

# LAND SURVEYORS



# CIVIL ENGINEERS

## LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- EXISTING OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES



ROCHESTER TAX MAP 208, LOT 11  
BONNIE J. O'SHEA  
184 FARMINGTON ROAD  
ROCHESTER, NH 03867  
BOOK 2704 - PAGE 062

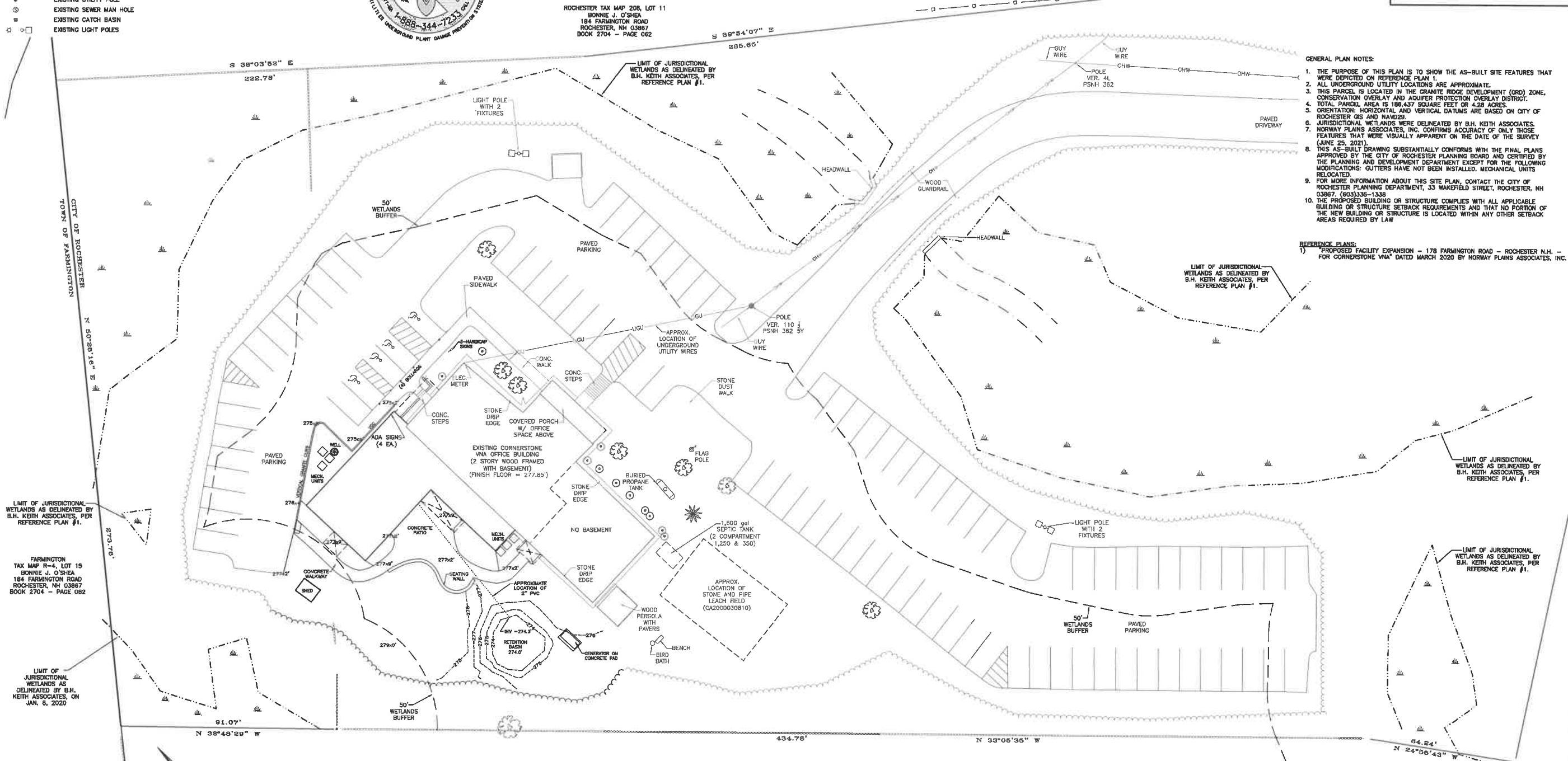
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

## GENERAL PLAN NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT SITE FEATURES THAT WERE DEPICTED ON REFERENCE PLAN #1.
- ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE.
- THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, CONSERVATION OVERLAY AND AQUIFER PROTECTION OVERLAY DISTRICT.
- TOTAL PARCEL AREA IS 186,437 SQUARE FEET OR 4.28 ACRES.
- ORIENTATION: HORIZONTAL AND VERTICAL DATUMS ARE BASED ON CITY OF ROCHESTER GS AND NAVD83.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY B.H. KEITH ASSOCIATES.
- NORWAY PLAINS ASSOCIATES, INC. CONFIRMS ACCURACY OF ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY (JUNE 25, 2021).
- THIS AS-BUILT DRAWING SUBSTANTIALLY CONFORMS WITH THE FINAL PLANS APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD AND CERTIFIED BY THE PLANNING AND DEVELOPMENT DEPARTMENT EXCEPT FOR THE FOLLOWING MODIFICATIONS: GUTTERS HAVE NOT BEEN INSTALLED. MECHANICAL UNITS RELOCATED.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603)335-1338
- THE PROPOSED BUILDING OR STRUCTURE COMPLIES WITH ALL APPLICABLE BUILDING OR STRUCTURE SETBACK REQUIREMENTS AND THAT NO PORTION OF THE NEW BUILDING OR STRUCTURE IS LOCATED WITHIN ANY OTHER SETBACK AREAS REQUIRED BY LAW

## REFERENCE PLANS:

- PROPOSED FACILITY EXPANSION - 178 FARMINGTON ROAD - ROCHESTER N.H. - FOR CORNERSTONE VNA DATED MARCH 2020 BY NORWAY PLAINS ASSOCIATES, INC.

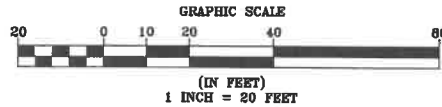


FARMINGTON TAX MAP R-4, LOT 15  
BONNIE J. O'SHEA  
184 FARMINGTON ROAD  
ROCHESTER, NH 03867  
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LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 6, 2020

ROCHESTER TAX MAP 208, LOT 8-1  
ROBIDAS PROPERTIES LLC  
PO BOX 623  
ROCHESTER, NH 03867  
BOOK 3541 - PAGE 087

AS-BUILT SITE PLAN  
TAX MAP 208, LOT 9  
178 FARMINGTON ROAD  
ROCHESTER, NH  
PREPARED FOR: CORNERSTONE VNA  
AUGUST 2021



FILE NO. 116  
PLAN NO. C-1993/AB-1  
DWC NO. 20004/AB-1

AB-1