

## LB

Updated

Describe proposed activity/use: Consists of three (3) front out parcels along Route 11 and Marketplace

Boulevard extension up to the proposed roundabout and access drive onto the site.

Describe existing conditions/use (vacant land?): Cleared vacant land

Utility information

City water? yes ☒ no ☐; How far is City water from the site? ±50 ft

City sewer? yes ☒ no ☐; How far is City sewer from the site? ±100 ft

If City water, what are the estimated total daily needs? ±1,360 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? To an unnamed stream and culvert beneath Rt 11

Building information

Type of building(s): Commercial

Building height: <35 ft Finished floor elevation: ±262.50 ft, ±256.75 ft, & ±259.40

Other information

# parking spaces: existing: 0 total proposed: 103; Are there pertinent covenants? ☐

Number of cubic yards of earth being removed from the site TBD

Number of existing employees: N/A; number of proposed employees total: TBD

Check any that are proposed: variance ☐; special exception ☐; conditional use TBD

Wetlands: Is any fill proposed? N/A; area to be filled: N/A; buffer impact? ☒

Proposed <i>post-development</i> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	±5,300 / ±2,160 / ±2,805	±0.44 / ±0.18 / ±0.23
Parking and vehicle circulation	±111,500	±9.23
Planted/landscaped areas (excluding drainage)	±103,100	±8.53
Natural/undisturbed areas (excluding wetlands)	±888,663	±73.54
Wetlands	±38,326	±3.17
Other – drainage structures, outside storage, etc.	±56,500	±4.68

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

The estimated City Water demand needs are subject to changes based on actual tenant use see enclosed water demand analysis for estimate.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner:   
Date: 3-22-21

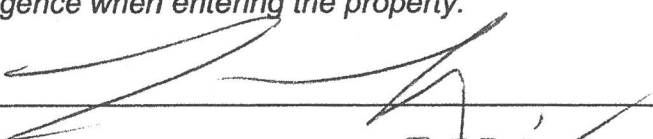
Signature of applicant/developer:   
Date: 3-22-21

Digitally signed by Patrick Crimmins  
Date: 2021.03.22 13:46:00-04'00'

Signature of agent: \_\_\_\_\_  
Date: \_\_\_\_\_

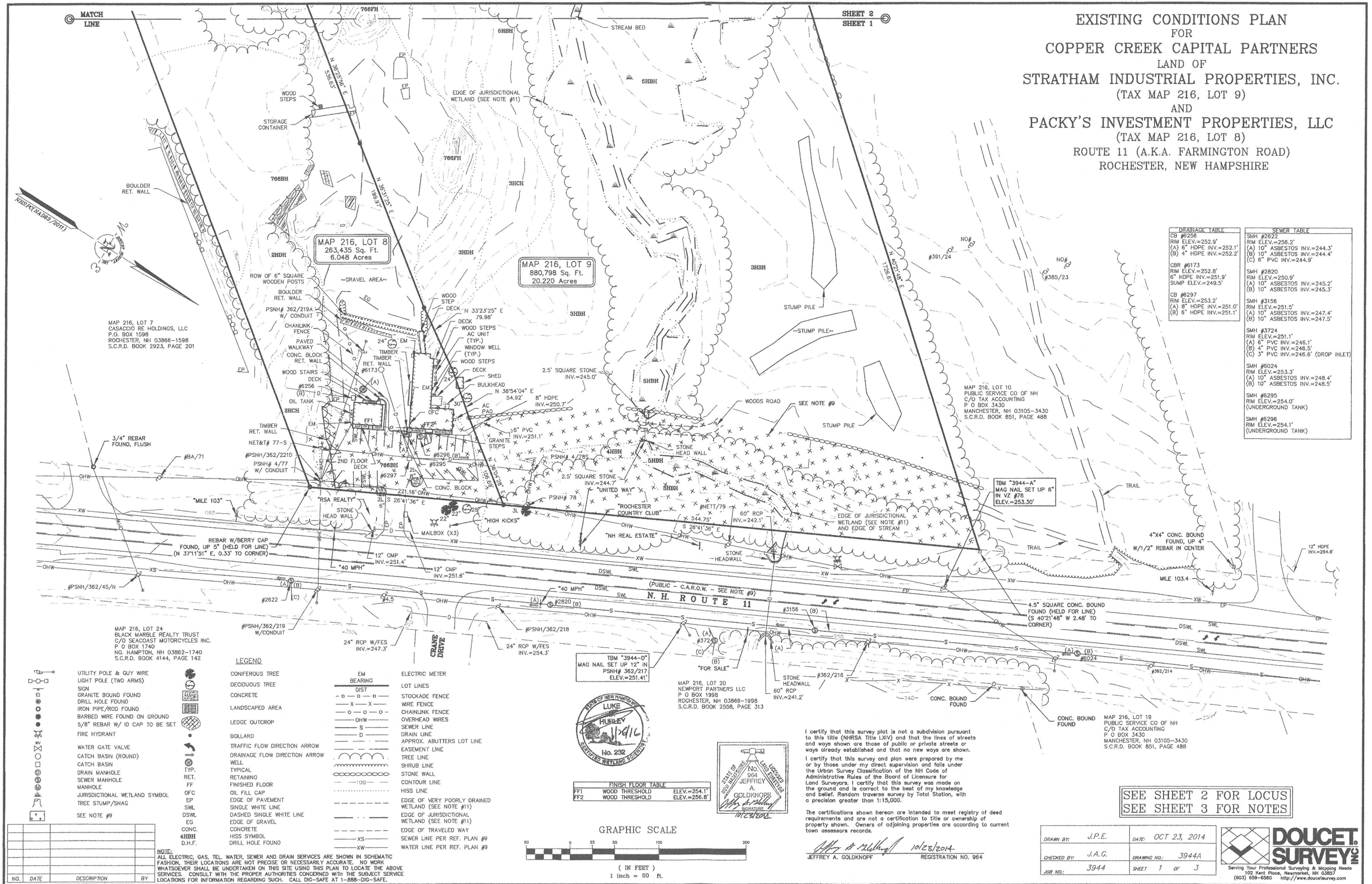
Authorization to enter subject property

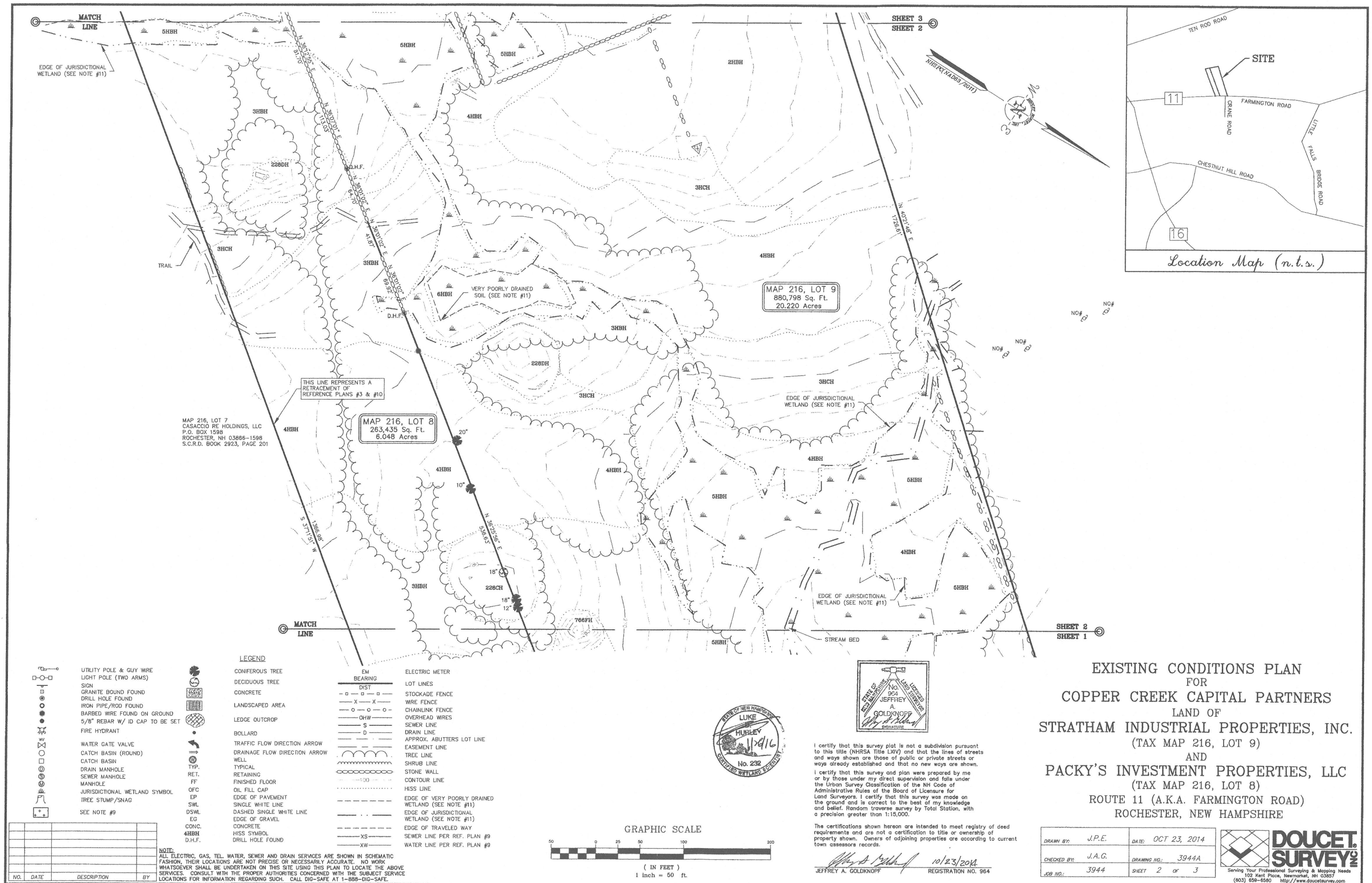
I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner:   
Date: 3-22-21

EXISTING CONDITIONS PLAN  
FOR  
COPPER CREEK CAPITAL PARTNERS  
LAND OF  
STRATHAM INDUSTRIAL PROPERTIES, INC.  
(TAX MAP 216, LOT 9)  
AND  
PACKY'S INVESTMENT PROPERTIES, LLC  
(TAX MAP 216, LOT 8)  
ROUTE 11 (A.K.A. FARMINGTON ROAD)  
ROCHESTER, NEW HAMPSHIRE

DRAINAGE TABLE	SEWER TABLE
CB #256	SMH #2622
RIM ELEV.=252.9'	RIM ELEV.=256.2'
(A) 6" HDPE INV.=252.1'	(A) 10" ASBESTOS INV.=244.3'
(B) 4" HDPE INV.=252.2'	(B) 10" ASBESTOS INV.=244.4'
	(C) 6" PVC INV.=244.9'
CBR #6173	SMH #2820
RIM ELEV.=252.8'	RIM ELEV.=250.9'
6" HDPE INV.=251.9'	(A) 10" ASBESTOS INV.=245.2'
SUMP ELEV.=249.5'	(B) 10" ASBESTOS INV.=245.3'
CB #297	SMH #3156
RIM ELEV.=253.2'	RIM ELEV.=251.5'
(A) 8" HDPE INV.=251.0'	(A) 10" ASBESTOS INV.=247.4'
(B) 6" HDPE INV.=251.1'	(B) 10" ASBESTOS INV.=247.5'
	SMH #3724
	RIM ELEV.=251.1'
	(A) 6" PVC INV.=246.1'
	(B) 4" PVC INV.=246.5'
	(C) 3" PVC INV.=246.6' (DROP INLET)
	SMH #0024
	RIM ELEV.=253.3'
	(A) 10" ASBESTOS INV.=248.4'
	(B) 10" ASBESTOS INV.=248.5'
	SMH #6295
	RIM ELEV.=254.0'
	(UNDERGROUND TANK)
	SMH #6296
	RIM ELEV.=254.1'
	(UNDERGROUND TANK)





1. REFERENCE: TAX MAP 261, LOTS 8 & 9

2. TOTAL PARCEL AREA: TAX MAP 261, LOT 8: 263,435 Sq. Ft. OR 6.048 Acres  
TAX MAP 261, LOT 9: 880,798 Sq. Ft. OR 20.220 Acres

3. OWNER OF RECORD: MAP 216, LOT 8  
SITE ADDRESS: 60 FARMINGTON ROAD  
PACKYS INVESTMENT PROPERTIES, LLC  
60 FARMINGTON RD  
ROCHESTER, NH 03867-4327  
S.C.R.D. BOOK 2552, PAGE 335

MAP 216, LOT 9  
SITE ADDRESS: 68 FARMINGTON ROAD  
STRATHAM INDUSTRIAL PROPERTIES, INC  
P O BOX 284  
STRATHAM, NH 03885-0284  
S.C.R.D. BOOK 1199, PAGE 640

4. ZONE: GRANITE RIDGE DEVELOPMENT DISTRICT (GRDD)

5. FLOOD HAZARD ZONE: "X", PER FIRM MAP #33017C0184D, DATED 5/17/05.

6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011)  
DERIVED FROM STATIC GPS OBSERVATIONS PROCESSED BY THE NATIONAL GEODETIC  
SURVEY ON-LINE POSITIONING USER SERVICE (OPUS).

7. VERTICAL DATUM IS BASED ON NAVD88 PER DISK X-4-1933 (PUBLISHED ELEV.=234.93').

8. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.

9. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED IN ATTEMPTING TO DETERMINE THE LOCATION OF A MID-20TH CENTURY ROAD. THE EXTENT OF THE EXTENT OF ROUTE 11 (FARMINGTON ROAD) AS DEPICTED HEREON IS BASED ON RESEARCH CONDUCTED AT THE STAFFORD COUNTY CLERK'S OFFICE, ROCHESTER CITY HALL, NHDOT R.O.W. OFFICE, AND THE NHDOT DIVISION VI OFFICE.

9A. SEE RETURN OF LAYOUT AT S.C.R.D. BOOK 681, PAGE 134, INDIVIDUAL TAKING AT BOOK 681, PAGE 287. AND REFERENCE PLAN #12.

9B. ROUTE 11 (FARMINGTON ROAD A.K.A. FARMINGTON DOCK ROAD) IS AN ANCIENT ROADWAY WHICH HAS BEEN LAID OUT AND/OR STRAIGHTENED & WIDENED NUMEROUS TIMES THROUGHOUT HISTORY. THE FORMER LOCATION OF THE ROADWAY AS DEPICTED HEREON IS THE OWNERS REFERENCE PLAN AND THE PHYSICAL EVIDENCE AS SHOWN HEREON, PROVIDED IS HEREBY MADE TO CITY OF ROCHESTER BOOK 5, PAGE 242 FOR THE 1917-1918 STRAIGHTENING AND WIDENING, THOUGH ONE MAY EXIST, NO DISCONTINUANCE WAS FOUND OR PROVIDED BY THE CITY REGARDING THIS PORTION OF SAID ROADWAY.

10. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.

11. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT Y-87-1. SITE SPECIFIC HISS MAPPING COMPLETED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014

12. TAX MAP 261, LOT 9 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:

A. RIGHTS OF ACCESS TO/FROM ROUTE 11 (A CONTROLLED ACCESS HIGHWAY). 5 POINTS OF ACCESS WERE RESERVED ON THE WESTERLY SIDE OF ROUTE 11 IN THE DEED TO THE STATE OF NH AT VOLUME 680, PAGE 1445. THE CURRENT DEED REFERENCES 3 POINTS OF ACCESS. SAID CURRENT DEED COVERS TAX MAPS 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000. NHDOT SHOULD BE CONTACTED ABOUT CURRENT ACCESS LIMITATIONS. (NOT PLOTTABLE).

B. AN EASEMENT FOR THE BENEFIT OF THE PARCEL WAS RESERVED IN THE DEED TO WATERSTONE ROCHESTER, LLC RECORDED IN VOLUME 4238, PAGE 739. (OFF SITE - NOT SHOWN HEREON)

C. RIGHTS OF ACCESS, AIR, VIEW, LIGHT, SLOPES, AND PIPE AND DITCH RIGHTS AS GRANTED TO THE STATE OF NH BY DEED AT VOLUME 680, PAGE 445; AS AFFECTED BY COMMISSIONERS RETURN OF HIGHWAY LAYOUT AT VOLUME 681, PAGE 134. (WITHIN CURRENT STATE R.O.W.)

13. TAX MAP 261, LOT 8 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE FOLLOWING EASEMENTS/RIGHTS OF RECORD:

A. RIGHTS OF ACCESS, AIR, VIEW, LIGHT, SLOPES, AND PIPE AND UTILITY RIGHTS AS GRANTED TO THE STATE OF NH BY DEED AT VOLUME 681, PAGE 286; AS AFFECTED BY COMMISSIONERS RETURN OF HIGHWAY LAYOUT AT VOLUME 681, PAGE 134. (WITHIN CURRENT STATE R.O.W.)


















B. ONE 50 FOOT RIGHT OF ACCESS FROM ROUTE 11 (A CONTROLLED ACCESS HIGHWAY) AS RESERVED IN THE DEED TO THE STATE OF NH AT VOLUME 681, PAGE 286.

REFERENCE PLANS:

1. "PROPOSED SUBDIVISIONS AND OF MARY E. GRENIER TEN ROD ROAD ROCHESTER, NH." BY BERRY SURVEYING & ENGINEERING. DATED JANUARY 14, 2000. S.C.R.D. PLAN #38-38
2. "LOT LINE ADJUSTMENT FOR LAND OF JEFFERY J. & KAREN M. LABRECQUE & DONALD R. FORDER ON TEN ROD ROAD ROCHESTER, NH 03867 TAX MAP 220 LOTS 32-5 & 32-4." BY BRUCE L. POHOPECK LAND SURVEYOR. DATED AUGUST 28, 2000. S.C.R.D. PLAN #1-49
3. "EXISTING CONDITIONS PLAN LAND OF STRATHAM INDUSTRIAL PROPERTIES INC. & PACKY'S INVESTMENT PROPERTIES LLC ROUTE 11/ FARMINGTON RD ROCHESTER, NH TAX MAP 216 LOT 8 & 9." BY BERRY SURVEYING AND ENGINEERING DATED OCTOBER 20, 2009. (NOT RECORDED)
4. "ALTA/ACSM LAND TITLE SURVEY NH ROUTE 11/ FARMINGTON RD ROCHESTER, NH, STRAFFORD COUNTY" FOR RT 11 INVESTMENTS, INC. BY NORWAY PLAINS ASSOCIATES, INC. DATED JULY 2007.
5. "PLAN OF LAND OF SPENCER W. HAMILTON FARMINGTON ROAD ROCHESTER, NH" BY BERRY CONST. CO., INC. DATED JUNE 16, 1973 S.C.R.D. PLAN#38 POCKET #12 FOLDER#2.
6. "PLAN OF LAND OF RICHARD L. COUSINEAU ROUTE 11, ROCHESTER, NH" BY BERRY CONST. CO., INC. DATED FEBRUARY 5, 1975 S.C.R.D. PLAN #16 POCKET #15 FOLDER #1.
7. "SURVEY OF THE LAND OF NORTHCAPTE APARTMENT COMPLEX ROCHESTER, NH." BY HOLDEN ENGINEERING & SURVEYING. DATED JANUARY 5, 1982. S.C.R.D. PLAN#23A-23
8. "LAND PURCHASED FROM TUFTS ESTATE IN THE TOWN OF ROCHESTER, NH." BY PUBLIC SERVICE CO. OF NEW HAMPSHIRE ENGINEERING DEPARTMENT. DATED SEPTEMBER 1967 S.C.R.D. BOOK 851 PAGES 492 & 494.
9. "STATE OF NH CITY OF ROCHESTER AS-BUILT WATER & SEWER EXTENSION PLAN & PROFILE", BY DELUCA-HOFFMAN ASSOCIATES, INC., DATED 2-23-94.
10. "PROPOSED SITE REVIEW FOR ED CASACCIO, ROUTE 11, ROCHESTER, NH." BY BERRY SURVEYING AND ENGINEERING. DATED NOVEMBER 9, 1998. (NOT RECORDED)
11. "PLAN OF THE FARMINGTON ROAD, ROCHESTER, NH" BY WILLIAM A. GROVE CIVIL ENGINEERING. THIS PLAN IS ON FILE AT THE ROCHESTER CITY HALL AND IS REFERENCED IN THE 1917-1918 STRAIGHTENING AND WIDENING OF FARMINGTON ROAD, SAID STRAIGHTENING AND WIDENING IS ALSO ON FILE AT THE ROCHESTER CITY HALL IN BOOK 5, PAGE 242.
12. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT F-022-1(1)". N.H. PROJECT NO. P-3546, N.H. ROUTE 11-HENRY WILSON HIGHWAY". DATED 1957, ON FILE WITH NHDOT.

**NOTE:**  
ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

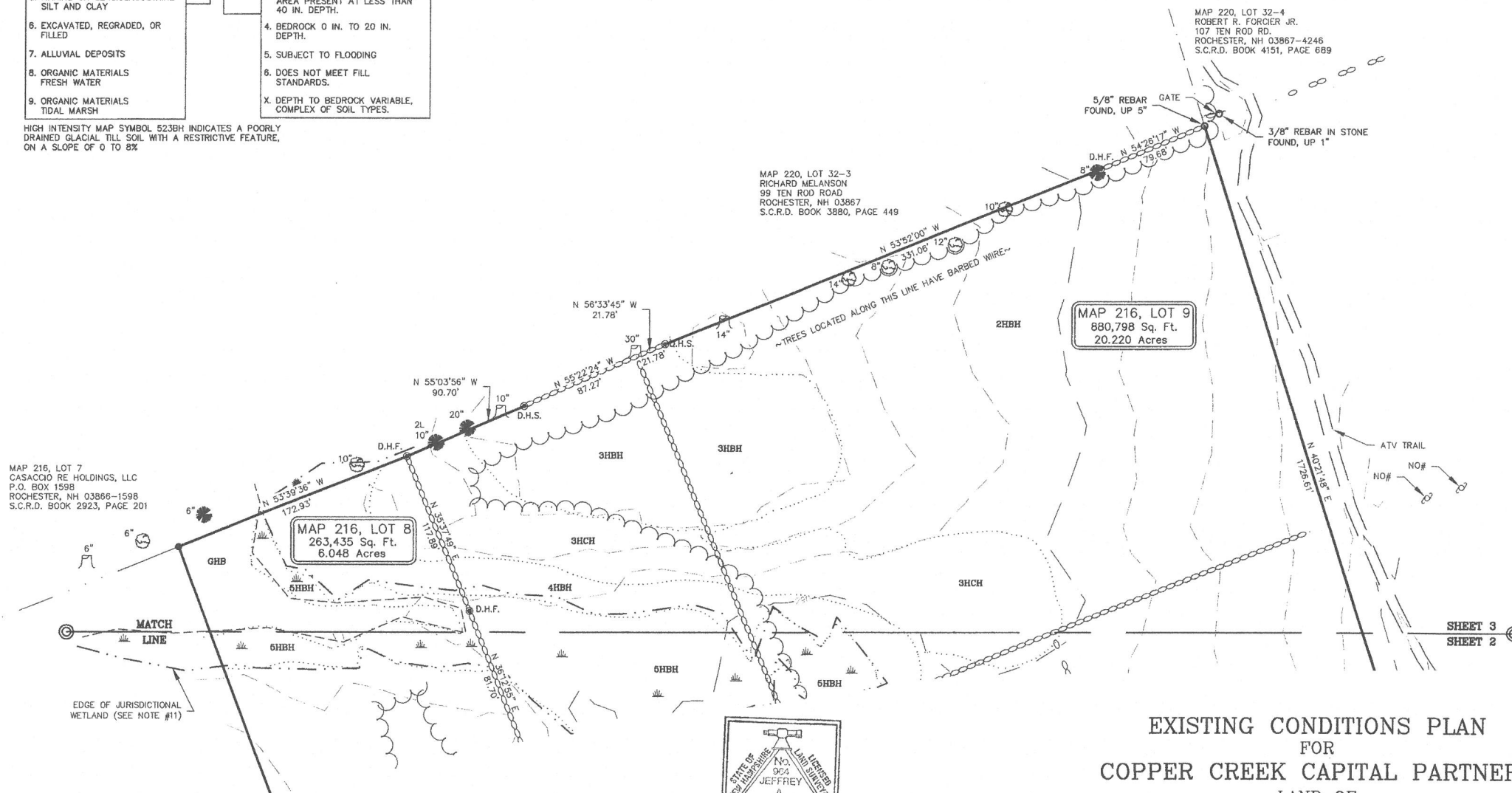
HIGH INTENSITY MAP SYMBOL 523BH INDICATES A POORLY DRAINED GLACIAL TILL SOIL WITH A RESTRICTIVE FEATURE, ON A SLOPE OF 0 TO 8%

	UTILITY POLE, & GUY WIRE
	LIGHT POLE (TWO ARMS)
	SIGN
	GRANITE BOUND FOUND
	DRILL HOLE FOUND
	IRON PIPE/ROD FOUND
	BARBED WIRE FOUND ON GROUND
	5/8" REBAR W/ ID CAP TO BE SET
	FIRE HYDRANT
	WATER GATE VALVE
	CATCH BASIN (ROUND)
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	MANHOLE
	JURISDICTIONAL WETLAND SYMBOL
	TREE STUMP/SNAG

SEE NOTE #9

CONIFEROUS TREE  
 DECIDUOUS TREE  
 CONCRETE  
 LANDSCAPED AREA  
 LEDGE OUTCROP  
 BOLLARD  
 TRAFFIC FLOW DIRE  
 DRAINAGE FLOW DIR  
 WELL  
 TYPICAL  
 RETAINING  
 FINISHED FLOOR  
 OIL FILL CAP  
 EDGE OF PAVEMENT  
 SINGLE WHITE LINE  
 DASHED SINGLE WH  
 EDGE OF GRAVEL  
 CONCRETE  
 HISS SYMBOL  
 DRILL HOLE FOUND

ELECTRIC METER  
LOT LINES  
STOCKADE FENCE  
WIRE FENCE  
CHAINLINK FENCE  
OVERHEAD WIRES  
SEWER LINE  
DRAIN LINE  
APPROX. ABUTTERS LOT LINE  
EASEMENT LINE  
TREE LINE  
SHRUB LINE  
STONE WALL  
CONTOUR LINE  
HISS LINE  
EDGE OF VERY POORLY DRAINED  
WETLAND (SEE NOTE #11)  
EDGE OF JURISDICTIONAL  
WETLAND (SEE NOTE #11)  
EDGE OF TRAVELED WAY  
SEWER LINE PER REF. PLAN #9  
WATER LINE PER REF. PLAN #9



EXISTING CONDITIONS PLAN  
FOR  
COPPER CREEK CAPITAL PARTNERS  
LAND OF  
STRATHAM INDUSTRIAL PROPERTIES, INC.  
(TAX MAP 216, LOT 9)  
AND  
PACKY'S INVESTMENT PROPERTIES, LLC  
(TAX MAP 216, LOT 8)  
ROUTE 11 (A.K.A. FARMINGTON ROAD)  
ROCHESTER, NEW HAMPSHIRE

I certify that this survey plat is not a subdivision pursuant to this title (NHRSA Title LXIV) and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

I certify that this survey and plan were prepared by me or by those under my direct supervision and falls under the Urban Survey Classification of the NH Code of Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

The certifications shown hereon are intended to meet registry of deed requirements and are not a certification to title or ownership of property shown. Owners of adjoining properties are according to current town assessors records.

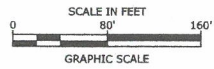
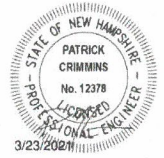
JEFFREY A. GOLDKNOFF 10/23/2014 REGISTRATION NO. 964

DRAWN BY: J.P.E.	DATE: OCT 23, 2014
CHECKED BY: J.A.G.	DRAWING NO: 3944A
JOB NO: 3944	SHEET 3 OF 3



**DOUCET  
SURVEY**

Serving Your Professional Surveying & Mapping Needs  
102 Kent Place, Newmarket, NH 03857  
(603) 859-6560 <http://www.doucetsurvey.com>



## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

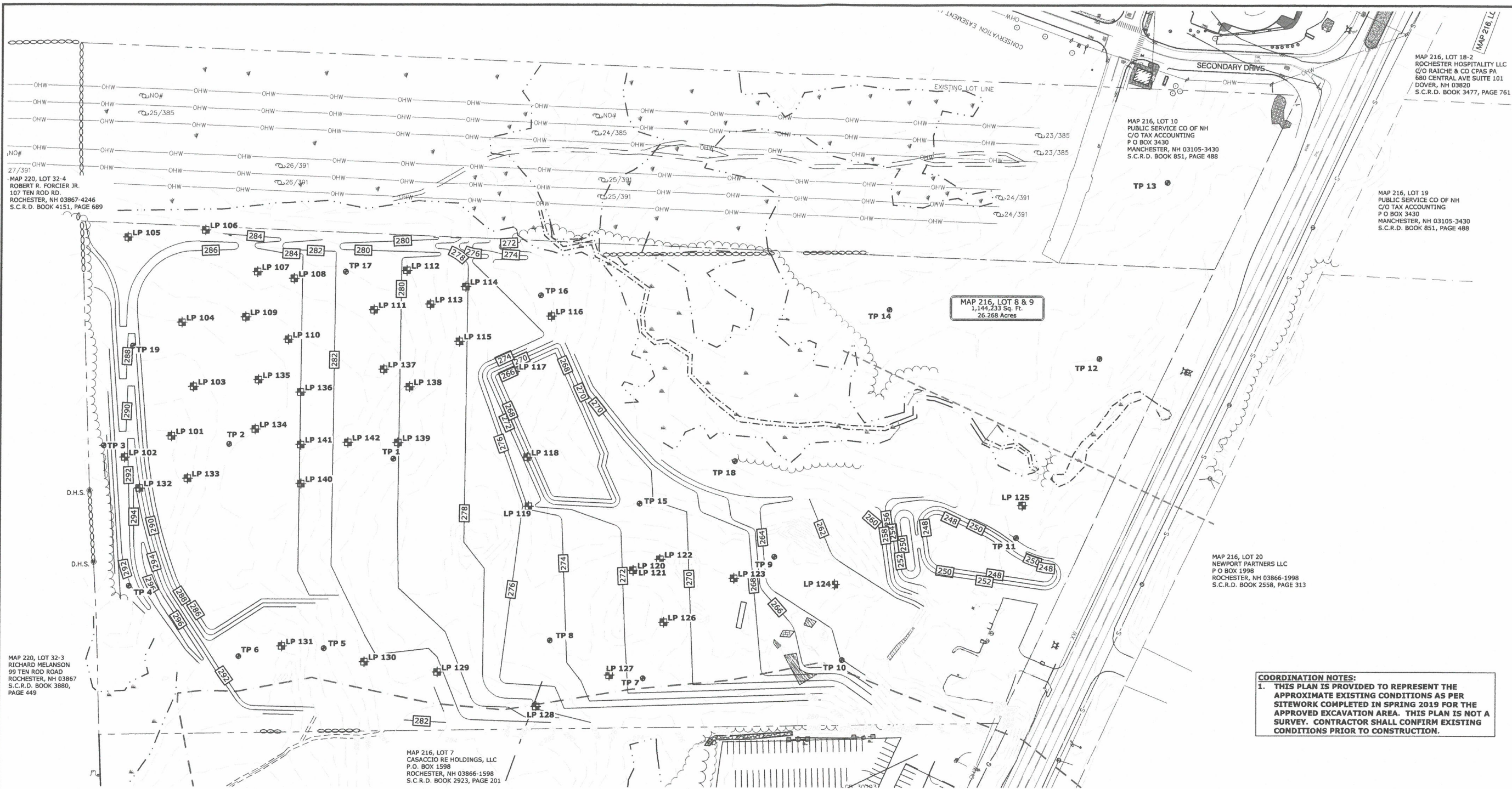
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

### OVERALL EXCAVATION PLAN

SCALE: AS SHOWN

C-101



**COORDINATION NOTES:**  
1. THIS PLAN IS PROVIDED TO REPRESENT THE APPROXIMATE EXISTING CONDITIONS AS PER SITEWORK COMPLETED IN SPRING 2019 FOR THE APPROVED EXCAVATION AREA. THIS PLAN IS NOT A SURVEY. CONTRACTOR SHALL CONFIRM EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

#### LEGEND

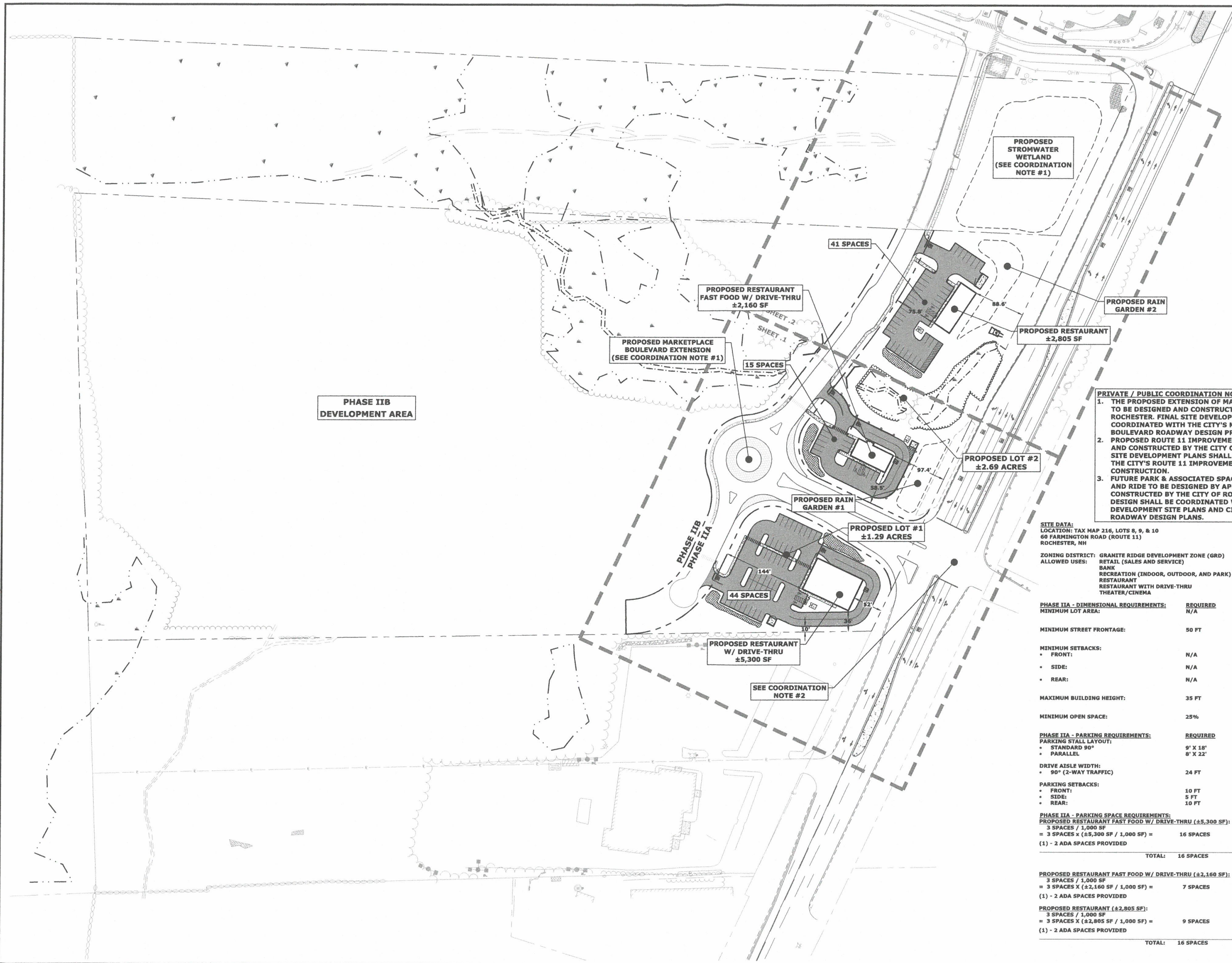
- LIMIT OF AQUIFER PROTECTION DISTRICT
- EDGE OF JURISDICTIONAL WETLAND
- EDGE OF STREAM BED
- TP-1 TEST PIT LOCATION AND DESIGNATION
- LP-101 LEDGE PROBE LOCATION AND DESIGNATION

TP-1 GROUNDWATER=275.6 REFUSAL=273.60	TP-7 REFUSAL=271.25
TP-2 GROUNDWATER=282.7 REFUSAL=281.69	TP-8 REFUSAL=269.35
TP-3 GROUNDWATER=286.2 REFUSAL=285.20	TP-9 REFUSAL=258.16
TP-4 GROUNDWATER=289.5 REFUSAL=286.45	TP-10 REFUSAL=257.04
TP-5 REFUSAL=283.93	TP-11 REFUSAL=241.36
TP-6 REFUSAL=290.80	TP-12 GROUNDWATER=242.9 REFUSAL=242.84
	TP-13 REFUSAL=248.54

TP-14 GROUNDWATER=251.4 REFUSAL=248.35	TP-15 GROUNDWATER=260.8 REFUSAL=259.84
TP-16 GROUNDWATER=268.2 REFUSAL=267.66	TP-17 GROUNDWATER=274.2 REFUSAL=274.21
TP-18 REFUSAL=240.00	TP-19 GROUNDWATER=283.6 REFUSAL=276.05

LEDGE PROBE-101 LEDGE=285.42	LEDGE PROBE-108 LEDGE=265.45	LEDGE PROBE-115 LEDGE=268.01	LEDGE PROBE-122 LEDGE=265.31	LEDGE PROBE-129 LEDGE=279.41	LEDGE PROBE-136 LEDGE=284.45
LEDGE PROBE-102 LEDGE=284.34	LEDGE PROBE-109 LEDGE=265.93	LEDGE PROBE-116 LEDGE=261.50	LEDGE PROBE-123 LEDGE=251.47	LEDGE PROBE-130 LEDGE=265.93	LEDGE PROBE-137 LEDGE=284.00
LEDGE PROBE-103 LEDGE=281.86	LEDGE PROBE-110 LEDGE=275.43	LEDGE PROBE-117 LEDGE=262.39	LEDGE PROBE-124 LEDGE=263.02	LEDGE PROBE-131 LEDGE=291.30	LEDGE PROBE-138 LEDGE=275.66
LEDGE PROBE-104 LEDGE=277.83	LEDGE PROBE-111 LEDGE=280.37	LEDGE PROBE-118 LEDGE=258.98	LEDGE PROBE-125 LEDGE=241.54	LEDGE PROBE-132 LEDGE=284.96	LEDGE PROBE-139 LEDGE=274.53
LEDGE PROBE-105 LEDGE=273.87	LEDGE PROBE-112 LEDGE=275.70	LEDGE PROBE-119 LEDGE=268.18	LEDGE PROBE-126 LEDGE=261.61	LEDGE PROBE-133 LEDGE=289.54	LEDGE PROBE-140 LEDGE=276.47
LEDGE PROBE-106 LEDGE=268.55	LEDGE PROBE-113 LEDGE=272.11	LEDGE PROBE-120 LEDGE=261.55	LEDGE PROBE-127 LEDGE=263.85	LEDGE PROBE-134 LEDGE=284.70	LEDGE PROBE-141 LEDGE=277.64
LEDGE PROBE-107 LEDGE=269.10	LEDGE PROBE-114 LEDGE=266.40	LEDGE PROBE-121 LEDGE=261.61	LEDGE PROBE-128 LEDGE=263.85	LEDGE PROBE-135 LEDGE=288.72	LEDGE PROBE-142 LEDGE=283.56

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig N. Langton  
Tab File Location: J:\V\W5008 Waterstone Retail\004 - Ridges Marketplace Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.DWG Layout Tab: O-Site



- PRIVATE / PUBLIC COORDINATION NOTES:**
1. THE PROPOSED EXTENSION OF MARKETPLACE BOULEVARD TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT SHALL BE COORDINATED WITH THE CITY'S MARKETPLACE BOULEVARD ROADWAY DESIGN PRIOR TO CONSTRUCTION.
  2. PROPOSED ROUTE 11 IMPROVEMENTS TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT PLANS SHALL BE COORDINATED WITH THE CITY'S ROUTE 11 IMPROVEMENTS PRIOR TO CONSTRUCTION.
  3. FUTURE PARK & ASSOCIATED SPACES AND FUTURE PARK AND RIDE TO BE DESIGNED BY APPLICANT AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL PARK DESIGN SHALL BE COORDINATED WITH THE PROPOSED DEVELOPMENT SITE PLANS AND CITY OF ROCHESTER ROADWAY DESIGN PLANS.

**SITE DATA:**  
LOCATION: TAX MAP 216, LOTS 8, 9, & 10  
60 FARMINGTON ROAD (ROUTE 11)  
ROCHESTER, NH

**ZONING DISTRICT:** GRANITE RIDGE DEVELOPMENT ZONE (GRD)  
**ALLOWED USES:** RETAIL (SALES AND SERVICE)  
BANK  
RECREATION (INDOOR, OUTDOOR, AND PARK)  
RESTAURANT  
RESTAURANT WITH DRIVE-THRU  
THEATER/CINEMA

PHASE IIA - DIMENSIONAL REQUIREMENTS:		REQUIRED	PROPOSED
MINIMUM LOT AREA:		N/A	±1.29 ACRES (LOT #1) ±2.69 ACRES (LOT #2)
MINIMUM STREET FRONTAGE:		50 FT	±78 FT (LOT #1) ±531 FT (LOT #2)
MINIMUM SETBACKS:			
• FRONT:		N/A	±52 FT (LOT #1) ±88.6 FT (LOT #2)
• SIDE:		N/A	±36 FT (LOT #1) ±58.5 FT (LOT #2)
• REAR:		N/A	±144 FT (LOT #1) ±75.8 FT (LOT #2)
MAXIMUM BUILDING HEIGHT:		35 FT	<35 FT (LOT #1) <35 FT (LOT #2)
MINIMUM OPEN SPACE:		25%	±41.4% (LOT #1) ±70.9% (LOT #2)

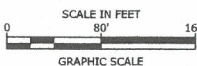
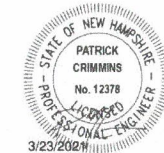
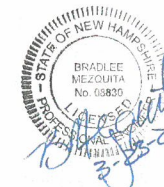
PHASE IIA - PARKING REQUIREMENTS:		REQUIRED	PROPOSED
PARKING STALL LAYOUT:			
• STANDARD 90°		9' X 18'	9' X 18'
• PARALLEL		8' X 22'	8' X 22'
DRIVE AISLE WIDTH:			
• 90° (2-WAY TRAFFIC)		24 FT	24 FT (MIN)
PARKING SETBACKS:			
• FRONT:		10 FT	10 FT
• SIDE:		5 FT	5 FT
• REAR:		10 FT	10 FT

PHASE IIA - PARKING SPACE REQUIREMENTS:		REQUIRED	PROPOSED
3 SPACES / 1,000 SF			
= 3 SPACES X (±5,300 SF / 1,000 SF) =		16 SPACES	44 SPACES <sup>(1)</sup>
(1) - 2 ADA SPACES PROVIDED			
TOTAL:		16 SPACES	44 SPACES (LOT #1)

PROPOSED RESTAURANT FAST FOOD W/ DRIVE-THRU (±2,160 SF):		REQUIRED	PROPOSED
3 SPACES / 1,000 SF			
= 3 SPACES X (±2,160 SF / 1,000 SF) =		7 SPACES	15 SPACES <sup>(1)</sup>
(1) - 2 ADA SPACES PROVIDED			

PROPOSED RESTAURANT (±2,805 SF):		REQUIRED	PROPOSED
3 SPACES / 1,000 SF			
= 3 SPACES X (±2,805 SF / 1,000 SF) =		9 SPACES	41 SPACES <sup>(1)</sup>
(1) - 2 ADA SPACES PROVIDED			
TOTAL:		16 SPACES	56 SPACES (LOT #2)

Tighe&Bond



## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission

PROJECT NO:	W5008-004
DATE:	11/25/2019
FILE:	W5008-004_DSGN.DWG
DRAWN BY:	CML
CHECKED:	PMC
APPROVED:	BLM

### PHASE II OVERALL SITE PLAN

SCALE: AS SHOWN

C-102

SITE NOTES:

1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS, AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE, MEDIAN ISLANDS, AND FIRE LANES TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE, MEDIAN ISLANDS, AND FIRE LANES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS, AND SIGN POSTS.
4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCH WIDE WHITE LINES.
5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
6. THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND/OR CITY CODES & SPECIFICATIONS.
9. WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT).
10. WORK WITHIN MARKETPLACE BOULEVARD SHALL BE COORDINATED WITH CITY OF ROCHESTER.
11. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
12. ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM WALL MANUFACTURERS, AND SUBMITTING DESIGN TO ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTED BLOCK WALL SYSTEM AS OUTLINED IN THE SPECIFICATIONS.
14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
15. THE APPLICANT SHALL SUBMIT ARCHITECTURAL ELEVATIONS TO THE PLANNING DEPARTMENT PRIOR TO SUBMITTING FOR A BUILDING PERMIT.
16. ALL SIGNS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. EACH SIGN WILL REQUIRE ADHERENCE TO APPLICABLE REGULATIONS INCLUDING CITY OF ROCHESTER ZONING ORDINANCE 42.29 OR RELIEF FROM THE ROCHESTER ZONING BOARD. SIGNS ADVERTISING FOR OFF-PREMISE USES SHALL REQUIRE APPROVAL FROM THE NHDOT.
17. FOR MORE INFORMATION ABOUT THIS SITE PLAN CONTACT TIGHE & BOND AT 603.433.8818.

SITE DATA:

LOCATION: TAX MAP 216, LOTS 8, 9, & 10  
60 FARMINGTON ROAD (ROUTE 11)  
ROCHESTER, NH

ZONING DISTRICT: GRANITE RIDGE DEVELOPMENT ZONE (GRD)  
ALLOWED USES:  
RETAIL (SALES AND SERVICE)  
BANK  
RECREATION (INDOOR, OUTDOOR, AND PARK)  
RESTAURANT  
RESTAURANT WITH DRIVE-THRU  
THEATER/CINEMA

PHASE IIA - DIMENSIONAL REQUIREMENTS:	REQUIRED	PROPOSED
MINIMUM LOT AREA:	N/A	±1.29 ACRES (LOT #1) ±2.69 ACRES (LOT #2)
MINIMUM STREET FRONTAGE:	50 FT	±78 FT (LOT #1) ±531 FT (LOT #2)

MINIMUM SETBACKS:		
• FRONT:	N/A	±52 FT (LOT #1) ±88.6 FT (LOT #2)
• SIDE:	N/A	±36 FT (LOT #1) ±36.5 FT (LOT #2)
• REAR:	N/A	±144 FT (LOT #1) ±75.8 FT (LOT #2)

MAXIMUM BUILDING HEIGHT:	35 FT	<35 FT (LOT #1) <35 FT (LOT #2)
MINIMUM OPEN SPACE:	25%	±41.4% (LOT #1) ±70.9% (LOT #2)

PHASE IIA - PARKING REQUIREMENTS:	REQUIRED	PROPOSED
PARKING STALL LAYOUT:		
• STANDARD 90°	9' X 18'	9' X 18'
• PARALLEL	8' X 22'	8' X 22'

DRIVE AISLE WIDTH:		
• 90° (2-WAY TRAFFIC)	24 FT	24 FT (MIN)
PARKING SETBACKS:		
• FRONT:	10 FT	10 FT
• SIDE:	5 FT	5 FT
• REAR:	10 FT	10 FT

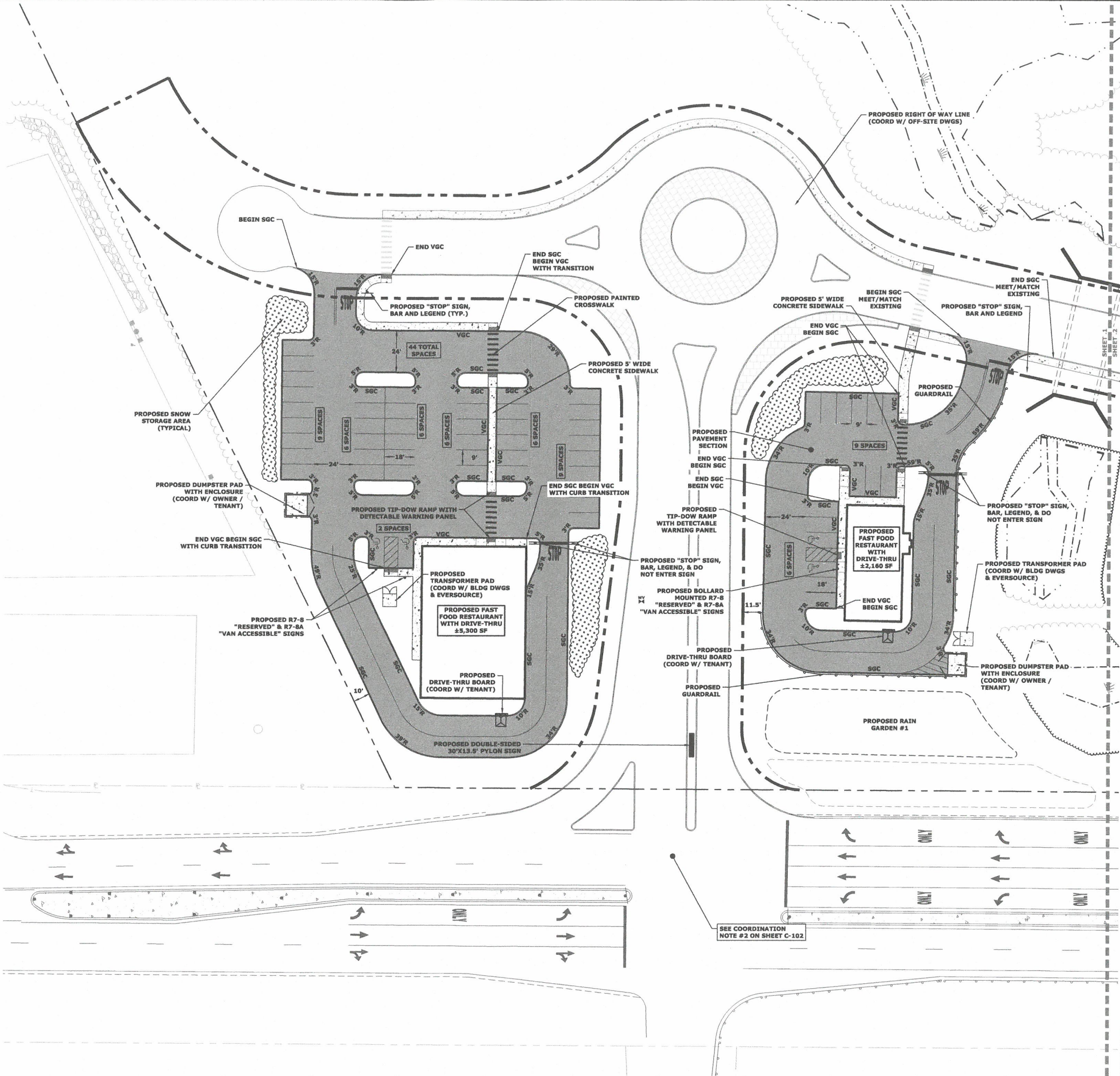
PHASE IIA - PARKING SPACE REQUIREMENTS:		
PROPOSED RESTAURANT FAST FOOD W/ DRIVE-THRU (±5,300 SF):		
3 SPACES / 1,000 SF		
= 3 SPACES X (±5,300 SF / 1,000 SF) =	16 SPACES	44 SPACES (1)
(1) - 2 ADA SPACES PROVIDED		
TOTAL:	16 SPACES	44 SPACES (LOT #1)

PROPOSED RESTAURANT FAST FOOD W/ DRIVE-THRU (±2,160 SF):		
3 SPACES / 1,000 SF		
= 3 SPACES X (±2,160 SF / 1,000 SF) =	7 SPACES	15 SPACES (1)
(1) - 2 ADA SPACES PROVIDED		
TOTAL:	16 SPACES	56 SPACES (LOT #2)

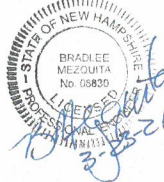
PROPOSED RESTAURANT (±2,805 SF):		
3 SPACES / 1,000 SF		
= 3 SPACES X (±2,805 SF / 1,000 SF) =	9 SPACES	41 SPACES (1)
(1) - 2 ADA SPACES PROVIDED		
TOTAL:	16 SPACES	56 SPACES (LOT #2)

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED RIGHT OF WAY LINE (SEE COORD NOTE #1)
- PROPOSED FUTURE RIGHT OF WAY LINE (SEE COORD NOTE #1)
- PROPOSED FENCE
- PROPOSED GUARDRAIL
- EXISTING LIMIT OF STREAM
- EXISTING LIMIT OF WETLAND
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED PAVEMENT SECTION
- PROPOSED CONCRETE
- PROPOSED FUTURE CONCRETE (SEE COORD NOTES)
- PROPOSED SNOW STORAGE AREAS
- PROPOSED SIGN
- PROPOSED CURB RADIUS
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED SLOPED GRANITE CURB



Tighe&Bond



SCALE IN FEET  
0 30 60  
GRAPHIC SCALE

Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

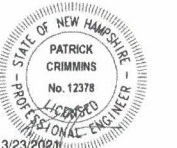
MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission

PROJECT NO: W5008-004  
DATE: 11/25/2019  
FILE: W5008-004\_DSGN.DWG  
DRAWN BY: CML  
CHECKED: PMC  
APPROVED: BLM

PHASE IIA  
SITE PLAN

SCALE: AS SHOWN

C-102.1



68 Farmington Road  
(Route 11)  
Rochester, NH

PHASE IIA  
SITE PLAN

SCALE: AS SHOWN

SCALE: AS SHOWN

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&R File Location: 1:\WORKS\08 Waterstone Refill\004 - Bldgs. M

Last Save Date: March 22, 2021, 4:28 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
T88 File Location: J:\W5008 Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings - Figures\AutoCAD\Sheet\W5008-004\_DSGN.DWG Layout Tab: D-Grade



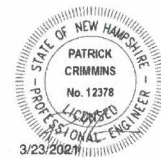
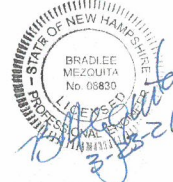
#### LEGEND

- LIMIT OF AQUIFER PROTECTION DISTRICT
- EDGE OF JURISDICTIONAL WETLAND
- EDGE OF STREAM BED
- PROPOSED DRAINLINE
- PROPOSED FUTURE / OFF-SITE DRAIN LINE (COORD W / OFF-SITE DWGS)
- PROPOSED CONTOUR
- PROPOSED FUTURE / OFF-SITE CONTOUR (COORD W / OFF-SITE DWGS)

#### PRIVATE / PUBLIC COORDINATION NOTES:

1. THE PROPOSED EXTENSION OF MARKETPLACE BOULEVARD TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT SHALL BE COORDINATED WITH THE CITY'S MARKETPLACE BOULEVARD ROADWAY DESIGN PRIOR TO CONSTRUCTION.
2. PROPOSED ROUTE 11 IMPROVEMENTS TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT PLANS SHALL BE COORDINATED WITH THE CITY'S ROUTE 11 IMPROVEMENTS PRIOR TO CONSTRUCTION.
3. FUTURE PARK & ASSOCIATED SPACES AND FUTURE PARK AND RIDE TO BE DESIGNED BY APPLICANT AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL PARK DESIGN SHALL BE COORDINATED WITH THE PROPOSED DEVELOPMENT SITE PLANS AND CITY OF ROCHESTER ROADWAY DESIGN PLANS.

Tighe & Bond



SCALE IN FEET  
80' 160'  
GRAPHIC SCALE

## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

PHASE II OVERALL GRADING,  
DRAINAGE, & EROSION  
CONTROL PLAN

SCALE: AS SHOWN

C-103

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND  
SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

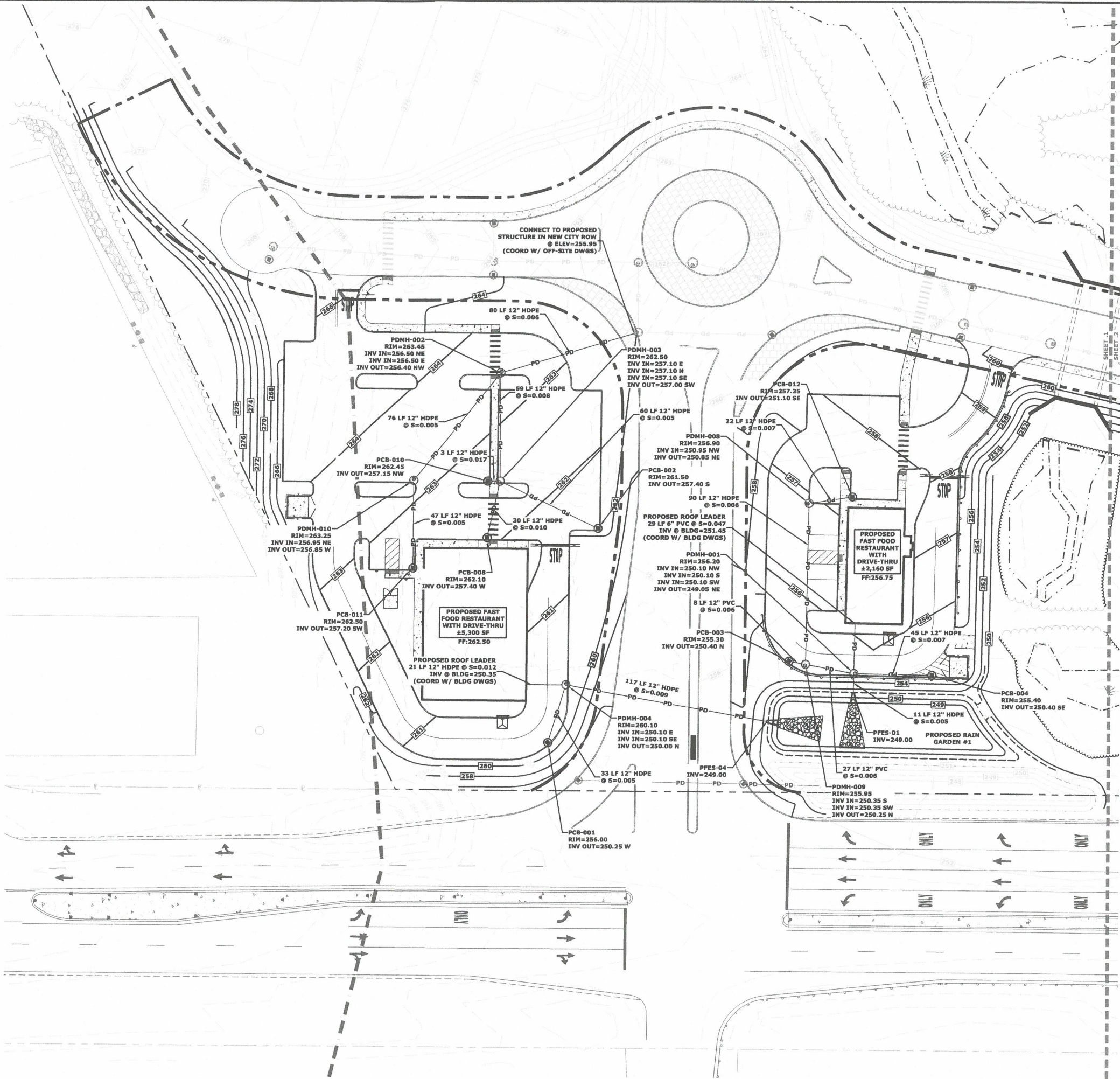
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.  
3. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.  
4. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.  
5. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.  
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.  
7. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4 FT IN DIAMETER UNLESS OTHERWISE NOTED.  
8. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDP) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.  
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.

EROSION CONTROL NOTES:

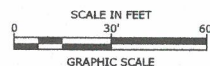
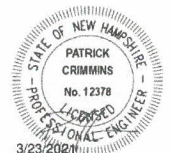
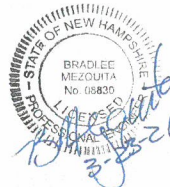
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.  
2. SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES SHEET.  
3. PROVIDE SILT SACK INLET PROTECTION WITHIN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.  
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.  
5. INSPECT INLET PROTECTION AND SILT SOCKS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.  
6. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 4" LOAM, SEED, AND FERTILIZER OR 3" PERMANENT MULCH AND SEED.  
7. CONSTRUCT EXCELSIOR JUTE MAT ON ALL SLOPES STEEPER THAN 3:1.  
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.  
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.  
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.  
11. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT SOCK AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.  
12. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

LEGEND

- LIMIT OF AQUIFER PROTECTION DISTRICT  
--- EDGE OF JURISDICTIONAL WETLAND  
--- PD PD --- EDGE OF STREAM BED  
--- PD PD --- PROPOSED DRAINLINE  
--- PD PD --- PROPOSED FUTURE / OFF-SITE DRAIN LINE (COORD W/ OFF-SITE DWGS)  
--- 256 --- PROPOSED CONTOUR  
--- 256 --- PROPOSED FUTURE / OFF-SITE CONTOUR (COORD W/ OFF-SITE DWGS)



Tighe&Bond



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

PHASE IIA  
GRADING, DRAINAGE, &  
EROSION CONTROL PLAN

SCALE: AS SHOWN

C-103.1

GRADING AND DRAINAGE NOTES:

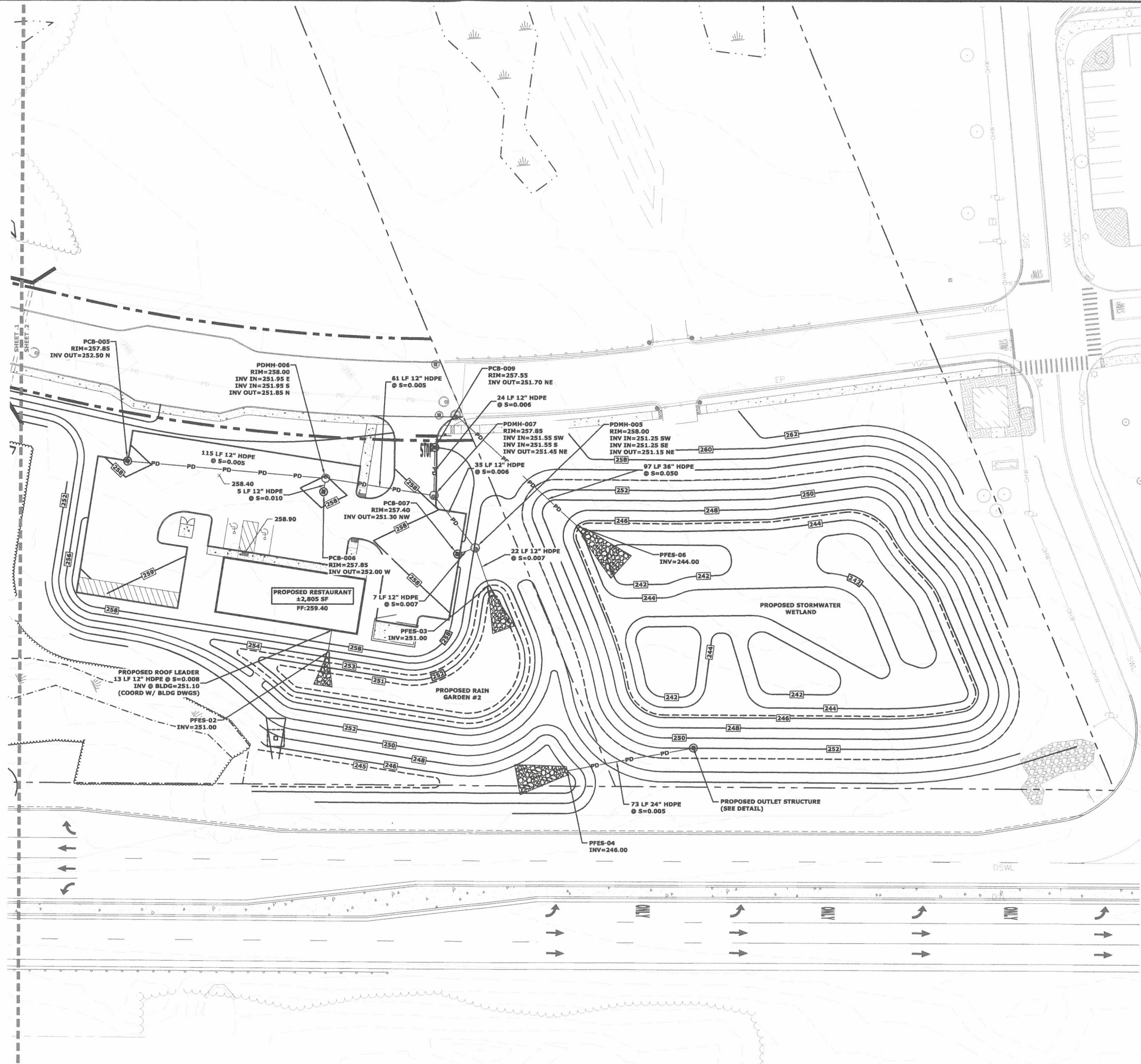
1. COMPACTION REQUIREMENTS  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND  
SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR APPROVED EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.  
3. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.  
4. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.  
5. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.  
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.  
7. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4 FT IN DIAMETER UNLESS OTHERWISE NOTED.  
8. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.  
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.

EROSION CONTROL NOTES:

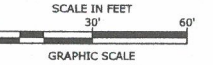
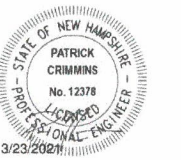
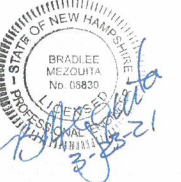
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.  
2. SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES SHEET.  
3. PROVIDE SILT SACK INLET PROTECTION WITHIN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.  
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.  
5. INSPECT INLET PROTECTION AND SILT SOCKS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.  
6. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 4" LOAM, SEED, AND FERTILIZER OR 3" PERMANENT MULCH AND SEED.  
7. CONSTRUCT EXCELSTOR JUTE MAT ON ALL SLOPES STEEPER THAN 3:1.  
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.  
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.  
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.  
11. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT SOCK AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.  
12. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.



LEGEND

- LIMIT OF AQUIFER PROTECTION DISTRICT  
--- EDGE OF JURISDICTIONAL WETLAND  
--- EDGE OF STREAM BED  
--- PD --- PD --- PROPOSED DRAINLINE  
--- PD --- PD --- PROPOSED FUTURE / OFF-SITE DRAIN LINE (COORD W/ OFF-SITE DWGS)  
--- 256 --- PROPOSED CONTOUR  
--- 256 --- PROPOSED FUTURE / OFF-SITE CONTOUR (COORD W/ OFF-SITE DWGS)

Tighe&Bond



Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road (Route 11) Rochester, NH

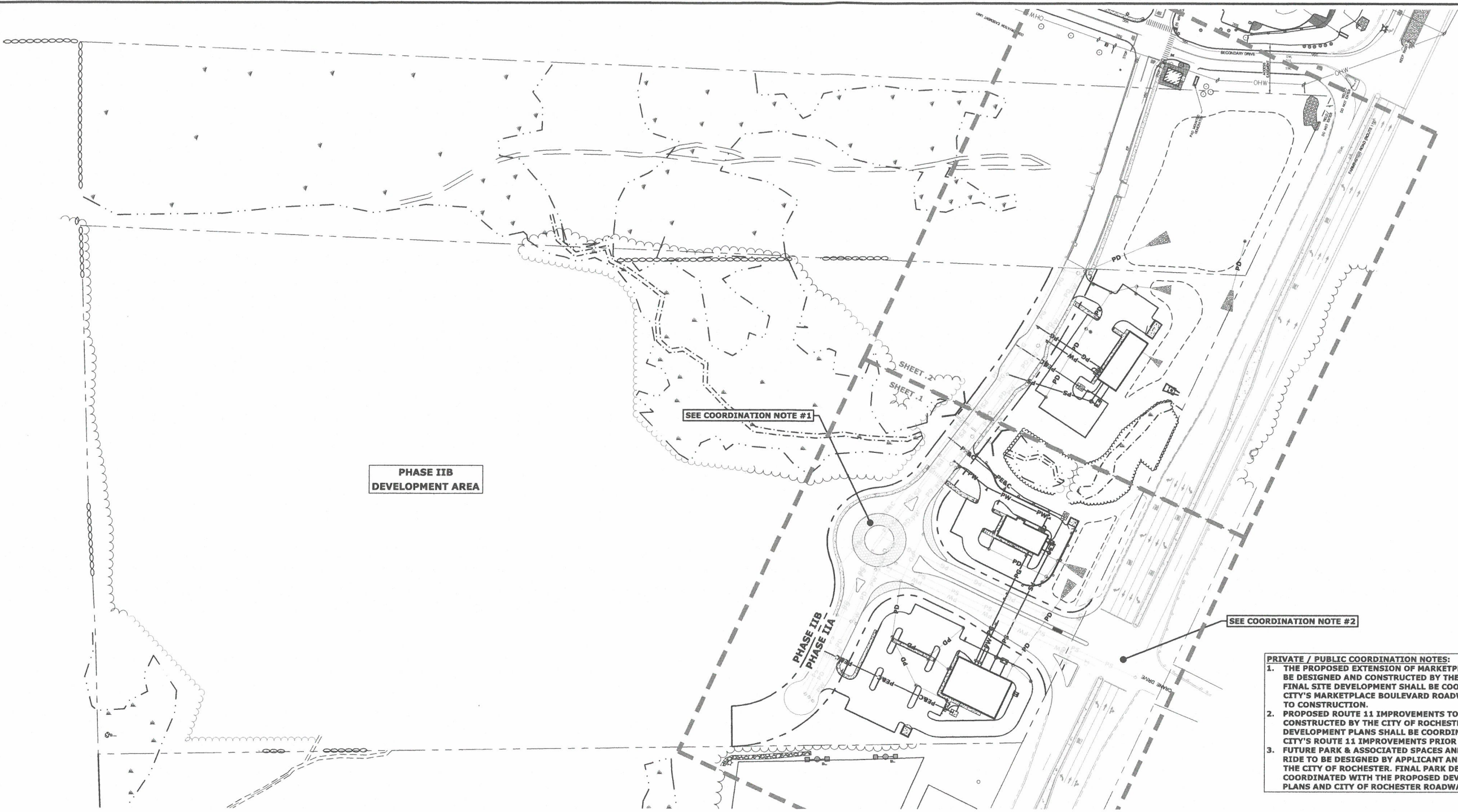
MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

PHASE IIA  
GRADING, DRAINAGE, &  
EROSION CONTROL PLAN

SCALE: AS SHOWN

C-103.2

Last Save Date: March 22, 2021 4:28 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
Title: Ridge Marketplace Phase II Drawings Figures AutoCAD Sheet W5008-004 DSGN.DWG Layout Tab: 0-Util



PHASE IIB  
DEVELOPMENT AREA

SEE COORDINATION NOTE #1

PHASE IIB  
PHASE IIA

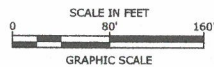
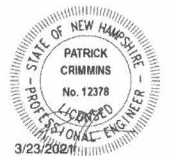
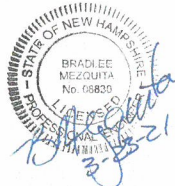
SEE COORDINATION NOTE #2

- PRIVATE / PUBLIC COORDINATION NOTES:**
1. THE PROPOSED EXTENSION OF MARKETPLACE BOULEVARD TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT SHALL BE COORDINATED WITH THE CITY'S MARKETPLACE BOULEVARD ROADWAY DESIGN PRIOR TO CONSTRUCTION.
  2. PROPOSED ROUTE 11 IMPROVEMENTS TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT PLANS SHALL BE COORDINATED WITH THE CITY'S ROUTE 11 IMPROVEMENTS PRIOR TO CONSTRUCTION.
  3. FUTURE PARK & ASSOCIATED SPACES AND FUTURE PARK AND RIDE TO BE DESIGNED BY APPLICANT AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL PARK DESIGN SHALL BE COORDINATED WITH THE PROPOSED DEVELOPMENT SITE PLANS AND CITY OF ROCHESTER ROADWAY DESIGN PLANS.

**LEGEND**

- PS—PS— PROPOSED SEWER LINE
- PS—PS— PROPOSED FUTURE / OFF-SITE SEWER LINE  
(COORD W/ OFF-SITE DWGS)
- PW—PW— PROPOSED WATER LINE
- PW—PW— PROPOSED FUTURE / OFF-SITE WATER LINE  
(COORD W/ OFF-SITE DWGS)
- PE&C—PE&C— PROPOSED ELECTRIC AND COMMUNICATIONS
- PE&C—PE&C— PROPOSED FUTURE / OFF-SITE ELECTRIC  
AND COMMUNICATIONS  
(COORD W/ OFF-SITE DWGS)
- PG—PG— PROPOSED GAS LINE
- PG—PG— PROPOSED FUTURE / OFF-SITE GAS LINE  
(COORD W/ OFF-SITE DWGS)

**Tighe&Bond**



**Proposed  
Ridgeside  
Development  
Phase-II**

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

**PHASE II OVERALL UTILITIES  
PLAN**

SCALE: AS SHOWN

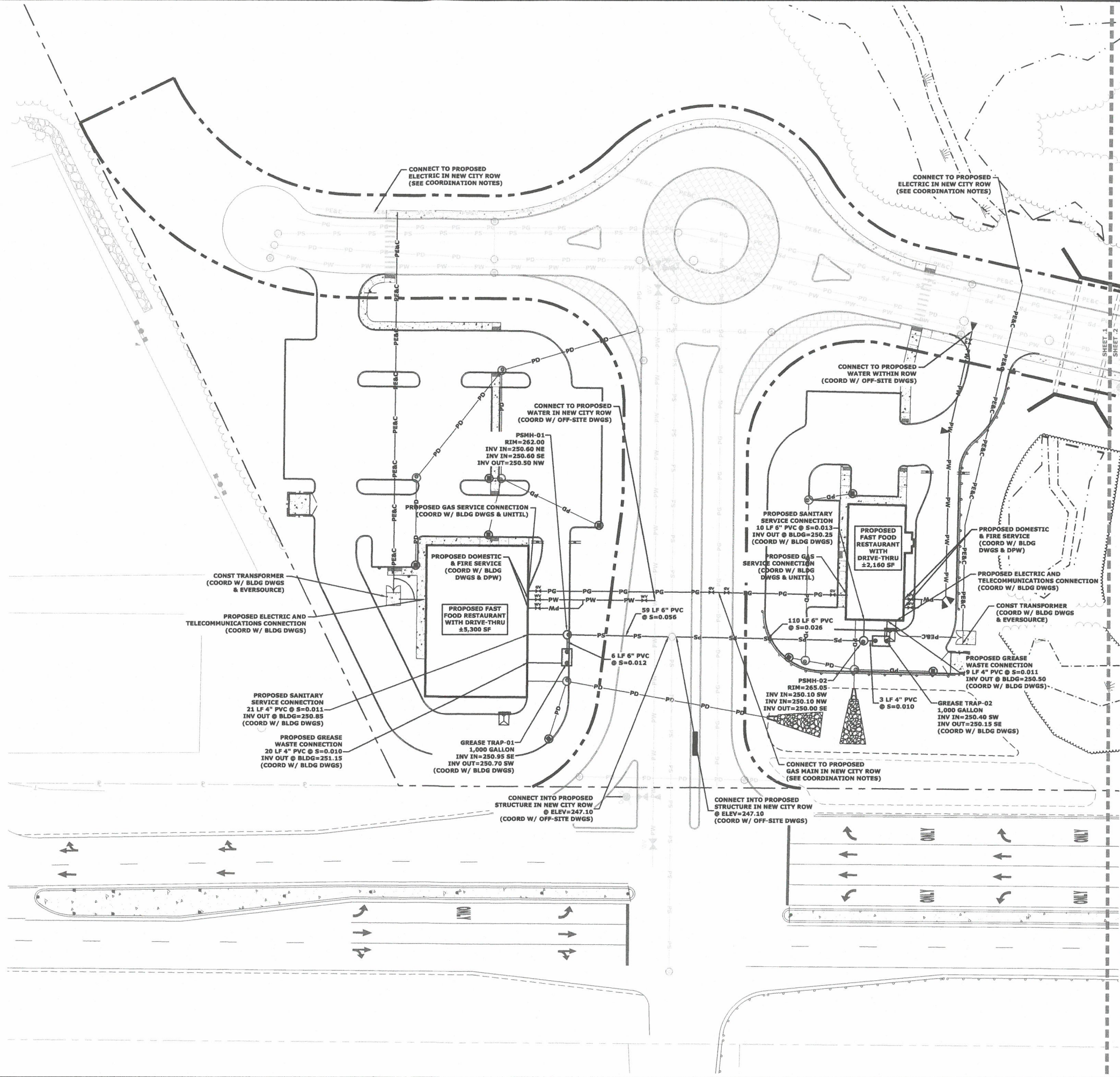
C-104

Last Save Date: March 22, 2021 4:38 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&B File Location: J:\V\W5008 Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.DWG Layout Tab: Utl-1

#### UTILITY NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
3. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
4. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
5. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF ROCHESTER, NEW HAMPSHIRE PUBLIC WORKS DEPARTMENT.
6. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
7. ALL WORK WITHIN CITY ROWS SHALL BE COORDINATED WITH CITY OF ROCHESTER.
8. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
9. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
10. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
11. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
12. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
13. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
14. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
18. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
19. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DXF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
20. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
21. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER.
22. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF ROCHESTER.
23. ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN UNPAVED AREAS AND LESS THAN 6' OF COVER IN PAVED AREAS SHALL BE INSULATED.
24. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
25. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTING PROPERTIES WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
26. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
27. ALL WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH THE CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
28. ALL WATER LINE BUILDING CONNECTIONS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTER. THE INSPECTIONS SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT.

LEGEND	
—PS—PS—	PROPOSED SEWER LINE
—PS—PS—	PROPOSED FUTURE / OFF-SITE SEWER LINE (COORD W/ OFF-SITE DWGS)
—PW—PW—	PROPOSED WATER LINE
—PW—PW—	PROPOSED FUTURE / OFF-SITE WATER LINE (COORD W/ OFF-SITE DWGS)
—PE&C—PE&C—	PROPOSED ELECTRIC AND COMMUNICATIONS
—PE&C—PE&C—	PROPOSED FUTURE / OFF-SITE ELECTRIC AND COMMUNICATIONS (COORD W/ OFF-SITE DWGS)
—PG—PG—	PROPOSED GAS LINE
—PG—PG—	PROPOSED FUTURE / OFF-SITE GAS LINE (COORD W/ OFF-SITE DWGS)



**Tighe & Bond**



SCALE IN FEET  
0 30' 60'  
GRAPHIC SCALE

## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

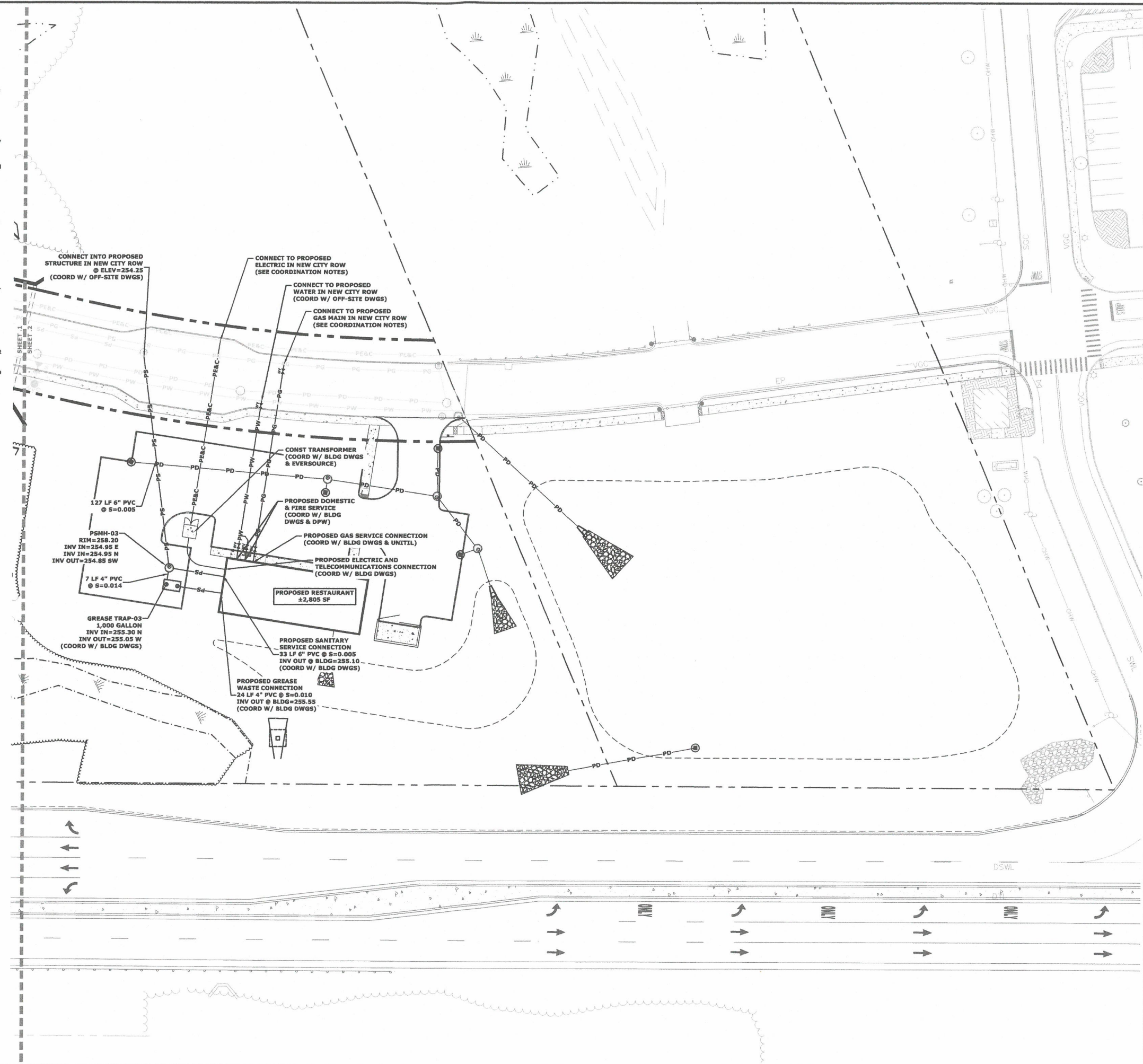
MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

### PHASE IIA UTILITIES PLAN

SCALE: AS SHOWN

C-104.1

- UTILITY NOTES**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
  2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
  3. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
  4. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
  5. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF ROCHESTER, NEW HAMPSHIRE PUBLIC WORKS DEPARTMENT.
  6. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
  7. ALL WORK WITHIN CITY ROWS SHALL BE COORDINATED WITH CITY OF ROCHESTER.
  8. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
  9. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
  10. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
  11. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
  12. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  13. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  14. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
  15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
  16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
  17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
  18. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
  19. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DXF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
  20. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
  21. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER.
  22. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF ROCHESTER.
  23. ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN UNPAVED AREAS AND LESS THAN 6' OF COVER IN PAVED AREAS SHALL BE INSULATED.
  24. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
  25. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
  26. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
  27. ALL WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH THE CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
  28. ALL WATER LINE BUILDING CONNECTIONS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTER. THE INSPECTIONS SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT.

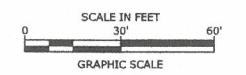
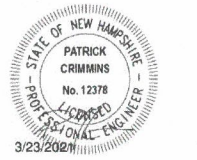


**LEGEND**

- |      |      |   |
|------|------|---|
| PS   | PS   | PROPOSED SEWER LINE   |
| PS   | PS   | PROPOSED FUTURE / OFF-SITE SEWER LINE (COORD W/ OFF-SITE DWGS)                  |
| PW   | PW   | PROPOSED WATER LINE   |
| PW   | PW   | PROPOSED FUTURE / OFF-SITE WATER LINE (COORD W/ OFF-SITE DWGS)                  |
| PE&C | PE&C | PROPOSED ELECTRIC AND COMMUNICATIONS  |
| PE&C | PE&C | PROPOSED FUTURE / OFF-SITE ELECTRIC AND COMMUNICATIONS (COORD W/ OFF-SITE DWGS) |
| PG   | PG   | PROPOSED GAS LINE   |
| PG   | PG   | PROPOSED FUTURE / OFF-SITE GAS LINE (COORD W/ OFF-SITE DWGS)                    |

Last Save Date: March 22, 2021 4:28 PM BY: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
File Location: I:\W5008 Waterstone Retail\004 - Ridge Market\place Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.DWG layout Tab: MBI-2

**Tighe & Bond**



**Proposed  
Ridgeside  
Development  
Phase-II**

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

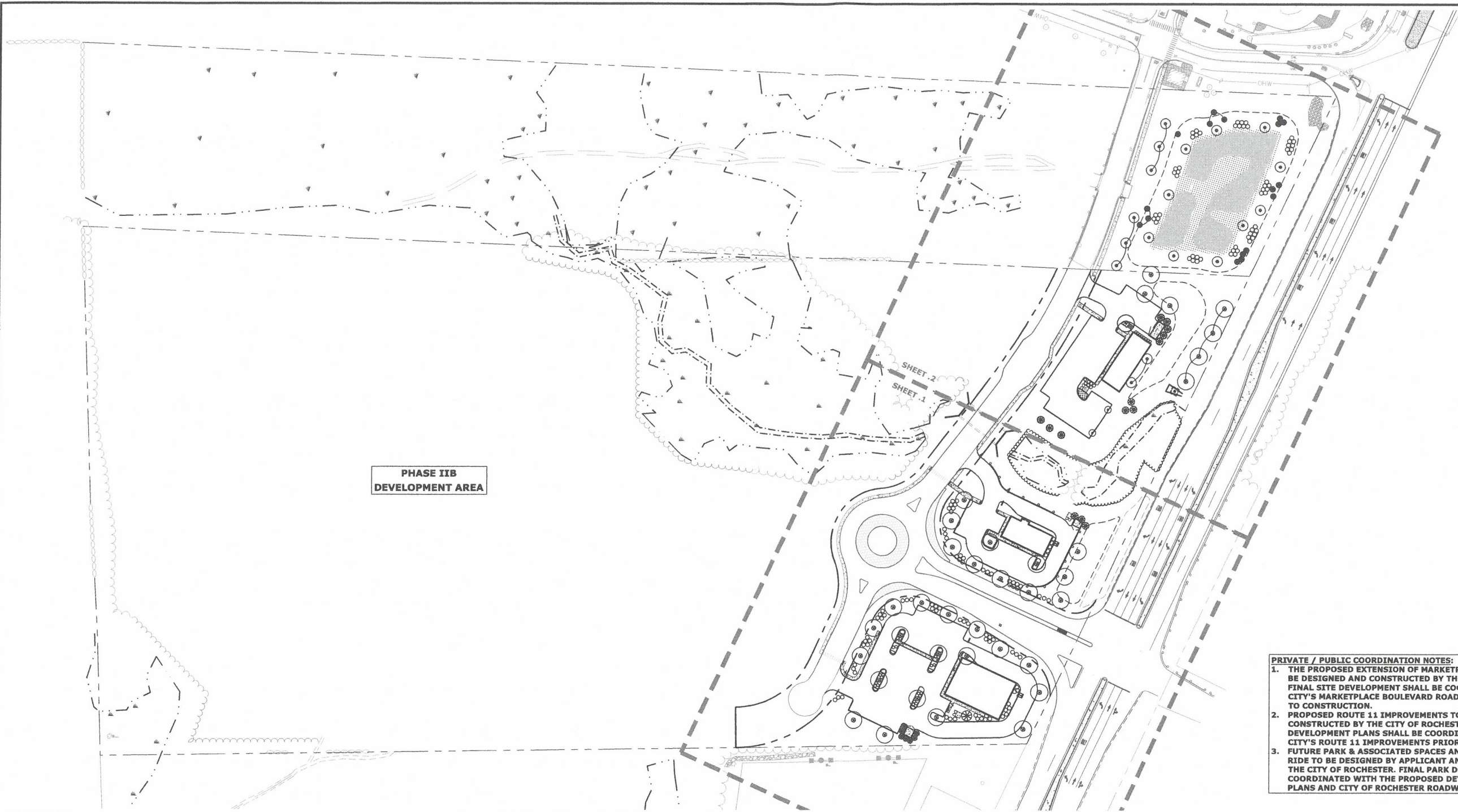
MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

**PHASE IIA  
UTILITIES PLAN**

SCALE: AS SHOWN

C-104.2

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langdon  
TAB File Location: J:\W5008 Waterstone Retail\04 - Ridge Marketplace Phase 2 Drawings - Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: C-Land



PHASE IIB  
DEVELOPMENT AREA

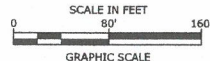
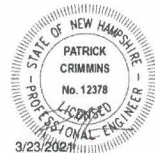
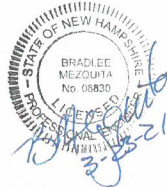
LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

PRIVATE / PUBLIC COORDINATION NOTES:

1. THE PROPOSED EXTENSION OF MARKETPLACE BOULEVARD TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT SHALL BE COORDINATED WITH THE CITY'S MARKETPLACE BOULEVARD ROADWAY DESIGN PRIOR TO CONSTRUCTION.
2. PROPOSED ROUTE 11 IMPROVEMENTS TO BE DESIGNED AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL SITE DEVELOPMENT PLANS SHALL BE COORDINATED WITH THE CITY'S ROUTE 11 IMPROVEMENTS PRIOR TO CONSTRUCTION.
3. FUTURE PARK & ASSOCIATED SPACES AND FUTURE PARK AND RIDE TO BE DESIGNED BY APPLICANT AND CONSTRUCTED BY THE CITY OF ROCHESTER. FINAL PARK DESIGN SHALL BE COORDINATED WITH THE PROPOSED DEVELOPMENT SITE PLANS AND CITY OF ROCHESTER ROADWAY DESIGN PLANS.

Tighe&Bond



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

PHASE II OVERALL  
LANDSCAPE PLAN

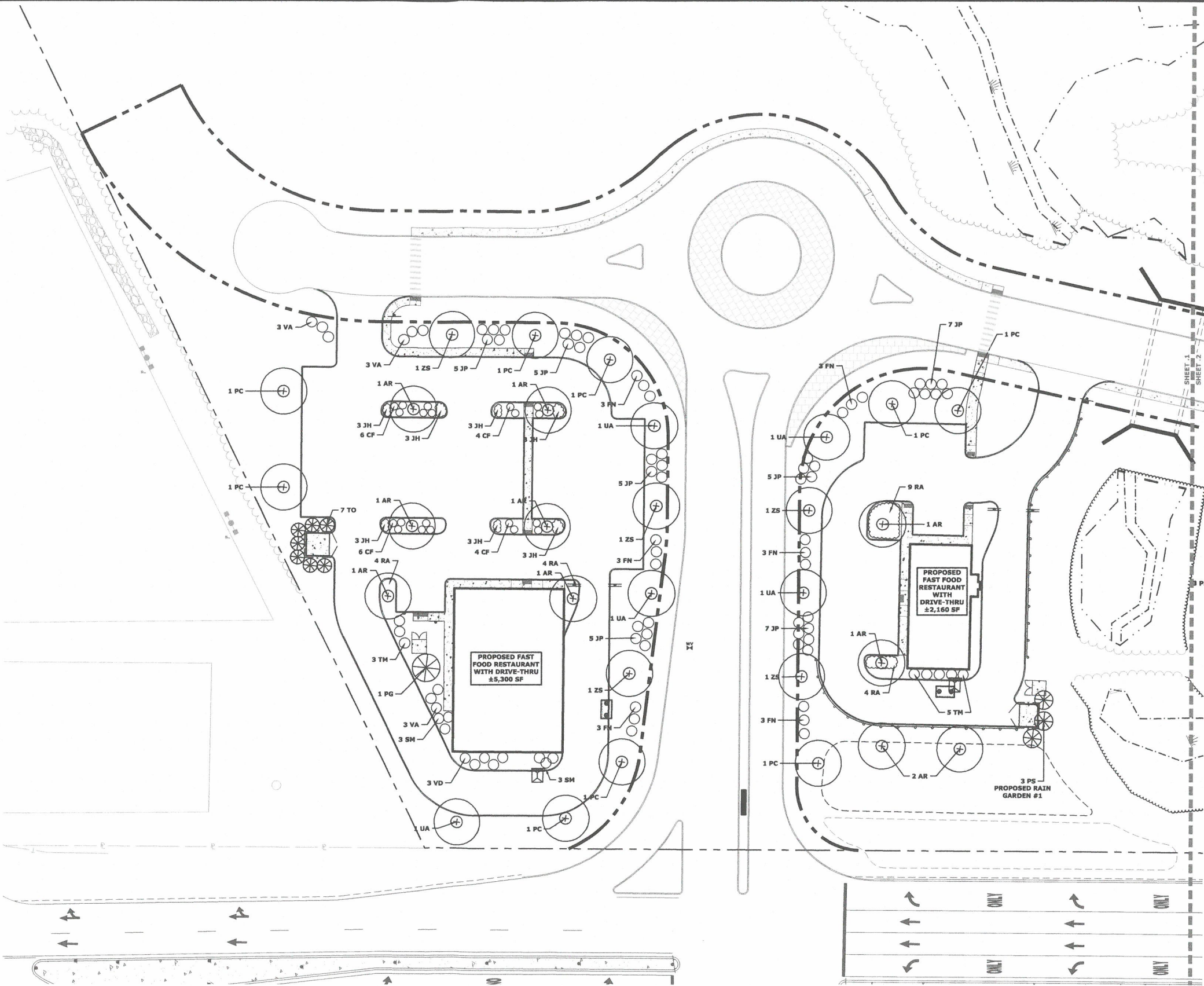
SCALE: AS SHOWN

C-105

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
TSS File Location: J:\VW5008 Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: Land-1

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES'.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.



PLANT SCHEDULE:

TREES:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
GT	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3-3 1/2" CALIPER	B & B
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3-3 1/2" CALIPER	B & B
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3-3 1/2" CALIPER	B & B
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3-3 1/2" CALIPER	B & B
QR	QUERCUS RUBRA	RED OAK	3-3 1/2" CALIPER	B & B
AR	ACER RUBRUM	RED MAPLE	3-3 1/2" CALIPER	B & B
AG	AMALANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2-3" CALIPER	B & B (SINGLE STEM)
MC	MALUS CENTURIUM	CENTURION CRABAPPLE	2 1/2-3" CALIPER	B & B
PG	PICEA GLAUCA	WHITE SPRUCE	8-10' HT.	B & B
PS	PINUS STROBUS	WHITE PINE	8-10' HT.	B & B (SHEARED)
JC	JUNIPERUS CHINENSIS 'MOUNTBATTEN'	MOUNTBATTEN JUNIPER	7-8' HT.	B & B
MS	MAGNOLIA STELLATA	STAR MAGNOLIA	7-8' HT.	B & B
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6'	B & B

SHRUBS:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SB	SPIREA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#3	CONTAINER
SM	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	#5	CONTAINER
VD	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	#5	CONTAINER
FN	FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	#5	CONTAINER
RA	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3	CONTAINER
CS	CORNUS SERICEA 'ALLEMANS COMPACT'	ALLEMAN'S RED STEM DOGWOOD	#5	CONTAINER
JP	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER	#5	CONTAINER
JPC	JUNIPERUS PFITZERIANA 'COMPACTA'	COMPACT PFITZER JUNIPER	#3	CONTAINER
TM	TAXUS MEDIA 'TAUNTONII'	TAUNTON YEW	#5	CONTAINER
RK	ROSA KNOCKOUT	KNOCKOUT ROSE	#3	CONTAINER
VA	VIBURNUM CARLESII 'AURORA'	AURORA MAYFLOWER	5 GAL	CONTAINER
JH	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	2 GAL	CONTAINER

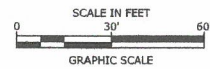
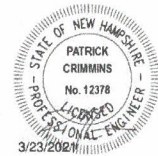
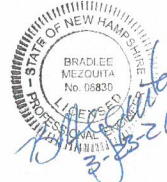
COMMON NAME	SIZE	REMARKS
ANTHONY WATERER SPIREA	#3	CONTAINER
DWARF KOREAN LILAC	#5	CONTAINER
BLUE MUFFIN VIBURNUM	#5	CONTAINER
NORTHERN GOLD FORSYTHIA	#5	CONTAINER
GROW LOW SUMAC	#3	CONTAINER
ALLEMAN'S RED STEM DOGWOOD	#5	CONTAINER
SEAGREEN JUNIPER	#5	CONTAINER
COMPACT PFITZER JUNIPER	#3	CONTAINER
TAUNTON YEW	#5	CONTAINER
KNOCKOUT ROSE	#3	CONTAINER
AURORA MAYFLOWER	5 GAL	CONTAINER
BLUE CHIP JUNIPER	2 GAL	CONTAINER

GROUNDCOVERS & PERENNIALS:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PV	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#3	CONTAINER
CF	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	#3	CONTAINER
JS	JUNIPERUS CHINENSIS 'SARGENT'	GREEN SARGENT JUNIPER	#3	CONTAINER
DL	HEMEROCALLIS 'STELLA DORO'	STELLA DORO DAYLILY	#2	CONTAINER
RG	RUBRICKIA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	#2	CONTAINER
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2	CONTAINER
SP	SEDUM PURPUREUM 'VERA JAMESON'	VERA JAMESON SEDUM	#2	CONTAINER
NW	NEPETA 'WALKERS LOW'	WALKERS LOW CATMINT	#2	CONTAINER
H	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	#2	CONTAINER

COMMON NAME	SIZE	REMARKS
SHENANDOAH SWITCH GRASS	#3	CONTAINER
FEATHER REED GRASS	#3	CONTAINER
GREEN SARGENT JUNIPER	#3	CONTAINER
STELLA DORO DAYLILY	#2	CONTAINER
GOLDSTURM BLACK EYED SUSAN	#2	CONTAINER
PURPLE CONEFLOWER	#2	CONTAINER
VERA JAMESON SEDUM	#2	CONTAINER
WALKERS LOW CATMINT	#2	CONTAINER
ROYAL STANDARD HOSTA	#2	CONTAINER

Tighe&Bond



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

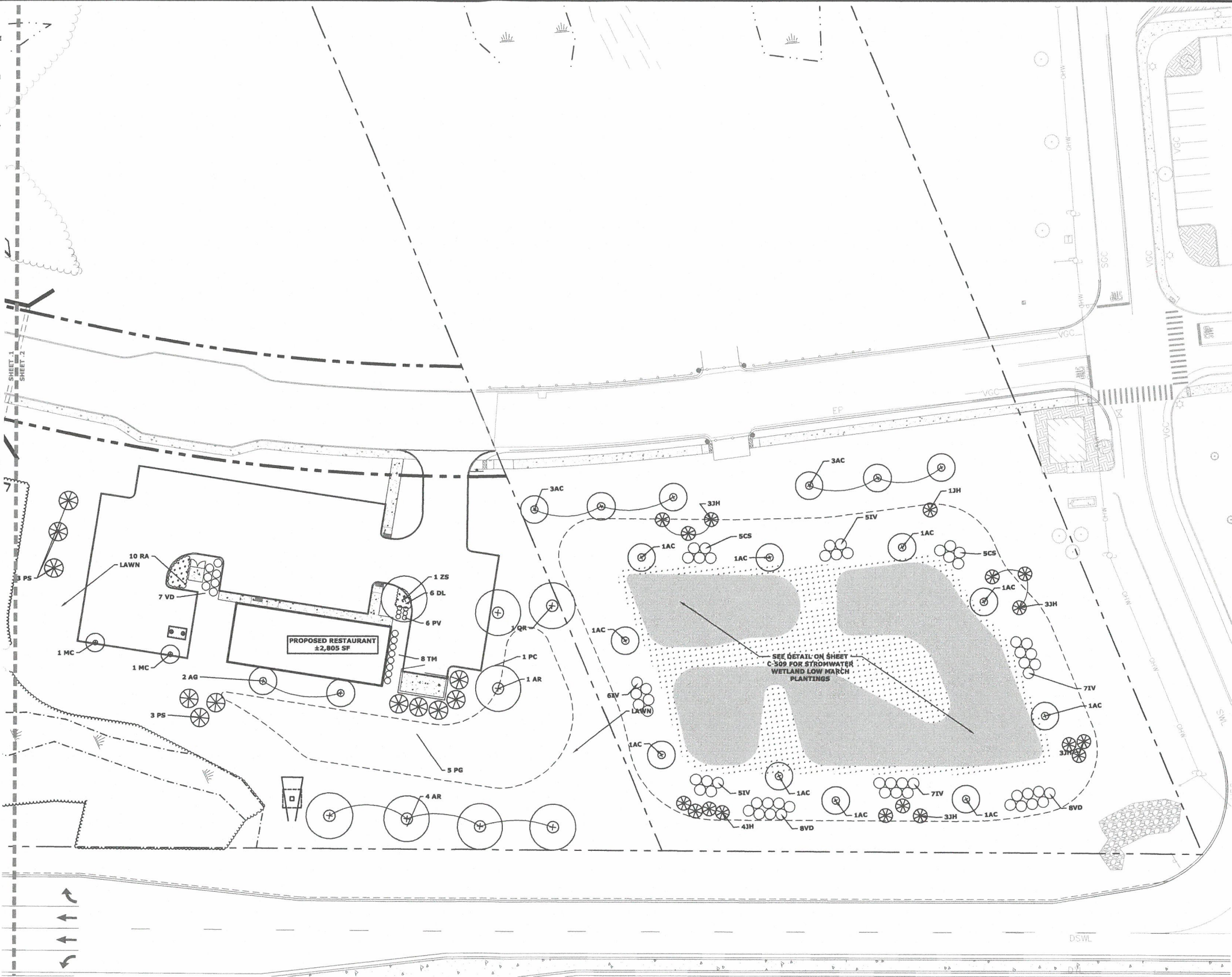
PHASE IIA  
LANDSCAPE PLAN

SCALE: AS SHOWN

C-105.1

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES'.
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLAN IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.



PLANT SCHEDULE:

TREES:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
GT	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER	3-3 1/2" CALIPER	B & B
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	3-3 1/2" CALIPER	B & B
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3-3 1/2" CALIPER	B & B
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3-3 1/2" CALIPER	B & B
QR	QUERCUS RUBRA	RED OAK	3-3 1/2" CALIPER	B & B
AR	ACER RUBRUM	RED MAPLE	3-3 1/2" CALIPER	B & B
AG	AMALANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2-3" CALIPER	B & B (SINGLE STEM)
MC	MALUS CENTURION	CENTURION CRABAPPLE	2 1/2-3" CALIPER	B & B
PG	PICEA GLAUCA	WHITE SPRUCE	6-10' HT.	B & B
PS	PINUS STROBUS	WHITE PINE	6-10' HT.	B & B (SHEARED)
JC	JUNIPERUS CHINENSIS 'MOUNTBATTEN'	MOUNTBATTEN JUNIPER	7-8' HT	B & B
MS	MAGNOLIA STELLATA	STAR MAGNOLIA	7-8' HT	B & B
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6'	B & B

SHRUBS:

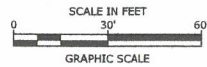
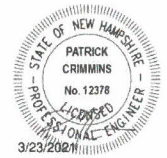
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SB	SPIREA BUNALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	#3	CONTAINER
SM	SYRINGA MEYER 'PALIBIN'	DWARF KOREAN LILAC	#5	CONTAINER
VD	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	#5	CONTAINER
FN	FORSYTHIA 'NORTHERN GOLD'	NORTHERN GOLD FORSYTHIA	#5	CONTAINER
RA	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	#3	CONTAINER
CS	CORNUS SERICEA 'ALLEMAN'S COMPACT'	ALLEMAN'S RED STEM DOGWOOD	#5	CONTAINER
JP	JUNIPERUS CHINENSIS 'SEAGREEN'	SEAGREEN JUNIPER	#5	CONTAINER
JPC	JUNIPERUS PFTZERIANA 'COMPACTA'	COMPACT PFTZER JUNIPER	#3	CONTAINER
TM	TAXUS MEDIA 'TAUNTONII'	TAUNTON YEW	#5	CONTAINER
RK	ROSA KNOCKOUT	KNOCKOUT ROSE	#3	CONTAINER
VA	VIBURNUM CARLESI 'AURORA'	AURORA MAYFLOWER	5 GAL	CONTAINER
JH	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	2 GAL	CONTAINER

GROUNDCOVERS & PERENNIALS:

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PV	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#3	CONTAINER
CF	CALAMAGROSTIS 'KARL FORSTER'	FEATHER REED GRASS	#3	CONTAINER
JS	JUNIPERUS CHINENSIS 'SARGENT'	GREEN SARGENT JUNIPER	#3	CONTAINER
DL	HEMEROCALLIS 'STELLA DORO'	STELLA DORO DAYLILY	#2	CONTAINER
RG	RUDBECKIA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	#2	CONTAINER
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2	CONTAINER
SP	SEDUM PURPUREUM 'VERA JAMESON'	VERA JAMESON SEDUM	#2	CONTAINER
NW	NEPETA 'WALKERS LOW'	WALKERS LOW CATMINT	#2	CONTAINER
H	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	#2	CONTAINER

COMMON NAME	SIZE	REMARKS
SHENANDOAH SWITCH GRASS	#3	CONTAINER
FEATHER REED GRASS	#3	CONTAINER
GREEN SARGENT JUNIPER	#3	CONTAINER
STELLA DORO DAYLILY	#2	CONTAINER
GOLDSTURM BLACK EYED SUSAN	#2	CONTAINER
PURPLE CONEFLOWER	#2	CONTAINER
VERA JAMESON SEDUM	#2	CONTAINER
WALKERS LOW CATMINT	#2	CONTAINER
ROYAL STANDARD HOSTA	#2	CONTAINER

Tighe & Bond



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

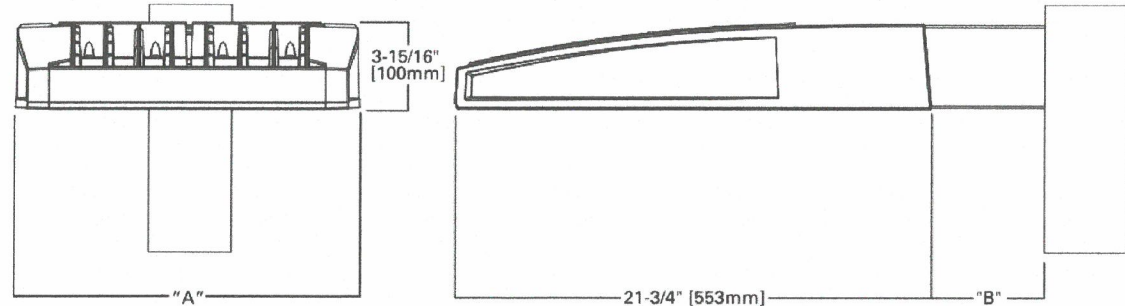
PHASE IIA  
LANDSCAPE PLAN

SCALE: AS SHOWN

C-105.2

Last Save Date: March 22, 2021 4:28 PM BY: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langdon  
T&B File Location: J:\WV\5008 Waterstone Retail\004 - Ridge Markplaces Phase 2\Drawings Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: Photo-1

#### DIMENSIONS

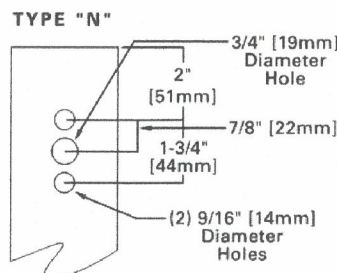


#### DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length 1	Weight with Arm (lbs.)	EPA with Arm 2 (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

#### DRILLING PATTERN



StatArea 2  
CENTER PARKING LOT AREA  
Illuminance (Fc)  
Average = 1.82  
Maximum = 4.1  
Minimum = 0.5  
Avg/Min Ratio = 3.64  
Max/Min Ratio = 8.20

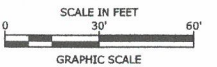
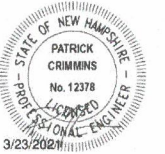
StatArea 3  
SOUTHERN COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.07  
Maximum = 3.9  
Minimum = 0.6  
Avg/Min Ratio = 3.45  
Max/Min Ratio = 6.50

StatArea 4  
CENTER COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.32  
Maximum = 4.3  
Minimum = 0.7  
Avg/Min Ratio = 3.31  
Max/Min Ratio = 6.14

StatArea 5  
NORTHERN COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.18  
Maximum = 4.1  
Minimum = 0.6  
Avg/Min Ratio = 3.63  
Max/Min Ratio = 6.83

Symbol	Qty	Label	Arrangement	Description
[Symbol]	14	P3	SINGLE	GLEON-AF-01-LED-E1-SL3 / SSS4A17.5SFN1 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	5	P4	SINGLE	GLEON-AF-01-LED-E1-SL4 / SSS4A17.5SFN1 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	7	P5-2	BACK-BACK	GLEON-AF-01-LED-E1-SWQ / SSS4A20SFN2 (20' AFG)
[Symbol]	84	S4	SINGLE	GLEON-AF-02-LED-E1-SL4-HSS / SSS4A20SFN1 (20' AFG)
[Symbol]	5	S5-2	BACK-BACK	GLEON-AF-02-LED-E1-SWQ / SSS4A20SFN2 (20' AFG)
[Symbol]	4	S5-2-P	BACK-BACK	GLEON-AF-02-LED-E1-SWQ / SSS4A17.5SFN2 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	11	W1	SINGLE	GWC-AF-01-LED-E1-SL3-600 / WALL MTD 12' AFG
[Symbol]	10	W3	SINGLE	GWC-AF-01-LED-E1-SL3 / WALL MTD 20' AFG
[Symbol]	9	W4	SINGLE	GWC-AF-01-LED-E1-SL4 / WALL MTD 20' AFG

Tighe&Bond



## Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

B	3/23/2021	Site Plan Review Submission
A	2/23/2021	Amended Site Plan Review Submission

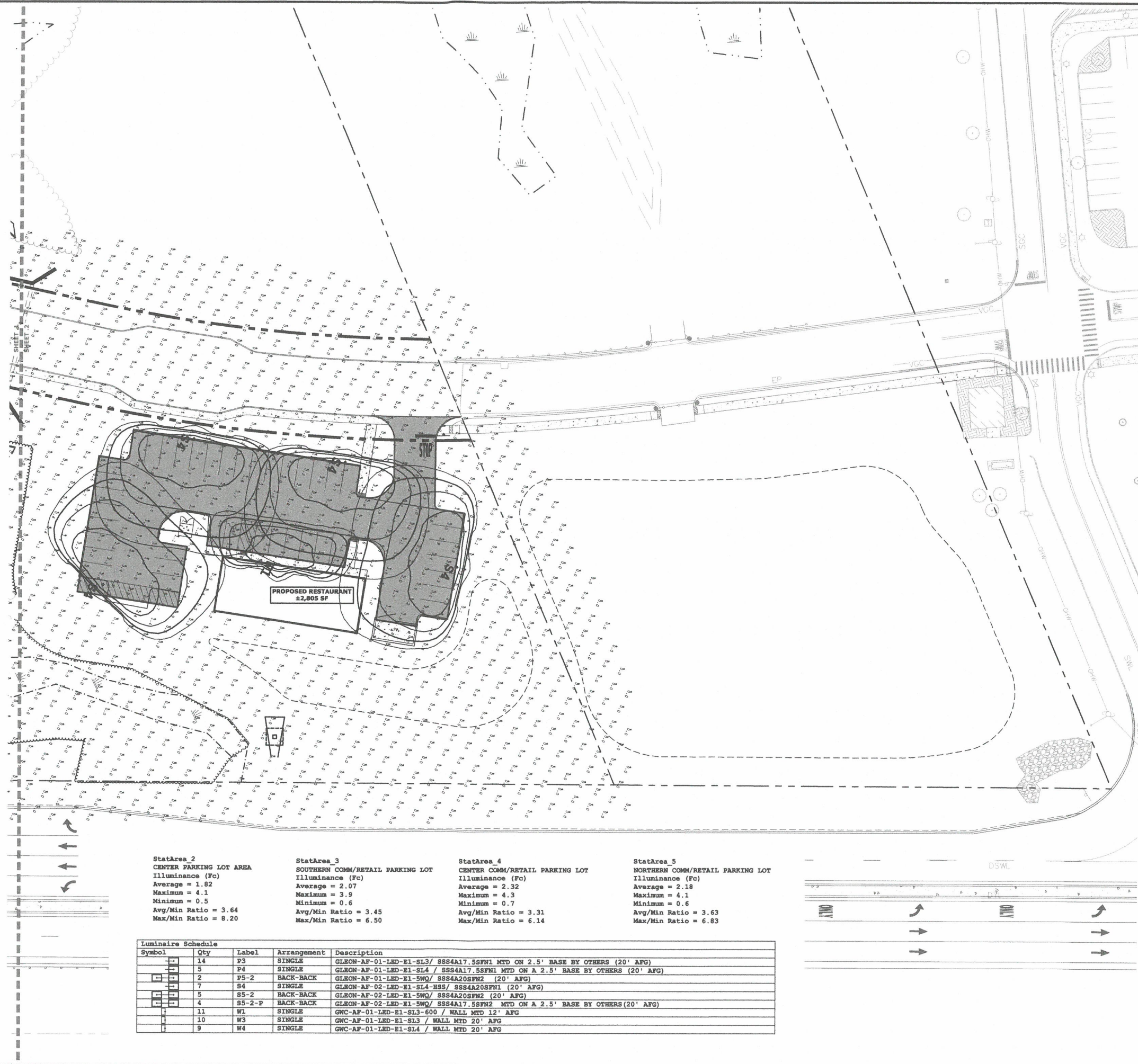
MARK	DATE	DESCRIPTION
PROJECT NO:	W5008-004	
DATE:	11/25/2019	
FILE:	W5008-004_DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

### PHASE IIA PHOTOMETRICS PLAN

SCALE: AS SHOWN

C-106.1

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&B File Location: J:\W\W5008 Waterside Retail\004 - Ridge Marketplace Phase 2\Drawings- Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: Photo-2



StatArea 2  
CENTER PARKING LOT AREA  
Illuminance (Fc)  
Average = 1.62  
Maximum = 4.1  
Minimum = 0.5  
Avg/Min Ratio = 3.64  
Max/Min Ratio = 8.20

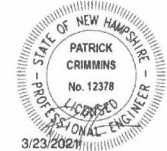
StatArea 3  
SOUTHERN COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.07  
Maximum = 3.9  
Minimum = 0.6  
Avg/Min Ratio = 3.45  
Max/Min Ratio = 6.50

StatArea 4  
NORTHERN COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.32  
Maximum = 4.3  
Minimum = 0.7  
Avg/Min Ratio = 3.31  
Max/Min Ratio = 6.14

StatArea 5  
NORTHERN COMM/RETAIL PARKING LOT  
Illuminance (Fc)  
Average = 2.18  
Maximum = 4.1  
Minimum = 0.6  
Avg/Min Ratio = 3.63  
Max/Min Ratio = 6.83

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
[Symbol]	14	P3	SINGLE	GLEON-AF-01-LED-E1-SL3 / SSS4A17.5SFN1 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	5	P4	SINGLE	GLEON-AF-01-LED-E1-SL4 / SSS4A17.5SFN1 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	2	P5-2	BACK-BACK	GLEON-AF-01-LED-E1-5WQ / SSS4A20SFN2 (20' AFG)
[Symbol]	7	S4	SINGLE	GLEON-AF-02-LED-E1-SL4-HSS / SSS4A20SFN1 (20' AFG)
[Symbol]	5	S5-2	BACK-BACK	GLEON-AF-02-LED-E1-5WQ / SSS4A20SFN2 (20' AFG)
[Symbol]	4	S5-2-P	BACK-BACK	GLEON-AF-02-LED-E1-5WQ / SSS4A17.5SFN2 MTD ON A 2.5' BASE BY OTHERS (20' AFG)
[Symbol]	11	W1	SINGLE	GWC-AF-01-LED-E1-SL3-600 / WALL MTD 12' AFG
[Symbol]	10	W3	SINGLE	GWC-AF-01-LED-E1-SL3 / WALL MTD 20' AFG
[Symbol]	9	W4	SINGLE	GWC-AF-01-LED-E1-SL4 / WALL MTD 20' AFG

Tighe&Bond



SCALE IN FEET  
0 30' 60'  
GRAPHIC SCALE

## Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

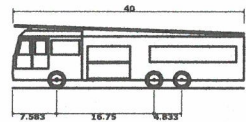
MARK	DATE	DESCRIPTION
B	3/23/2021	Site Plan Review Submission
A	2/23/2021	Amended Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

### PHASE IIA PHOTOMETRICS PLAN

SCALE: AS SHOWN

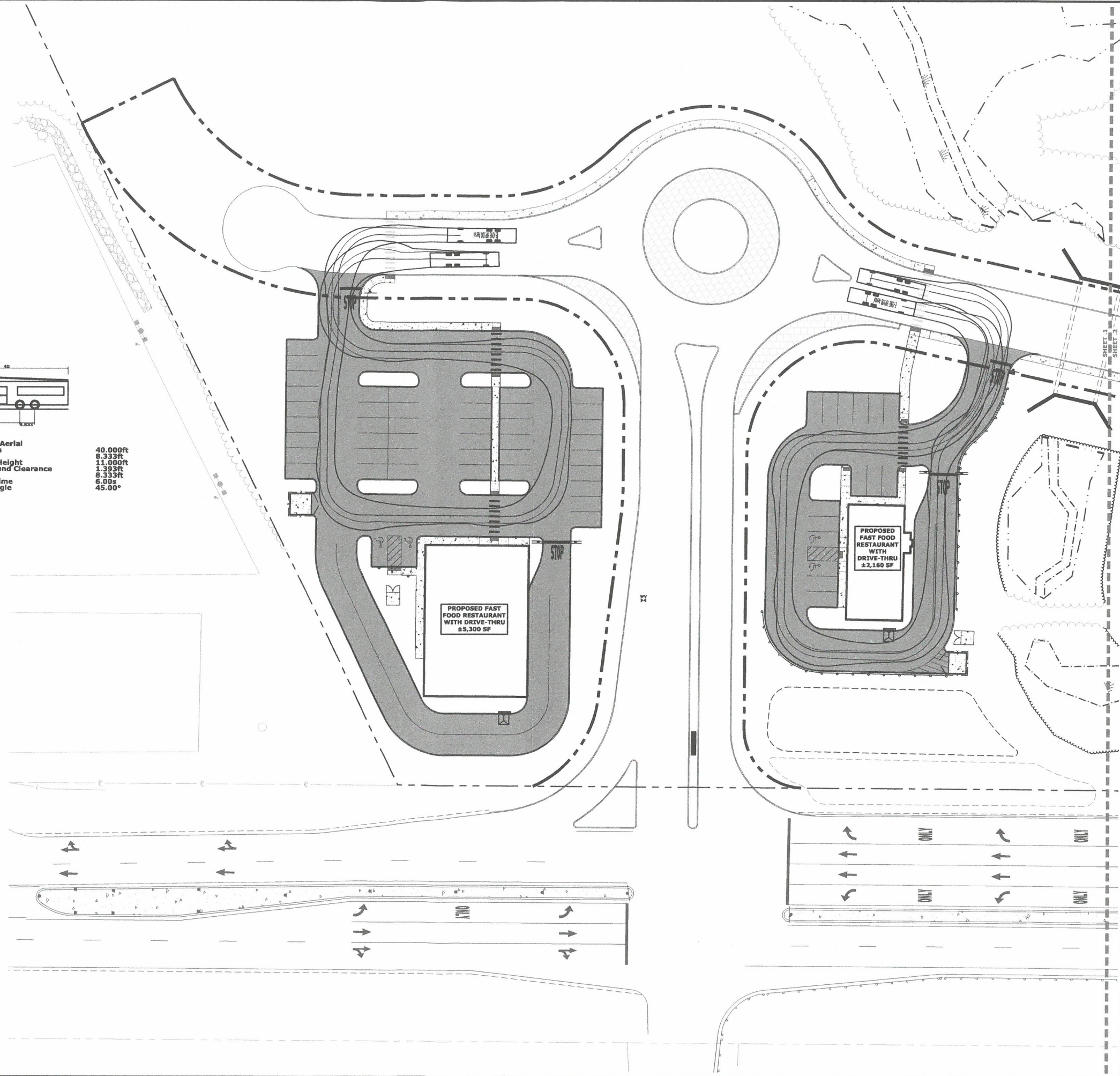
C-106.2

Last Save Date: March 22, 2021 4:28 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
Title File Location: J:\V\W5008 Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: Truck-1

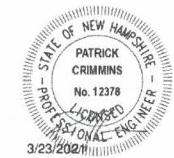
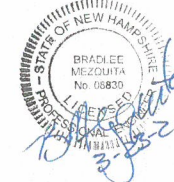


E-ONE HP100 Aerial  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

40.00ft  
8.33ft  
11.00ft  
1.39ft  
8.33ft  
6.00s  
45.00°



Tighe&Bond



SCALE IN FEET  
0 30 60  
GRAPHIC SCALE

## Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
B	3/23/2021	Site Plan Review Submission
A	2/23/2021	Amended Site Plan Review Submission

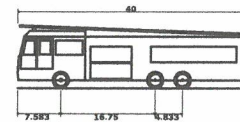
PROJECT NO:	W5008-004
DATE:	11/25/2019
FILE:	W5008-004_DSGN.DWG
DRAWN BY:	CML
CHECKED:	PMC
APPROVED:	BLM

### PHASE IIA TRUCK TURNING PLAN

SCALE: AS SHOWN

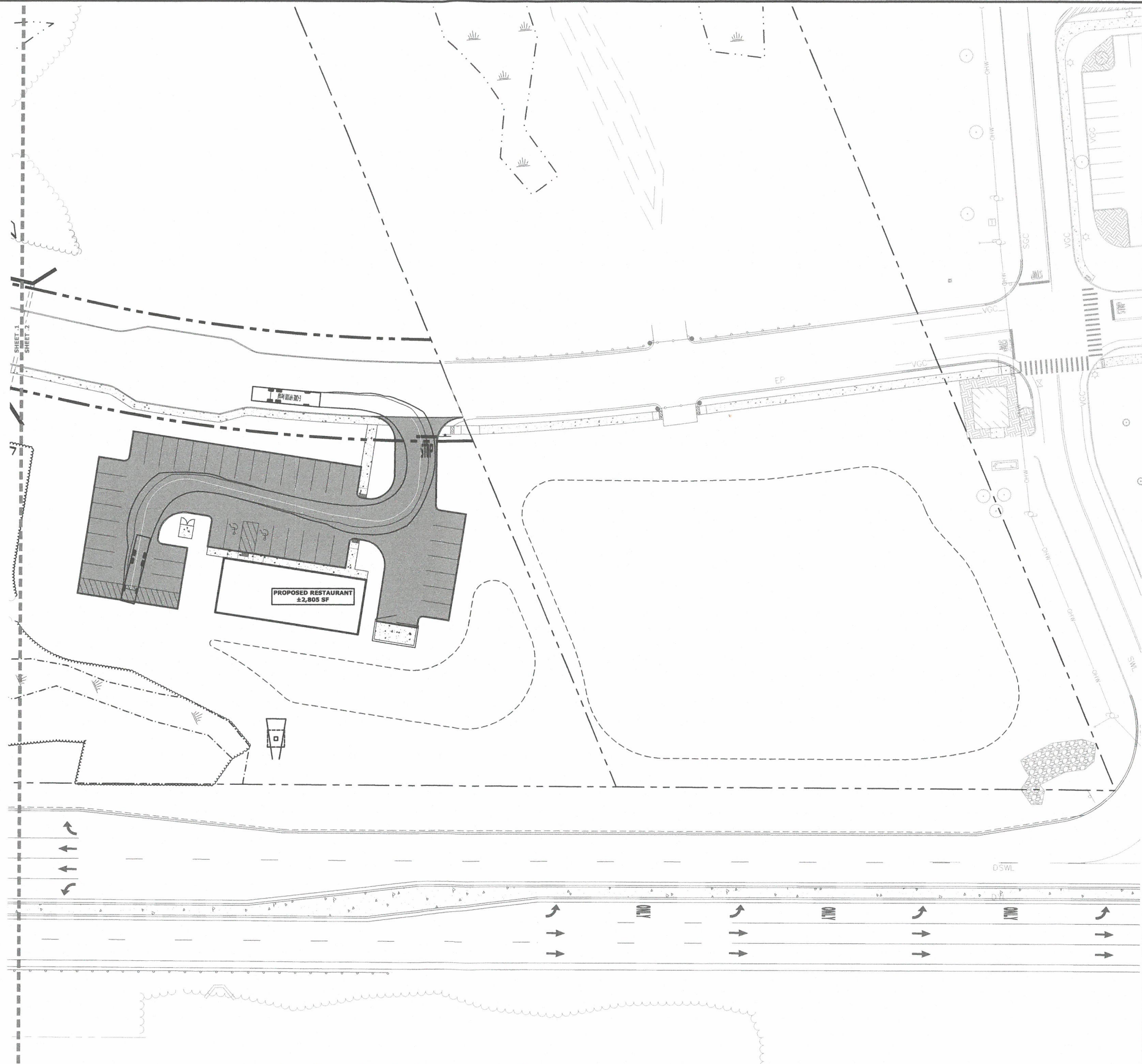
C-107.1

Last Save Date: March 22, 2021, 4:28 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
TSS File Location: J:\W5008 Waterstones Retail\004 - Ridge Marketplace Phase 2\Drawings - Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: Truck-2

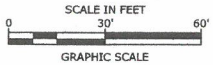
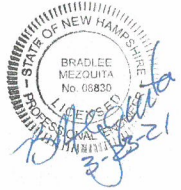


E-ONE HP100 Aerial  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Wheel Angle

40.000ft  
8.333ft  
11.000ft  
1.393ft  
8.333ft  
6.00s  
45.00°



Tighe & Bond



# Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

B	3/23/2021	Site Plan Review Submission
A	2/23/2021	Amended Site Plan Review Submission
MARK	DATE	DESCRIPTION
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		
PHASE IIA TRUCK TURNING PLAN		
SCALE: AS SHOWN		
C-107.2		

GENERAL PROJECT INFORMATION

PROJECT OWNER: FARMINGTON ASSOCIATES, LLC  
322 RESERVOIR STREET  
NEEDHAM, MA 02494

PROJECT NAME: PROPOSED COMMERCIAL DEVELOPMENT  
PROJECT ADDRESS: 60 FARMINGTON ROAD  
ROCHESTER, NH 03867

PROJECT MAP / LOT: MAP 216 / LOTS 8, 9, 10  
PROJECT LATITUDE: 43°-19'-45"N  
PROJECT LONGITUDE: 71°-00'-18"W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A COMMERCIAL DEVELOPMENT WITH ASSOCIATED PARKING, DRAINAGE, UTILITIES, LANDSCAPING AND A NEW FRONTAGE ROAD CONSISTENT WITH THE CITY OF ROCHESTER'S MASTER PLAN.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY ±25.0 ACRES.

SOIL CHARACTERISTICS

BASED ON SITE SPECIFIC SOIL SURVEY CONDUCTED BY NHSC, INC. THE SITE CONSISTS MAINLY OF MODERATELY WELL TO POORLY DRAINED SOILS WITH HYDROLOGIC SOIL GROUPS A, B, C, AND D.

NAME OF RECEIVING WATERS

THE STORM WATER RUNOFF WILL BE DISCHARGED VIA OVERLAND FLOW TO UNNAMED STREAM WHICH ULTIMATELY FLOWS TO THE COCHECO RIVER.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- CUT AND CLEAR TREES.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
  - NEW CONSTRUCTION
  - DEVELOPMENT OF BORROW PIT AREAS
  - DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE
  - FLOOD PLAIN EXCAVATION WORK
  - STREAM CHANNEL MODIFICATIONS
  - CONTROL OF DUST
  - CONSTRUCTION OF ACCESS AND HAUL ROAD
  - NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
  - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES:

- THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE. - THIS NOTE IS APPLICABLE TO SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

STABILIZATION:

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
  - IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
- WINTER STABILIZATION PRACTICES:
  - ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
  - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

- AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
  - TEMPORARY SEEDING;
  - MULCHING.
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

STOCKPILES:

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING:

- THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- TEMPORARY GRASS COVER:
  - SEEDBED PREPARATION:
    - APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
  - SEEDING:
    - UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
    - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
    - APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
  - MAINTENANCE:
    - TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- PERMANENT MEASURES AND PLANTINGS:
  - LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
  - FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
  - SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
  - SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
  - HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
  - THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE WEEDS REMOVED;
  - THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
  - A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEED MIX	APPLICATION RATE
CREeping RED FESCUE	50 LBS/ACRE
KENTUCKY BLUEGRASS	100 LBS/ACRE
PERRENIAL RYE GRASS	50 LBS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
  - FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
  - THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
  - IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
  - CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
  - INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- UNCONTAMINATED EXCAVATION DEWATERING;
- LANDSCAPE IRRIGATION.

WASTE DISPOSAL:

- WASTE MATERIAL:
  - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
  - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
  - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE:
  - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE:
  - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
  - GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
    - ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
    - ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
    - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
    - THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
    - SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
    - WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
    - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
  - HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
    - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
    - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
    - SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
  - PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
    - PETROLEUM PRODUCTS:
      - ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
      - PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
      - SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
      - INSPECT FUEL STORAGE AREAS WEEKLY;
      - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
      - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
      - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
    - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
      - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
      - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
      - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
      - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
      - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
    - FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES. THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.  
<https://www.des.nh.gov/organization/commissioner/pir/factsheets/dwgb/documents/dwgb-22-6.pdf>
  - FERTILIZERS:
    - FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
    - ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
    - STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
  - PAINTS:
    - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
    - EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
    - EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
  - SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
    - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
    - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;

- ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
- THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
- THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- VEHICLE FUELING AND MAINTENANCE PRACTICE:
  - CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
  - CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
  - IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
  - CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
  - CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
  - CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

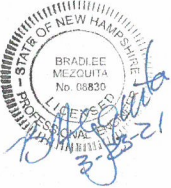
EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

- THIS PROJECT (DOES NOT) EXCEED(S) ONE (1) ACRE OF DISTURBANCE AND THUS (DOES NOT) REQUIRE(S) A SWPPP. THE SWPPP SHALL BE PREPARED BY THE ENGINEER (CONTRACTOR). THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON-SITE AT ALL TIMES.
- THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
  - OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE ENGINEER (CONTRACTOR) AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
  - AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
  - A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
  - IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

BLASTING NOTES:

- CONTRACTOR SHALL CONTACT THE NHDES PRIOR TO COMMENCING ANY BLASTING ACTIVITIES
- FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT:
  - A BLASTING PLAN THAT IDENTIFIES:
    - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
    - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
    - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES;
  - IF MORE THAN 5000 CUBIC YARDS OF BLAST ROCK WILL BE GENERATED AND THERE ARE ONE OR MORE PUBLIC DRINKING WATER WELLS WITHIN 2000 FEET OF THE BLASTING ACTIVITIES, A PLAN TO MONITOR GROUNDWATER TO DETECT ANY CONTAMINATION IN SUFFICIENT TIME TO PROTECT THE WATER SUPPLY WELLS SHALL BE PROVIDED TO THE NHDES. THE GROUNDWATER MONITORING PLAN SHALL INCLUDE:
    - MONITORING FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA:
      - THE GROUNDWATER SAMPLING PROGRAM MUST BE IMPLEMENTED ONCE APPROVED BY THE NHDES.
- THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:
  - LOADING PRACTICES - THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
    - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS;
    - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
    - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
    - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
    - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT;
    - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
  - EXPLOSIVE SELECTION - THE FOLLOWING BMPS SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION;
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER
    - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
  - MUCK PILES MANAGEMENT - MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
    - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE;
    - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
- SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT DURING BLASTING OPERATIONS. THE MEASURES TO PREVENT SUCH RELEASES SHALL BE DETAILED IN THE GROUNDWATER MONITORING REPORT AND COMPLY WITH THE MEASURES AND BEST MANAGEMENT PRACTICES LISTED ON THIS SHEET.

Tighe&Bond



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

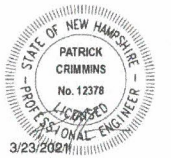
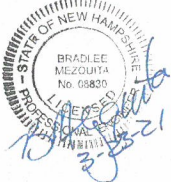
MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission

PROJECT NO:	W5008-004
DATE:	11/25/2019
FILE:	W5008-004_DTLS.DWG
DRAWN BY:	CML
CHECKED:	PMC
APPROVED:	BLM

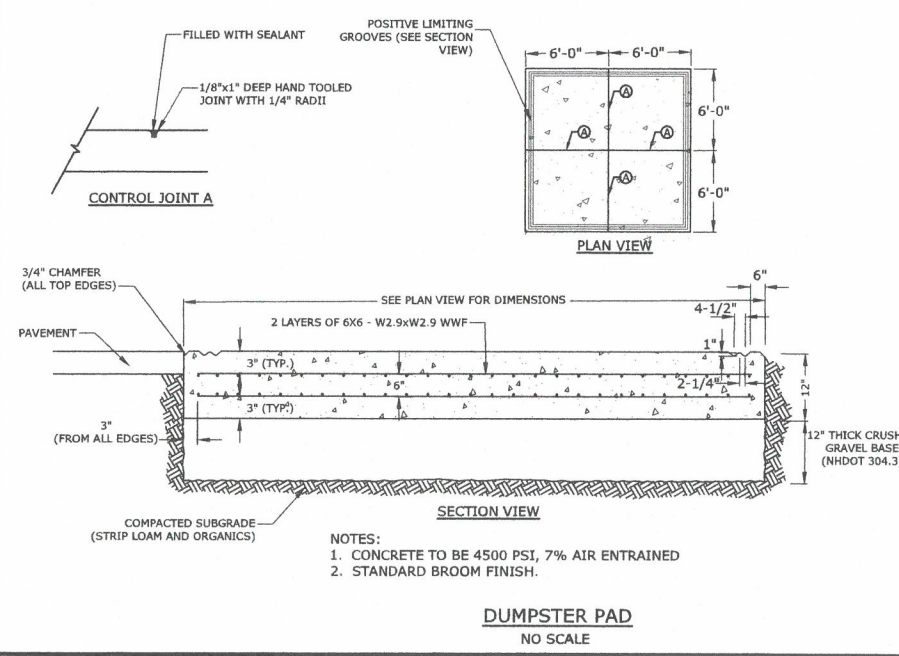
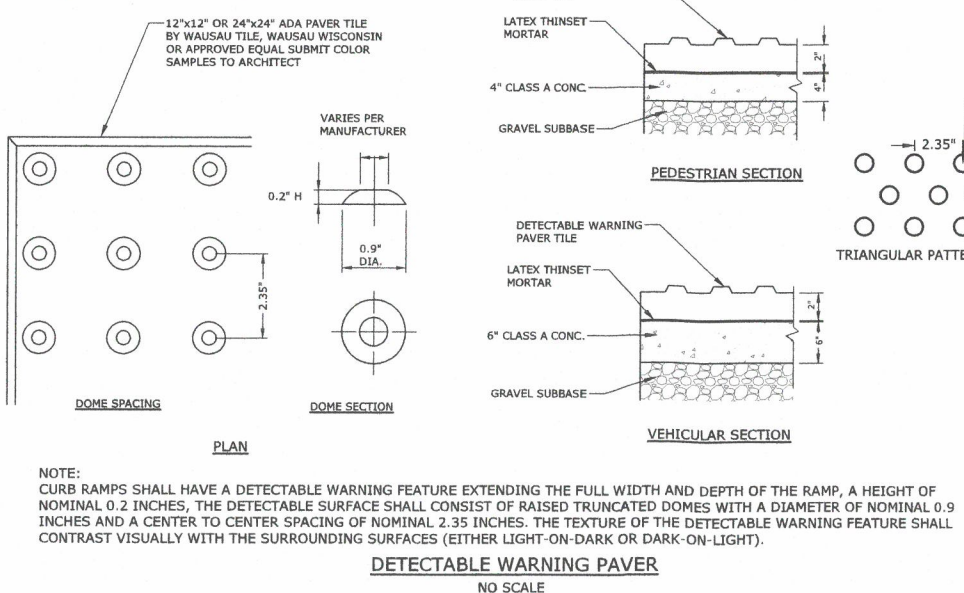
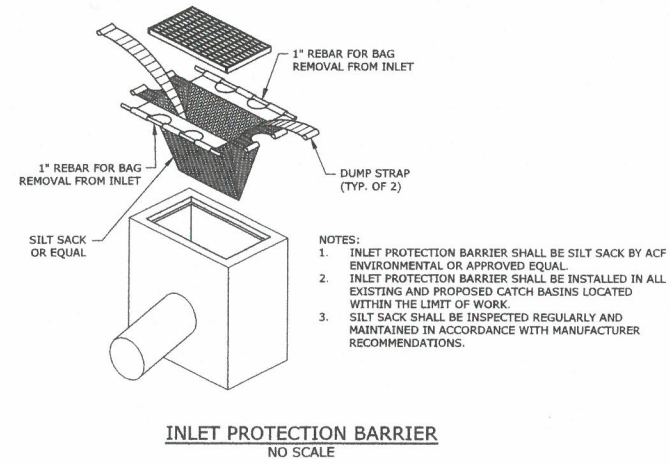
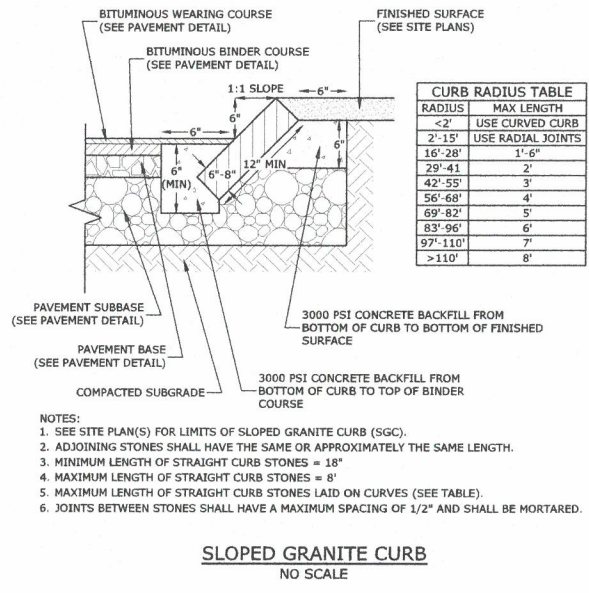
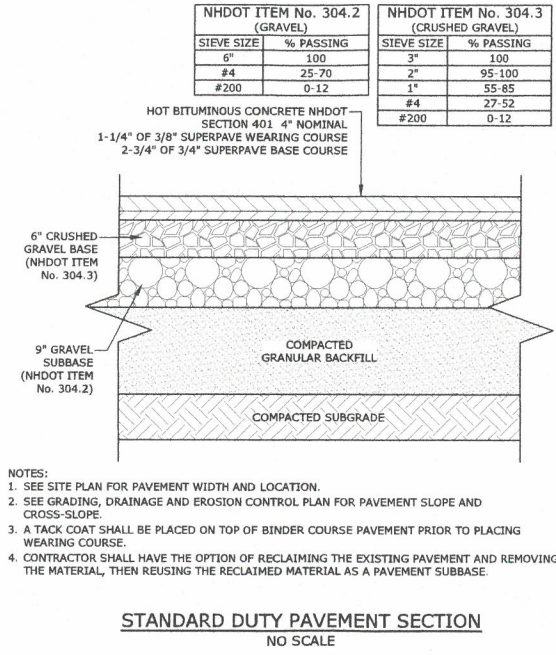
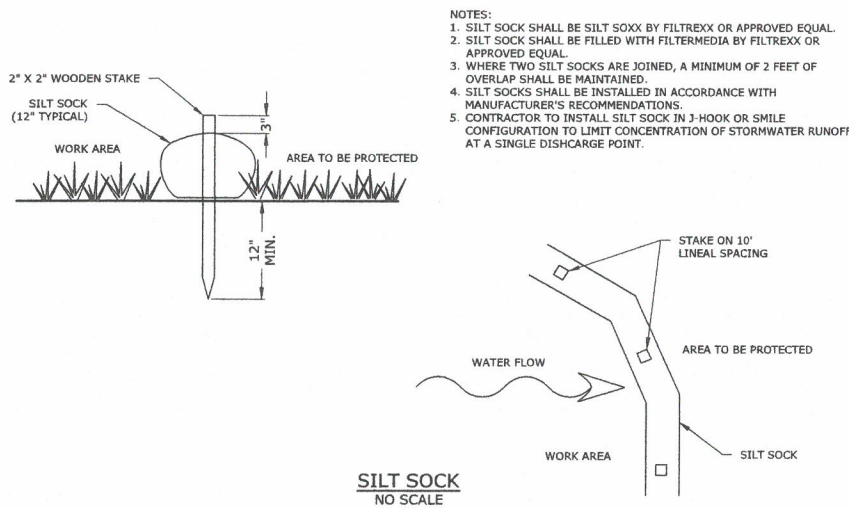
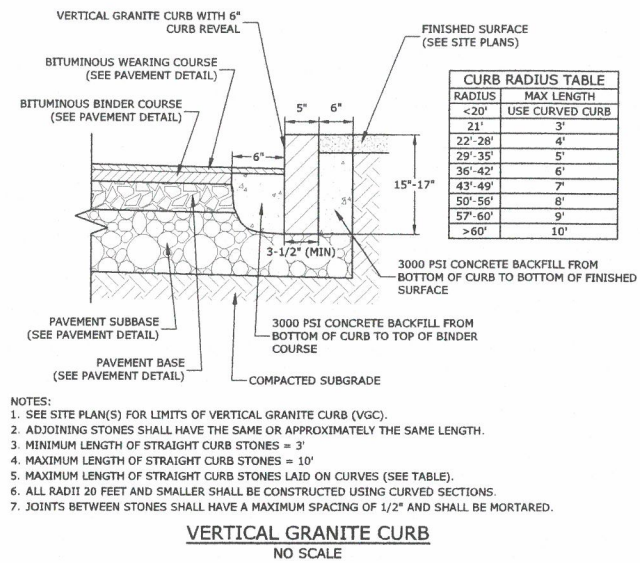
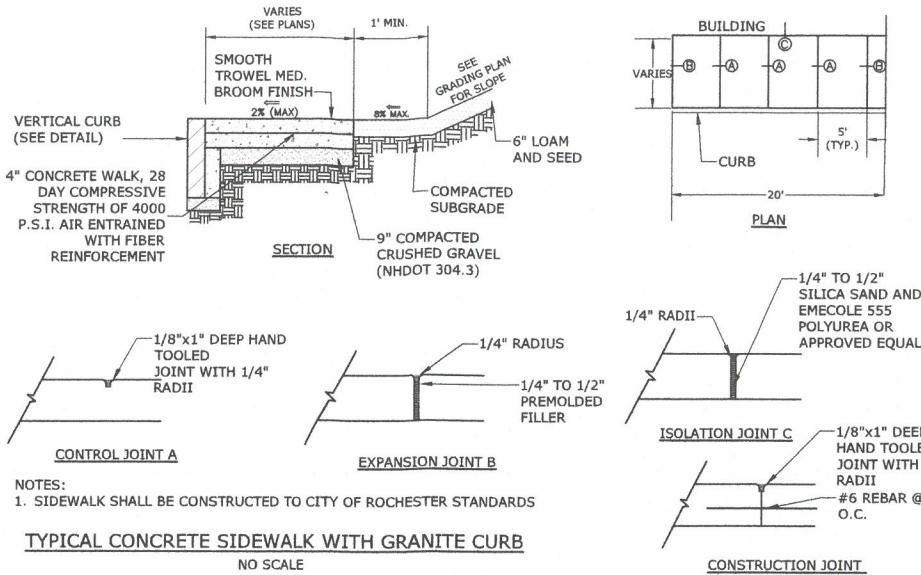
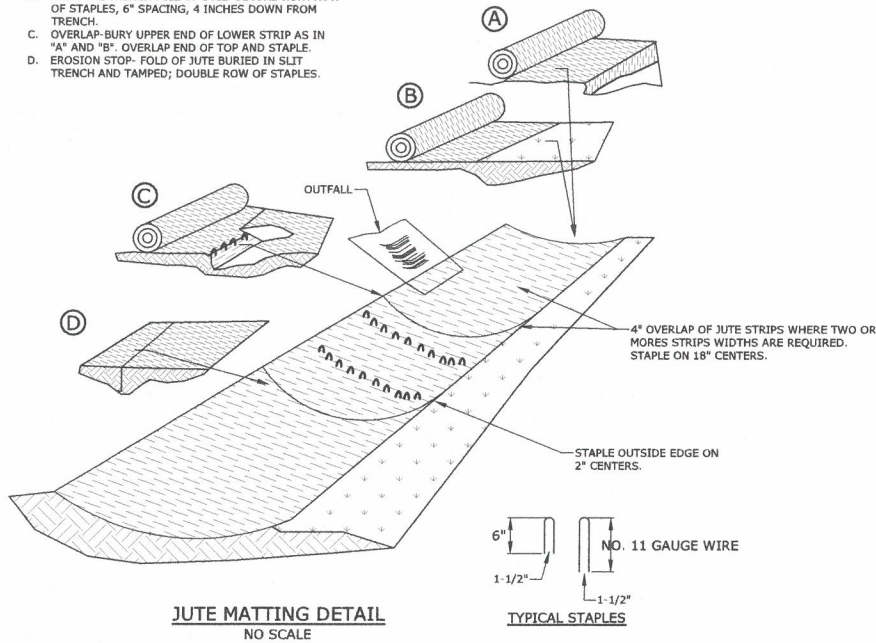
EROSION CONTROL, NOTES,  
& DETAILS SHEET

SCALE: AS SHOWN

C-501



- NOTES:  
A. BURY THE TOP END OF THE JUTE STRIPS IN A TRENCH 6" OR MORE IN DEPTH.  
B. TAMP THE TRENCH FULL OF SOIL. SECURE WITH ROW OF STAPLES, 6" SPACING, 4 INCHES DOWN FROM TRENCH.  
C. OVERLAP-BURY UPPER END OF LOWER STRIP AS IN "A" AND "B". OVERLAP END OF TOP AND STAPLE.  
D. EROSION STOP- FOLD OF JUTE BURIED IN SLIT TRENCH AND TAMPED; DOUBLE ROW OF STAPLES.



## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DTLS.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

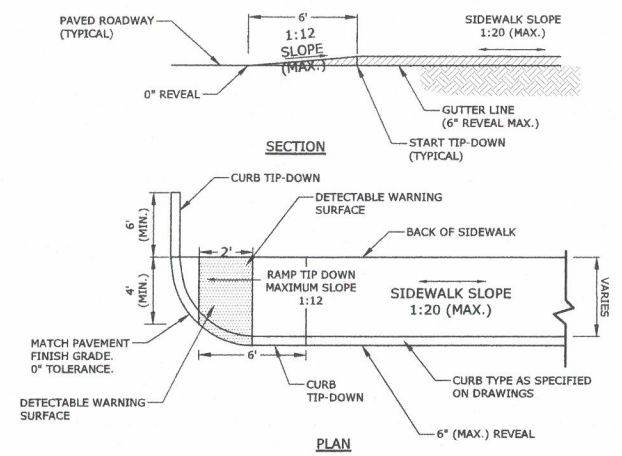
### DETAILS SHEET

SCALE: AS SHOWN

C-502

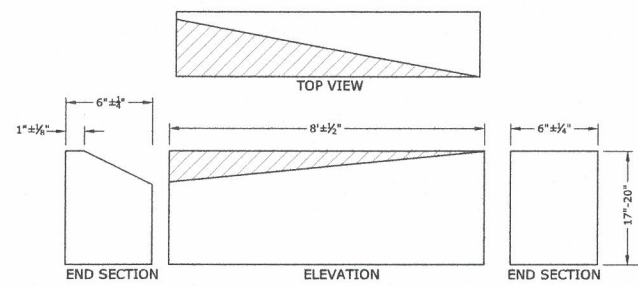


Last Save Date: March 22, 2021, 3:17 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&B File Location: J:\W5008 Waterstone Retail\004 - Ridge Mark\Place Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DTLs.dwg Layout Tab: C-504



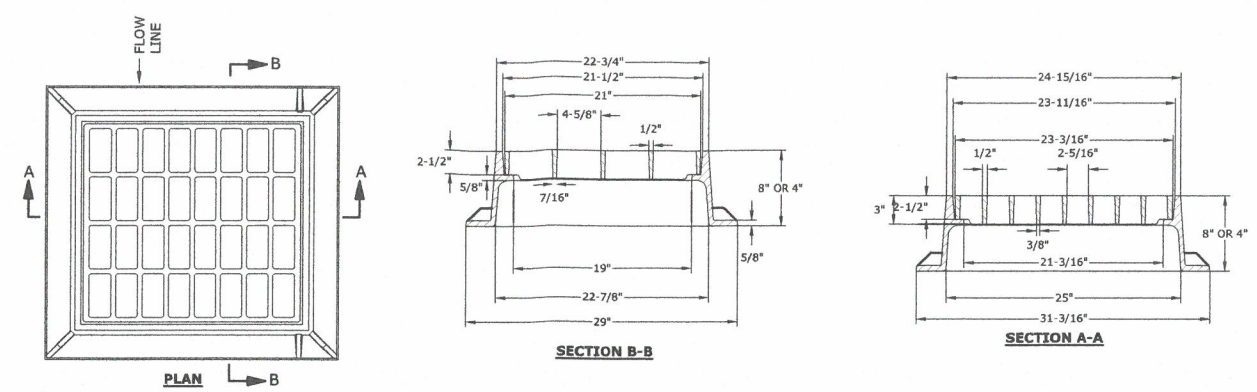
- NOTES:
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  2. PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
  3. DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

CONCRETE SIDEWALK TIP-DOWN RAMP  
NO SCALE



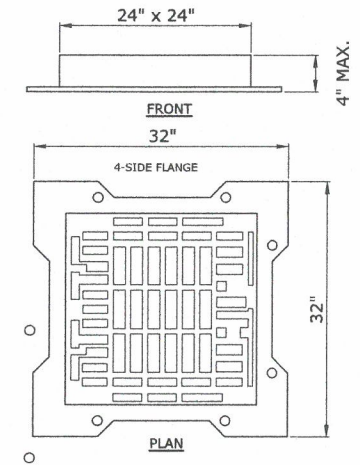
- NOTES:
1. THE INTENT OF THIS ITEM IS TO PROVIDE A SMOOTH TRANSITION BETWEEN STRAIGHT GRANITE CURB AND SLOPE CURB WITHOUT REQUIRING FIELD CHIPPING DURING INSTALLATION. THE SLOPE CURB MAY REQUIRE ADJUSTMENTS TO MEET THE TRANSITION PIECE HEIGHT. TRANSITION SLOPE CURB TO STANDARD REVEAL AS QUICKLY AS POSSIBLE TO PROVIDE FOR THIS SMOOTH TRANSITION.

CURB TRANSITION  
NO SCALE



- NOTES:
1. ALL DIMENSIONS ARE NOMINAL
  2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
    - a. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
    - b. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
    - c. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
  3. FRAME AVAILABLE IN 4" OR 8" HEIGHTS
  4. FREE OPEN AREA = 2.55 SQ. FT.
  5. USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.

CATCH BASIN FRAME AND GRATE  
(NHDOT - TYPE "B" GRATE)  
NO SCALE



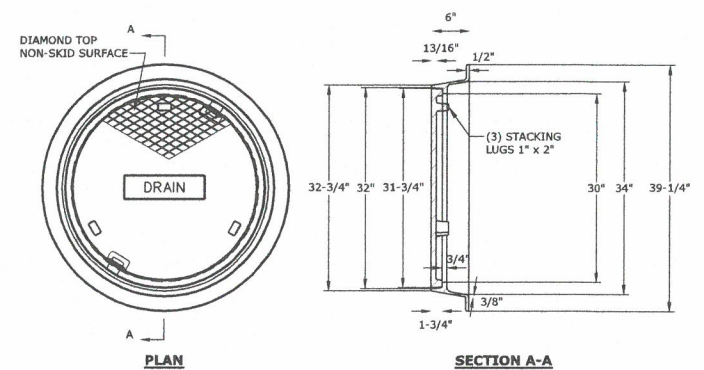
- NOTES:
1. FRAME AND GRATE SHALL BE REXUS HINGED GRATE OR APPROVED EQUAL.
  2. FRAME AND GRATE SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
  3. GRATE SHALL INCORPORATE A NON-CAPTIVE HINGE SYSTEM.
  4. GRATINGS SHALL BE ONE-MAN OPERABLE USING STANDARD TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A MINIMUM LOAD OF 100,000 LBS.
  5. GRATINGS SHALL INCORPORATE A SPRING BAR LOCK AS A DETERRENT TO ACCESS BY CHILDREN OR UNAUTHORIZED ADULTS. THE SPRING BAR LOCK SHOULD AUTOMATICALLY ACTIVATE WHEN THE GRATING IS PROPERLY CLOSED.
  6. GRATINGS SHALL BE NON-ROCKING AND SILENT IN USE.
  7. GRATINGS SHALL BE CAPABLE OF BEING FITTED WITH ADDITIONAL SECURITY DEVICES AFTER INSTALLATION.
  8. GRATINGS WILL FEATURE RAISED STUDS AND SLOTS LAYOUT FOR INCREASED HYDRAULIC PERFORMANCE AND PEDESTRIAN AND CYCLIST SAFETY.
  9. WATERWAY AREA SHALL NOT BE LESS THAN 290 SQUARE INCHES.
  10. FRAME DEPTH SHALL NOT EXCEED 4" AND FLANGES SHALL INCORPORATE BOLT HOLES.
  11. ALL COMPONENTS SHALL BE BLACK COATED.

REXUS CATCHBASIN FRAME AND GRATE  
NO SCALE

Model	A inches	E inches	H inches	O inches	Reference	Total Weight lbs	Cover Weight lbs
Non-ventilated	40	4 1/2	5	32	CDPABDEH	269	162

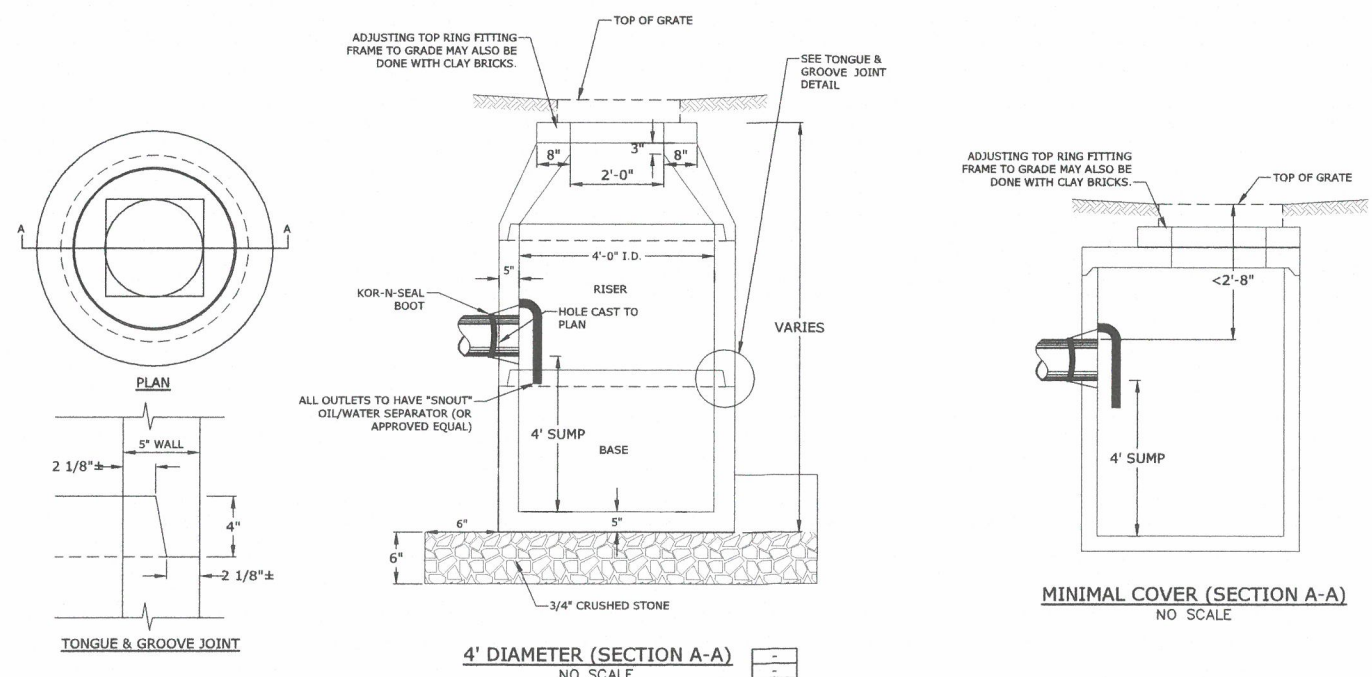
NOTE:  
PAMREX FRAME AND COVER SHALL BE USED WITHIN THE CITY OF ROCHESTER RIGHT-OF-WAY ONLY.

PAMREX 32-INCH MANHOLE FRAME AND COVER  
NO SCALE



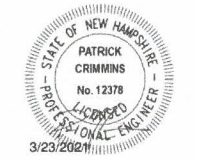
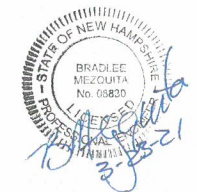
- NOTES:
1. ALL DIMENSIONS ARE NOMINAL.
  2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
    - a. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
    - b. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
    - c. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
  3. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER  
NO SCALE



- NOTES:
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).
  2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF WALL.
  3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
  4. RISERS OF 1', 2', 3', & 4' CAN BE USED TO REACH DESIRED DEPTH.
  5. THE STRUCTURES SHALL BE DESIGN FOR H2O LOADING.
  6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.

DEEP SUMP CATCHBASIN WITH OIL SEPARATOR  
NO SCALE



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

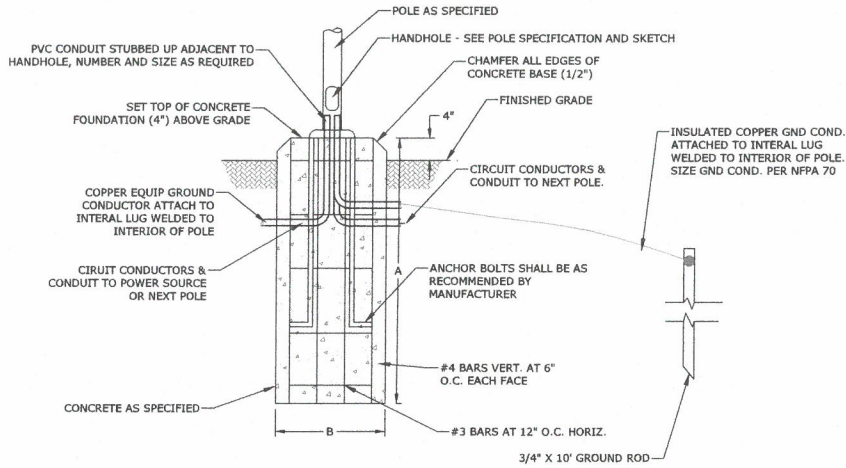
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DTLS.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

DETAILS SHEET

SCALE: AS SHOWN

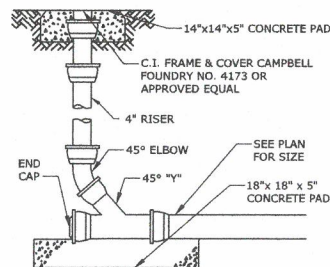
Last Save Date: March 22, 2021 3:17 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&B File Location: J:\V\W5008 Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings Figures AutoCAD\Sheet\W5008-004.DTL.dwg Layout Tab: C-505



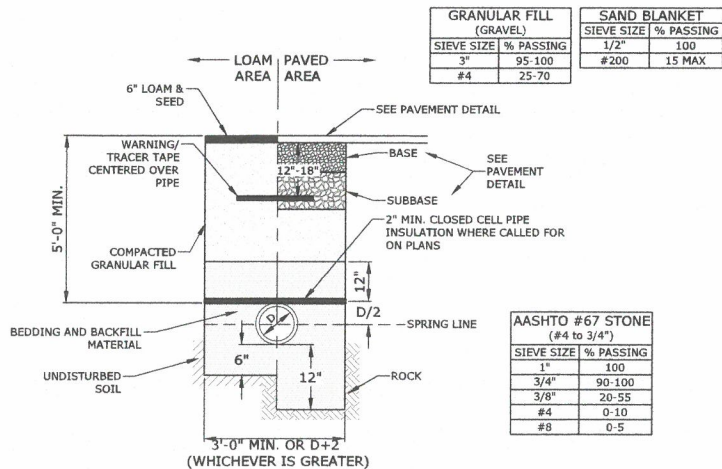
POLE HEIGHT	A	B
8'-12'	36"	12"
13'-20'	42"	16"
21'-25'	72"	24"

- NOTES:
1. ALL LIGHT POLES, LUMINAIRES, AND WIRE TO BE FURNISHED AND INSTALLED BY THE POWER COMPANY. UNLESS OTHERWISE DIRECTED.
  2. ANCHOR BOLTS, GROUND ROD & GROUND WIRE TO BE FURNISHED BY THE POWER COMPANY AND INSTALLED BY THE CONTRACTOR, UNLESS OTHERWISE DIRECTED.
  3. BOLT CIRCLE DIAMETER SHALL BE VERIFIED WITH THE POWER COMPANY.
  4. ALL BASES SHALL BE LOCATED 10'-0" (TO CENTER) FROM FACE OF CURB OR EDGE OF PAVED SHOULDER, UNLESS OTHERWISE NOTED.
  5. REINFORCEMENT SHALL CONFORM TO SECTION 544 OF THE STANDARD SPECIFICATIONS.
  6. ANY ANCHOR BOLTS DAMAGED DURING INSTALLATION SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER.
  7. UPON INSTALLATION, ANCHOR BOLT THREADS SHALL BE CLEANED WITH A WIRE BRUSH.
  8. TERRAIN SURROUNDING BASE MUST BE GRADED AS SHOWN IN DETAIL "A" TO PREVENT IMPACTING VEHICLES FORM SNAGGING ON BASE.

**LIGHT POLE BASE**  
NO SCALE



**CLEAN-OUT**  
NO SCALE

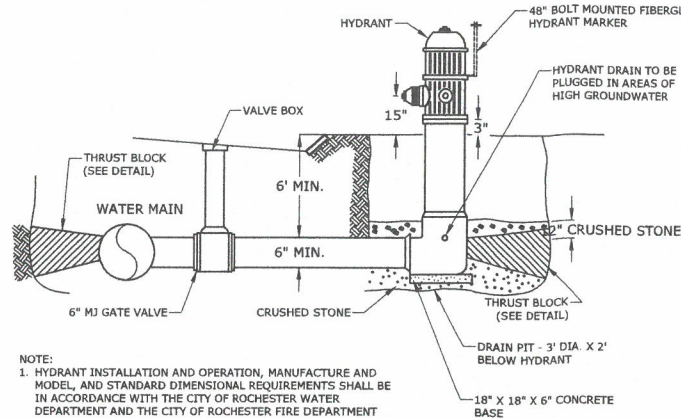


GRANULAR FILL (GRAVEL)			SAND BLANKET		
SIEVE SIZE	% PASSING		SIEVE SIZE	% PASSING	
3"	95-100		1/2"	100	
#4	25-70		#200	15 MAX	

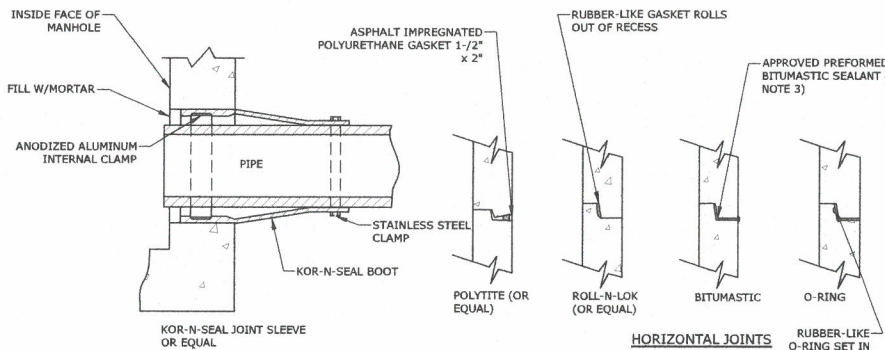
AASHTO #67 STONE (#4 to 3/4")		
SIEVE SIZE	% PASSING	
1"	100	
3/4"	90-100	
3/8"	20-55	
#4	0-10	
#8	0-5	

- NOTE:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF ROCHESTER.

**WATER TRENCH**  
NO SCALE

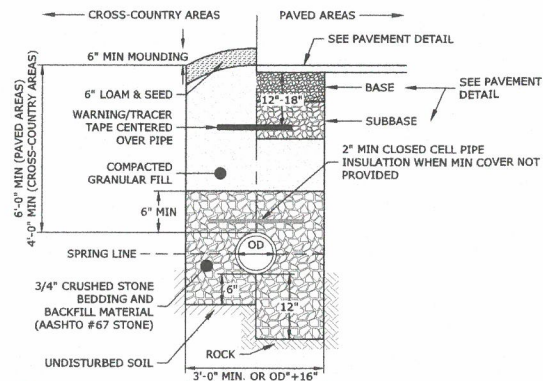


**FIRE HYDRANT**  
NO SCALE



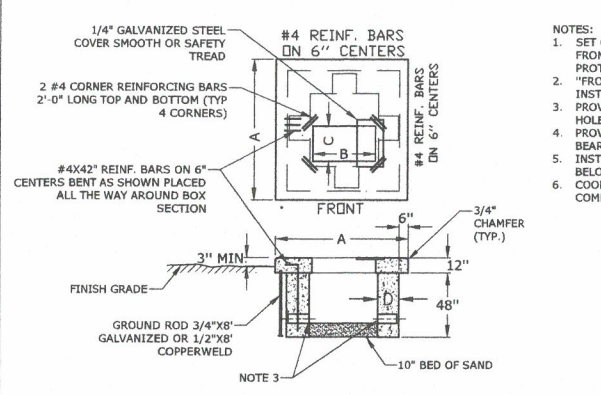
- NOTES:
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF ROCHESTER DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
  2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF ROCHESTER STANDARD.
  3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
  4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

**MANHOLE JOINTS**  
NO SCALE



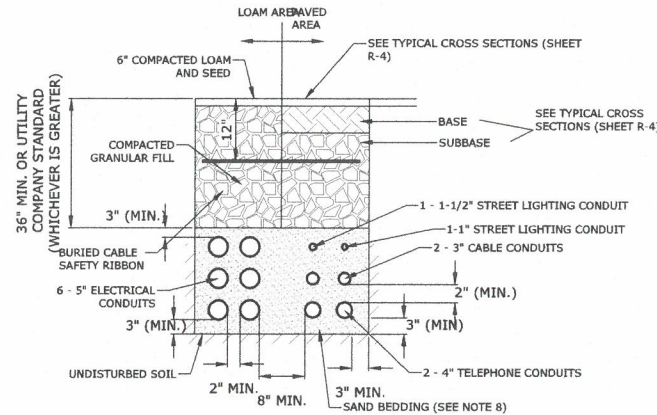
- NOTES:
1. 3/4" CRUSHED STONE BEDDING AND BACKFILL MATERIAL FOR FULL WIDTH OF THE TRENCH FROM MINIMUM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO MINIMUM OF 6" OVER THE TOP OF THE PIPE.
  2. SANITARY SEWER SHALL BE INSTALLED PER THE CITY DEPARTMENT OF PUBLIC WORKS STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF ROCHESTER.

**TYPICAL SEWER TRENCH**  
NO SCALE



**PRECAST CONCRETE TRANSFORMER PAD**  
NO SCALE

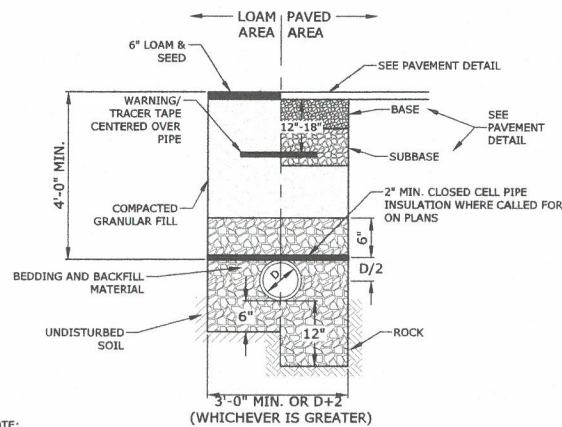
GRANULAR FILL (GRAVEL)			SAND BLANKET		
SIEVE SIZE	% PASSING		SIEVE SIZE	% PASSING	
3"	95-100		1/2"	100	
#4	25-70		#200	15 MAX	



AASHTO #67 STONE (#4 to 3/4")		
SIEVE SIZE	% PASSING	
1"	100	
3/4"	90-100	
3/8"	20-55	
#4	0-10	
#8	0-5	

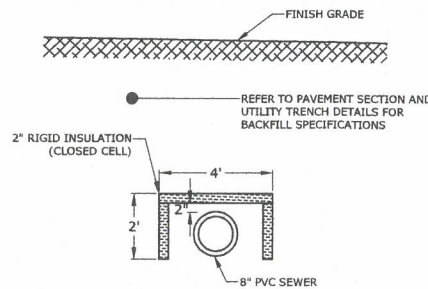
- NOTE:
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
  2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
  3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
  4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
  5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
  6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
  7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
  8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

**ELECTRICAL AND COMMUNICATION CONDUIT**  
NO SCALE



- NOTE:
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
  2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF ROCHESTER.

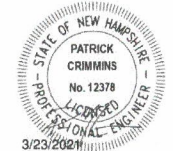
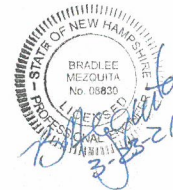
**STORM DRAIN TRENCH**  
NO SCALE



- NOTE:
1. INSTALLATION SHALL MEET THE STANDARDS OF THE CITY OF ROCHESTER.

**SEWER INSULATION DETAIL**  
NO SCALE

**Tighe&Bond**



## Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

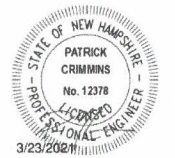
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004.DTL.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

DETAILS SHEET

SCALE: AS SHOWN

C-505



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

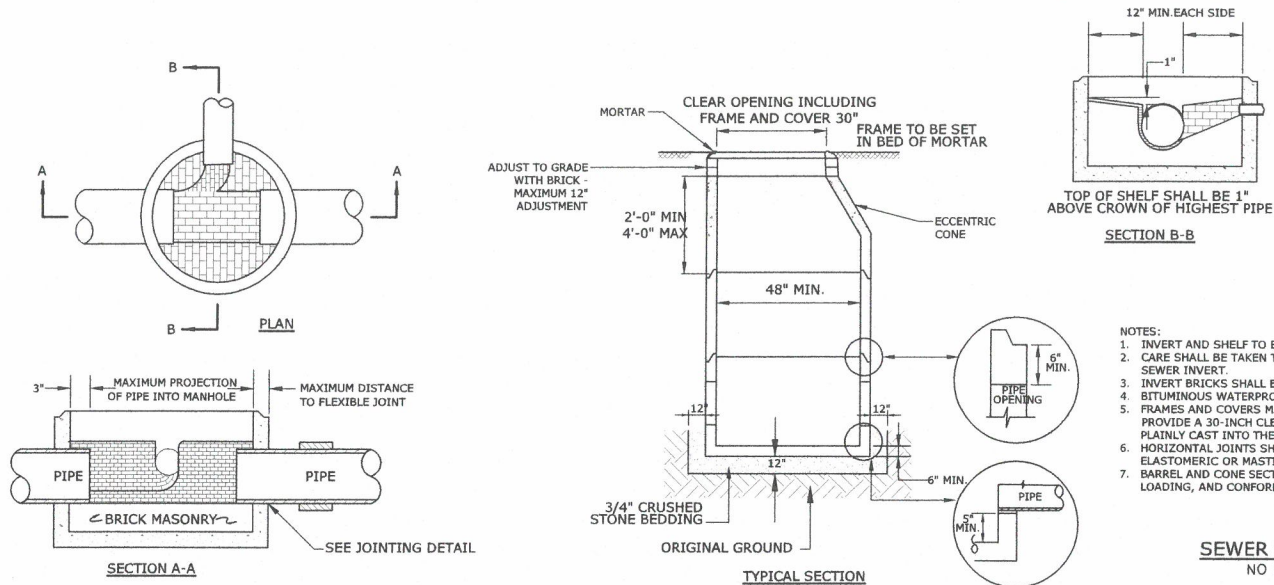
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO:	W5008-004	
DATE:	11/25/2019	
FILE:	W5008-004_DTLS.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

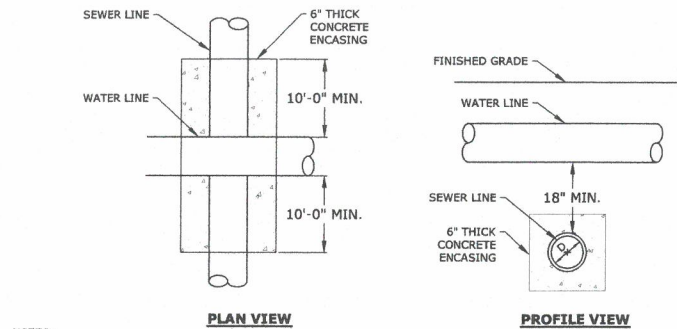
DETAILS SHEET

SCALE: AS SHOWN

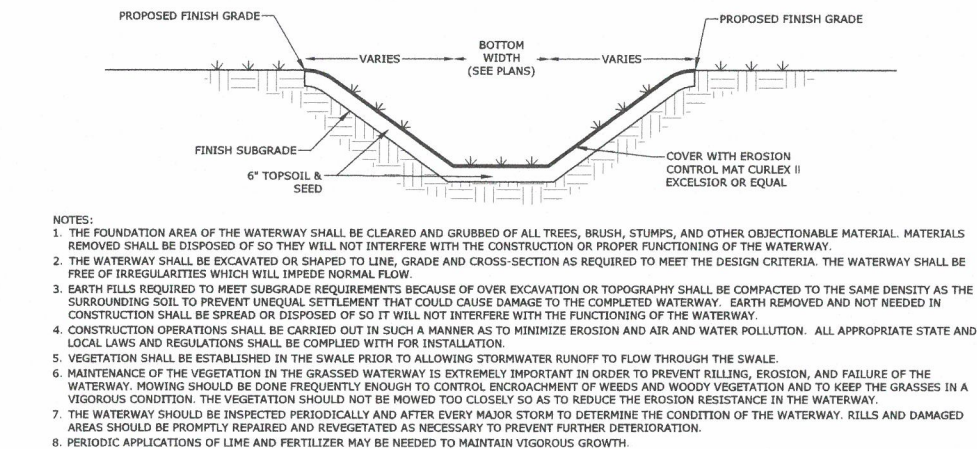
C-506



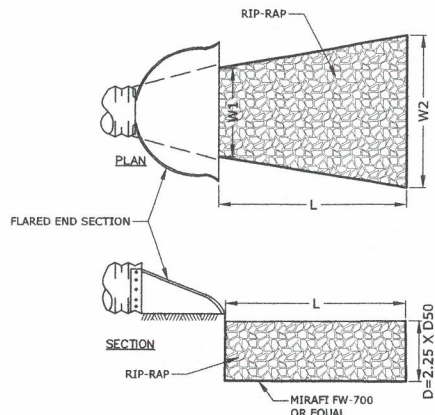
SEWER MANHOLE  
NO SCALE



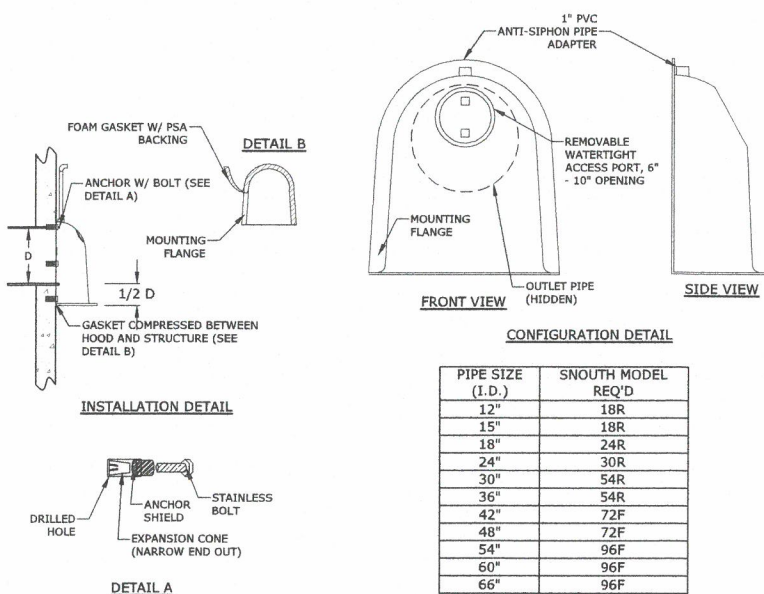
WATER & SEWER CROSSING  
NO SCALE



GRASS-LINED SWALE  
NO SCALE



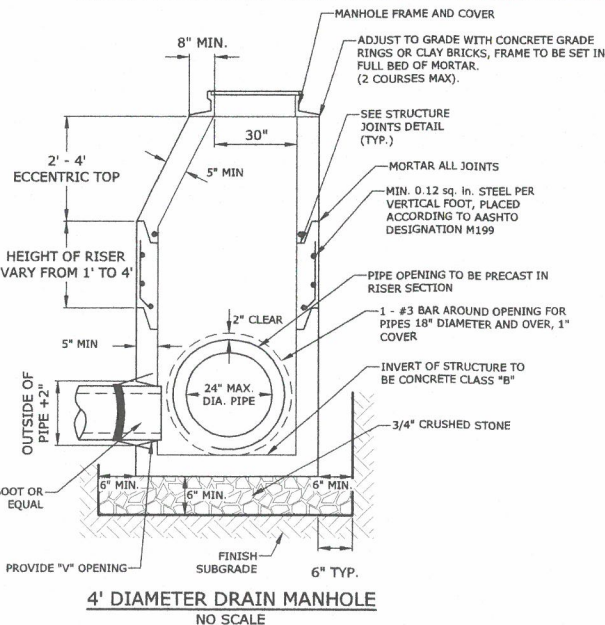
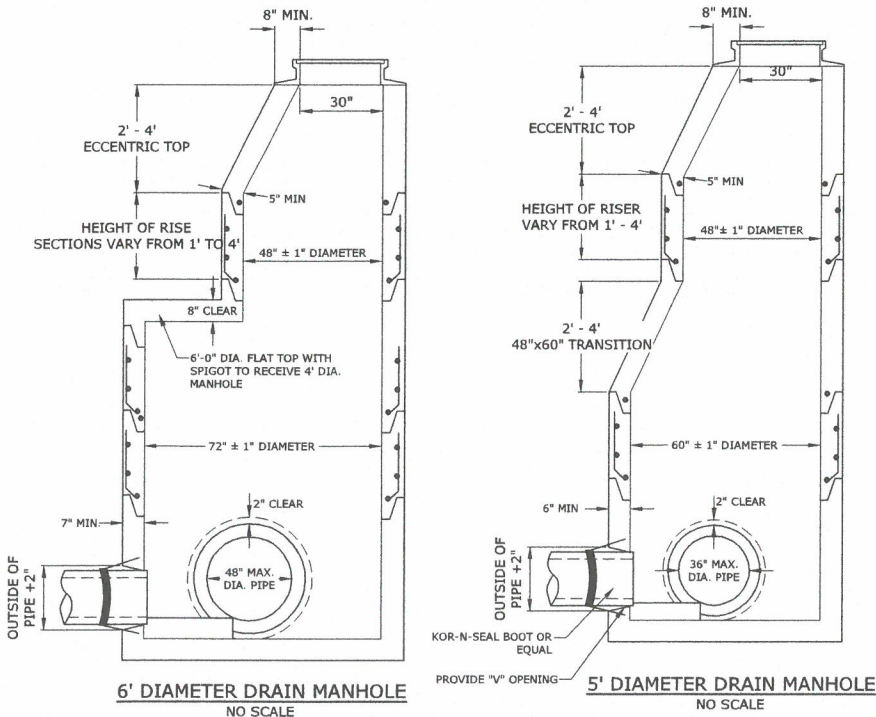
RIP-RAP APRON DETAIL  
NO SCALE



OIL-WATER-DEBRIS SEPARATOR  
NO SCALE

PIPE SIZE (I.D.)	SNOUTH MODEL REQ'D
12"	18R
15"	18R
18"	24R
24"	30R
30"	54R
36"	54R
42"	72F
48"	72F
54"	96F
60"	96F
66"	96F

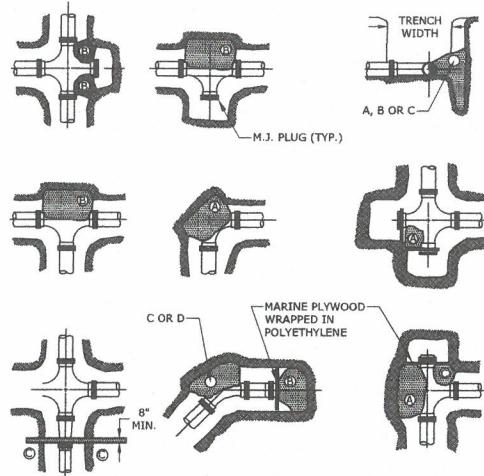
F=SQUARE STRUCTURE  
R=CIRCULAR STRUCTURE



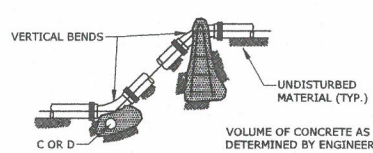
- NOTES:
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
  - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
  - THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
  - THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
  - CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
  - THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
  - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
  - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
  - PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
  - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

DIAMETER	WALL THICKNESS (MIN.)	FLOOR THICKNESS (MIN.)
4"	5"	6"
5"	6"	8"
6"	7"	8"
8"	9"	10"

CORE HOLE SIZE			
PIPE SIZE	RCP CORE HOLE DIA.	PLASTIC CORE HOLE DIA.	
INCHES	INCHES	FEET	INCHES
6			7
12	18	1.5	18
15	22	1.8	20
18	26	2.2	24
24	34	2.8	32
30	42	3.5	42
36	48	4.0	48
42	54	4.5	54
48	64	5.3	64
54	72	6.0	
60	78	6.5	



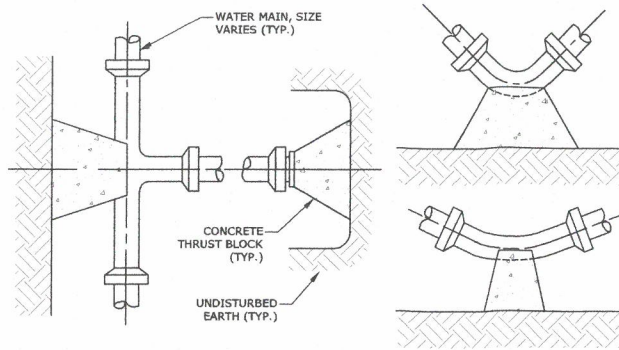
THRUST BLOCKING DETAIL  
NO SCALE



REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

- NOTES:
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

THRUST BLOCKING DETAIL  
NO SCALE



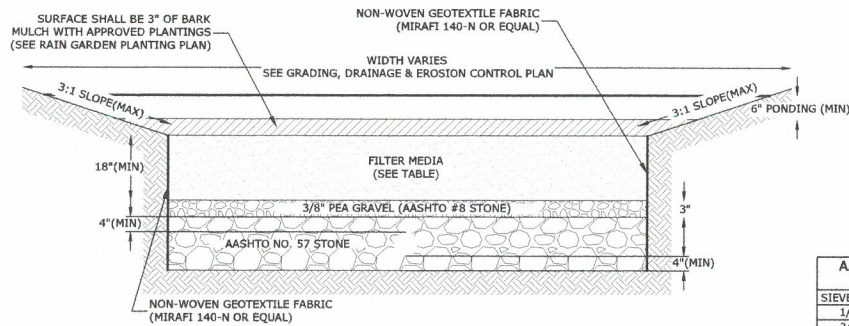
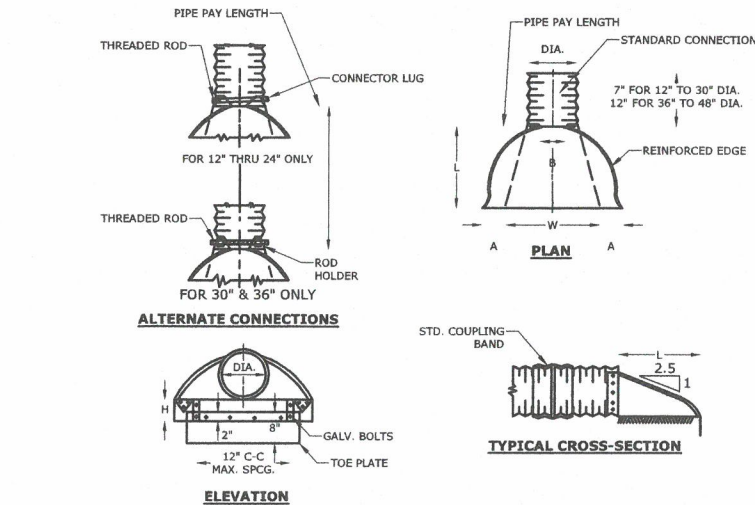
- NOTES:
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

PIPE Ø	METAL GAGE	DIMENSIONS				
		A(1" TOL.)	B MAX	H(1" TOL.)	L(1" TOL.)	W(2" TOL.)
12"	16	6"	6"	6"	21"	24"
15"	16	7"	8"	6"	26"	30"
18"	16	8"	13"	6"	31"	36"
24"	16	10"	16"	6"	41"	48"
30"	14	12"	16"	8"	51"	60"
36"	14	14"	19"	9"	60"	72"
42"	12	16"	22"	11"	69"	84"
48"	12	18"	27"	12"	78"	90"

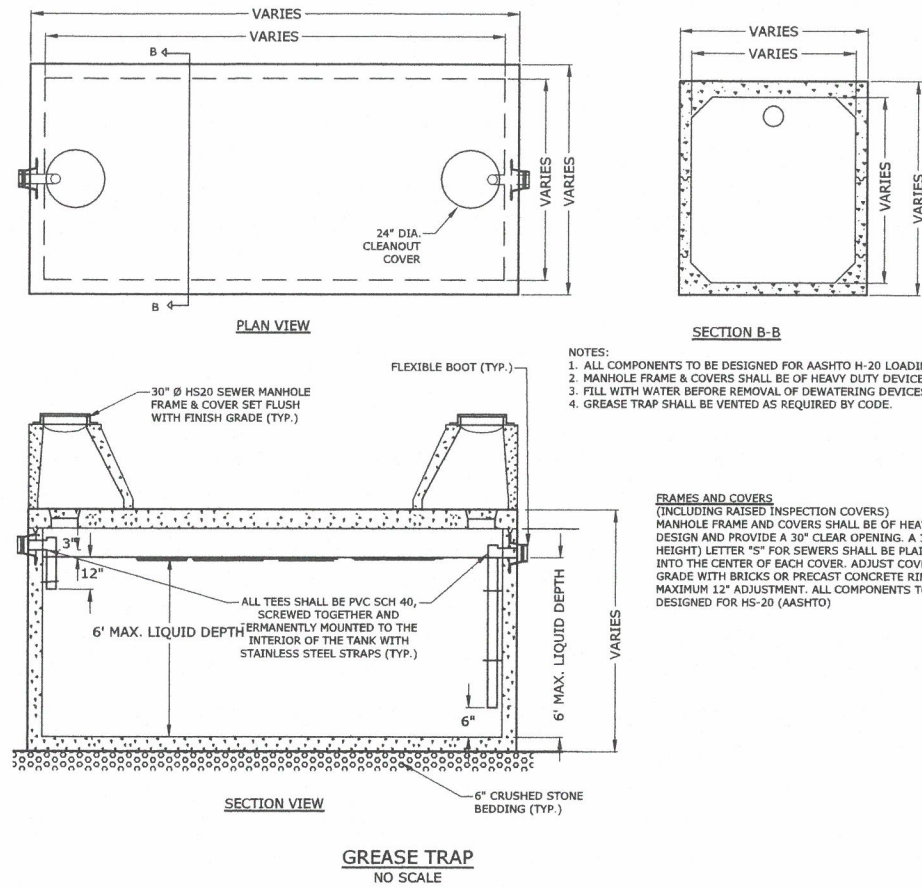
- NOTES:
- END SECTION FOR 12" TO 30" DIA. PIPE IN ONE PIECE, FOR 36" TO 48" DIA. PIPE TO BE MADE FROM TWO SHEETS JOINED BY RIVETING OR BOLTING ON CENTER LINE.
  - CONNECTOR SECTION, CORNER PLATE AND TOE PLATE TO BE SAME THICKNESS AS END SECTION AND EACH TO BE GALVANIZED.

METAL FLARED END SECTION  
NO SCALE



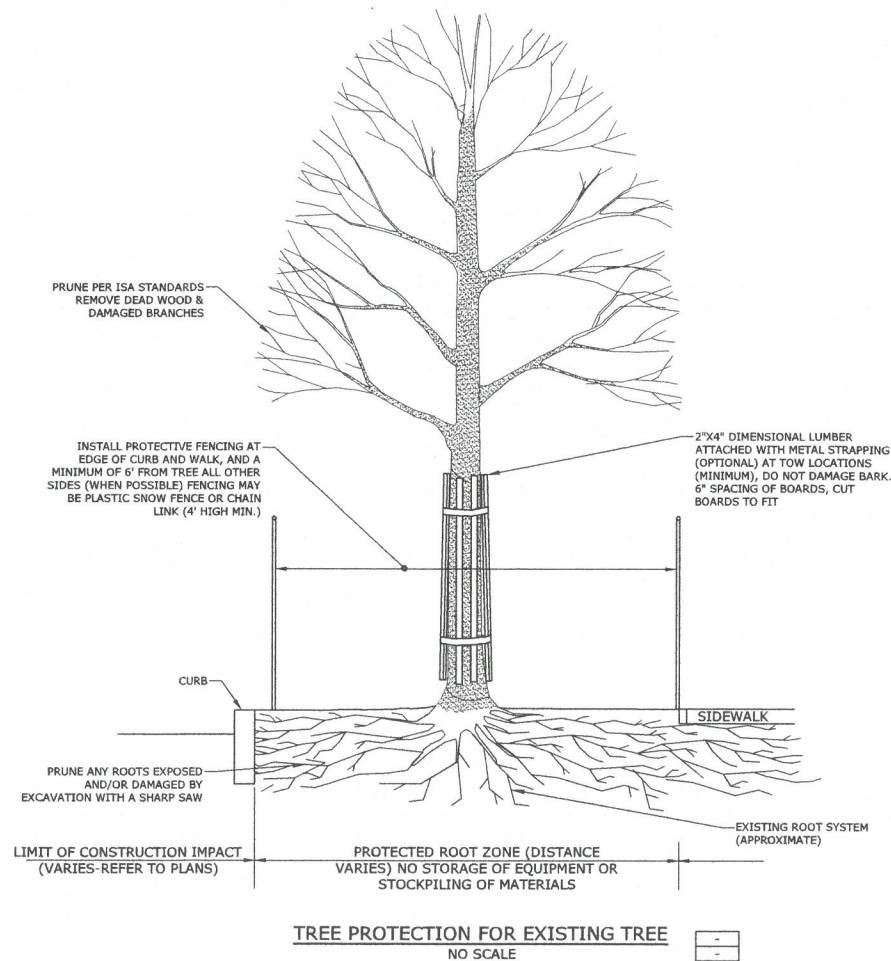
FILTER MEDIA COMPOSITION:			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	PERCENT PASSING
ASTM C-33 CONCRETE SAND	50-55	SEE NOTE #5	
LOAMY SAND TOPSOIL	20-30	200	15-25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20-30	200	5 MAX

- NOTES:
- BARK MULCH SHALL BE AGED A MINIMUM OF 12 MONTHS AND SHALL NOT FLOAT.
  - RAIN GARDENS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  - DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL KEEP ALL EXCAVATION EQUIPMENT OUTSIDE OF THE LIMIT OF THE RAIN GARDEN.
  - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR LOCATIONS, LAYOUTS, AND ELEVATIONS.
  - THE SAND PORTION OF THE FILTER MEDIA SHALL MEET THE FOLLOWING GRADATION (ASTM C-33):
- | SIEVE SIZE | PERCENT PASSING |
|------------|-----------------|
| 3/8"       | 100             |
| #4         | 95-100          |
| #8         | 80-100          |
| #16        | 50-85           |
| #30        | 25-60           |
| #50        | 5-30            |
| #100       | 0-10            |



- NOTES:
- ALL COMPONENTS TO BE DESIGNED FOR AASHTO H-20 LOADING.
  - MANHOLE FRAME & COVERS SHALL BE OF HEAVY DUTY DEVICES.
  - FILL WITH WATER BEFORE REMOVAL OF DEWATERING DEVICES.
  - GREASE TRAP SHALL BE VENTED AS REQUIRED BY CODE.

FRAMES AND COVERS (INCLUDING RAISED INSPECTION COVERS) MANHOLE FRAME AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30" CLEAR OPENING. A 3" (MINIMUM HEIGHT) LETTER "S" FOR SEWERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. ADJUST COVER TO GRADE WITH BRICKS OR PRECAST CONCRETE RINGS - MAXIMUM 12" ADJUSTMENT. ALL COMPONENTS TO BE DESIGNED FOR HS-20 (AASHTO)



Tighe&Bond



## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

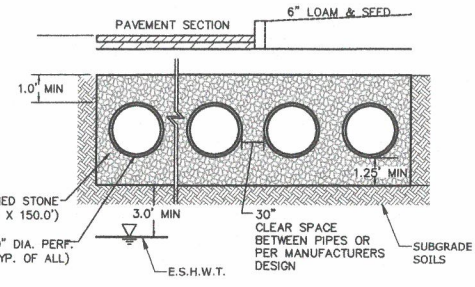
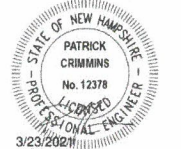
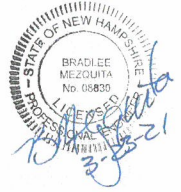
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DTLS.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

## DETAILS SHEET

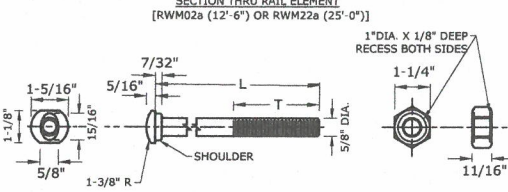
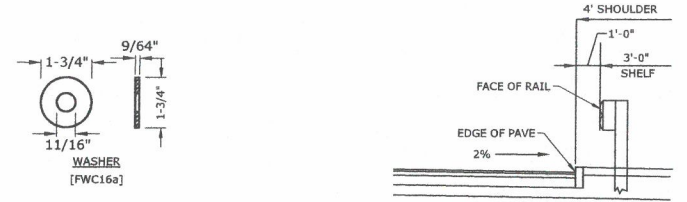
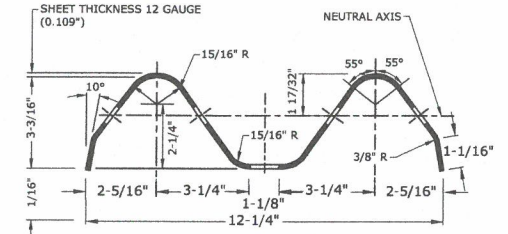
SCALE: AS SHOWN

C-507



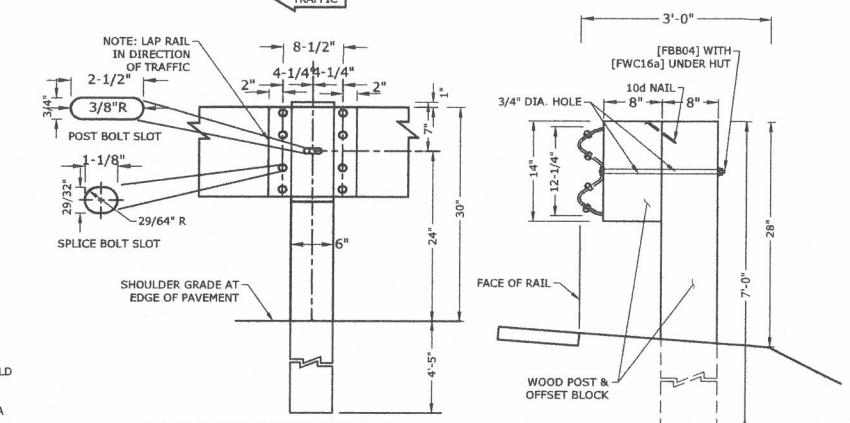
- NOTES:
1. UNDERGROUND DETENTION SYSTEM TO BE ALUMINIZED 16 GAGE STEEL PIPE DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT PIPE SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR REVIEW AND APPROVAL.
  2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
  3. THE DESIGN ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED PER THE PROPOSED DESIGN PLAN.
  4. DESIGN SHALL REQUIRE INSPECTION PORTS/COVERS SUCH THAT SYSTEM CAN BE CLEANED BY VACUUM TRUCK. MIN. ONE EACH CORNER.
  5. EXCAVATE 24 INCHES OF NATIVE MATERIALS BELOW BOTTOM OF SYSTEM AND REPLACE WITH FILL MATERIAL WITH AN INFILTRATION RATE OF 10 IN/HR.
  6. A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED DESIGN INFILTRATION RATES OF 5 IN/HR (ACTUAL INFILTRATION RATE OF 10 IN/HR) AND A MINIMUM SEPARATION OF 3 FEET FROM THE BOTTOM OF THE POND TO THE ELEVATION OF SEASONAL HIGH WATER. THE DEPTH OF AMENDED SOIL MUST BE AT LEAST 24 INCHES.

**FUTURE UNDERGROUND INFILTRATION/DETENTION BASIN**  
NO SCALE

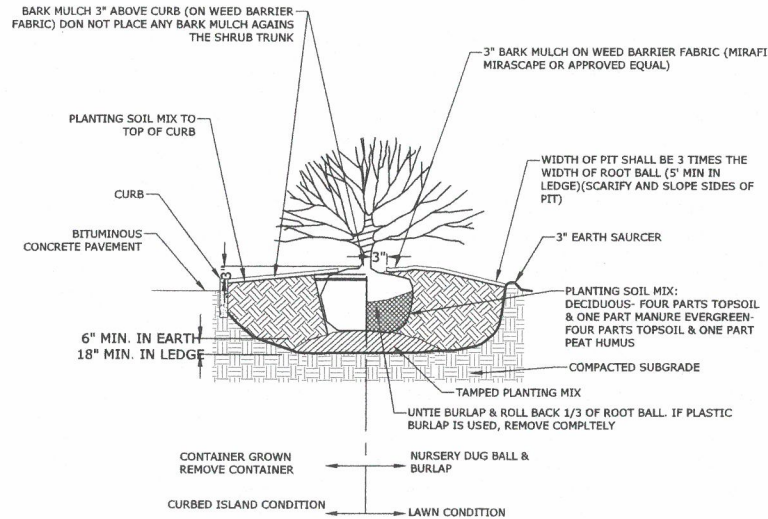


DESIGNATOR	L	T	INTENDED USE
FBB01	1-1/4"	FULL LENGTH THREAD	RAIL SPLICE BOLTS
FBB02	2"	1-3/4" MIN. THREAD LENGTH	POST BOLT (STEEL POSTS)
FBB03	10"	4" MIN. THREAD LENGTH	POST BOLT
FBB04	18"	4" MIN. THREAD LENGTH	POST BOLT (WOOD POSTS)

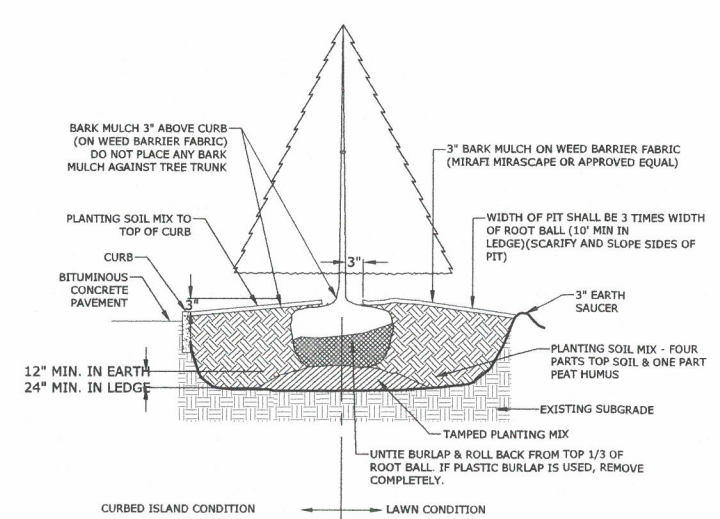
- 5/8" BUTT HEAD BOLT AND RECESSED NUT (FBB01-04)
- NOTES:
1. THE LENGTH OF NEED IS THE TOTAL LENGTH OF A LONGITUDINAL BARRIER NEEDED TO SHIELD AN AREA OF CONCERN. TO DETERMINE THE LENGTH OF NEED, REFER TO THE "ROADSIDE DESIGN GUIDE" - AASHTO (1989).
  2. DESIGNATION PROVIDED IN BRACKETS ( ) REFERENCE STANDARD ELEMENTS DETAILED IN "A GUIDE TO STANDARDIZED HIGHWAY BARRIER RAIL HARDWARE" (1979) - AASHTO - AGC - ARTBA JOINT COOPERATIVE COMMITTEE.
  3. USE 12'-6" LENGTH RAIL ELEMENT IN CURVES OF LESS THAN 300' RAIL RADIUS.
  4. ALL DIMENSIONS SUBJECT TO MANUFACTURER'S TOLERANCES.
  5. USE 6'-0" LONG POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER AND/OR WHEN FIELD CONDITIONS DICTATE (e.g., LEDGE FILLS), AS DETERMINED BY THE ENGINEER.
  6. WHEN GUARDRAIL IS INSTALLED BEHIND CURB, EITHER 6'-0" BEHIND SLOPE CURB OR A CLOSED RAMP OR AT THE BACK OF SIDEWALK WITH BARRIER CURB. THE RAIL HEIGHT SHALL BE SET FROM THE GRADE AT THE FACE OF RAIL.



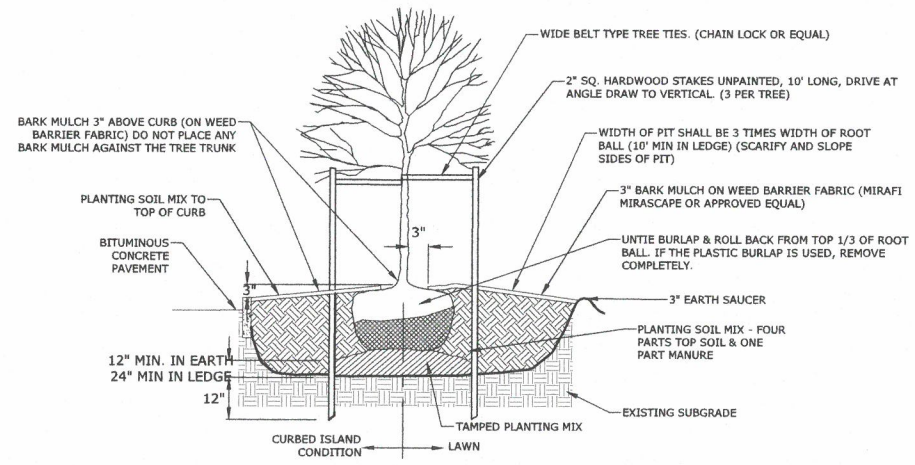
**WOOD POST/STEEL BEAM GUARDRAIL**  
NO SCALE



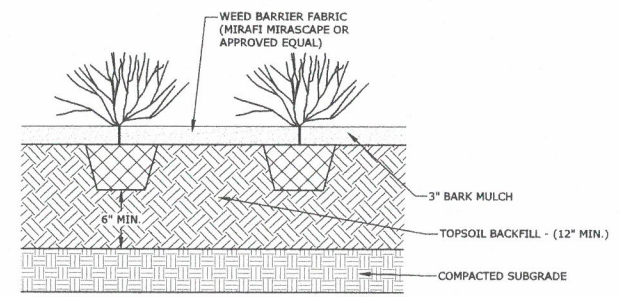
**SHRUB PLANTING**  
NO SCALE



**EVERGREEN TREE PLANTING**  
NO SCALE



**DECIDUOUS TREE PLANTING**  
NO SCALE



**PERENNIAL PLANTING**  
NO SCALE

**Proposed Ridgeside Development Phase-II**

Farmington Associates, LLC

68 Farmington Road (Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission

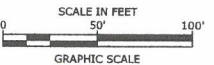
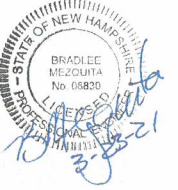
PROJECT NO:	WS008-004
DATE:	11/25/2019
FILE:	WS008-004_DTLS.DWG
DRAWN BY:	CML
CHECKED:	PMC
APPROVED:	BLM

DETAILS SHEET

SCALE: AS SHOWN

C-508

Last Save Date: March 22, 2021, 3:17 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
Tab File Location: J:\W\WS008 Waterside Retail\004 - Ridge Marketplace Phase II\Drawings\_Figures\AutoCAD\Sheet\WS008-004\_DTLS.dwg Layout Tab: C-508



Proposed  
Ridgeside  
Development  
Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
C	3/23/2021	Site Plan Review Submission
B	2/23/2021	Amended Site Plan Review Submission
A	11/25/2019	Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 11/25/2019		
FILE: W5008-004_DSGN.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

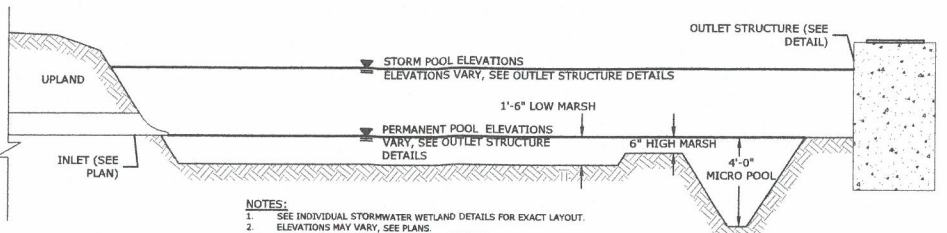
DETAILS SHEET

SCALE: AS SHOWN

C-509

STORMWATER WETLAND 1 DETAIL

SCALE: 1" = 30'



- NOTES:
- SEE INDIVIDUAL STORMWATER WETLAND DETAILS FOR EXACT LAYOUT.
  - ELEVATIONS MAY VARY, SEE PLANS.
  - SEE STORMWATER WETLAND PLANTING PLAN TABLE FOR PLANT LAYOUT.

TYPICAL STORMWATER WETLAND CROSS-SECTION

NOT TO SCALE

STORMWATER WETLAND #1

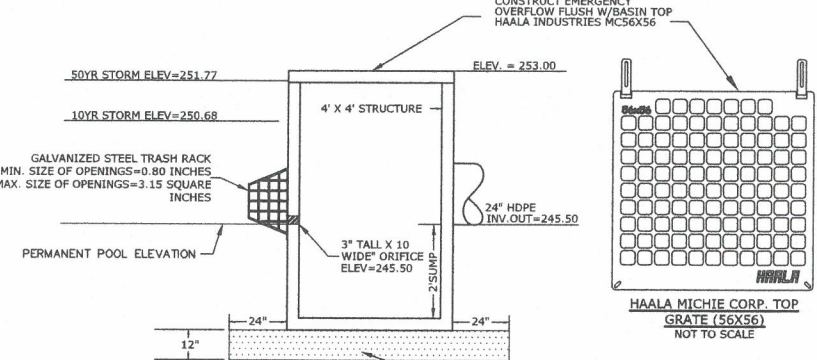
PLANT SCHEDULE

SYMBOL	QUANTITY	DESCRIPTION
+	15	SHRUB AND TREE PLANTING (EL. 254-256)
IV	12	ILEX VERTICILLATA 2-3' HT./CONTAINER
CS	12	CORNUS STOLONIFERA 2-3' HT./CONTAINER
VD	15	VIBURNUM DENTATUM 2-3' HT./CONTAINER
BN	6	BETULA NIGRA 12-14' HT./B & B

SYMBOL	QUANTITY	DESCRIPTION
- - -	30 @	LOW/HIGH MARSH (EL. 254-255)
-	30 @	IRIS VERSICOLOR 2-1/2' O.C. BARE ROOT/PLUG
-	30 @	JUNCUS EFFUSUS 2-1/2' O.C. BARE ROOT/PLUG
-	30 @	SCIRPUS CYPERINUS 2-1/2' O.C. BARE ROOT/PLUG
-	30 @	SCIRPUS ATROVIRENS 2-1/2' O.C. BARE ROOT/PLUG
-	30 @	CAREX COMOSA 2-1/2' O.C. BARE ROOT/PLUG
-	30 @	CAREX LURIDA 2-1/2' O.C. BARE ROOT/PLUG

SYMBOL	QUANTITY	DESCRIPTION
-	20 @	MICRO-POOL (EL. 250-252)
-	20 @	POTAMOGETON NODOSUS 6' O.C. BARE ROOT/PLUG

NOTE:  
ALL BARE ROOT PLUGS ARE TO BE PLANTED IN A STAGGERED ARRANGEMENT TO FILL THE LIMITS OF THE INTENDED AREA IN MASS GROUPINGS OF THE SAME SPECIES

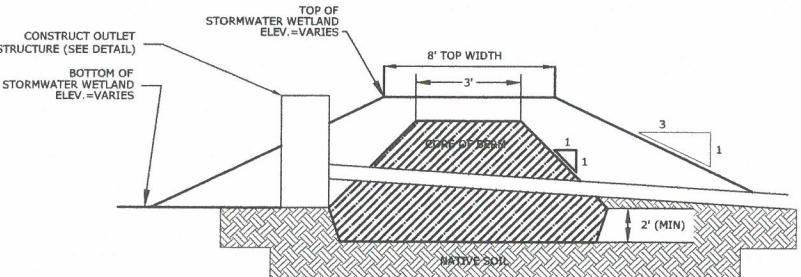


- NOTES:
- ALL JOINTS ON THE OUTLET STRUCTURE AND PIPING SHALL BE WATER TIGHT.
  - WATER SURFACE ELEVATIONS BASED ON NORMAL OPERATION OF BASIN.
  - GALVANIZED STEEL TRASH RACK SHALL BE STORMRAX BY CONTECH OR APPROVED EQUAL.

- NOTES:
- GRATE TO BE CONSTRUCTED OF 3/8" THICK GALVANIZED PLATE.

STORMWATER WETLAND OUTLET STRUCTURE

NOT TO SCALE



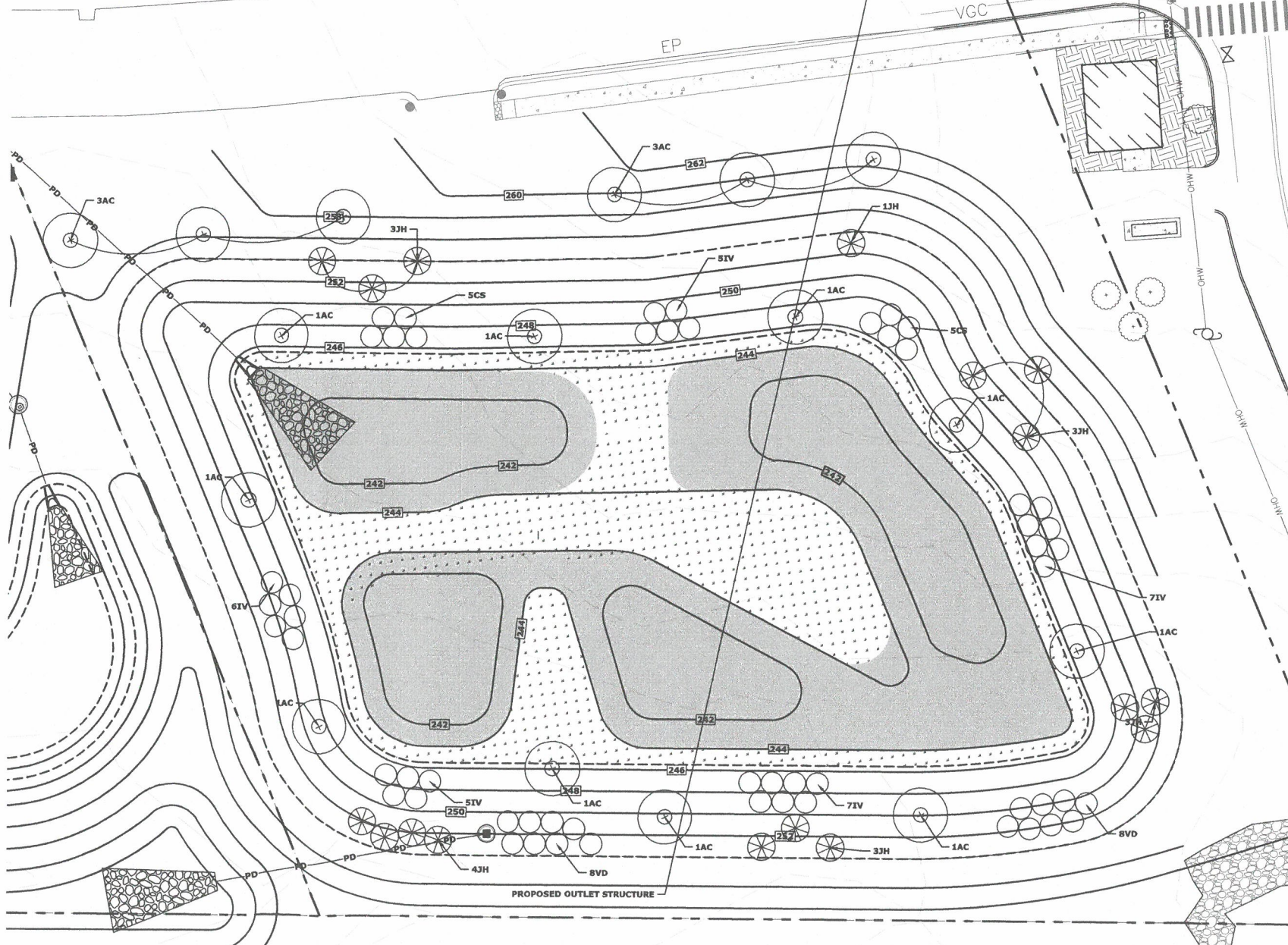
- NOTES:
- CORE MATERIAL SHALL MEET USGS CLASSIFICATION SC, SM, CL OR ML AND HAVE A MAXIMUM PARTICLE SIZE OF 3" AND A PERMEABILITY LESS THAN 0.00005 CM/S, AND MEET THE FOLLOWING GRADATION

SIEVE SIZE	PERCENT FINER BY WEIGHT
3 INCH	100
No. 200	50 - 100.

- PIPE SHALL BE FULLY EMBEDDED IN CORE TO ELIMINATE SEEPAGE

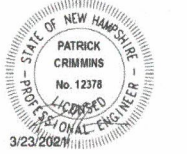
STORMWATER WETLAND BERM

NOT TO SCALE



STORMWATER WETLAND DETAIL

SCALE: 1" = 20'



**Proposed  
Ridgeside  
Development  
Phase-II**

Farmington  
Associates, LLC

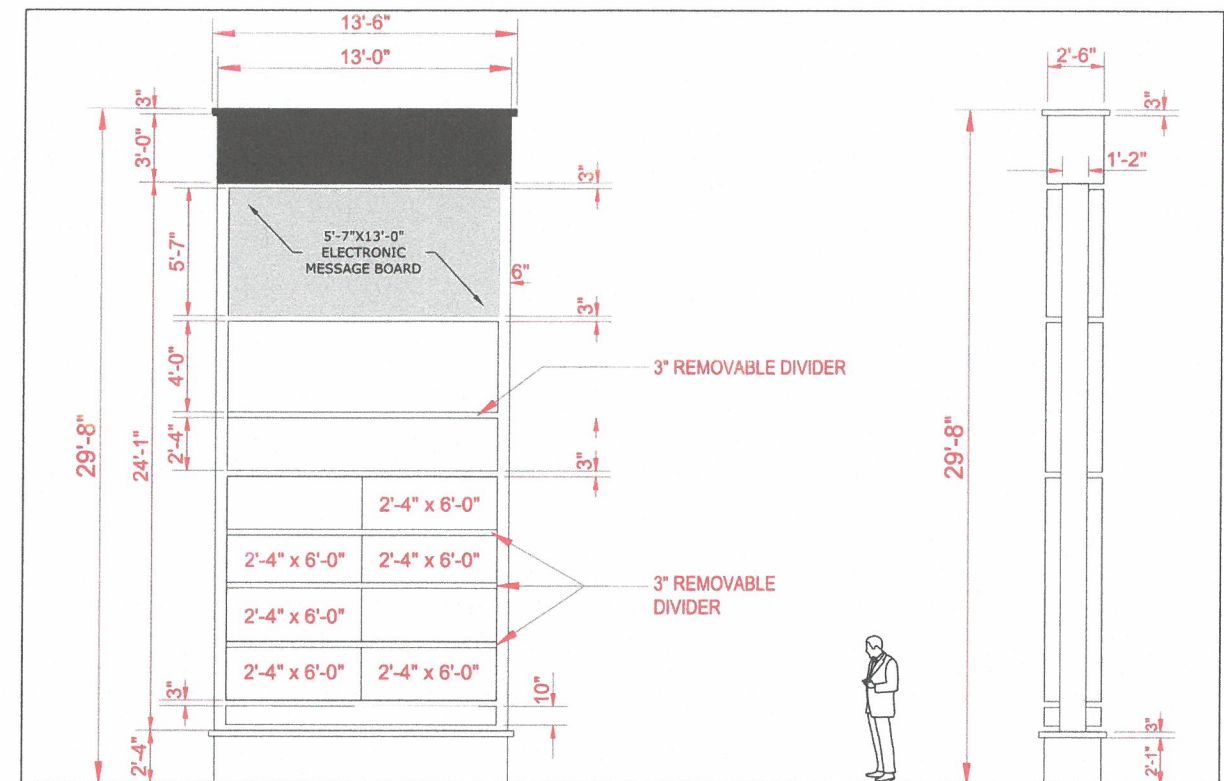
68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
B	3/23/2021	Site Plan Review Submission
A	2/23/2021	Amended Site Plan Review Submission
PROJECT NO: W5008-004		
DATE: 2/23/2021		
FILE: W5008-004_DTLS.DWG		
DRAWN BY: CML		
CHECKED: PMC		
APPROVED: BLM		

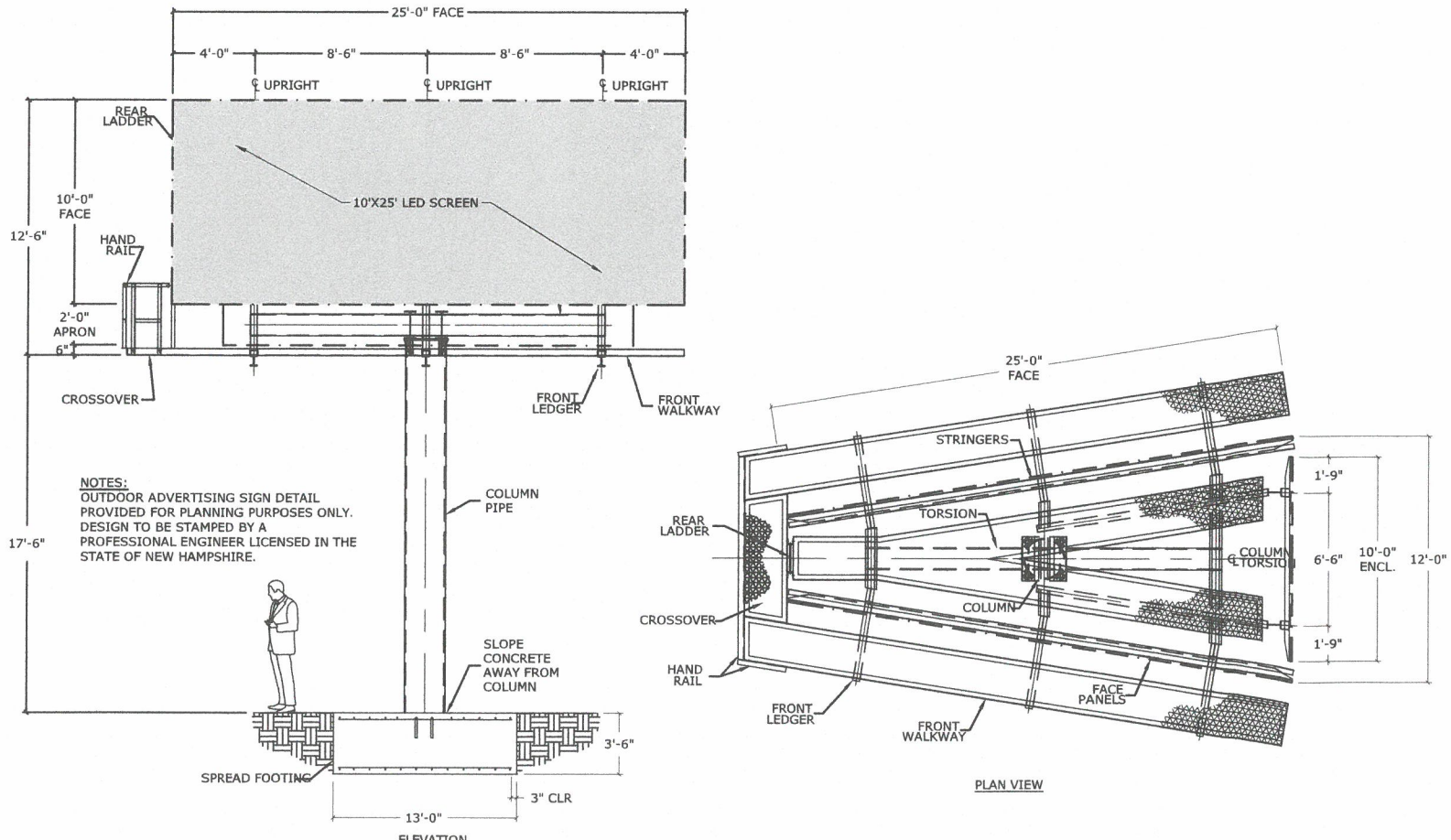
**SIGN DETAILS SHEET**

SCALE: AS SHOWN

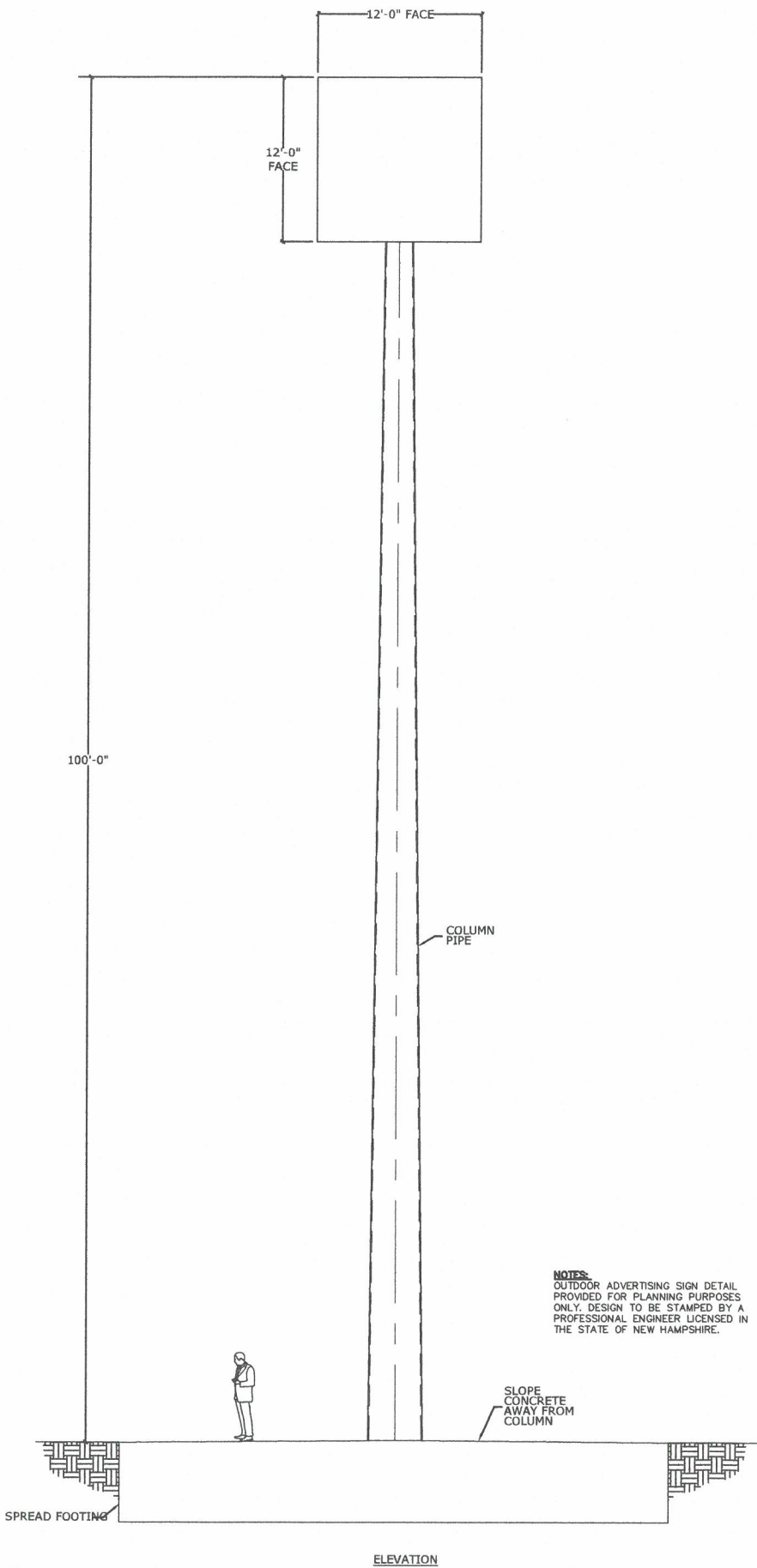
C-510



**PYLON SIGN**  
NO SCALE



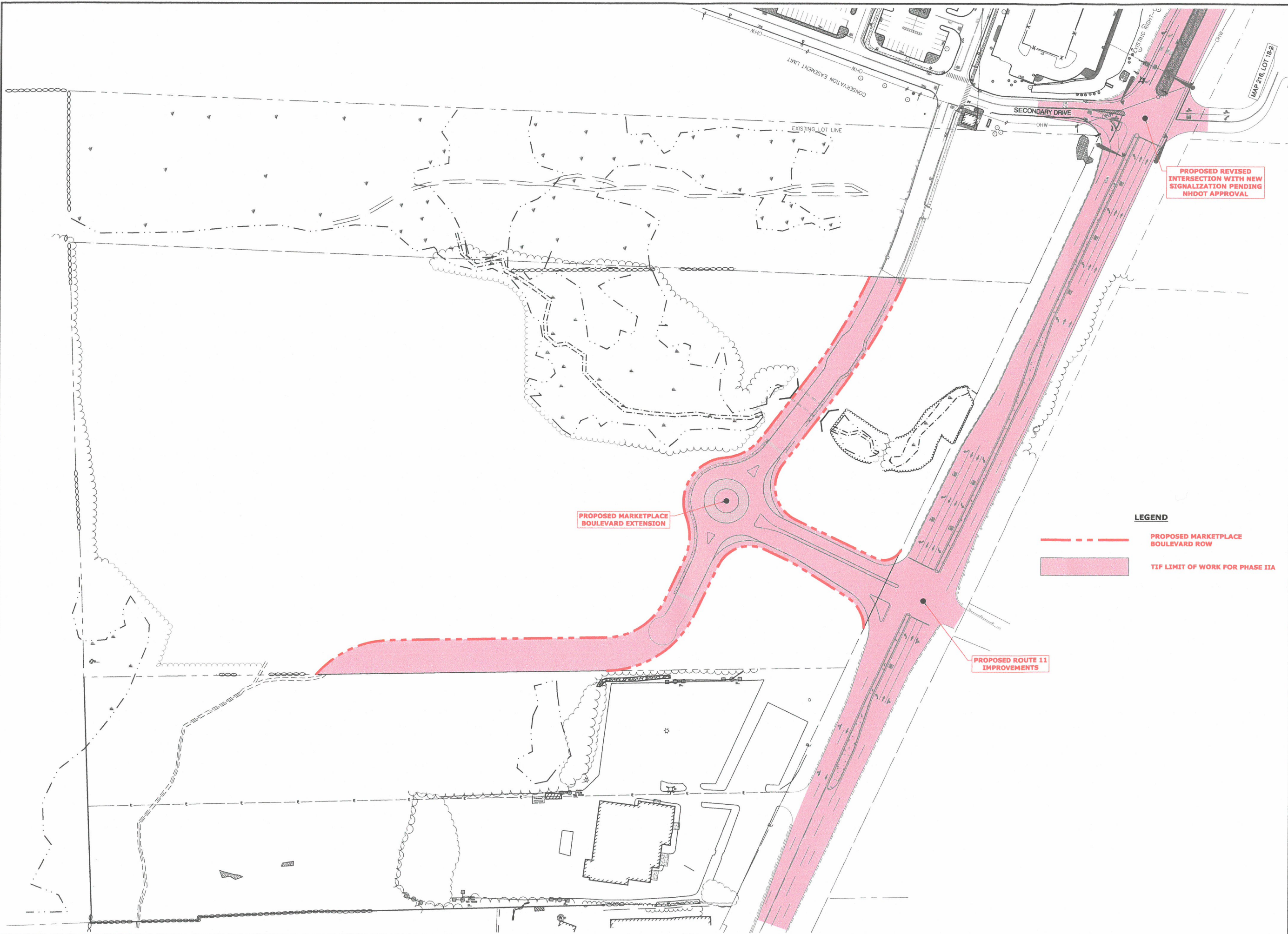
**OUTDOOR ADVERTISING SIGN**  
NO SCALE



**100' TALL ADVERTISING SIGN**  
NO SCALE

Last Save Date: March 23, 2021, 3:17 PM By: CML  
Plot Date: Monday, March 22, 2021, 10:04 AM  
TSB File Location: 21\W5008-Waterstone Retail\004 - Ridgeside Development Phase II\Drawings - Figures\AutoCAD\Sheet\W5008-004\_DTLS.dwg Layout Tab: C-510

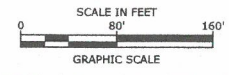
Last Save Date: March 22, 2021 4:09 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
TSS File Location: J:\W5008 Watersone Road\004 - Ridge Marketplace Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: TIF-EX-A



Tighe&Bond



DRAFT



**Proposed Ridgeside Development Phase-II**

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

**LEGEND**

- PROPOSED MARKETPLACE BOULEVARD ROW
- TIF LIMIT OF WORK FOR PHASE IIA

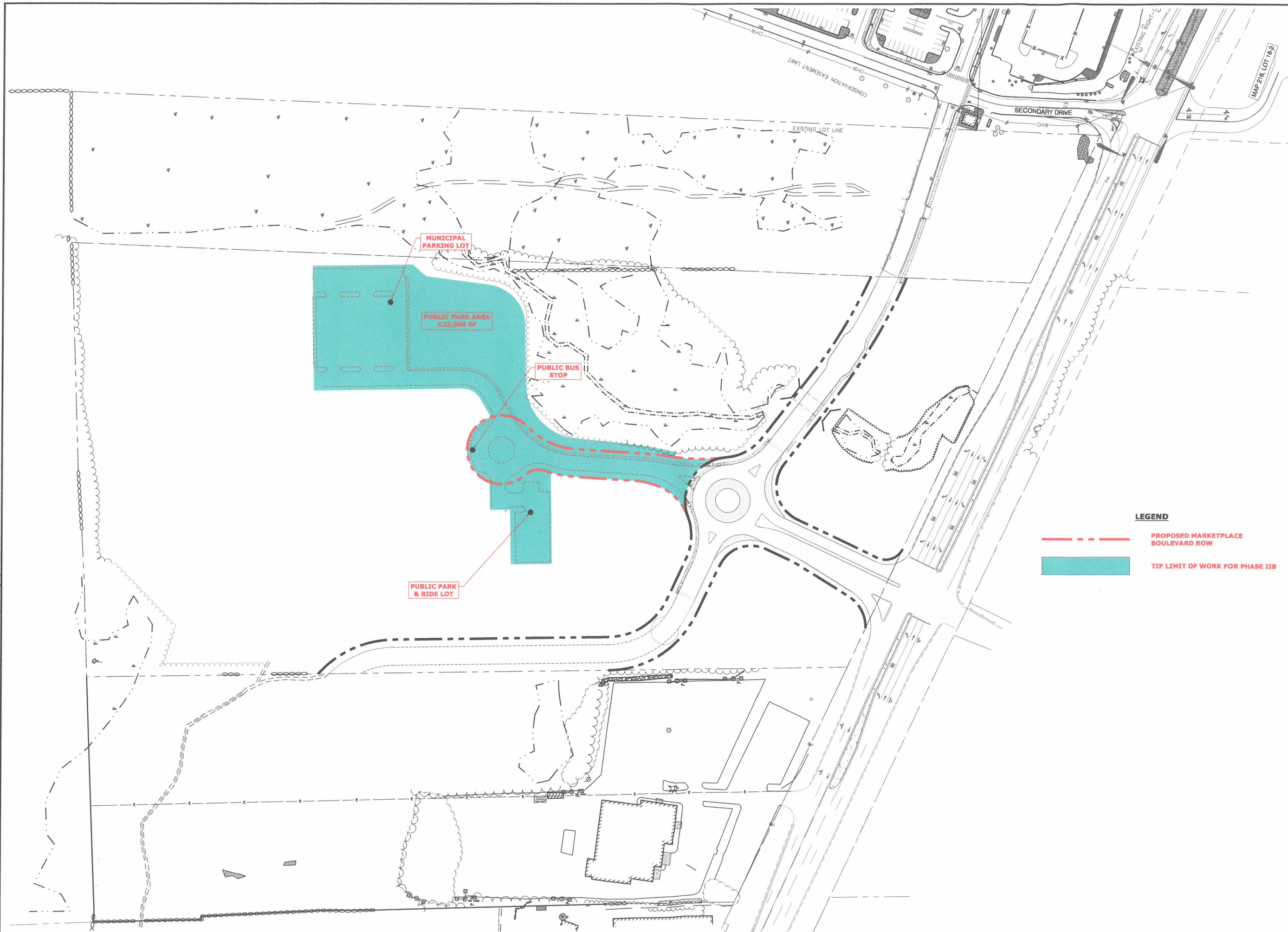
MARK	DATE	DESCRIPTION
PROJECT NO:	W5008-004	
DATE:	3/18/2021	
FILE:	W5008-004_DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

TIF PHASING PLAN

SCALE: AS SHOWN

EXHIBIT A

Last Save Date: March 22, 2021, 4:09 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langton  
T&B File Location: J:\W5008-Waterstone Retail\004 - Ridge Marketplace Phase 2\Drawings-Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: TIF-EXA2



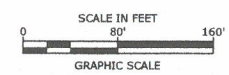
**LEGEND**

- PROPOSED MARKETPLACE BOULEVARD ROW
- TIF LIMIT OF WORK FOR PHASE IIB

**Tighe&Bond**



**DRAFT**



**Proposed Ridgeside Development Phase-II**

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

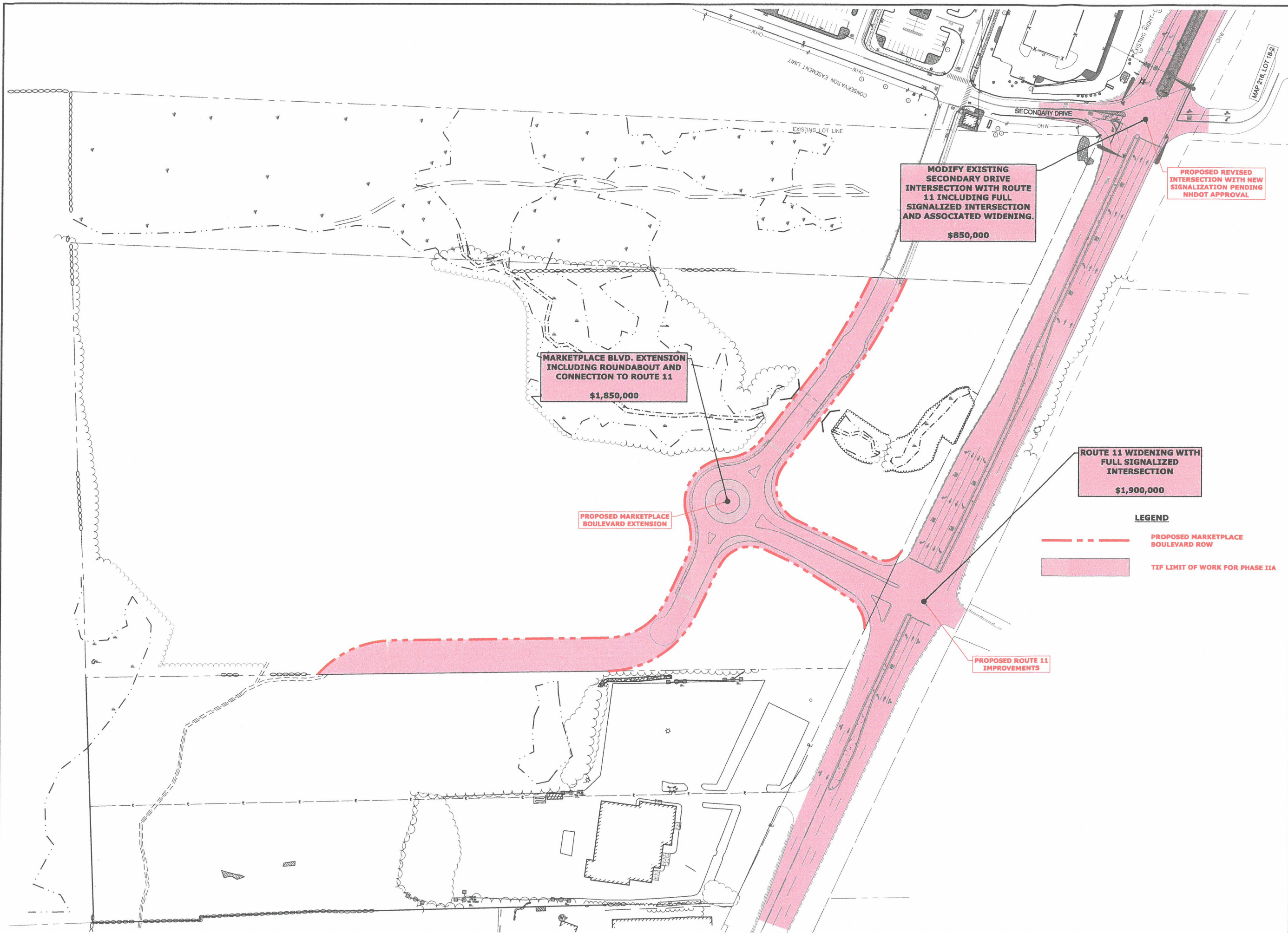
MARK	DATE	DESCRIPTION
PROJECT NO:	W5008-004	
DATE:	3/18/2021	
FILE:	W5008-004_DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

**TIF PHASING PLAN**

SCALE: AS SHOWN

**EXHIBIT A**

Last Save Date: March 22, 2021 4:09 PM By: CHL  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
T&B File Location: J:\V\W5008 Waterstone Road\004 - Ridge Marketplace Phase 2\Drawings\_Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: TTF-EX-B



Tighe&Bond

DRAFT

## Proposed Ridgeside Development Phase-II

Farmington  
Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

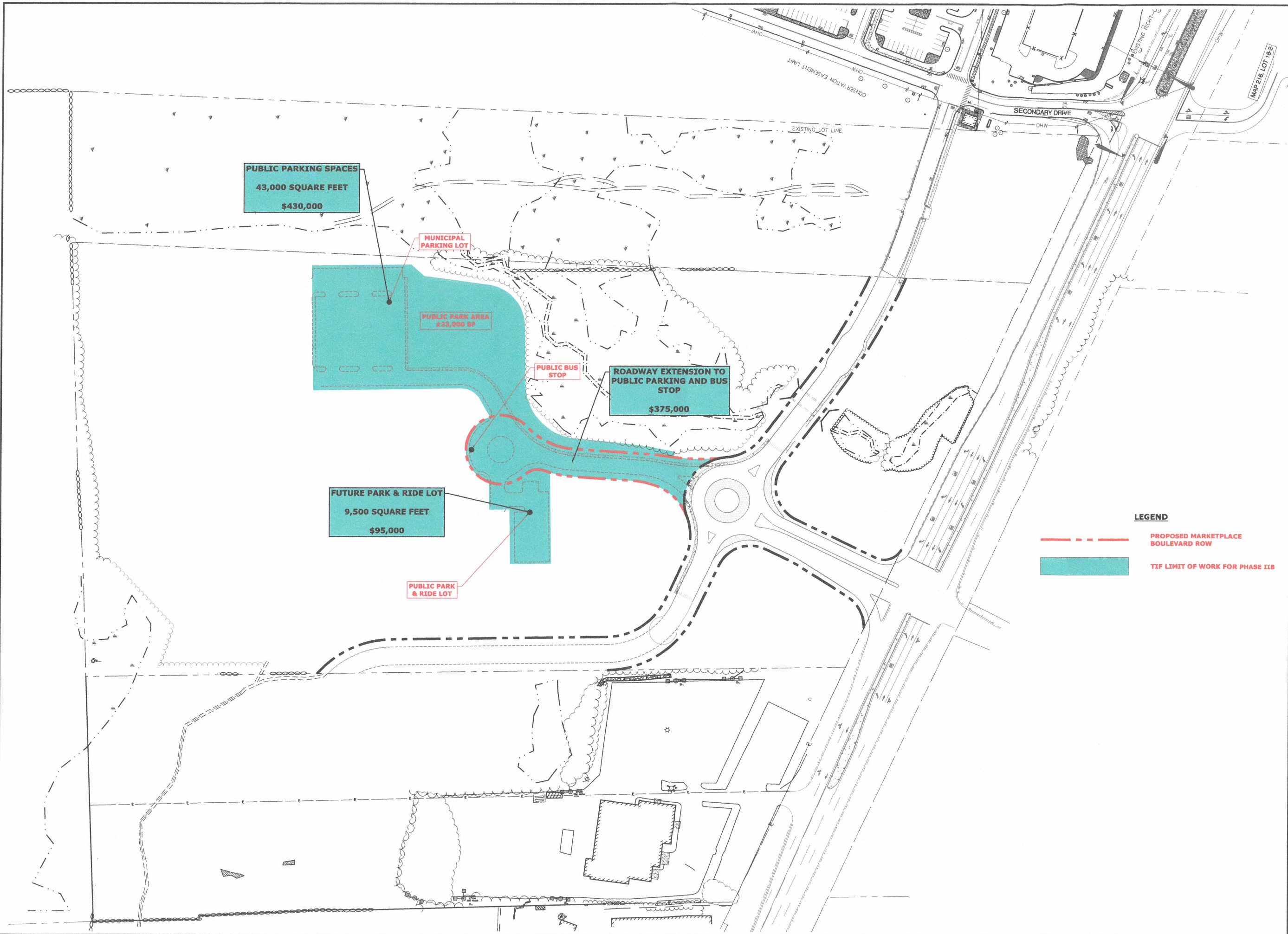
MARK	DATE	DESCRIPTION
PROJECT NO:	W5008-004	
DATE:	3/18/2021	
FILE:	W5008-004_DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

PUBLIC INFRASTRUCTURE  
IMPROVEMENTS PHASING

SCALE: AS SHOWN

EXHIBIT B-1

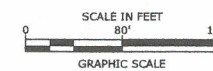
Last Save Date: March 22, 2021 4:09 PM By: CML  
Plot Date: Monday, March 22, 2021 Plotted By: Craig M. Langston  
TAB File Location: J:\W5008 Waterside Retail\004 - Ridge Marketplace Phase 2\Drawings- Figures\AutoCAD\Sheet\W5008-004\_DSGN.dwg Layout Tab: TIF-EX-B2



Tighe&Bond



DRAFT



## Proposed Ridgeside Development Phase-II

Farmington Associates, LLC

68 Farmington Road  
(Route 11)  
Rochester, NH

MARK	DATE	DESCRIPTION
PROJECT NO:	W5008-004	
DATE:	3/18/2021	
FILE:	W5008-004_DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	PMC	
APPROVED:	BLM	

PUBLIC INFRASTRUCTURE IMPROVEMENTS PHASING

SCALE: AS SHOWN

EXHIBIT B-1