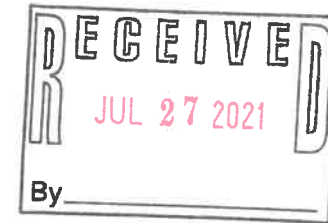
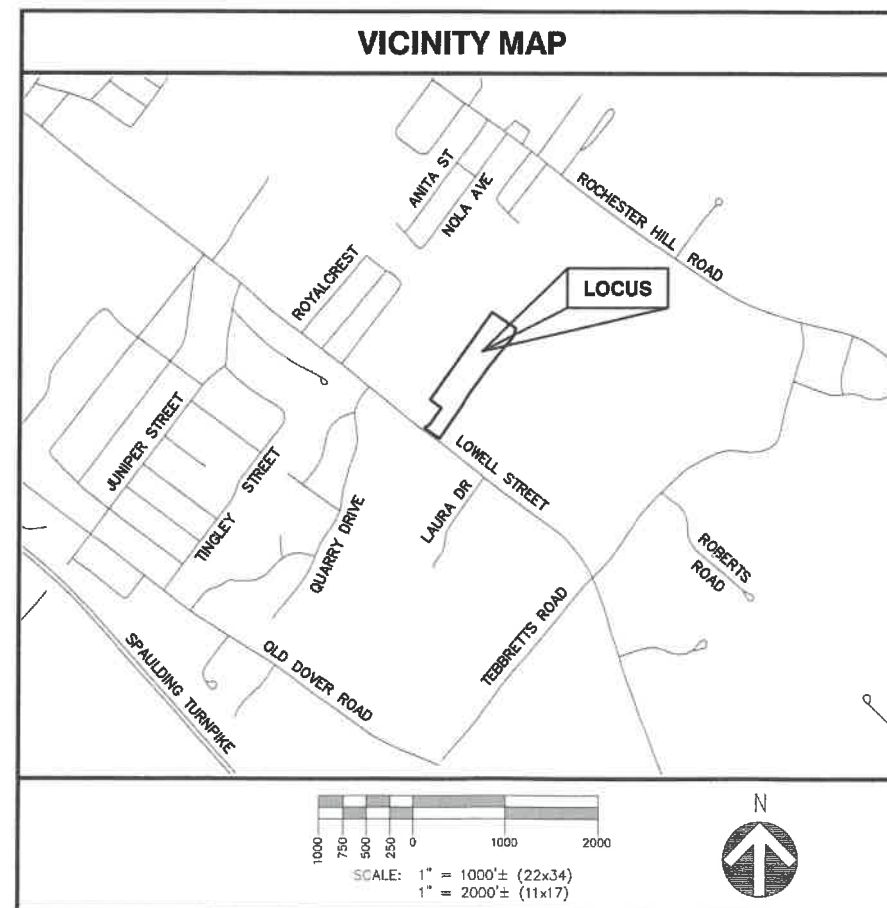




SITE NAME: ROCHESTER 5
SITE NUMBER: 743597
ADDRESS: 156A LOWELL STREET
ROCHESTER, NH 03867



CONSTRUCTION

ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A, Suite 200
Hadley, MA 01035
Ph: (413) 320-4918

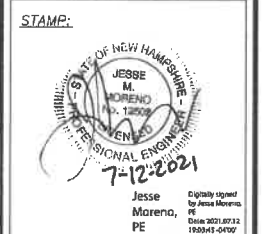
CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
C	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 5
SITE NUMBER: 743597
ADDRESS: 156A LOWELL STREET
ROCHESTER, NH 03867

EIP HOLDINGS II, LLC
TWO ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

EVEREST



DATE: 07/12/2021
DRAWN: STZ/JEB
CHECK: JMM/TEJ
SCALE: SEE PLAN
JOB NO.: 20-018
SHEET TITLE:

TITLE SHEET
T-1

PERMITTING APPROVAL NOTE

- THE PROJECT CONTAINED HEREIN IS SUBJECT TO:
- THE CITY OF ROCHESTER PLANNING BOARD NOTICE OF DECISION, CASE# 244-2-1-A-21, DATED FEBRUARY 2, 2021.
 - PLANNING BOARD APPROVAL INCLUDED GRANTING WAIVERS FROM SITE PLAN REGULATIONS AND CONDITIONS OF APPROVAL
 - THE CONTRACTOR MUST OBTAIN A COPY OF THIS APPROVAL FROM EIP HOLDINGS II, LLC PRIOR TO BIDDING AND CONSTRUCTION.

PROJECT INFORMATION

SITE TYPE: RAW LAND WIRELESS COMMUNICATIONS FACILITY

SCOPE OF WORK: PROPOSED 112' TALL MONOPOLE AND 50'x50' FENCED COMPOUND WITHIN 60'x60' LEASE AREA.

SITE NAME: ROCHESTER 5

SITE NUMBER: 743597

SITE ADDRESS: 156A LOWELL STREET ROCHESTER, NH 03867

ASSESSOR'S TAX ID#: 244-2-1

ZONING DISTRICT(S): AGRICULTURAL (AG)

LATITUDE: 43° 17' 03.49"± N (SURVEY 1A)

LONGITUDE: 70° 57' 04.52"± W (SURVEY 1A)

(P) ELEVATION: 356.25'±

DATUM: NAD83/NAVD88

PROPERTY OWNER: N/F JOSEPH P. CASAVANT & DARIN PAIGE 214 WEST HIGH STREET SOMERSWORTH, NH 03878

APPLICANT: EIP HOLDINGS II, LLC TWO ALLEGHENY CENTER NOVA TOWER 2, SUITE 703 PITTSBURGH, PA 15212

SITE ENGINEER: PROTERRA DESIGN GROUP, LLC 4 BAY ROAD BUILDING A, SUITE 200 HADLEY, MA 01035 TEL: (413) 320-4918

SURVEYOR: NORTHEAST SURVEY CONSULTANTS 3 FERRY STREET STUDIO 1 EAST EASTHAMPTON, MA 01027 TEL: (413) 203-5144

WETLAND SCIENTIST: LUCAS ENVIRONMENTAL, LLC 500A WASHINGTON STREET QUINCY, MA 02169

FOR MORE INFORMATION ABOUT THIS SITE PLAN CONTACT:
MS. MICHAEL ASHLEY CULBERT
VICE PRESIDENT OF SITE DEVELOPMENT
EVEREST INFRASTRUCTURE PARTNERS
PH: 781.820.9120

Final Certified Plan
Per Feb 1, 2021 PB Mtg
Shanna Braunders 7/22/21

GENERAL NOTES:

1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY:
CONTRACTOR – EIP HOLDINGS II, LLC AND/OR ITS AFFILIATES
SUBCONTRACTOR – GENERAL CONTRACTOR (CONSTRUCTION)
OWNER – PROPERTY OWNER OF RECORD & EIP HOLDINGS II, LLC
OEM – ORIGINAL EQUIPMENT MANUFACTURER
2. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING SUBCONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CONTRACTOR.
3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK.
4. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL, STATE AND FEDERAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
5. DRAWINGS PROVIDED HERE ARE NOT TO BE SCALED AND ARE INTENDED TO SHOW OUTLINE ONLY.
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
7. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
9. SUBCONTRACTOR SHALL DETERMINE ACTUAL ROUTING OF CONDUIT, POWER, T1 CABLES AND GROUNDING CABLES AS SHOWN ON THE POWER, GROUNDING AND TELCO PLAN DRAWING. SUBCONTRACTOR SHALL UTILIZE EXISTING TRAYS AND/OR SHALL ADD NEW TRAYS AS NECESSARY. SUBCONTRACTOR SHALL CONFIRM THE ACTUAL ROUTING WITH THE CONTRACTOR AND/OR LANDLORD PRIOR TO CONSTRUCTION.
10. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
11. SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY.
12. SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION AND RETURN DISTURBED AREAS TO ORIGINAL CONDITIONS.
13. THE SUBCONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE SUBCONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
14. SUBCONTRACTOR SHALL NOTIFY PROTERRA DESIGN GROUP, LLC 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING TRENCHES, SEALING ROOF AND WALL PENETRATIONS AND POST DOWNS, FINISHING NEW WALLS OR FINAL ELECTRICAL CONNECTIONS FOR ENGINEERING REVIEW.
15. CONSTRUCTION SHALL COMPLY WITH ALL EIP HOLDINGS II, LLC STANDARDS AND SPECIFICATIONS.
16. SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
17. THE EXISTING CELL SITES ARE IN FULL COMMERCIAL OPERATION. ANY CONSTRUCTION WORK BY SUBCONTRACTOR SHALL NOT DISRUPT THE EXISTING NORMAL OPERATION. ANY WORK ON EXISTING EQUIPMENT MUST BE COORDINATED WITH CONTRACTOR. ALSO, WORK SHOULD BE SCHEDULED FOR AN APPROPRIATE MAINTENANCE WINDOW USUALLY IN LOW TRAFFIC PERIODS AFTER MIDNIGHT.

SITE WORK GENERAL NOTES:

1. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION.
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PROJECT SPECIFICATIONS.
4. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
5. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BTS EQUIPMENT AND TOWER AREAS.
6. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
7. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
8. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING, OWNER AND/OR LOCAL UTILITIES.
9. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE AND STABILIZED TO PREVENT EROSION AS SPECIFIED IN THE PROJECT SPECIFICATIONS.
10. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
11. THE SUBCONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE EIP HOLDINGS II, LLC SPECIFICATION FOR SITE SIGNAGE.

SITE CONCRETE & REINFORCING STEEL NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A193 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AT 28 DAYS WITH $6\% \pm 1\%$ AIR ENTRAINMENT AND 3"-5" SUMP, UNLESS NOTED OTHERWISE. (NOTE: THIS IS SITE CONCRETE, NOT NECESSARILY STRUCTURAL CONCRETE AND SHOULD BE VERIFIED AGAINST MORE STRINGENT). A HIGHER STRENGTH (5000PSI) MAY BE USED. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 318 CODE REQUIREMENTS.
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNO.
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
- | | |
|--|--------|
| CONCRETE CAST AGAINST EARTH..... | 3 IN. |
| CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER | 2 IN. |
| #5 AND SMALLER & WWF | 1½ IN. |
| CONCRETE NOT EXPOSED TO EARTH OR WEATHER
OR NOT CAST AGAINST THE GROUND:
SLAB AND WALL | ¾ IN. |
| BEAMS AND COLUMNS | 1½ IN. |
5. A CHAMFER ¾" SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNO, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
6. INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHORS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO THE MANUFACTURERS RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR CONTRACTOR APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED. EXPANSION BOLTS SHALL BE PROVIDED BY SIMPSON OR APPROVED EQUAL.
7. CONCRETE CYLINDER TESTS NOT REQUIRED FOR SLAB ON GRADE WHEN CONCRETE IS LESS THAN 50 CUBIC YARDS (ACI 318-14 SECTION 26.12.2 - FREQUENCY OF TESTING) IN THAT EVENT THE FOLLOWING RECORDS SHALL BE PROVIDED BY THE CONCRETE SUPPLIER TO PROVIDE THE BUILDING OFFICIAL:
- (A) RESULTS OF CONCRETE CYLINDER TEST PERFORMED AT THE SUPPLIERS PLANT.
- (B) CERTIFICATION OF MINIMUM COMPRESSIVE STRENGTH FOR THE CONCRETE GRADE SUPPLIED.
- FOR GREATER THAN 50 CUBIC YARDS THE GC SHALL PERFORM THE CONCRETE CYLINDER TEST BY AN INDEPENDENT TESTING AGENCY
8. AS AN ALTERNATIVE TO ITEM 7. TEST CYLINDERS SHALL BE TAKEN INITIALLY AND THEREAFTER FOR EVERY 50 YARDS OF CONCRETE FROM EACH DIFFERENT BATCH PLANT.

STRUCTURAL STEEL NOTES:

1. ALL STEEL WORK SHALL BE PAINTED OR GALVANIZED IN ACCORDANCE WITH THE DRAWINGS AND EIP HOLDINGS II, LLC SPECIFICATIONS UNLESS OTHERWISE NOTED. STRUCTURAL STEEL SHALL BE ASTM-A-36 UNLESS OTHERWISE NOTED ON THE SITE SPECIFIC DRAWINGS. STEEL DESIGN, INSTALLATION AND BOLTING SHALL BE IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) "MANUAL OF STEEL CONSTRUCTION".
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION. PAINTED SURFACES SHALL BE TOUCHED UP.
3. BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS ($\frac{3}{4}"\phi$) AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE GALVANIZED OR STAINLESS STEEL.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE $\frac{5}{8}"$ DIA. ASTM A 307 BOLTS (GALV) UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW & APPROVAL ON PROJECTS REQUIRING STRUCTURAL STEEL.
6. ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH AISC SPECIFICATIONS.

SOIL COMPACTION NOTES:

1. EXCAVATE AS REQUIRED, REMOVE VEGETATION AND TOPSOIL TO EXPOSE NATURAL SUBGRADE AND PLACE CRUSHED STONE AS REQUIRED.
2. COMPACTION CERTIFICATION: AN INSPECTION AND WRITTEN CERTIFICATION BY A QUALIFIED GEOTECHNICAL TECHNICIAN OR ENGINEER IS ACCEPTABLE. 3RD PARTY PROCTOR AND NUCLEAR DENSITY TESTING IS REQUIRED.
3. AS AN ALTERNATE TO INSPECTION AND WRITTEN CERTIFICATION, THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED WITH "COMPACTION EQUIPMENT", LISTED BELOW, TO AT LEAST 95% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C.
4. COMPACTED SUBBASE SHALL BE UNIFORM AND LEVELED. PROVIDE 6" MINIMUM CRUSHED STONE OR GRAVEL COMPACTED IN 3" LIFTS ABOVE COMPACTED SOIL. GRAVEL SHALL BE NATURAL OR CRUSHED WITH 100% PASSING #1 SIEVE.
5. AS AN ALTERNATE TO ITEMS 2 AND 3, THE SUBGRADE SOILS WITH 5 PASSES OR A MEDIUM SIZED VIBRATORY PLATE COMPACTOR (SUCH AS BOMAG BPR 30/38) OR HAND-OPERATED SINGLE DRUM VIBRATORY ROLLER (SUCH AS BOMAG BW 55C), AND SOFT AREAS THAT ARE ENCOUNTERED SHOULD BE REMOVED AND REPLACED WITH A WELL-GRADED GRANULAR FILL AND COMPACTED AS STATED ABOVE.

COMPACTION EQUIPMENT NOTES:

1. HAND OPERATED DOUBLE DRUM, VIBRATORY ROLLER, OR VIBRATORY PLATE COMPACTOR FOR STRUCTURAL SLABS.
JUMPING JACK COMPACTOR FOR UTILITIES.

CONSTRUCTION NOTES:

1. FIELD VERIFICATION:
SUBCONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK, ANY ANTENNA PLATFORM LOCATIONS AND UTILITY TRENCHWORK.
2. COORDINATION OF WORK:
SUBCONTRACTOR SHALL COORDINATE RF WORK AND PROCEDURES WITH CONTRACTOR.
3. CABLE LADDER RACK:
SUBCONTRACTOR SHALL FURNISH AND INSTALL CABLE LADDER RACK, CABLE TRAY AND/OR ICE BRIDGE, AND CONDUIT AS REQUIRED TO SUPPORT CABLES TO THE NEW BTS LOCATION.

ELECTRICAL INSTALLATION NOTES:

3. WIRING, RACEWAY, AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC 2017) WITH NEW HAMPSHIRE AMENDMENTS.
2. SUBCONTRACTOR SHALL MODIFY OR INSTALL CABLE TRAY SYSTEM AS REQUIRED TO SUPPORT RF AND TRANSPORT CABLEING TO THE NEW BTS EQUIPMENT. SUBCONTRACTOR SHALL SUBMIT MODIFICATIONS TO CONTRACTOR FOR APPROVAL.
3. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC AND TELCORDIA.
4. CABLES SHALL NOT BE ROUTED THROUGH LADDER-STYLE CABLE TRAY RUNGS.
5. EACH END OF EVERY POWER, GROUNDING, AND T1 CONDUCTOR AND CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA, AND MATCH INSTALLATION REQUIREMENTS.
6. POWER PHASE CONDUCTORS (I.E., HOTS) SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2 INCH PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). PHASE CONDUCTOR COLOR CODES SHALL CONFORM WITH THE NEC AND OSHA.
7. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS. ALL EQUIPMENT SHALL BE LABELED WITH THEIR VOLTAGE RATING, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING, AND BRANCH CIRCUIT ID NUMBERS (I.E., PANELBOARD AND CIRCUIT ID'S).
8. PANELBOARDS (ID NUMBERS) AND INTERNAL CIRCUIT BREAKERS (CIRCUIT ID NUMBERS) SHALL BE CLEARLY LABELED WITH ENGRAVED LAMACOID PLASTIC LABELS.
9. ALL THE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
10. POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (SEE ELECTRICAL DETAIL SHEET), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
11. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE CONDUCTOR (#6 AWG OR LARGER), 600 V, OIL RESISTANT THHN OR THWN-2 GREEN INSULATION, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; LISTED OR LABELED FOR THE LOCATION AND RACEWAY SYSTEM USED, UNLESS OTHERWISE SPECIFIED.
12. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED OUTDOORS, OR BELOW GRADE, SHALL BE SINGLE CONDUCTOR #2 AWG SOLID TINNED COPPER CABLE, UNLESS OTHERWISE SPECIFIED.
13. POWER AND CONTROL WIRING, NOT IN TUBING OR CONDUIT, SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (SEE ELECTRICAL DETAIL SHEET), 600 V, OIL RESISTANT THHN OR THWN-2, CLASS B STRANDED COPPER CABLE RATED FOR 90 °C (WET AND DRY) OPERATION; WITH OUTER JACKET; LISTED OR LABELED FOR THE LOCATION USED, UNLESS OTHERWISE SPECIFIED.
14. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WRENUTS BY HARGER (OR EQUAL). LUGS AND WRENUTS SHALL BE RATED FOR OPERATION AT NO LESS THAN 75°C (90°C IF AVAILABLE).
15. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
16. NEW RACEWAY OR CABLE TRAY WILL MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
17. ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
18. ELECTRICAL METALLIC TUBING (EMT), ELECTRICAL NONMETALLIC TUBING (EMT), OR RIGID NONMETALLIC CONDUIT (RIGID PVC, SCHEDULE 40) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
19. GALVANIZED STEEL INTERMEDIATE METALLIC CONDUIT (IMC) SHALL BE USED FOR OUTDOOR LOCATIONS ABOVE GRADE.
20. RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40 OR RIGID PVC SCHEDULE 80) SHALL BE USED UNDERGROUND; DIRECT BURIED, IN AREAS OF OCCASIONAL LIGHT VEHICLE TRAFFIC OR ENCASED IN REINFORCED CONCRETE IN AREAS OF HEAVY VEHICLE TRAFFIC.
21. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
22. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SETSCREW FITTINGS ARE NOT ACCEPTABLE.
23. CABINETS, BOXES AND WIREWAYS SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
24. CABINETS, BOXES AND WIREWAYS TO MATCH THE EXISTING INSTALLATION WHERE POSSIBLE.
25. WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
26. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
27. METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
28. NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
29. THE SUBCONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CONTRACTOR BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
30. THE SUBCONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD AGAINST LIFE AND PROPERTY.
31. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE LOCAL CODES.
32. CONDUIT ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED.



4 Bay Road
Building A; Suite 200
Hadley, MA 01035

Ph: (413)320-4918

CONSULTANTS:

[illegible]

SITE NAME: ROCHESTER 5
SITE NUMBER: 743597
ADDRESS: 156A LOWELL STREET
ROCHESTER, NH 03867

**RIP HOLDINGS II, LLC
TWO ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15210**

APPLICANT:

EVEREST

STAMP:



DATE: 07/12/2021

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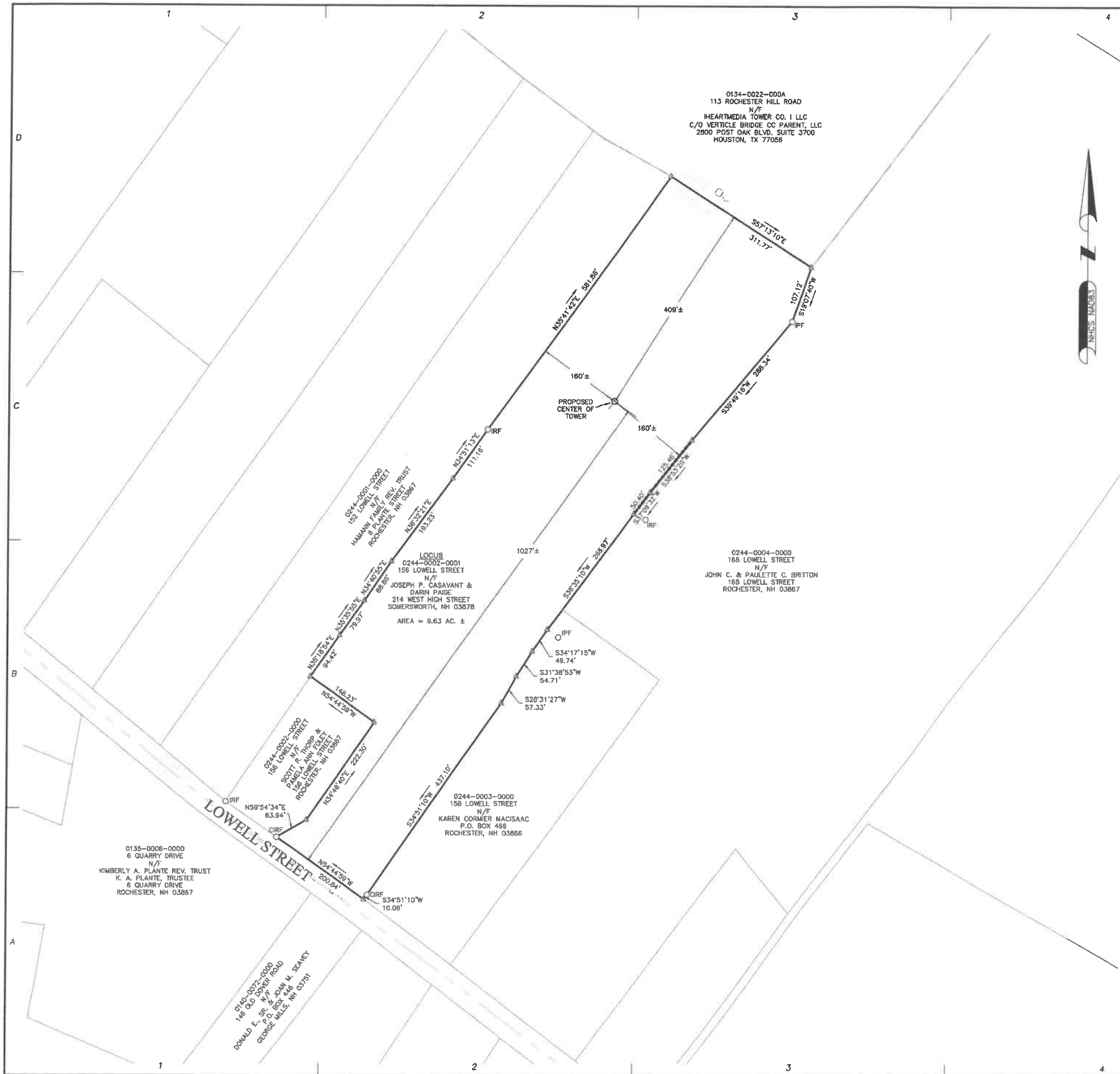
SCALE: SEE PLAN

JOB NO.: 20-018

SHEET TITLE:

**GENERAL
NOTES**

GN-1



FAA 1-A CERTIFICATION

I HEREBY CERTIFY THAT THE LATITUDE, LONGITUDE, AND ELEVATION PRESENTED HEREON MEET THE REQUIREMENTS OF THE FAA WITH THE FOLLOWING ACCURACIES:

THREE (3) FEET VERTICALLY
TWENTY (20) FEET HORIZONTALLY

6-23-2021

JAMES M. LAVELLE NH LLS # 489

DATE

SURVEY NOTES

- SITE DETAIL SHOWN ON THIS SURVEY IS BASED ON FIELD DATA COLLECTED ON MAY 18, 2020 & APRIL 5, 2021. BOUNDARY INFORMATION IS COMPILED FROM RECORD DOCUMENTS AND IS NOT TO BE CONSTRUED AS HAVING BEEN OBTAINED AS THE RESULT OF A FIELD BOUNDARY SURVEY, AND IS SUBJECT TO CHANGE AS AN ACCURATE FIELD SURVEY MAY DISCLOSE.
- THE PURPOSE OF THIS SURVEY IS TO SUPPORT THE DESIGN AND CONSTRUCTION OF A TELECOMMUNICATION FACILITY. USE OF THIS SURVEY BY ANYONE OTHER THAN EIP COMMUNICATIONS I, LLC, AND USE OF THIS SURVEY FOR ANY PURPOSE NOT RELATED TO THE DESIGN OF THE INTENDED FACILITY IS STRICTLY PROHIBITED.
- PROPERTY LINES AND BOUNDARY DIMENSIONS SHOWN ON THIS SURVEY ARE BASED ON A COMPILATION OF RECORDED PLANS AND DEEDS AND ARE NOT INTENDED TO REPRESENT DEFINITIVE BOUNDARY LINES OR BE USED FOR THE PURPOSES OF CONVEYANCE. PROPERTY RELATED INFORMATION HAS NOT BEEN CONFIRMED BY FIELD SURVEY OBSERVATIONS AND NO ASSESSMENT OF LAND OCCUPATION HAS BEEN CONDUCTED IN THE PREPARATION OF THIS SURVEY. A PROPERTY LINE RETRACEMENT SURVEY HAS NOT BEEN CONDUCTED.
- THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP'S, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.
- PRIMARY GEODETIC SURVEY CONTROL WAS ESTABLISHED FROM AN ON THE GROUND SURVEY USING THE GLOBAL POSITIONING SYSTEM (GPS) ON MAY 18, 2020. THE HORIZONTAL REFERENCED DATUM IS THE NAD83 BASED ON THE GRS80 REFERENCE ELLIPSOID. THE GRID COORDINATES ARE BASED ON THE NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM OF 1983 COR596. ELEVATIONS SHOWN ARE ASSUMED AND ARE APPROXIMATED TO THE NAVD88 VERTICAL DATUM. VERTICAL AND HORIZONTAL INFORMATION SHOWN MEETS THE STANDARD CRITERIA FOR AN FAA 1A CERTIFICATION (20'± HORIZONTAL AND 3'± VERTICAL).
- IN THE EVENT THAT BENCHMARKS (TBM'S), ESTABLISHED FOR THIS PROJECT AND PUBLISHED ON THIS SURVEY, ARE DESTROYED, NOT RECOVERABLE OR A DISCREPANCY IS FOUND, THE USER SHOULD NOTIFY THIS FIRM IN WRITING PRIOR TO COMMENCING OR CONTINUING ANY WORK.
- THE LOCUS PARCEL IS IDENTIFIED AS 0244-0002-0000 IN THE CITY OF ROCHESTER TAX ASSESSOR'S GIS DATABASE.
- THE PROJECT AREA IS LOCATED IN FLOOD ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, NO SHADING) FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 33017C 0212 D, DATED MAY 17, 2005.
- ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233
- THE SUBJECT PROPERTY IS LOCATED IN THE CITY OF ROCHESTER AGRICULTURAL (A) ZONING DISTRICT.
- WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER M. LUCUS, CWS #274, LUCAS ENVIRONMENTAL, LLC ON 4/28/2020.
- CONTOURS SHOWN HEREON WERE DERIVED FROM THE 2011 USGS Lidar: Northeast (NY to ME), DISTRIBUTED BY NOAA.

PROPERTY OWNER:

JOSEPH P. CASAVANT
& DARIN PAIGE
214 WEST HIGH STREET
SOMERSWORTH, NH 03878

LOCUS DEED REFERENCE:

BOOK 4176 PAGE 167

PLAN REFERENCE:

BOOK 92 PAGE 72

LEGEND

N/F

— NOW OR FORMERLY

IRF/IPF O

— IRON ROD/PIPE FOUND

CIRF O

— CAPPED IRON ROD FOUND

Δ

— CALCULATED POINT

⊙

— TOWER CONTROL POINT

—

— LOCUS PROPERTY LINE

—

— ABUTTERS PROPERTY LINE

ABUTTERS PLAN

ANSI D (22"x34") SCALE: 1"=100'
ANSI A (11"x17") SCALE: 1"=200'

100' 0' 100' 200'

ProTerra

DESIGN GROUP, LLC

4 Bay Road, Bldg A,
Suite 200
Hadley, MA 01035
Ph: (413) 320-4918

CONSULTANTS:

NORTHEAST SURVEY
CONSULTANTS

3 Ferry Street
Studio 1 East
Easthampton, MA 01027
(413) 203-5144
northeastsurvey.com

NO. DATE

REVISIONS

ISSUED FOR REVIEW

ADD TOPO AT ENTRANCE

A 10/18/20

B 6/23/21

SITE NAME: ROCHESTER 5

SITE ID: 748597

ADDRESS: 168A LOWELL STREET
ROCHESTER, NH 03867

APPLICANT:

EIP COMMUNICATIONS I, LLC
170 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

DATE: 6/23/2021

DRAWN: JDG

CHECK: BCF

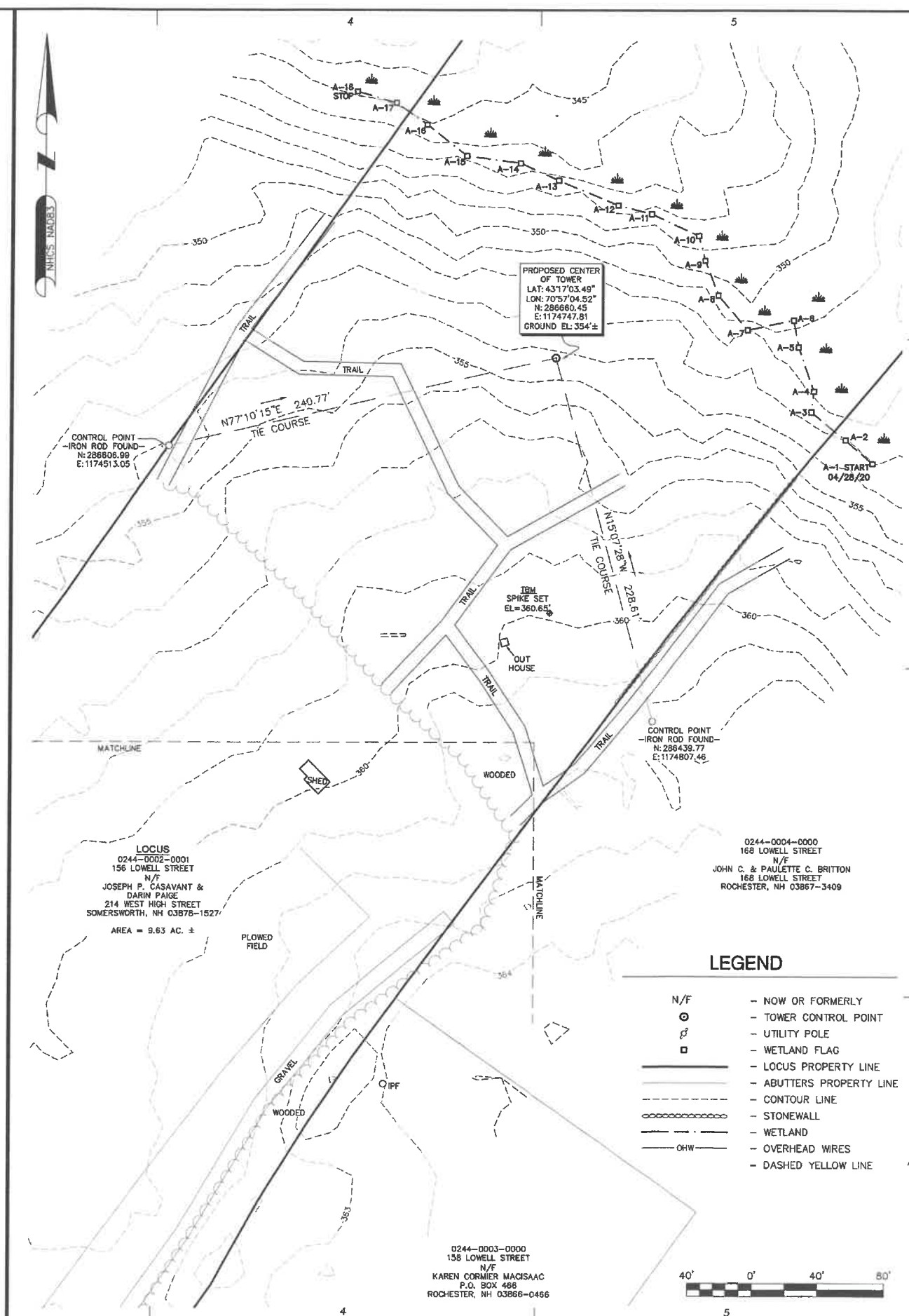
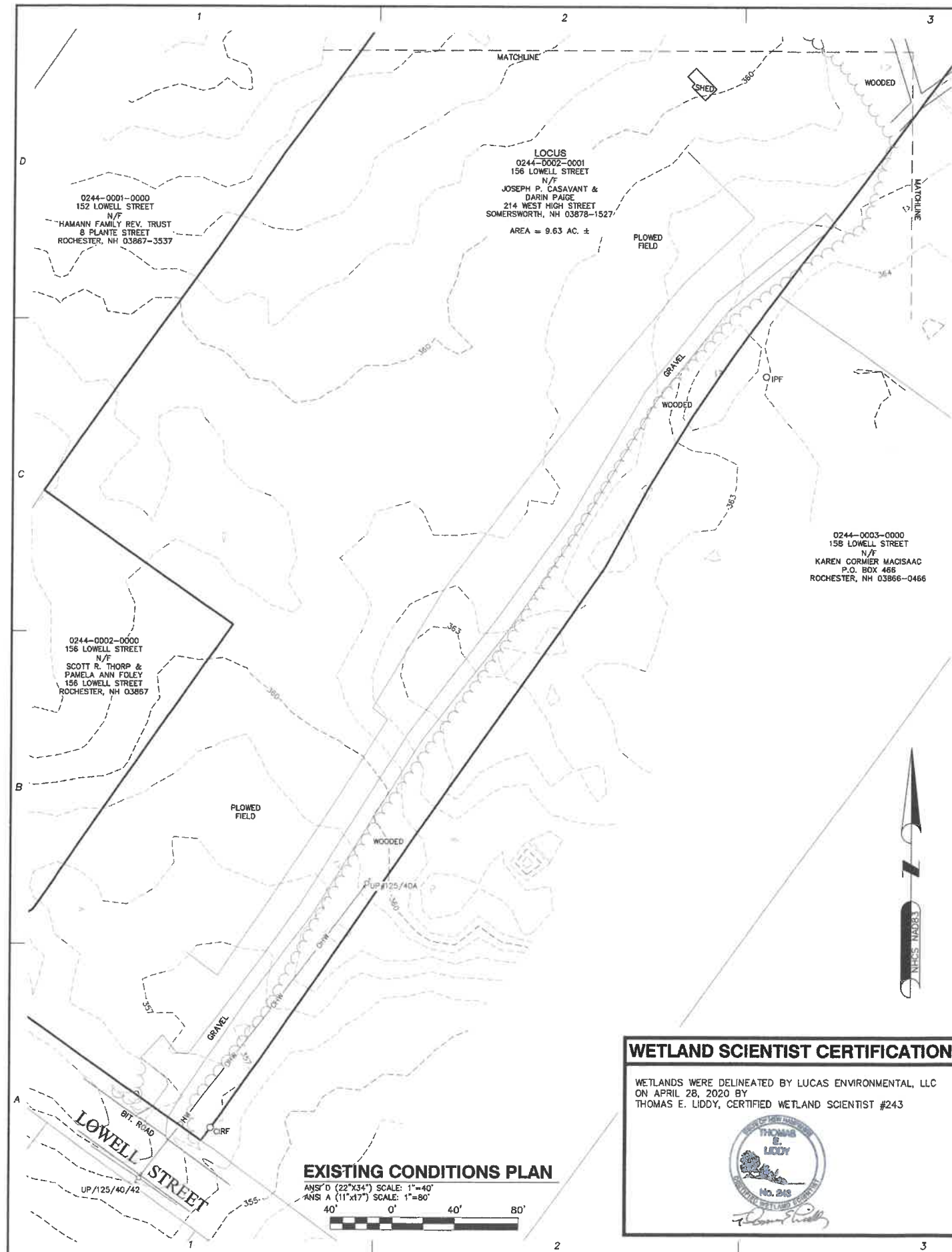
SCALE: 1"=100'

JOB NO.: 20-091

SHEET TITLE:

ABUTTERS
PLAN

C-1



ProTerra
DESIGN GROUP, LLC

4 Bay Road, Bldg. A,
Suite 200
Hodley, MA 01035
Ph: (413) 320-4918

CONSULTANTS:
NORTHEAST SURVEY
CONSULTANTS

3 Ferry Street
Studio 1 East
Easthampton, MA 01027
(413) 203-5144
northeastsurvey.com

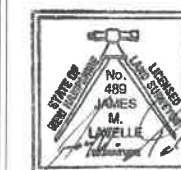


NO.	DATE	REVISIONS
A	10/16/20	ISSUED FOR REVIEW
B	6/23/21	ADD TOPO AT ENTRANCE

SITE NAME: ROCHESTER 5
SITE ID: 74897
ADDRESS: 166A LOWELL STREET
ROCHESTER, NH 03867

APPLICANT:
EPIC COMMUNICATIONS I, LLC
770 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

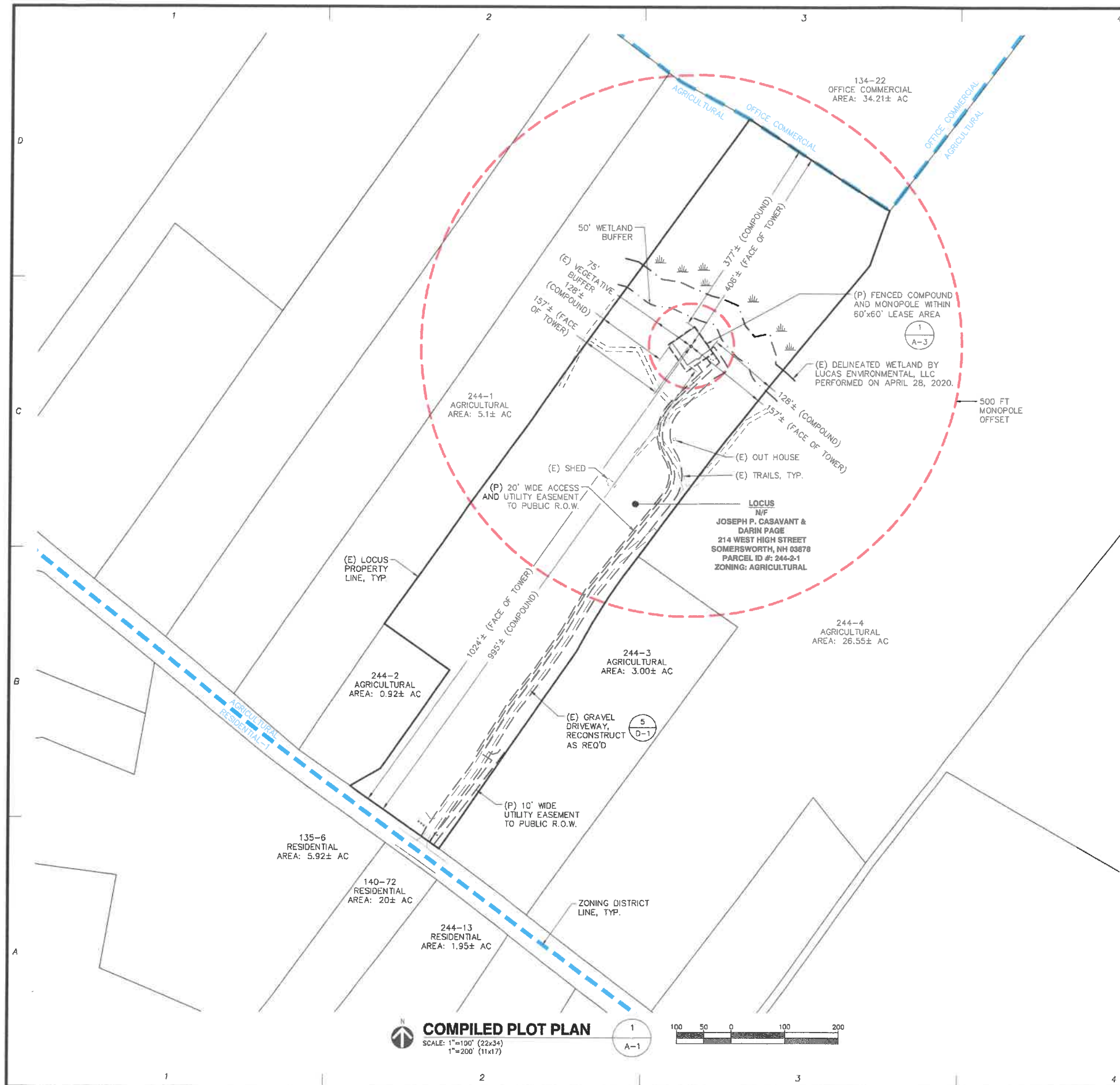
TITLE:



DATE: 6/23/2021
DRAWN: JDG
CHECK: BCF
SCALE: 1"=40'
JOB NO.: 20-091

SHEET TITLE:
EXISTING
CONDITIONS PLAN

C-2



REFERENCES

PROPERTY LINE, TOPOGRAPHY AND EXISTING FEATURES - SEE SHEETS C-1 & C-2
PREPARED BY NORTHEAST SURVEY CONSULTANTS DATED 7/29/2020.

ZONING DISTRICTS - ZONED: AGRICULTURAL FROM MAP ENTITLED "ZONING MAP CITY OF ROCHESTER, NH" ADOPTED 4/14/2014.

FLOODPLAIN - FLOOD INSURANCE RATE MAP 33017C0212D EFFECTIVE MAY 17, 2005
PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, US DEPARTMENT OF
HOMELAND SECURITY. PROJECT AREA IS WITHIN ZONE X: "AREAS DETERMINED TO BE
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

AERIAL PHOTOGRAPHY - NH GRANIT, NEW HAMPSHIRE STATEWIDE GIS CLEARINGHOUSE
(2010 IMAGES)

GENERAL NOTES

1. THE TYPE, DIMENSIONS, MOUNTING HARDWARE, AND POSITIONS OF ALL PROJECT OWNER'S EQUIPMENT ARE SHOWN IN ILLUSTRATIVE FASHION. ACTUAL HARDWARE DETAILS AND FINAL LOCATIONS MAY DIFFER SLIGHTLY FROM WHAT IS SHOWN.
2. THE PROJECT OWNER'S PCS FACILITY IS AN UNMANNED PRIVATE AND SECURED EQUIPMENT INSTALLATION. IT IS ONLY ACCESSED BY TRAINED TECHNICIANS FOR PERIODIC ROUTINE MAINTENANCE AND THEREFORE DOES NOT REQUIRE ANY WATER OR SANITARY SEWER SERVICE. THE FACILITY IS NOT GOVERNED BY REGULATIONS REQUIRING PUBLIC ACCESS PER ADA REQUIREMENTS.
3. THE DESIGN OF THE TOWER, FOUNDATION AND ANTENNA MOUNTING HARDWARE WILL MEET THE ANSI/EIA/TIA-222-G STANDARDS FOR STRUCTURAL STEEL ANTENNA SUPPORTING STRUCTURES AND STATE BUILDING CODE REQUIREMENTS. DETAILED CONSTRUCTION DRAWINGS AND STRUCTURAL CALCULATIONS WILL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER AND SUBMITTED WITH A BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL BY THE LOCAL BUILDING CODE ENFORCEMENT OFFICIAL.
4. ONCE THE FACILITY BECOMES FULLY OPERATIONAL, NORMAL AND ROUTINE MAINTENANCE BY TOWER OWNER'S AND CARRIER'S TECHNICIANS WILL BE PERFORMED. THE ESTIMATED VEHICULAR TRAFFIC GENERATED BY THESE VISITS IS PREDICTED TO BE LESS THAN THE TYPICAL TRAFFIC GENERATED BY A SINGLE-FAMILY DWELLING.

ZONING SUMMARY

ZONING DISTRICT(S): AGRICULTURAL (AG)

ASSESSORS ID: 244-2-1

(P) USE: WIRELESS COMMUNICATIONS FACILITY¹

DIMENSION	PROVIDED	CONSTRAINT
PARCEL - AREA	9.6± AC	45,000 SF MIN.
PARCEL - FRONTAGE	200'±	150' MIN.
PARCEL - LOT COVERAGE	<1%±	40% MAX.
(P) COMPOUND - FRONT YARD	995'±	20' MIN.
(P) COMPOUND - SIDE YARD	128'±	10' MIN.
(P) COMPOUND - REAR YARD	377'±	20' MIN.
(P) COMPOUND - ACCESSORY STRUCTURE HEIGHT	15'±	35' MAX.
(P) MONOPOLE - HEIGHT (HIGHEST APPURTENANCE)	112' (115')	115' ³
(P) MONOPOLE - DISTANCE TO PROPERTY LINE	157'± MIN.	115' ²
(P) MONOPOLE - DISTANCE TO (E) BUILDINGS & STRUCTURES	>500'± (NO USES/SIZES/HEIGHTS LABELED)	

SPECIAL CONSIDERATIONS MAY BE REQUIRED FOR THE FOLLOWING:

- 1 - WIRELESS COMMUNICATIONS FACILITY ALLOWED IN AGRICULTURAL (AG) DISTRICT BY SPECIAL EXCEPTION AS NOTED WITHIN "ZONING ORDINANCE OF THE CITY OF ROCHESTER, NEW HAMPSHIRE" TABLE 18-D.
- 2 - "ZONING ORDINANCE OF THE CITY OF ROCHESTER, NEW HAMPSHIRE": §42.22.c.14 SPECIAL EXCEPTIONS, CONDITIONS FOR PARTICULAR USES, WIRELESS COMMUNICATIONS FACILITY DOES NOT SPECIFY A MAXIMUM TOWER HEIGHT OR PROPERTY LINE SETBACK. IT WAS ASSUMED A MINIMUM PROPERTY LINE OF AT LEAST THE TOWER HEIGHT BE PROVIDED.
- 3 - TOWER HEIGHT DETERMINED BY THE FAA'S NOTICE OF PROPOSED HAZARD ON THE SUBJECT SITE.

THE CITY OF ROCHESTER PLANNING BOARD NOTICE OF DECISION, CASE# 244-2-1-A-21,
DATED FEBRUARY 2, 2021.

PLANNING BOARD APPROVAL INCLUDED GRANTING WAIVERS FROM SITE PLAN REGULATIONS AND
CONDITIONS OF APPROVAL.

ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A, Suite 200
Hadley, MA 01035

Ph: (413) 320-4918

CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
D	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 6
SITE NUMBER: 74567
ADDRESS: 166A LOWELL STREET
ROCHESTER, NH 03607

APPLICANT:
RIP HOLDINGS II, LLC
170 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 705
PITTSBURGH, PA 15222

APPLICANT:

EVEREST

STAMP:



DATE: 07/12/2021

DRAWN: STZ/JEB

CHECK: JMM/TEJ

SCALE: SEE PLAN

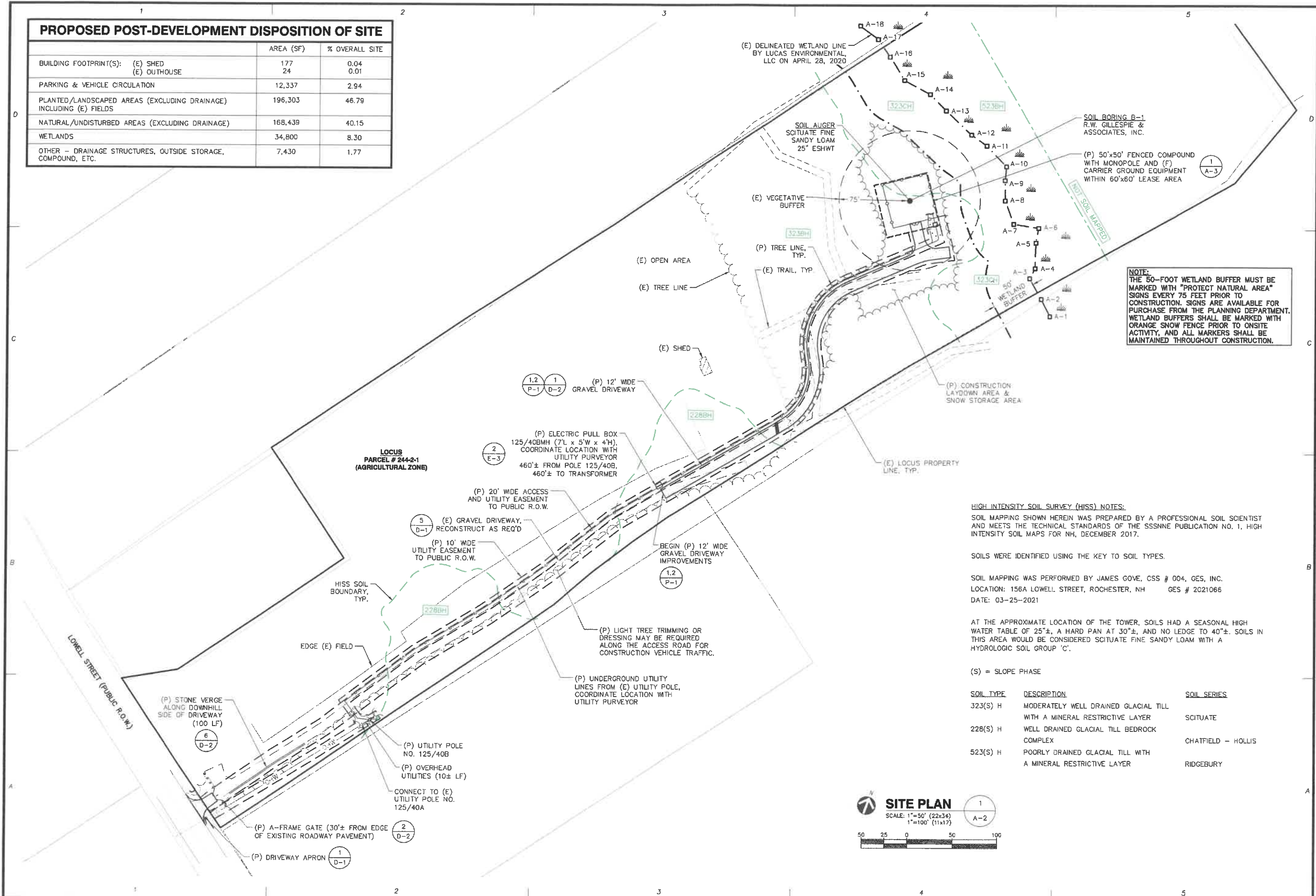
JOB NO.: 20-018

SHEET TITLE:

**COMPILED
PLOT PLAN**

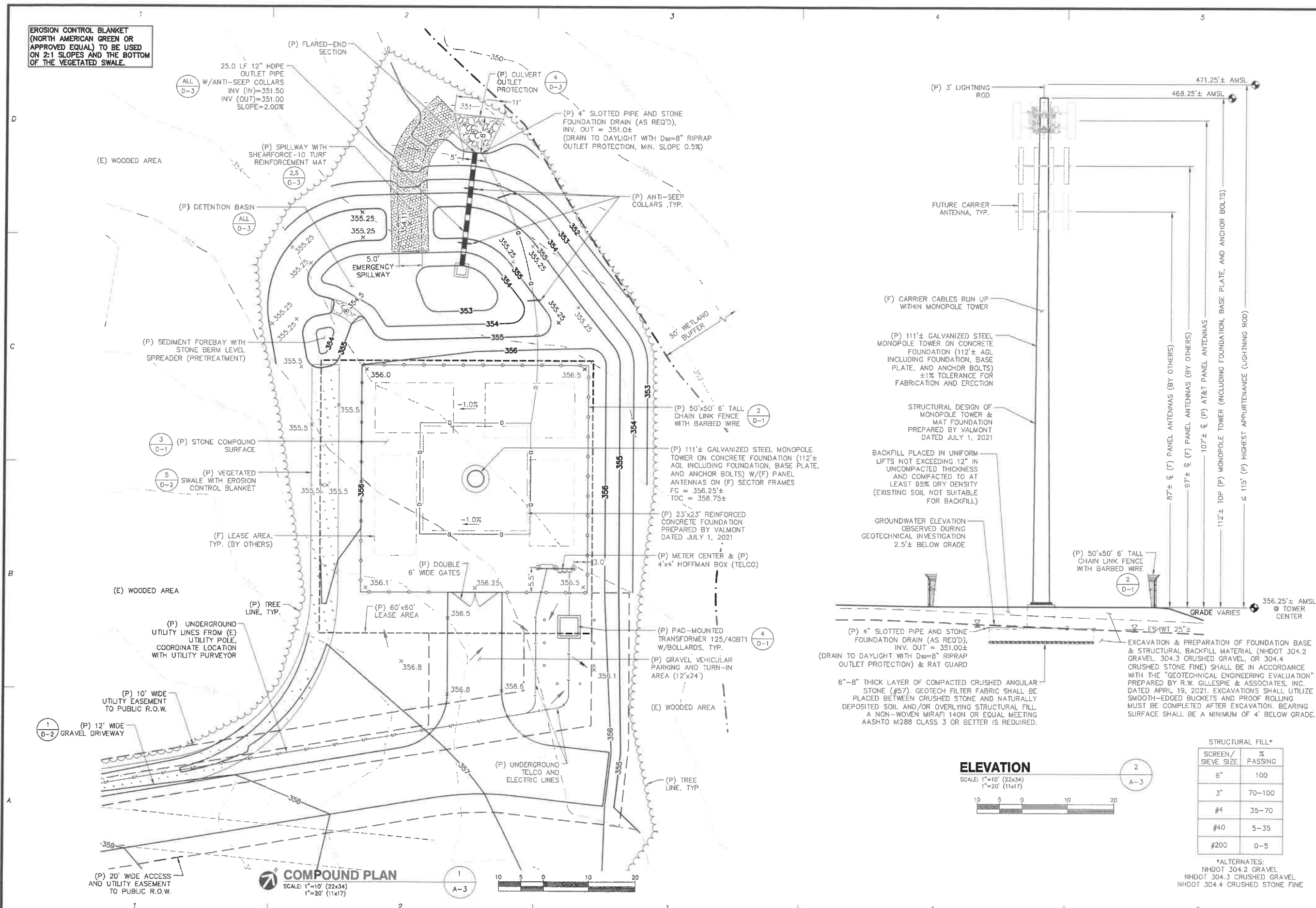
A-1

	AREA (SF)	% OVERALL SITE
BUILDING FOOTPRINT(S): (E) SHED (E) OUTHOUSE	177 24	0.04 0.01
PARKING & VEHICLE CIRCULATION	12,337	2.94
PLANTED/LANDSCAPED AREAS (EXCLUDING DRAINAGE) INCLUDING (E) FIELDS	196,303	46.79
NATURAL/UNDISTURBED AREAS (EXCLUDING DRAINAGE)	168,439	40.15
WETLANDS	34,800	8.30
OTHER -- DRAINAGE STRUCTURES, OUTSIDE STORAGE, COMPOUND, ETC.	7,430	1.77



A-2

EROSION CONTROL BLANKET
(NORTH AMERICAN GREEN OR
APPROVED EQUAL) TO BE USED
ON 2:1 SLOPES AND THE BOTTOM
OF THE VEGETATED SWALE.



ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A; Suite 200
Hadley, MA 01035
Ph: (413) 320-4918

CONSULTANTS:

	NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW	
B	07/02/21	ISSUED FOR BID SET	
C	07/12/21	ISSUED FOR CONSTRUCTION	
D			
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
O			
P			
Q			
R			
S			
T			
U			
V			
W			
X			
Y			
Z			

SITE NAME: ROCHESTER 5
SITE NUMBER: 743697
ADDRESS: 156A LOWELL STREET
ROCHESTER, NH 03867

LEIP HOLDINGS II, LLC
TWO ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

APPLICANT:  EVEREST

STAMP:



DATE: 07/12/2021

DRAWN: STZ/JEB

CHECK: JMM/TEJ

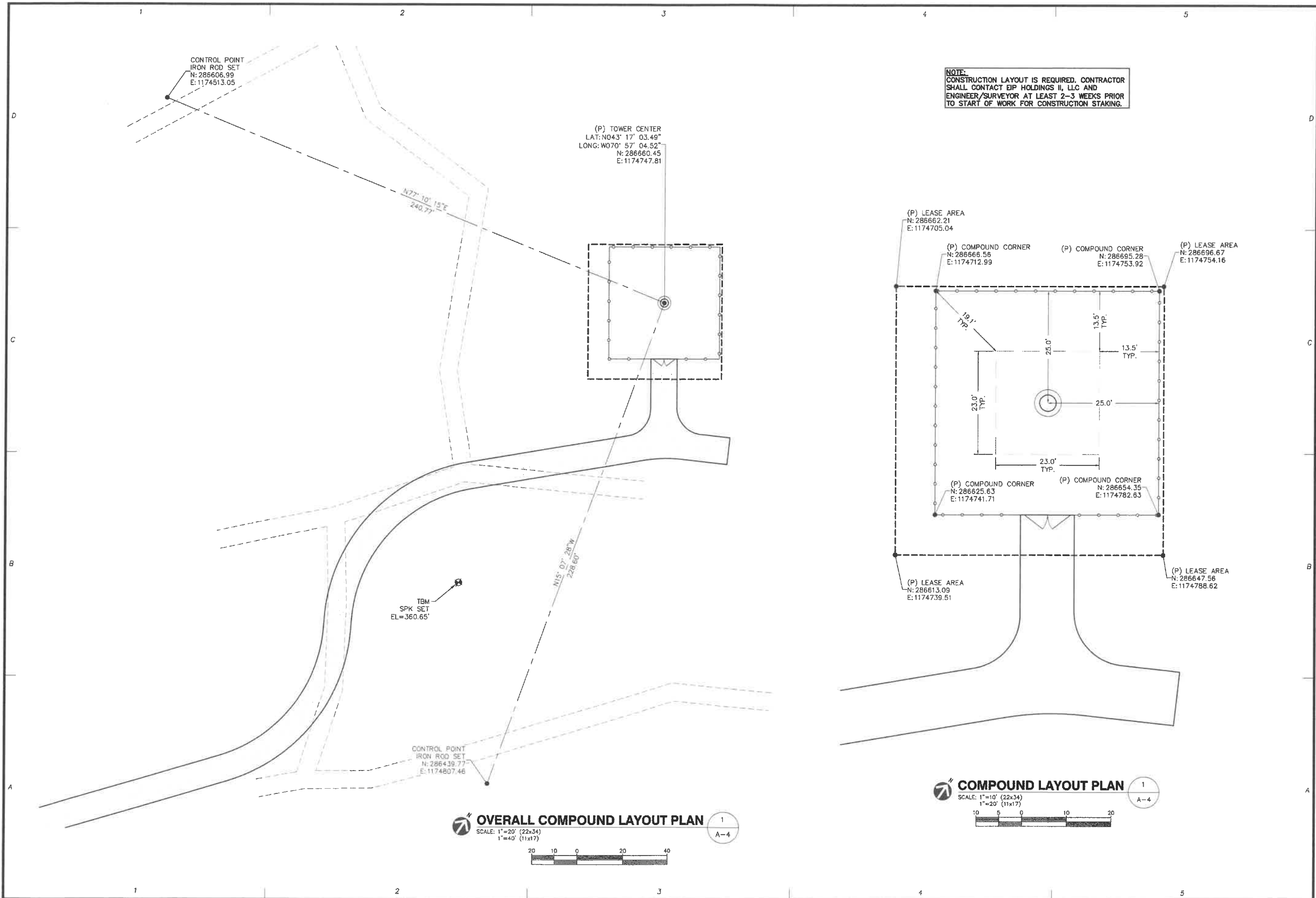
SCALE: SEE PLAN

JOB NO.: 20-018

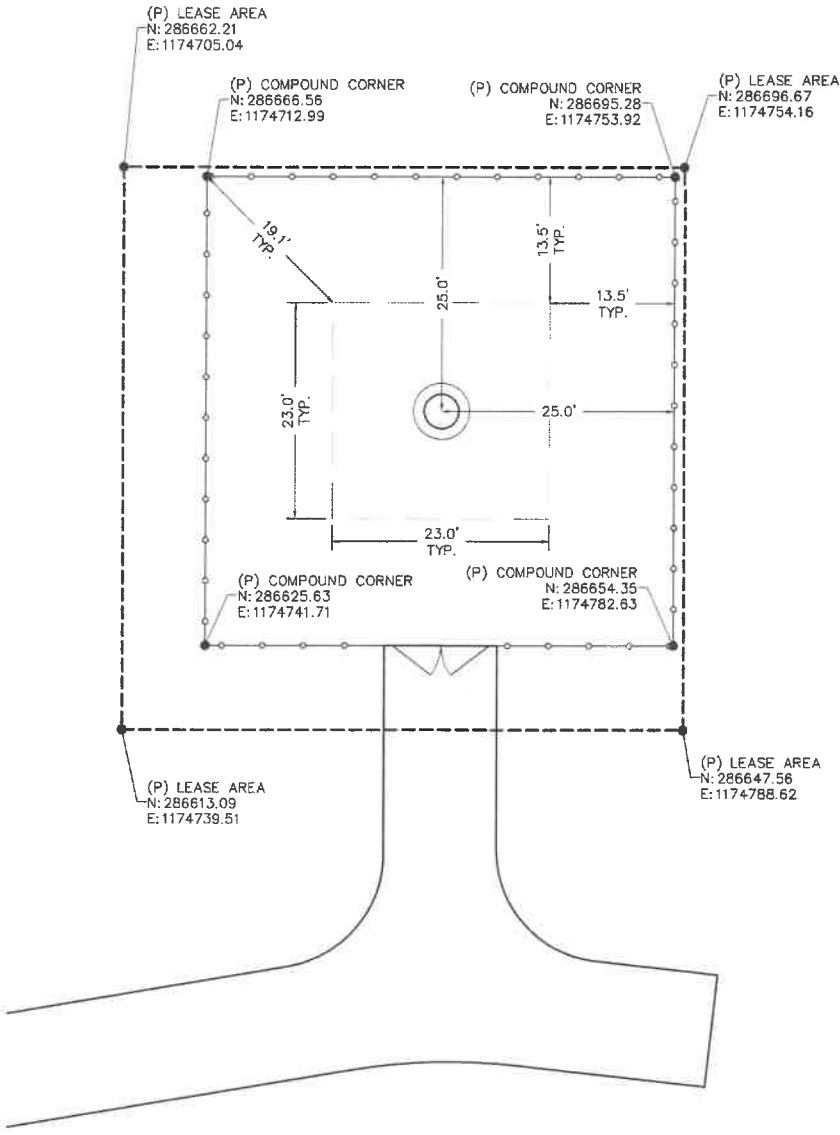
SHEET TITLE:

**COMPOUND PLAN
& ELEVATION**

A-3



NOTE:
CONSTRUCTION LAYOUT IS REQUIRED. CONTRACTOR
SHALL CONTACT EIP HOLDINGS II, LLC AND
ENGINEER/SURVEYOR AT LEAST 2-3 WEEKS PRIOR
TO START OF WORK FOR CONSTRUCTION STAKING.



ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A, Suite 200
Hadley, MA 01035
Ph: (413) 320-4918

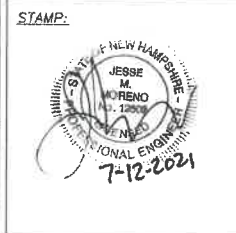
CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
C	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 6
SITE NUMBER: 743597
ADDRESS: 156A LOWELL STREET
ROCHESTER, NH 03807

EIP HOLDINGS II, LLC
170 ALLEGHENY CENTER
ROCKY HILL, CT 06152

EVEREST
SURVEYING



DATE: 07/12/2021

DRAWN: STZ/JEB

CHECK: JMM/TEJ

SCALE: SEE PLAN

JOB NO.: 20-018

SHEET TITLE:

**COMPOUND
LAYOUT PLAN**

A-4

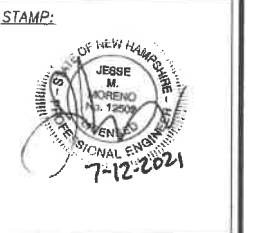
CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
C	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 6
SITE NUMBER: 743697
ADDRESS: 166A LOWELL STREET
ROCHESTER, NH 03607

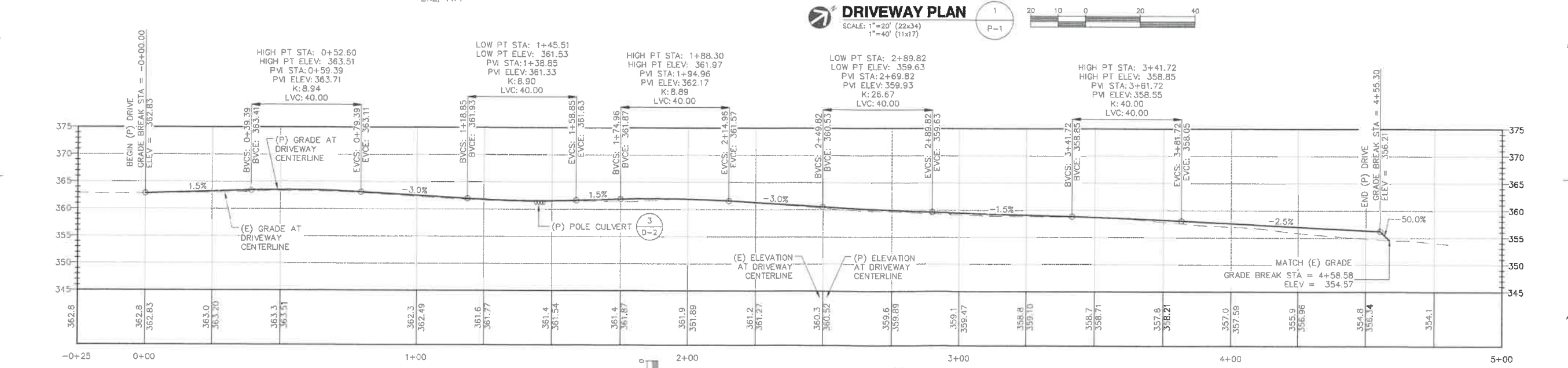
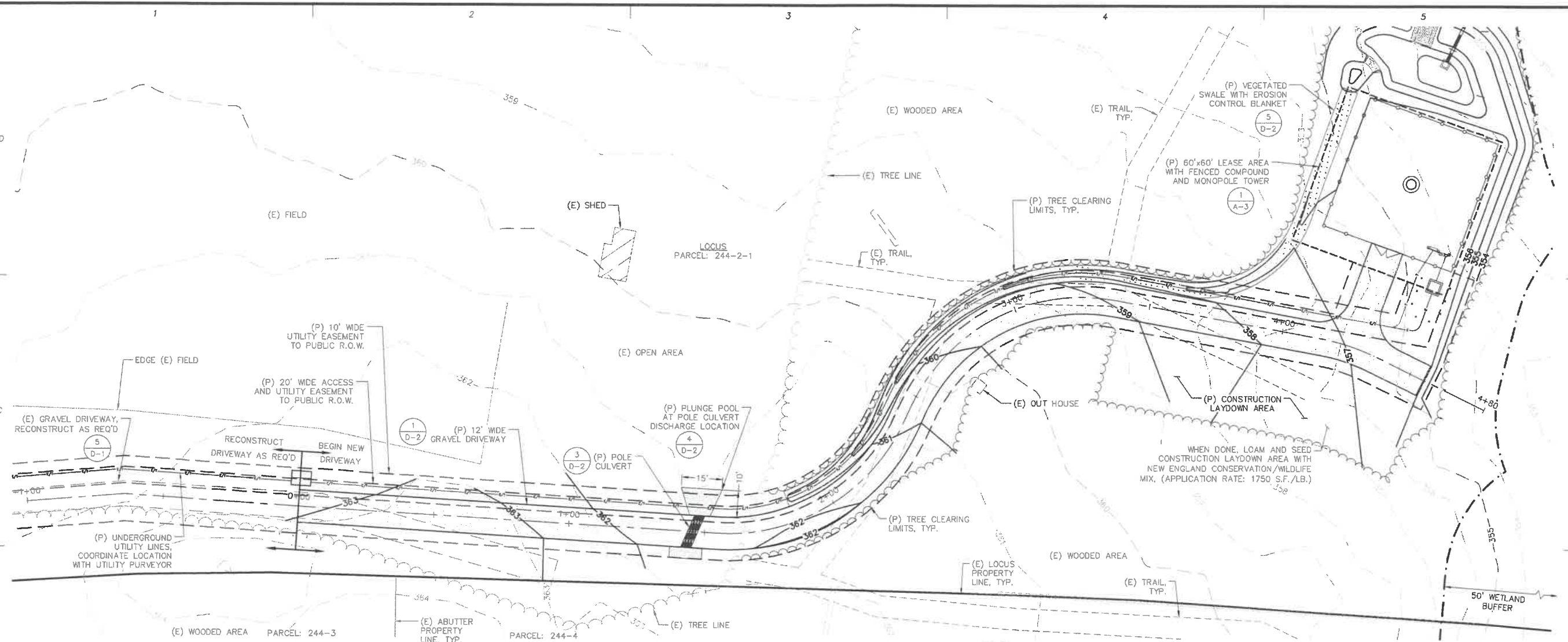
APPLICANT:
EP HOLDINGS II, LLC
170 ALLBURY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

EVEREST



DATE: 07/12/2021
DRAWN: STZ/JEB
CHECK: JMM/TEJ
SCALE: SEE PLAN
JOB NO.: 20-018

SHEET TITLE:
DRIVEWAY PLAN & PROFILE
P-1

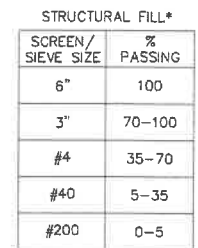


[illegible]

EVEREST
REAL ESTATE
HIP HOLDINGS II, LLC
TWO ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

SHEET TITLE:

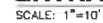
D-1



COMPOUND SURFACE
SCALE: NONE



SCALE: NONE



D-1

CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
D	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 5
SITE NUMBER: 743697
ADDRESS: 168A LOWELL STREET
ROCHESTER, NH 03867

EP HOLDINGS II, LLC
770 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15212

APPLICANT:
EVEREST
LANDSCAPE ARCHITECT

STAMP:



DATE: 07/12/2021

DRAWN: STZ/JEB

CHECK: JMM/TEJ

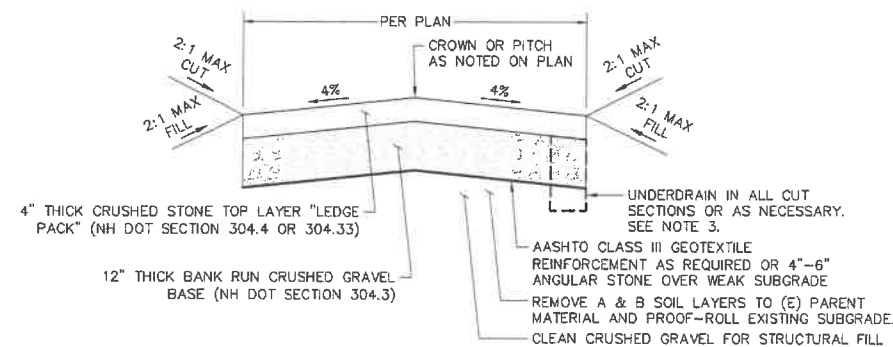
SCALE: SEE PLAN

JOB NO.: 20-018

SHEET TITLE:

DETAILS

D-2



NOTES:

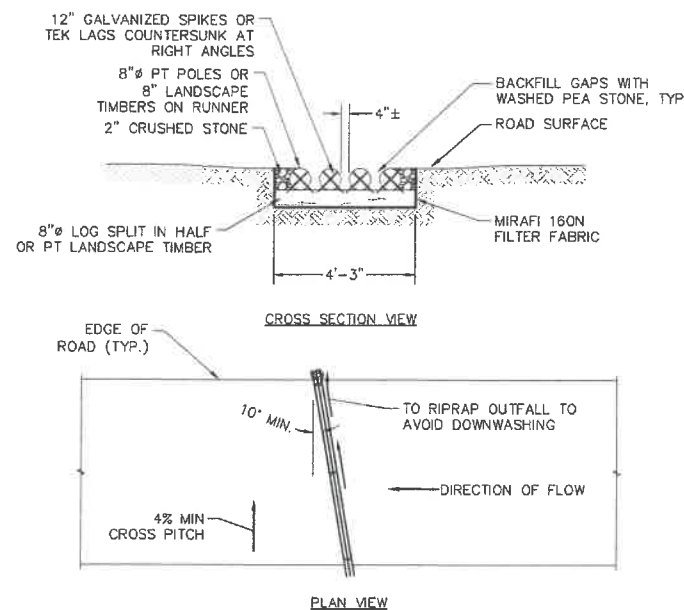
- ALL GRANULAR MATERIALS SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY STD. PROCTOR METHOD.
- ALL CUT AND FILL SLOPES TO BE COVERED WITH JUTE MESH EROSION CONTROL BLANKETS AND/OR HYDROSEEDING WITH NEW ENGLAND ROADSIDE MATRIX MIX AT 35LBS PER ACRE OR EQUAL.
- THE REQUIREMENT FOR INSTALLATION OF SUBDRAINS SHALL BE AT ALL CUT SECTIONS OR AS DETERMINED BY THE ENGINEER-OF-RECORD BASED ON FIELD CONDITIONS AT THE TIME OF CONSTRUCTION. SUBDRAINS SHALL BE OUTLETED TO DAYLIGHT AS APPROVED BY THE ENGINEER-OF-RECORD.
- ALL MATERIALS TO CONFORM TO STATE AND/OR MUNICIPAL STANDARD AS REQUIRED.

% PASSING	BASE LAYER	TOP LAYER
6"	100	-
3"	-	100
2"	-	95-100
1"	-	55-85
#4	25-70	27-52
#200	0-12	0-12

NEW DRIVEWAY SECTION

SCALE: NONE

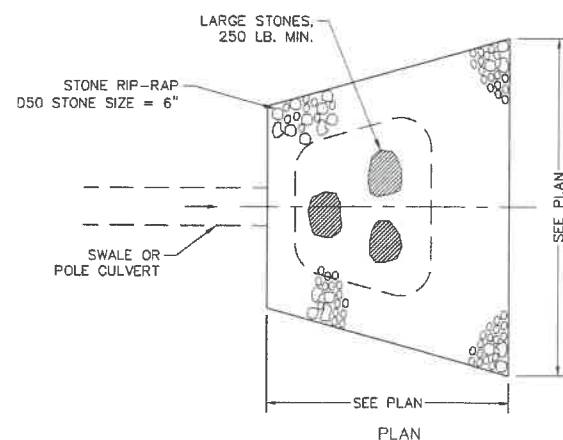
1
D-2



POLE CULVERT

SCALE: NONE

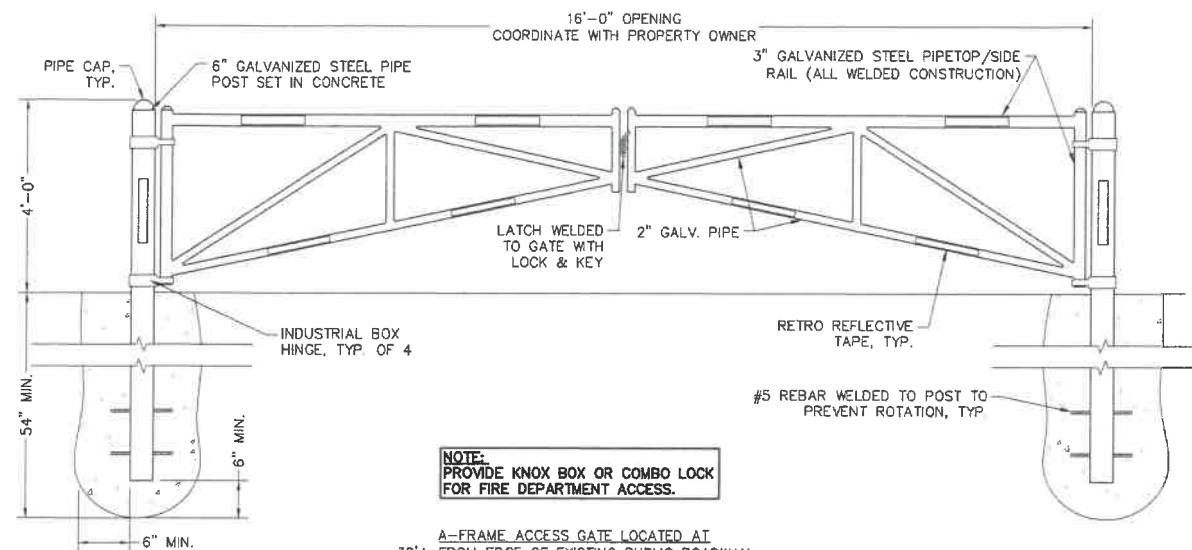
3
D-2



PLUNGE POOL

SCALE: NONE

4
D-2



NOTE:
PROVIDE KNOX BOX OR COMBO LOCK FOR FIRE DEPARTMENT ACCESS.

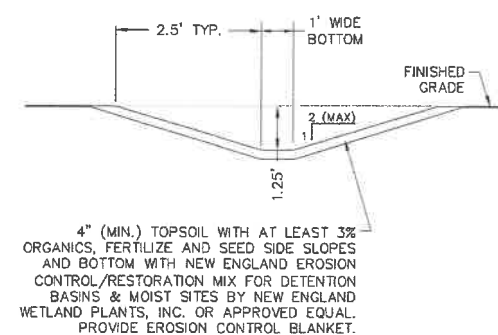
A-FRAME ACCESS GATE LOCATED AT 30'± FROM EDGE OF EXISTING PUBLIC ROADWAY (COORDINATE LOCATION WITH PROPERTY OWNER)

A-FRAME ACCESS GATE

SCALE: NONE

2
D-2

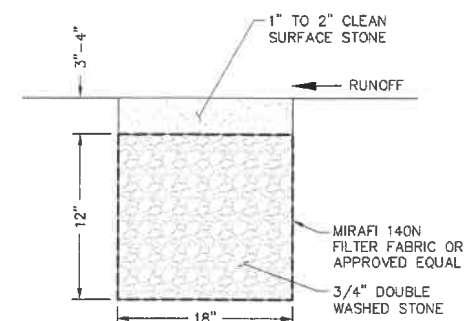
EROSION CONTROL BLANKET TO BE USED ON 2:1 SLOPES AND THE BOTTOM OF THE VEGETATED SWALE.



VEGETATED SWALE

SCALE: NONE

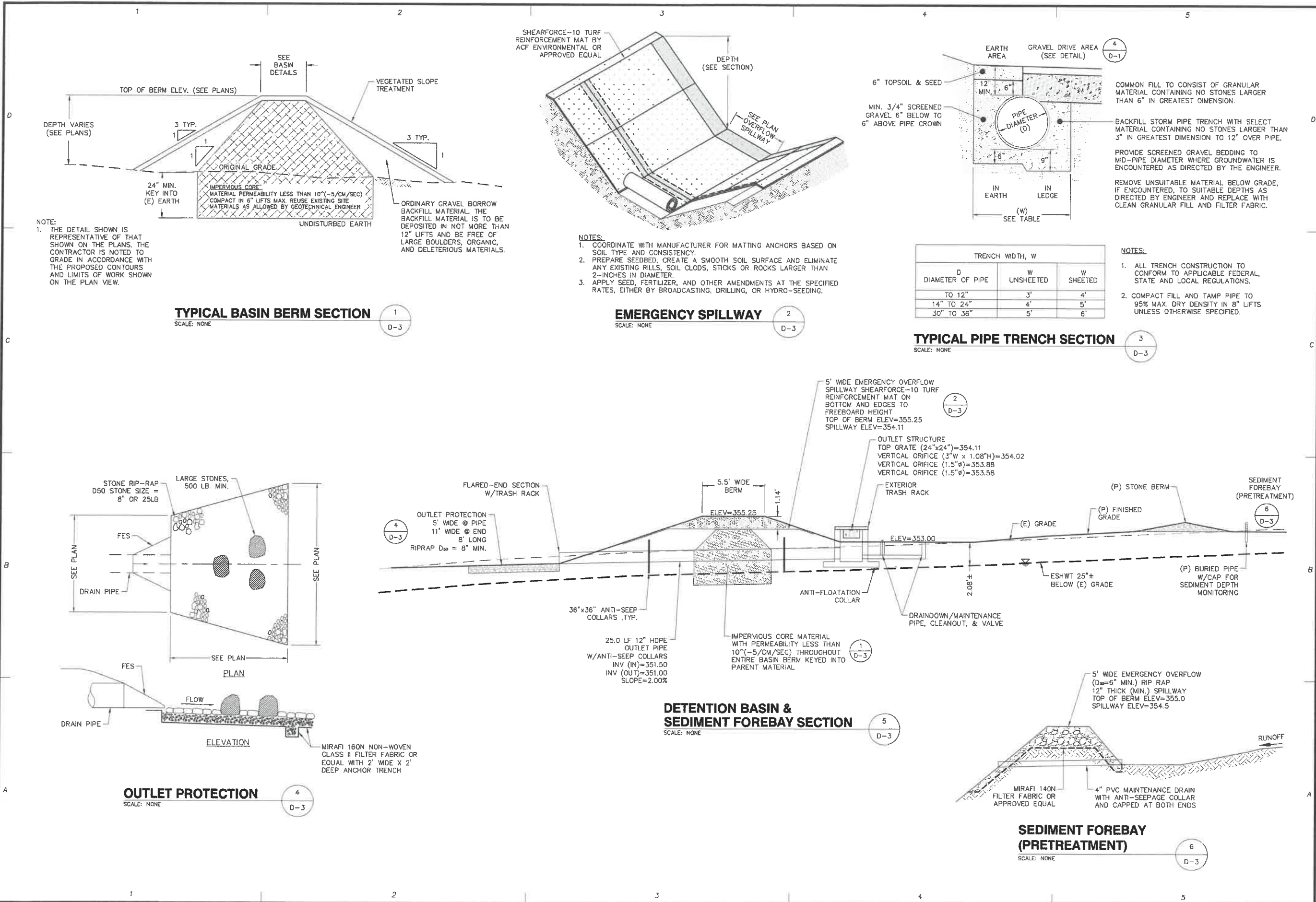
5
D-2



STONE VERGE

SCALE: NONE

6
D-2



ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A, Suite 200
Hadley, MA 01035
Ph: (413)320-4918

CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
C	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 6
SITE NUMBER: 743687
ADDRESS: 166A LOWELL STREET
ROCHESTER, NH 03867

APPLICANT:
ERP HOLDINGS II, LLC
770 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15222

STAMP:
JESSE M. MORENO
Professional Engineer
7-12-2021

DATE: 07/12/2021
DRAWN: STZ/JEB
CHECK: JMM/TEJ
SCALE: SEE PLAN
JOB NO.: 20-018
SHEET TITLE:

DETAILS

D-3

UTILITY COORDINATION NOTE:
A UTILITY WALK WITH EVERSOURCE AND EIP HOLDINGS II, LLC WILL BE HELD PRIOR TO CONTRACTOR BID WALK, AS NEEDED.

WORK REQUEST #: 5680360

A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE LOCAL INSPECTOR AND UTILITY COMPANY.

COORDINATION WITH UTILITY COMPANIES IS REQUIRED PRIOR TO CONSTRUCTION BY CONSTRUCTION MANAGER/CONTRACTOR

MAKE ALL CONNECTIONS AS PER UTILITY COMPANY REQUIREMENTS AND NEC 2017

EVERSOURCE (DESIGNER):
PIERRE BOUGIE
PH: (603) 332-7507
EMAIL: pierre.bougie@eversource.com

(P) 1 ϕ , 100KVA PAD MOUNTED TRANSFORMER (BY CONTRACTOR). PROVIDE GROUND SYSTEM AND PAD MOUNT FOLLOWING UTILITY CO. SPECIFICATIONS.

#125/40BMH H-20 RATED ELECTRIC PULL BOX (7'L x 5'W x 4'H), COORDINATE LOCATION WITH UTILITY PURVEYOR

H-20 RATED TELCO HANDHOLES (TO BE APPROVED BY TELCO PURVEYOR) LOCATED EVERY 500' OR AT BENDS AS REQUIRED BY UTILITY PURVEYOR, TYP. (BY CONTRACTOR)

#125/40BT1 TRANSFORMER SLAB 66"x50"x12"

240V kWh MANUAL BY-PASS TENANT METER W/200A, 2P CIRCUIT BREAKER AND LOCKABLE BREAKER DOOR

120/240V, 800A 1 ϕ METER BANK (5 METER SOCKETS & 1 BLANK)

3'x3' HOFFMAN STYLE TELCO JUNCTION BOX (OPTIONAL TO PLACE ON BACKSIDE OF H-FRAME)

CUSTOMER RESPONSIBLE TO DIG, INSTALL 2-3" CONDUITS (4' BELOW GRADE) FOR ELECTRICAL FROM RISER POLE 125/40B DOWN TO 125-40BMH TO 125/40BT1 & 3-3" CONDUITS (3' BELOW GRADE) FROM 125/40BT1 TO CUSTOMER GEAR. CUSTOMER ALSO RESPONSIBLE TO PROVIDE AND INSTALL XFMR SLAB & MANHOLE AS SHOWN ON DRAFT. EVERSOURCE "ESE" REQUIRES A 48 HOUR NOTIFICATION TO OUR ELECTRIC SERVICE SUPPORT CENTER "ESSC" @ 1-800-382-7764 TO SCHEDULE A TRENCH INSPECTION. ESE WILL INSTALL OH PRIMARY/N CABLE FROM 125/40A TO 125/40B & URD PRIMARY CBL FROM 125/40B TO 125/40BMH & TO (URD XFMR) 125/40BT1 & SVC CBL FROM 125/40BT1 TO CUSTOMER'S GEAR. CUSTOMER MAY BE REQUIRED TO MAKE CONNECTIONS. XFMR SLAB & MANHOLE DIMENSIONS ARE LISTED IN DRAFT DESIGN.

ProTerra
DESIGN GROUP, LLC

4 Bay Road
Building A, Suite 200
Hodley, MA 01035

PH: (413) 320-4918

CONSULTANTS:

NO.	DATE	REVISIONS
A	06/21/21	ISSUED FOR REVIEW
B	07/02/21	ISSUED FOR BID SET
D	07/12/21	ISSUED FOR CONSTRUCTION

SITE NAME: ROCHESTER 6
SITE NUMBER: 743687
ADDRESS: 168A LOWELL STREET
ROCHESTER, NH 03607

EIP HOLDINGS II, LLC
770 ALLIANCE CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15202

APPLICANT:

EVEREST

STAMP:



FOR SCHEMATIC ONLY

DATE: 07/12/2021

DRAWN: STZ/JEB

CHECK: JMM/TEJ

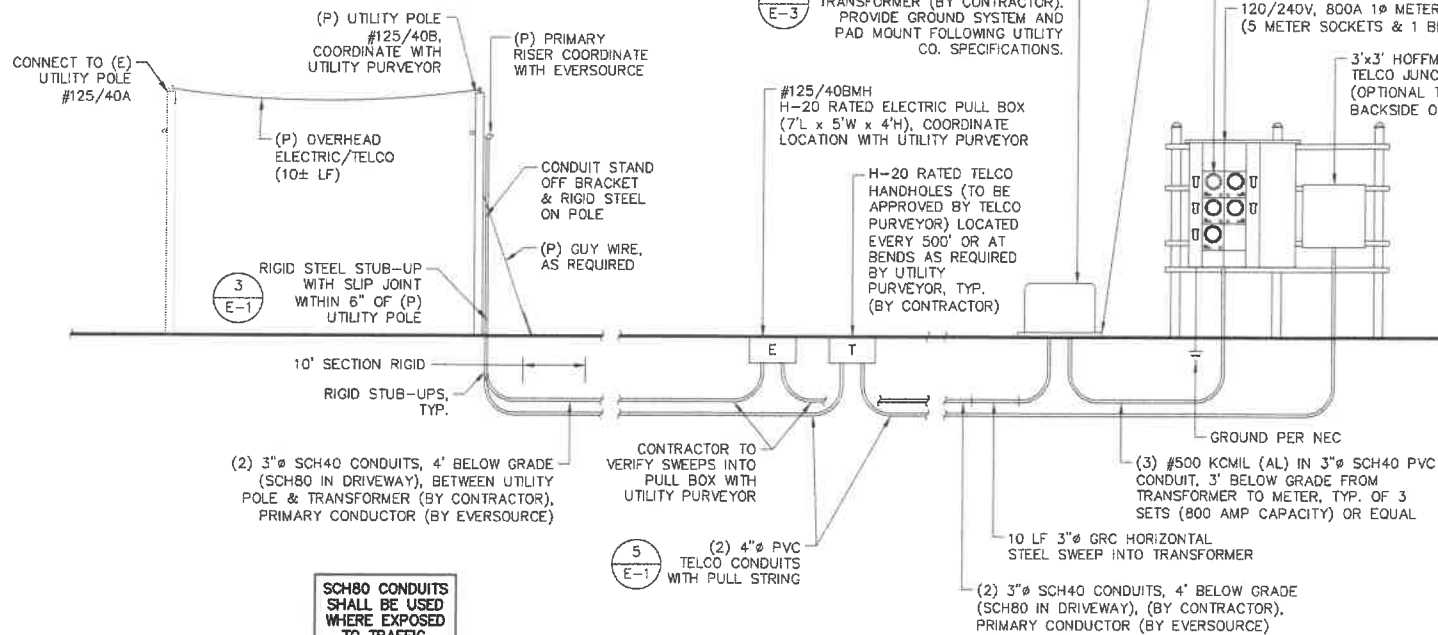
SCALE: SEE PLAN

JOB NO.: 20-018

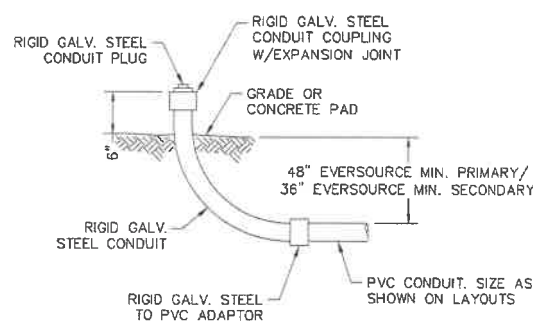
SHEET TITLE:

ELECTRICAL &
GROUNDING
DETAILS

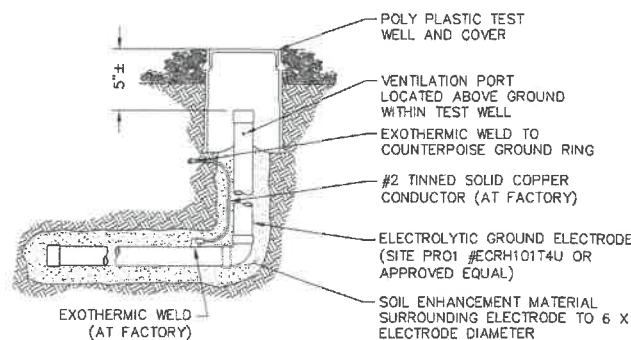
E-1



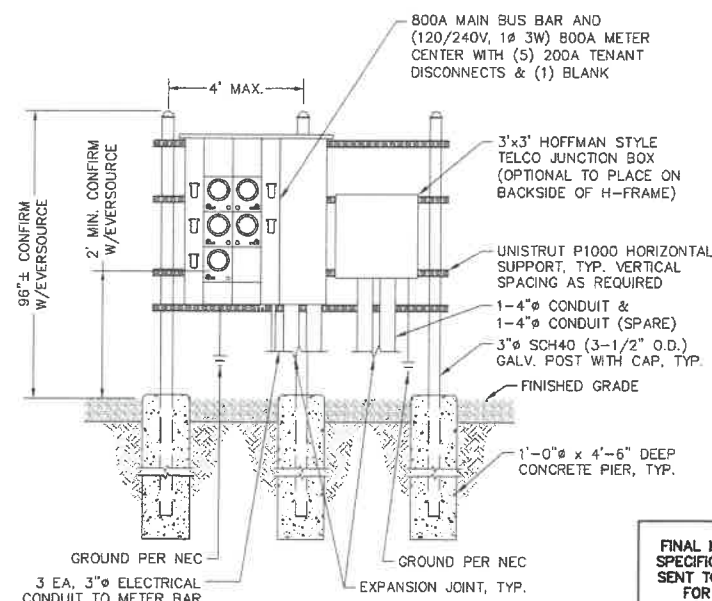
UTILITY RISER SCHEMATIC
SCALE: NONE



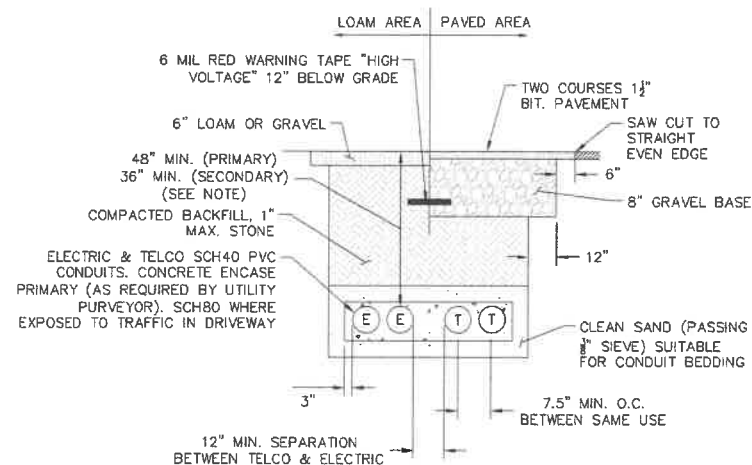
STUB-UP CONDUIT DETAIL
SCALE: NONE



ELECTROLYTIC GROUND
ELECTRODE
SCALE: NONE



TENANT METER CENTER
SCALE: NONE



BURIED CONDUIT SECTION
SCALE: NONE

NOTES:

1. MAKE ALL CONNECTIONS AS PER UTILITY COMPANY AND NEC REQUIREMENTS.
2. CONCRETE ENCASE PER THE REQUIREMENTS OF THE UTILITY COMPANY.
3. VERIFY CONDUIT SIZE WITH NEC.

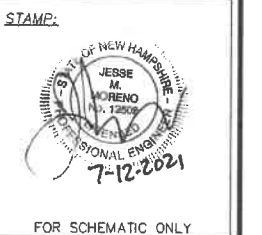
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SITE NAME: ROCHESTER 6
SITE NUMBER: 748587
ADDRESS: 166A LOWELL STREET
ROCHESTER, NH 03867

APPLICANT:
ERP HOLDINGS II, LLC
770 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15222

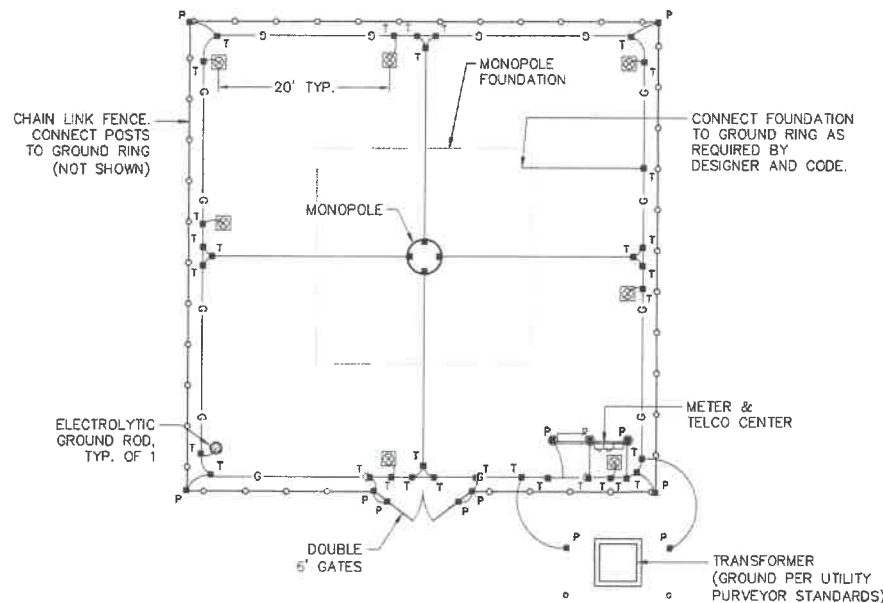
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DATE: 07/12/2021
DRAWN: STZ/JEB
CHECK: JMM/TEJ
SCALE: SEE PLAN
JOB NO.: 20-018

ELECTRICAL & GROUNDING DETAILS
E-2

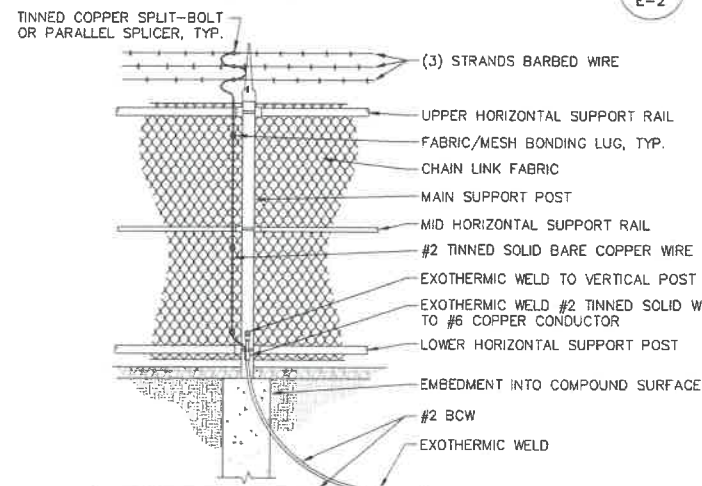


LEGEND

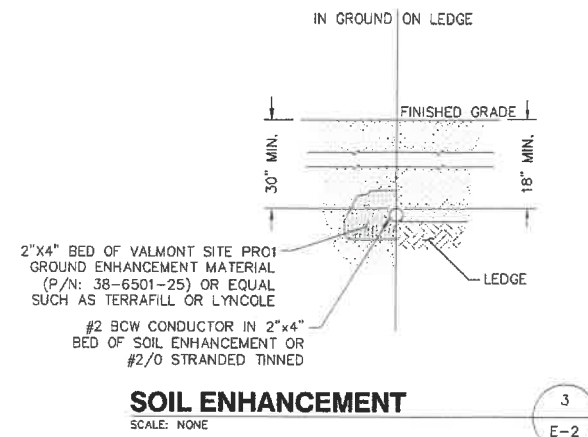
- ELECTROLYTIC GROUND ELECTRODE, TYP. OF 1 MIN.
- 5/8"x10" COPPER CLAD STEEL GROUND ROD DRIVE AT 45° (MAX.), TYP. OF 7
- EXOTHERMIC WELD #2 BCW TO #2 BCW CONDUCTOR PARALLEL
- EXOTHERMIC WELD TO #2 BCW CONDUCTOR TO VERTICAL PIPE
- #2 BCW CONDUCTOR IN 2"x4" BED OF SOIL ENHANCEMENT OR #2/0 STRANDED TINNED

NOTE:
SITE GROUNDING SYSTEM IS A BASIC DESIGN. THE ACTUAL RESISTANCE TO GROUND CANNOT BE CONFIRMED WITHOUT A FIELD TEST. CONTRACTOR TO INSTALL AND PROVIDE DOCUMENTATION AT CLOSEOUT.

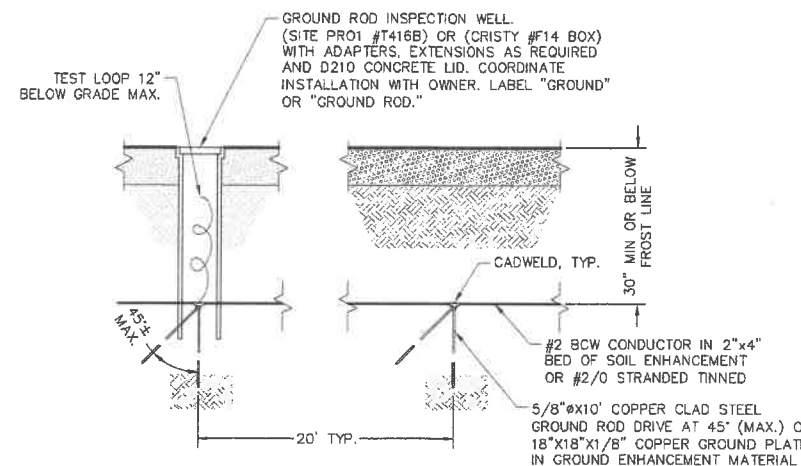
GROUNDING PLAN SCHEMATIC
SCALE: 1"=10'



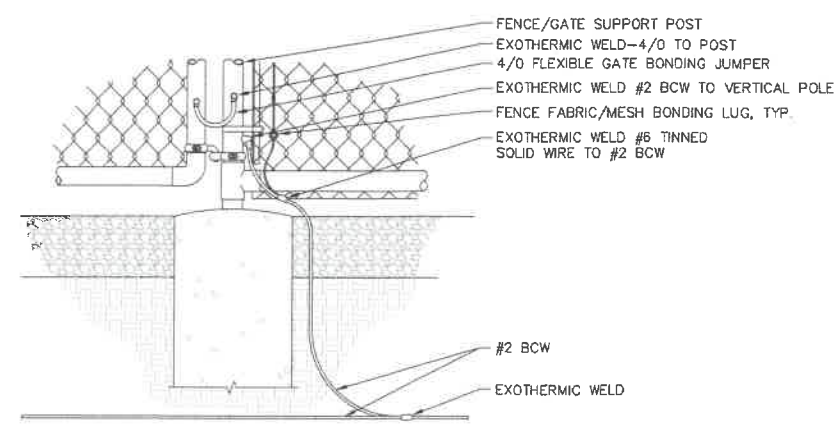
FENCE GROUNDING
SCALE: NONE



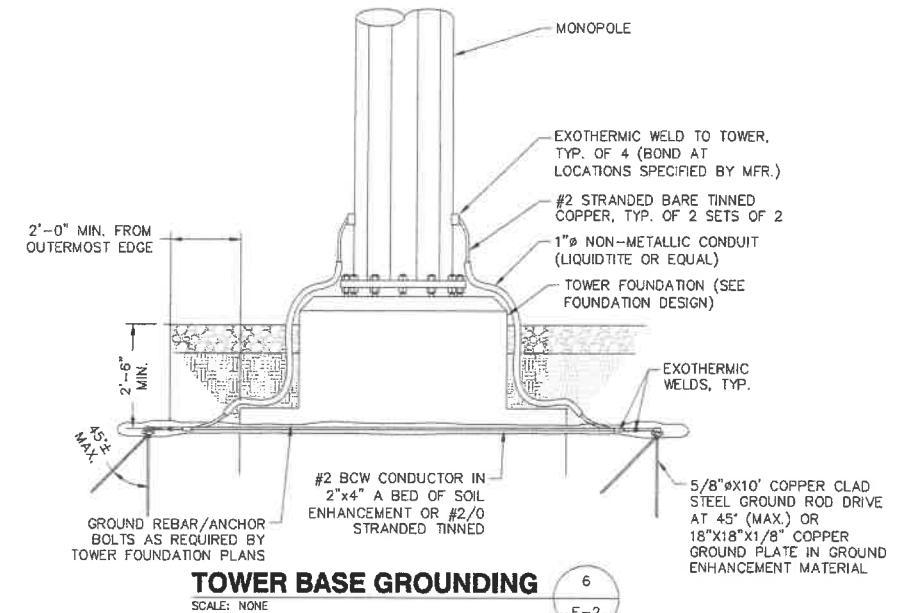
SOIL ENHANCEMENT
SCALE: NONE



GROUND RING WITH ROD
SCALE: NONE



FENCE GATE GROUNDING
SCALE: NONE



TOWER BASE GROUNDING
SCALE: NONE

GROUNDING NOTES

- GENERAL
- GROUNDING SHALL COMPLY WITH ARTICLE (250) OF THE NATIONAL ELECTRIC CODE, EIA/TIA-222 REV G & MOTOROLA R-56 AS REQUIRED.
 - ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
 - THE CONTRACTOR SHALL SECURE A COPY OF ANY SOIL RESISTIVITY AND/OR SITE RESISTANCE TO EARTH TESTING PREVIOUSLY PERFORMED. IF NO RECORDS EXIST THAN A FIELD SOIL RESISTIVITY TEST SHALL BE PERFORMED TO ASSURE THE GROUNDING SYSTEM PROVIDES 10 OHMS OR LESS IN ACCORDANCE WITH OWNER SPECIFICATIONS.

GROUND RODS

- RODS SHALL BE 5/8" DIAMETER, 10' LONG COPPER CLAD STEEL OR SOLID COPPER.
- SHALL BE BURIED 30" (MIN.) OR BELOW PERMANENT MOISTURE LEVEL PENETRATING BELOW FROST LINE.
- RODS SEPARATED 20' (MIN.) TO OTHER GROUND RODS OR ELECTRODES.
- SEPARATION BETWEEN GROUND RODS IN SAME GROUNDING SYSTEM SHALL BE GREATER THAN SUM OF RESPECTIVE LENGTHS.
- GROUND RODS SHALL NOT BE SHORTENED BY CUTTING OR DEFORMED BY DRIVING MACHINERY.
- WHERE CONDITIONS REQUIRE, RODS MAY BE DRIVEN AT ANGLES UP TO 45 DEGREES OR HORIZONTAL ORIENTED PERPENDICULAR TO GROUND RING.

ELECTROLYTIC GROUND RODS

- WHERE CONDITIONS REQUIRE, 10' LONG ELECTROLYTIC GROUND ELECTRODES (SITE PROJ ECRH101T4U, ALLTEC TERRADYNE TG-10L, LYNCOLE XIT K2L-10CS, OR EQUIVALENT) MAY BE USED. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- L-SHAPED ELECTROLYTIC RODS SHALL BE INSTALLED PERPENDICULAR TO GROUND RING.
- BACKFILL WITH GROUNDING ENCASEMENT MATERIALS (VALMONT SITE PROJ GROUND ENHANCEMENT MATERIAL, ALLTEC TERRAFILL, LYNCOLE LYCONITE, OR EQUIVALENT).

GROUND PLATES

- ONLY TO BE USED WHERE CONDITIONS PROHIBIT USE OF GROUND RODS.
- 1/16" (MIN.) THICKNESS WITH 2 SQUARE FEET (MIN.) AREA UNPAINTED COPPER CLAD STEEL OR SOLID COPPER UNLESS OTHERWISE NOTED.
- TOP EDGE BURIED 30" (MIN.) OR BELOW PERMANENT MOISTURE LEVEL.
- PLATES SHALL BE INSTALLED VERTICALLY.
- BACKFILL WITH GROUNDING ENCASEMENT MATERIALS 6" MINIMUM ON ALL SIDES.

RADIAL GROUNDING CONDUCTORS

- #2 BARE COPPER WIRE IN BED OF GROUND ENHANCEMENT MATERIAL OR #2/0 STRANDED TINNED.
- CONDUCTORS SHALL RADIATE FROM TOWER CENTER.
- SHALL BE BONDED TO GROUND RING AND DIRECTLY TO TOWER.
- WHERE NOT POSSIBLE TO BOND DIRECTLY TO TOWER, ADDITIONAL #2 CONDUCTORS SHALL BE BONDED TO RING TO OBTAIN EQUIVALENT.
- BURIED 30" WHERE POSSIBLE, 18" (MIN.).
- EACH RADIAL CONDUCTOR SHALL BE 25' (MIN.), 80' (MAX.) IN LENGTH.
- WHERE MULTIPLE RADIALS ARE USED, VARY CONDUCTOR LENGTHS.

GROUNDING ENCASEMENT MATERIALS

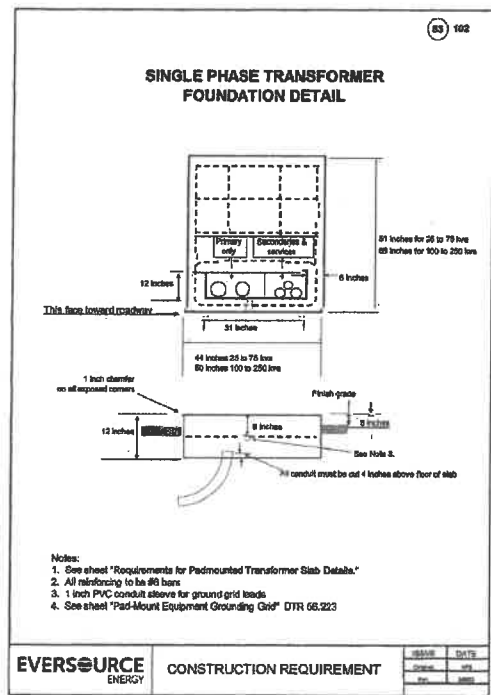
- PRE-PACKAGED MATERIALS SHALL BE USED.
- ACCEPTABLE MATERIALS: BENTONITE, BENTONITE CONTAINING MATERIALS, CONCRETE, CONDUCTIVE CONCRETE, CEMENT WITH GRADED GRANULAR CARBONACEOUS AGGREGATE IN PLACE OF SAND OR GRAVEL.

CONDUCTORS

- #2 BCW CONDUCTOR IN GROUND ENHANCEMENT MATERIAL OR #2/0 STRANDED TINNED.
- #2 OR #6 AWG BCW OR STRANDED COPPER WHERE ABOVE GROUND AS NOTED.
- SPICES SHALL BE EXOTHERMICALLY WELDED.
- 8" (MIN.) BENDING RADIUS FOR #2 OR SMALLER. 90 DEGREES (MIN.) BEND. ALL BENDS TOWARDS GROUND LOCATION.

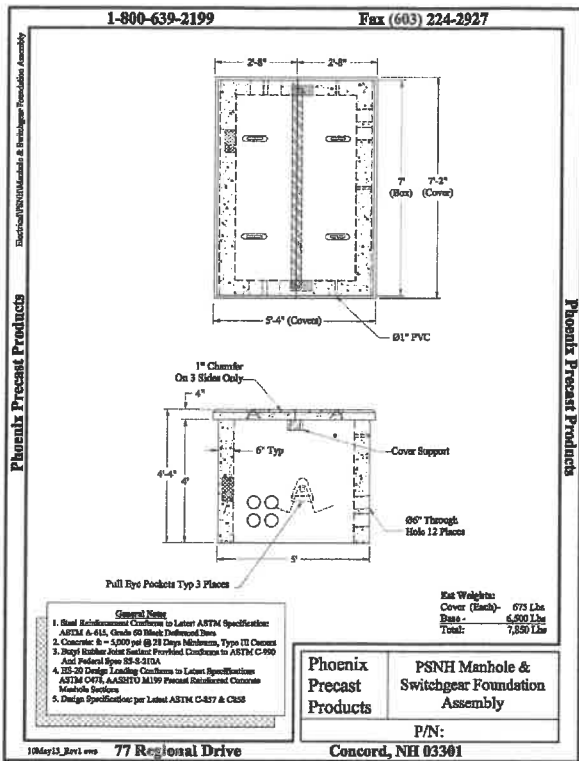
CONNECTORS

- GROUNDING CONNECTIONS SHALL BE EXOTHERMIC UNLESS OTHERWISE NOTED.
- EXOTHERMIC WELDS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- PRIOR TO INSTALLING LUGS ON GROUND WIRES, APPLY THOMAS & BETTS KOPR-SHIELD OR EQUAL.
- PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL.
- FOLLOWING CONNECTION, APPLY APPROPRIATE CONDUCTIVE ANTI-OXIDIZING PAINT.
- MECHANICAL CONNECTIONS SHALL BE 3 CRIMP STYLE COMPRESSION FIT CRIMPED WITH HYDRAULIC CRIMPING TOOLS OR EQUAL. NO SLIP BOLTS ARE ACCEPTABLE.



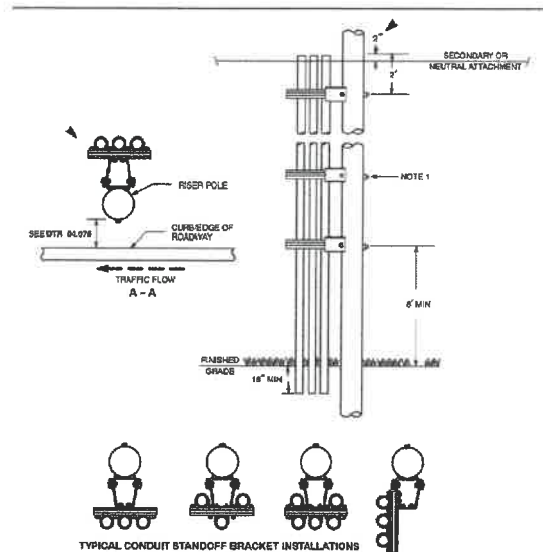
EVERSOURCE TRANSFORMER PAD FOUNDATION

SCALE: NONE



EVERSOURCE MANHOLE

SCALE: NONE



EVERSOURCE RISER STANDOFF BRACKET

SCALE: NONE

GENERAL - Pad-mounted oil insulated equipment (such as transformers, transducers, switches, etc) should be installed so as to be accessible, not constitute an environmental hazard or a fire hazard, and be protected from damage. In URD areas transformers installed at residential lot lines are not subject to the requirements of this Standard, refer to DTR 42.031.

LOCATION - The pad-mounted equipment should be installed at a location where permanent access will be assured for future operation and maintenance as well as to permit installation, replacement and removal of the equipment by means of a winch truck with the boom up. Where noise may be a problem, careful consideration should be given when selecting a location. Areas subject to flooding should be avoided, as should other environmentally sensitive areas noted in DSRM Section 06.32. The building owner's and/or tenant's fire insurance carrier may restrict the proximity of the equipment to doors, windows or combustible materials and such requirements are the responsibility of the customer subject to the requirements of Northeast Utilities. In the absence of other requirements, the equipment shall be located with the following minimum clearances from various building facilities. The distances mentioned in this section shall not supersede any local ordinance or code which requires greater clearances.

	Minimum Distance	To Side of In Feet	Below In Feet
Door	20	10	-
Air intake	10	10	25
Window	10	3	5
Fire escape	20	20	-
Combustible wall	6	6	-
Noncombustible wall	5	3	-
Fuel tanks (above and below grade)	10	10	-
Natural gas or propane connections	3	3	-
CTMA	15	15	-
NH	20	20	-
Gasoline dispensing unit	20	20	-

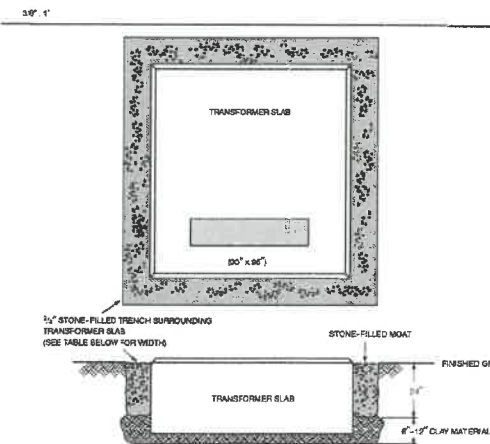
OIL SUMPS - If the surrounding grade pitches toward critical areas, it is recommended that an oil sump be provided. This should consist of 3/4-inch trap rock fill under and around the equipment pad adequate to contain the quantity of oil in the equipment to be installed at the given location.

ADDITIONAL FIRE PROTECTION - If the building owner's and/or tenant's combustible facilities adjacent to the equipment require fire protection beyond that provided by oil sump, it shall be their responsibility to provide such protection in the form of space separation, fire resistant barriers, automatic spray systems, other oil containment facilities, or other means approved by their fire insurance company.

EQUIPMENT PROTECTION - Where pad-mounted equipment would be exposed to possible damage by vehicular traffic, protective bumpers are to be installed on exposed sides. Galvanized steel pipes 4-inch minimum diameter filled with concrete, 1-beams 5-inch minimum, or other suitable means of protection may be used as bumpers. Such pipes or 1-beams shall extend 42-inch minimum both above and below grade. Heavier bumpers set deeper should be considered where exposed to heavy trucks. Bumpers should be 10-foot minimum from the operating side of concrete pad and on the other sides 36-inch minimum from equipment or pad, whichever projects farther. The maximum spacing between bumpers on exposed sides should be 60 inches.

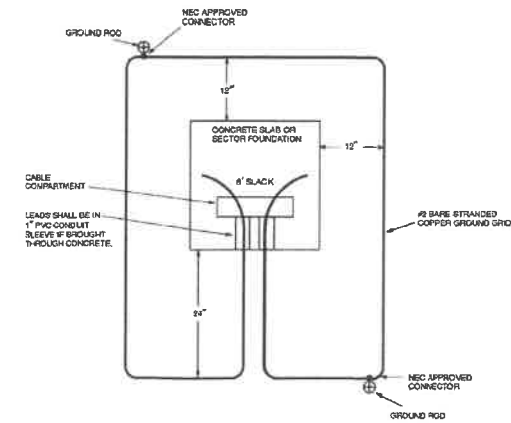
EQUIPMENT LOCKS - Any equipment, with provisions for locking, that is left on site and is accessible to the general public, shall be padlocked. This includes installations that are not complete and not energized. Completed pad-mount transformer installations shall meet "TAMPERPROOF EQUIPMENT LOCK" requirements, DTR 03.401.

PROJECT	DATE	REVISION	DESCRIPTION
NORTHEAST UTILITIES	DESIGN & APPLICATION STANDARD	DTR 42.061	9



EVERSOURCE PAD-MOUNTED TRANSFORMER PROTECTION

SCALE: NONE



CUSTOMER RESPONSIBILITY

The ground grid shall be supplied and installed by the customer and is to be buried at least 12 inches below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8-foot ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

PROJECT	DATE	REVISION	DESCRIPTION
NORTHEAST UTILITIES	CONSTRUCTION STANDARD	DTR 58.311	2

PROJECT	DATE	REVISION	DESCRIPTION
NORTHEAST UTILITIES	CONSTRUCTION STANDARD	DTR 50.102	3

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SITE NUMBER: 743697
ADDRESS: 1664 LOVELL STREET
ROCHESTER, NH 03607

REP HOLDINGS II, LLC
770 ALLEGHENY CENTER
NOVA TOWER 2, SUITE 703
PITTSBURGH, PA 15222

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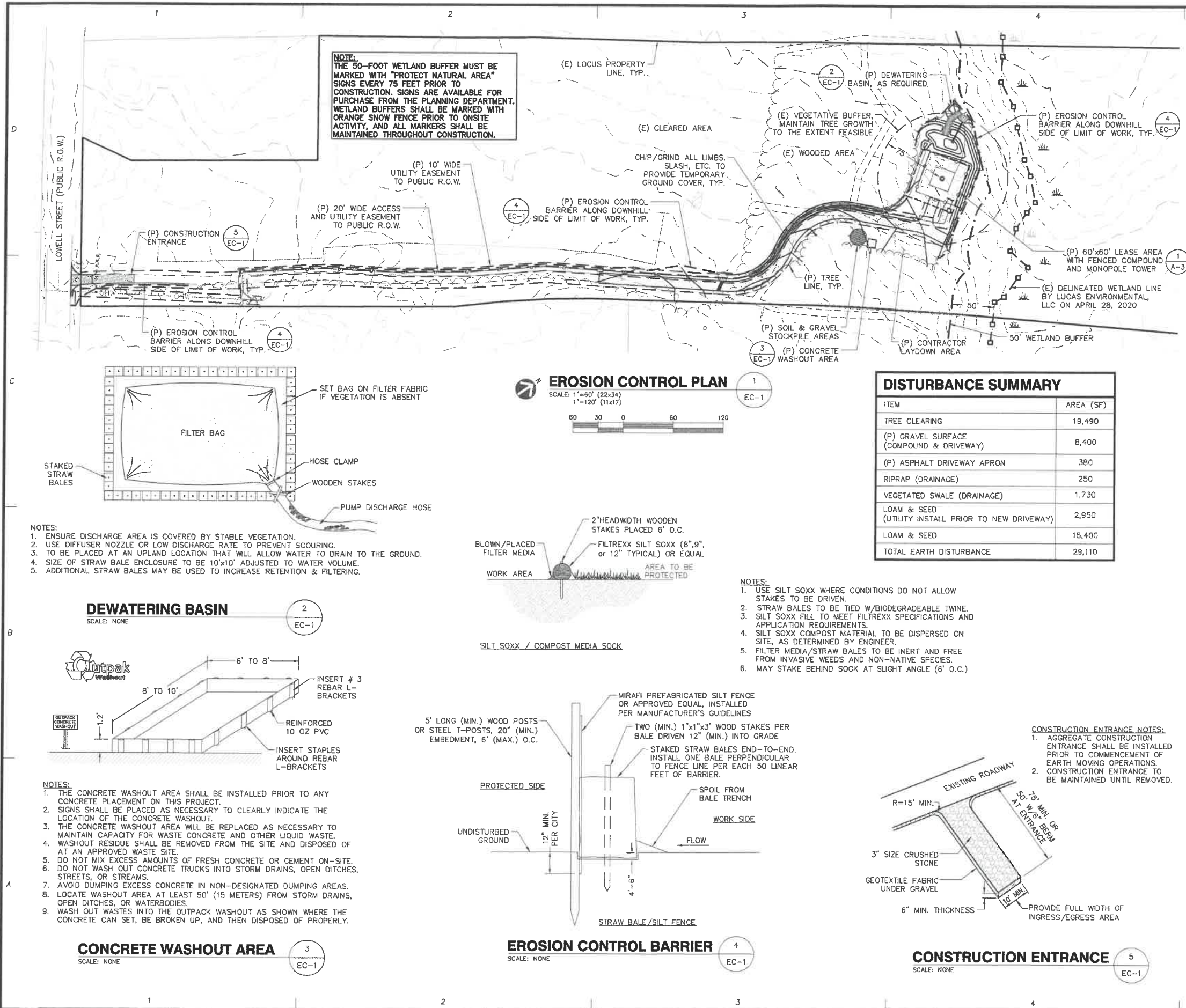
SCALE: SEE PLAN

JOB NO.: 20-018

SHEET TITLE:

ELECTRICAL & GROUNDING DETAILS

E-3



EROSION CONTROL NOTES

- APPLICANT PROPOSES TO CONSTRUCT A CELLULAR TELECOMMUNICATIONS FACILITY CONSISTING OF A FENCED COMPOUND, DRIVEWAY AND UTILITY WORK WITHIN A LEASE AREA AND EASEMENTS.
- ALL WORK SHALL CONFORM TO THE NEW HAMPSHIRE STORMWATER MANUAL - VOLUME 3 "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" BY NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DATED DECEMBER 2008 OR AS SUBSEQUENTLY REVISED.
- TEMPORARY SILT FENCE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT SITE CONSTRUCTION. STOCK PILE ON SITE 100 FT. OF SILT FENCE FOR EMERGENCY USE. TEMPORARY EROSION BARRIERS SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATIVE GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL CHIP ALL BRUSH AND SLASH CUTTINGS ON SITE AND STOCKPILE THE CHIPS TO BE USED ON ALL UNSTABLE, DISTURBED AREAS DURING CONSTRUCTION AS TEMPORARY STABILIZATION MULCH. NO BURNING WILL BE ALLOWED ON SITE.
- TEMPORARY STABILIZATION MUST BE PROVIDED TO ANY DISTURBED EARTH THAT IS OPENED UP IN ANY ONE LOCATION FOR MORE THAN 14 DAYS. CHIPS FROM LAND CLEARING, EROSION CONTROL BLANKETS, OR FAST GROWING RYE GRASSES MAY BE USED FOR TEMPORARY STABILIZATION AS REQUIRED.
- STRIPPED TOPSOIL SHALL BE STOCKPILED AND PROTECTED WITH STRAW MULCH. ALL STOCKPILES SHALL HAVE AN APPROVED SILTATION BARRIER TOTALLY SURROUNDING THE PILE. THE PILE SHALL BE IN AN APPROVED UPLAND AREA A MINIMUM OF FIFTY FEET FROM ALL RESOURCE AREAS.
- THE PHASING AND SEQUENCING OF THE WORK FOR THE SITE PREPARATION FOR THE TELECOMMUNICATIONS EQUIPMENT INSTALLATION CONSISTS OF INSTALLING TEMPORARY EROSION AND SEDIMENTATION CONTROL BARRIERS; CLEARING AND ROUGH GRADING OF COMPOUND; FOUNDATION WORK; BACK FILL FOUNDATIONS; FENCED COMPOUND CONSTRUCTION; INSTALLATION OF MONOPOLE AND GROUNDING EQUIPMENT; INSTALLATION OF UTILITIES; GROUNDING AND LIGHTNING PROTECTION; EQUIPMENT TESTING; FINAL GRADING AND STABILIZATION OF DISTURBED AREAS; LOAM AND SEED DISTURBED AREAS OUTSIDE COMPOUND; FINAL CLEANUP. THE ESTIMATED TIME FOR COMPLETION OF THE WORK IS APPROXIMATELY TWELVE (12) WEEKS.
- THE COMPOUND ENCLOSURE IS SURFACED WITH CRUSHED STONE UNDERLAIN BY A WEED-BLOCK SYNTHETIC FILTER FABRIC. DRAINAGE PATTERNS, RUNOFF VOLUMES AND PEAK FLOW RATES WILL NOT BE ALTERED BY THE PROPOSED CONSTRUCTION.
- IF REQUIRED, TEMPORARY DEWATERING OF THE TRENCH EXCAVATIONS SHALL BE DIVERTED INTO A TEMPORARY STILLING BASIN. INFILTRATION IN THE STILLING BASIN AND FLOW THROUGH THE CRUSHED STONE CONTAINMENT BERM WILL RESULT IN DIFFUSE, NON-POINT SOURCE RUNOFF OVER VEGETATED AREAS.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF THE FENCED COMPOUND AND ROADWAY SHALL BE PERMANENTLY ESTABLISHED WITH A NATIVE VEGETATIVE GROUND COVER AT THE CONCLUSION OF CONSTRUCTION. GRADED AREAS SHALL BE PROTECTED WITH STRAW MULCH UNTIL A GOOD VEGETATIVE COVER IS ESTABLISHED.
- THE TOTAL IMPACT AREA OF THE DISTURBED MONOPOLE & COMPOUND CONSTRUCTION SITE IS BOUNDED BY THE "LIMIT OF WORK" AS SHOWN HEREON. THE MAXIMUM AREA OF DISTURBANCE WITHIN THE "LIMIT OF WORK" IS APPROXIMATELY 29,110 SQUARE FEET. THE PROJECT IMPACT AREA IS BELOW THE EXEMPTION THRESHOLD OF 43,560 SQUARE FEET IN 49 CFR PARTS 9, 122-124 AND THEREFORE IS NOT SUBJECT TO REGULATION UNDER THE EPA NPDES GENERAL CONSTRUCTION PERMIT PROGRAM.
- THE PROJECT OWNER'S GENERAL CONTRACTOR SHALL CONDUCT ALL SITE DEVELOPMENT WORK IN A MANNER THAT DOES NOT EXCEED THE LIMITS OF WORK SHOWN ON THE PLANS. ADDITIONALLY, THE PROJECT OWNER'S GENERAL CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION ACTIVITIES IN A MANNER THAT DOES NOT RESULT IN STORM WATER DISCHARGES WITH AN ADVERSE IMPACT ON ANY RESOURCE AREAS OR DOWNSTREAM PROPERTIES.
- A CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT. SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT FROM BEHIND SILTATION BARRIERS AND DISPOSE OF SILT EVENLY IN UPLAND AREAS. REMOVE ALL EROSION CONTROL DEVICES WHEN A GOOD VEGETATIVE COVER IS ESTABLISHED.

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SHEET TITLE:

**EROSION CONTROL
PLAN & DETAILS**

EC-1