUCET SURVEY, INC. DRAWING: 93100 DATED: DECEMBER 24, 1993 S.C.R.D. PLAN #43-95



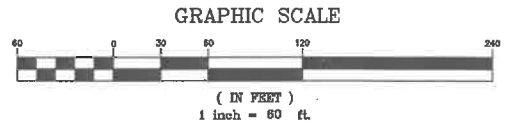
- NOTES:**
- 1.) OWNER: HALF PEAK HOLDINGS, LLC 11 LAFAYETTE ROAD PO BOX 1297 NORTH HAMPTON, NH 03862
 - 1A.) APPLICANT: HALF PEAK HOLDINGS, LLC 11 LAFAYETTE ROAD PO BOX 1297 NORTH HAMPTON, NH 03862
 - 2.) TAX MAP 251, LOT 68
 - 3.) S.C.R.D. BOOK 4846, PAGE 406
 - 4.) LOT AREA: 415,274 Sq. Ft. 9.53 Ac.
 - 5.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES OF TAX MAP 251, LOT 68, LOCATED IN ROCHESTER, N.H., IN RELATION TO THE CURRENT AND ORIGINAL LEGAL DESCRIPTIONS, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
 - 6.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIP/IR SR SURVEY GRADE GPS.
 - 7.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JULY OF 2020, WITH AN ERROR OF CLOSURE OF 1 PART IN 11,791.

- DIRECT ABUTTERS LIST:**
1. N/F LEONARD, ROBERT J. & SARAH J. 13 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 38 S.C.R.D. BOOK 3536, PAGE 345
 2. N/F SEAVEY, CHESTER A. II & JEAN M. 15 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 37 S.C.R.D. BOOK 4203, PAGE 533
 3. N/F AREL, JAMES J. & VICTORIA L. 17 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 38 S.C.R.D. BOOK 1501, PAGE 776
 4. N/F MACOLEK, TYLER J. 21 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 39 S.C.R.D. BOOK 4050, PAGE 832
 5. N/F ROY, MORGAN M. & MEDEIROS, KATHERINE E. 23 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 40 S.C.R.D. BOOK 4644, PAGE 214
 6. N/F POST, DALE A. 25 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 41 S.C.R.D. BOOK 2554, PAGE 314
 7. N/F RIDGEVIEW ROCHESTER CONDO HOMEOWNERS ASSOC. C/O DAVID INGRAM PO BOX 83 BARRINGTON, NH 03825 TAX MAP 251, LOT 67 S.C.R.D. BOOK 3260, PAGE 158
 8. N/F CLOUGH, JON & CHRISTINE 76 BETTS ROAD ROCHESTER, NH 03867 TAX MAP 251, LOT 58 S.C.R.D. BOOK 4241, PAGE 201
 9. N/F LEMELIN, CAMERON 59 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 59 S.C.R.D. BOOK 4472, PAGE 211
 10. N/F OMOORE, RUNYAN EMILY 61 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 60 S.C.R.D. BOOK 4777, PAGE 586
 11. N/F JASNESKI, DAVID & TRACY 63 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 61 S.C.R.D. BOOK 2954, PAGE 513
 12. N/F BARNARD, JONATHAN R. & ROBIN M. 65 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 62 S.C.R.D. BOOK 3992, PAGE 482
- DIRECT ABUTTERS LIST CONT'D:**
13. N/F WALKER, KIM S. 67 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 38 S.C.R.D. BOOK 3619, PAGE 182
 14. N/F POTVIN, SCOTT E. 68 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 64 S.C.R.D. BOOK 3287, PAGE 636
 15. N/F CRAVEN, ROBERT B. JR. & CATHERINE A. 912 FIRST CROWN POINT ROAD STRAFFORD, NH 03864 TAX MAP 251, LOT 65 S.C.R.D. BOOK 3710, PAGE 246
 16. N/F VINCIGUERRA, MICHAEL J. & RACHEL D. 73 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 66 S.C.R.D. BOOK 3024, PAGE 578
 17. N/F KELLY, ROBERT W. & SUSAN M. 75 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 67 S.C.R.D. BOOK 1543, PAGE 314
 18. N/F SULLIVAN, SARAH & IAN 1 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 69 S.C.R.D. BOOK 4143, PAGE 097
 19. N/F HANSON, SCOTT P. & DEANNA M. 3 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 70 S.C.R.D. BOOK 2136, PAGE 91
 20. N/F MORRISON, TIMOTHY P. 5 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 71 S.C.R.D. BOOK 3557, PAGE 450
 21. N/F CLARK, WENDY L. 7 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 72 S.C.R.D. BOOK 3357, PAGE 450
 22. N/F SCHEER, VALERIE A. 9 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 73 S.C.R.D. BOOK 3310, PAGE 200
 23. N/F MACKAY HE & AE REV. LIVING TRUST MACKAY, HARRISON D. & ANN E. TRUSTEES 11 LEDGEVIEW DRIVE ROCHESTER, NH 03839 TAX MAP 251, LOT 74 S.C.R.D. BOOK 4347, PAGE 301

- LEGEND:**
- 3/4" IRON BOUND ~ TO BE SET (TBS)
 - IRON BOUND ~FND~
 - IRON PIPE ~FND~
 - DRILL HOLE ~FND~
 - STEEL STAKE ~FND~
 - GRANITE OR CONCRETE BOUND - AS NOTED
 - UTILITY POLE / GUY WIRE
 - PERIMETER BOUNDARY
 - APPROXIMATE ABUTTING PROPERTY LINE

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

KENNETH A. BERRY L.L.S. 805 DATE



ADDITION OF FINAL PERMIT NUMBERS		REVISION	DATE
REVISION	DESCRIPTION		
5-10-21			
4-16-21			
4-2-21			
3-17-21			
3-17-21			

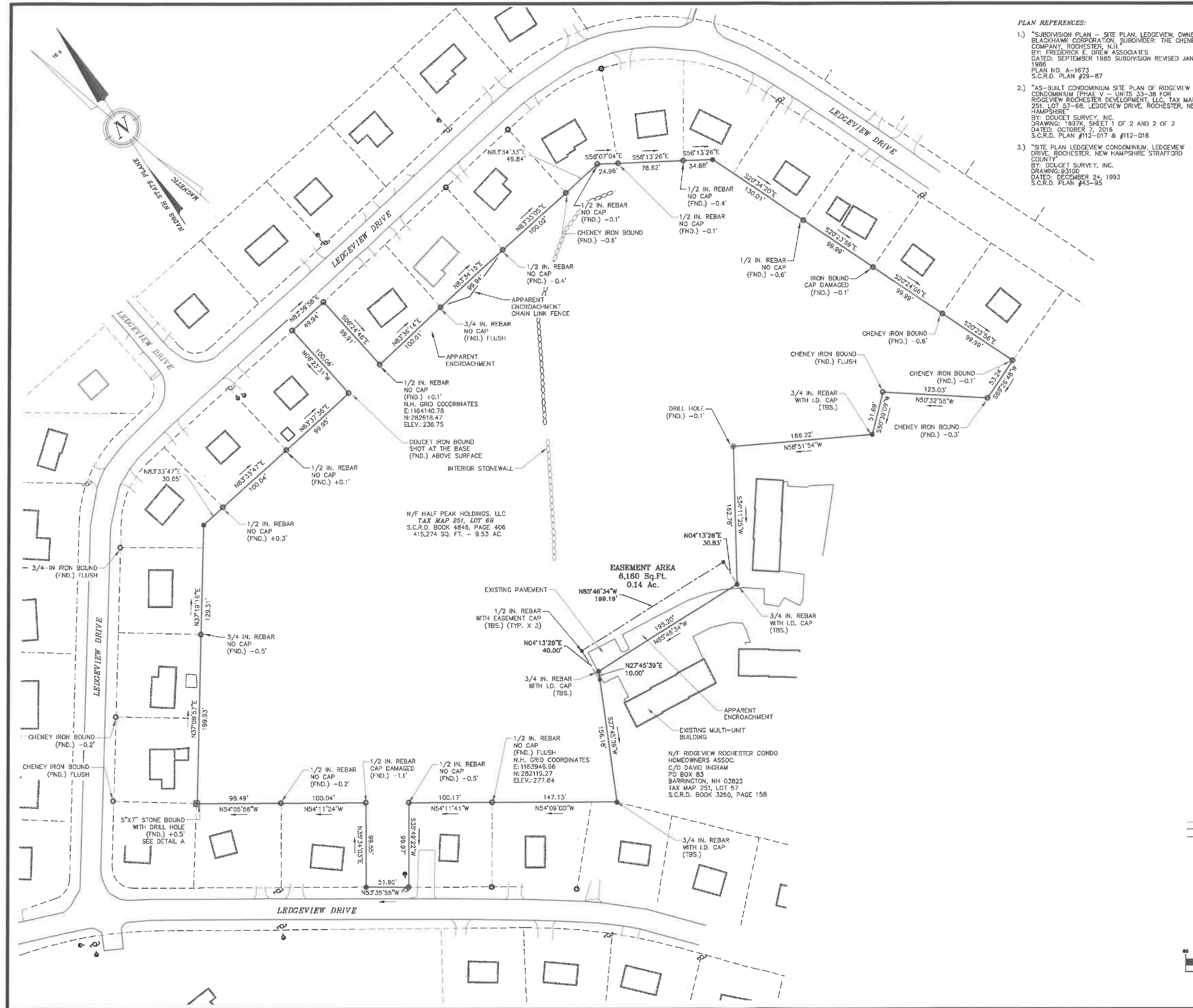
BOUNDARY PLAN	
LAND OF	
HALF PEAK HOLDINGS, LLC	
LEDGEVIEW DRIVE	
ROCHESTER, N.H.	
TAX MAP 251, LOT 68	

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: 1 IN. EQUALS 60 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

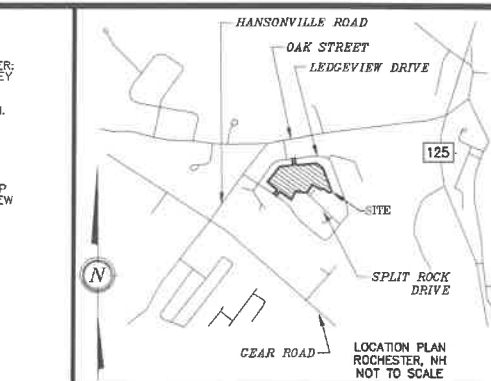
KENNETH A. BERRY
L.L.S. 805
DATE

GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

SHEET 3 OF 53



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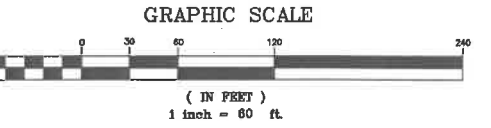


- NOTES:**
- 1.) OWNER: HALF PEAK HOLDINGS, LLC 11 LAFAYETTE ROAD PO BOX 1297 NORTH HAMPTON, NH 03852
 - 1A.) APPLICANT: HALF PEAK HOLDINGS, LLC 11 LAFAYETTE ROAD PO BOX 1297 NORTH HAMPTON, NH 03852
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 - 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
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 - IRON BOUND ~FND~
 - IRON PIPE ~FND~
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 - GRANITE OR CONCRETE BOUND - AS NOTED
 - UTILITY POLE / GUY WIRE
 - PERIMETER BOUNDARY
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 - PROPOSED EASEMENT LINE

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KENNETH A. BERRY L.L.S. 805 DATE



ADDITION OF FINAL PERMIT NUMBERS		REVISION		DESCRIPTION	
5-10-21	REVISED PER NHDES ACT COMMENT	#5	DATE		
4-16-21	REVISED PER NH F&G CONDITIONS	#4			
4-2-21	REVISED PER NHDES ACT REM/WILDLIFE STUDY	#3			
3-17-21	REVISED PER NHDES ACT REM/WILDLIFE STUDY	#2			
3-17-21	REVISED PER NHDES WWEB REM	#1			

EASEMENT PLAN
OF
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : DECEMBER 30, 2020
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KENNETH A. BERRY
L.L.S. 805

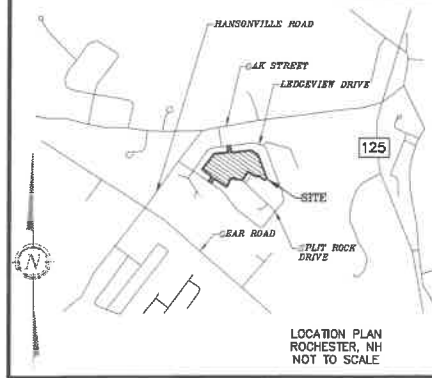
SHEET 4 OF 53

SOILS:

GsC - GLOUCESTER VERY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
 HgB - HOLLIS-GLOUCESTER FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
 HgC - HOLLIS-GLOUCESTER VERY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
 Ro - ROCK OUTCROP
 WdC - WINDSON LOAMY SAND, 8 TO 15 PERCENT SLOPES
 SEE WEBSOL USDA-NRCS

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL, LLC IN JULY OF 2020 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010, L.M. VASLAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004, NEWENPC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USDA/ARMY/MIL), U.S. ARMY CORPS OF ENGINEERS, ENGINEERING RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST: LORVARD, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER, 2014, THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS, PHYTORECORD 2014-41-1-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987, WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2, U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979, L. COWARDIN, V. CARTER, F. GOLEY, AND E. LAROE, U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/31.
- 8) NO WETLANDS WERE FOUND TO BE INSITE.



STONEY RIDGE ENVIRONMENTAL, LLC.
 CYNTHIA BALCIUS, CWS #61

NOTES:

- 1) OWNER: HALF PEAK HOLDINGS, LLC
 11 LAFAYETTE ROAD
 NORTH HAMPTON, NH 03862
- 1A) APPLICANT: HALF PEAK HOLDINGS, LLC
 11 LAFAYETTE ROAD
 NORTH HAMPTON, NH 03862
- 2) TAX MAP 251, LOT 68
- 3) S.C.R.D. BOOK 4846, PAGE 406
- 4) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
- 5) ZONING: R1 (RESIDENTIAL 1)
 SETBACKS: FRONT - 10'
 SIDE - 10'
 REAR - 20'
 WETLAND: 50' (WETLANDS GREATER THE 0.5 Ac.)
 MIN. LOT SIZE: 10,000 Sq. Ft.
 MIN. FRONTAGE: 100'
 MAX. LOT COVERAGE: 35%
 MAX. BUILDING HEIGHT: 35'
- 6) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING BOUNDARIES AND CONDITIONS OF TAX MAP 251, LOT 68, LOCATED IN ROCHESTER, N.H., AS OF THE TIME OF SURVEY, DATE: JULY 2020.
- 7) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY #330150, MAP 33017C02130, DATED: MAY 17, 2005.
- 8) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
- 9) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JULY OF 2020, WITH AN ERROR OF CLOSURE OF GREATER THAN 1 PART IN 10,000.
- 10) TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED JULY 2020.
- 11) THIS SITE IS SERVICED BY MUNICIPAL SEWER AND WATER.
- 12) SEE SHEET 3 FOR BOUNDARY PLAN FOR METES & BOUNDS & SHEET 7 FOR TEST PIT DATA.

DIRECT ABUTTERS LIST:

- 1) N/F LEDNARD, ROBERT J. & SARAH J.
 13 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 86
 S.C.R.D. BOOK 3536, PAGE 345
- 2) N/F SEAVEY, CHESTER A. III & JEAN M.
 15 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 87
 S.C.R.D. BOOK 4283, PAGE 533
- 3) N/F AREL, JAMES J. & VICTORIA L.
 17 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 89
 S.C.R.D. BOOK 1501, PAGE 776
- 4) N/F MACOLEX, TYLER J.
 21 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 89
 S.C.R.D. BOOK 4050, PAGE 832
- 5) N/F ROY, MORGAN M. & WEDEROS, KATHERINE E.
 23 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 89
 S.C.R.D. BOOK 4444, PAGE 214
- 6) N/F POST, DALE A.
 25 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 41
 S.C.R.D. BOOK 2554, PAGE 314
- 7) N/F REDGEVIEW ROCHESTER CONDO HOMEOWNERS ASSOC. C/O DAVID INGRAM
 20 REX ST.
 BARRINGTON, NH 03825
 TAX MAP 251, LOT 67
 S.C.R.D. BOOK 3260, PAGE 158
- 8) N/F CLOUGH, JON & CHRISTINE
 76 BETTE ROAD
 ROCHESTER, NH 03867
 TAX MAP 251, LOT 58
 S.C.R.D. BOOK 4241, PAGE 209
- 9) N/F LEMUEL, CAMERON
 55 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 63
 S.C.R.D. BOOK 4472, PAGE 211
- 10) N/F ONDRE, RYAN EMILY
 61 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 60
 S.C.R.D. BOOK 4777, PAGE 688
- 11) N/F JASNESKI, DAVID & TRACY
 65 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 61
 S.C.R.D. BOOK 3554, PAGE 613
- 12) N/F BARNARD, JONATHAN R. & ROBIN M.
 65 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 62
 S.C.R.D. BOOK 3582, PAGE 482

DIRECT ABUTTERS LIST CONT'D:

- 13) N/F WALKER, KIM S.
 67 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 85
 S.C.R.D. BOOK 3819, PAGE 182
- 14) N/F POTVIN, SCOTT E.
 15 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 84
 S.C.R.D. BOOK 3387, PAGE 636
- 15) N/F CRANE, ROBERT B. JR. & CATHERINE A.
 912 FIRST CROWN POINT ROAD
 STRATFORD, NH 03884
 TAX MAP 251, LOT 62
 S.C.R.D. BOOK 3710, PAGE 248
- 16) N/F VINDIGER, MICHAEL J. & RACHEL D.
 73 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 86
 S.C.R.D. BOOK 3024, PAGE 578
- 17) N/F KELLY, ROBERT W. & SUSAN M.
 75 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 87
 S.C.R.D. BOOK 1041, PAGE 314
- 18) N/F SULLIVAN, SARAH & IAN
 1 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 69
 S.C.R.D. BOOK 4143, PAGE 097
- 19) N/F HANSON, SCOTT P. & DEANNA M.
 3 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 70
 S.C.R.D. BOOK 2136, PAGE 91
- 20) N/F MORRISON, TIMOTHY P.
 5 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 71
 S.C.R.D. BOOK 3577, PAGE 578
- 21) N/F CLARK, WENDY L.
 7 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 72
 S.C.R.D. BOOK 3357, PAGE 450
- 22) N/F SCHER, VALERIE A.
 9 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 73
 S.C.R.D. BOOK 3310, PAGE 200
- 23) N/F MACKAY HE & AE REV. LYNN TRUST.
 MACKAY, HARRISON D. & ANN E. TRUSTEES
 11 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 74
 S.C.R.D. BOOK 4347, PAGE 301

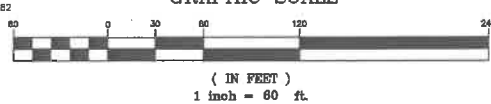
ADDITIONAL ABUTTERS LIST:

- 24) N/F COLLINS, JASON W. & SUZANNE T.
 72 LEDGEVIEW DRIVE
 ROCHESTER, NH 03839
 TAX MAP 251, LOT 5
 S.C.R.D. BOOK 4387, PAGE 580
- 25) N/F LEDGEVIEW CONDOMINIUM ASSOCIATION
 C/O EXECUTIVE PROPERTIES
 P.O. BOX 24
 SANDORVILLE, NH 03872
 TAX MAP 251, LOT 64
 S.C.R.D. BOOK 1464, PAGE 155

EXISTING LEGEND:

- 3/4" IRON BOUND ~ TO BE SET
- IRON BOUND ~FND~
- IRON PIPE ~FND~
- DRILL HOLE ~FND~
- ⊕ STEEL STAKE ~FND~
- ⊕ UTILITY POLE / GUY WIRE
- ⊕ SINGLE POST SIGN
- ⊕ CURB STOP
- ⊕ GATE VALVE
- ⊕ FIRE HYDRANT
- ⊕ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ EXISTING SPOT ELEVATION
- ⊕ BUILDING SETBACK LINE
- ⊕ PERIMETER BOUNDARY
- ⊕ APPROXIMATE ABUTTING PROPERTY LINE
- ⊕ EXISTING WATER LINE
- ⊕ EXISTING SEWER LINE
- ⊕ EXISTING DRAIN LINE
- ⊕ OVERHEAD UTILITIES
- ⊕ EXISTING CONTOUR MINOR
- ⊕ NRCS SOIL DELINEATION
- ⊕ SOIL TYPE
- ⊕ TEST PIT
- ⊕ TEMPORARY BENCHMARK

GRAPHIC SCALE



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBMISSION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

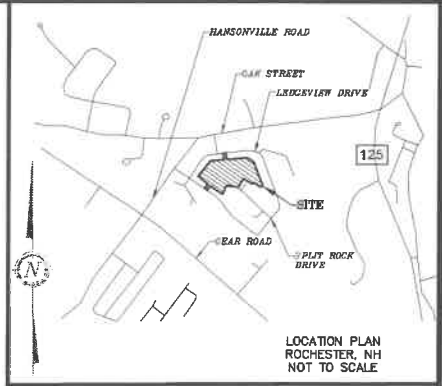
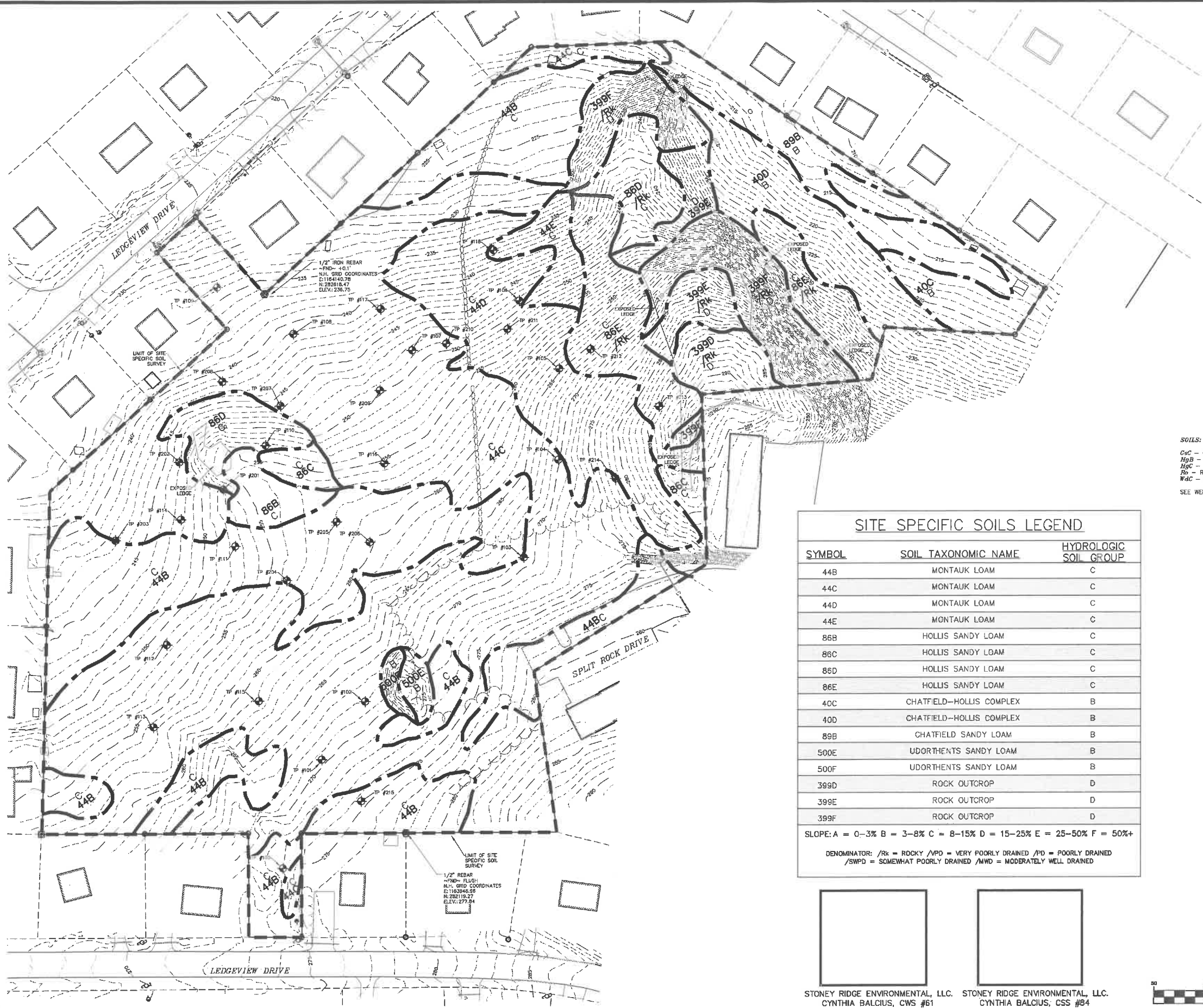
KENNETH A. BERRY L.L.S. 805 DATE

ADDITION OF FINAL PERMIT NUMBERS REVISED PER NHDES AGT COMMENT REVISED PER NH F&G CONDITIONS REVISED PER NHDES AGT RFI/WILDLIFE STUDY REVISED PER NHDES WMB RFI	DESCRIPTION
5-10-21	
4-16-21	
4-2-21	
3-17-21	
3-17-21	

#5	#4	#3	#2	#1	REVISION	DATE

EXISTING CONDITIONS PLAN
 LAND OF
 HALF PEAK HOLDINGS, LLC
 LEDGEVIEW DRIVE
 ROCHESTER, N.H.
 TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)352-2863
 SCALE : 1 IN. EQUALS 60 FT.
 DATE : DECEMBER 30, 2020
 FILE NO. : DB 2020 - 081



- NOTES:
- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - TAX MAP 251, LOT 68
 - S.C.R.D. 800K 4846, PAGE 406
 - LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING SOILS CONDITIONS OF TAX MAP 251, LOT 68, LOCATED IN ROCHESTER, N.H., AS OF THE SOIL SURVEY. SEE REPORT DATED JULY 2020.
 - I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROPERTY DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY #330150, MAP 33017002130, DATED: MAY 17, 2005.
 - VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL DATUM BASED ON NAD83 STATE PLANE. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS.
 - TOPOGRAPHY PROVIDED IS DEMARCATED AT 1' INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED JULY 2020.

SOILS:

CsC - GLOUCESTER VERY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
HGB - HOLLIS-GLOUCESTER FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
HGC - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
Ro - ROCK OUTCROP
Wdc - WINDSON LOAMY SAND, 8 TO 15 PERCENT SLOPES

SEE WEBSOIL USDA-NRCS

SITE SPECIFIC SOILS LEGEND

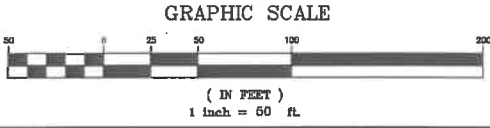
SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
44B	MONTAUK LOAM	C
44C	MONTAUK LOAM	C
44D	MONTAUK LOAM	C
44E	MONTAUK LOAM	C
86B	HOLLIS SANDY LOAM	C
86C	HOLLIS SANDY LOAM	C
86D	HOLLIS SANDY LOAM	C
86E	HOLLIS SANDY LOAM	C
40C	CHATFIELD-HOLLIS COMPLEX	B
40D	CHATFIELD-HOLLIS COMPLEX	B
89B	CHATFIELD SANDY LOAM	B
500E	UDORTHEM'S SANDY LOAM	B
500F	UDORTHEM'S SANDY LOAM	B
399D	ROCK OUTCROP	D
399E	ROCK OUTCROP	D
399F	ROCK OUTCROP	D

SLOPE: A = 0-3% B = 3-8% C = 8-15% D = 15-25% E = 25-50% F = 50%+

DENOMINATOR: /Rk = ROCKY /VPD = VERY POORLY DRAINED /PD = POORLY DRAINED /SWPD = SOMEWHAT POORLY DRAINED /MWD = MODERATELY WELL DRAINED



- LEGEND:
- IRON BOUND ~FND~
 - IRON PIPE ~FND~
 - DRILL HOLE ~FND~
 - STEEL STAKE ~FND~
 - UTILITY POLE/GUY WIRE
 - TEST HOLE
 - BENCHMARK
 - STONE WALL
 - OVERHEAD UTILITIES LINE
 - EXISTING CONTOUR MINOR
 - EXISTING CONTOUR MAJOR
 - SOIL LINE
 - LIMIT OF SOIL SURVEY
 - SOIL SERIES
 - STRAFFORD COUNTY REGISTRY OF DEEDS
 - 448A S.C.R.D. TYP. FND



STONEY RIDGE ENVIRONMENTAL, LLC. CYNTHIA BALCIUS, CWS #61

STONEY RIDGE ENVIRONMENTAL, LLC. CYNTHIA BALCIUS, CSS #84

ADDITION OF FINAL PERMIT NUMBERS	REVISION	DATE	DESCRIPTION
5-10-21	#5		
4-16-21	#4		
4-2-21	#3		
3-17-21	#2		
3-17-21	#1		

SITE SPECIFIC SOILS MAP

LAND OF HALF PEAK HOLDINGS, LLC

LEDGEVIEW DRIVE

ROCHESTER, N.H.

TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

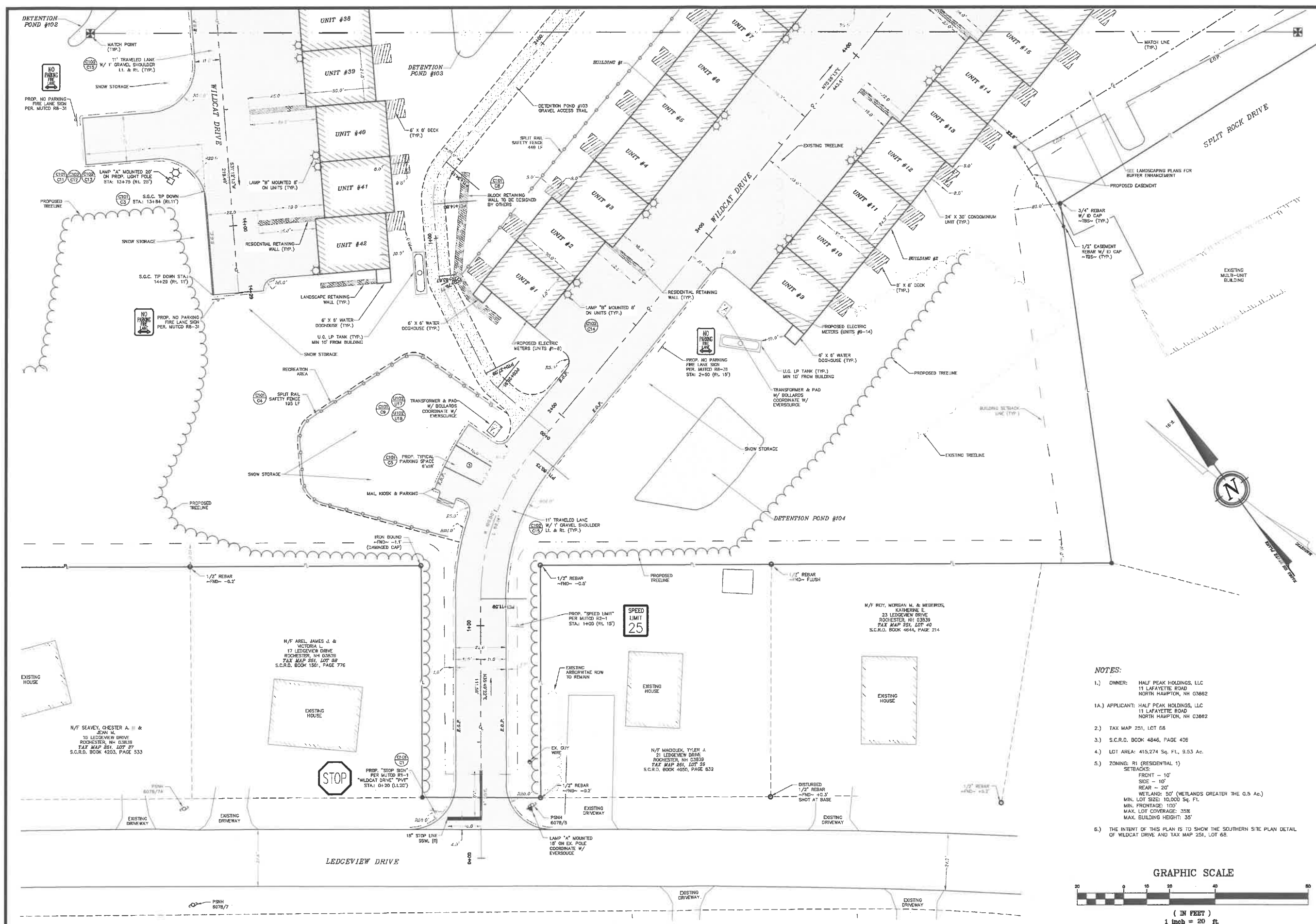
SCALE : 1 IN. EQUALS 50 FT.

DATE : DECEMBER 30, 2020

FILE NO. : DB 2020 - 081

SHEET 6 OF 53

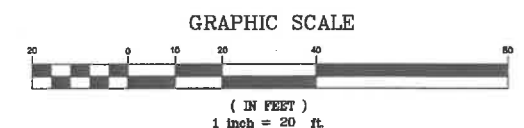
FILE NO. : DB 2020 - 081



ADDITION OF FINAL PERMIT NUMBERS		REVISION	DATE	DESCRIPTION
5-10-21	REVISED PER NHDES AGT COMMENT			
4-16-21	REVISED PER NH F&G CONDITIONS			
4-2-21	REVISED PER NHDES AGT RFM/WILDLIFE STUDY			
#5		REVISION	DATE	DESCRIPTION
#4				
#3				
#2				

DETAIL SITE PLAN SOUTH
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

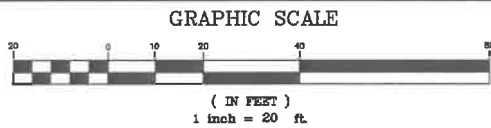
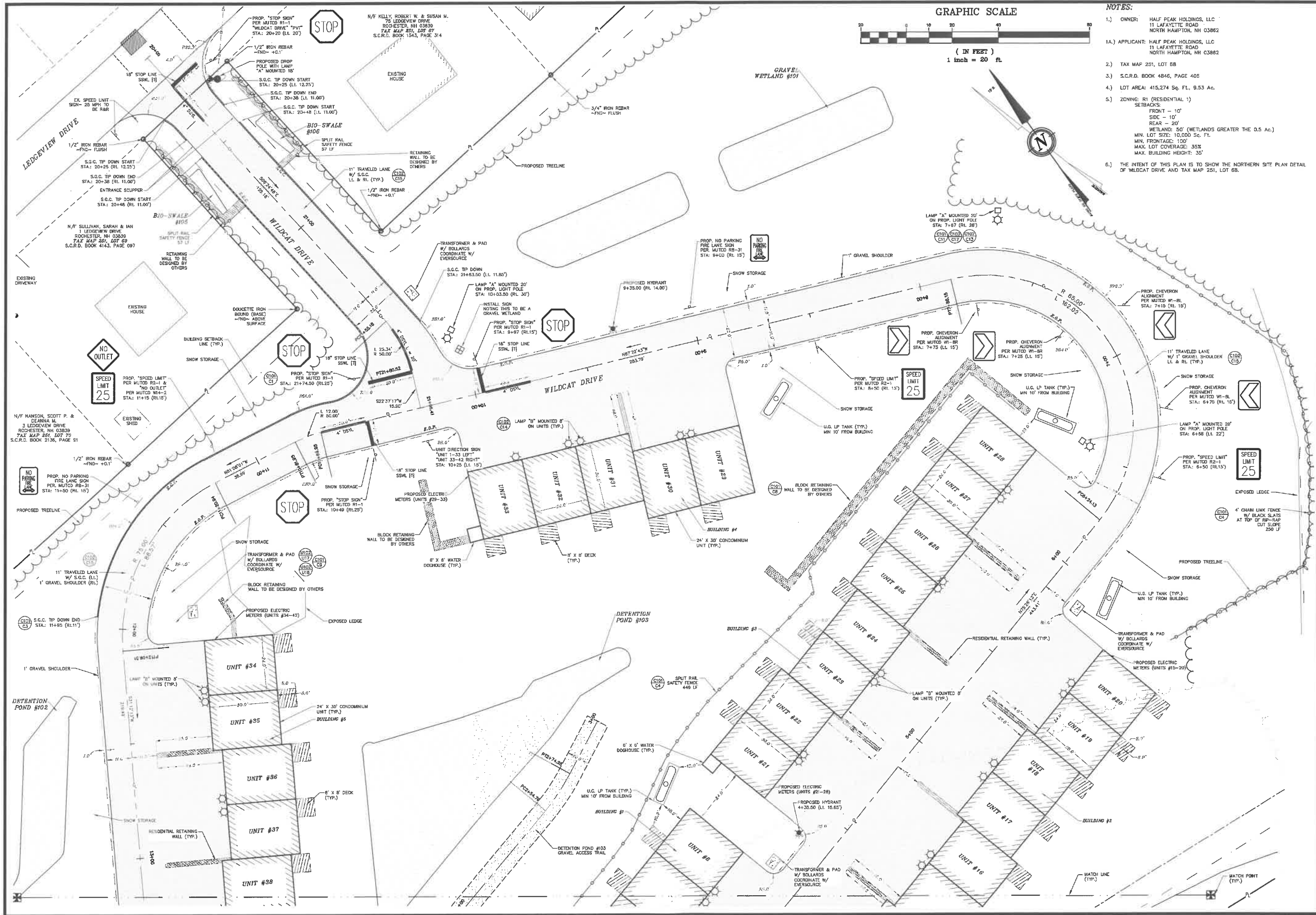
- NOTES:
- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - TAX MAP 251, LOT 68
 - S.C.R.D. BOOK 4846, PAGE 406
 - LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - ZONING: R1 (RESIDENTIAL 1)
SETBACKS:
FRONT - 10'
SIDE - 10'
REAR - 20'
WETLAND: 50' (WETLANDS GREATER THE 0.5 Ac.)
MIN. LOT SIZE: 10,000 Sq. Ft.
MIN. FRONTAGE: 100'
MAX. LOT COVERAGE: 35%
MAX. BUILDING HEIGHT: 35'
 - THE INTENT OF THIS PLAN IS TO SHOW THE SOUTHERN SITE PLAN DETAIL OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 14354

SHEET 9 OF 53



- NOTES:
- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - TAX MAP 251, LOT 68
 - S.C.R.D. BOOK 4846, PAGE 408
 - LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - ZONING: R1 (RESIDENTIAL 1)
SETBACKS:
FRONT - 10'
SIDE - 10'
REAR - 20'
WETLAND: 50' (WETLANDS GREATER THE 0.5 Ac.)
MIN. LOT SIZE: 10,000 Sq. Ft.
MIN. FRONTAGE: 100'
MAX. LOT COVERAGE: 35%
MAX. BUILDING HEIGHT: 35'
 - THE INTENT OF THIS PLAN IS TO SHOW THE NORTHERN SITE PLAN DETAIL OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES AOT COMMENTS
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES AOT RFI/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WEB RFI

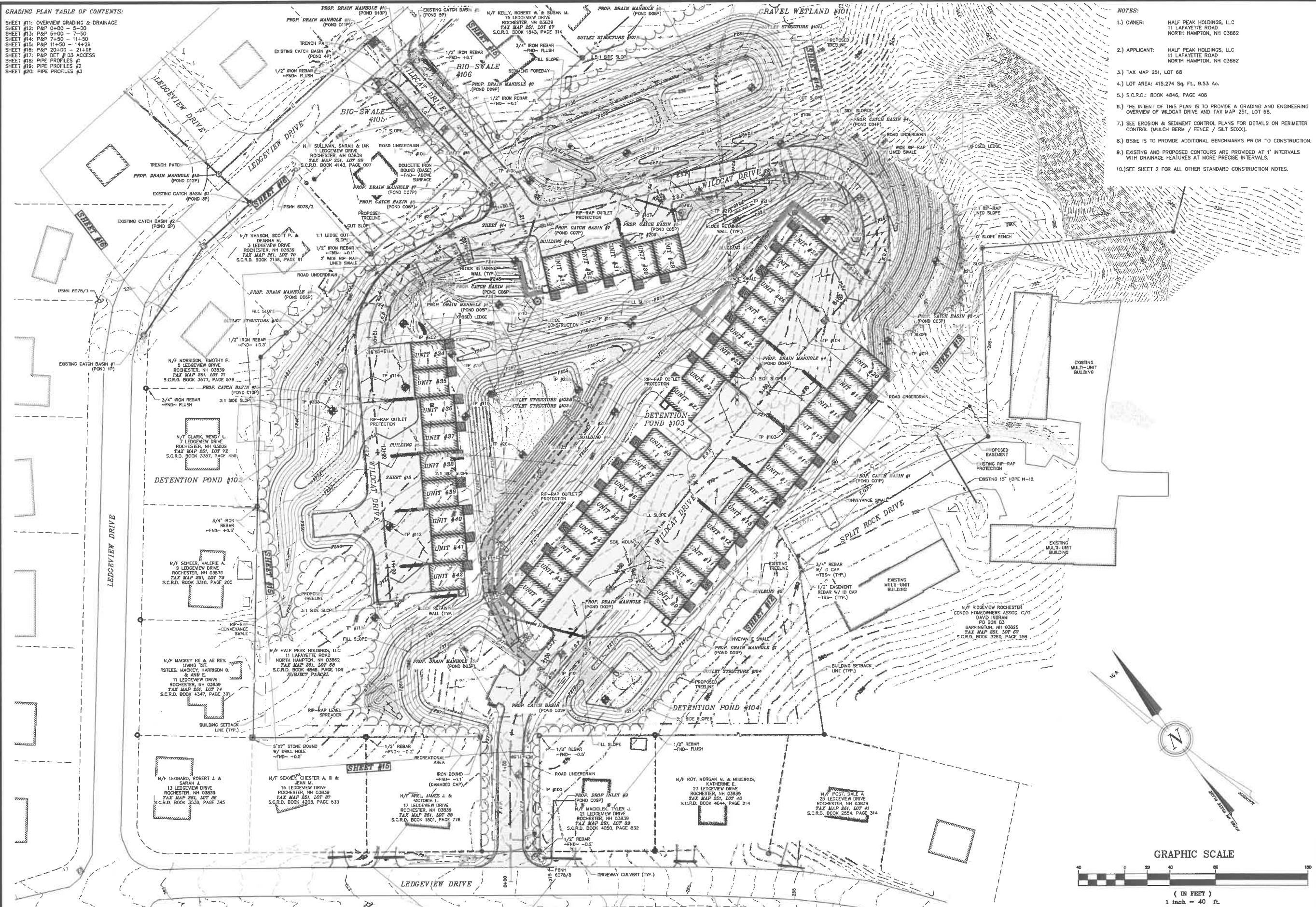
SITE PLAN NORTH
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2803
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081



GRADING PLAN TABLE OF CONTENTS:

SHEET #11: OVERVIEW GRADING & DRAINAGE
SHEET #12: P&P 0+00 - 5+00
SHEET #13: P&P 5+00 - 7+50
SHEET #14: P&P 7+50 - 11+50
SHEET #15: P&P 11+50 - 14+29
SHEET #16: P&P 20+00 - 21+96
SHEET #17: P&P DET #103 ACCESS
SHEET #18: PIPE PROFILES #1
SHEET #19: PIPE PROFILES #2
SHEET #20: PIPE PROFILES #3



- NOTES:
- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 3.) TAX MAP 251, LOT 68
 - 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - 5.) S.C.R.D.: BOOK 4846, PAGE 406
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE A GRADING AND ENGINEERING OVERVIEW OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

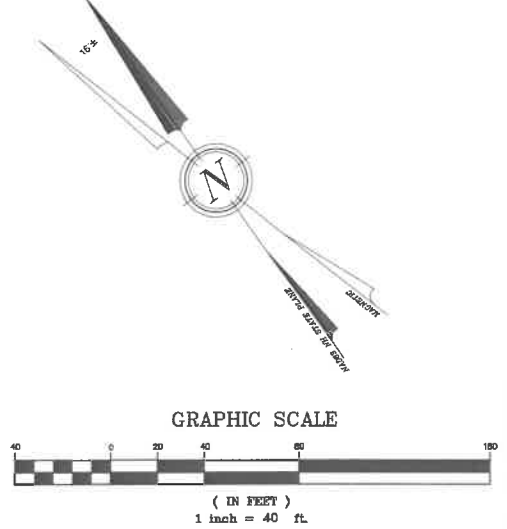
REVISION		DATE	DESCRIPTION
#5	5-10-21		ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21		REVISED PER NHDES AGT COMMENT
#3	4-2-21		REVISED PER NH F&G CONDITIONS
#2	3-17-21		REVISED PER NHDES AGT RFM/WILDLIFE STUDY
#1	3-17-21		REVISED PER NHDES WHEB RFM

OVERVIEW GRADING PLAN	
LAND OF	
HALF PEAK HOLDINGS, LLC	
LEDGEVIEW DRIVE	
ROCHESTER, N.H.	
TAX MAP 251, LOT 68	

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: 1 IN. = 40 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

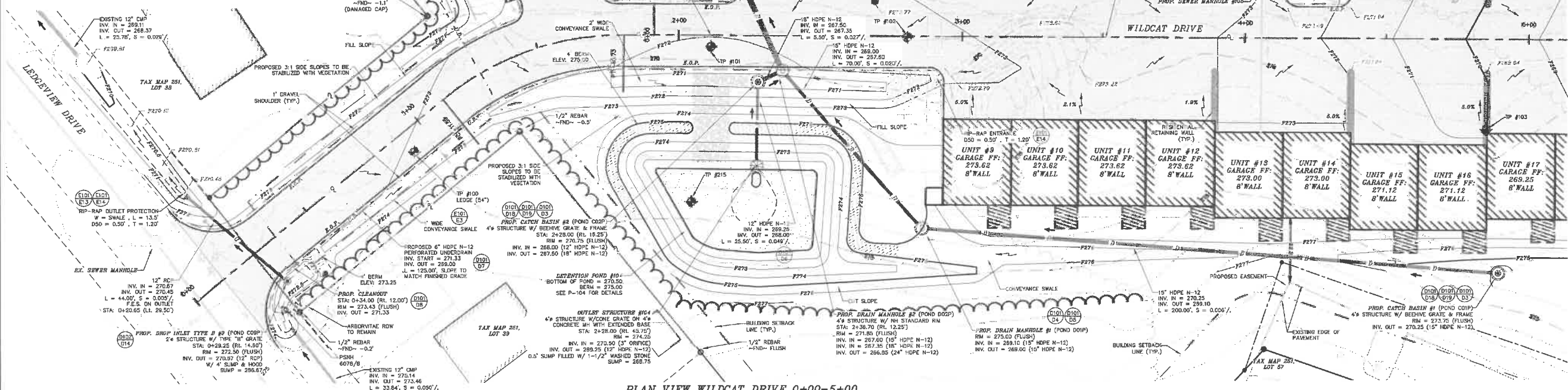
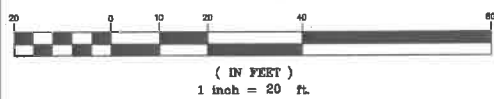
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: 12/31/2024

SHEET 11 OF 53

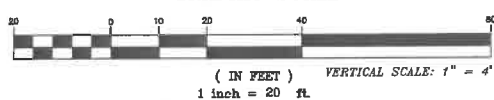


- NOTES:
- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 3.) TAX MAP 251, LOT 68
 - 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - 5.) S.C.R.D.: BOOK 4846, PAGE 406
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

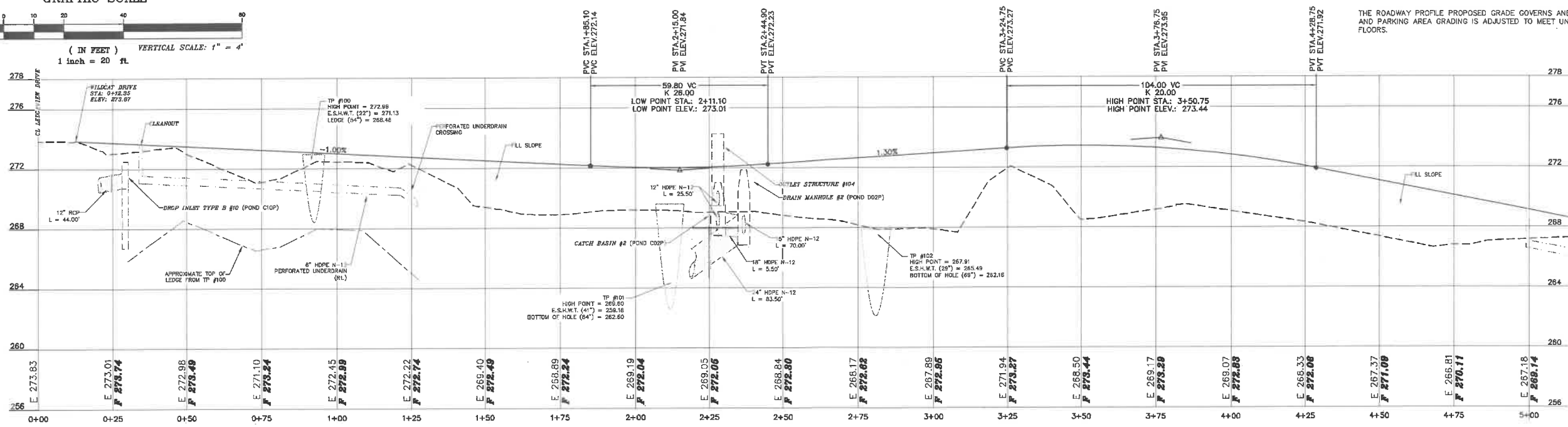
GRAPHIC SCALE



GRAPHIC SCALE



PROFILE VIEW WILDCAT DRIVE 0+00-5+00



GRADING INTENT:

THE ROADWAY PROFILE PROPOSED GRADE GOVERNS AND TRAVEL LANE AND PARKING AREA GRADING IS ADJUSTED TO MEET UNIT FINISHED FLOORS.

ADDITION OF FINAL PERMIT NUMBERS REVISED PER NH F&G CONDITIONS REVISED PER NH F&G WILDLIFE STUDY REVISED PER NH F&G WMB RPM		DATE	REVISION	DESCRIPTION
#5	5-10-21			
#4	4-16-21			
#3	4-2-21			
#2	3-17-21			
#1	3-17-21			

PLAN & PROFILE WILDCAT DRIVE 0+00-5+00
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

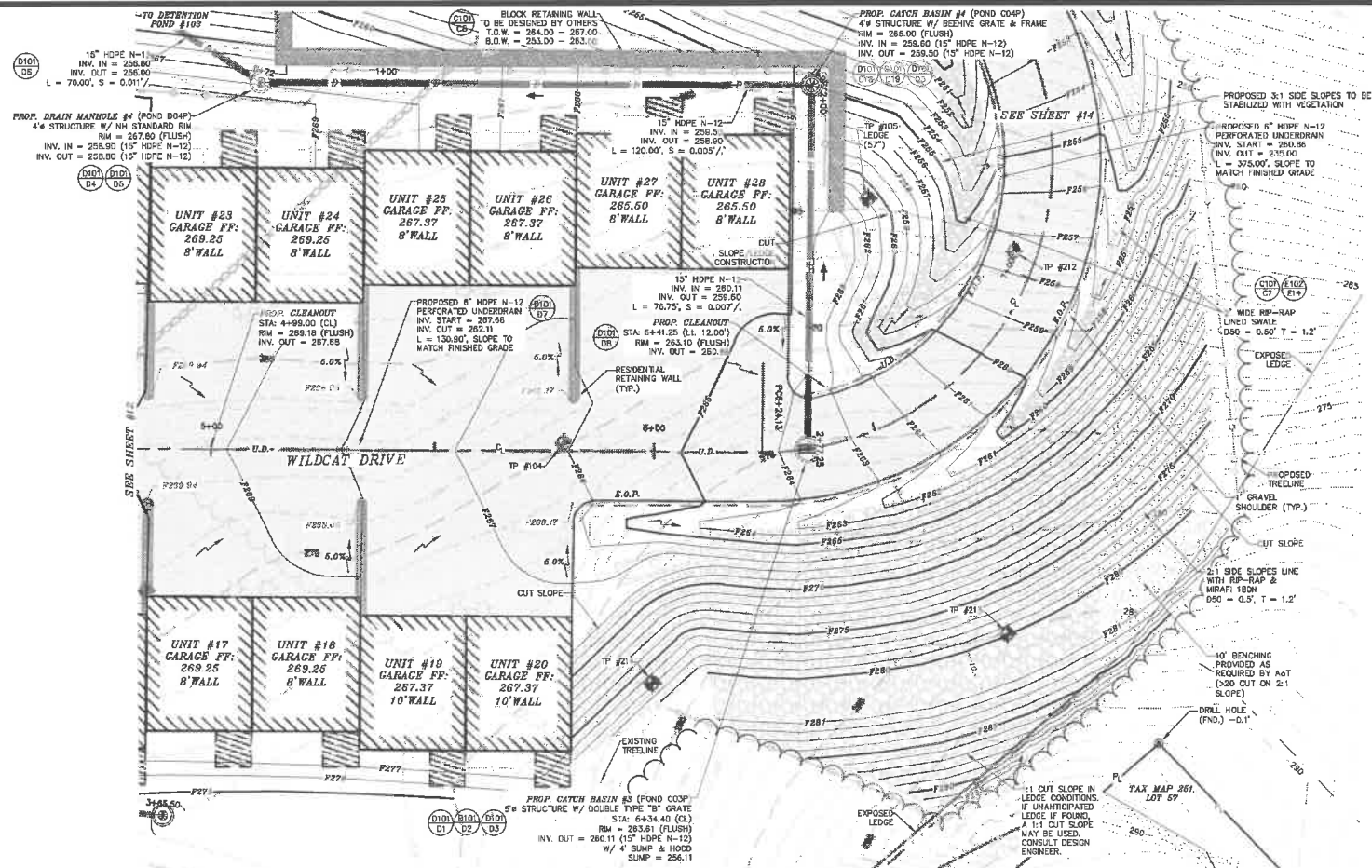
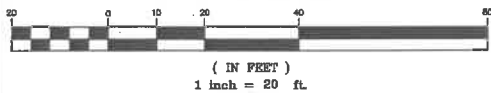
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

SHEET 12 OF 53

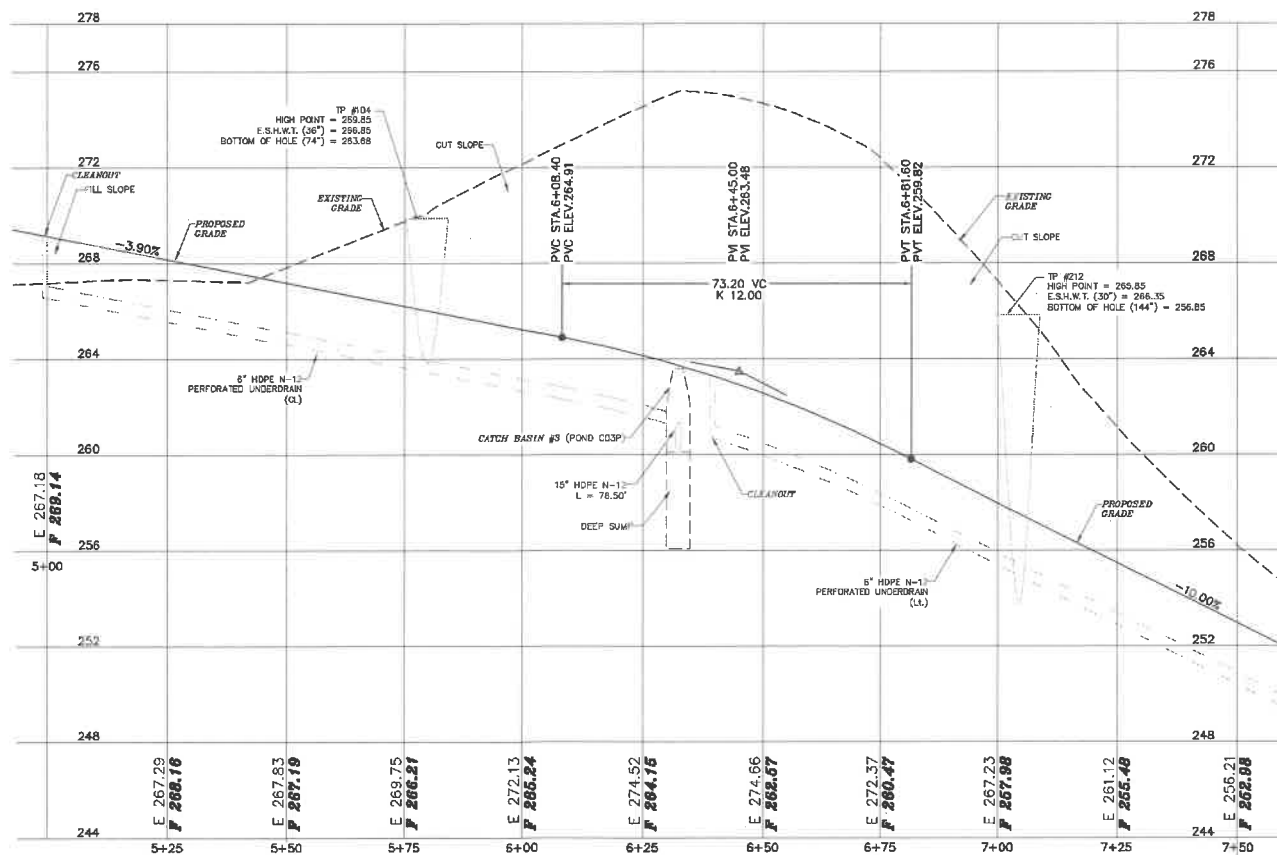
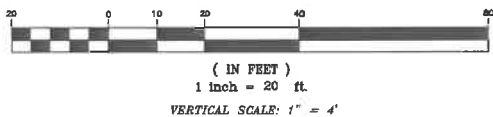
NOTES:

- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- TAX MAP 251, LOT 68
- LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
- S.C.R.D.: BOOK 4846, PAGE 408
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE FREQUENT INTERVALS.
- SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



GRAPHIC SCALE



PLAN VIEW WILDCAT DRIVE 5+00-7+50

PROFILE VIEW WILDCAT DRIVE 5+00-7+50

GRADING INTENT:

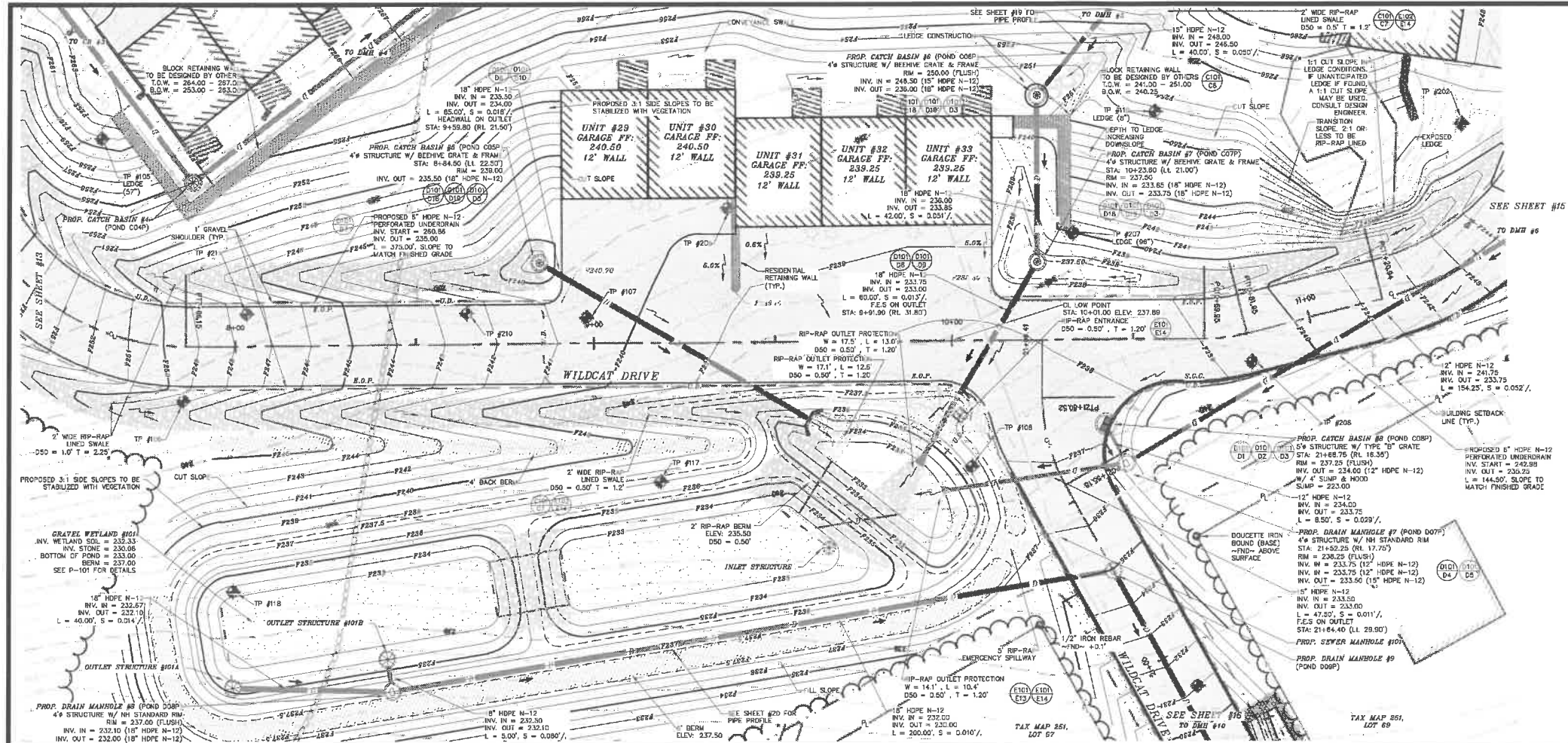
THE ROADWAY PROFILE PROPOSED GRADE GOVERNS AND TRAVEL LANE AND PARKING AREA GRADING IS ADJUSTED TO MEET UNIT FINISHED FLOORS.

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES AGT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES AGT RFM/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WMB RFM

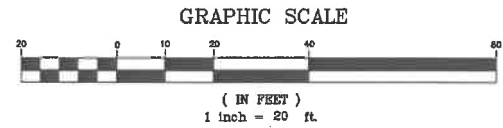
PLAN & PROFILE WILDCAT DRIVE 5+00-7+50
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE
NO. 14343



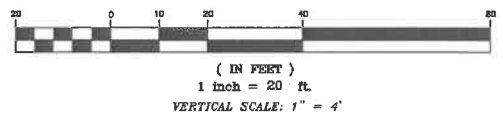
- NOTES:
- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 3.) TAX MAP 251, LOT 68
 - 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - 5.) S.C.R.D.: BOOK 4846, PAGE 406
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WILDCAT DRIVE 7+50-11+50

PROFILE VIEW WILDCAT DRIVE 7+50-11+50

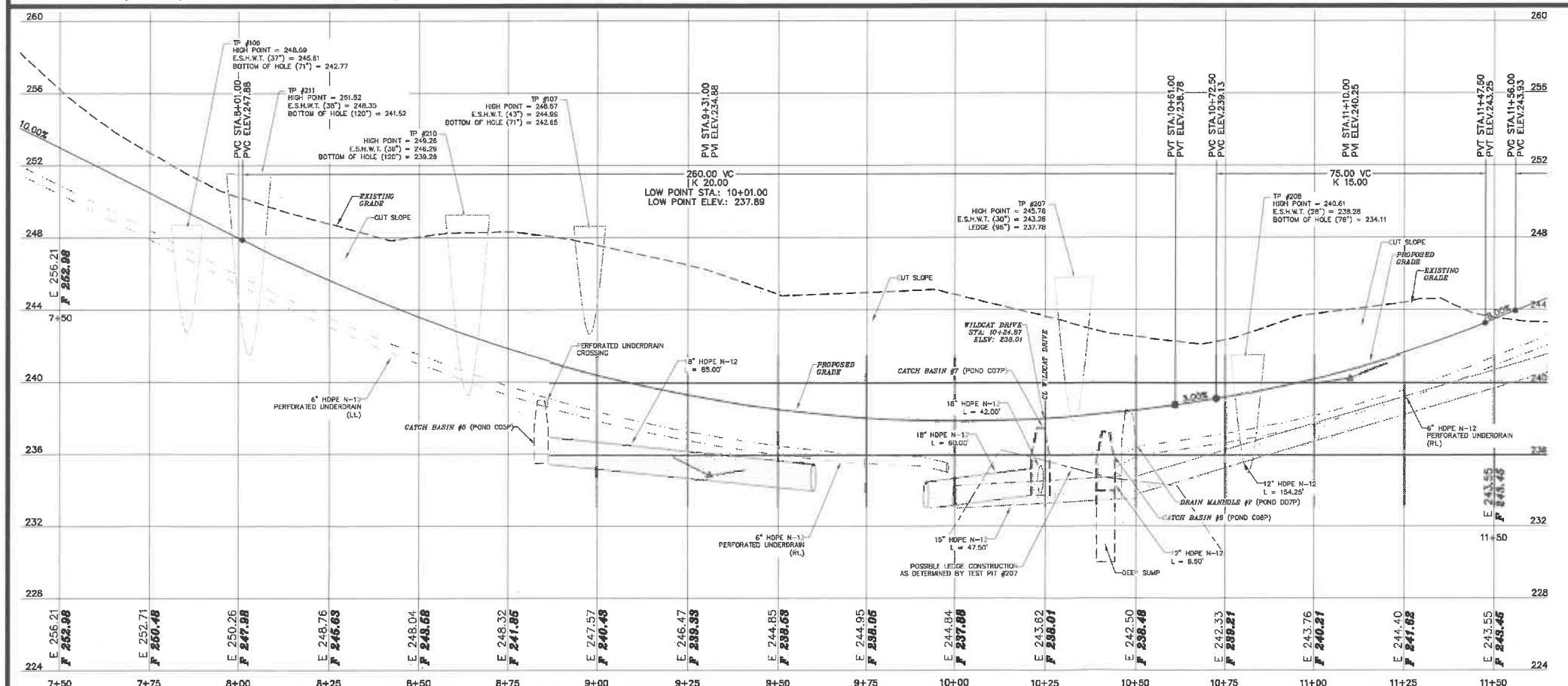
GRAPHIC SCALE



VERTICAL SCALE: 1" = 4'

GRADING INTENT:

THE ROADWAY PROFILE PROPOSED GRADE GOVERNS AND TRAVEL LANE AND PARKING AREA GRADING IS ADJUSTED TO MEET UNIT FINISHED FLOORS.

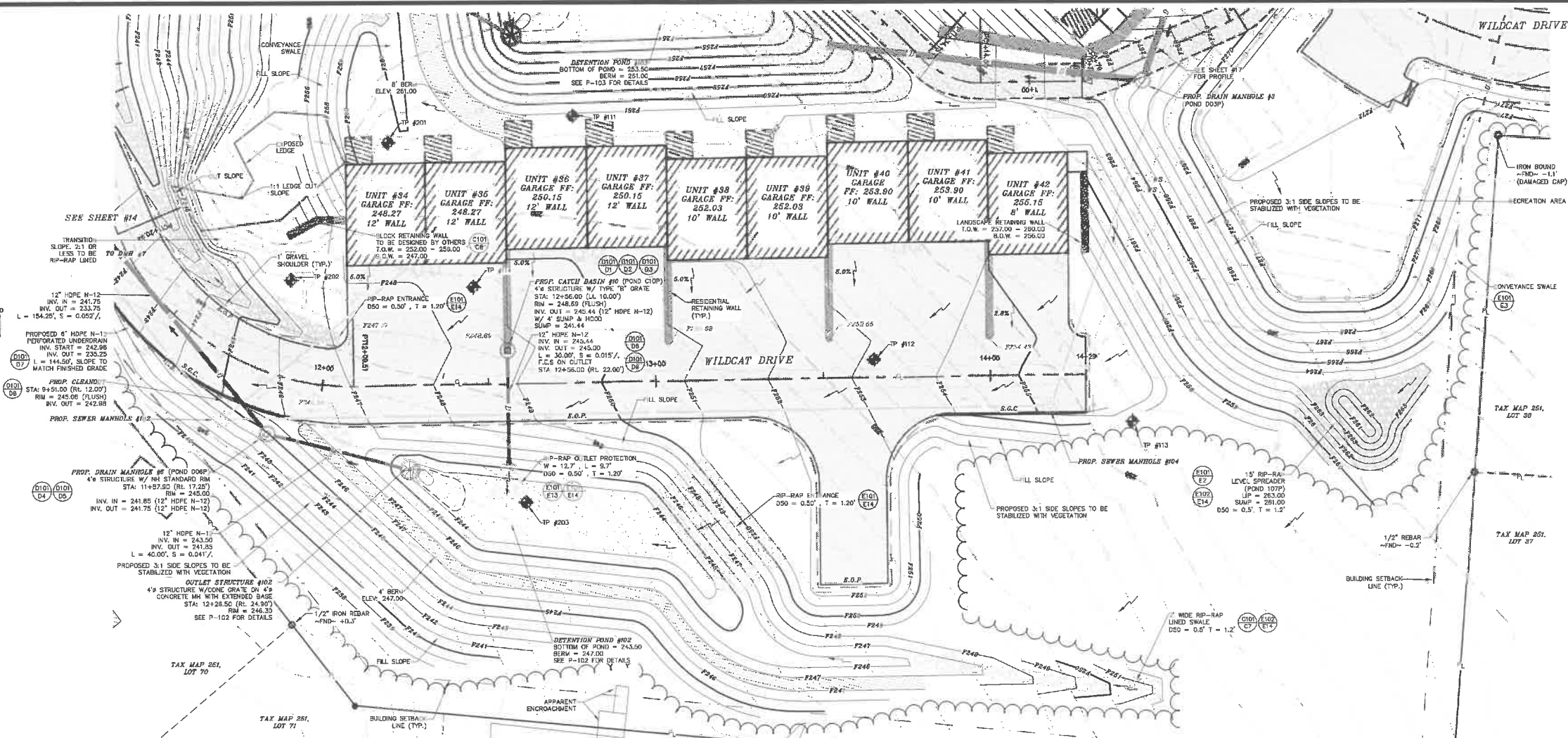
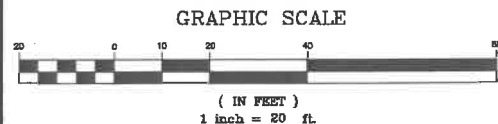


REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES ACT RFM/WILDCAT STUDY
#1	3-17-21	REVISED PER NHDES WILDCAT RFM

PLAN & PROFILE WILDCAT DRIVE 7+50-11+50
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

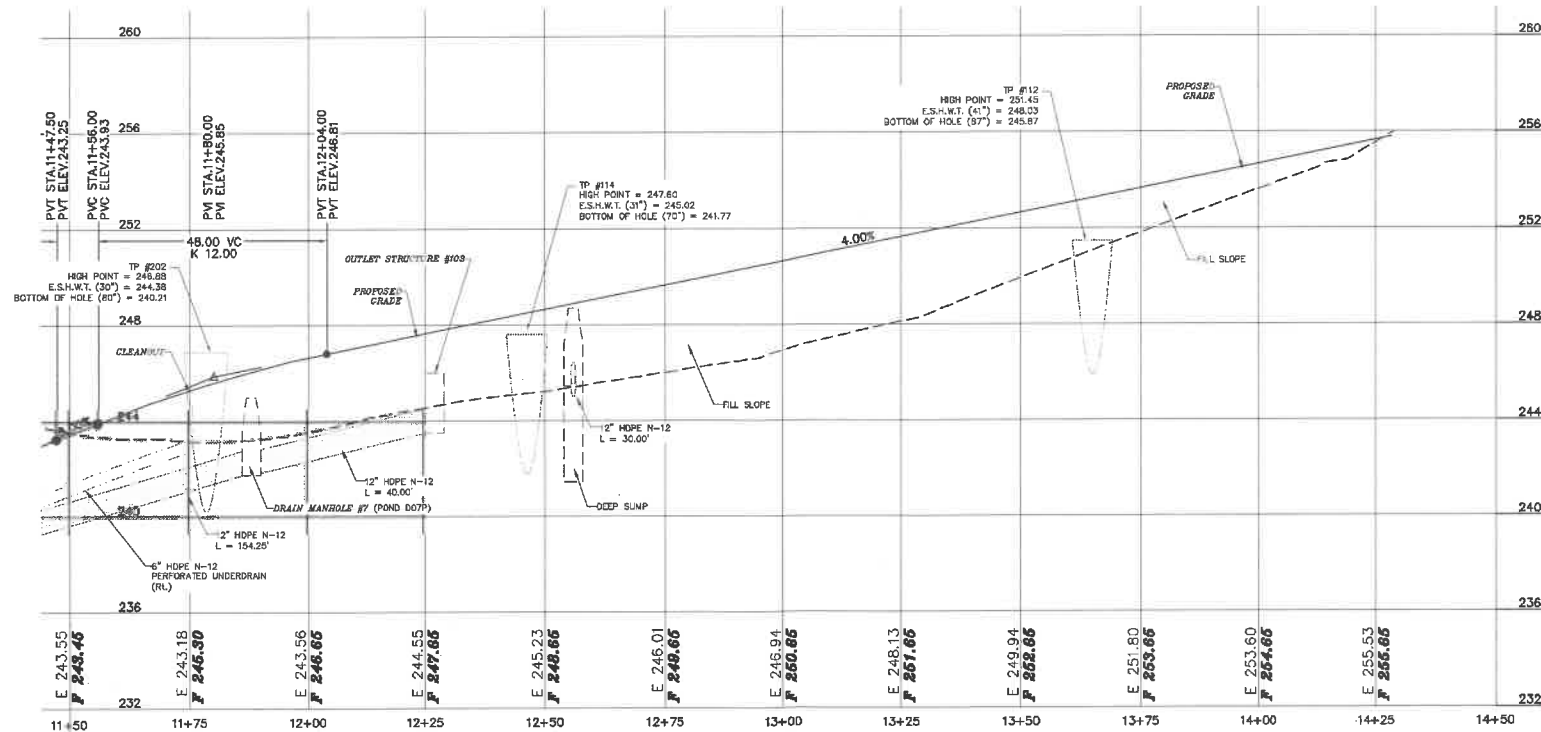
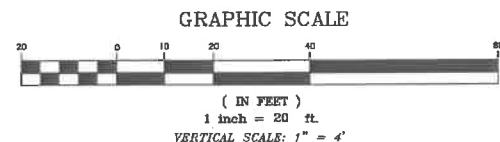
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

- NOTES:
- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 3.) TAX MAP 251, LOT 68
 - 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
 - 5.) S.C.R.D.: BOOK 4846, PAGE 406
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PLAN VIEW WILDCAT DRIVE 11+50-14+29

PROFILE VIEW WILDCAT DRIVE 11+50-14+29



GRADING INTENT:

THE ROADWAY PROFILE PROPOSED GRADE GOVERNS AND TRAVEL LANE AND PARKING AREA GRADING IS ADJUSTED TO MEET FINISHED FLOORS.

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WMB RFI

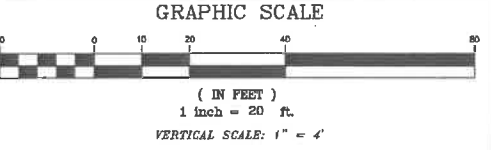
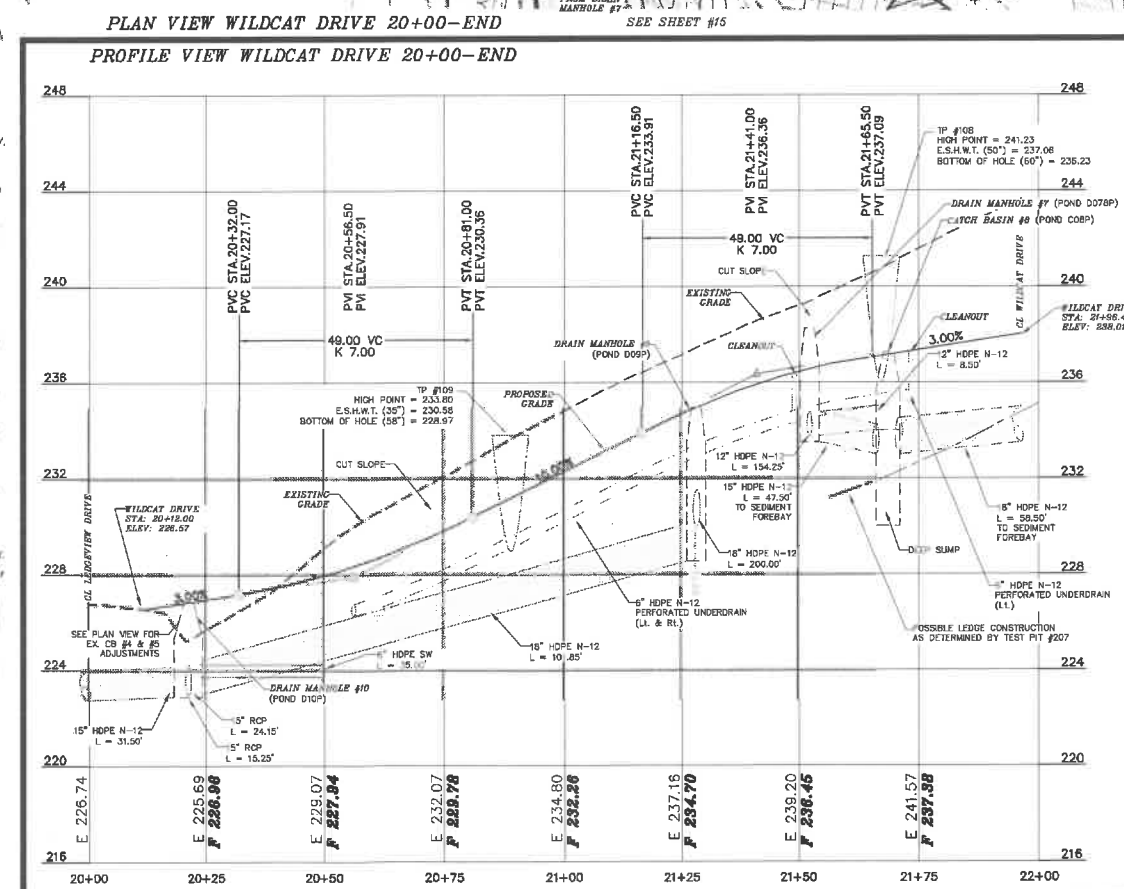
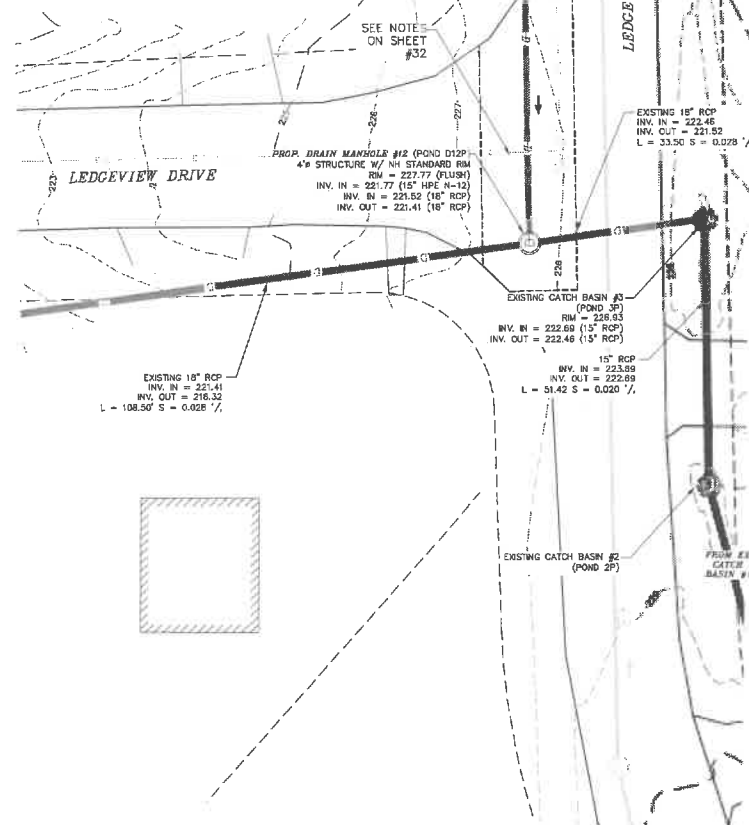
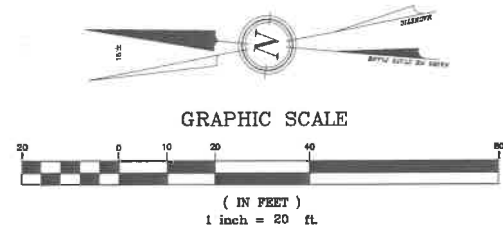
PLAN & PROFILE WILDCAT DRIVE 11+50-14+29
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2024

NOTES:

- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- TAX MAP 251, LOT 68
- LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
- S.C.R.D.: BOOK 4845, PAGE 406
- THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



NOTE: EXISTING CATCH BASINS #4 & #5 ARE TO BE ADJUSTED OR REPLACED. SEE INVERTS.
EXISTING DRAINAGE PIPE MAY BE REPLACED WITH HOPE-N12 IN THESE APPLICATIONS

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES AOT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES AOT RFI/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WWEB RFI

PLAN & PROFILE WILDCAT DRIVE 20+00-END
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 10243

SHEET 16 OF 53

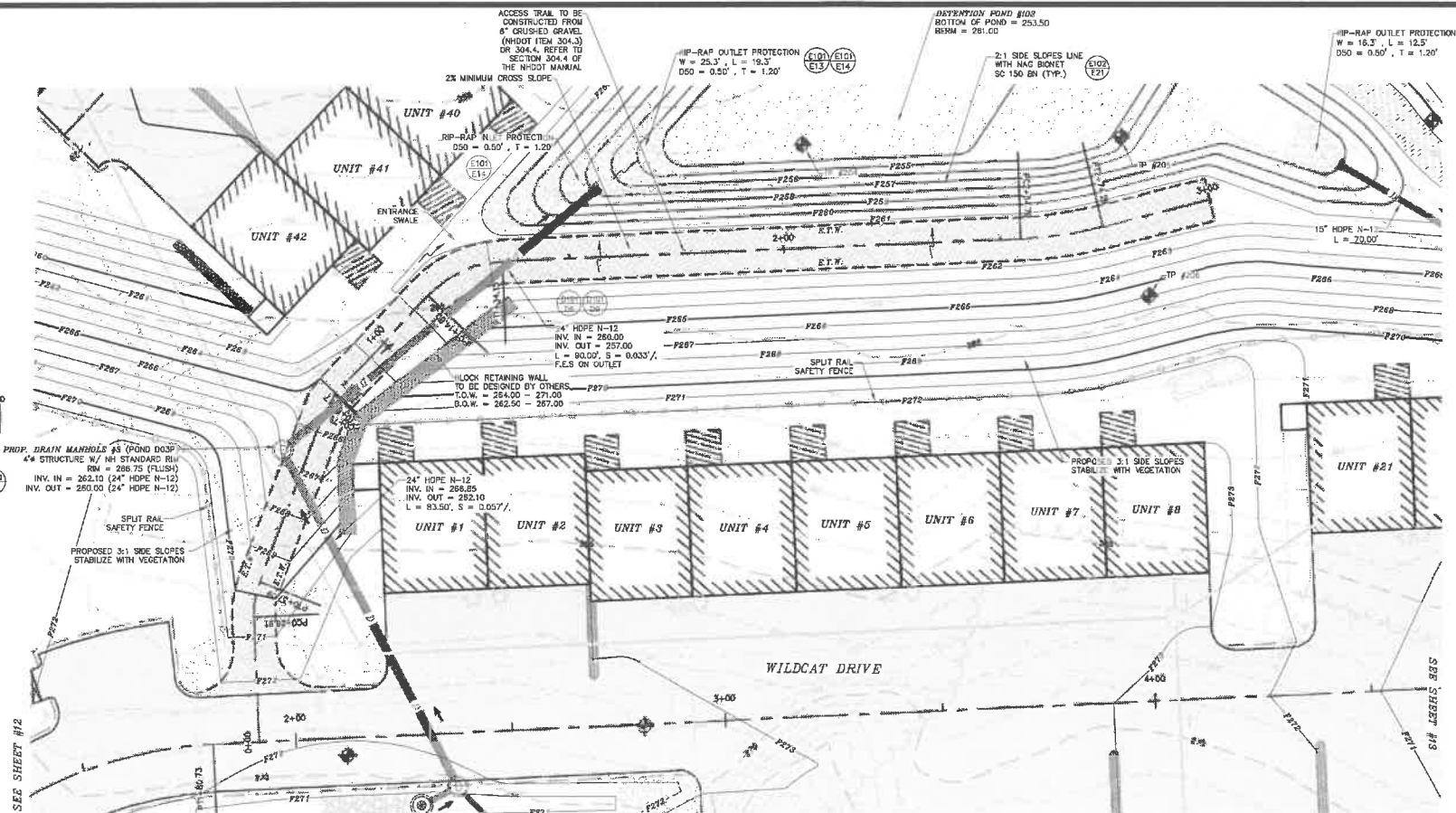
NOTES:

- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 3.) TAX MAP 251, LOT 68
- 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
- 5.) S.C.R.D.: BOOK 4846, PAGE 405
- 6.) THE INTENT OF THIS PLAN IS TO PROVIDE GRADING AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 8.) ES&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



PLAN VIEW DETENTION POND #103 ACCESS TRAIL

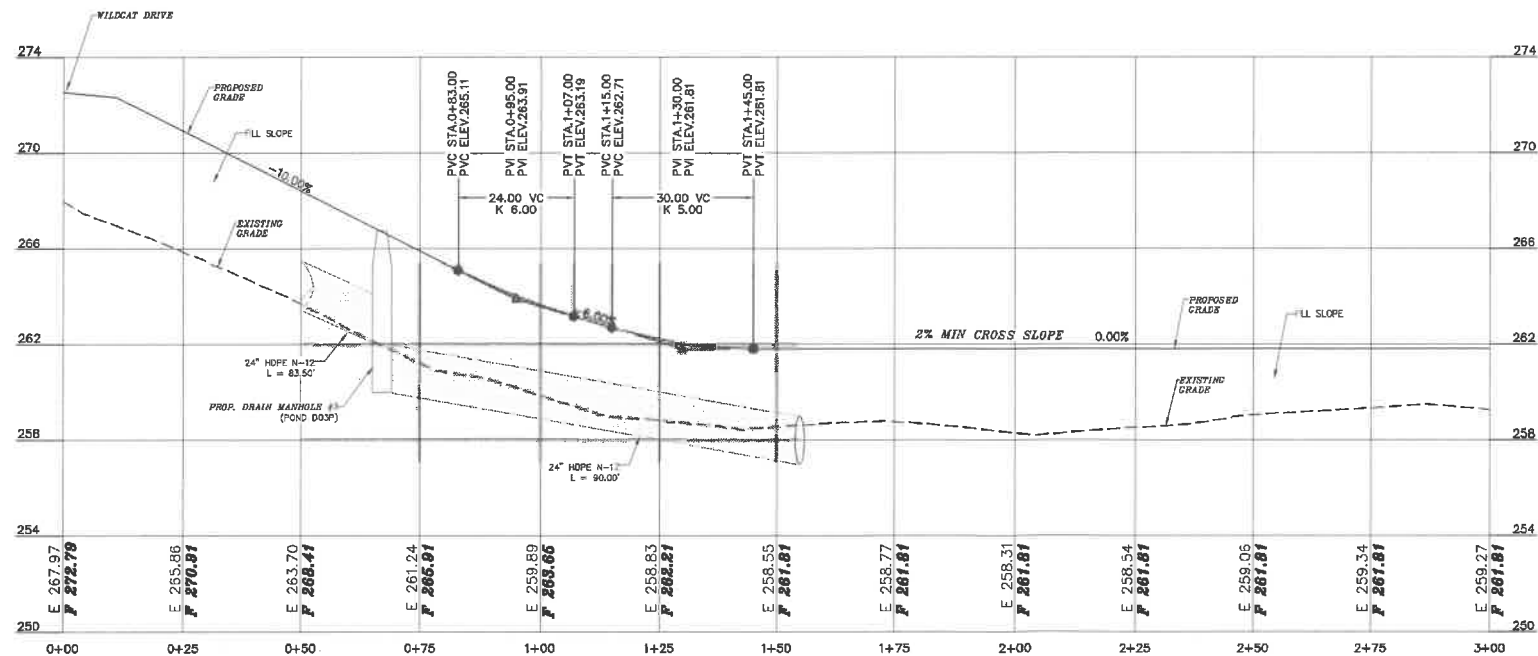
PROFILE VIEW DETENTION POND #103 ACCESS TRAIL

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

VERTICAL SCALE: 1" = 4'



ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES ACT RFM/WILDCAT STUDY
REVISED PER NHDES WWIWB RFM

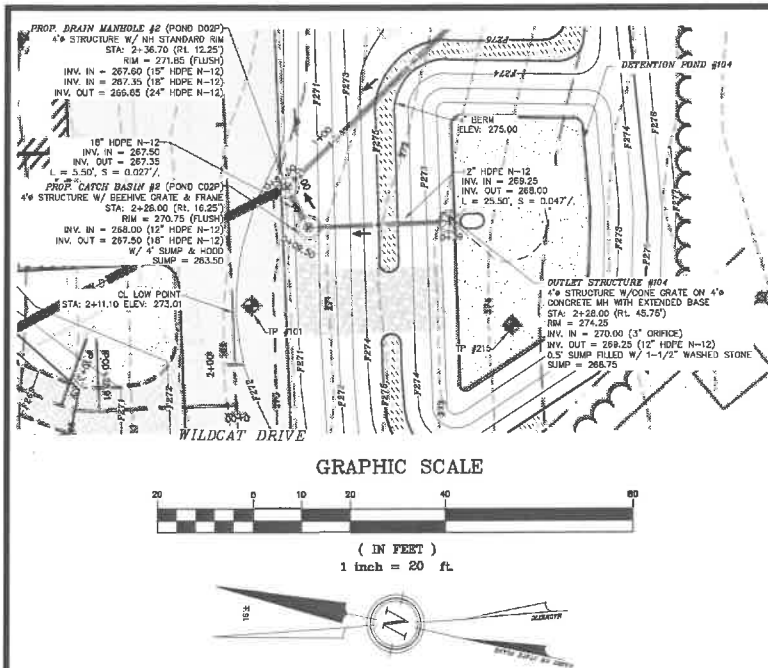
REVISION	DATE	DESCRIPTION
#5	5-10-21	
#4	4-16-21	
#3	4-2-21	
#2	3-17-21	
#1	3-17-21	

DETENTION POND #103 ACCESS TRAIL
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

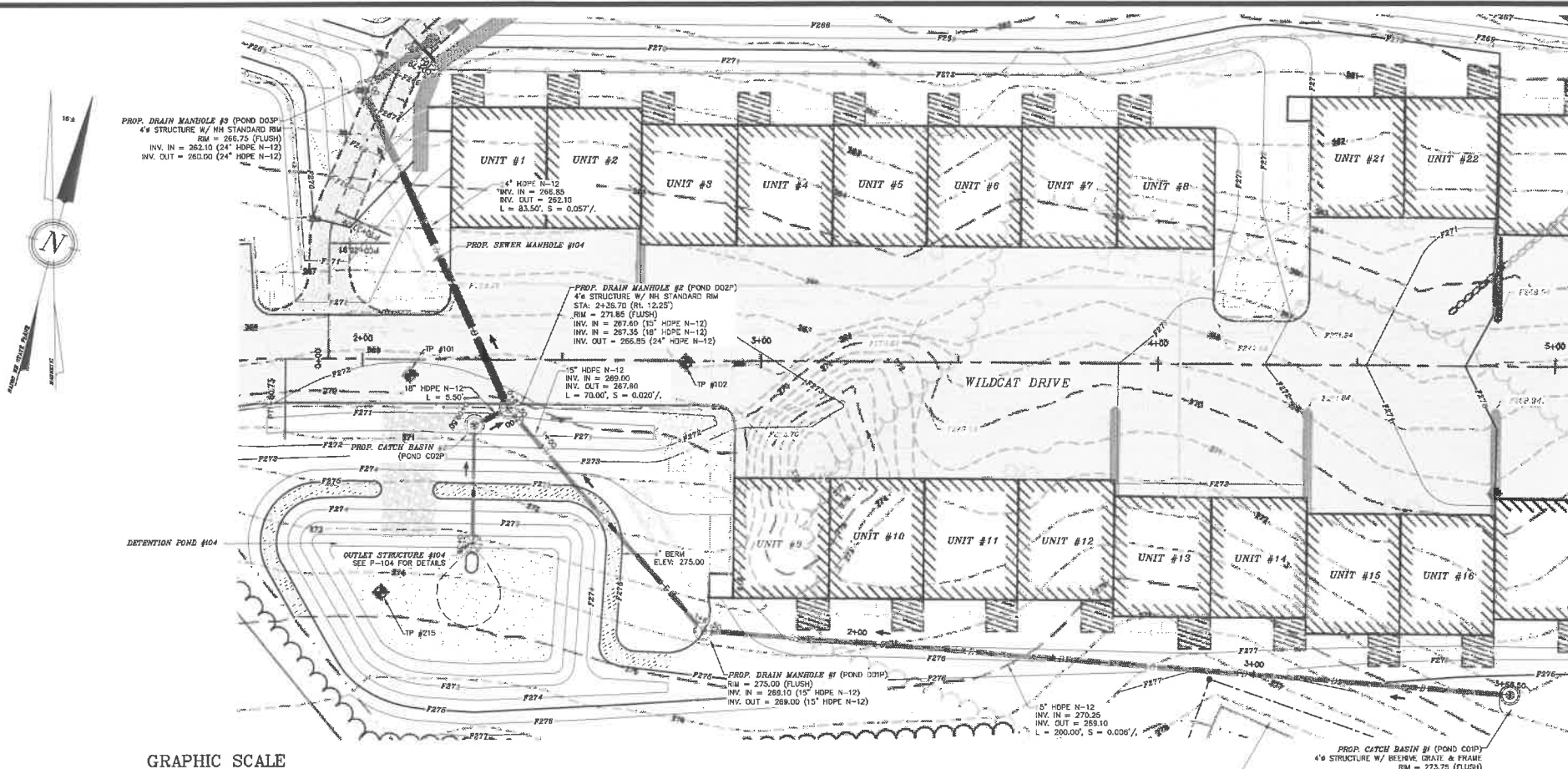
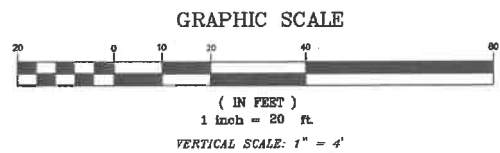
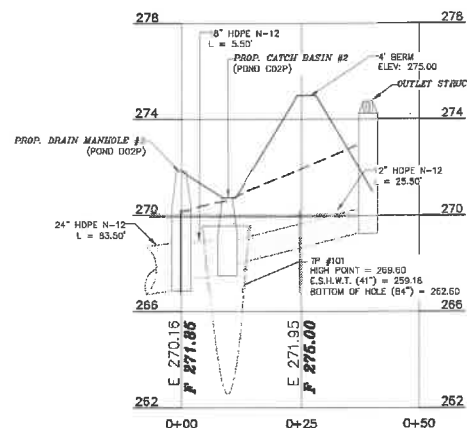
BERRY SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

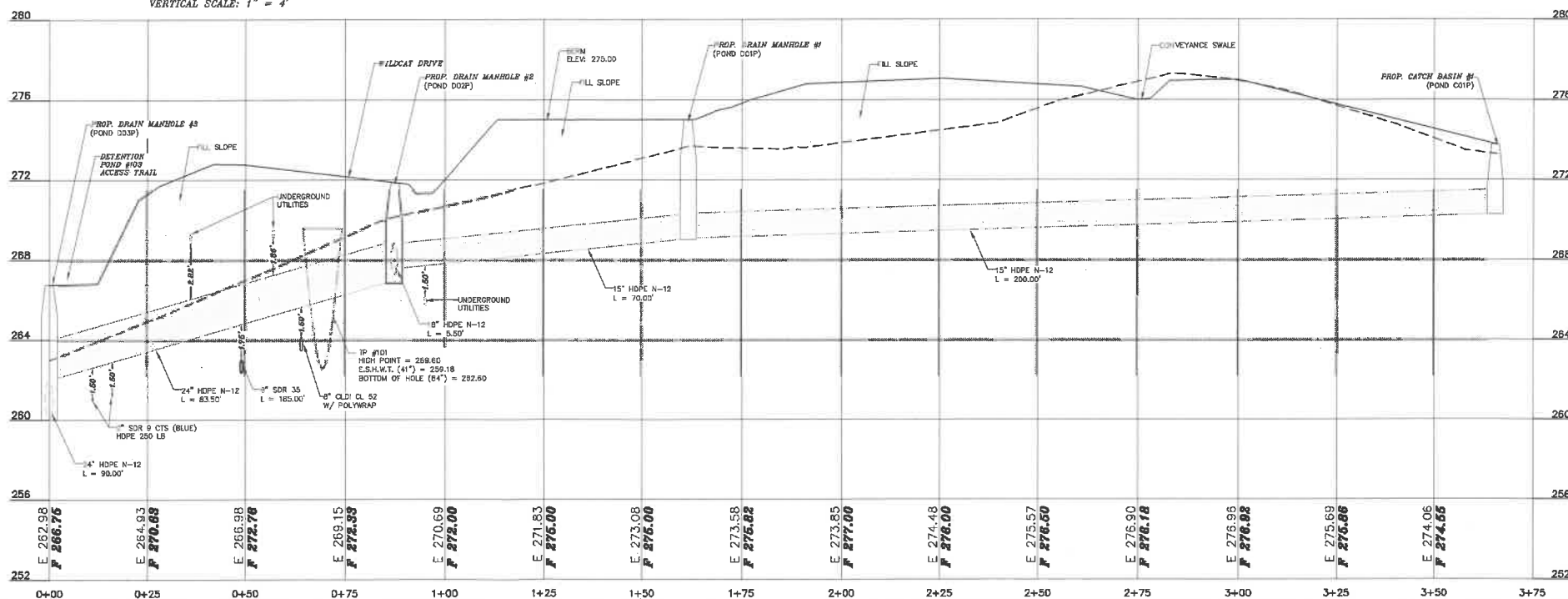
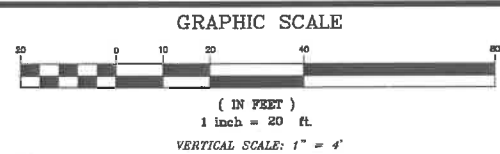




PLAN VIEW OUTLET STRUCTURE #104 TO DMH #2
PROFILE VIEW OUTLET STRUCTURE #104 TO DMH #2



PLAN VIEW CB #1 TO DMH #3
PROFILE VIEW CB #1 TO DMH #3

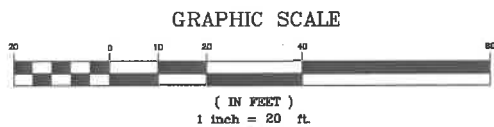
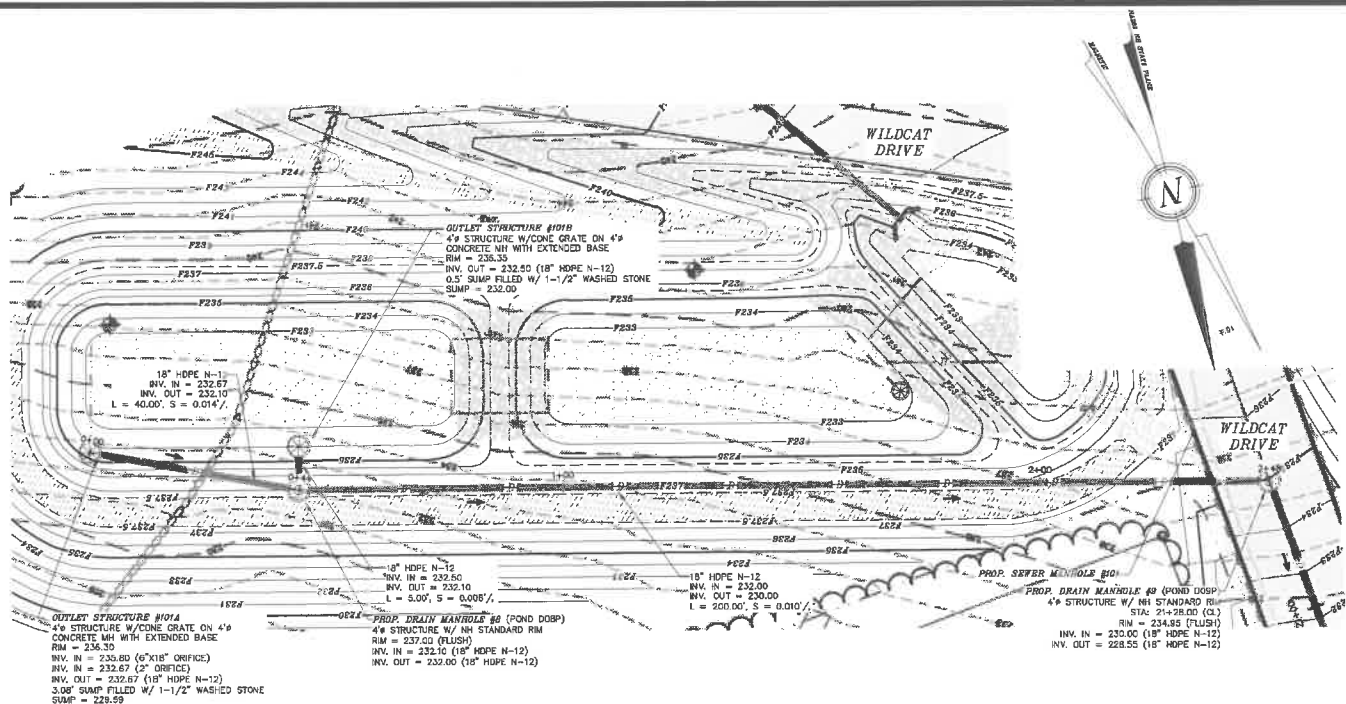


ADDITION OF FINAL PERMIT NUMBERS		REVISION	DATE	DESCRIPTION
5-10-21	REVISED PER NHDES ACT COMMENTS			
4-16-21	REVISED PER NH F&G CONDITIONS			
4-2-21	REVISED PER NH F&G CONDITIONS			
3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY	#5		
3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY	#4		
3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY	#3		
3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY	#2		
3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY	#1		

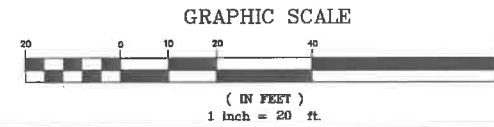
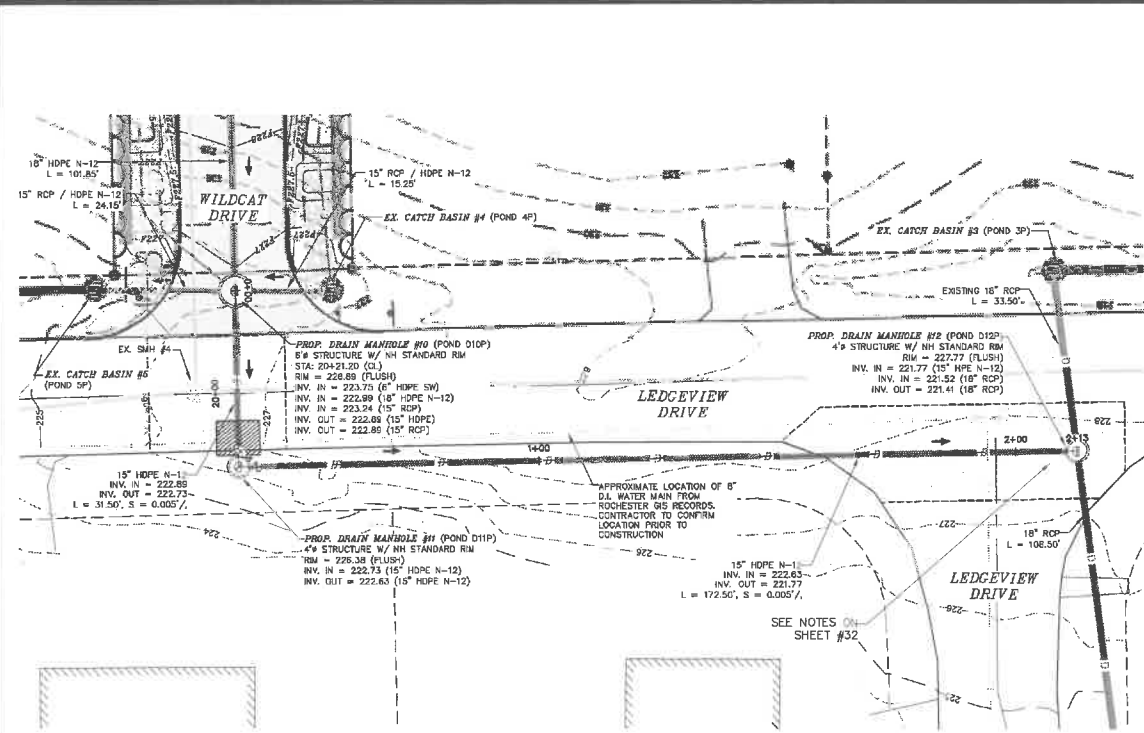
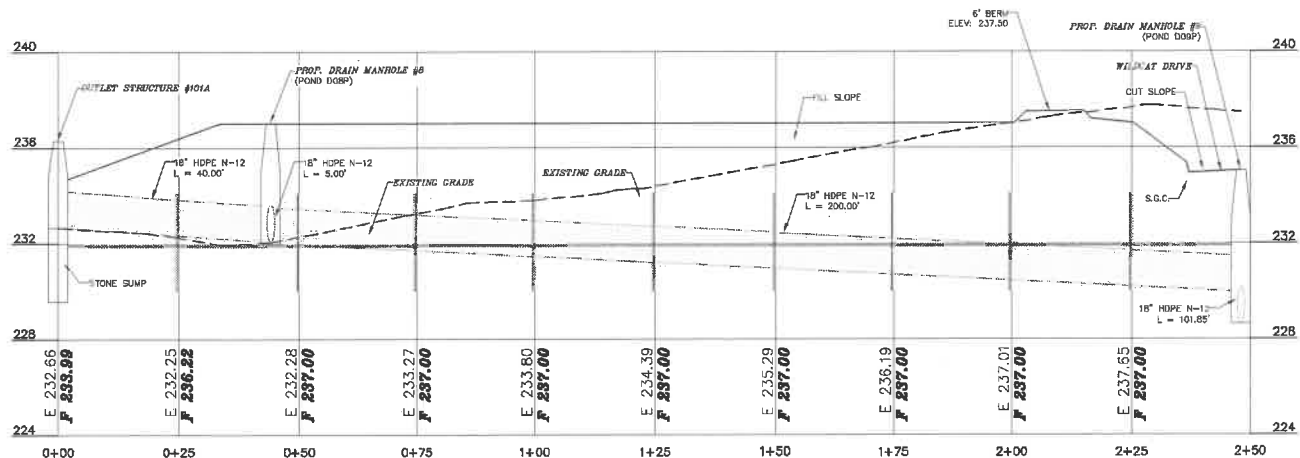
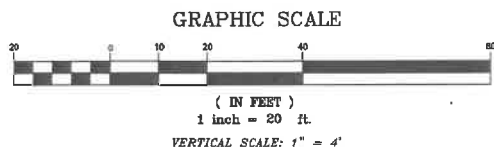
DRAINAGE PIPE PROFILES #1
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

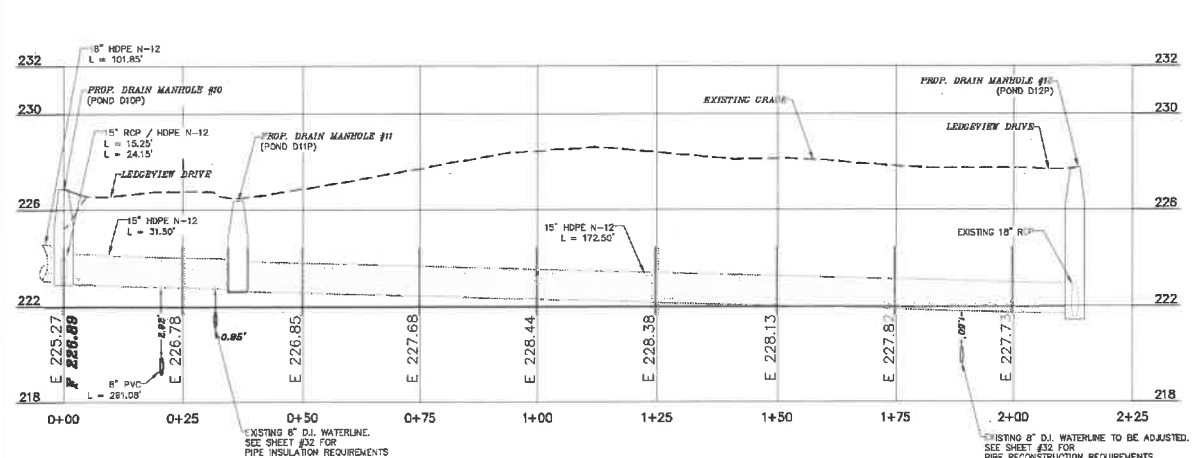
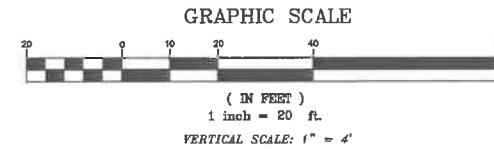
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 104



PLAN VIEW GRAVEL WETLAND #101 TO DMH #9
PROFILE VIEW GRAVEL WETLAND #101 TO DMH #9



PLAN VIEW DMH #10 TO DMH #12
PROFILE VIEW DMH #10 TO DMH #12



BERRY & SURVEYING ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

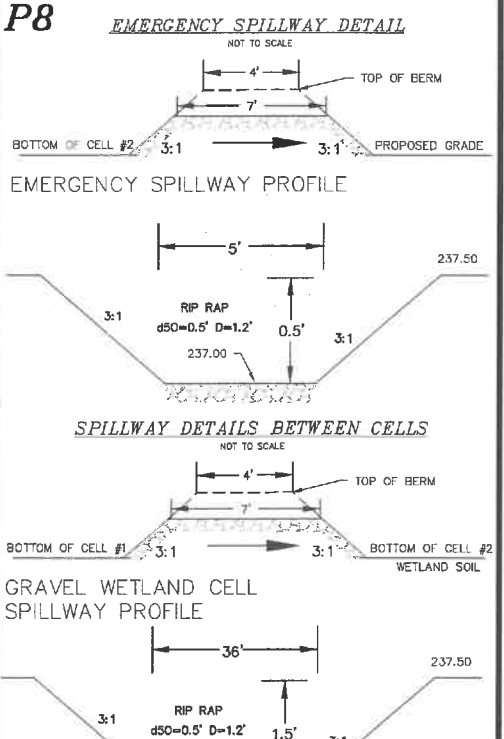
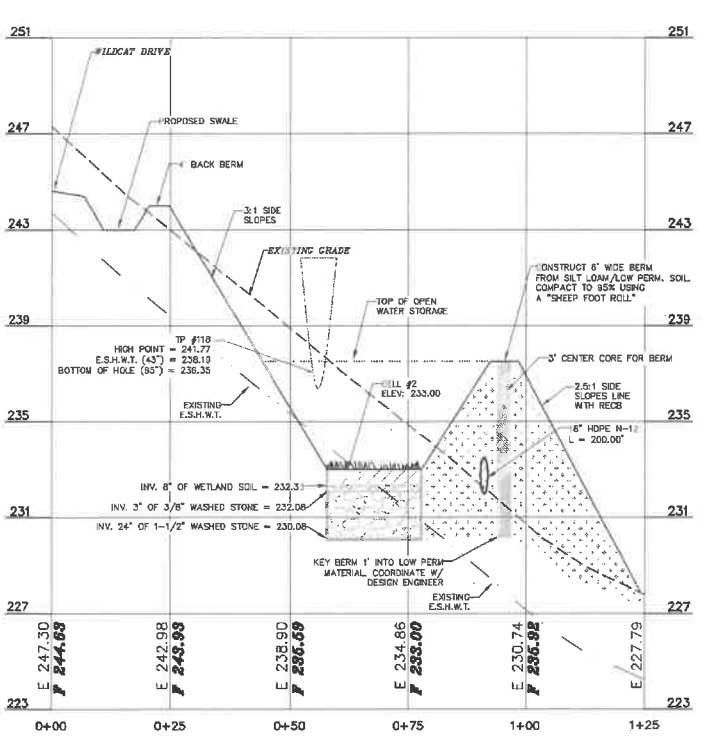
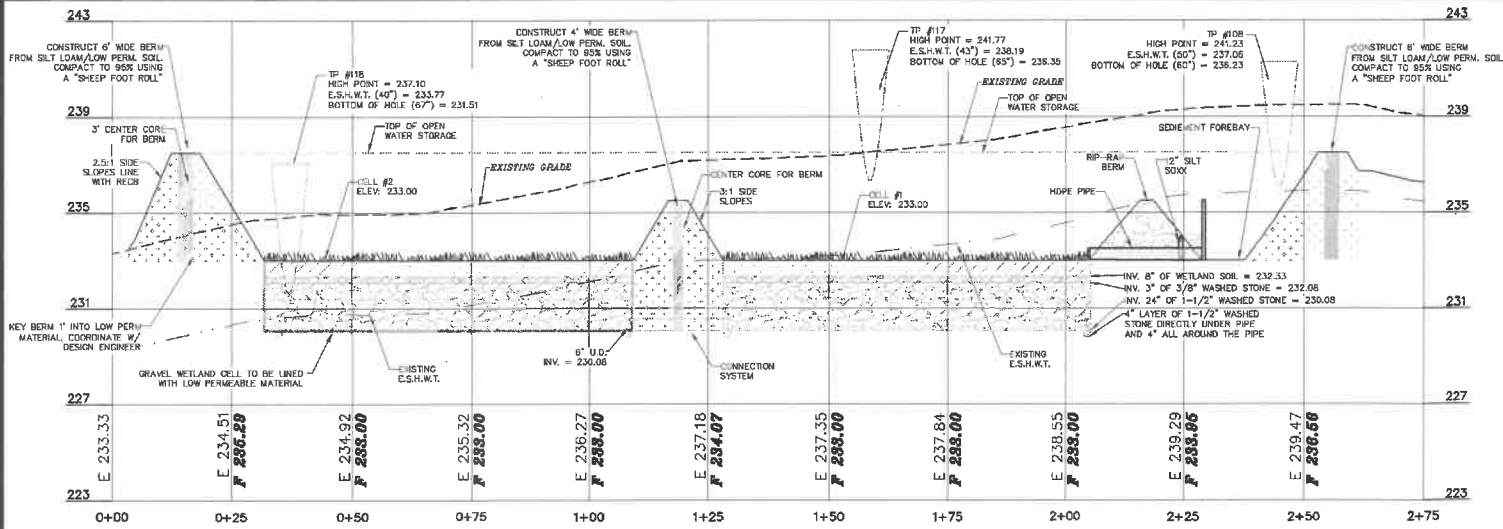
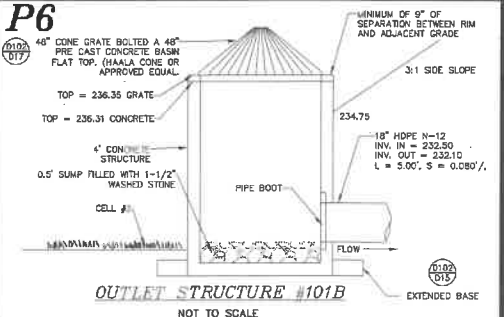
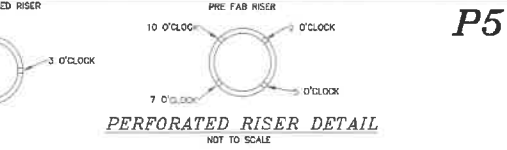
ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES AOT RFM/WILDFE STUDY
REVISED PER NHDES WILDFE REMI

DRAINAGE PIPE PROFILES #3
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68


REVISION	DATE	DESCRIPTION
#5	5-10-21	
#4	4-16-21	
#3	4-2-21	
#2	3-17-21	
#1	3-17-21	

SHEET 20 OF 53

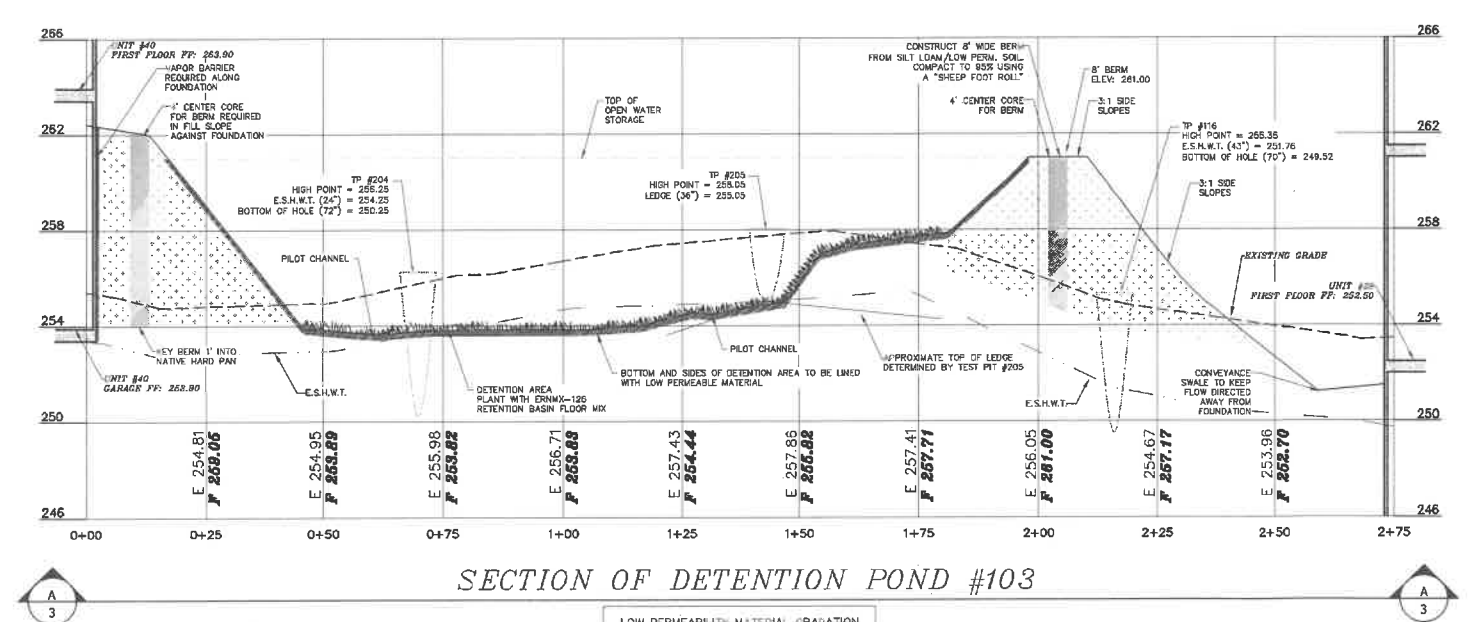
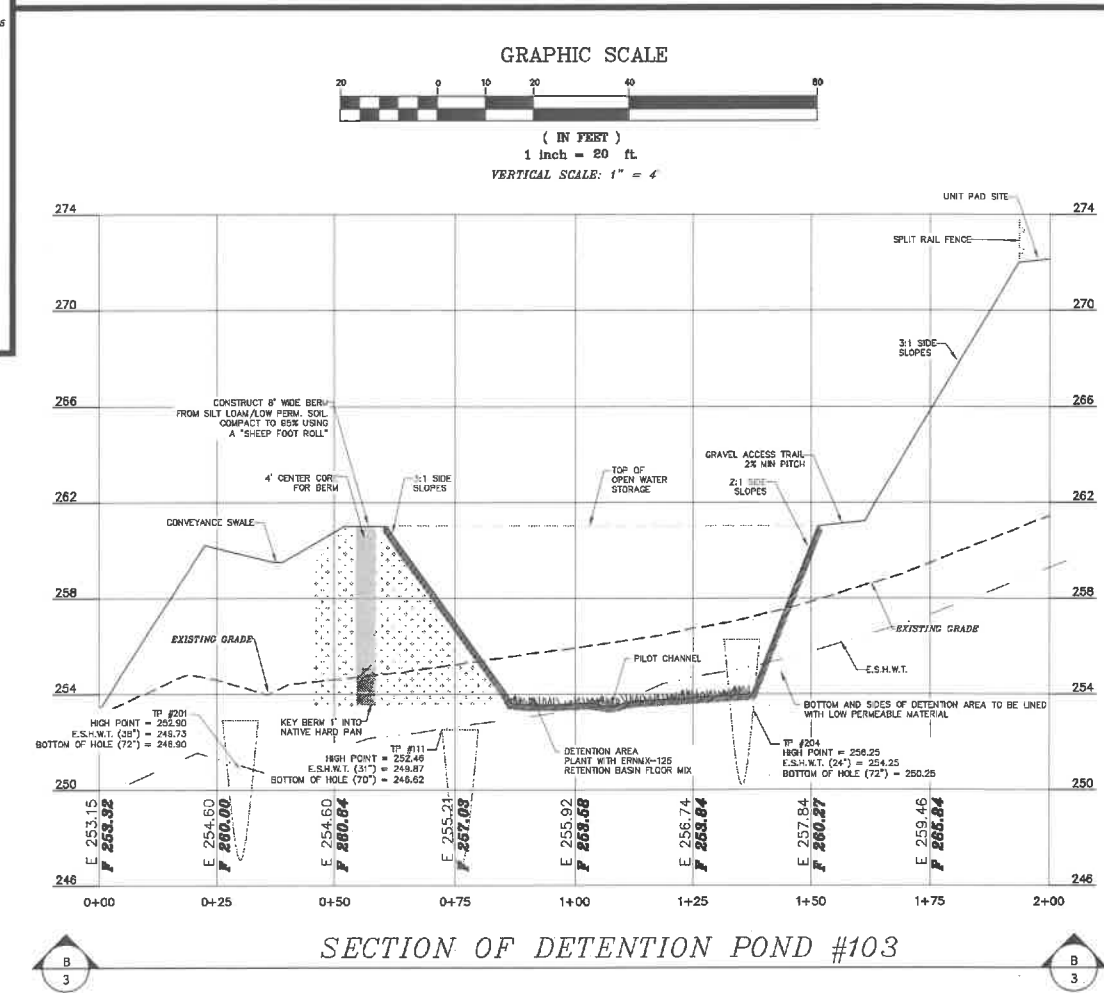
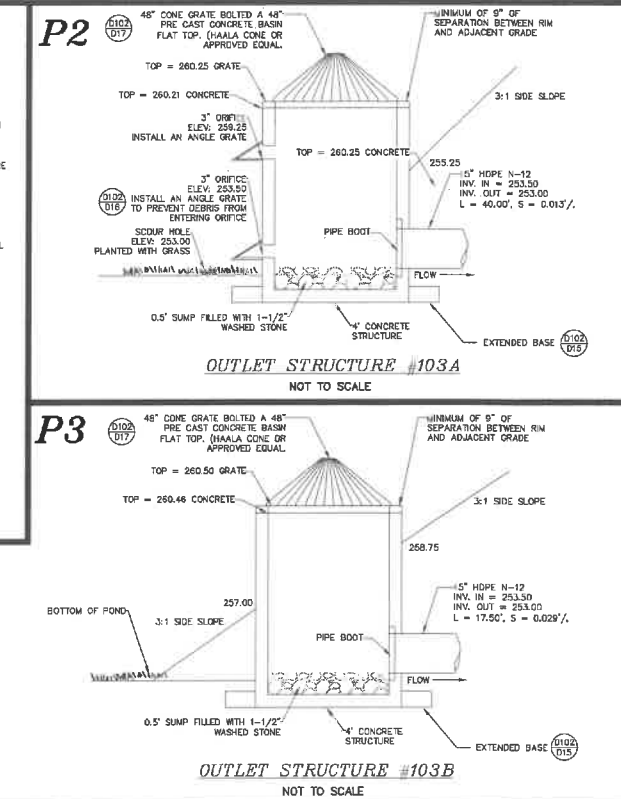
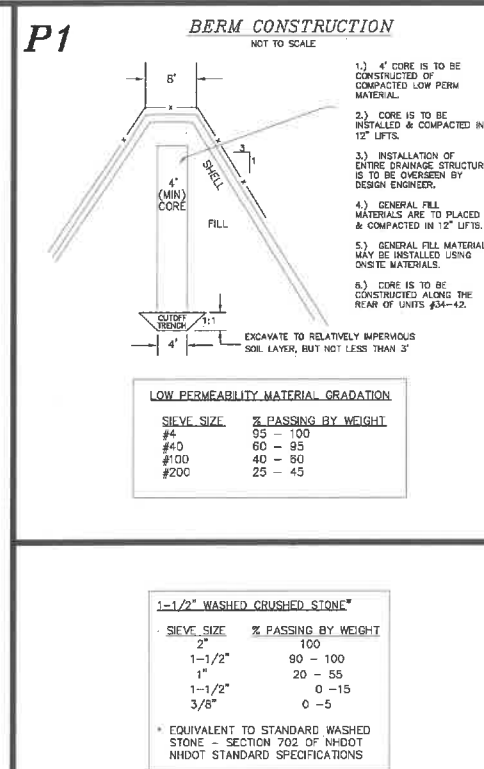
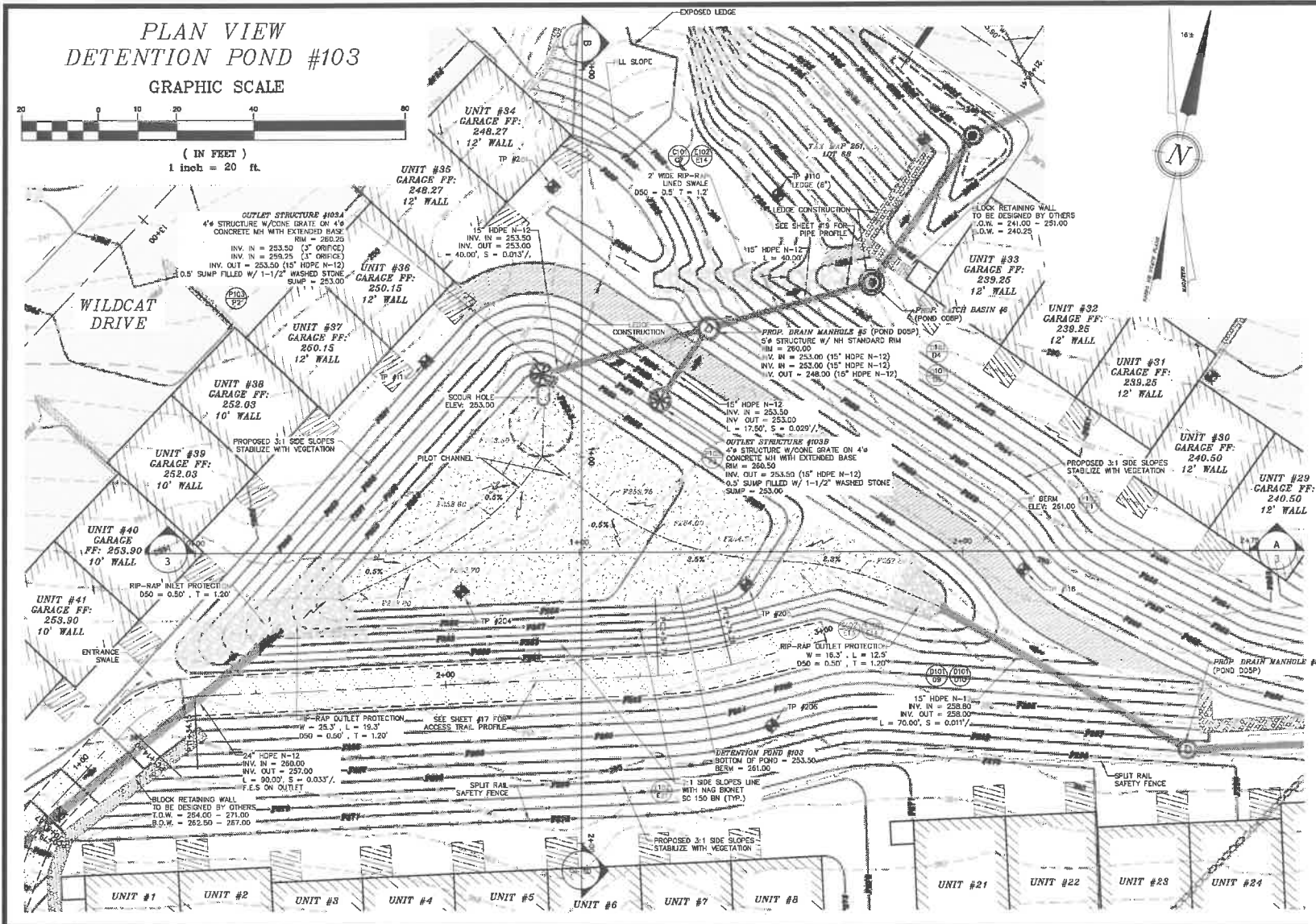
1-1/2" WASHED CRUSHED STONE*		3/8" WASHED CRUSHED STONE*		WETLAND SOIL		DESIGN REQUIREMENTS	
sieve size	% PASSING BY WEIGHT	sieve size	% PASSING BY WEIGHT	sieve size	% PASSING BY WEIGHT	1. UNH. STORMWATER CONTROL	
?	100	1/2"	100	0.5	100	<div> <div>P</div> <div>GRAVEL</div> <div>18" MIN. DIA.</div> </div>	
1-1/2"	90 - 100	3/8"	95 - 100	#10	90 - 75		
1"	20 - 55	# 4	22 - 55	#100	40 - 50		
1/2"	0 - 15	# 20	0 - 10	#250	25 - 50		
3/8"	0 - 5			<u>sieve size</u>	<u>% PASSING TOLERANCES</u>		
				0.5	±10.0		
				#10	±5.0		
				#100	±5.0		



GRAVEL WETLAND #101
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68


 SEAL OF THE STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 1994 1994
 1994 1994

PLANNING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603) 332-2863
 SCALE : 1 IN. EQUALS 20 FT.
 DATE : DECEMBER 30, 2020
 FILE NO. : DB 2020 - 081



ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES ACT RFW/WBDE STUDY
REVISED PER NHDES WMBE RFW

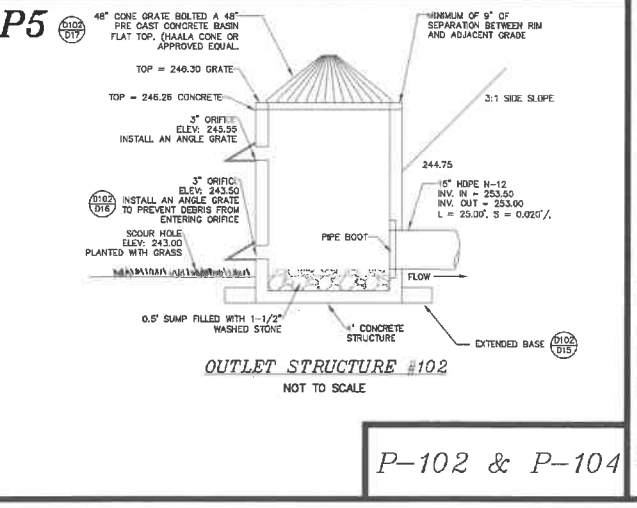
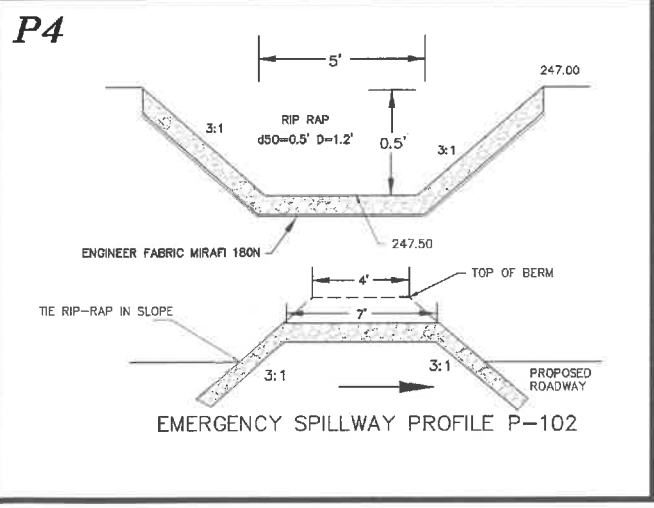
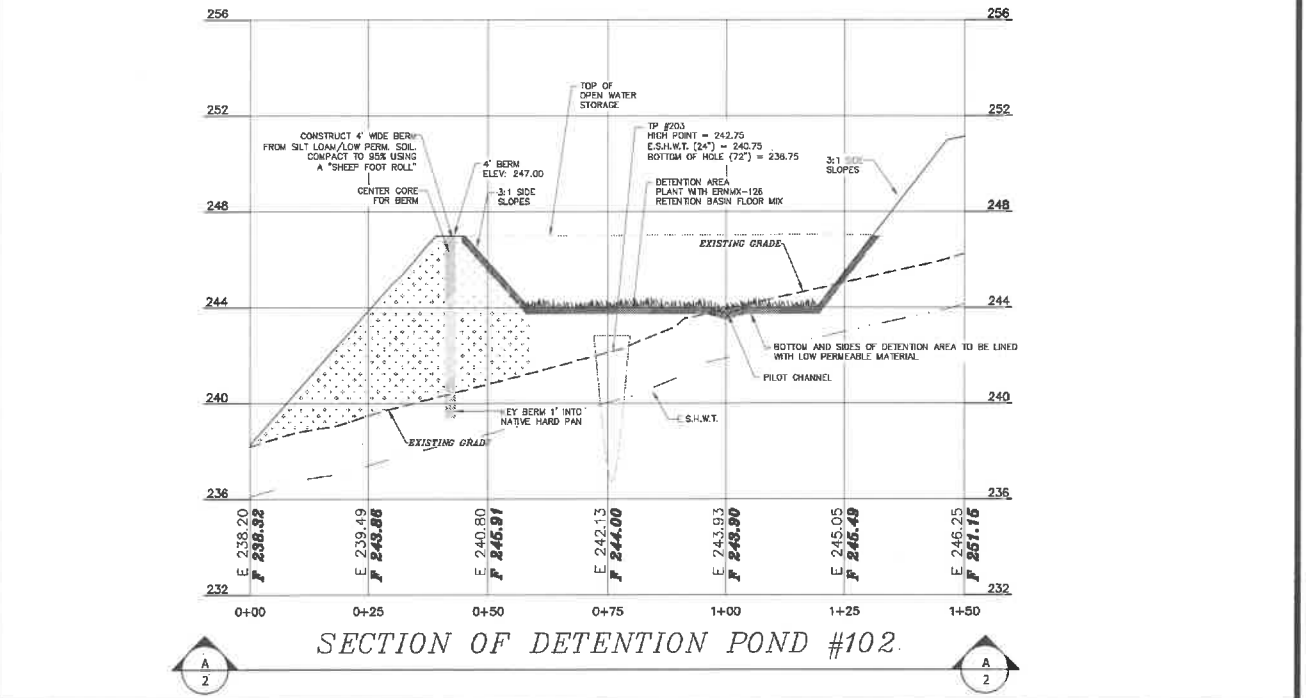
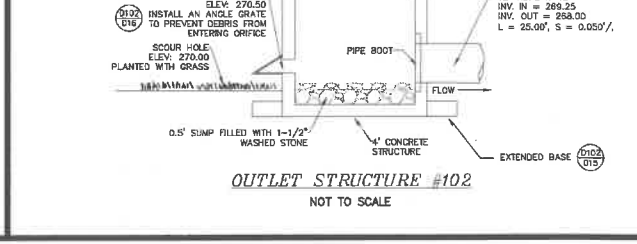
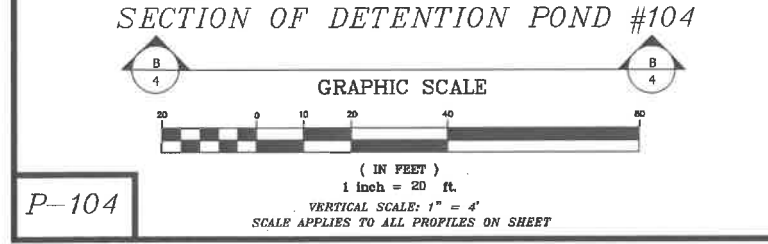
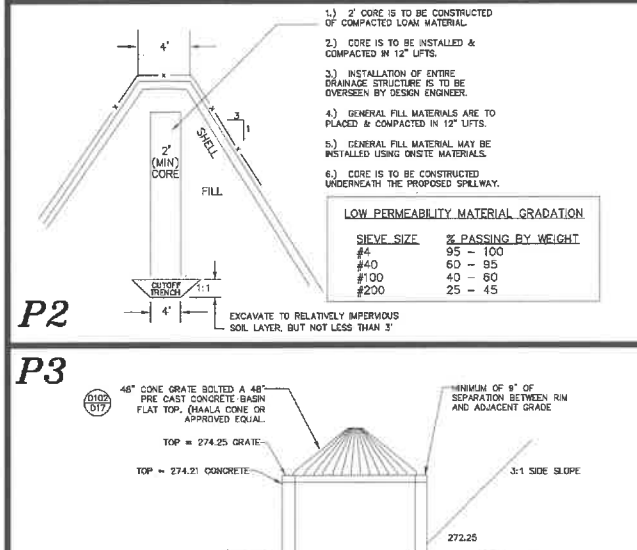
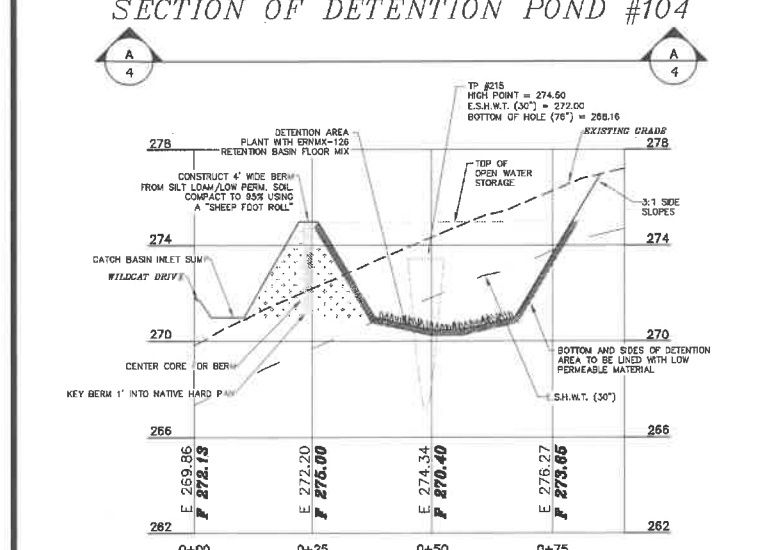
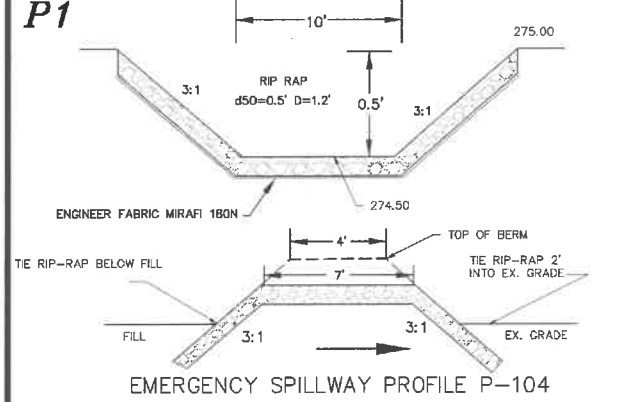
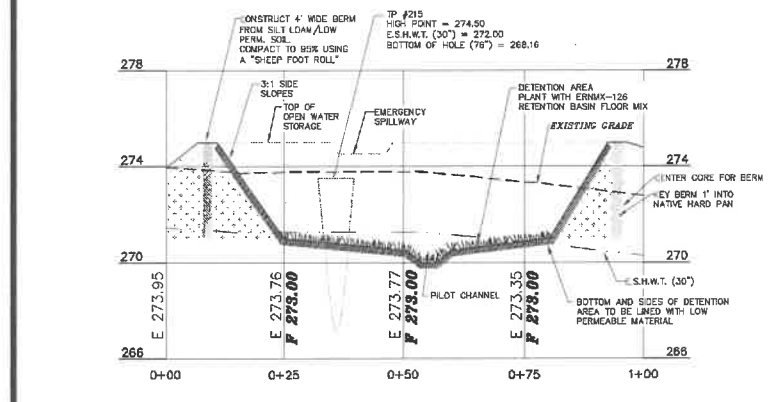
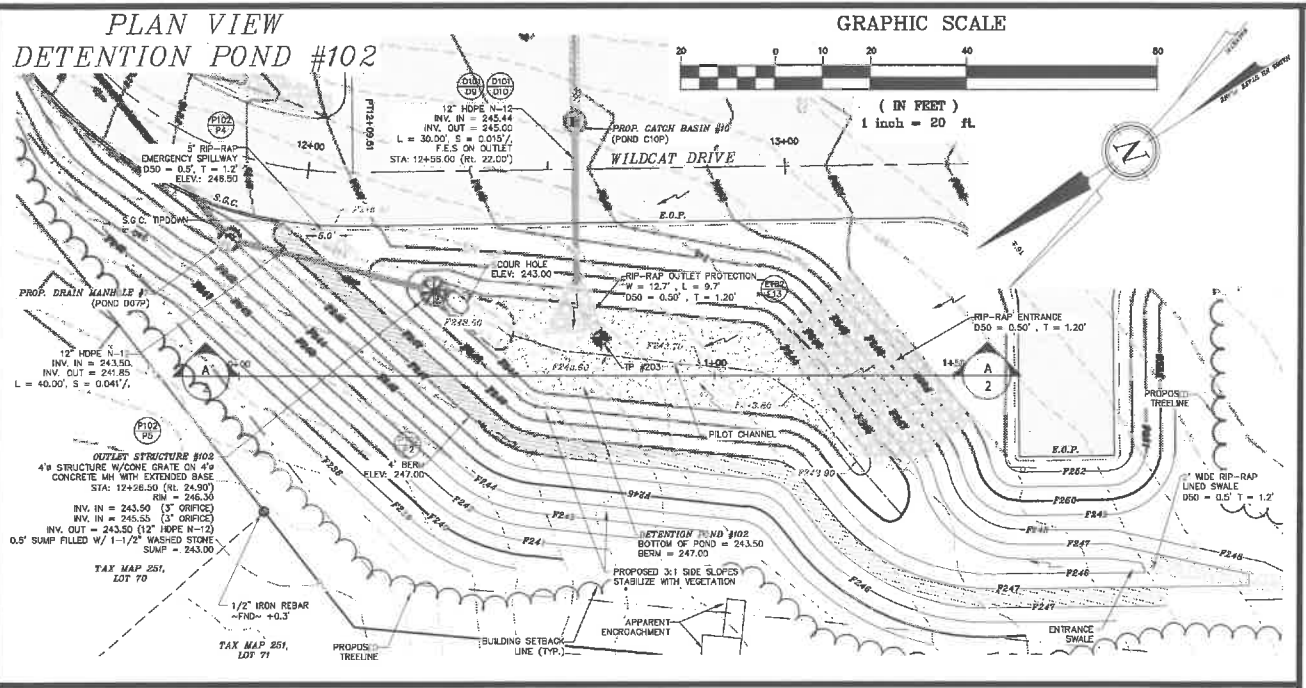
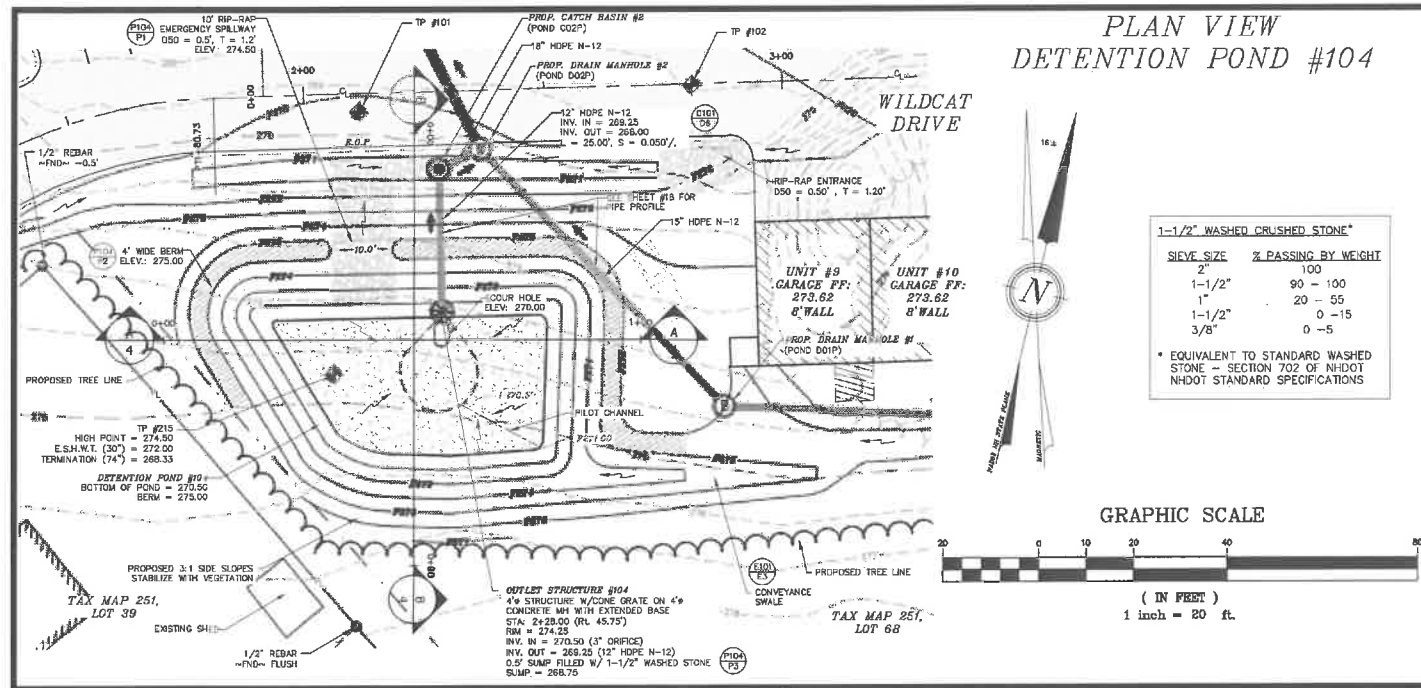
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#4	4-16-21	
#3	4-2-21	
#2	3-17-21	
#1	3-17-21	

DETENTION POND #103
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2853
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
No. 12345

P-103
SHEET 22 OF 53



ADDITION OF FINAL PERMIT NUMBERS REVISED PER NHDES ACT COMMENT REVISED PER NH F&G CONDITIONS REVISED PER NHDES ACT RFI/WILDLIFE STUDY REVISED PER NHDES WHEB RFI		DESCRIPTION
5-10-21		
4-16-21		
4-2-21		
3-17-21		
3-17-21		

REVISION	DATE
#5	5-10-21
#4	4-16-21
#3	4-2-21
#2	3-17-21
#1	3-17-21

DETENTION POND #102 & DETENTION POND #104
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 1243
Professional Engineer

SHEET 23 OF 53

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SEIVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

1-1/2" WASHED CRUSHED STONE*	
SEIVE SIZE	% PASSING BY WEIGHT
2"	100
1-1/2"	90 - 100
1"	20 - 55
1/2"	0 - 15
3/8"	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

RAIN GARDEN MIX

THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.

NOTES

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA.
- COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE FILTRATION COMPONENTS OF THE SYSTEM.

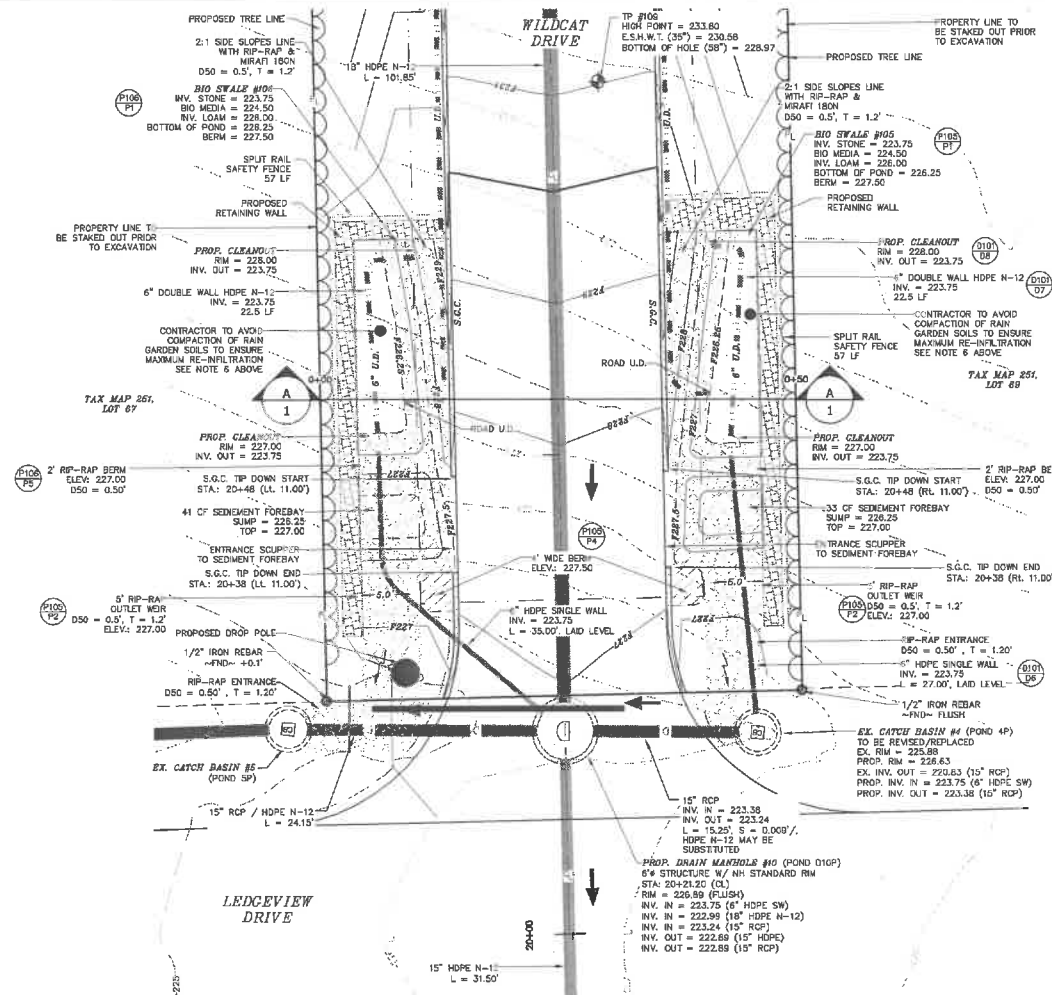
MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

P1

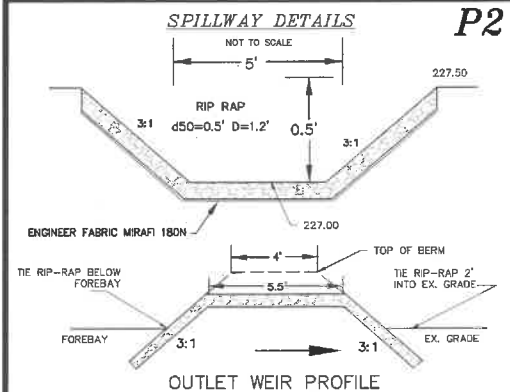


ADDITION OF FINAL PERMIT NUMBERS	REVISION	DATE
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4-16-21	#4	
4-2-21	#3	
3-17-21	#2	
3-17-21	#1	

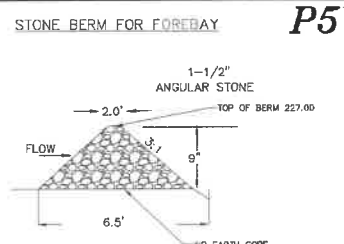
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5-10-21	#5	
4-16-21	#4	
4-2-21	#3	
3-17-21	#2	
3-17-21	#1	

BIO SWALE #105 & #106
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

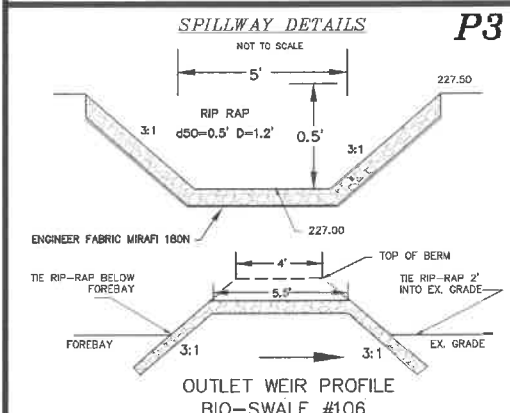
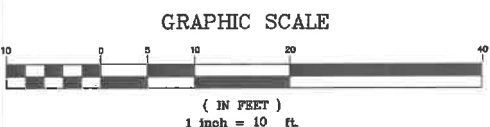
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 10 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081



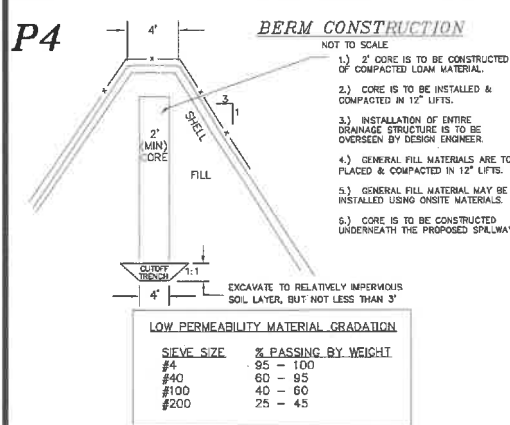
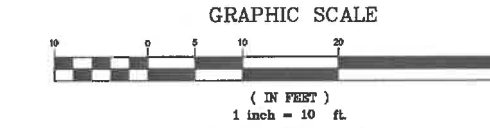
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P5

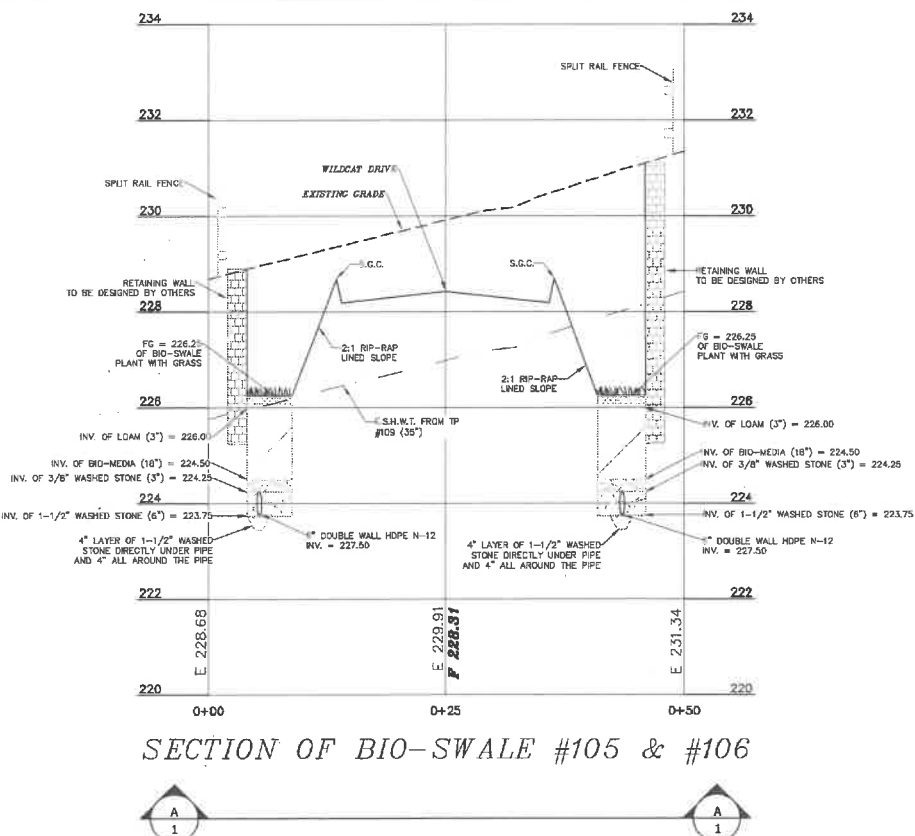


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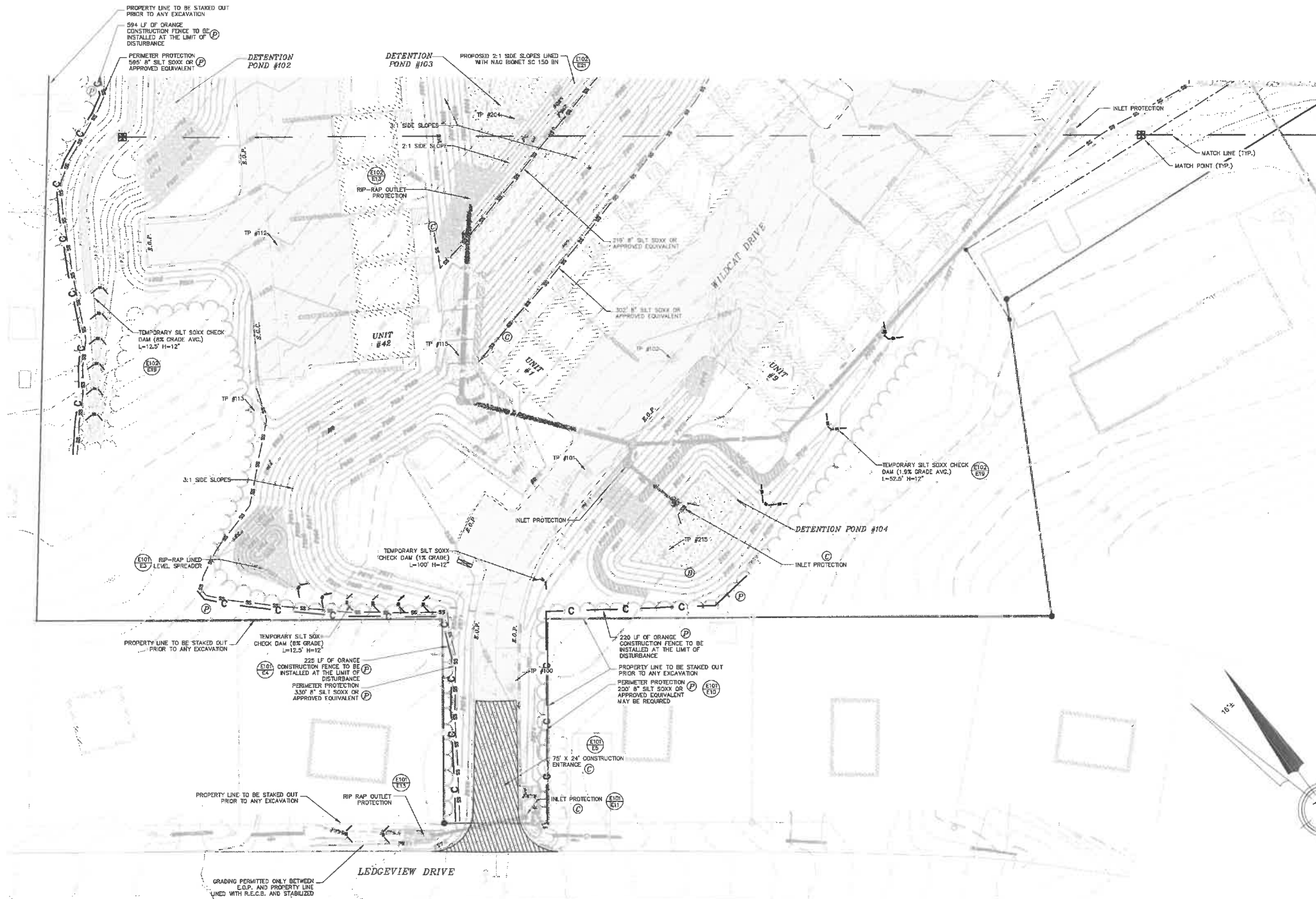


P4

TABLE 7-24---RECOMMENDED RIP RAP GRADATION RANGES			
450 SIZE =	0.5	FEET	6. INCHES
% OF WEIGHT SMALLER THAN THE GIVEN 450 SIZE	SIZE OF STONE (INCHES) FROM		
100%	9		12
85%	8		11
50%	6		9
15%	2		3



P-105 & P-106



SOILS & DEWATERING:

66B/C/D/E	HOLLIS	SANDY LOAM	K= 0.43
400/D	CHATFIELD-HOLLIS	COMPLEX SOIL	K= 0.43
44B/C/D/E	MONTAUK	LOAM	K= 0.24
600B/F	UDORTHERENTS	SANDY LOAM	K= VARIABLE

SEE SITE SPECIFIC SOILS MAP (SSSM)

SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC. &
STRAFFORD COUNTY SOIL SURVEY, STRAFWEB SOIL ATTRIBUTES.

SOIL ERODIBILITY FACTORS (K) RANGE FROM 0.24 TO 0.43 WHICH ARE RELATIVELY HIGH FACTORS AND WERE DOCUMENTED BASED ON THE TOPSOIL, A SOIL LAYER, BEING REMOVED.

CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE. TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

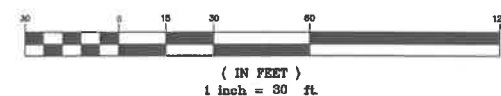
NOTES:

- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 1A.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 2.) TAX MAP 251, LOT 68
- 3.) S.C.R.D. BOOK 4846, PAGE 406
- 4.) LOT AREA: 415,275 Sq. Ft., 9.53 Ac.
- 5.) ZONING: R1 (RESIDENTIAL 1)
SETBACKS:
FRONT - 10'
SIDE - 10'
REAR - 20'
WETLAND: 50' (WETLANDS GREATER THE 0.5 Ac.)
MIN. LOT SIZE: 10,000 Sq. Ft.
MIN. FRONTAGE: 100'
MAX. LOT COVERAGE: 35%
MAX. BUILDING HEIGHT: 35'
- 6.) THE INTENT OF THIS PLAN IS TO SHOW THE EROSION & SEDIMENT CONTROL MEASURES FOR WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- 7.) UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES.
- 8.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CDP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE CITY OF DOWER, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CDP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE PROJECT IS COMPLETED. SEE ALSO CITY OF ROCHESTER ADDITIONAL INSPECTION REQUIREMENTS BELOW.
- 9.) SILT FENCE MAY BE SUBSTITUTED WITH FILTREXX SILT SOCKS OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTE FOR FILTREXX SILT SOCKS OR APPROVED EQUAL.
- 10.) PER EPA CDP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&S PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
- 11.) CITY OF ROCHESTER: IN ACCORDANCE WITH STORMWATER REGULATIONS THE FOLLOWING STORMWATER MEASURES ARE REQUIRED:
A.) ALL PROPOSED BMPs WILL CONFORM TO THE NH STORMWATER MANUAL VOLUME 3.
B.) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY COMMUNITY SERVICE.
C.) TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN CALENDAR DAYS FOR EXPOSED SOILS AREAS THAT ARE WITHIN ONE HUNDRED FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.
D.) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL STABILIZATION IS ACCOMPLISHED.
E.) DEPARTMENT OF PUBLIC WORKS OR THEIR DESIGNATED AGENT SHALL HAVE ACCESS TO THE SITE TO COMPLETE ROUTINE INSPECTIONS AND SHALL BE NOTIFIED 24-HOURS PRIOR TO INSTALLATION OF A STORMWATER BMP IN ORDER TO SCHEDULE AN INSPECTION, DURING NORMAL WORKING HOURS.
F.) THE PLANNING BOARD OR DPW MAY REQUIRE THE DESIGN ENGINEER AND/OR AN INDEPENDENT, THIRD-PARTY INSPECTION AND OVERSIGHT OF THE CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES AND EROSION AND SEDIMENT CONTROL. AT THEIR DISCRETION, THE OWNER / APPLICANT IS RESPONSIBLE FOR ALL FEES ASSOCIATED WITH INSPECTIONS.
G.) ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORMWATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORMWATER QUALITY (CPSWQ). INSPECTION REPORTS WILL BE SUBMITTED TO THE DPW ENGINEERING DEPARTMENT.
- 12.) CONTRACTOR MAY BE REQUIRED TO HAVE MULTIPLE CONSTRUCTION ENTRANCE DEPENDING ON SITE MANAGEMENT.
- 13.) CONTRACTOR IS RESPONSIBLE FOR CLEANING AND MAINTAINING THE INLET PROTECTION ONCE INSTALLED.
- 14.) FUGITIVE DUST IS TO BE CONTROLLED THROUGHOUT THE CONSTRUCTION PROCESS IN ACCORDANCE WITH ENV-A 1000.
- 15.) CONTRACTOR IT TO MEET THE REQUIREMENTS SPECIFIED IN RSA 430:51-57 AND AGR 3800, RELATING TO INVASIVE SPECIES.
- 16.) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE WATER QUALITY FROM ANY RUN OFF DURING THE CONSTRUCTION PROCESS, IN ACCORDANCE WITH ENV-WQ 1507, IN ORDER TO PREVENT VIOLATIONS OF THE STORM WATER QUALITY STANDARDS.
- 17.) CATCH BASIN HOODS WILL BE INSTALLED AS SOON AS THE BASIN IS PUT ON LINE. RM IS TO BE RAISED WITH FINAL GRADE SO THAT STORMWATER RUNOFF CAN DRAIN PROPERLY THROUGHOUT CONSTRUCTION.

LEGEND:

- ⓑ BMP / SUBSURFACE GRAVEL WETLAND PROTECTION
- ⓐ PERIMETER CONTROL
- ⓐ RESIDENTIAL/ROADWAY CONSTRUCTION
- ⓐ IRON PIPE (FND)
- ⓐ IRON BOUND (FND)
- ⓐ REBAR (FND)
- ⓐ UTILITY POLE
- ⓐ GUY WIRE
- ⓐ BENCH MARK
- ⓐ RIP RAP
- ⓐ RAIN GARDEN
- ⓐ BERM
- SF — SILT FENCE
- SS — SS — SS — FILTREXX SILT SOCKS
- — — TREE LINE
- C — C — CONSTRUCTION FENCE

GRAPHIC SCALE

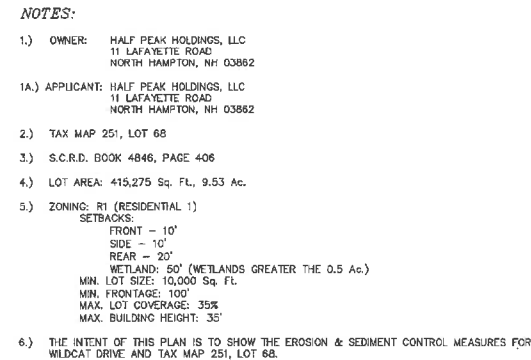


EROSION AND SEDIMENT CONTROL PLAN SOUTH

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 30 FT.

DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081





REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-18-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NHDES COMMENT
#2	3-17-21	REVISED PER NHDES ACT RFM/WILDE STUDY
#1	3-17-21	REVISED PER NHDES WILDE RFM

EROSION AND SEDIMENT CONTROL PLAN NORTH

LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

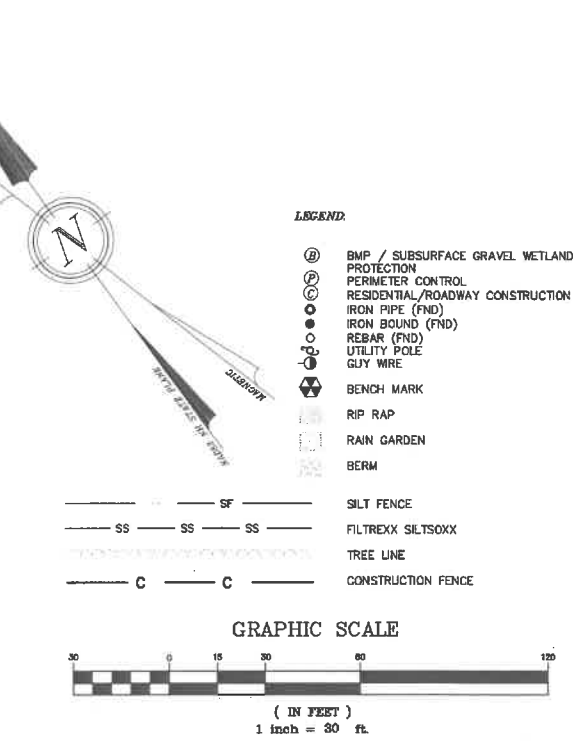
SEE SITE SPECIFIC SOILS MAP (SSSM)
SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPSC MANUAL, ENVIROCONT INTERNATIONAL INC. &
STRAFFORD COUNTY SOIL SURVEY, STRAFWEB SOIL ATTRIBUTES.


SOIL ERODIBILITY FACTORS (K) RANGE FROM 0.24 TO 0.43 WHICH ARE RELATIVELY HIGH FACTORS AND WERE DOCUMENTED BASED ON THE TOPSOIL, A SOIL LAYER, BEING
REMOVED.


CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY
CHANGING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 8.1.2 (STATE OF NEW HAMPSHIRE
CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE
SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF
ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT
CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF.
CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.




BERRY SURVEYING & ENGINEERING
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 BARRINGTON, NH 03825 (603)332-2863
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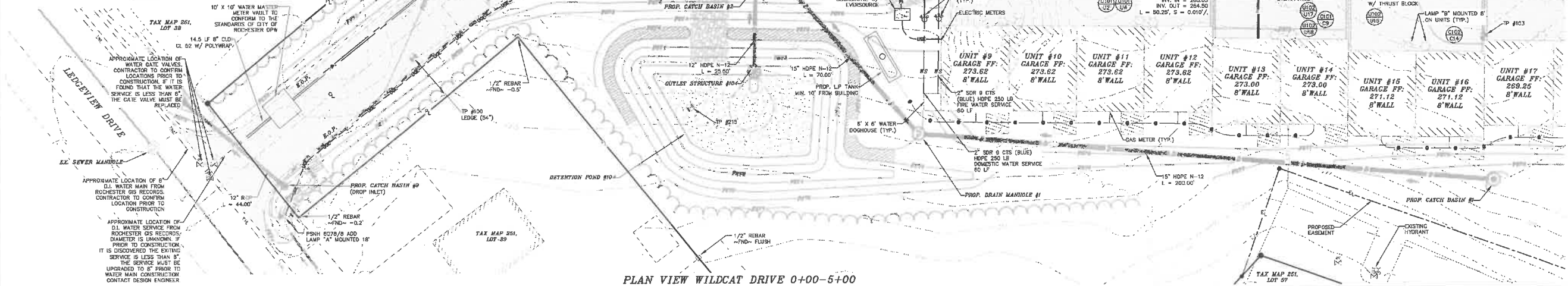
SHEET 46 OF 53

- NOTES:
- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
 - 3.) TAX MAP 251, LOT 68
 - 4.) LOT AREA: 415,275 Sq. Ft. 9.53 Ac.
 - 5.) S.C.R.D.: BOOK 4846, PAGE 406
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOCK).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
 - 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
 - 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

3.) TAX MAP 251, LOT 68

4.) LOT AREA: 415,275 Sq. Ft., 9.53 Ac.

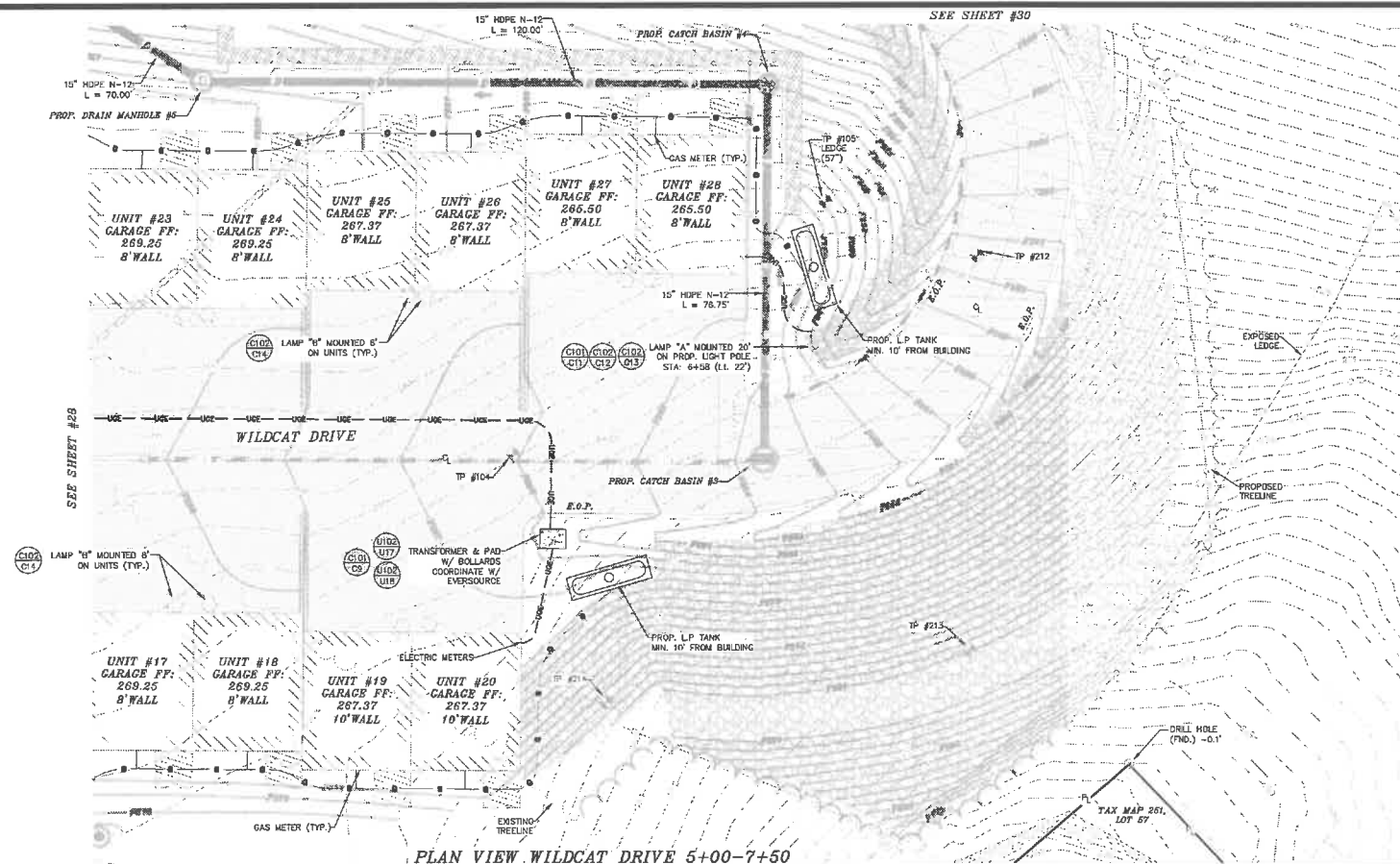
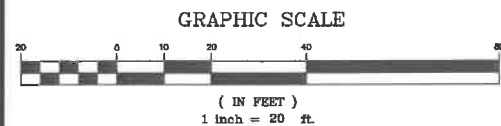
5.) S.C.R.D.: BOOK 4846, PAGE 406

6.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 58.

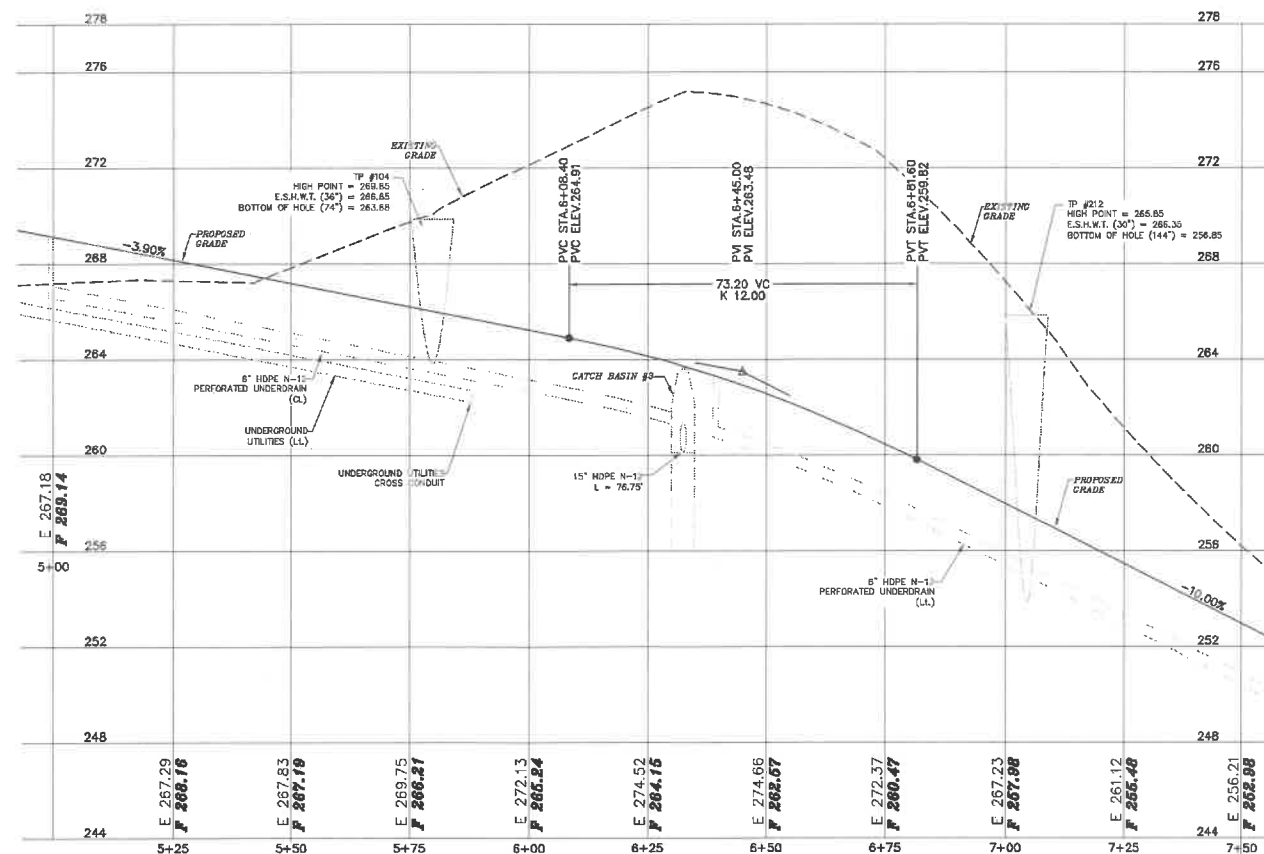
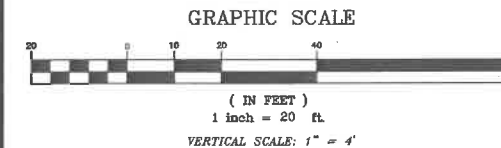
7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).

8.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.

10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



PROFILE VIEW WILDCAT DRIVE 5+00-7+50



ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES AOT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES AOT RFI/WILDLIFE STUDY
REVISED PER NHDES WWEB RFI

REVISION	DATE
#5	5-10-21
#4	4-16-21
#3	4-2-21
#2	3-17-21
#1	3-17-21

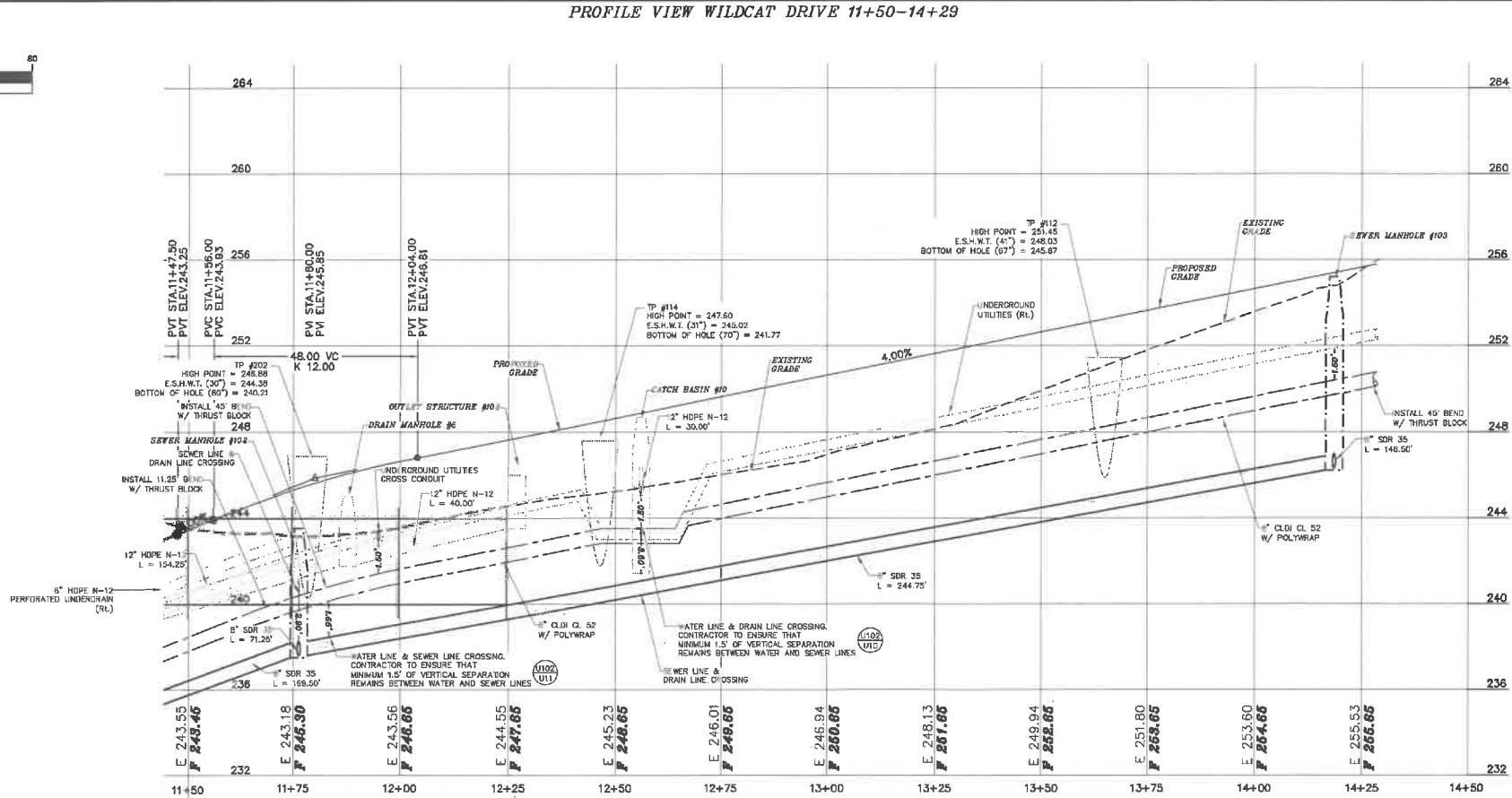
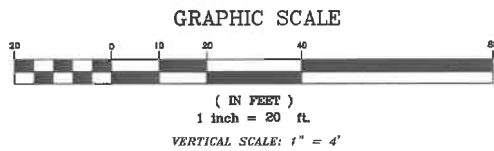
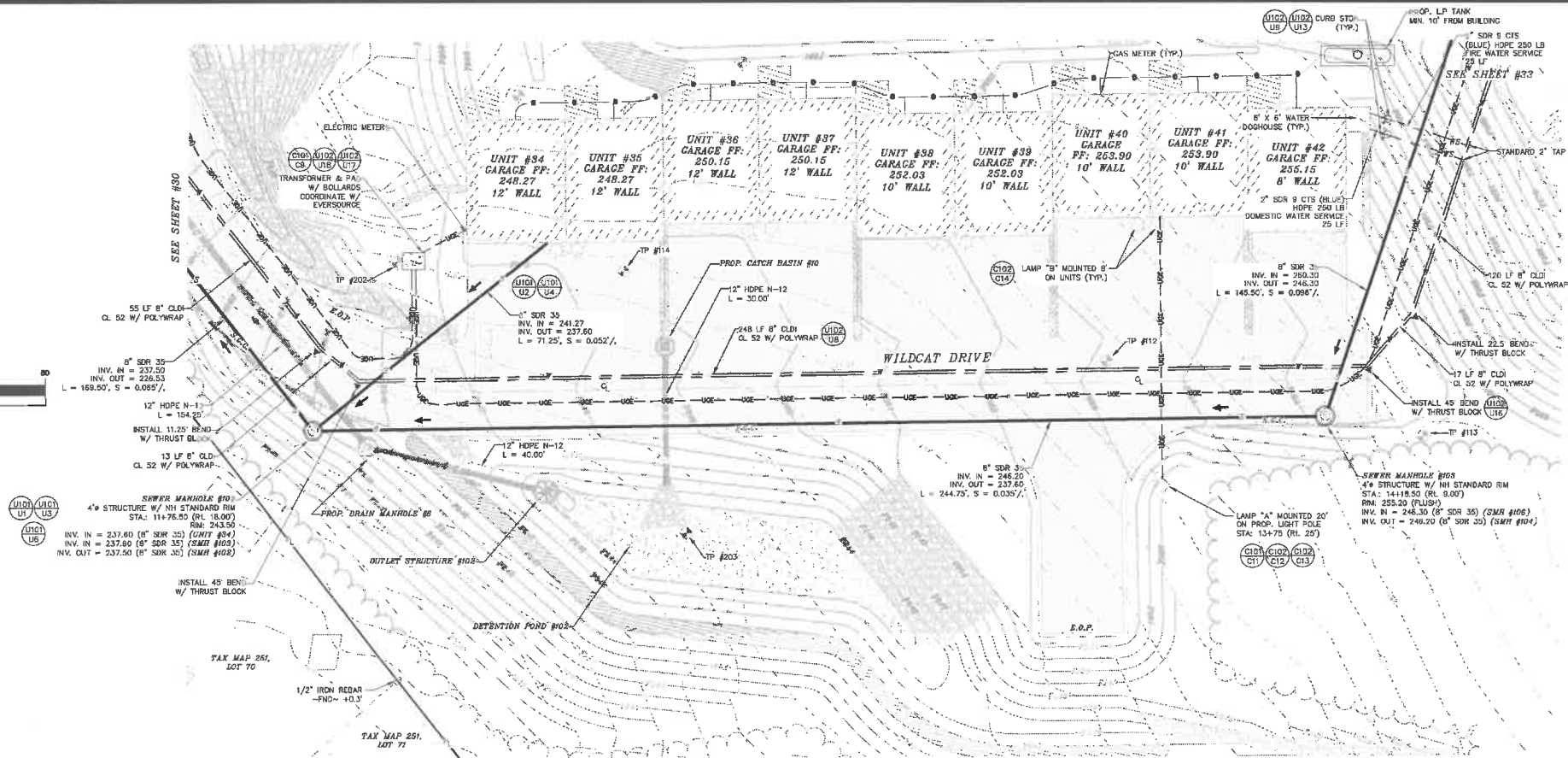
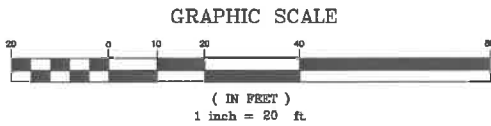
UTILITY PLAN & PROFILE WILDCAT DRIVE 5+00-7+50
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081



NOTES:

- OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- TAX MAP 251, LOT 68
- LOT AREA: 415,275 Sq. Ft., 9.53 Ac.
- S.C.R.D.: BOOK 4846, PAGE 406
- THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION.
- EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



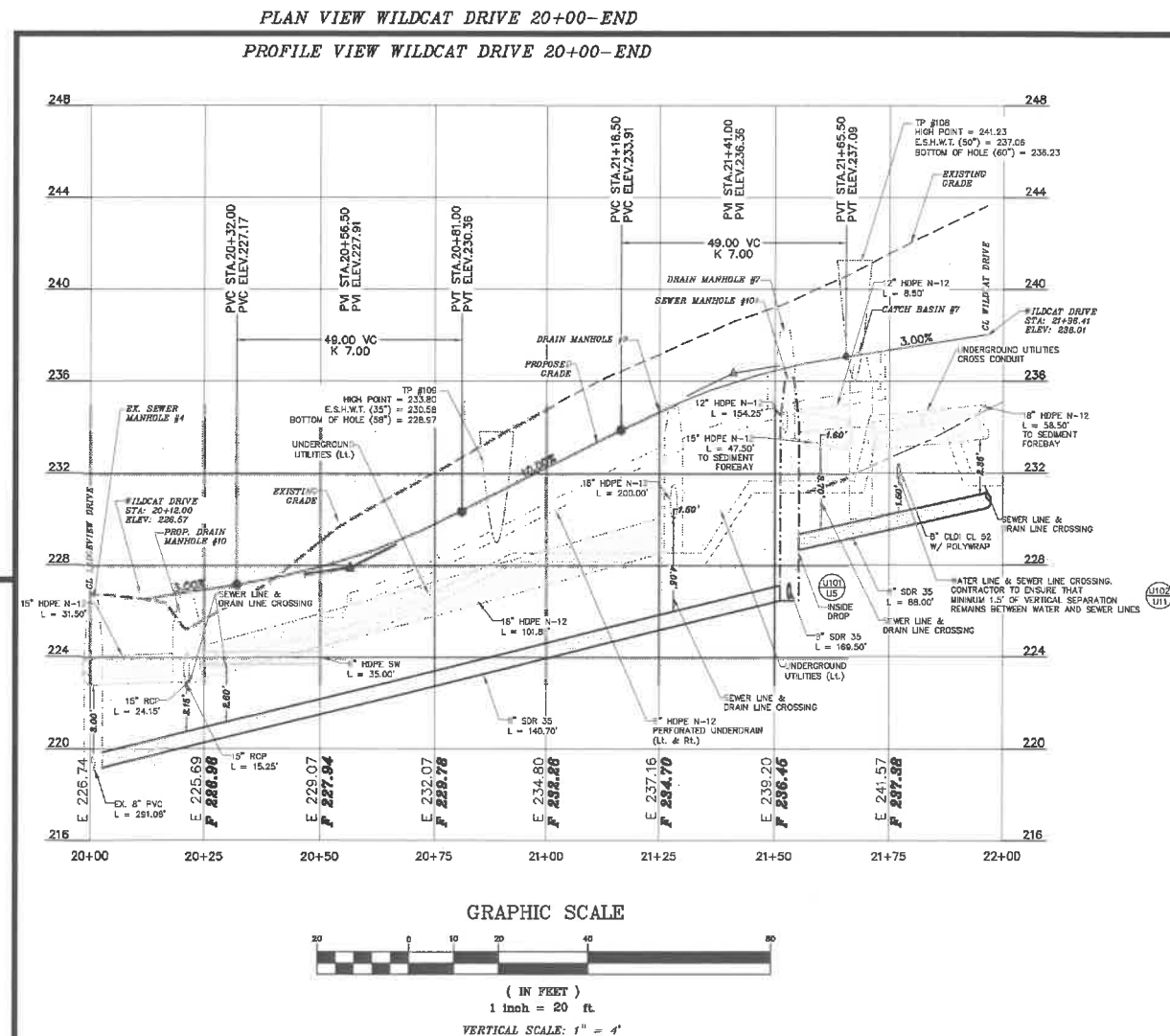
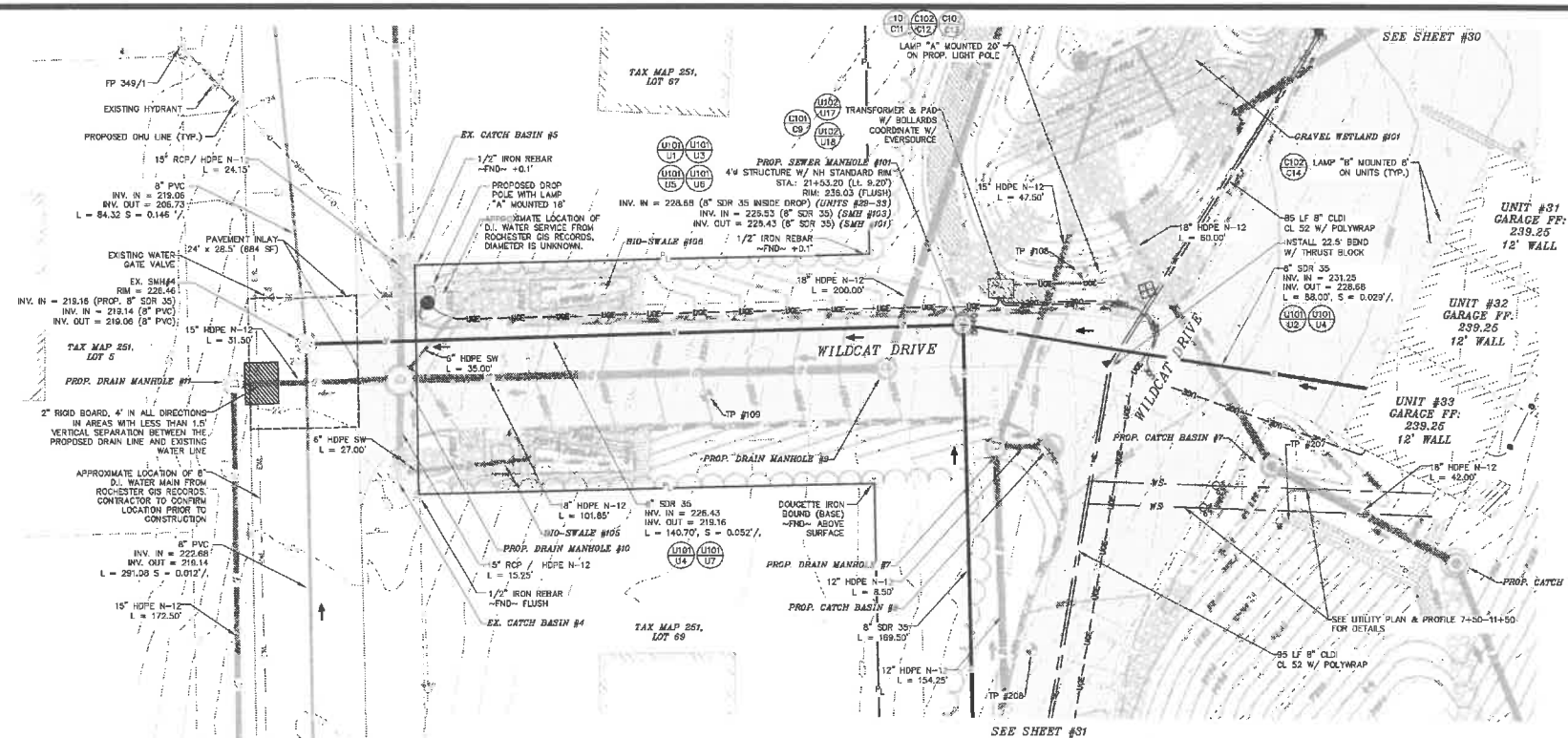
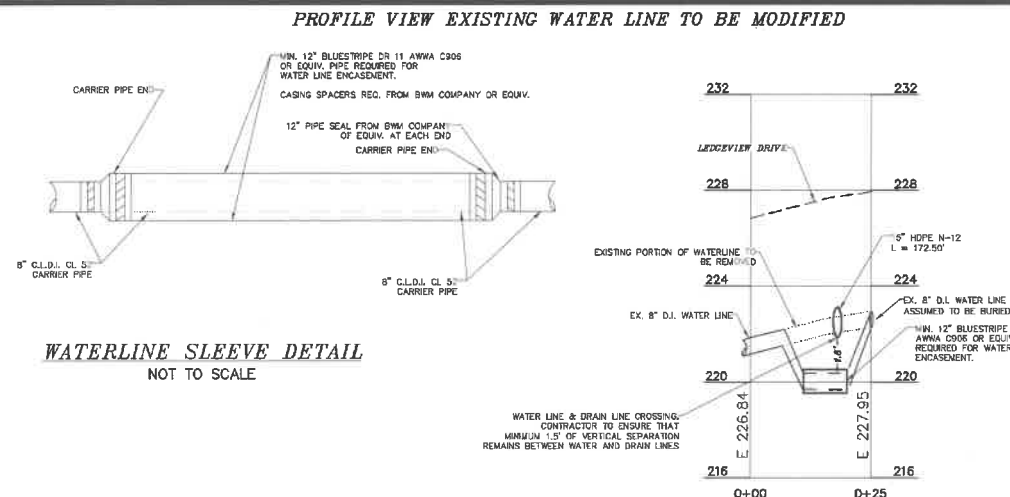
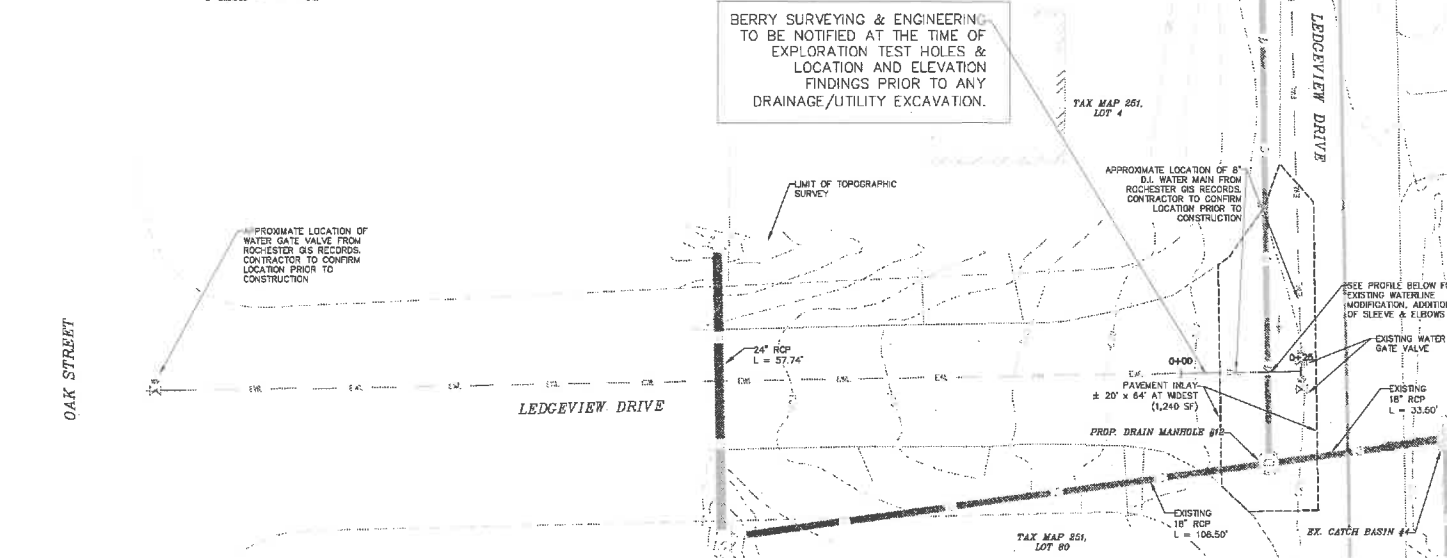
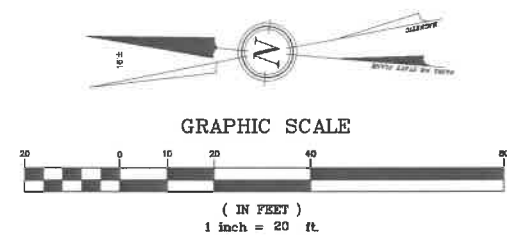
REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES ACT RFM/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES W/WEB RFM

UTILITY PLAN & PROFILE WILDCAT DRIVE 11+50-14+29
LAND OF
HALF PEAK HOLDINGS, LLC
LEDOVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 10445

- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03892
- 2.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03892
- 3.) TAX MAP 251, LOT 68
- 4.) LOT AREA: 415,275 Sq. Ft., 9.53 Ac.
- 5.) S.C.R.D.: BOOK 4846, PAGE 406
- 6.) THE INTENT OF THIS PLAN IS TO PROVIDE UTILITY AND ENGINEERING
DETAILS OF WILDCAT DRIVE AND TAX MAP 251, LOT 68.
- 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON PERIMETER
CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO CONSTRUCTION
- 9.) EXISTING AND PROPOSED CONTOURS ARE PROVIDED AT 1' INTERVALS
WITH DRAINAGE FEATURES AT MORE PRECISE INTERVALS.
- 10.) SEE SHEET 2 FOR ALL OTHER STANDARD CONSTRUCTION NOTES.



#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#6	10-16-21	REVISED PER NHDES ACT COMMENT
#7	4-29-21	REVISED PER NHDES ACT COMMENT
#8	3-17-21	REVISED PER NHDES ACT PERM AND DRAFT STUDY
#1	3-17-21	REVISED PER NHDES WEBB RTM
REVISION	DATE	DESCRIPTION

UTILITY PLAN & PROFILE WILDCAT DRIVE 20+00-END
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

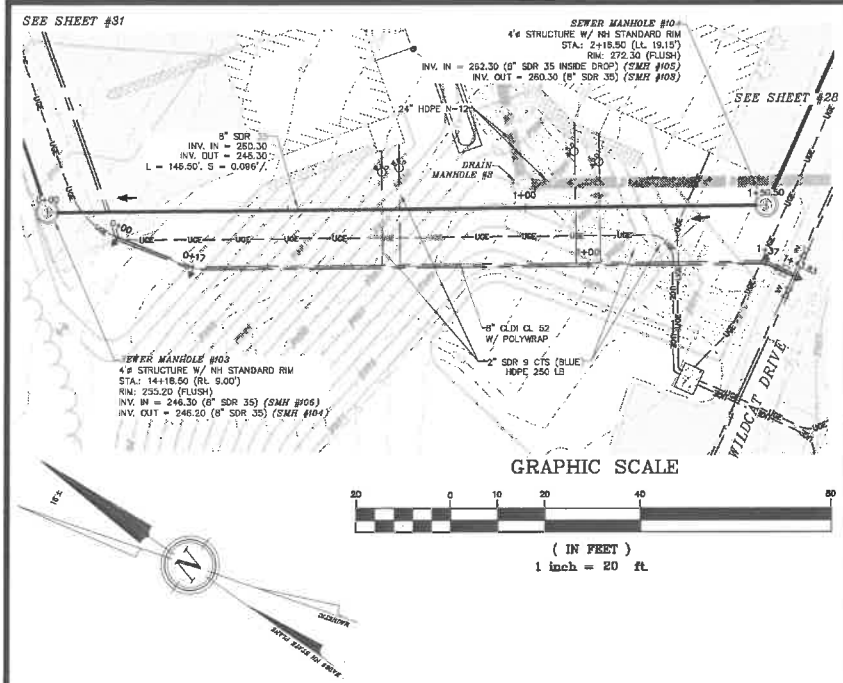
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : DECEMBER 30, 2020

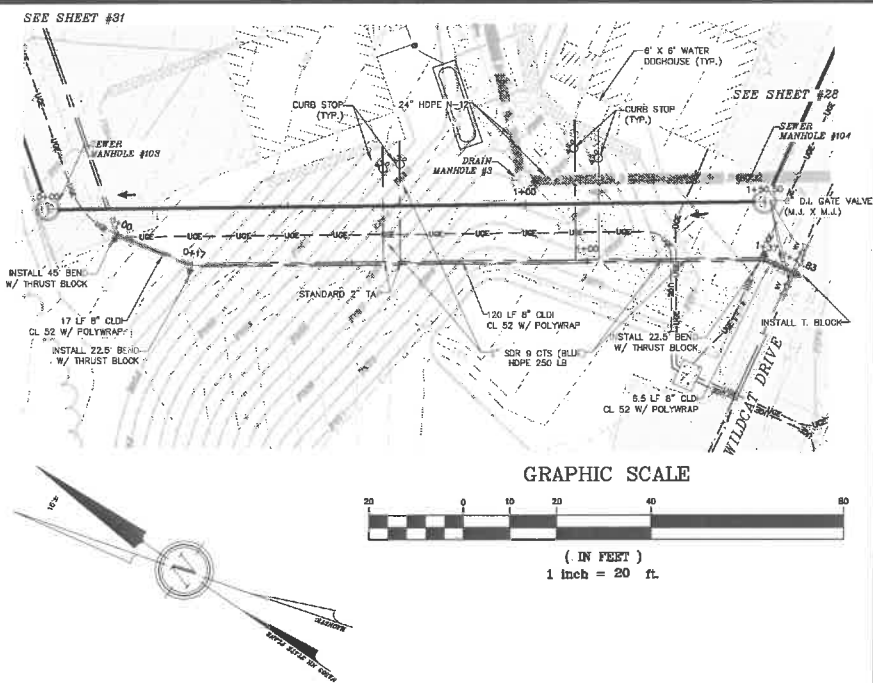
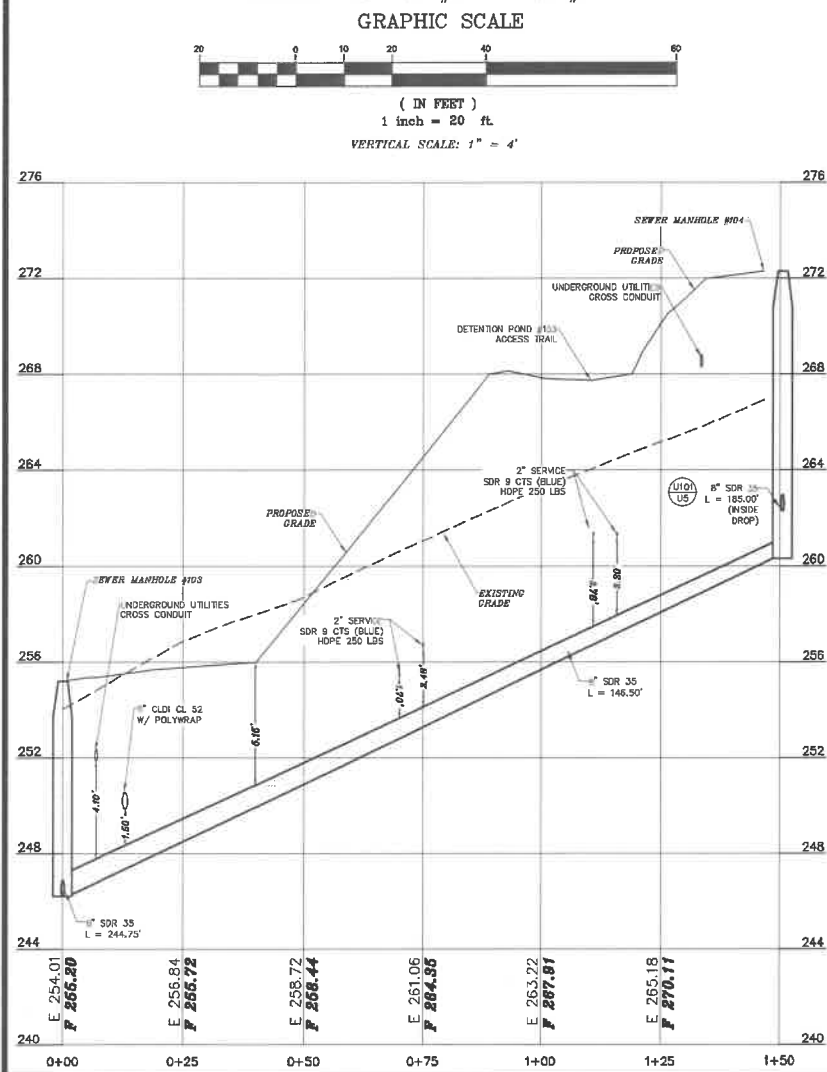
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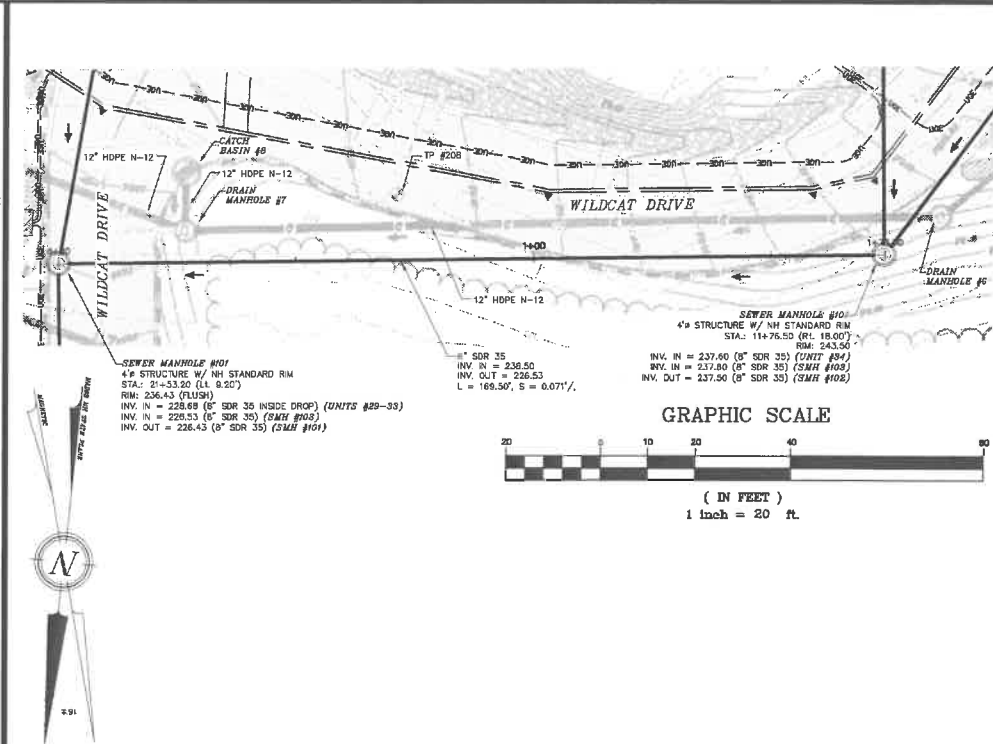
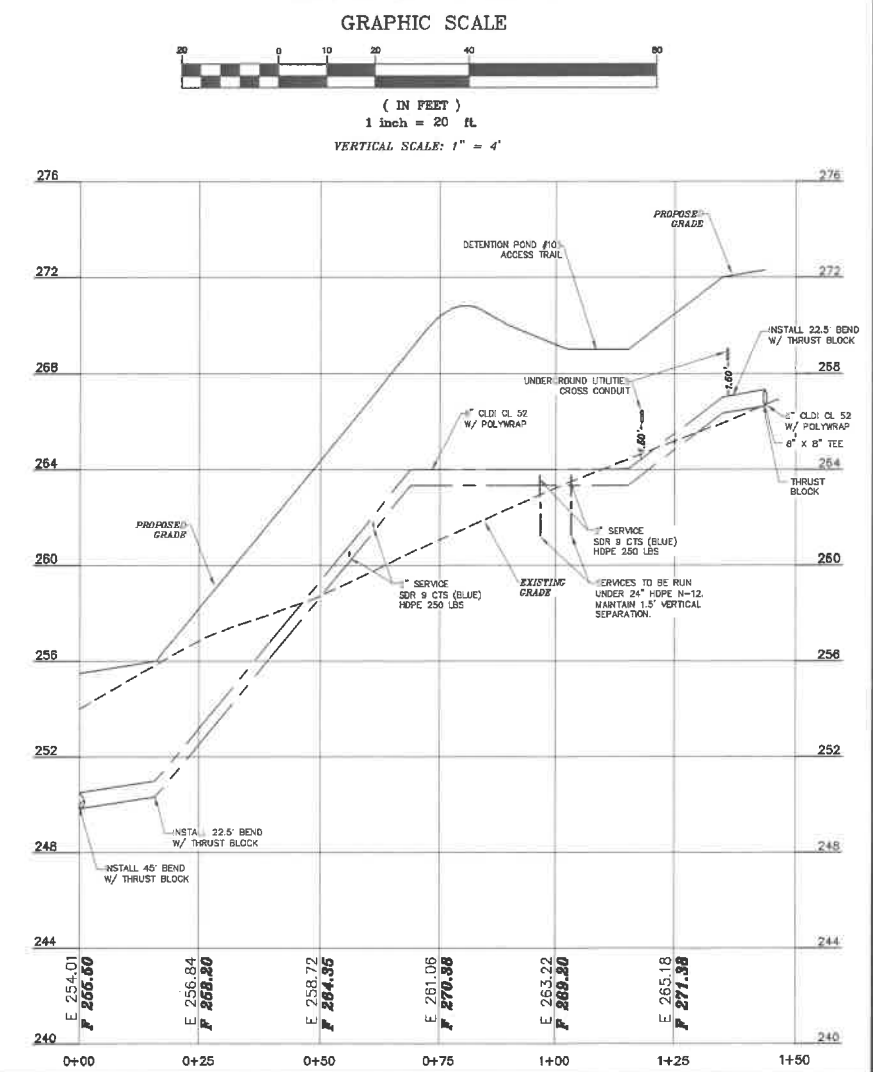
PLAN VIEW SMH #104 - SMH #103

PROFILE VIEW SMH #104 - SMH #103



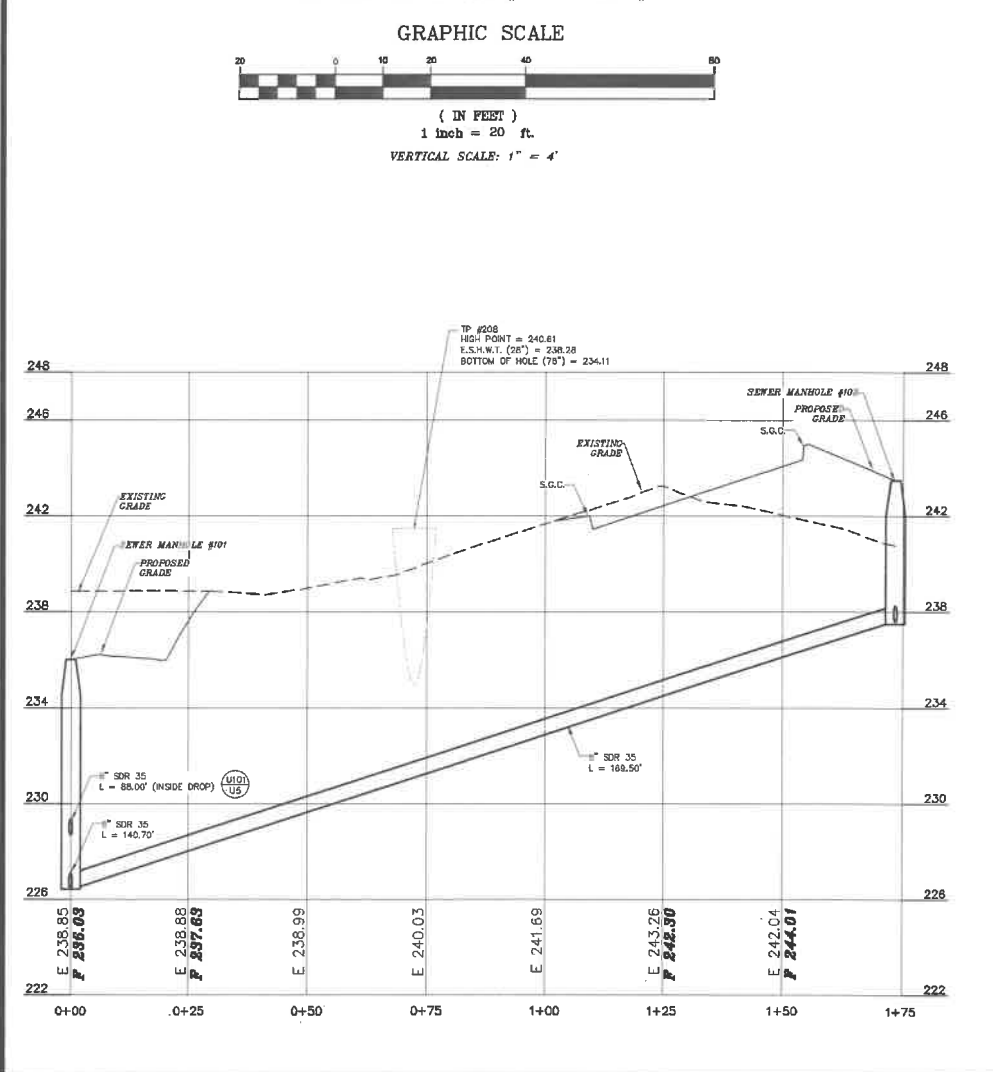
PLAN VIEW WATERLINE

PROFILE VIEW WATERLINE



PLAN VIEW SMH #102 - SMH #101

PROFILE VIEW SMH #102 - SMH #101



ADDITION OF FINAL PERMIT NUMBERS REVISED PER NHDES ACT COMMENT REVISED PER NH F&G CONDITIONS REVISED PER NHDES ACT RFM/WILDFIRE STUDY REVISED PER NHDES WMBE RFI		DESCRIPTION
#5	5-10-21	DATE
#4	4-18-21	REVISION
#3	4-2-21	
#2	3-17-21	
#1	3-17-21	

PIPE PROFILES LAND OF HALF PEAK HOLDINGS, LLC LEDGEVIEW DRIVE ROCHESTER, N.H. TAX MAP 251, LOT 68
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BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 12345
Exp. 12/31/2024

SHEET 33 OF 53

NOTES:

- CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
- PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR CUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.

NOTES CONTINUED:

- NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.

NOTES CONTINUED:

- SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- TREES ARE TO BE 6" TALL AT PLANTING.
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON PLANS.
- TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
- ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ONGOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
- PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.

PLANTING NOTES:

- CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO PURCHASING &/OR INSTALLING SUBSTITUTED PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTED MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED IN PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
- CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED IN A LEGAL MANNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD HEALTH & GROWING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FUNCTIONING PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICAL TO ORIGINAL PLANTS. TIME PERIOD SHOWN FROM DATE OF REPLACEMENT PLANTING APPROVAL BY L.A.
- ALL BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED BARK MULCH UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

TEMPORARY WATERING NOTES:

- CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
- THE USE OF GATOR BAGS, SOAKER HOSE, HAND WATERING, AND OTHER TECHNIQUES SHOULD BE USED TO ASSURE PROPER HYDRATION OF THE PLANTINGS IS MAINTAINED.
- TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ASSIST IN WATERING ACTIVITIES.

PLANTING SCHEDULE

Ridgeview Drive
Botanical Name / Common Name

Trees	Size	Qty	Label
Acer Rubrum / Red maple	3" Cal.	6	AR
Platanus Acerifolia / London Plane	3" Cal.	13	PA
Thuja Occidentalis / arborvitae	3" Cal.	27	TO
Quercus / Oak Tree	3" Cal.	4	QU
Picea Glauca / White Spruce	3" Cal.	22	PG
Shrubs			
Syringa Vulgaris / Lilac	#3 3-4'	13	SV
Cornus sanguinea 'Winter Flame' / Winter Flame Dogwood	2-3' B&B	2	CS
Perennials			
Hemerocallis 'Big Time Happy' / Big Time Happy Daylily	#1	14	HD
Hemerocallis 'Pardon Me' / Pardon Me Daylily	#1	16	PM

terrain
planning & design llc

General Plant Maintenance Guide:

General Plant Maintenance:

All plant maintenance should be performed by a qualified horticulturist or licensed arborist. Clearing the dead material out of the planting bed in the fall helps keep leaves from building up around the plants and in some cases killing the plants. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. During the first year, mulching is not necessary. When necessary, use a mulch that is at least one inch thick and do not place it closer than 3" to the trunk or stems of woody plants.

Trees:

- The first year watering during dry periods will be necessary.
- 3" inches of mulch might need. The mulch should be kept 3 inches from the trunk.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to May 15" or after trees have dropped their leaves for the year.
- Prune dead wood once a year.
- Depending on the amount of compaction the bed area receives, deep root aeration may be needed once a year.

Woody Shrubs:

- The first year watering during dry periods will be necessary.
- 3" inches of mulch might need. The mulch should be kept 3 inches from the stems.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is looking weak.
- Fertilization should occur prior to May 15" or after shrubs have dropped their leaves or gone dormant for the year.
- Prune dead wood once a year.

Perennials:

- Perennials need to be covered back after the first or second hard frost. A two-step method. First dead head all the flower heads and let drop to the ground for re-seeding. Second cut the stems back to 3" above the ground and remove all stem and leaf material and place in compost. Do not cover with mulch. This method will provide the growth and development.
- Fertilizing perennials once in the spring with a low phosphorus fertilizer will help the plants to get started in the spring.

www.terrainplanning.com

211 East Hill Road Hingham MA 02043

T 603-481-2532

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NH F&G COMMENTS
REVISED PER NH F&G COMMENTS
REVISED PER NH F&G COMMENTS
REVISED PER NH F&G COMMENTS

DESCRIPTION

DATE

REVISION

LANDSCAPING PLAN SOUTH
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863

SCALE : 1 IN. EQUALS 30 FT.

DATE : DECEMBER 30, 2020

FILE NO. : DB 2020 - 081



SHEET 34 OF 53

NOTES:

1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
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3. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
4. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
5. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
6. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
7. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
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NOTES CONTINUED:

10. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
11. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
13. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
15. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL, ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
17. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.

NOTES CONTINUED:

18. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
19. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
20. TREES ARE TO BE 6' TALL AT PLANTING.
21. ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
22. 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
23. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
24. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
25. TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
26. ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEED WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.
28. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ONGOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
29. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.

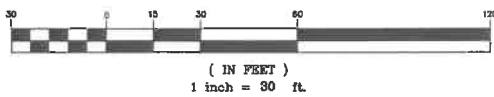
PLANTING NOTES:

1. CONTRACTOR SHALL OBTAIN APPROVAL FROM L.A. PRIOR TO IMPLEMENTING &/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
2. SUBSTITUTION REQUESTS WILL BE AS DIRECTED BY L.A. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ANY DISTURBED AREAS INCLUDING BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY L.A. OR SITE FROM TO CONSTRUCTION AND INSTALLATION.
4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE 100% SOUND, HEALTHY, & VIGOROUS CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY L.A. CONTRACTOR SHALL REMOVE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-VIGOROUS PLANTS AS DETERMINED BY THE L.A. REPLACEMENT PLANTS SHALL BE THE GUARANTEED EQUIVALENT TO ORIGINAL PLANTS TIME PERIOD COMMENSURATE FROM DATE OF REPLACEMENT PLANTS APPROVAL BY L.A.
6. ALL BEDS TO BE MULCHED WITH 3" DEPTH UNWEEDED DARK MULCH UNLESS NOTED OTHERWISE.
7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

TEMPORARY IRRIGATION:

1. CONTRACTOR IS RESPONSIBLE FOR MAKING SURE ALL PLANT MATERIAL HAS ADEQUATE WATER DURING THE ESTABLISHMENT PERIOD.
2. THE USE OF GATOR BAGS, SPINNEE HOSE, HAND WATERING AND OTHER EQUIVALENTS SHOULD BE USED TO ENSURE PROPER IRRIGATION OF THE PLANTINGS IS MAINTAINED.
3. TEMPORARY IRRIGATION SYSTEMS CAN BE SET UP TO ADJUST IN WATERING ACTIVITIES.

GRAPHIC SCALE

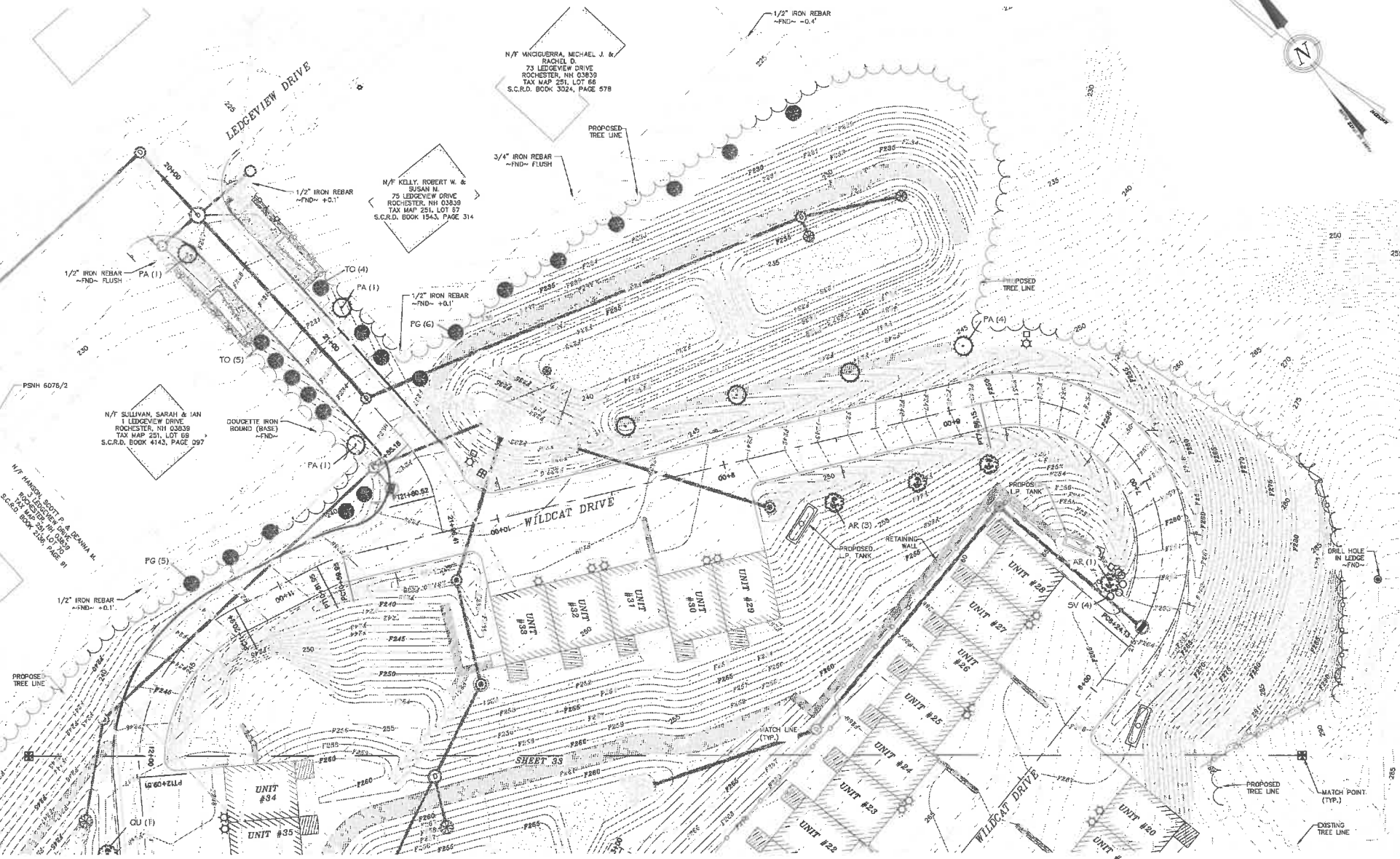


N/T DRAVEN, ROBERT D. JR. &
CATHERINE A.
912 FIRST CROWN POINT ROAD
BARRINGTON, NH 03824
TAX MAP 251, LOT 65
S.C.R.D. BOOK 3710, PAGE 248

N/T VINGOIERA, MICHAEL J. &
BACHEL D.
73 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 66
S.C.R.D. BOOK 3024, PAGE 678

N/T KELLY, ROBERT W. &
SUSAN M.
75 LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 67
S.C.R.D. BOOK 1543, PAGE 314

N/T SULLIVAN, SARAH & JAM
T LEDGEVIEW DRIVE
ROCHESTER, NH 03839
TAX MAP 251, LOT 68
S.C.R.D. BOOK 4143, PAGE 297



PLANTING SCHEDULE

Ridgeview Drive
Botanical Name/ Common Name

Trees	Size	Qty	Label
Acer Rubrum / Red maple	3" Cal.	6	AR
Platanus Acerifolia / London Plane	3" Cal.	13	PA
Thuja Occidentalis / arborvitae	3" Cal.	27	TO
Quercus / Oak Tree	3" Cal.	4	QU
Picea Glauca / White Spruce	3" Cal.	22	PG
Shrubs			
Syringa Vulgaris / Lilac	#3 3-4'	13	SV
Cornus sanguinea "Winter Flame" / Winter Flame Dogwood	2-3" DBH	2	CS
Perennials			
Hemerocallis 'Big Time Happy' / Big Time Happy Daylily	#1	14	HD
Hemerocallis 'Pardon Me' / Pardon Me Daylily	#1	16	PM

terrain
planning & design, llc

General Plant Maintenance Guide:

General Plant Maintenance Guide:

- All plant maintenance should be performed by a qualified horticulturist or licensed arborist. Cleaning the dead material out of the planting bed before fall helps lower the risk of insects and diseases. Pruning should be done in the dormant season. Watering the first year during dry periods will help get the plants established. Mulching every year is not necessary. During the first year and turning it over in the spring as needed. When necessary only install a quarter inch of mulch and do not place the mulch closer than 3" to the trunk or stems of woody plants.

Notes:

- The first year watering during dry periods with hose connections.
- 3" inches of mulch every year. The mulch should be kept 3 inches from the trunk.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is lacking.
- Fertilization should occur once or twice a year or after a tree has dropped their leaves for the year.
- Prune dead wood once a year.
- Depending on the amount of competition the bed area receives, deep root watering may be needed once a year.

Weekly Notes:

- The first year watering during dry periods with hose connections.
- 3" inches of mulch every year. The mulch should be kept 3 inches from the trunk.
- Fertilizing is not necessary for the first year. Fertilizing in subsequent years only when and if the foliage is lacking.
- Fertilization should occur once or twice a year or after a tree has dropped their leaves for the year.
- Prune dead wood once a year.

Grass:

- Grasses only need to be clipped back at the end of the growing season and all the clippings removed from the area.
- Do not use water. Too much water will prevent the grass from developing into a strong clump.

Perennials:

- All perennials need to be pruned back after the first or second hard frost. A two-step method: first dead head of the flower heads and let the ground for a month. Second cut stems back to 3" above the ground and remove the stem and let the ground for a month. Do not over water. The mulch should be applied to the ground and clippings.
- Fertilizing perennials once in the spring with a low phosphorus fertilizer will help the plants to get started in the spring.

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315 Route 101 Road, Barrington NH 03824

TEL: 603-495-2392

ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES ACT RM/WILDLIFE STUDY
REVISED PER NHDES WWB REMI

DESCRIPTION

DATE

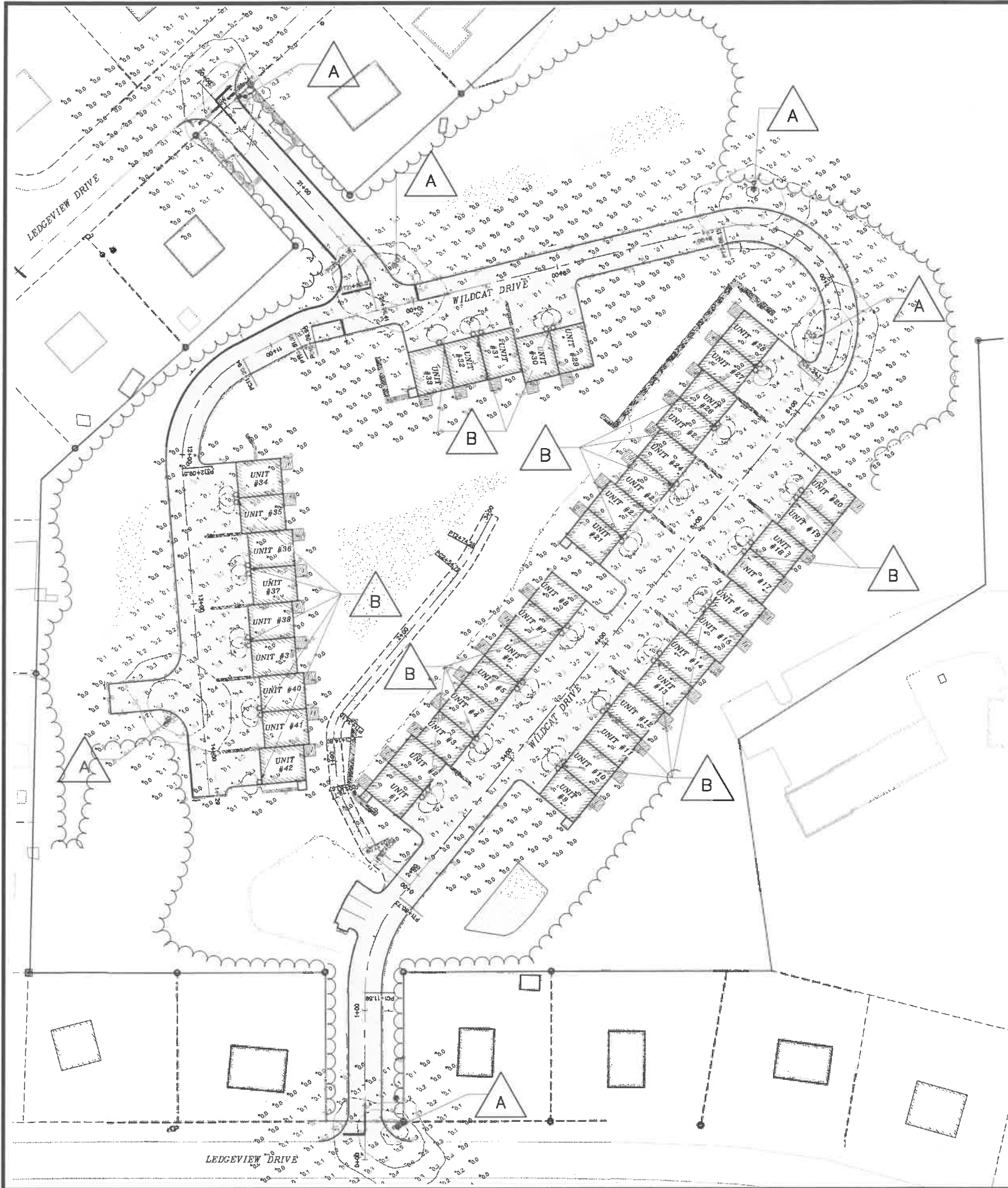
REVISION

LANDSCAPING PLAN NORTH
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863

SCALE : 1 IN. EQUALS 30 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

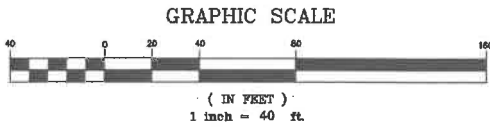
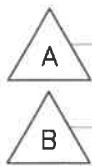




NOTES:

- 1.) OWNER: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 1A.) APPLICANT: HALF PEAK HOLDINGS, LLC
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862
- 2.) TAX MAP 251, LOT 68
- 3.) S.C.R.D. BOOK 4845, PAGE 406
- 4.) LOT AREA: 415,274 Sq. Ft., 9.53 Ac.
- 5.) THE INTENT OF THIS PLAN IS TO PROVIDE THE LIGHTING SCHEME FOR THE PROPOSED SITE PLAN.
- 6.) ALL LAMPS ARE SHOWN ON THE SITE PLAN WITH LOCATION, TYPE AND HEIGHT.
- 7.) SEE CONSTRUCTION DETAILS FOR PRODUCT CUT SHEETS.
- 8.) LAMP "A" MOUNTED 18' ON UTILITY POLE & 20' ON LAMP POLE
LAMP "B" MOUNTED 8' ON UNITS.

Schedule								
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF
⬢	A	6	AT80 10BLEDE70 XXXXX R4 4K/SK	AT80 SERIES LED 700MA TYPE 4 4000K/5000K CCT	LED Array	1	2992	1
☆	B	42	OLCS 8 ODB	OUTDOOR CAST SCIENCE WDR3 FROSTED LENS: BROWN	LED	1	470	1



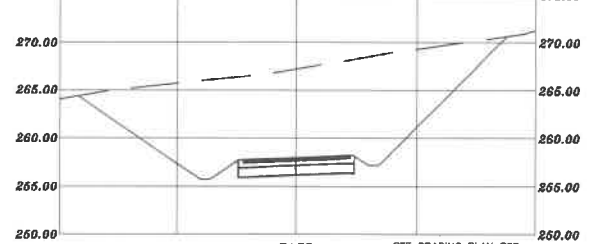
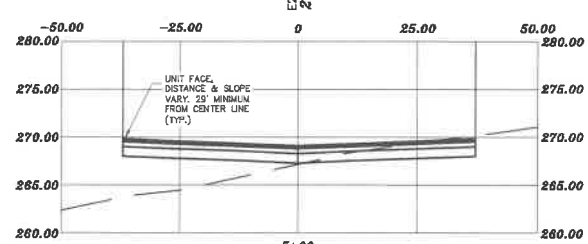
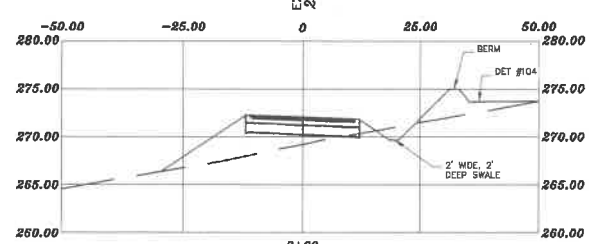
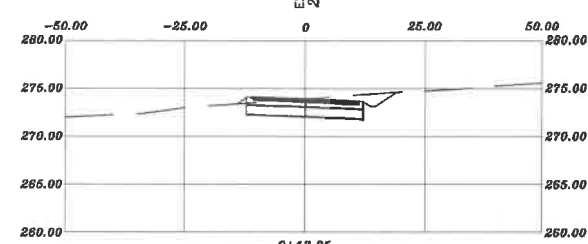
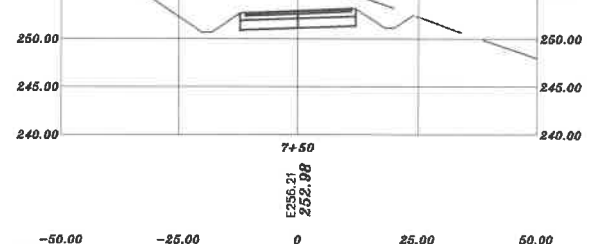
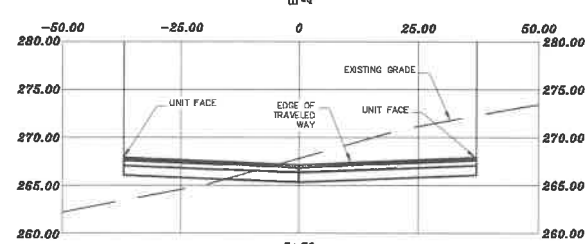
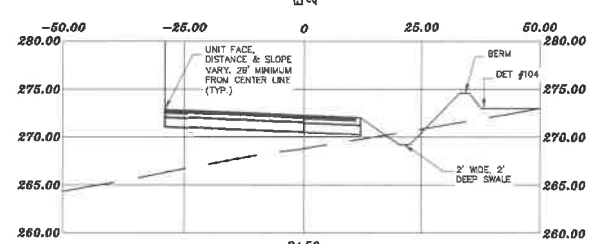
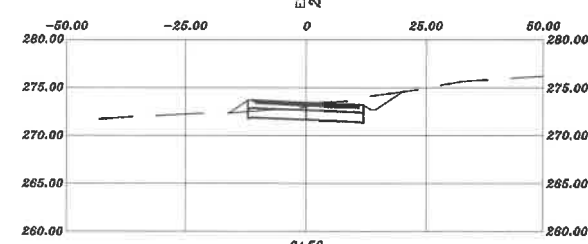
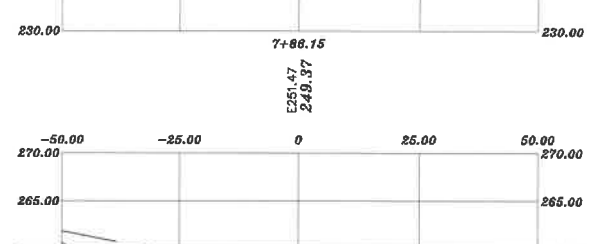
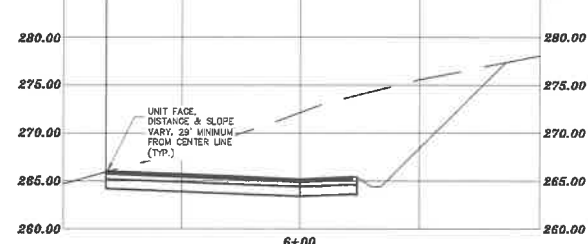
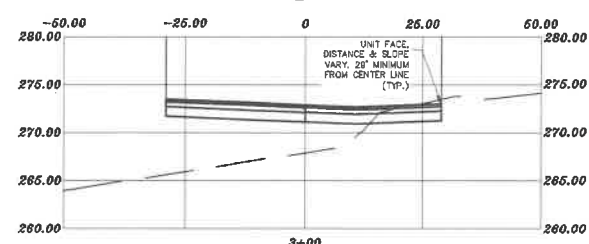
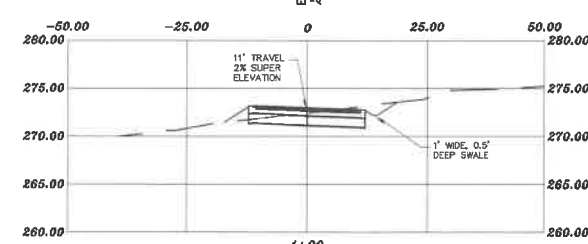
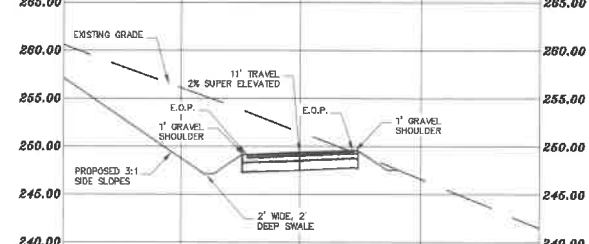
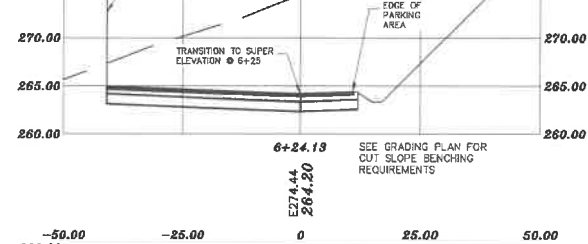
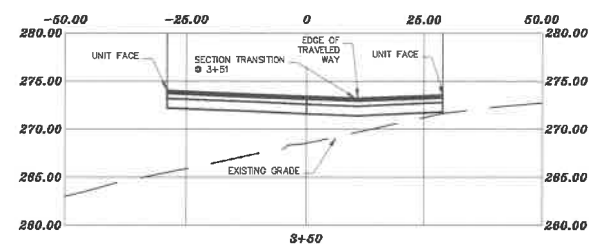
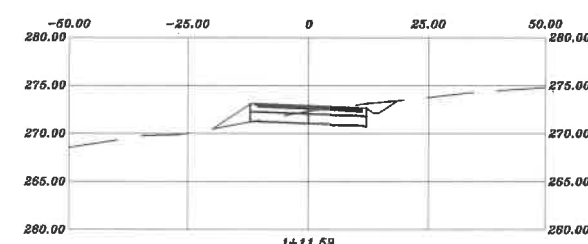
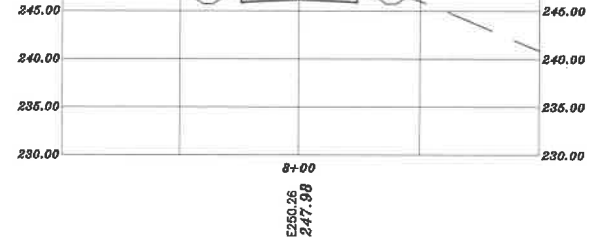
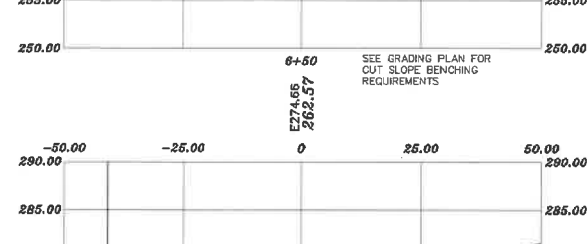
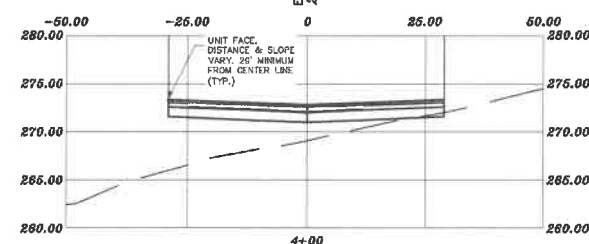
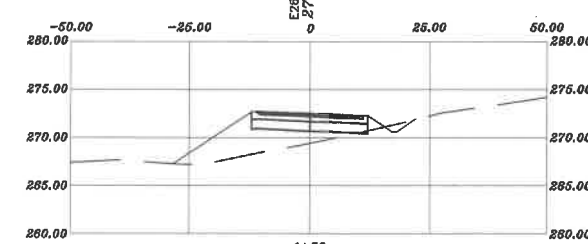
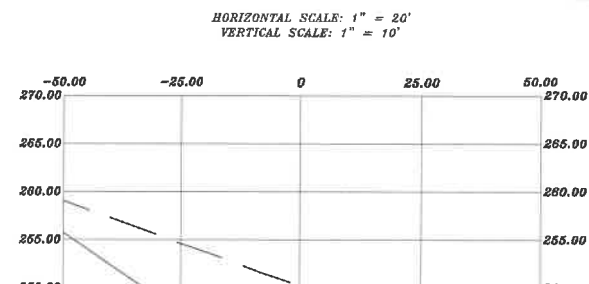
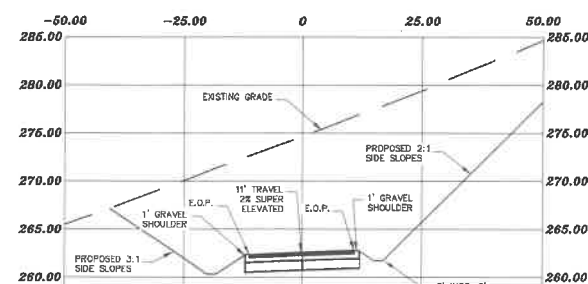
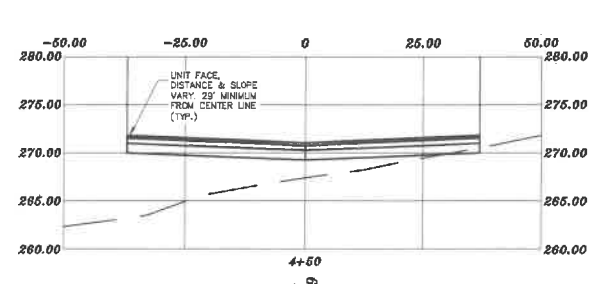
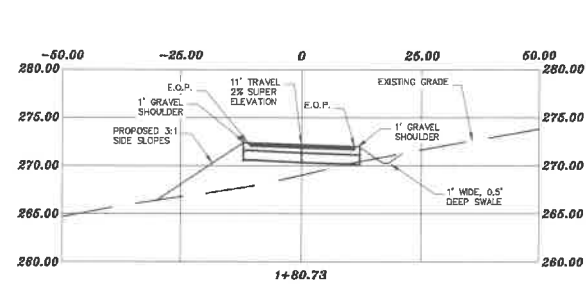
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#5		5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4		4-16-21	REVISED PER NHDES AOT COMMENT
#3		4-2-21	REVISED PER NH F&G CONDITIONS
#2		3-17-21	REVISED PER NHDES AOT RFM/WILDCAT STUDY
#1		3-17-21	REVISED PER NHDES WILDCAT RFM

LIGHTING PLAN
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 40 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 14243

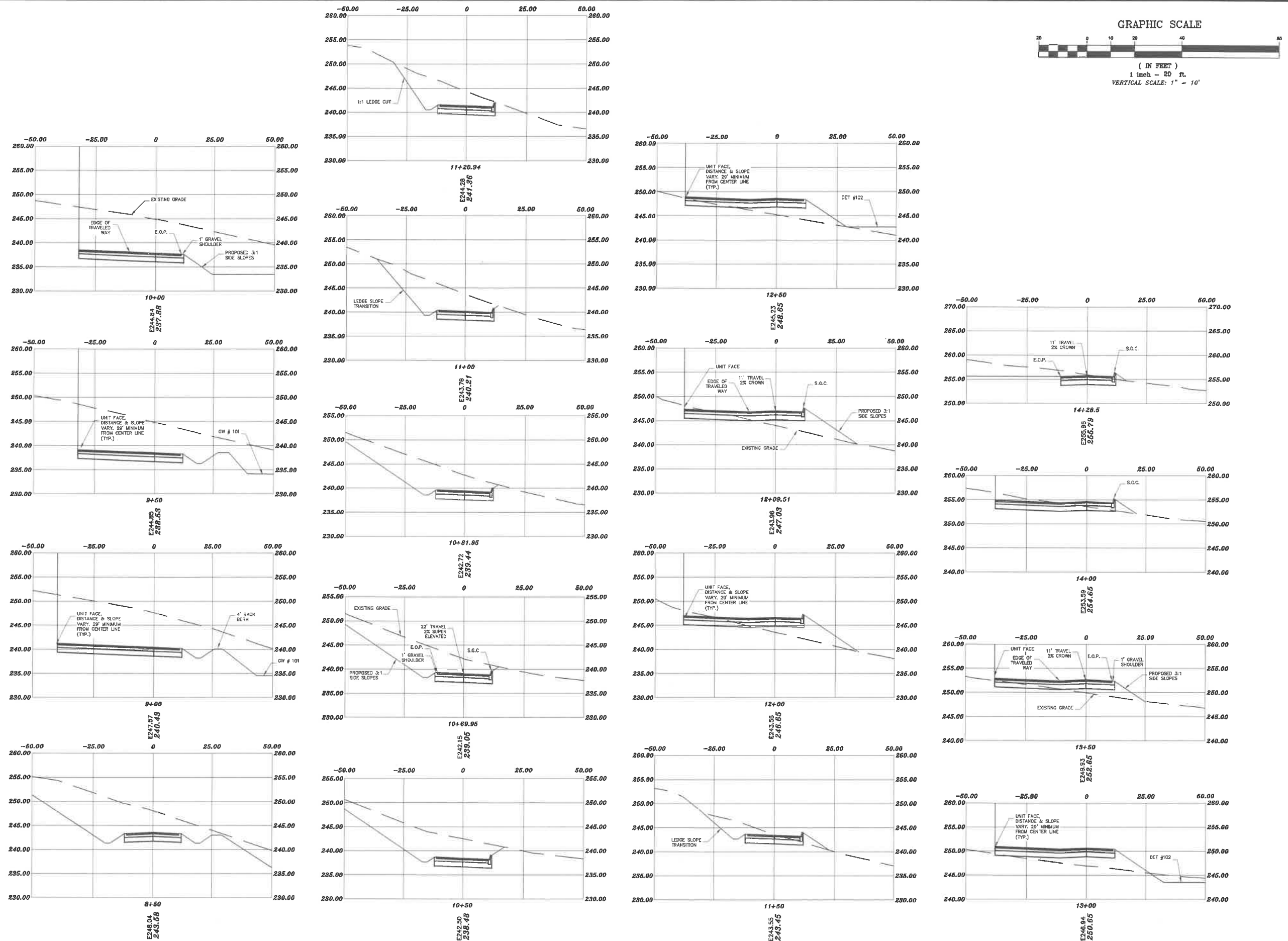
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#3	4-21-21	REVISED PER NHDES AGT COMMENT
#2	3-27-21	REVISED PER NHDES AGT RFM/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES AGT RFM

CROSS SECTIONS 0+00 - 8+00
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081



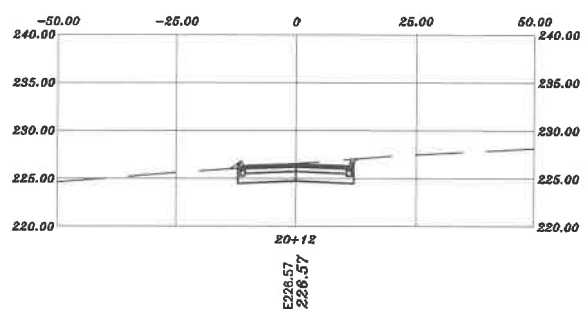
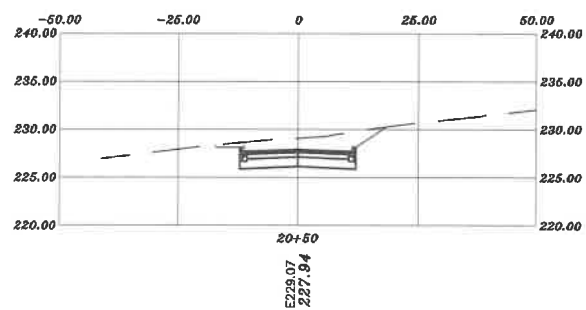
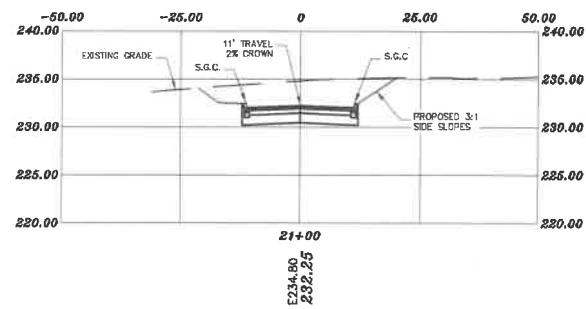
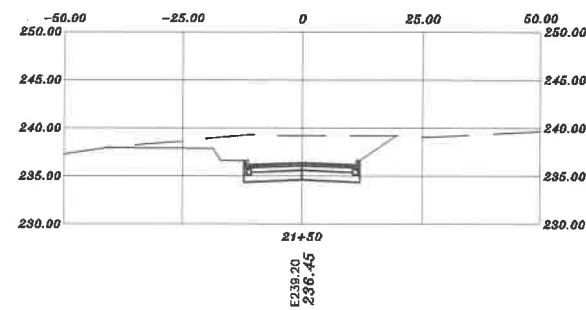
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#2	3-17-21		REVISED PER NHDES ACT REM/WILDLIFE STUDY
#1	3-17-21		REVISED PER NHDES WMB RFM

CROSS SECTIONS 8+00 - 14+29
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

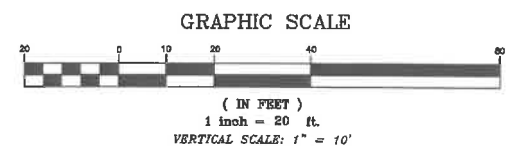
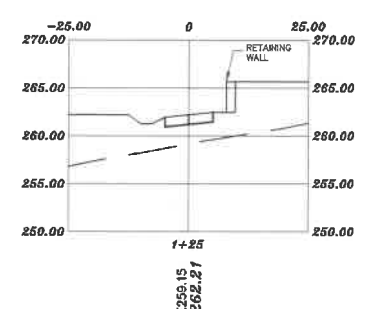
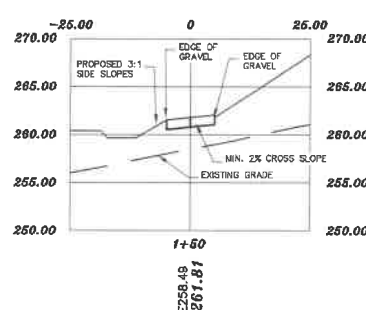
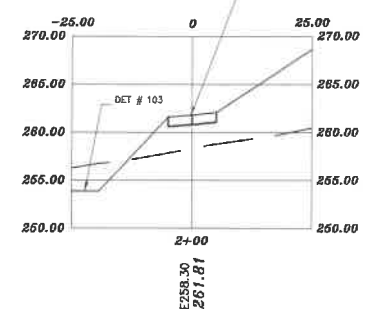
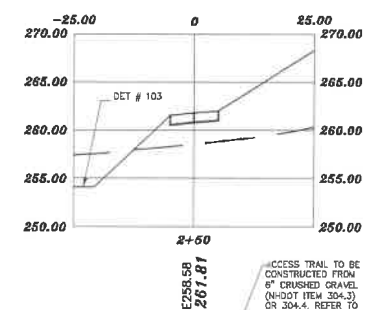
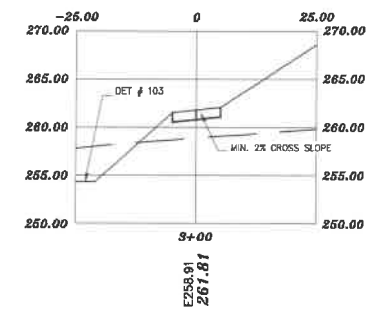
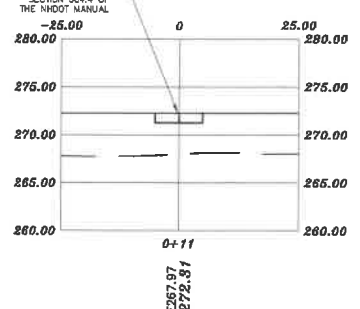
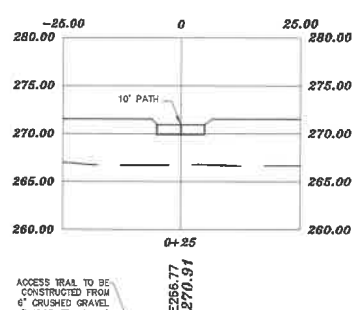
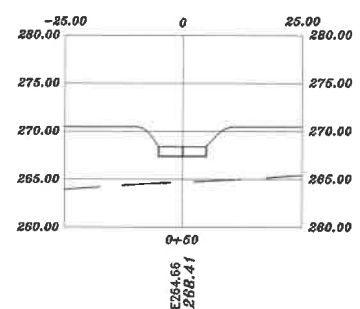
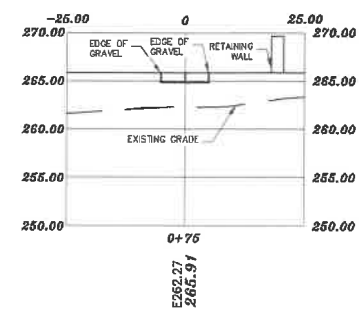
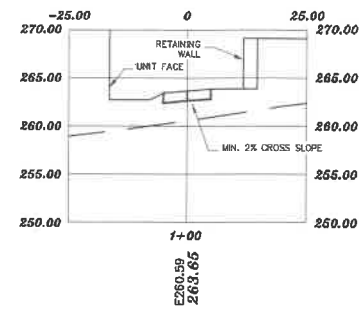
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
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STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 100
Civil Engineering

WILDCAT DRIVE 20+00 - 21+96



DETENTION POND #103 ACCESS TRAIL



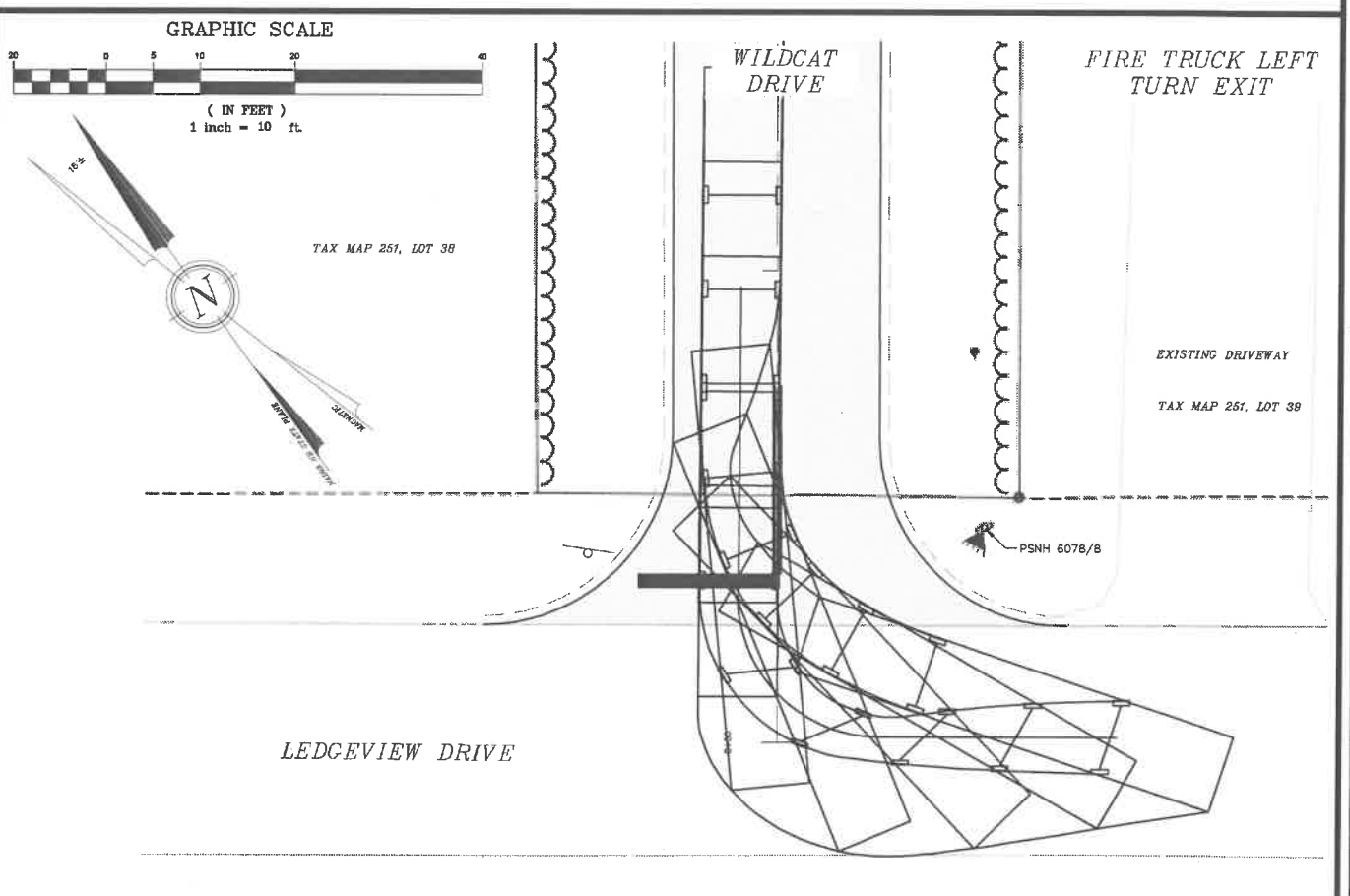
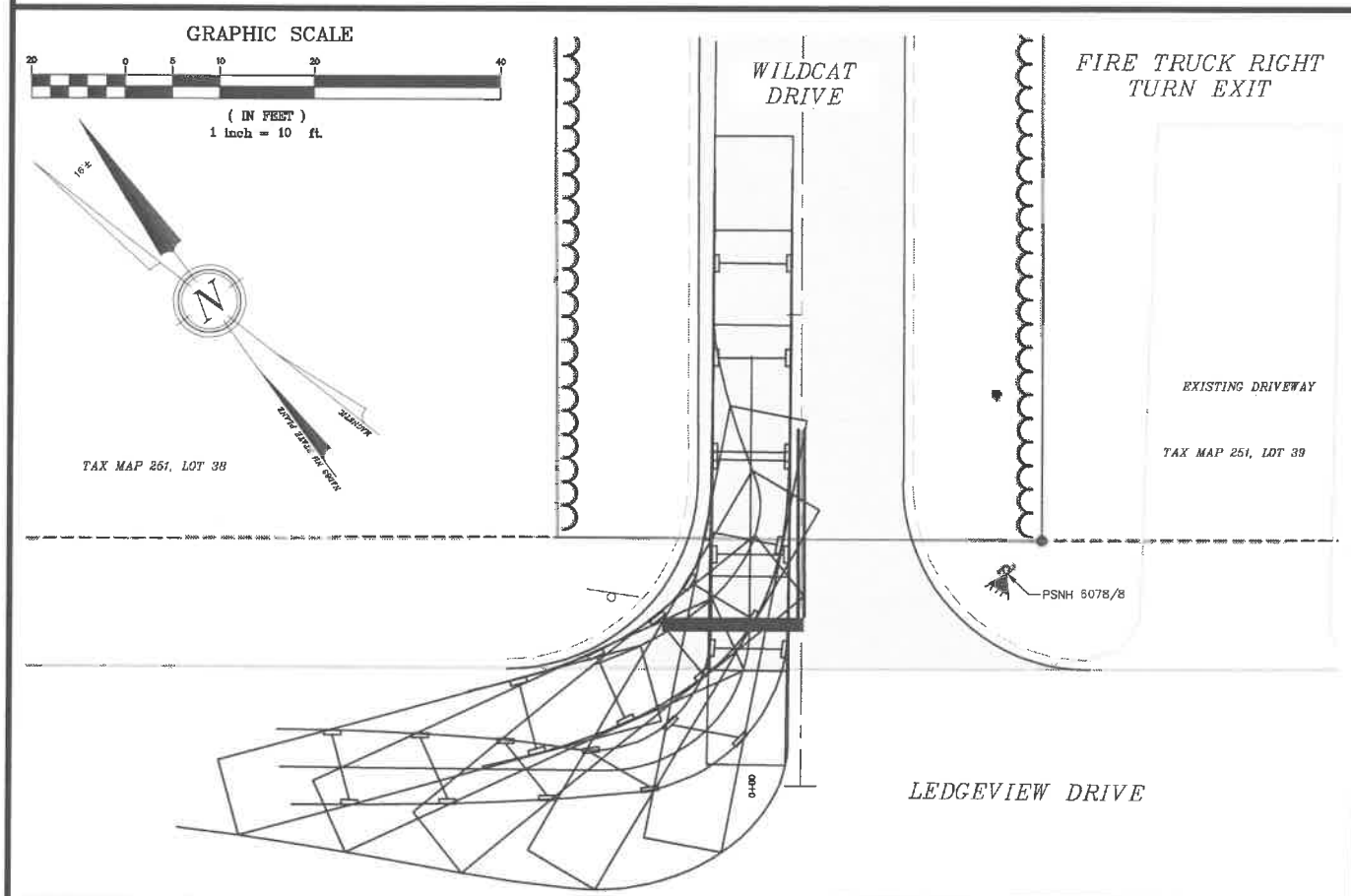
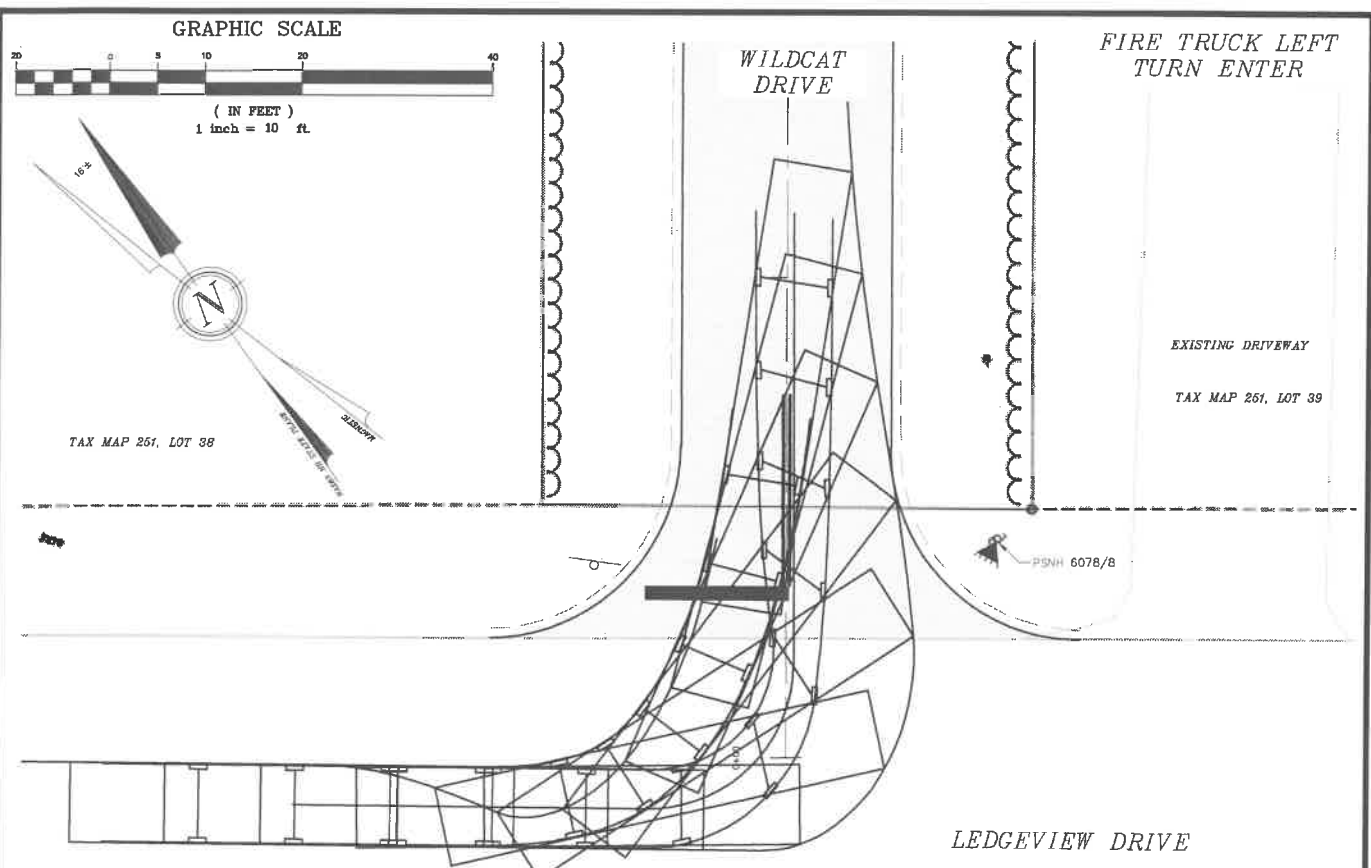
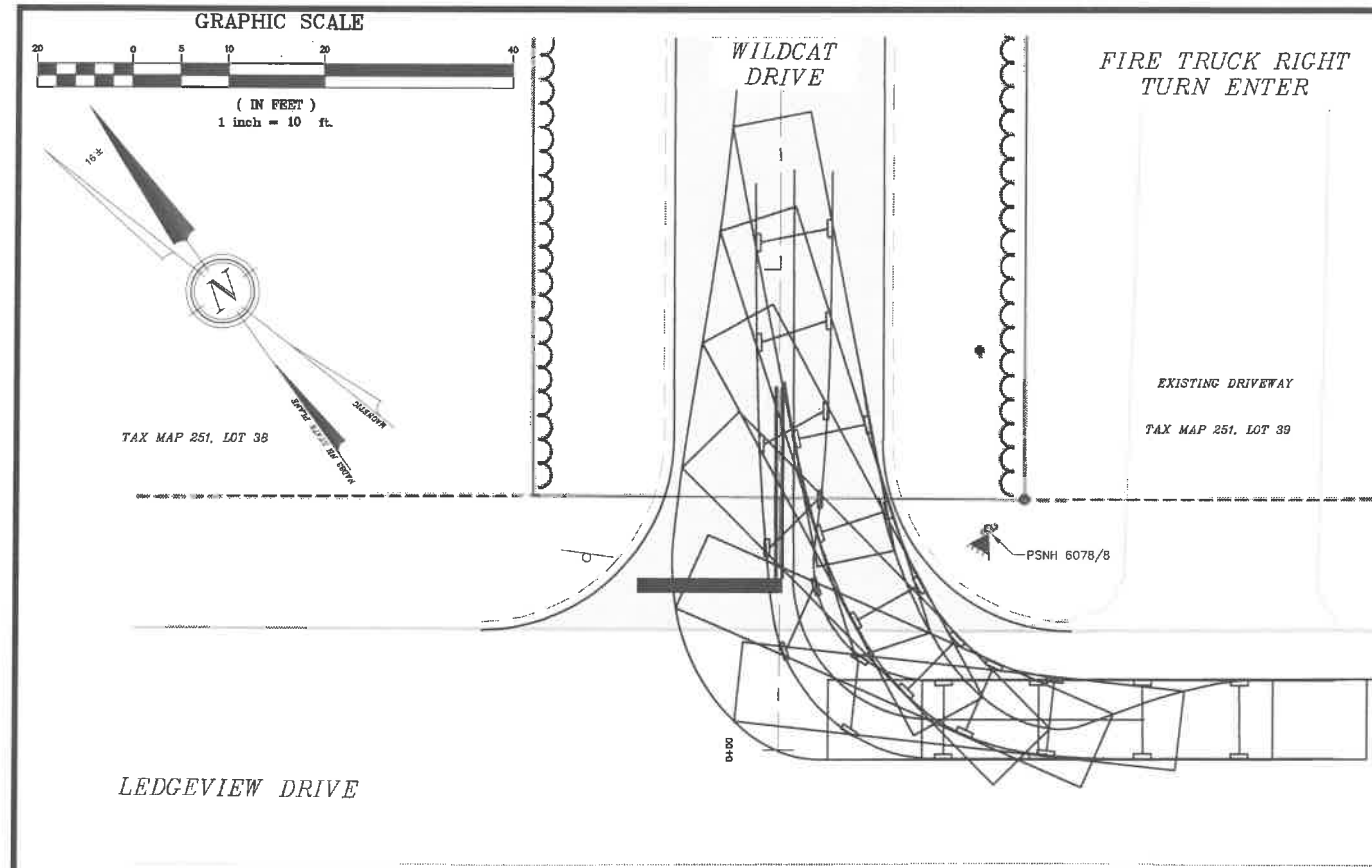
ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES AOT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES AOT RFM/WILDLIFE STUDY
REVISED PER NHDES WMB RFM

5-10-21
4-18-21
4-2-21
3-17-21
3-17-21

CROSS SECTIONS 20+00-21+96 & DET #103 ACCESS
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

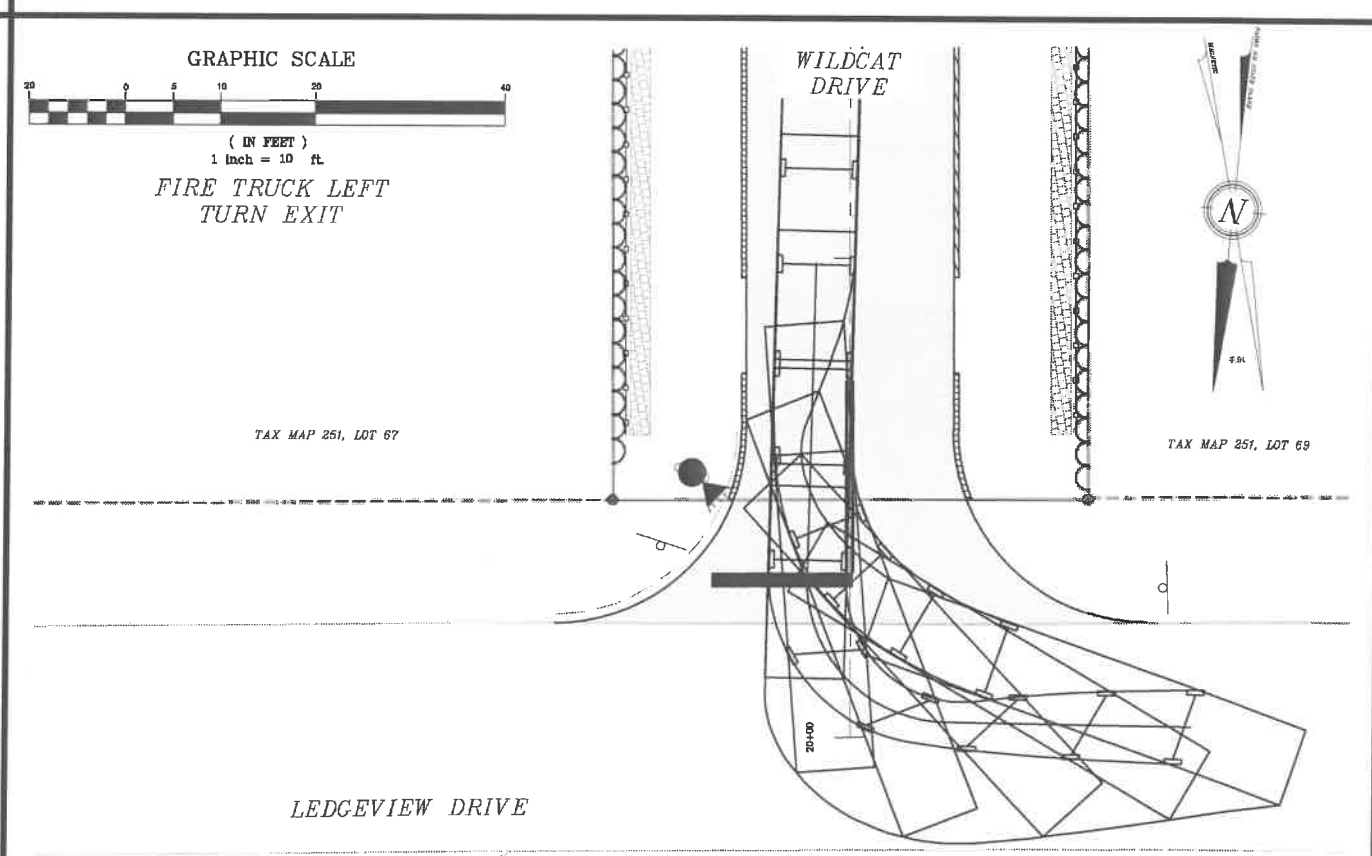
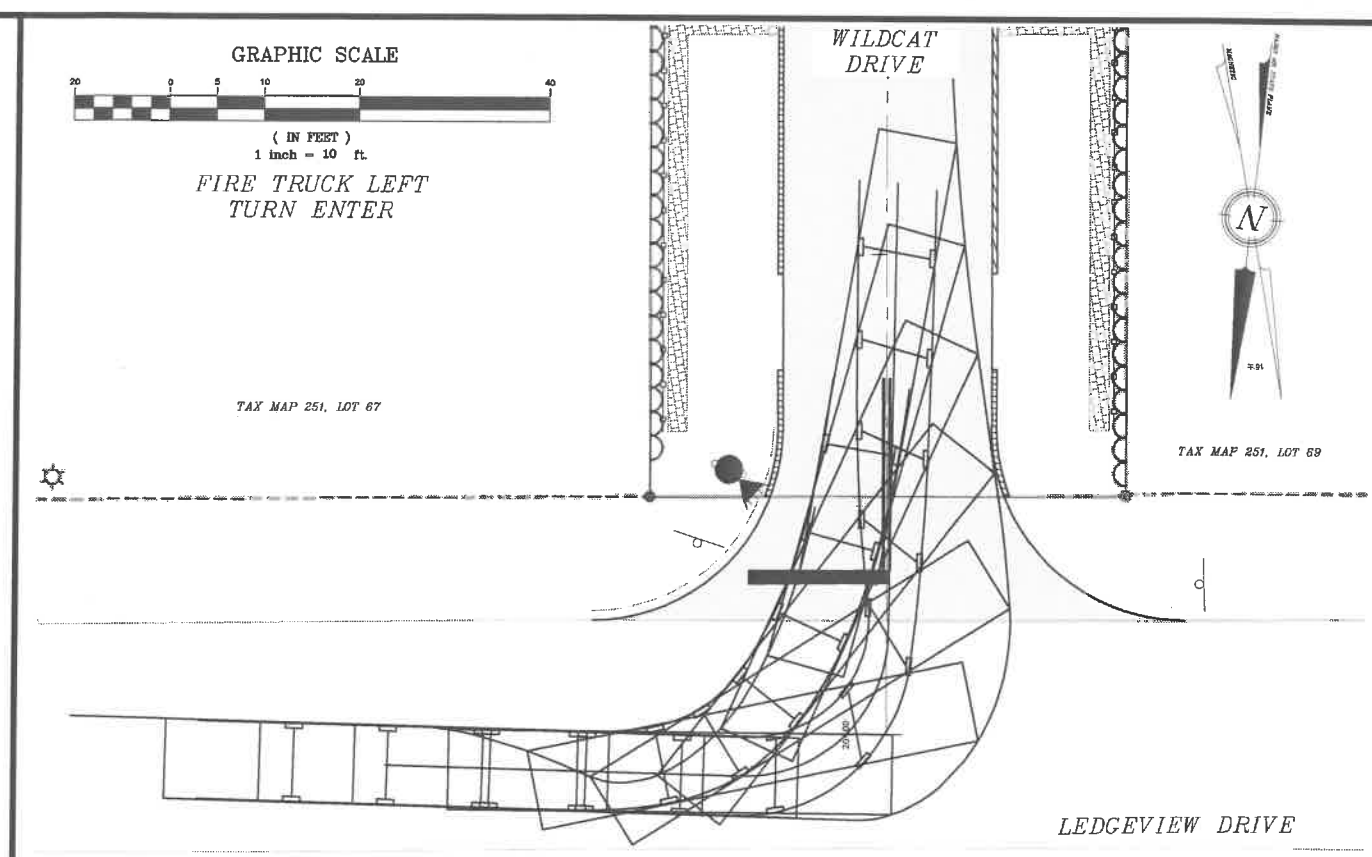
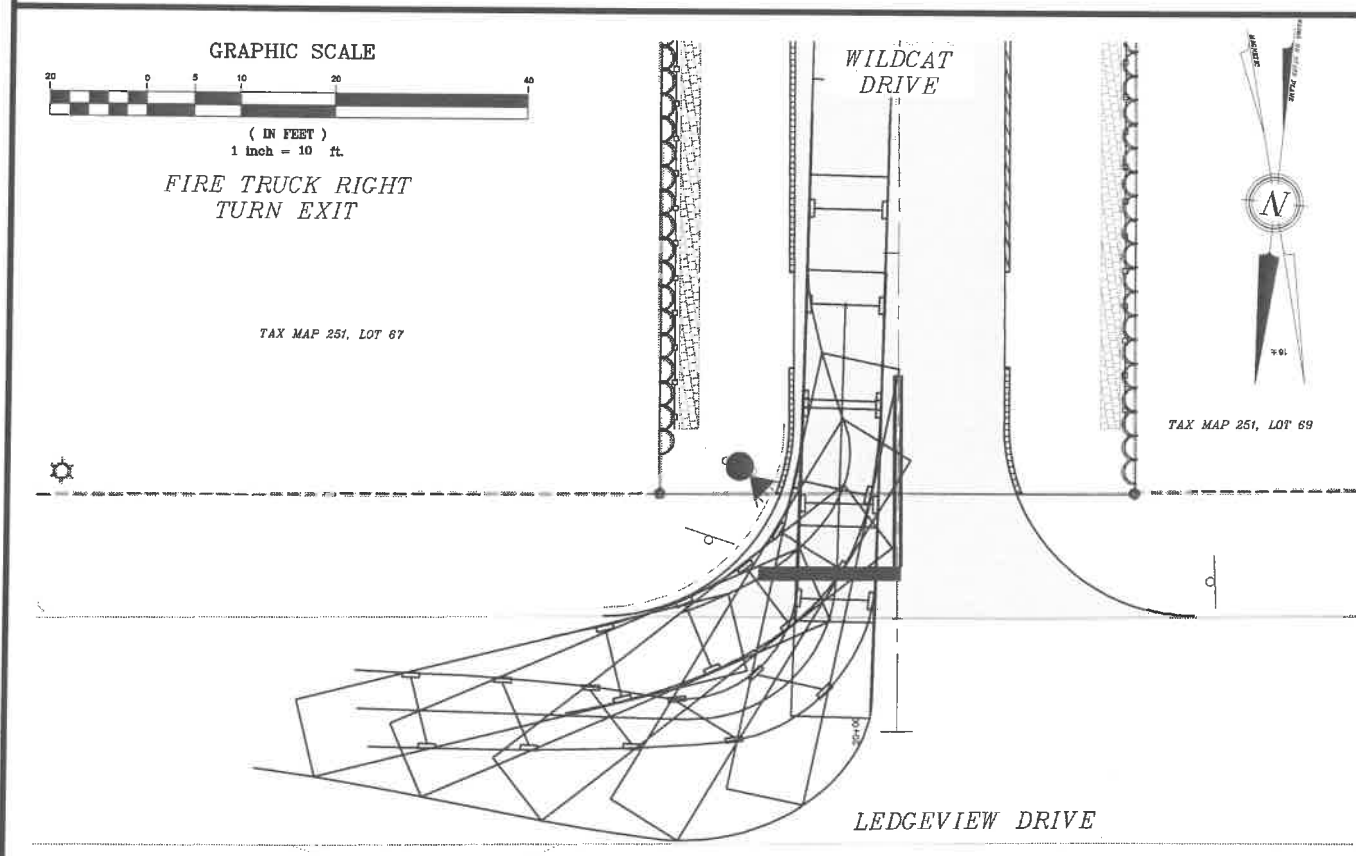
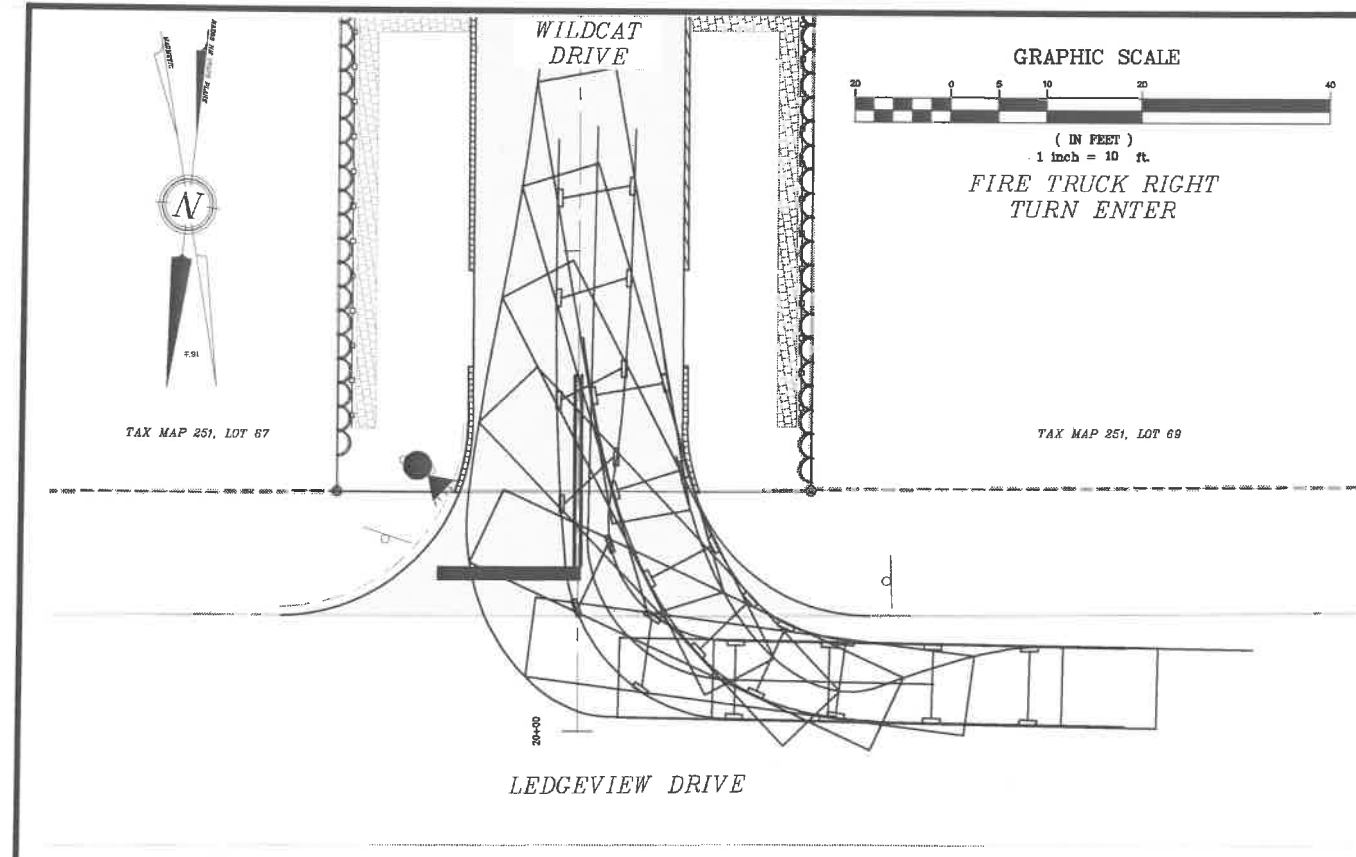




REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES AOT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES AOT RFM/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WWEB RFM

ROCHESTER FIRE TRUCK TURN MOVEMENTS 04-00 INTERSECTION
 LAND OF
 HALF PEAK HOLDINGS, LLC
 LEDGEVIEW DRIVE
 ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)532-2863
 SCALE : 1 IN. EQUALS 10 FT.
 DATE : DECEMBER 30, 2020
 FILE NO. : DB 2020 - 081

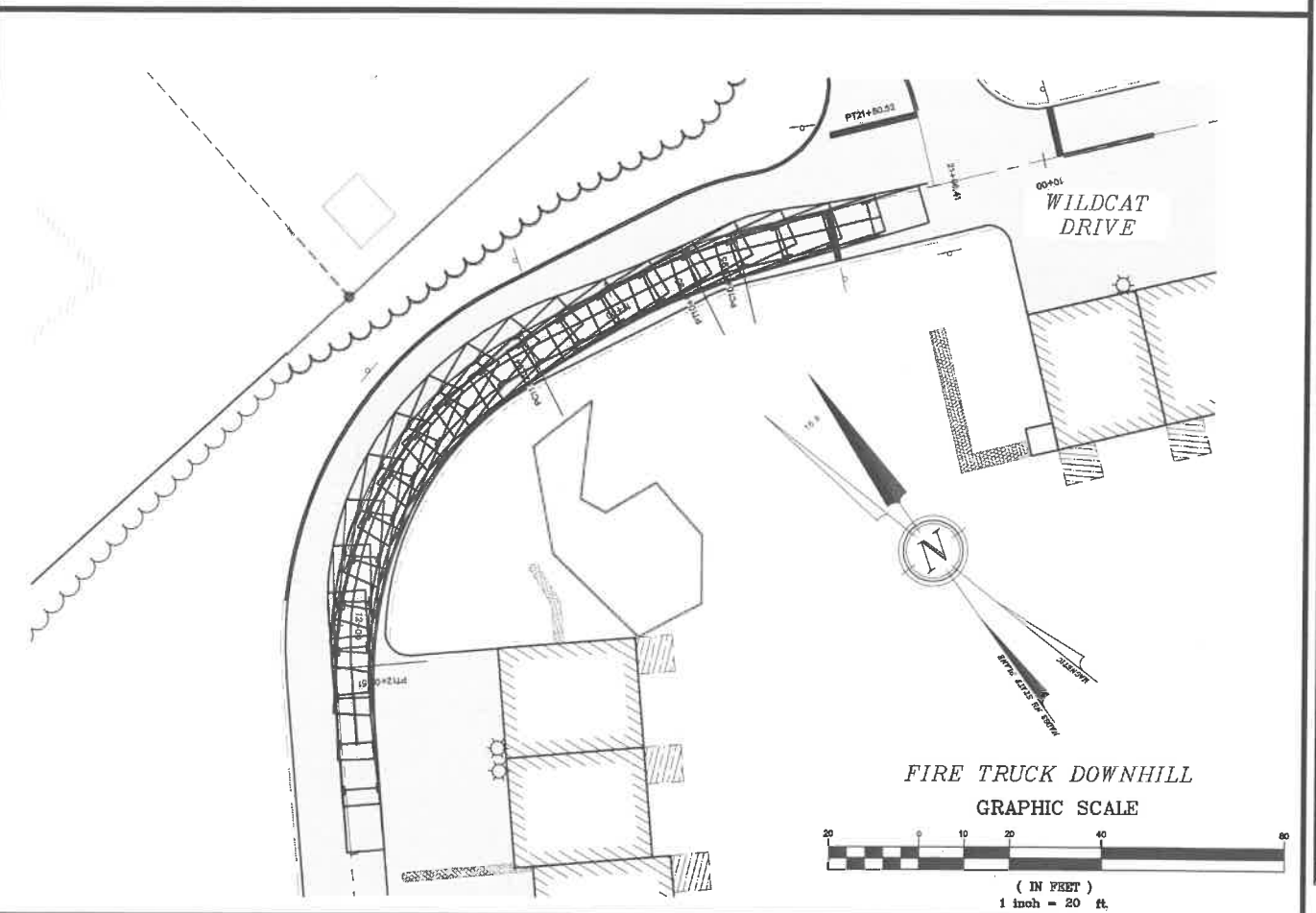
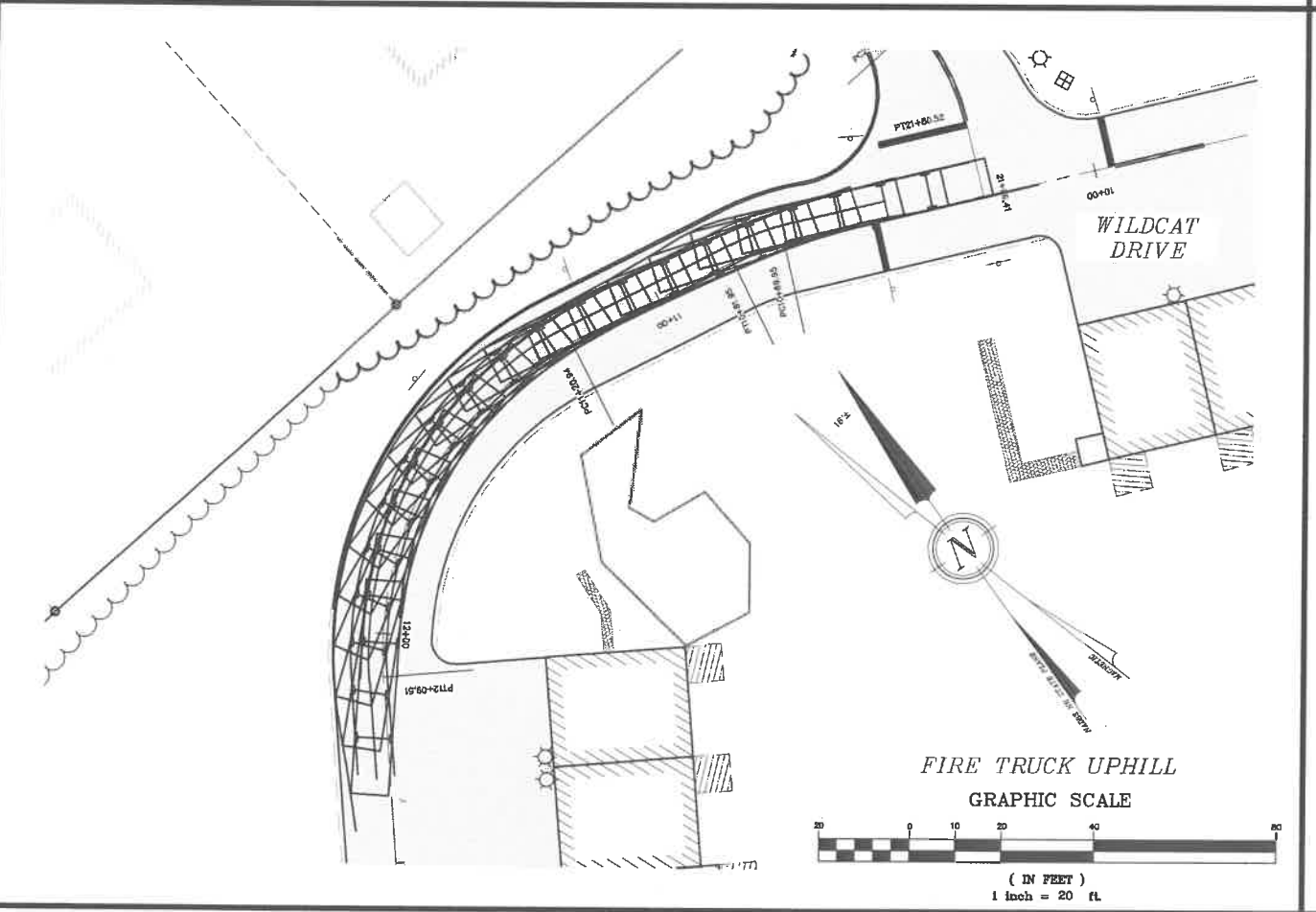
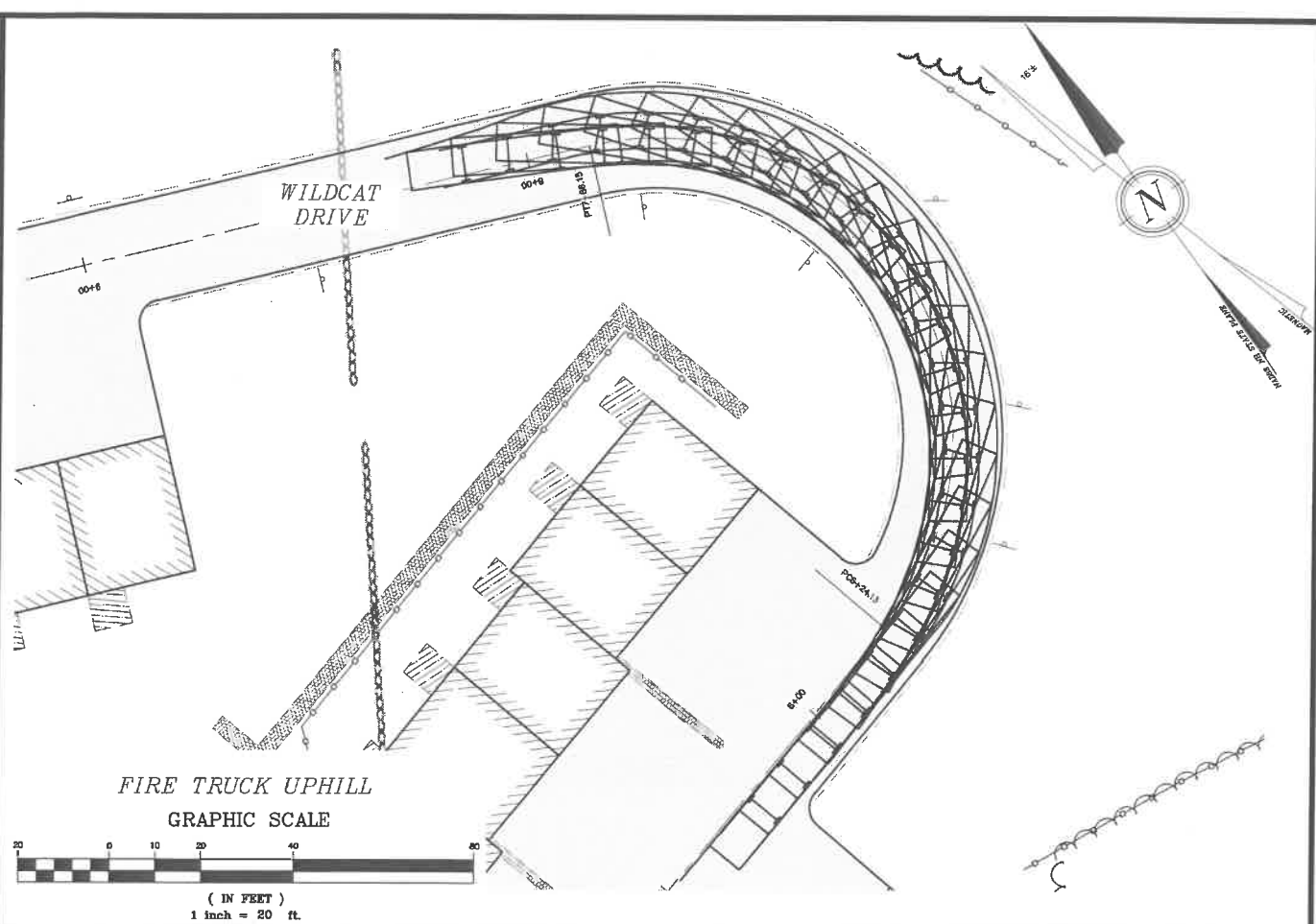
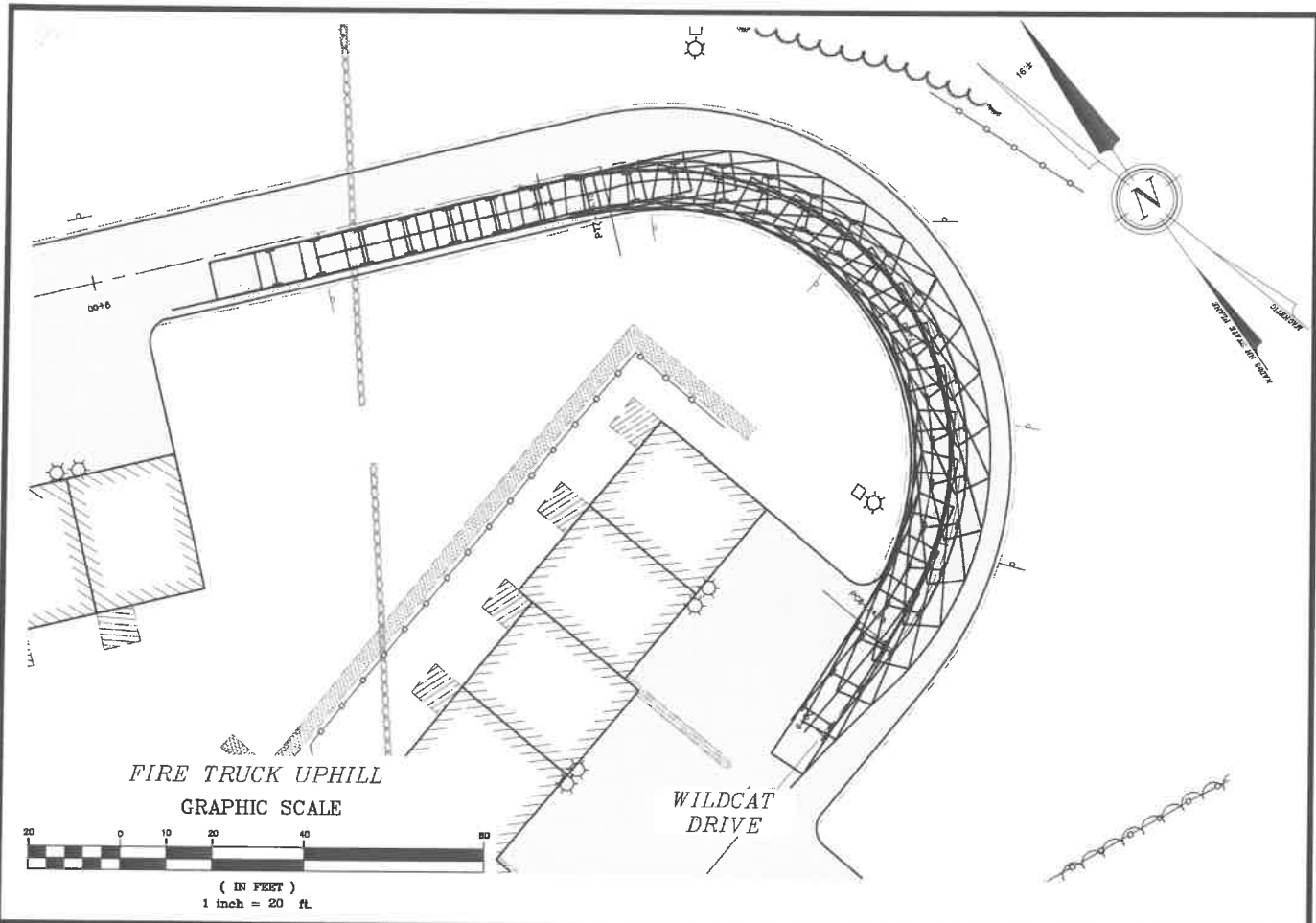


REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES ACT RFI/WILDLIFE STUDY
#1	3-17-21	REVISED PER NHDES WHEB RFI

ROCHESTER FIRE TRUCK TURN MOVEMENTS 20+00 INTERSECTION
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 44293



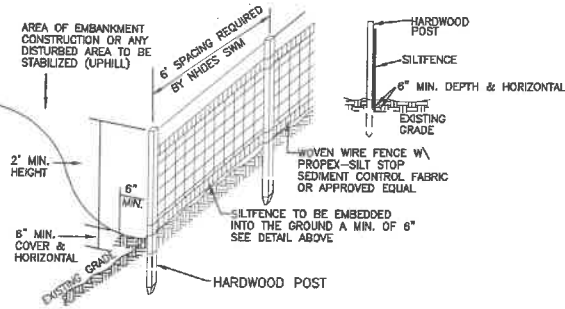
REVISION	DATE	DESCRIPTION
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#4	4-16-21	REVISED PER NHDES AOT COMMENT
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#1	3-17-21	REVISED PER NHDES WWEB RFM

ROCHESTER FIRE TRUCK TURN MOVEMENTS
 LAND OF
 HALF PEAK HOLDINGS, LLC
 LEDGEVIEW DRIVE
 ROCHESTER, N.H.
 TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 20 FT.
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 FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE
 KENNETH A. BERRY
 No. 14293
 Professional Seal

E1

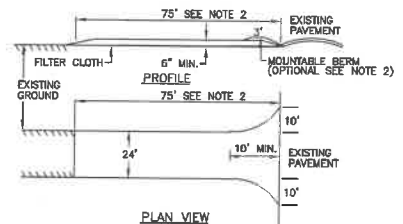


SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 8' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 80.

SILT FENCE MAINTENANCE

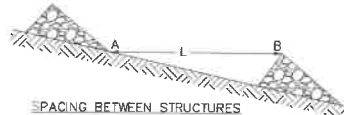
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL
NOT TO SCALEE5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

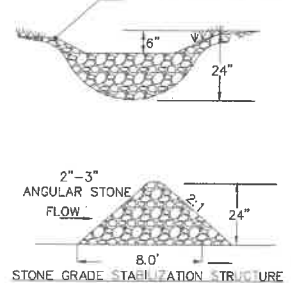
STONE CHECK DAM
NOT TO SCALE

THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.

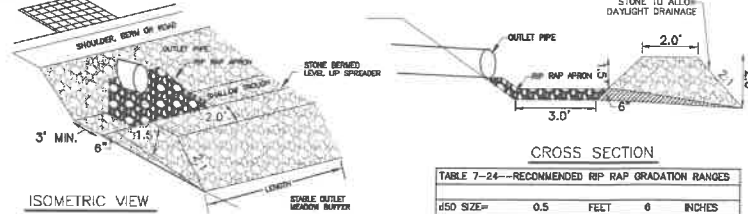


1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
3. THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
4. THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
5. THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
6. CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
7. TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

NOTE: KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18" TO PREVENT FLOW AROUND THE DAM.



E2



CROSS SECTION

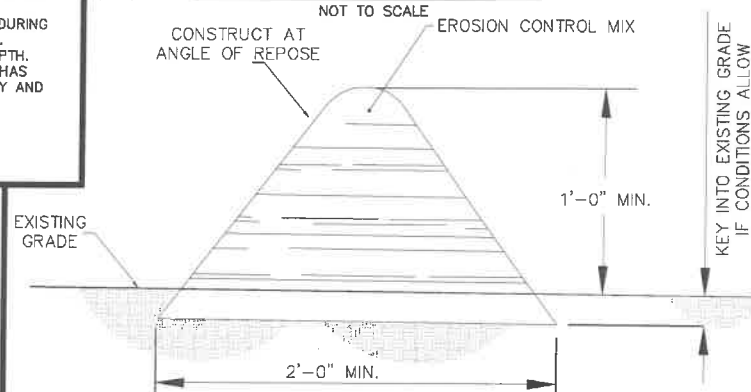
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

DESIGN SIZE	0.5	1	2	4	6	12
% OF WEIGHT SMALLER THAN THE GIVEN DESIGN SIZE						
100%	9	12	12	12	12	12
85%	8	11	11	11	11	11
50%	6	9	9	9	9	9
15%	2	3	3	3	3	3

1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.
6. REFERENCE IS MADE TO NHDES SWM VOL. 2, 4-6, STONE BERM LEVEL SPREADERS, PAGE 162

STONE BERM LEVEL SPREADER

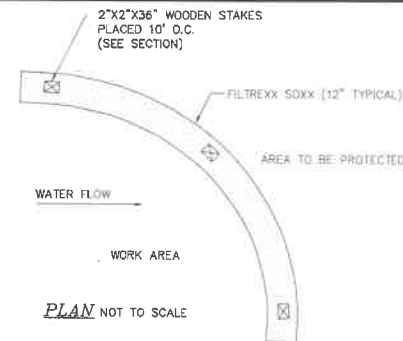
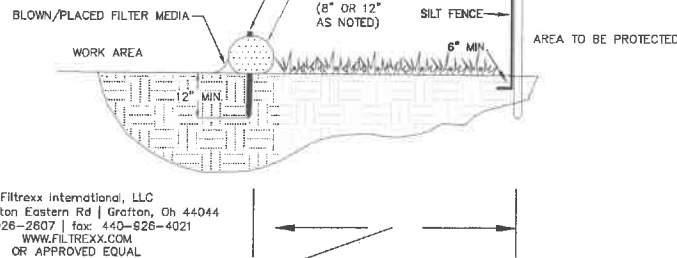
NOT TO SCALE

E6 EROSION CONTROL MIX BERM
NOT TO SCALE

- EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:
1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
 2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
 3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
 4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FLOW SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
 5. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
 6. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
 7. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 0.75-INCH SCREEN.
 8. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
 9. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
 10. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E9

E10

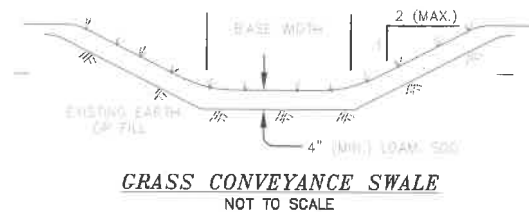
FILTREXX SEDIMENT CONTROL
NOT TO SCALE

Filtrexx International, LLC
35481 Grafton Eastern Rd | Grafton, OH 44044
440-926-2807 | fax: 440-926-4021
WWW.FILTREXX.COM
OR APPROVED EQUAL

NOTES

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILTSOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILTSOXX COMPOST/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
7. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP OUT SHEET: FILTREXX SEDIMENT CONTROL

E3

GRASS CONVEYANCE SWALE
NOT TO SCALE

INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.

MOW GRASS ANNUALLY TO A DEPTH OF 4".

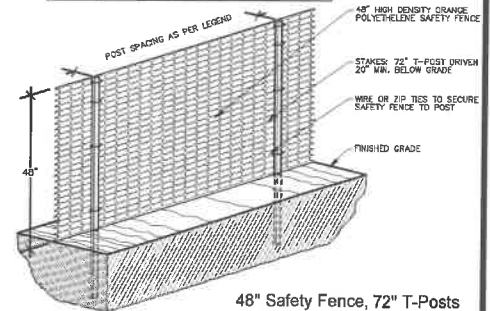
INSTALL STABILIZATION MATTING DURING CONSTRUCTION

TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5 TREATMENT SWALES, PAGE 123.

E4 CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND

SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



48" Safety Fence, 72" T-Posts

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCING AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY FENCING 3 FEET OUTSIDE OF THE GRP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

E8

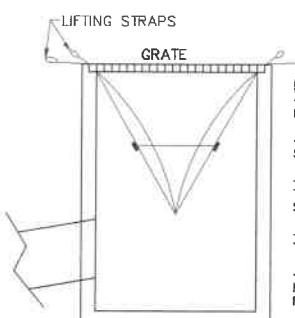
TEMPORARY EROSION CONTROL MEASURES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDING WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA COP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BSA&P. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
10. ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
 - 11.1. A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
 - 11.2. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
 - 11.3. EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
12. THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

BLOCK & GRAVEL DROP
INLET SEDIMENT FILTER
NOT TO SCALE

TO BE USED IN ALL AREAS WHERE THERE WILL BE NO TRAFFIC.

E11

RECOMMENDED MAINTENANCE SCHEDULE
-EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT, AND MUST BE MAINTAINED.

-IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACK SHOULD BE INSPECTED EVERY 2-3 WEEKS.

-THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

-TO BE USED IN ALL AREAS WHERE THERE WILL BE TRAFFIC.

-ARE SUBJECT TO DAMAGE BY SNOW PLOWS, AND MUST BE INSPECTED AFTER ANY SNOW EVENT AND REPLACED AS REQUIRED.

TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY STORM DRAIN INLET PROTECTION, PAGE 118.

SILTSACK DETAIL
NOT TO SCALE

E-101

ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENT
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES ACT RFI/WILDLIFE STUDY
REVISED PER NHDES WBEF RFI

5-10-21
4-16-21
4-2-21
3-17-21
3-17-21

#5 #4 #3 #2 #1

REVISION

DATE

DESCRIPTION

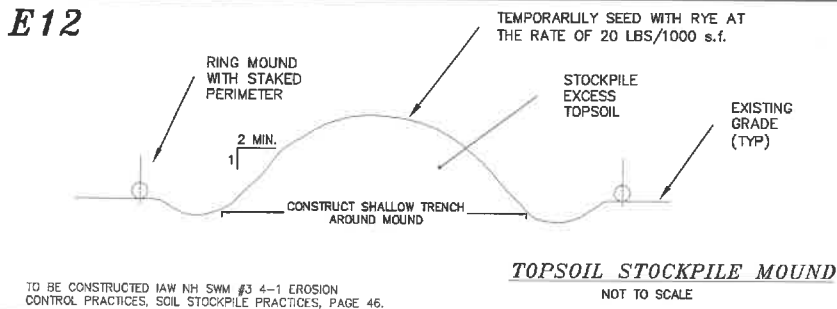
EROSION & SEDIMENT CONTROL DETAILS
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BERRY SURVEYING & ENGINEERING
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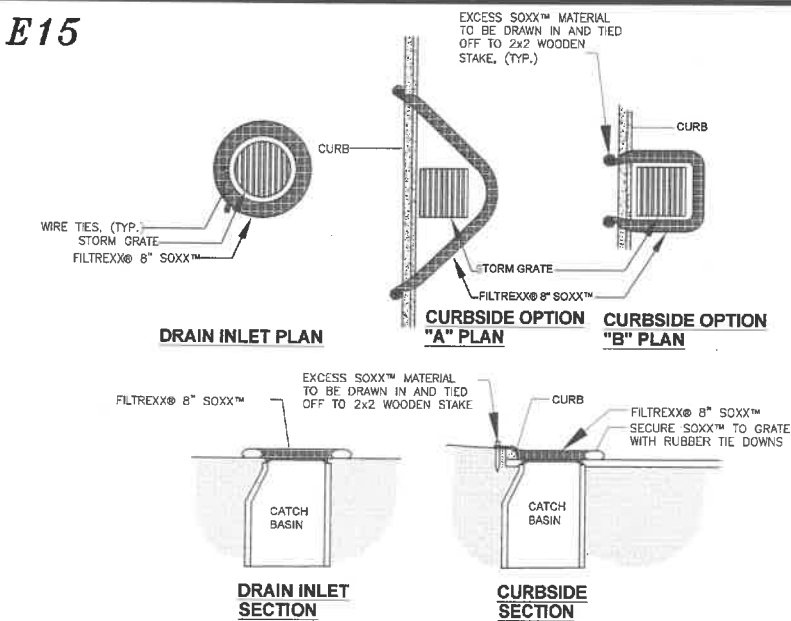


SHEET 44 OF 53

E12



E15

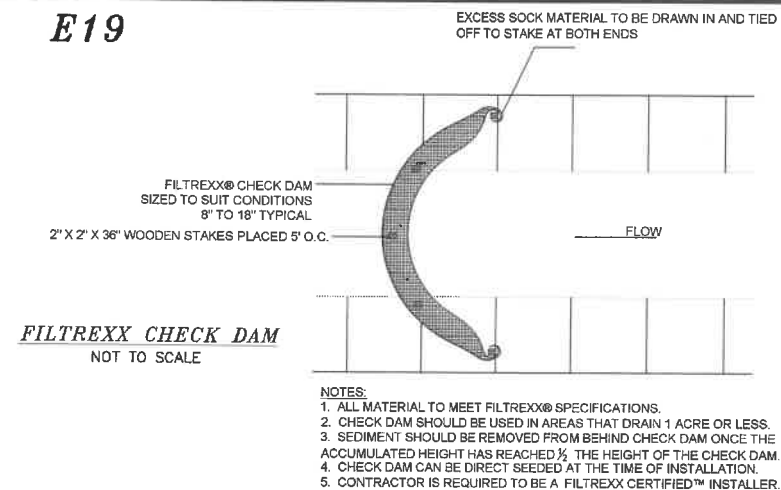


- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

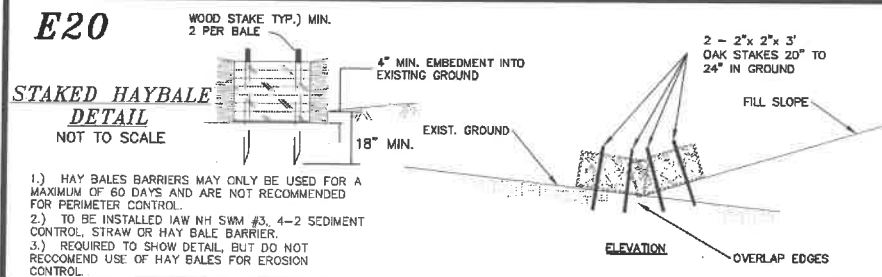
FILTREXX INLET PROTECTION

NOT TO SCALE

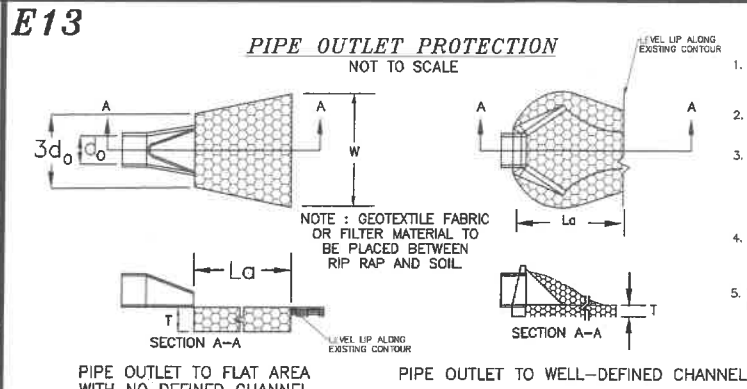
E19



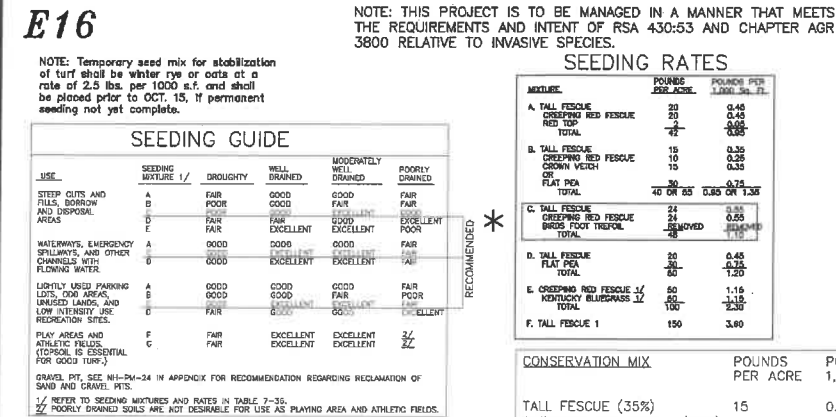
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E13



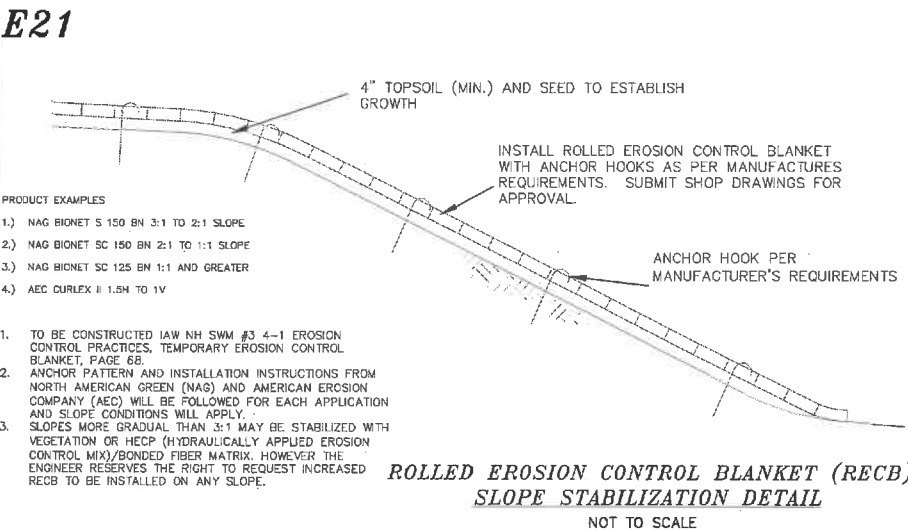
E16



SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
 2. SEEDING PREPARATION
 3. ESTABLISHING A STAND
 4. MULCH
 5. MAINTENANCE TO ESTABLISH A STAND
- NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

E21



E22

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CUREX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDING BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

E14

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
d50 SIZE=	0.5	FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO	
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	

CONSTRUCTION SEQUENCE:

1. CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT AND DETENTION CONTROL FACILITIES AS SPECIFIED. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
3. EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS. RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMPs ARE STABILIZED.
4. CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
6. CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY. SEE BEST MANAGEMENT PRACTICES FOR BLASTING ON SHEET C-102.
7. START BUILDING CONSTRUCTION.
8. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
9. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 45 DAYS BEFORE BEING STABILIZED. DAILY OR AS REQUIRED. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.
10. CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWA), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSWQ). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT. EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER 0.5" OF RAINFALL.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
14. SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
15. FINISH PAVING ALL ROADWAYS.
16. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

E18 DEFINITION OF STABLE:

PER ENV-WQ 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E-102

ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHCS AOT COMMENTS
REVISED PER NH F&G CONDITIONS
REVISED AOT REM/WILFUE STUDY
REVISED PER NHCS WHEE REM

5-10-21
4-16-21
4-2-21
3-17-21
3-17-21

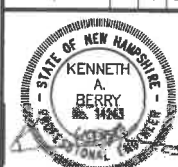
DATE

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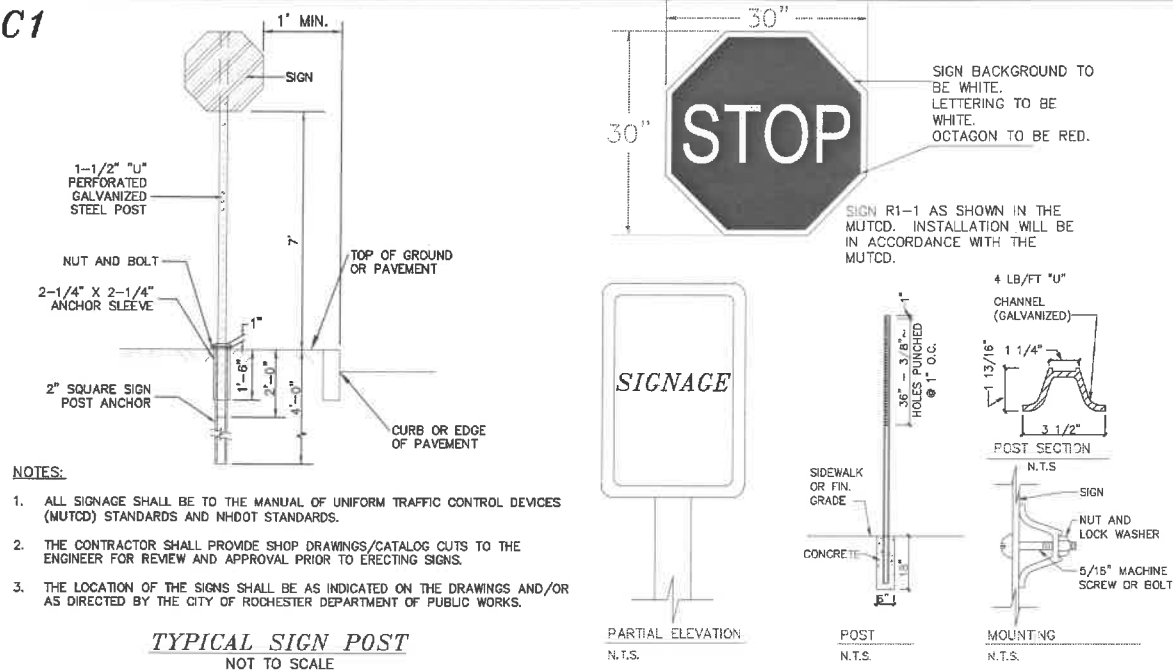
REVISION

LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

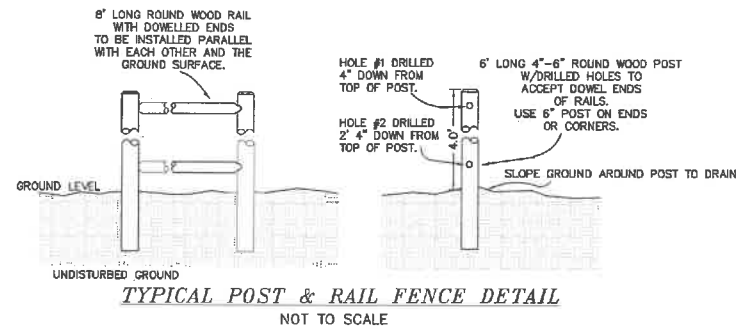
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : DECEMBER 30, 2020
FILE NO.: DB 2020 - 081



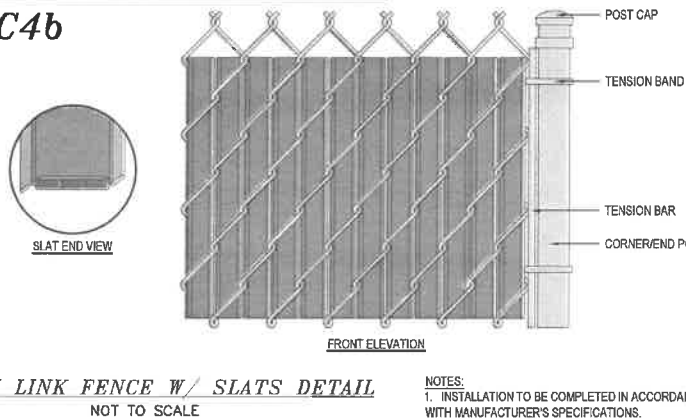
C1



C4a



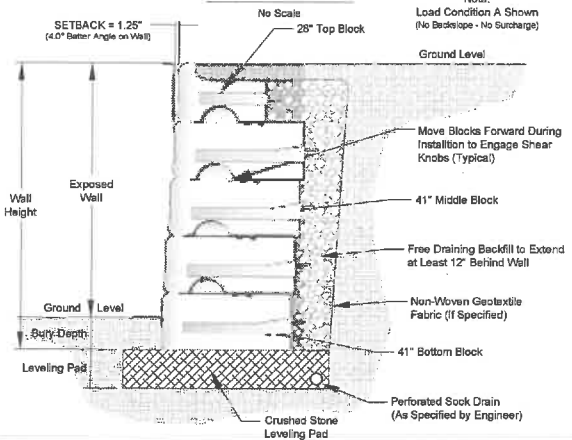
C4b



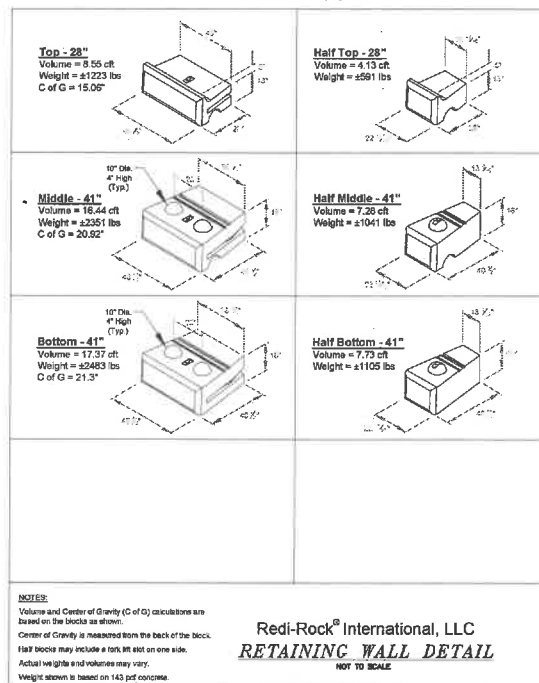
C8

- NOTES:**
- USE THE 41" BOTTOM BLOCK TO INSTALL THE FIRST COURSE. NOTE EMBEDMENT REQUIREMENT. COURSE DEPTH IS 1.5'
 - USE 41" MIDDLE BLOCK FOR MIDDLE ROWS, APPROXIMATELY 7 COURSES DEPENDING ON WALL HEIGHT.
 - USE 41" TOP BLOCK ALONG TOP OF WALL. NOTE WALL DROPS ARE TO BE FULL BLOCK DEPTHS.
 - USE 41" HALF BLOCKS FOR RADIAL TURNS AND END SECTIONS.
 - THE WALL MANUFACTURER TYPICALLY PROVIDES WALL PROFILE AND BLOCK COUNT TO THE CONTRACTOR AS REQUIRED FOR CONSTRUCTION. THIS IS TO BE REVIEWED BY BOTH DPW AND DESIGN ENGINEER FOR CORRELATION WITH PROJECT SITE PLANS AND IS TO BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER (OTHERS).

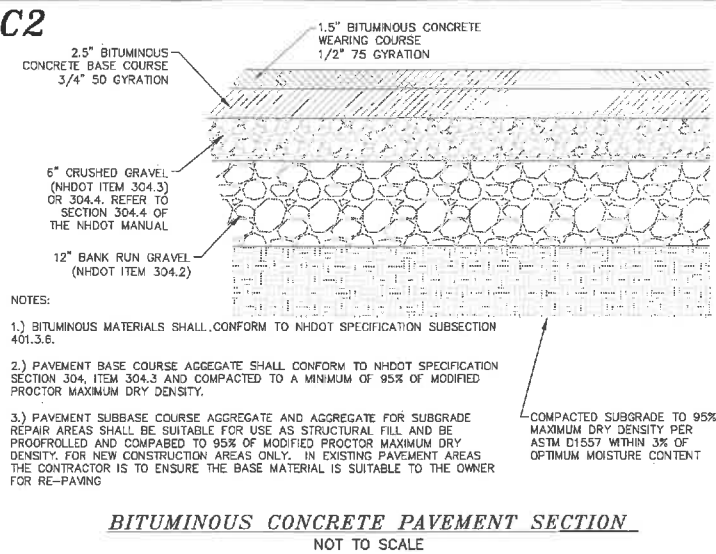
Typical Gravity Wall with 41" Blocks



41" SERIES BLOCKS

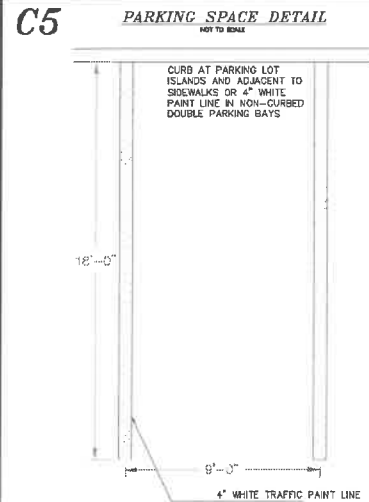


C2



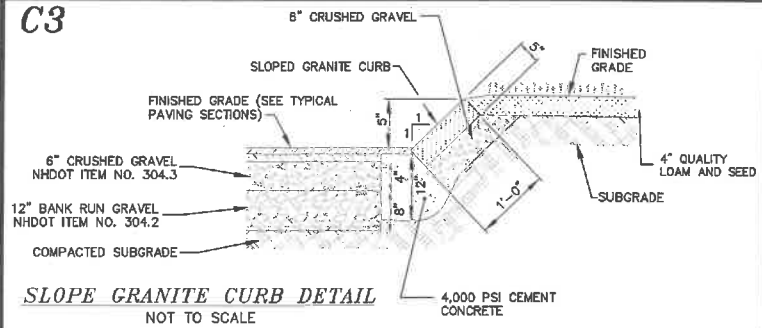
PRIVACYLINK® 3 1/2 IN. X 5 IN. MESH W/ SUPREME PRIVACY SLATS
4" TALL CHAIN LINK FENCE W/ BLACK SLATS

C5

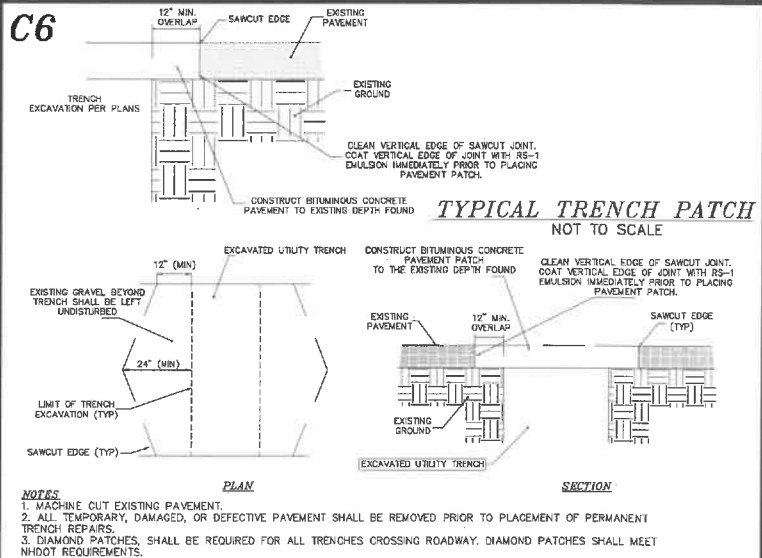


- NOTES:**
- PROVIDE TWO COATS OF PAINT ON ALL PARKING LINES.
 - SEE PROPOSED SITE PLANS FOR LOCATION OF PARKING SPACES.
 - PAINTED SPACES ONLY WHERE MARKED ON SITE PLAN

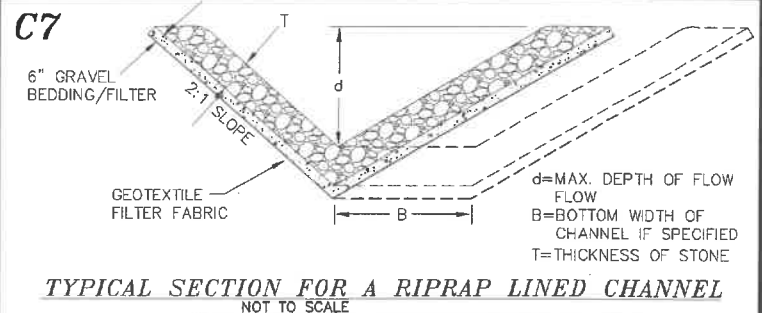
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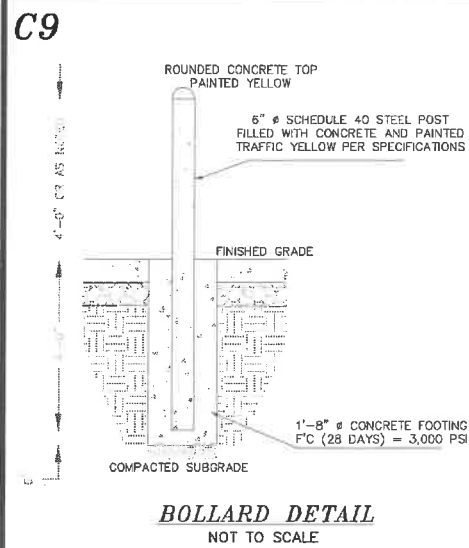
C6



C7



C9



C10

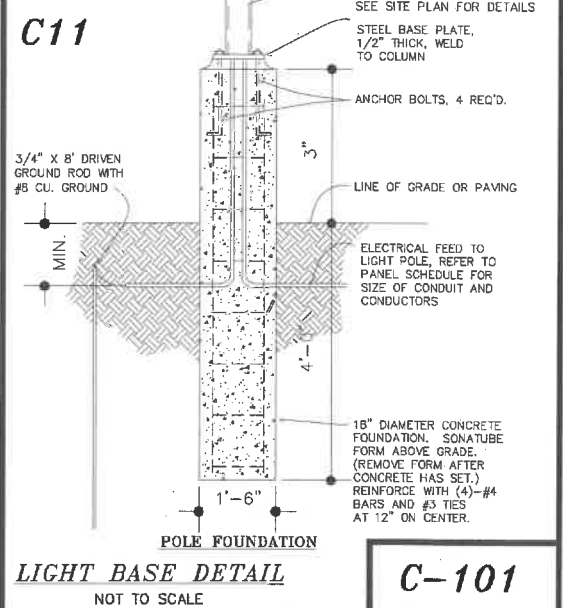
BEST MANAGEMENT PRACTICES FOR BLASTING

ENV-WQ 1510.03 LOADING PRACTICES. THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:

- THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
 - THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - GROUNDWATER CONDITIONS;
- THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
- EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
 - USED IN THE BOREHOLE;
 - RETURNED TO THE DELIVERY VEHICLE; OR
 - PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
- SILLAGE AROUND THE BOREHOLE SHALL BE:
 - PLACED IN THE BOREHOLE; OR
 - CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
- LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT.
- UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
- LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
- EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEAMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.

PRE-BLAST SURVEY WILL INCLUDE ALL ADJUTING PROPERTIES AND FOLLOW AND STATE AND LOCAL REQUIREMENTS.

C11



ADDITION OF FINAL PERMIT NUMBERS
REVISED PER NHDES ACT COMMENTS
REVISED PER NH F&G CONDITIONS
REVISED PER NHDES ACT RFM/WILDLIFE STUDY
REVISED PER NHDES ACT RFM

5-10-21
4-16-21
4-2-21
3-17-21
3-17-21

CONSTRUCTION DETAILS
LAND OF
HALF PEAK HOLDINGS, LLC
LEDEWIEVE DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68



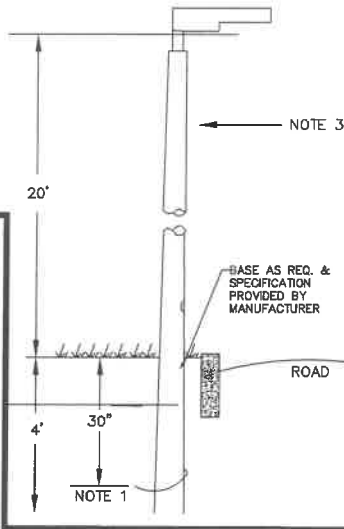
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
No. 1643

SHEET 46 OF 53

C-101

C12

- LIGHTING NOTES:**
1.) POLES TO BE SET SO THAT WIRING EXIT FACES THE ROAD.
2.) ORIENT FIXTURE CORRECTLY AS TO FIELD AND STREET SIDE.
3.) USE GRAY POLE WITH CONTEMPORARY FIXTURE AND BLACK WITH TRADITIONAL. MATERIALS DETERMINED BY CITY OF ROCHESTER DPW
4.) EXTEND DIRECT BURIED CABLE FAR ENOUGH INTO THE POLE TO MAKE THE CONNECTION AT THE HANDHOLE IN THE POLE. EXTEND #14, 2/0 COPPER STREET LIGHT CABLE FROM THIS CONNECTION TO THE LUMINAIRE.

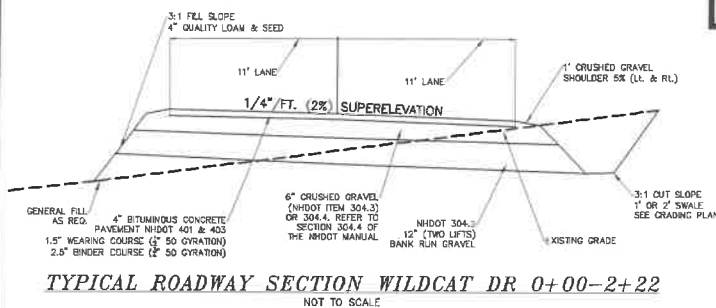


C15

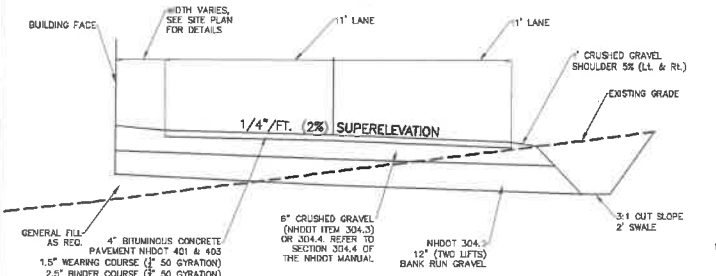
CROSS SECTION NOTES

- ALL ROADWAY FILL TO BRING ROAD TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
- ALL FILL SHALL BE COMPACTED UNTIL 95% MAXIMUM DRY DENSITY IS ACHIEVED IN ACCORDANCE WITH AASHTO T99. COMPACTION TESTS TO BE CONDUCTED AT THE START OF THE PROJECT AND NO FURTHER THAN 100 FEET APART.
- TEST PITTING WAS DONE WITHIN THE ROADWAY ALIGNMENT BY CYNTHIA BALCIUS, CSS, CWS, AND BS&E. NO UNSUITABLE MATERIALS WERE ENCOUNTERED IN THOSE TEST PITS. LEDGE REMOVAL (HAMMERING OR SHALLOW DEPTH BLASTING WILL BE REQUIRED) MATERIALS CAN BE CRUSHED AND USED ON SITE.
- ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE ROAD BED. THE ROAD BED IS DEFINED AS THE LIMITS OF THE ROADWAY INCLUDING THE AREA ONE (1) FOOT BEYOND THE SHOULDERS, DITCHES, OR TOE OF FILL SLOPE.

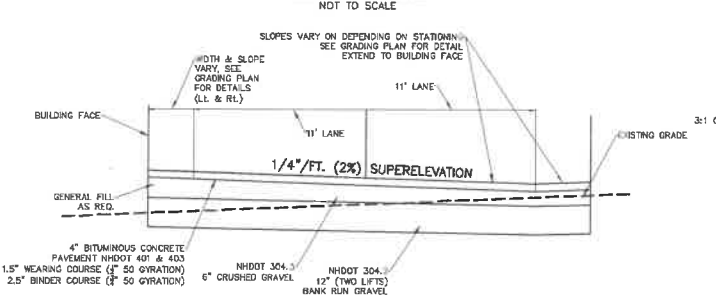
COMPACTED SUBGRADE — CONTRACTOR SHALL SCARIFY SUBGRADE TO A DEPTH OF 30 INCHES BELOW F-GRADE. ALL STONES GREATER THAN 6" IN DIAMETER SHALL BE REMOVED FROM THE SCARIFIED LAYER. ANY IMPORTED FILL SHALL BE FREE OF ORGANICS AND FROST AND SHALL HAVE NO ROCKS LARGER THAN 6" IN DIAMETER. FILL MATERIAL SHALL BE APPROVED BY THE CITY'S AGENT AND/OR THE CITY'S ENGINEER.



TYPICAL ROADWAY SECTION WILDCAT DR 0+00-2+22



TYPICAL ROADWAY SECTION WILDCAT DR 2+22-2+93



TYPICAL ROADWAY SECTION WILDCAT DR 2+93-3+51

C13

Autobahn Series ATB0 Roadway Lighting

PRODUCT OVERVIEW

Features:

- OPTICAL:**
 - Beam angle: 120° (adjustable)
 - Beam diameter: 10" (adjustable)
 - Beam color: 3000K, 4000K, 5000K
 - Beam life: 50,000 hours
- MOUNTING:**
 - Mounting height: 10' to 20'
 - Mounting arm: 10' to 20'
 - Mounting bracket: 10' to 20'
- CONTROL:**
 - Control type: On/Off, Dimming, Timing
 - Control location: On-site, Remote
 - Control range: 10' to 20'

Applications:

- Highway
- Freeway
- Interchange
- Exit ramp
- On-ramp
- Off-ramp

STANDARD:

ANSI C82.1-1997

ANSI C82.2-1997

ANSI C82.3-1997

ANSI C82.4-1997

ANSI C82.5-1997

ANSI C82.6-1997

ANSI C82.7-1997

ANSI C82.8-1997

ANSI C82.9-1997

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ANSI C82.97-1997

ANSI C82.98-1997

ANSI C82.99-1997

ANSI C82.100-1997

AEL

Autobahn Series ATB0 Roadway Lighting

ORDERING INFORMATION

Model	Power	Beam	Mounting	Control
ATB0-1000	1000W	10"	10'	On/Off
ATB0-2000	2000W	10"	10'	On/Off
ATB0-3000	3000W	10"	10'	On/Off
ATB0-4000	4000W	10"	10'	On/Off
ATB0-5000	5000W	10"	10'	On/Off
ATB0-6000	6000W	10"	10'	On/Off
ATB0-7000	7000W	10"	10'	On/Off
ATB0-8000	8000W	10"	10'	On/Off
ATB0-9000	9000W	10"	10'	On/Off
ATB0-10000	10000W	10"	10'	On/Off

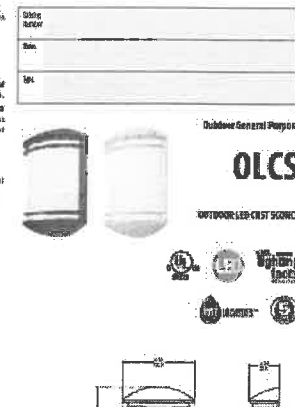
C14

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

FEATURES:

- Highly efficient
- Long life
- Low maintenance
- Easy to install
- Easy to maintain
- Easy to replace
- Easy to upgrade
- Easy to expand
- Easy to integrate
- Easy to control
- Easy to monitor
- Easy to manage
- Easy to secure
- Easy to protect
- Easy to defend
- Easy to recover
- Easy to rebuild
- Easy to restore
- Easy to replace
- Easy to upgrade
- Easy to expand
- Easy to integrate
- Easy to control
- Easy to monitor
- Easy to manage
- Easy to secure
- Easy to protect
- Easy to defend
- Easy to recover
- Easy to rebuild
- Easy to restore



Model	Power	Beam	Mounting	Control
ATB0-1000	1000W	10"	10'	On/Off
ATB0-2000	2000W	10"	10'	On/Off
ATB0-3000	3000W	10"	10'	On/Off
ATB0-4000	4000W	10"	10'	On/Off
ATB0-5000	5000W	10"	10'	On/Off
ATB0-6000	6000W	10"	10'	On/Off
ATB0-7000	7000W	10"	10'	On/Off
ATB0-8000	8000W	10"	10'	On/Off
ATB0-9000	9000W	10"	10'	On/Off
ATB0-10000	10000W	10"	10'	On/Off

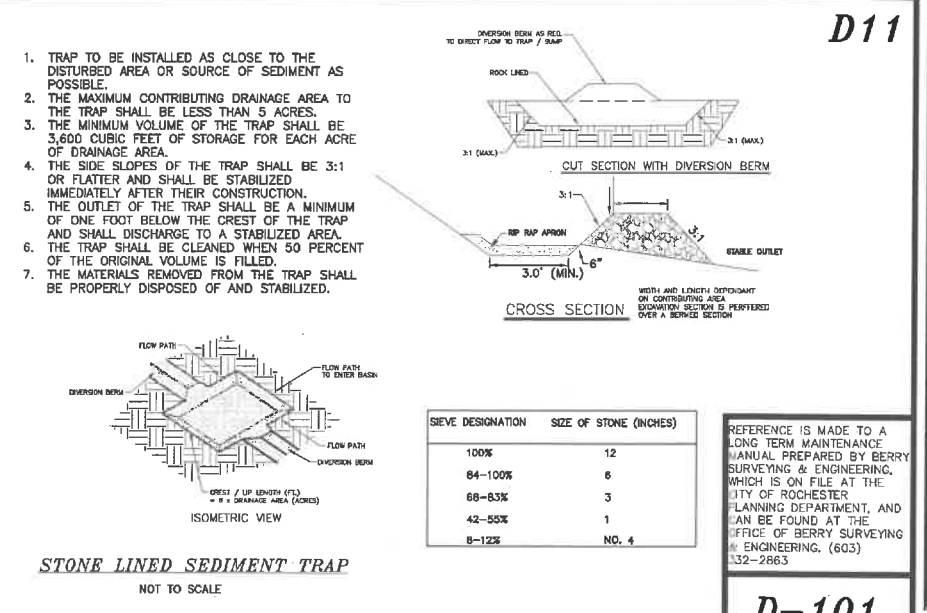
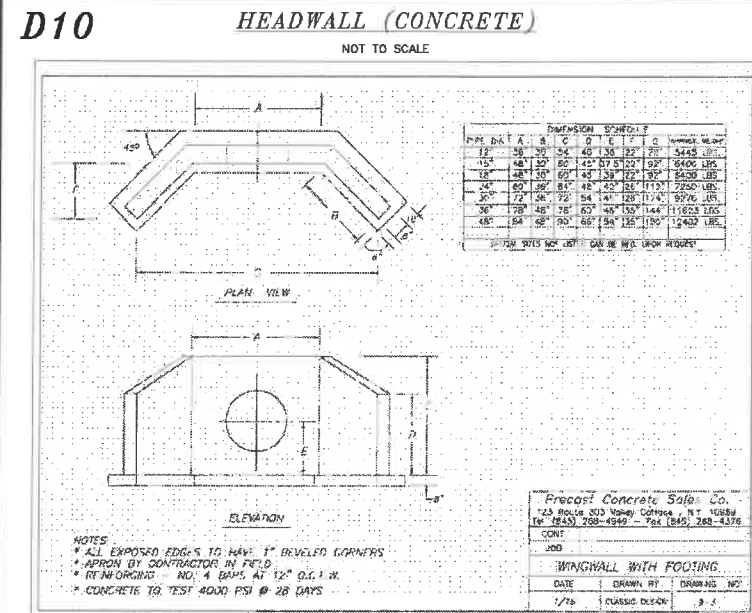
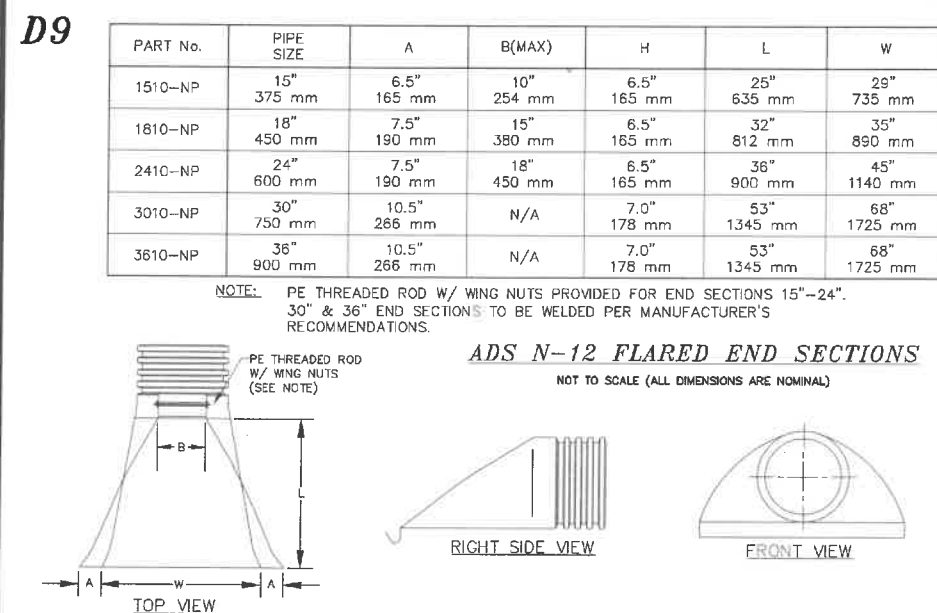
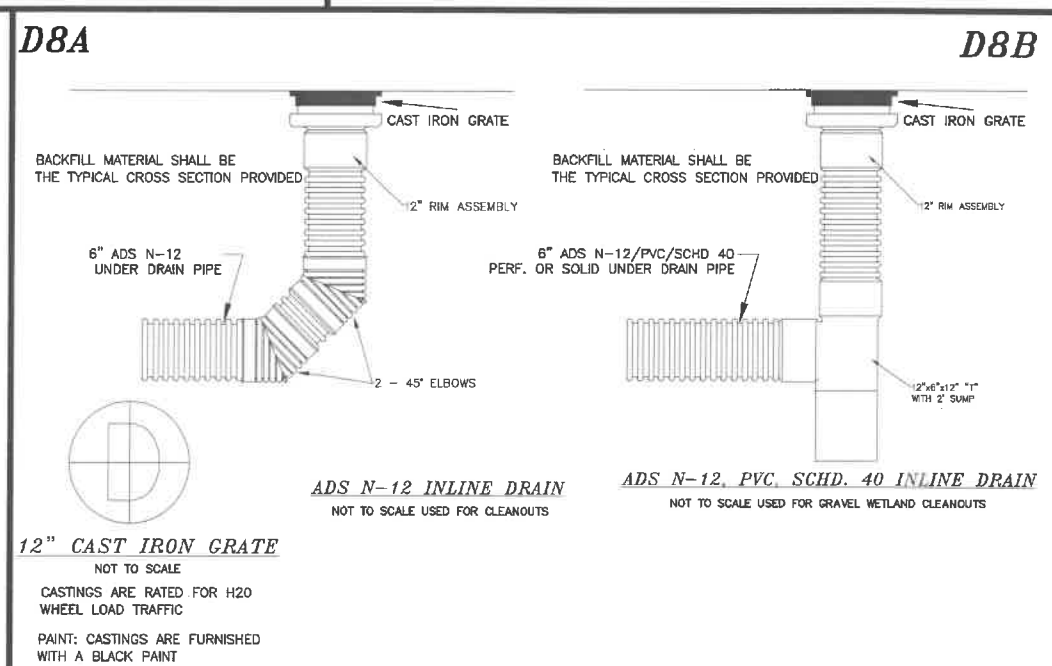
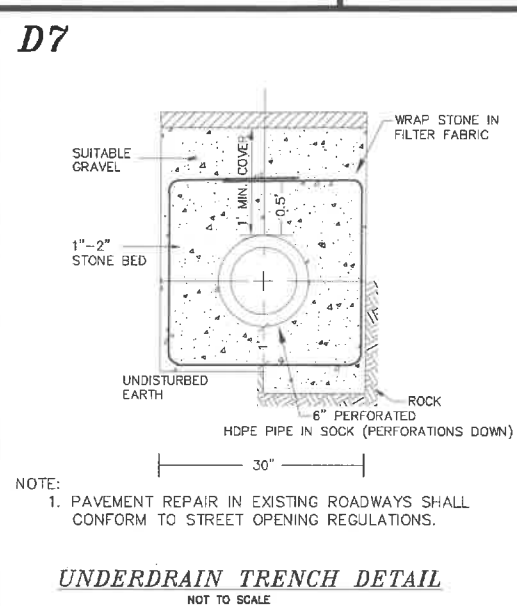
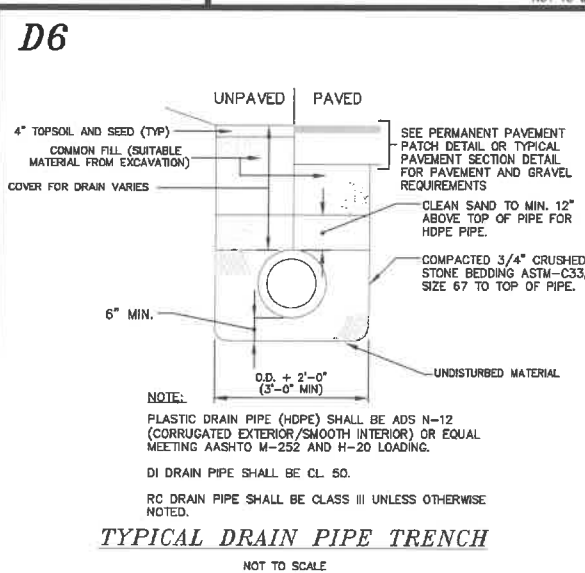
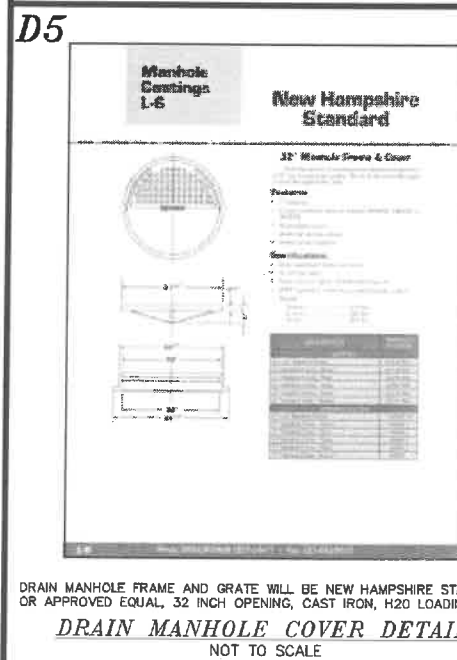
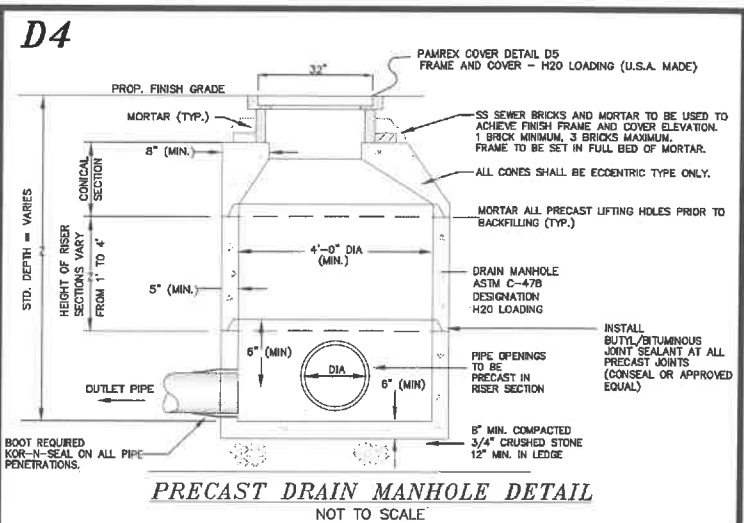
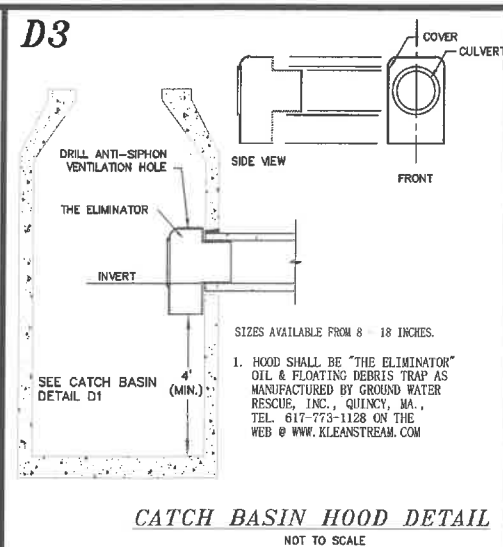
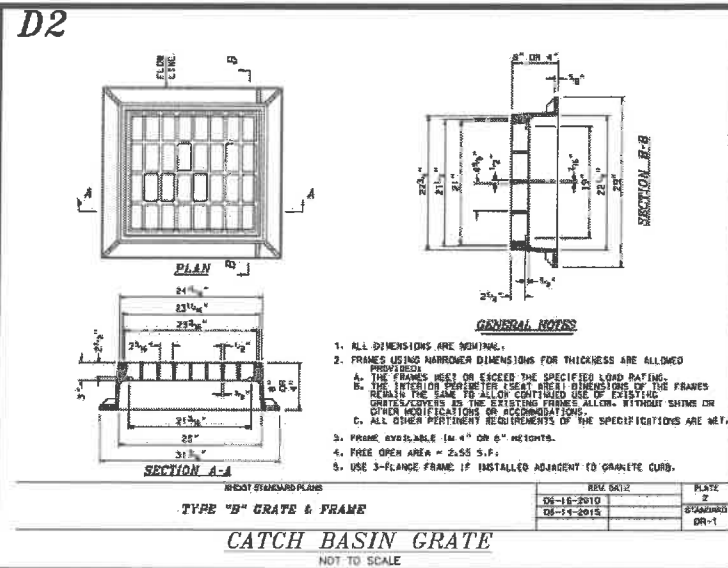
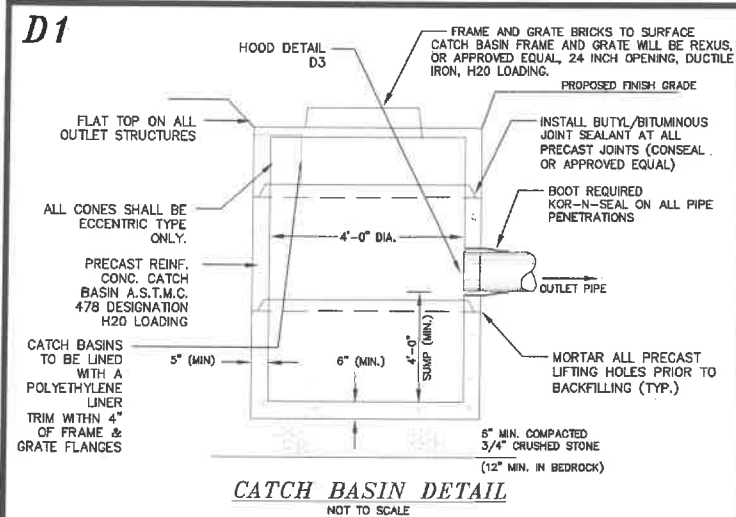
CONSTRUCTION DETAILS
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY & SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: AS NOTED
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081



C-102

SHEET 47 OF 53

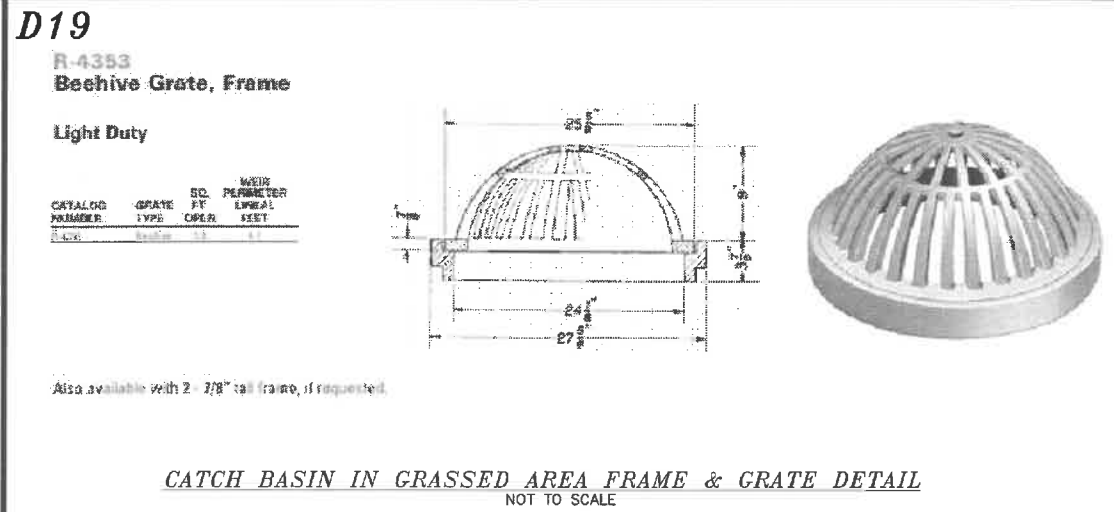
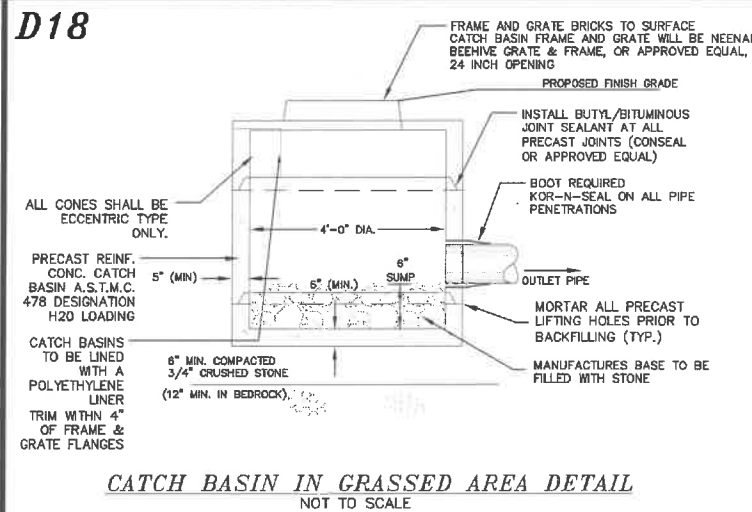
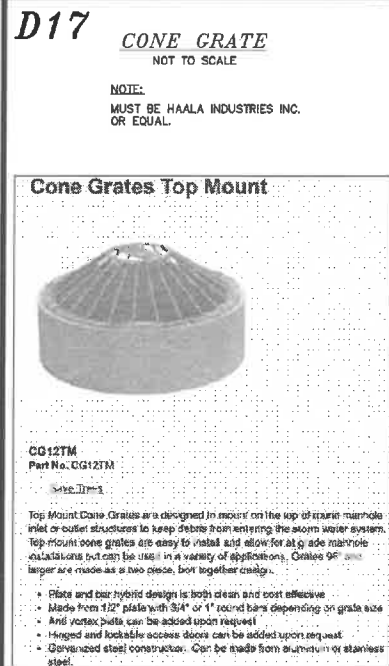
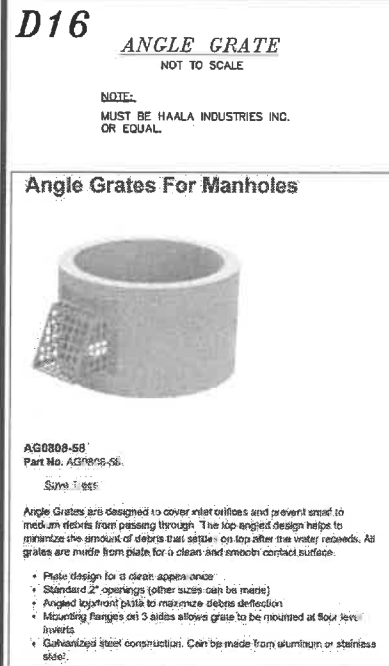
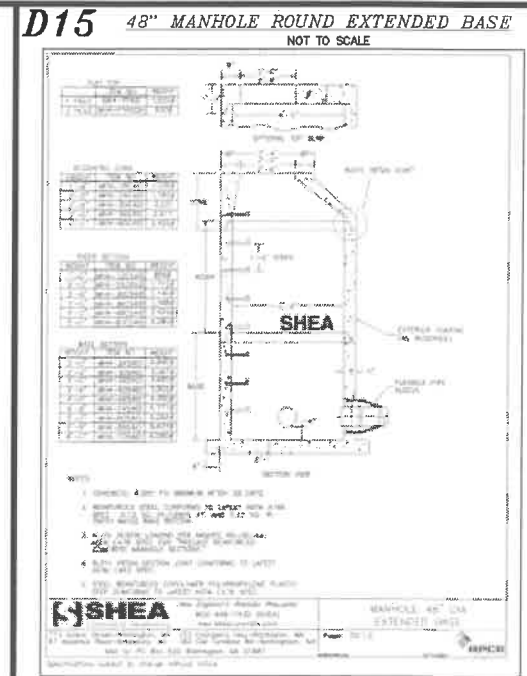
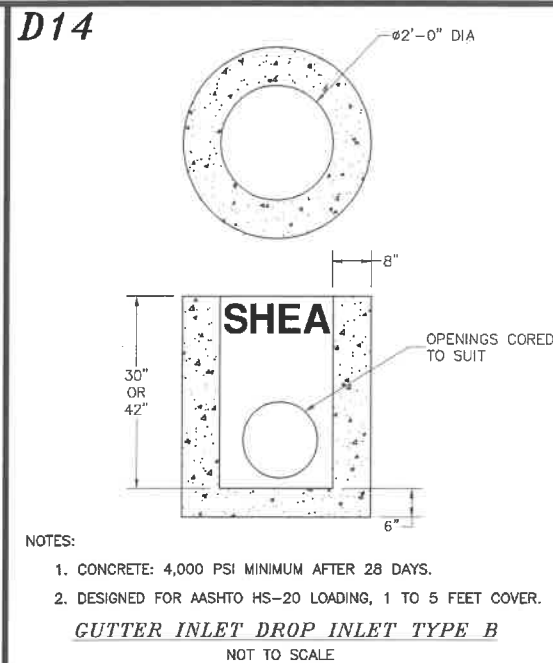
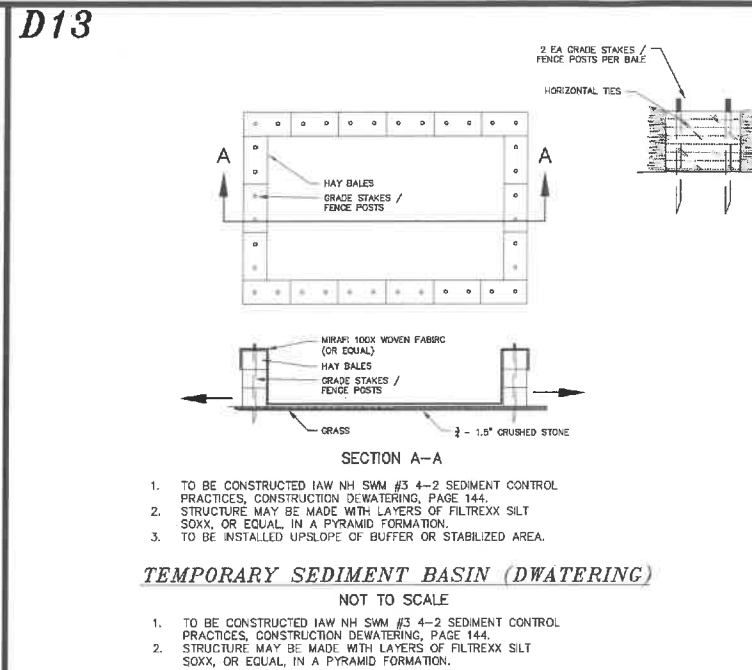
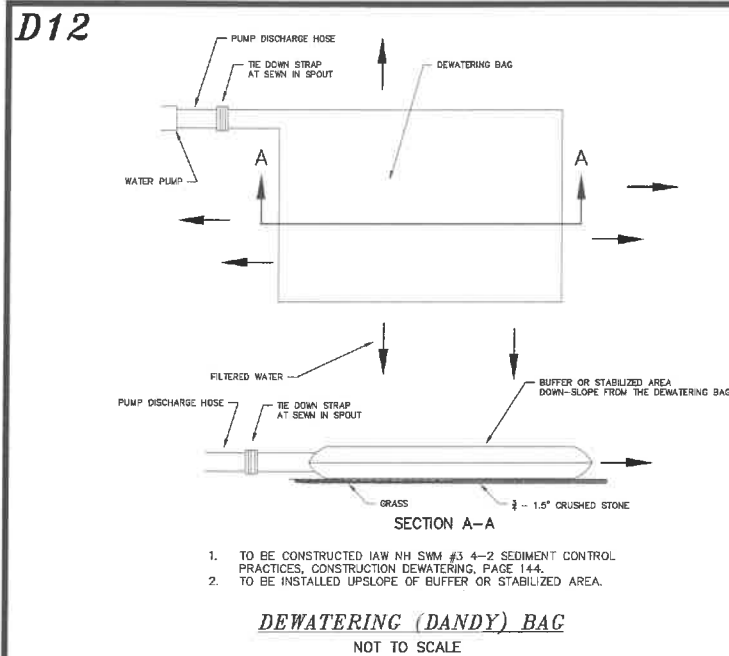


#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#6	10-11-21	REVISED PER NHDES AGT COMMENT
#3	4-27-21	REVISED PER NHDES AGT COMMENT
#2	3-17-21	REVISED PER NHDES AGT COMMENT
#1	3-17-21	REVISED PER NHDES WWEB RTM
REVISION	DATE	DESCRIPTION

DRAINAGE CONSTRUCTION DETAILS

LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

	BERRY SURVEYING & ENGINEERING	
	335 SECOND CROWN POINT ROAD	
	BARRINGTON, NH 03825 (603)332-2863	
	SCALE :	AS NOTED
DATE :		DECEMBER 30, 2020
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ADDITION OF FINAL PERMIT NUMBERS REVISED PER NHDES AOT COMMENT REVISED PER NH F&G CONDITIONS REVISED PER NHDES AOT RFM/WILDLIFE STUDY REVISED PER NHDES WWRE RFM		DESCRIPTION	
#5	5-10-21	DATE	
#4	4-16-21	REVISION	
#3	4-2-21		
#2	3-17-21		
#1	3-17-21		

DRAINAGE CONSTRUCTION DETAILS	
LAND OF HALF PEAK HOLDINGS, LLC LEDEVIEW DRIVE ROCHESTER, N.H. TAX MAP 851, LOT 68	

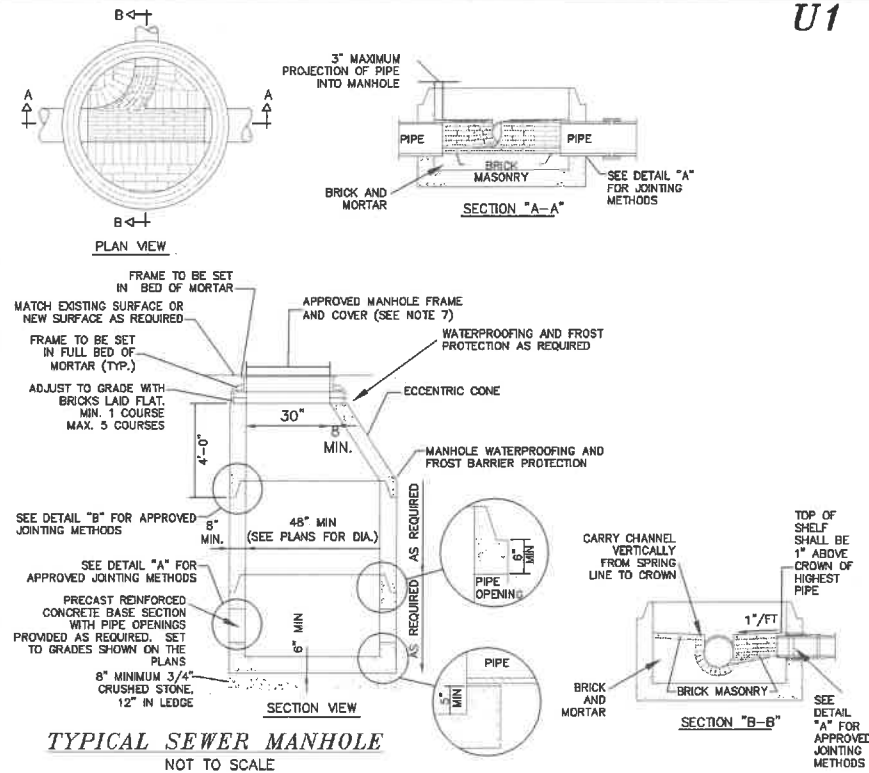
BERRY SURVEYING & ENGINEERING	
335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863	
SCALE :	AS NOTED
DATE :	DECEMBER 30, 2020
FILE NO. :	DB 2020 - 081

REFERENCE IS MADE TO A
LONG TERM MAINTENANCE
MANUAL PREPARED BY BERRY
SURVEYING & ENGINEERING,
WHICH IS ON FILE AT THE
CITY OF ROCHESTER
PLANNING DEPARTMENT, AND
CAN BE FOUND AT THE
OFFICE OF BERRY SURVEYING
& ENGINEERING. (603)
332-2863



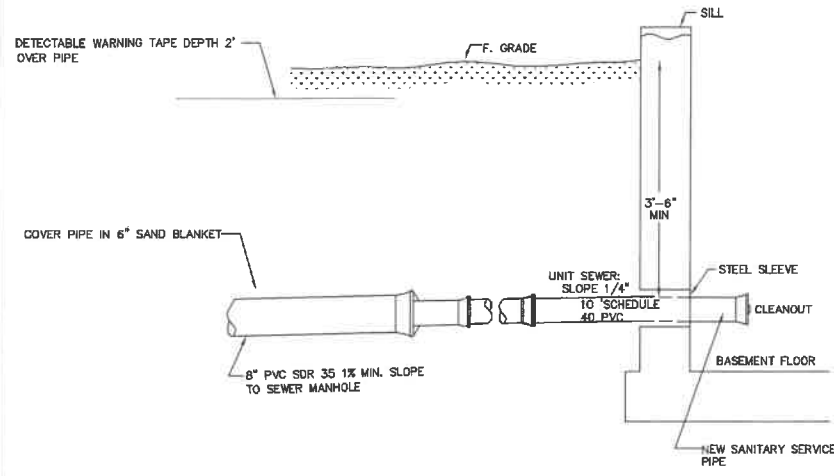
NOTES ON MANHOLE AND SEWER CONSTRUCTION:

- IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND 18-20-44 LBS. INCLUDING THE COVER. ALL SMH CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ENV-WQ 704.13 (c)(3) ADOPTED OCTOBER 15, 2014.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE. (LAW ENV-WQ 704.12 (d))
- SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- GRAVITY SEWER PIPE TESTING WILL BE IN ACCORDANCE WITH ENV-WQ 704.08 AND MAN HOLE TESTING LAW ENV-WQ 704.17 DATED OCTOBER 15, 2014.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. INVERT BRICKS SHALL BE LAID ON EDGE AND THE BASE SECTION SHALL BE FULL. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING CHANNEL. BASE SECTION SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE CROWN OF THE INCOMING PIPE PER ENV-WQ 704.12(a). CASTINGS SHALL CONFORM WITH ASTM A48/48M PER ENV-WQ 704.13 (c)(6). UNDERLAYMENT OF INVERT AND SHELVE SHALL CONSIST OF BRICK MASONRY. (LAW ENV-WQ 704.13 (c) (9)). MORTAR SHALL CONFORM WITH REQUIREMENTS OF LAW ENV-WQ 704.13 (c).
- FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH (MINIMUM HEIGHT) LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER. (LAW ENV-WQ 704.13 (c) (4-8)) SEWER MAN HOLE COVERS ARE TO PAMEX.
- SHALLOW MANHOLE: IN USE OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 8 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.
- HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE DOVER DPW, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON A DOUBLE ROW OF AN OVERLAPPING TYPE ELASTOMERIC OR MASTIC-LIKE GASKET. APPROVED ELASTOMERIC SEALANTS ARE: RAM-NEK, KENT SEAL NO. 2, EZ, OR EQUAL.
- ALL FRAMES AND GRATES ARE TO BE U.S.A. MADE. MANHOLE STEPS ARE REQUIRED IN THIS MUNICIPALITY AND MUST CONFORM TO THE REQUIREMENTS OF ENV-WQ 704.14.
- ANY WORK INVOLVING THE CUTTING INTO A.C. PIPE SHALL MEET THE REQUIREMENTS OF ENV-A 1800.
- THE CONTRACTOR IS TO REVIEW THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN DATED JULY 2018 FOR FURTHER DEFINED. SEE CHAPTER II-7.



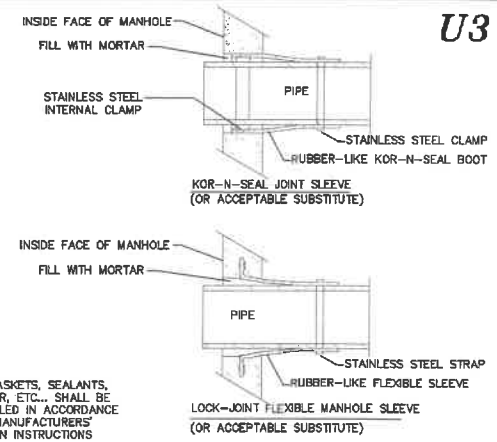
U1

- SEE DETAILS FOR SERVICE CONNECTION REQUIREMENTS
- SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- CLEANOUTS SHALL BE INSTALLED INSIDE EACH BUILDING EXIT POINT

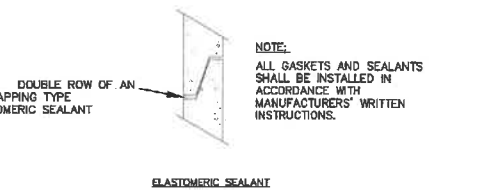


DETAIL OF UNIT SEWER SERVICE
NOT TO SCALE

U2



DETAIL "A" - PIPE TO MANHOLE JOINTS
NOT TO SCALE

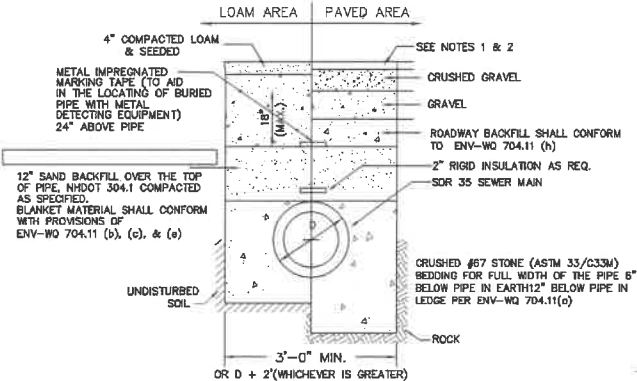


DETAIL "B" HORIZONTAL JOINTS
NOT TO SCALE

U3

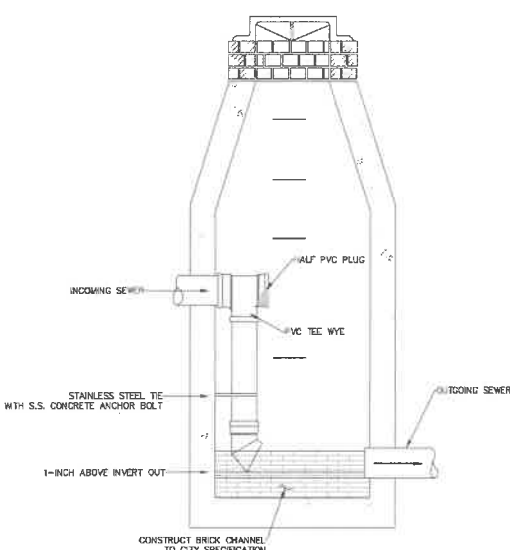
REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
#4	4-16-21	REVISED PER NHDES ACT COMMENT
#3	4-2-21	REVISED PER NH F&G CONDITIONS
#2	3-17-21	REVISED PER NHDES ACT RFI/MILITARY STUDY
#1	3-17-21	REVISED PER NHDES WMBE RFI

U4



TYPICAL SEWER PIPE TRENCH
NOT TO SCALE

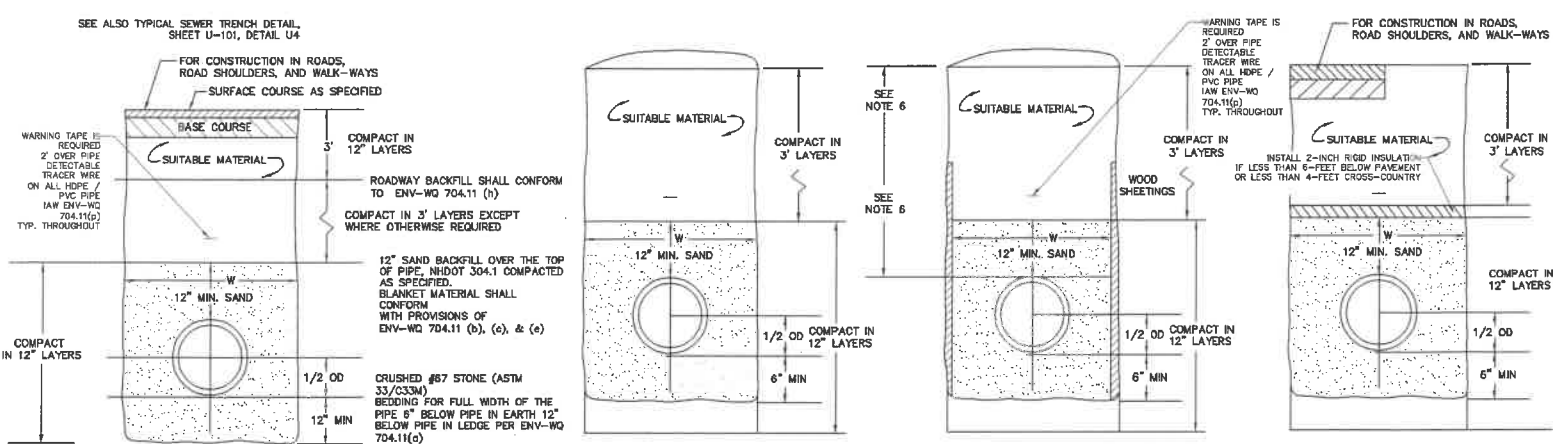
U5



SEWER DROP INLET
NOT TO SCALE

- THE CONTRACTOR IS TO REVIEW THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN DATED JULY 2018 FOR FURTHER DEFINED. SEE CHAPTER II-7.

U7



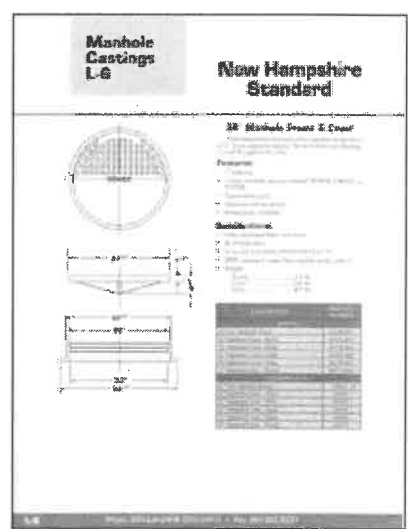
LEDGE CONSTRUCTION
NOT TO SCALE

EARTH CONSTRUCTION
NOT TO SCALE

EARTH CONSTRUCTION
WITH SHEETING
NOT TO SCALE

TRENCH INSULATION
NOT TO SCALE

U6



SEWER MANHOLE COVER DETAIL
NOT TO SCALE

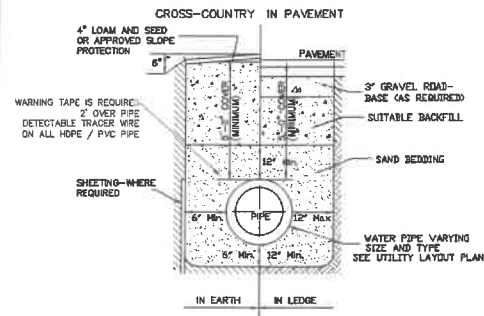
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE: DECEMBER 30, 2020
FILE NO.: DB 2020 - 081

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
PROFESSIONAL ENGINEER

U-101

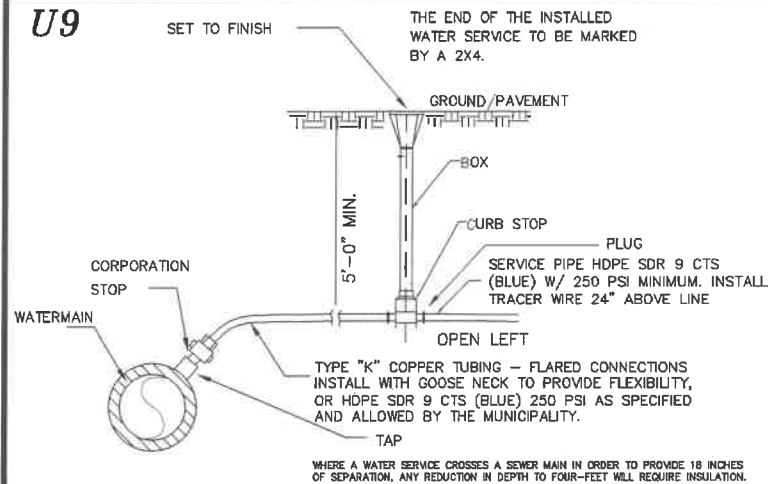
U8



1.) PER THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN 1-5 ALL UTILITIES WITHIN THE PROPOSED MUNICIPAL RIGHT OF WAY WILL BE INSPECTED BY THE CITY OF ROCHESTER ENGINEERING DEPARTMENT.

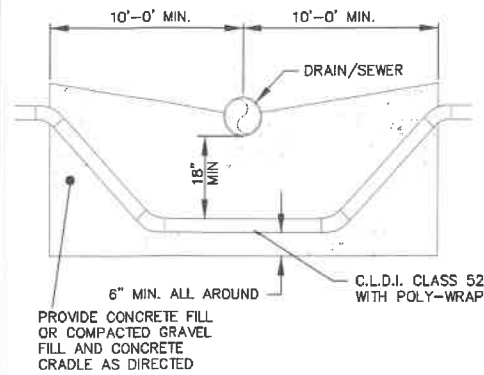
**TYPICAL TRENCH DETAIL
FOR WATER SYSTEM**
NOT TO SCALE

U9



TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE

U10

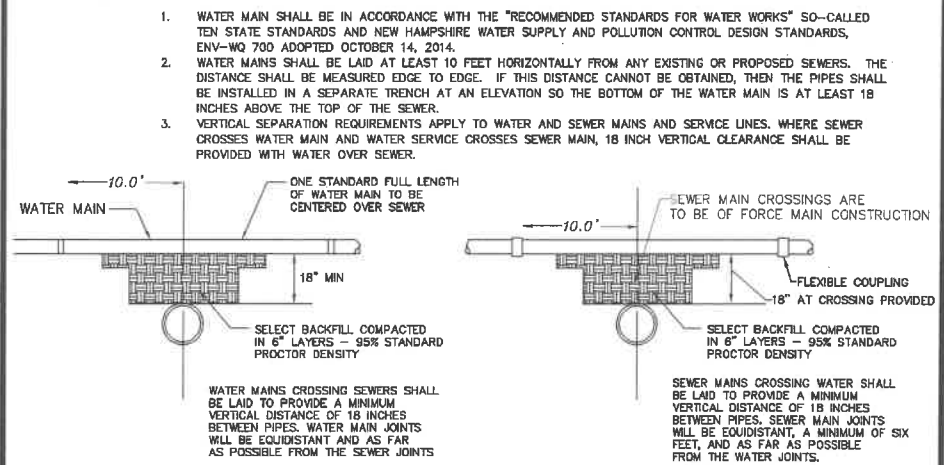


1.) SEE CHAPTER 1-14 OF THE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE

**WATER MAIN INSTALLATION -
BELOW DRAIN & SEWER**
NOT TO SCALE

U11

SEPERATION NOTES:

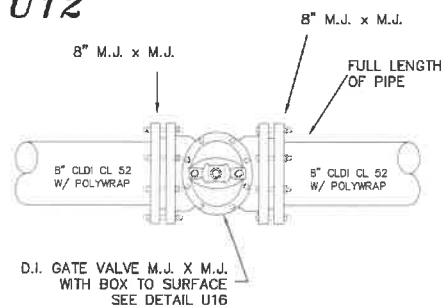


WATER MAIN ABOVE SEWER

WATER MAIN BELOW SEWER

TYPICAL WATER/SEWER SEPERATION DETAILS
NOT TO SCALE

U12



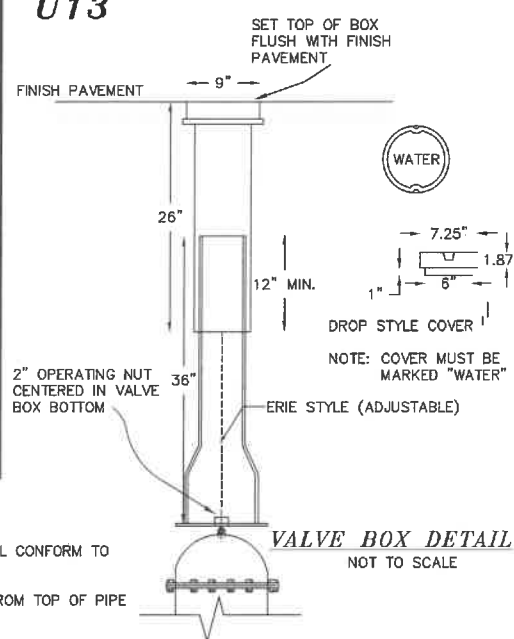
SHUTOFF VALVE DETAIL
NOT TO SCALE

1.) ALL VALVES ARE TO OPEN RIGHT
2.) SEE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN FOR POTABLE WATER DETAILS

NOTES:

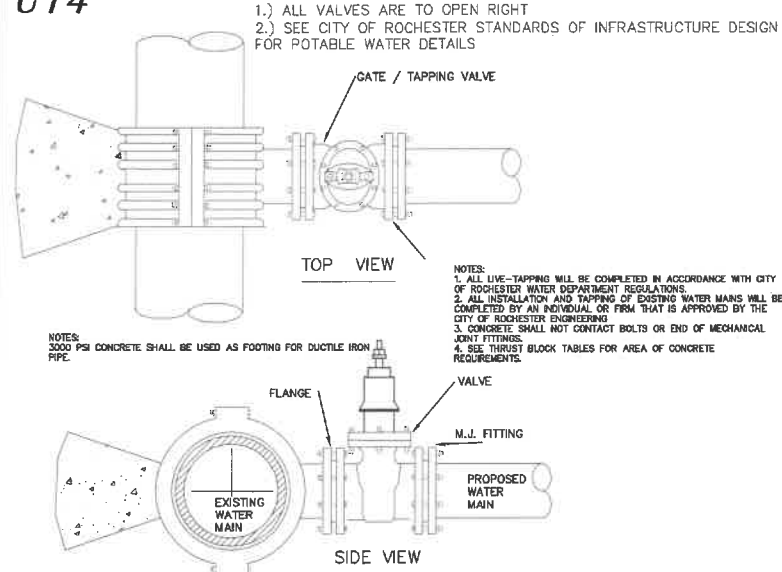
- 1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.
- 2.) ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
- 3.) ALL VALVES ARE TO OPEN RIGHT
- 4.) SEE CITY OF ROCHESTER STANDARDS OF INFRASTRUCTURE DESIGN FOR POTABLE WATER DETAILS

U13



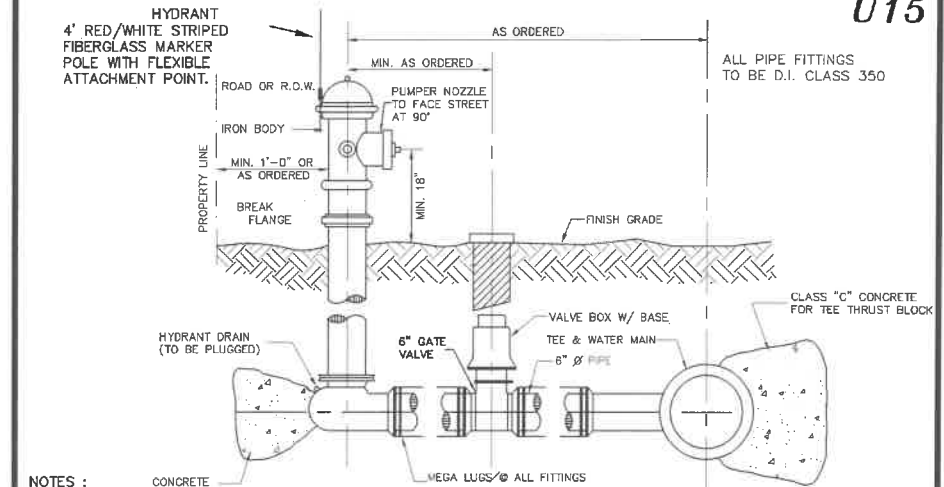
VALVE BOX DETAIL
NOT TO SCALE

U14



**DETAIL FOR STANDARD TAPPING SLEEVE
AND VALVE ASSEMBLY**
NOT TO SCALE

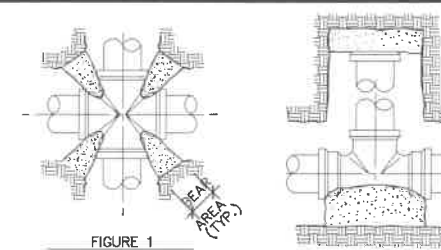
U15



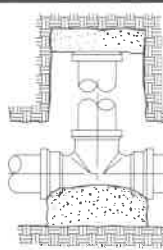
NOTES:

- 1.) THE FIRE HYDRANT IS TO BE PAINTED CITY OF ROCHESTER STANDARD COLORS AND BE EQUIPPED WITH A HYDRANT LOCATOR. SEE CITY OF ROCHESTER INFRASTRUCTURE STANDARDS 1-13
- 2.) THE FIRE HYDRANT SHALL BE THE "KENNEDY" TYPE OR APPROVED EQUAL.
- 3.) HYDRANTS AND GATE VALVES OPEN RIGHT. ALL FITTINGS TO BE D.I. CLASS 350
- 4.) HYDRANTS TO BE K81D WITH DRAIN-RING PLUGGED.

HYDRANT INSTALLATION DETAIL
NOT TO SCALE

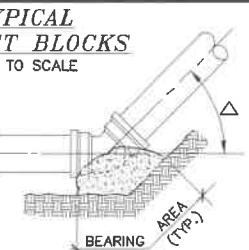


**FIGURE 1
CROSS**
(ONLY REQ'D IF ANY LEG IS LESS THAN 60 FT. LONG)

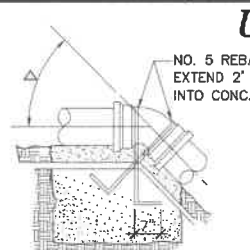


**FIGURE 2
TEE, PLUG OR CAP**

**TYPICAL
THRUST BLOCKS**
NOT TO SCALE



**FIGURE 3
HORIZONTAL OR
UPWARD VERTICAL BEND**

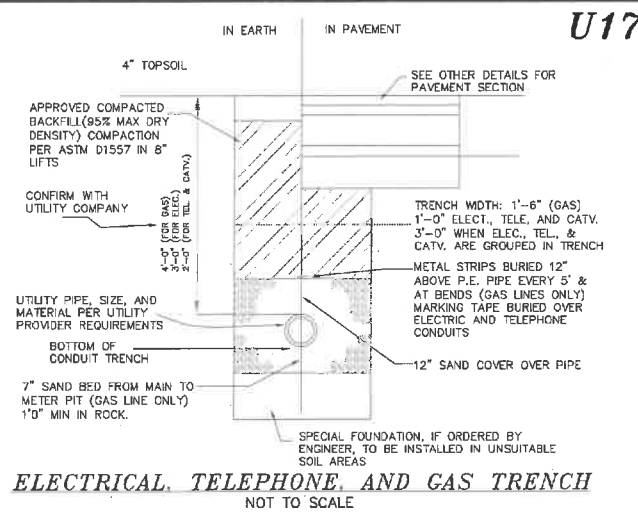


**FIGURE 4
DOWNWARD VERTICAL BEND**

U16

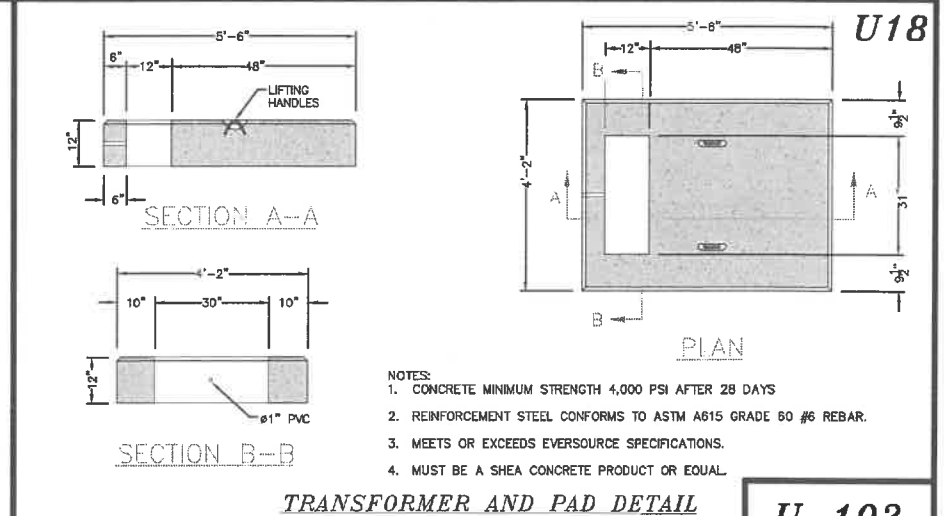
PIPE I.D.	FIGURE	BEARING AREA, SQUARE FEET	VOLUME OF CONC. CU.YD
4"	2	90"	4.5"
6"	3	144"	7.2"
8"	4	216"	10.8"
10"	5	300"	15.0"
12"	6	396"	19.8"
14"	7	498"	24.9"
16"	8	600"	30.0"
18"	9	714"	35.7"
20"	10	840"	42.0"

- GENERAL NOTES:
1. ALL FITTINGS & EXPOSED REBAR TO BE RAPPED W/ TWO LAYERS OF 6 MIL. POLYETHYLENE WHERE COVERED WITH CONCRETE.
 2. ALL CONCRETE SHALL BE CLASS C 3000 P.S.I. MINIMUM 28 DAYS COMPRESSIVE STRENGTH.
 3. PLACE CONCRETE AGAINST UNDISTURBED EARTH.
 4. TABLE DENOTES MINIMUM BEARING AREA OR VOLUME OF THRUST BLOCK. SPECIAL DESIGN FOR EACH INSTALLATION IS REQUIRED IF ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 3000 P.S.I.
 5. VERTICAL SURFACES NOT BEARING AGAINST UNDISTURBED EARTH SHALL BE FORMED.
 6. KEEP CONCRETE AWAY FROM FLANGE BOLTS AND FITTINGS.
 7. MECHANICAL JOINTS AT ALL FITTINGS IE: BENDS, TEES, CROSSES, AND VALVES SHALL BE THRUST RESTRAINT.
 8. (MEGA-LUG OR APPROVED EQUAL).
 9. SEE CITY OF ROCHESTER CHAPTER 1-17



ELECTRICAL, TELEPHONE AND GAS TRENCH
NOT TO SCALE

U17



TRANSFORMER AND PAD DETAIL
NOT TO SCALE

U18



**FIGURE 1
CROSS**
(ONLY REQ'D IF ANY LEG IS LESS THAN 60 FT. LONG)

REVISION	DATE	DESCRIPTION
#5	5-10-21	ADDITION OF FINAL PERMIT NUMBERS
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LAND OF
HALF PEAK HOLDINGS, LLC
LEDEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

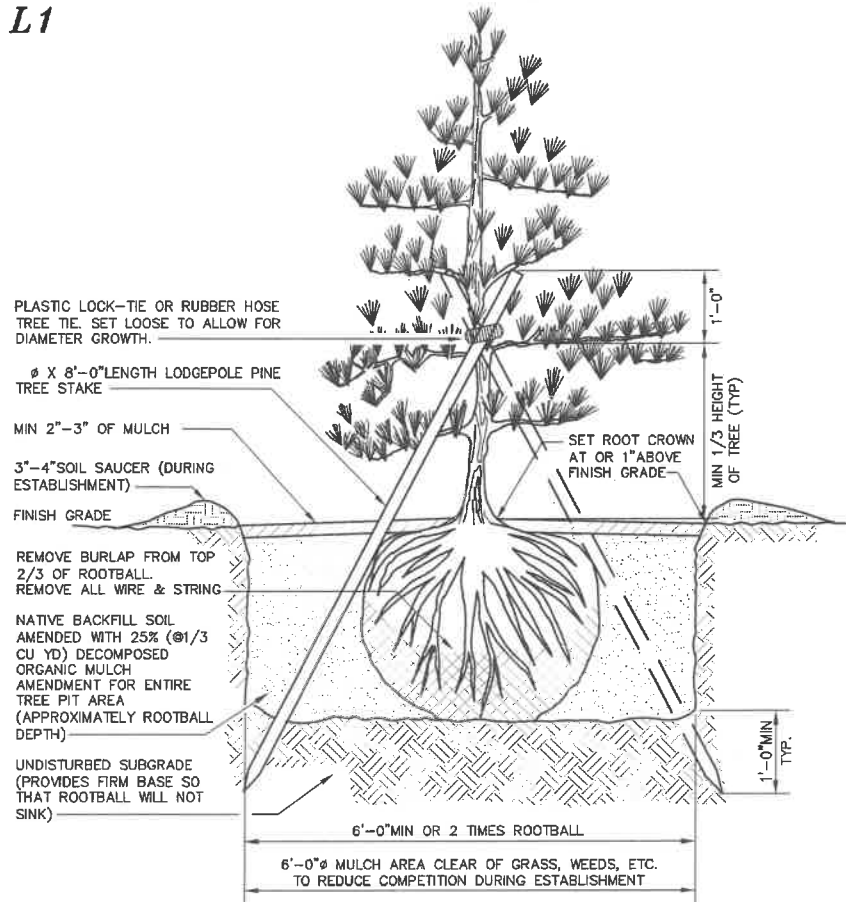
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SHEET 51 OF 53

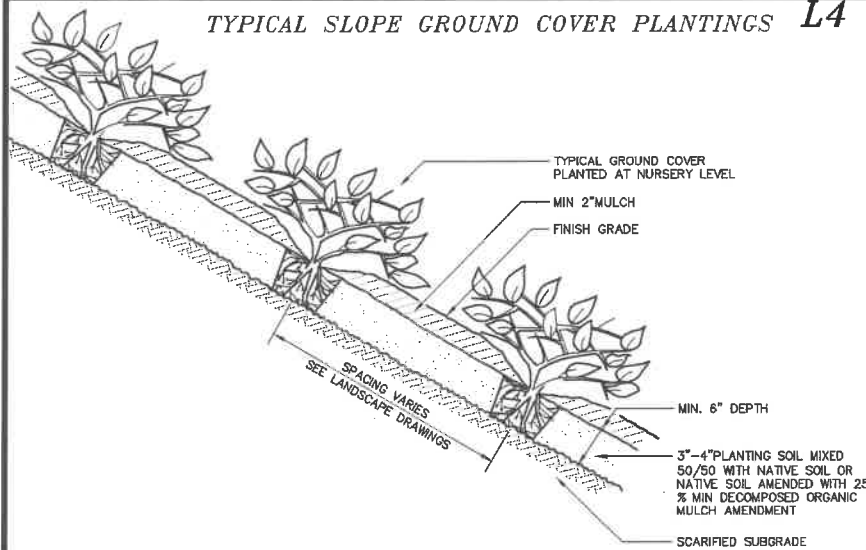
U-102

L1

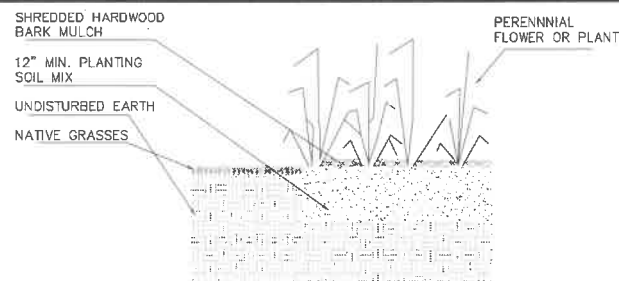


CONIFEROUS TREE PLANTING

TYPICAL SLOPE GROUND COVER PLANTINGS L4

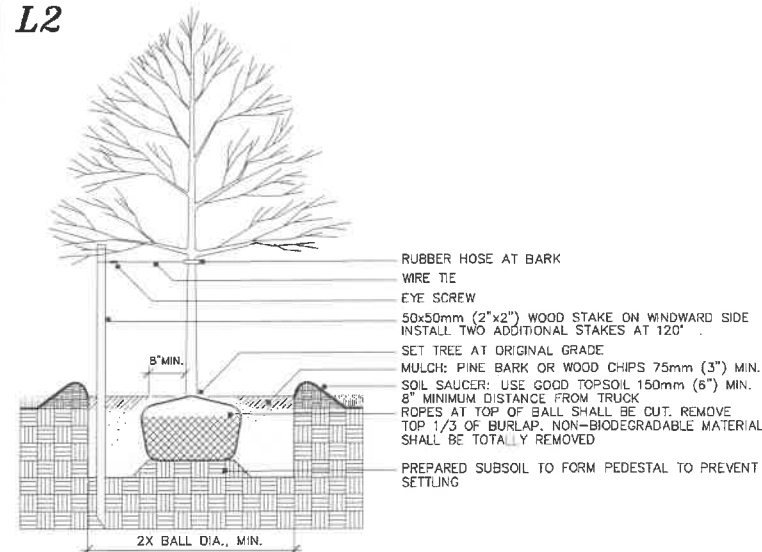


L7



PERENNIAL PLANTING DETAIL

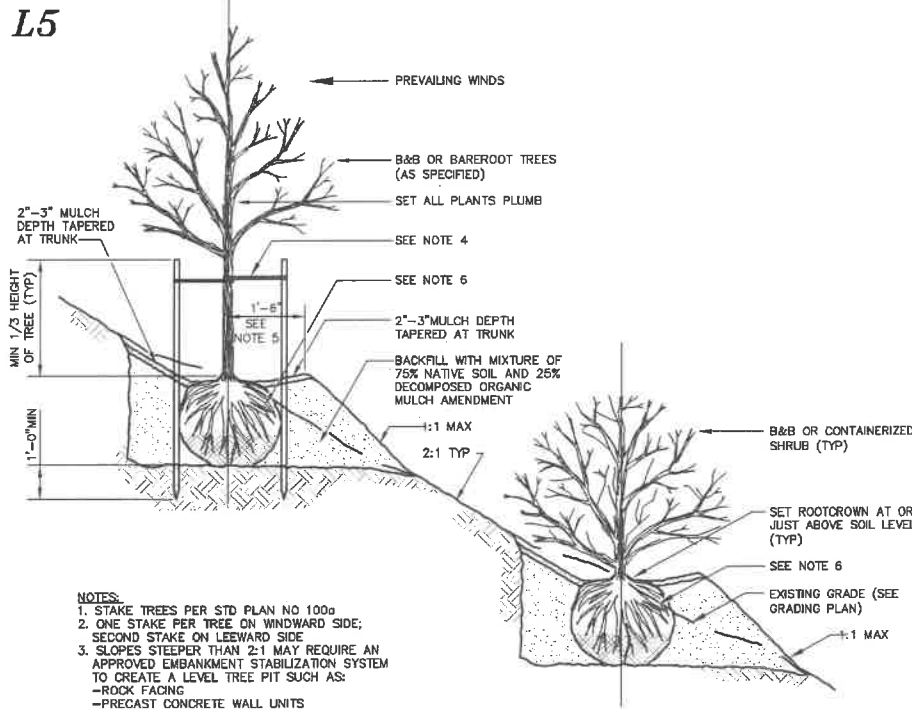
L2



DECIDUOUS TREE PLANTING

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

L5



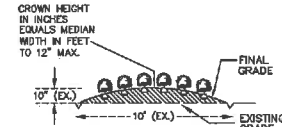
TREE PLANTING ON SLOPES

- NOTES:
1. STAKE TREES PER STD PLAN NO 100a
 2. ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEeward SIDE
 3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
 - ROCK FACING
 - PRECAST CONCRETE WALL UNITS
 - TIMBER WALL
 - MANUFACTURED SLOPE RETENTION UNITS
 4. CHAINLOCK TREE TIE. LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
 5. SHAPE SOIL TO PROVIDE 3" DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
 6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

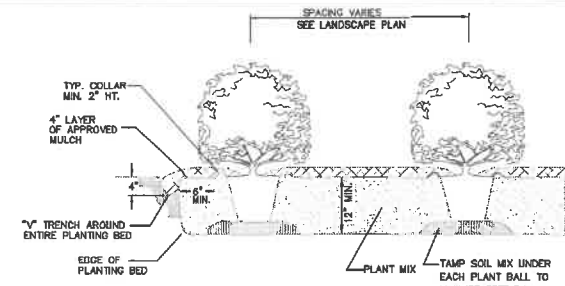
L3

NOTES:

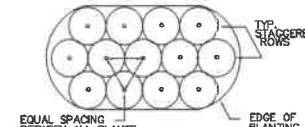
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL BED CROWNING



TYPICAL PLANTING BED DETAIL



TYPICAL PLANTING BED PLAN

SHRUB & HEDGE PLANTING

L6

NOTES:

1. CALL DIG SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
3. PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
4. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
6. ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
7. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
9. NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
10. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
11. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
12. MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
14. THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
16. ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
17. SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
18. ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
19. TREES ARE TO BE 2-2.5" CALIPER 6" OFF THE ROOT BALL.
20. ALL PLANT STOCK SHALL CONFORM TO ANSI Z280.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
21. 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
22. PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
23. ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.

L-101

LANDSCAPING CONSTRUCTION DETAILS

LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : DECEMBER 30, 2020
FILE NO. : DB 2020 - 081



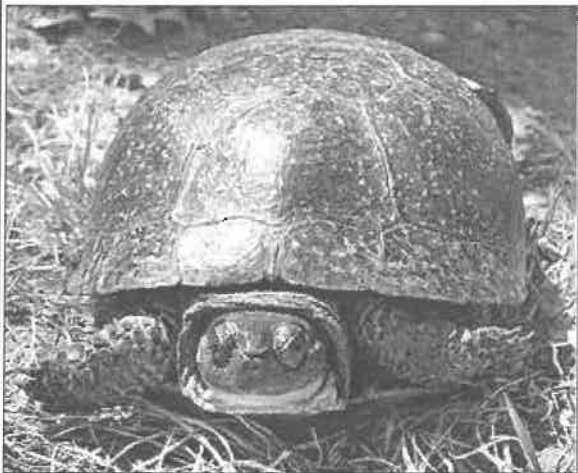
SHEET 52 OF 53



AMERICAN BUMBLE BEE

IDENTIFICATION/DESCRIPTION:

BOMBUS PENNSYLVANICUS IS A LARGE BUMBLE BEE WITH THE QUEEN MEASURING 1 IN, THE WORKER FROM 0.5 IN, AND THE MALE FROM 0.75 IN IN LENGTH. THE QUEEN IS MOSTLY BLACK, INCLUDING THE LEGS, SPURS AND TEGULAE (BASE OF WING). TEGULAE 1, OR THE MOST ANTERIOR BACK PORTION OF THE QUEEN IS OFTEN YELLOW ESPECIALLY IN THE MIDDLE. WORKER BEES' MIDDLE TEGULAE ARE YELLOW, THE TAIL BLACK, AND FACE LONG. THEIR CHEEKS ARE SLIGHTLY LONGER THAN BROAD, AND THE CLYPEUS (NOSE) HAS LARGE PUNCTURES EXCEPT ON THE MID LINE. THE HAIR ON THE TOP OF THE HEAD IS BLACK, SHORT AND EVEN. MALES HAVE A YELLOW ABDOMEN WITH A BLACK HEAD AND BLACK STRIPING IN THE LOWER THORAX.



BLANDINGS TURTLE

IDENTIFICATION/DESCRIPTION:

A 7- TO 9-INCH TURTLE WITH YELLOW SPECKLES THAT OFTEN RUN TOGETHER TO FORM STREAKS ON THE CARAPACE. EASILY IDENTIFIED WHEN BASKING FROM ITS CHARACTERISTIC YELLOW THROAT AND CHIN.



NORTHERN BLACK RACER

IDENTIFICATION/DESCRIPTION:

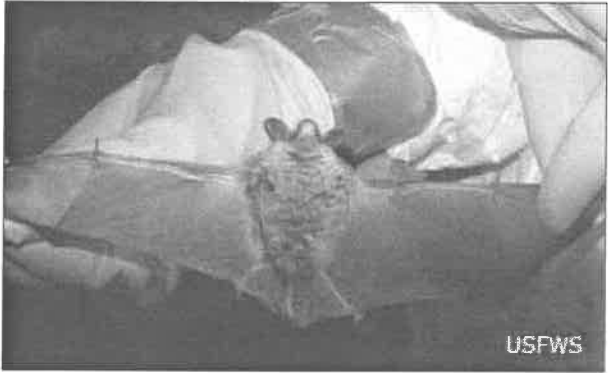
A SLENDER BLACK SNAKE MEASURING 35-60 INCHES. BLACK RACERS ARE GLOSSY BLACK ON THE TOP AND BOTTOM WITH A WHITE THROAT AND CHIN. YOUNG RACERS ARE PATTERNED WITH BROWN OR REDDISH PATCHES ON A LIGHTER BASE OF GRAY.



SMOOTH GREEN SNAKE

IDENTIFICATION/DESCRIPTION:

A THIN, SLENDER BRIGHT-GREEN SNAKE MEASURING 10-20 INCHES. THE UNDERSIDE IS WHITE OR A PALE YELLOW.



LITTLE BROWN BAT

IDENTIFICATION/DESCRIPTION:

THE LITTLE BROWN BAT IS A SMALL MAMMAL WITH A BODY LENGTH OF 2 1/2 - 4" AND WEIGHING APPROXIMATELY 1/8 TO 1/2 AN OUNCE. THE WINGSPAN OF LITTLE BROWN BATS RANGE FROM 9 - 11". BATS ARE THE ONLY MAMMALS THAT ENGAGE IN TRULY ACTIVE FLIGHT. AS THEIR NAME SUGGESTS THEY ARE GLOSSY BROWN ABOVE WITH A LIGHTER GRAY COLOR BELOW. THESE BATS CAN LIVE 20 TO 30 YEARS.



NORTHERN LONG-EARED BAT

IDENTIFICATION/DESCRIPTION:

THE NORTHERN LONG-EARED BAT IS A MEDIUM-SIZED BAT WITH A BODY LENGTH OF 3 TO 3.7 INCHES BUT A WINGSPAN OF 9 TO 10 INCHES. THEIR FUR COLOR CAN BE MEDIUM TO DARK BROWN ON THE BACK AND TAWNY TO PALE-BROWN ON THE UNDERSIDE. AS ITS NAME SUGGESTS, THIS BAT IS DISTINGUISHED BY ITS LONG EARS, PARTICULARLY AS COMPARED TO OTHER BATS IN ITS GENUS, MYOTIS.



EASTERN SMALL-FOOTED BAT

IDENTIFICATION/DESCRIPTION:

THE EASTERN SMALL-FOOTED BAT HAS BROWNISH FUR, OFTEN WITH A GOLDEN SHEEN, THAT CONTRASTS WITH ITS BLACKISH FACE AND EARS, AND BLACKISH-BROWN WINGS AND TAIL MEMBRANE. IT CAN BE DISTINGUISHED FROM OTHER MYOTIS SPECIES BY ITS BLACK MASK AND SMALL SIZE. THE BODY IS LITTLE MORE THAN 3 1/4 INCHES LONG, INCLUDING A 1 1/2-INCH TAIL. ITS SMALL FEET, WHICH PROVIDE THE COMMON NAME, ARE LESS THAN A HALF-INCH AND ITS WINGSPAN RANGES FROM 8 1/4 TO 9 INCHES. THIS SPECIES FLIES SLOWLY AND ERRATICALLY, USUALLY ABOUT ONE TO THREE YARDS ABOVE THE GROUND.



SILVER HAIRED BAT

IDENTIFICATION/DESCRIPTION:

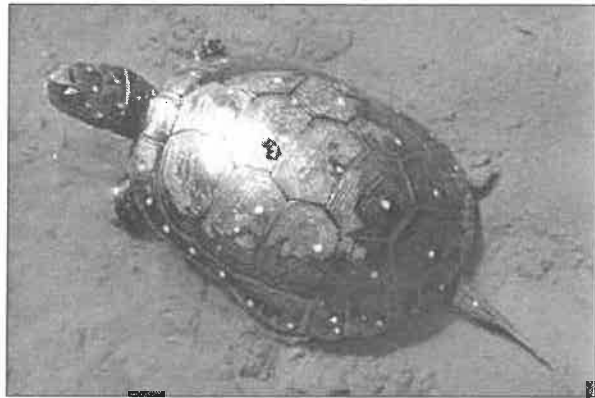
THE SILVER-HAIRED BAT IS A MEDIUM-SIZED BAT WITH VERY DARK FUR TIPPED WITH SILVER OR WHITE. THE WINGS AND TAIL MEMBRANE ARE BLACK. EARS ARE SHORT AND ROUND WITH A SHORT, BLUNT-TIPPED TRAGUS. THE DORSAL SURFACE OF THE TAIL MEMBRANE IS PARTIALLY FURRED AND THE CALCAR LACKS A KEEL.



TRI-COLORED BAT

IDENTIFICATION/DESCRIPTION:

THE TRICOLORLED BAT, FORMERLY KNOWN AS THE EASTERN PIPISTRELLE (PIPISTRELLUS SUBFLAVUS), IS A SMALL BAT WEIGHING 0.2 TO 0.3 OUNCES (5 TO 8 GR) AND HAS A WINGSPAN OF 8 TO 10 INCHES. THE TERM "TRICOLORLED" REFERS TO THE BAT'S YELLOWISH-BROWN COAT THAT IS DARK AT THE BASE, YELLOWISH-BROWN IN THE MIDDLE, AND DARK AT THE TIPS. THE WING MEMBRANES ARE BLACKISH, BUT THE FACE AND EARS HAVE A PINKISH COLOR. AN OBVIOUS IDENTIFYING CHARACTERISTIC OF THIS SPECIES IS THE PINK COLOR OF THE SKIN ON THE RADIUS BONE. THE FEET ARE ALSO RELATIVELY LARGE COMPARED TO ITS BODY SIZE.



SPOTTED TURTLE

IDENTIFICATION/DESCRIPTION:

A SMALL 3-5 INCH TURTLE RECOGNIZED BY NUMEROUS YELLOW SPOTS COVERING A DARK CARAPACE. THE NUMBER OF SPOTS IS VARIABLE. SPOTS CAN ALSO BE FOUND ON THE HEAD AND LIMBS.



WOOD TURTLE

IDENTIFICATION/DESCRIPTION:

A 5-8 INCH TURTLE CHARACTERIZED BY ITS HIGHLY SCULPTED SHELL WHERE EACH LARGE SCUTE TAKES AN IRREGULAR PYRAMIDAL SHAPE. THE NECK AND FORELIMBS ARE ORANGE.

#5	5-10-21	REVISION	DATE	DESCRIPTION
#4	4-16-21			
#3	4-2-21			
#2	3-17-21			
#1	3-17-21			

WILDLIFE IDENTIFICATION PLAN
LAND OF
HALF PEAK HOLDINGS, LLC
LEDGEVIEW DRIVE
ROCHESTER, N.H.
TAX MAP 251, LOT 68

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : N/A

DATE : DECEMBER 30, 2020

FILE NO. : DB 2020 - 081

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

PROFESSIONAL ENGINEER