NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

Date: 5/7/2021 Is a conditional use needed? Yes: X No:____ Unclear:____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 114; Lot #('s): 7; Zoning district: HC

Property address/location: 0 North Main Street

Name of project (if applicable): Proposed Auto Dealership

Size of site: 4.49 acres; overlay zoning district(s)? COD / SQPZ

Property owner

Name (include name of individual): 401 North Main Street, LLC

Mailing address: 549 US Highway 1 ByPass, Portsmouth, NH 03801

Telephone #: 603-319-0440 Email:

Applicant/developer (if different from property owner)

Name (include name of individual):

Mailing address:

Telephone #: Email:

Engineer/designer

Name (include name of individual): Hannah Giovannuci, PE (TFMoran, Inc.)

Mailing address: 170 Commerce Way Suite 102, Portsmouth, NH 03801

Telephone #: 603-431-2222 Fax #:

Email address: hgiovannucci@tfmoran.com Professional license #: 15699

Proposed activity (check all that apply)

New building(s): 1 Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): ____ Demolition: ____ Change of use: ____

Describe proposed activity/use: Construct a proposed auto dealership with a 1-story building and associated improvements, including and not limited to access, grading, stormwater, management systems, utilities, lighting, and landscaping.

Describe existing conditions/use (vacant land?): Vacant - The property is in the location of a former city landfill closed and classified as non-operating unlined landfill. The site is filed with NHDES as Hazardous Waste project and Solid Waste Landfill (#2908) overseen by NHDES Brownfields Program (NHDES File #199705019).

Utility information

City water? yes X no ___; How far is City water from the site? ~300' from sewer line to building connection

City sewer? yes X no ___; How far is City sewer from the site? ~275' from water main to building connection

If City water, what are the estimated total daily needs? 630 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes X no ___

If City sewer, do you plan to discharge anything other than domestic waste? yes ___ no X

Where will stormwater be discharged? towards Cocheco River, tieing into existing drainage culvert/headwall on Parcel 6

Building information

Type of building(s): commercial

Building height: ~25' Finished floor elevation: 230

Other information

parking spaces: existing: 0 total proposed: 60; Are there pertinent covenants? ___

Number of cubic yards of earth being removed from the site 0

Number of existing employees: 0; number of proposed employees total: ~30

Check any that are proposed: variance ___; special exception ___; conditional use X

Wetlands: Is any fill proposed? YES; area to be filled: Entire limit of grading; buffer impact? YES

Proposed *post-development* disposition of site (should total 100%)

	Square footage	% overall site
Building footprint(s) – give for each building	21,765	11.1
Parking and vehicle circulation	117,394	60.0
Planted/landscaped areas (excluding drainage)	30,292	15.5
Natural/undisturbed areas (excluding wetlands)	21,339	10.9
Wetlands	4,786	2.5
Other – drainage structures, outside storage, etc.		

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

SECTION 5 for landscaping / SECTION 5(D)(8B) for shade trees in front buffer / SECTION 10(A) for required parking spaces / SECTION 10(H)(2) for sloped curbing

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I(we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: 5-5-21

Signature of applicant/developer: _____

Date: 5-5-21

Signature of agent: Hannah Giacomi

Date: 5/7/2021

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: 5-5-21

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

TRAFFIC MEMORANDUM

Date: April 26, 2021

To: City of Rochester – Planning & Development
33 Wakefield Street
Rochester,NH 03867

From: Robert Duval, P.E.
Jen Porter, P.E.

Re: Proposed Automobile Dealership
North Main Street, Rochester, NH – Tax Map 114 Lot 7
TFM Project No. 47159.02

INTRODUCTION

TFMoran has prepared this traffic memo to evaluate trip generation and describe the existing roadway network associated with a new automobile dealership proposed on North Main Street in Rochester.

PROPOSAL

401 North Main Street, LLC is proposing to construct a one-story Automobile Dealership along North Main Street (Tax Map 114 Lot 7) in Rochester. The project includes a new dealership building with adjacent customer/employee parking and storage for vehicle display. The building footprint is 21,765 sf, with 9,666 sf for showroom, sales, and office areas, and 12,099 sf for service and parts storage including 12 service bays.

There are 61 parking spaces proposed to accommodate customers and employees, and 278 spaces provided for display and storage of vehicles for sale. There are numerous similar and related existing uses along this corridor.

DESCRIPTION OF SITE

The existing site is located on North Main Street (Tax Map 114 Lot 7) in Rochester, New Hampshire, about a quarter mile south from the Spaulding Turnpike ramps. The approximately 4.5 acres site has two existing paved curb cuts and is currently vacant. The property is bounded by North Main Street to the west and the Cocheco River to the east. An existing Key Chrysler Dodge Jeep Ram of Rochester dealership is the northern neighbor and Dunkin Donuts abuts to the south.

DESCRIPTION OF ROADWAYS AND INTERSECTIONS

North Main Street

- Classification. North Main Street is a City-maintained north-south arterial roadway. The north end of the roadway terminates at the ramps of US202 and to the south the roadway ends at the intersection of NH202A.
- Lane widths and usage. In the project vicinity, the roadway generally provides a 5-lane section with a two-way left turn lane (TWLTL) in the center. There are 5-foot paved shoulders with vertical granite curb.
- Pedestrian facilities. There are no sidewalks along North Main Street.
- Signage. The posted speed limit in front of the site is 40 mph, however, at the southern property line of the site the posted speed limit changes to 30 mph southbound. There are no traffic signs at the property, although there are Stop signs at some nearby driveways and traffic signals at major intersections north and south of the site. Pavement markings consist of a single-yellow line with skip center TWLTL and SWLB adjacent to the two travel lanes heading in both directions, in fair to good condition.
- Sight Distance. The proposed driveway is located directly on an inside curve of North Main Street. Per Town of Rochester regulations, a minimum 305' safe sight distance is provided at the driveway in both directions.
- Lighting. No roadway lighting is provided in the study area. Private commercial lighting is generally provided at existing driveways.
- Road conditions. The roadway is generally level with flat curves, closed drainage and normal crown. The pavement is in fair to good condition with minor cracking, but little or no ruts, soft spots, potholes, or other structural defects evident.
- Adjacent uses. The roadway primarily serves commercial properties.

TRIP GENERATION

Using standard trip generation rates published by the ITE[1], Land Use Code (LUC) 840 – Automobile Sales (New) was used to calculate the vehicle trips for the proposed automobile dealership. There are two common variables to calculate trips from an automobile dealership, by building gross square footage or by number of service bays. The trip generation table below is based on the total building square foot area, which is the more conservative variable for this size use. Full calculations are attached.

Proposed New Trip Generation

ITE LUC 840 Automobile Sales (New) 21,765 sf	In	Out	Total
Weekday AM Peak Hour Adjacent Street	30	11	41
Weekday PM Peak Hour Adjacent Street	21	32	53
Weekend SAT Peak Hour of Generator	44	44	88

Bi-directional volumes for on North Main Street per NHDOT show the following:

- AM Peak Hour (8a-9a) – 802 vehicles
- PM Peak Hour (4p-5p) – 1,219 vehicles
- SAT Peak Hour (12p-1p) – 1,269 vehicles

[1] *Trip Generation Manual*, Institute of Transportation Engineers (ITE), 10th Edition.

CONCLUSION

The traffic from this project is expected to generate 41 trips in the AM weekday peak hour, 53 trips in the PM weekday peak hour and 88 trips during the SAT peak hour. Based on the site location relative to the City center and exit ramps, we would expect the trip distribution to be fairly evenly distributed north and south. To further facilitate traffic flow, the site driveway should contain separate left and right turn exiting lanes.

Given existing daily traffic volumes on Main Street, and the existing five-lane section, right turns in and out of the site will occur with minimal delays. Entering left turns will use the TWLTL to access the site without impeding thru traffic. Exiting left turns can also use the TWLTL to make a two-stage left turn, resulting in reduced delays and queueing.

Based on these factors, we anticipate minimal traffic impacts associated with this project, and the roadway network can safely accommodate this proposed development without the need for mitigation other than on the existing adjacent roadway.

Please let me know if you have any questions in regard to these items.

TFMORAN, INC.

Robert E. Duval, P.E.
Chief Engineer

ITE Trip Generation Manual, 10th Edition
Setting/Location: General Urban/Suburban

Proposed Trip Generation

ITE LUC 840 - Automobile Sales (New): 21,765 sf

Time Period	per 1000 sf		Rate/ Eq Used	Trip Ends	Directional Split		Directional Distribution	
	X	Rate			In	Out	In	Out
Weekday AM Peak Hour Adjacent Street	21.8	1.87	Rate	41	73%	27%	30	11
Weekday PM Peak Hour Adjacent Street	21.8	2.43	Rate	53	40%	60%	21	32
Weekend SAT Peak Hour of Generator	21.8	4.02	Rate	88	50%	50%	44	44

Application for Conditional Use

Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: June 1, 2021

Property information

Tax map #: 114 ; Lot #('s): 7 ; Zoning district: HC / COD / SQPZ

Property address/location: 0 North Main Street

Name of project (if applicable): Proposed Auto Dealership

Property owner

Name (include name of individual): 401 North Main Street, LLC

Mailing address: 549 US Highway 1 ByPass, Portsmouth, NH 03801

Telephone #: 603-319-0440 Fax _____

Applicant/developer (if different from property owner)

Name (include name of individual): TBD

Mailing address: _____

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): Hannah Giovannuci, PE (TFMoran, Inc.)

Mailing address: 170 Commerce Way Suite 102, Portsmouth, NH 03801

Telephone #: 603-431-2222 Fax #: 603-431-0910

Email address: hgiovanucci@tfmoran.com Professional license #: 15699

Proposed Project

Please describe the proposed project: Construct a proposed auto dealership with a 1-story building and associated improvements, including and not limited to access, grading, stormwater, management systems, utilities, lighting, and landscaping.

Please describe the existing conditions: The property is in the location landfill of a former city landfill closed and classified as non-operating unlined landfill. The site is filed with NHDES as Hazardous Waste project and Solid Waste Landfill (#2908) and will be improved under the oversight of the NHDES Brownfields Program (NHDES File #199705019).

(continued *Conditional Use* application Tax Map: 114 Lot: 7)

Please fill in **one of the next two sections – for either Conditional Uses or **B**uffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

The property is the site of an existing vacant lot and uncapped landfill. The majority of the property is outside the COD. While the site is an ideal location for a dealership on the North Main Street Auto Mile, the proposed development (particularly pavement) will be important for capping the landfill. Additionally, the internal access from one auto dealership to another will help remove traffic from North Main Street.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

Pavement is proposed outside of the COD's 75' Cocheco River Buffer and 50' Wetland Buffer. Disturbances within the buffers are for grading and to provide a berm to ensure all soil is kept on-site (per NHDES Brownfield's). On Parcel 6, impacts near the wetland are to upgrade the existing system and tie in the Parcel 7 stormwater systems, which treats and mitgate the stormwater runoff on-site.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

On Parcel 6, the primary reasons requiring crossing of the CO District is to provide an outlet for stormwater management systems. It is important to not raise grades of the site to limit settlement, due to the highly compressible organic and landfill material on-site; therefore, the site grading was raised minimally so that stormwater could outlet from the proposed stormwater systems near the Cocheco River via adjacent Parcel 6's existing drainage system.

(iv) Economic advantage is not the sole reason for the proposed location of work.

This and the adjacent property (Lot 6), a dealership, is owned by the applicant. Developing this (Lot 7) property fits the character of the North Main Street Auto Mile and Zoning, which offers both consumers and dealerships convenience. Also, by developing this property the client will improve the environmental conditions of this contaminated, uncapped landfill, while improving the aesthetic of the abandoned lot.

(Buffer Reductions on next page)

(continued *Conditional Use* application Tax Map: 114 Lot: 7)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, ***or*** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel ***or*** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I(we) hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: 5-5-21

Signature of applicant/developer: _____

Date: 5-5-21

Signature of agent: Hannah Giacomi

Date: 5/72021

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: _____

Date: 5-5-21

****

Conservation Commission Recommendation: *[office use only]*

_____ _____

Name of project Case #

Recommendation:

- ☐ Approval
- ☐ Approval with conditions
- ☐ Denial

Comments/recommended conditions:

_____

_____

_____

_____

_____

_____

_____

_____

_____

_____

_____

_____

_____ _____

Conservation Commission date

_____ _____

Planning Department date

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

JUNE 1, 2021

RECEIVED
JUN 02 2021
By_____

GENERAL INFORMATION

OWNER/APPLICANT/ PREPARED FOR
MAP 114 LOT 7
401 NORTH MAIN STREET, LLC
549 US HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801
603-319-0440
C/O ANTHONY DILORENZO

RESOURCE LIST

PLANNING/ZONING DEPARTMENT/ CONSERVATION COMMISSION
33 WAKEFIELD STREET
ROCHESTER, NH 03867-1917
603-335-1338
SETH CREIGHTON, AICP, CHIEF PLANNER

BUILDING DEPARTMENT
33 WAKEFIELD STREET
ROCHESTER, NH 03867
603-335-7571
JIM GRANT, DIRECTOR, ELECTRICAL INSPECTOR

PUBLIC WORKS
45 OLD DOVER ROAD
ROCHESTER, NH 03867
603-332-4096
PETER NOURSE, P.E., DIRECTOR OF CITY SERVICES

POLICE DEPARTMENT
23 WAKEFIELD STREET
ROCHESTER, NH 03867
603-330-7131
PAUL TOUSSAINT, CHIEF

FIRE DEPARTMENT
37 WAKEFIELD STREET
ROCHESTER, NH 03867
603-330-7180
MARK KLOSE, FIRE CHIEF

NHDES HAZARDOUS WASTE REMEDIATION (BROWNFIELDS)
29 HAZEN DRIVE
CONCORD, NH 03302-0095
603-271-1169
MINDY BUBIER, ENGINEER, PROJECT MANAGER

ASSOCIATED PROFESSIONALS

ARCHITECT
TW DESIGNS
254 DRAKE HILL RD, STRAFFORD, NH 03884
603-664-2181
JOHN TUTTLE, AIA, LEED AP

ENVIRONMENTAL SERVICES (SOIL MONITORING)
GEOINSIGHT, INC.
186 GRANITE STREET
3RD FLOOR, SUITE A
MANCHESTER, NH 03101
603-314-0820
CHERYL A. BROWN, P.G., PROJECT GEOLOGIST

ENVIRONMENTAL SERVICES (WATER MONITORING)
ENSAFE
1F COMMONS DRIVE, SUITE 34
LONDONDERRY, NEW HAMPSHIRE 03053
603-437-8227
ROBERT FRANCIS, SENIOR PROJECT MANAGER

ENVIRONMENTAL SERVICES (WILDLIFE & HABITAT ASSESORS)
GZA ENVIRONMENTAL
5 COMMERCE PARK NORTH
BEDFORD, NH 03110
603-232-8739
TRACY TARR, SCIENTIST, ASSOCIATE PRINCIPAL

GEOTECHNICAL ENGINEER
SLR CONSULTING
2 COMMERCE DRIVE, SUITE 110,
BEDFORD, NEW HAMPSHIRE, 03110
603-668-1654
ERIC TEALE, PRINCIPAL GEOTECHNICAL ENGINEER

TRAFFIC ENGINEER
TFMORAN, INC.
170 COMMERCE WAY, SUITE 102
PORTSMOUTH, NH 03801
603-472-4488
JENNIFER PORTER, P.E., TRAFFIC ENGINEER

LIGHTING DESIGN
SK & ASSOCIATES INC
20/22 CARVER CIRCLE
CANTON, MA 02021
781-821-1700
ANDREW DEGOUFF

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF ROCHESTER SITE PLAN REGULATIONS ARE BEING REVIEWED BY THE PLANNING BOARD:

1. CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 5 – LANDSCAPING
2. CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 5(D)(8B) – AT LEAST ONE BROAD-LEAVED SHADE TREE SHALL BE PLANTED IN THE FRONT BUFFER FOR EVERY 40 LINEAR FEET OF THE FRONT BUFFER
3. CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 10(A) – NUMBER OF REQUIRED PARKING SPACES
4. CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 10(H)(2) – SLOPED CURBING SHALL ALSO HAVE A 6-INCH VERTICAL REVEAL AND IT SHALL BE SET AT A 45 DEGREE ANGLE UNLESS OTHERWISE APPROVED BY THE PLANNING BOARD.

INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
C-01	NOTES & LEGEND
S-01	EXISTING CONDITIONS PLAN
C-02	NHDES SHORELAND IMPACT PLAN
C-03	SITE PREPARATION & DEMOLITION PLAN
C-04	SITE LAYOUT PLAN
C-05	GRADING & DRAINAGE PLAN
C-06	UTILITY PLAN
C-07	SEWER PROFILE
C-08	LANDSCAPE PLAN
C-09	LANDSCAPE DETAILS
C-10	EROSION CONTROL PLAN
C-11	EROSION CONTROL NOTES
C-12	WB-67 TRUCK TURNING PLAN
C-13 TO C-21	DETAILS
REFERENCE PLANS BY ASSOCIATED PROFESSIONALS	
SL1	LIGHTING PLAN, SCHEDULES, AND SPECIFICATIONS
–	PROPOSED FLOOR & ROOF PLANS
–	PROPOSED EXTERIOR ELEVATIONS
–	EXTERIOR ELEVATION RENDERING

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
ROCHESTER PLANNING BOARD SITE PLAN REVIEW & CUP	–	–	–
ROCHESTER CONSERVATION COMMISSION CUP REVIEW	–	–	–
ROCHESTER DPW SEWER DISCHARGE PERMIT	–	–	–
ROCHESTER DPW DRIVEWAY PERMIT	–	–	–
NH FISH & GAME	–	–	–
NHDES ALT. OF TERRAIN	–	–	–
NHDES SHORELAND	–	–	–
NHDES SEWER	–	–	–
NHDES BROWNFIELDS (SOIL MANAGEMENT PLAN, ETC.)	–	–	–
NHDOT SURPLUS PROPERTY DISPOSAL REQUEST	–	–	–
EPA NPDES ENOI CGP & SWPPP	–	–	–

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____

BOARD MEMBER _____ *AND*

BOARD MEMBER _____

NEW HAMPSHIRE FISH & GAME NOTES

1. IF SPOTTED OR BLANDING'S TURTLES ARE FOUND LAYING EGGS IN A WORK AREA, CONTACT MELISSA DOPERALSKI AT 603-479-1129 (CELL) OR JOSH MEGYESY AT 978-578-0802 (CELL) OR 603-271-1125 (OFFICE) FOR FURTHER INSTRUCTIONS. PHOTOGRAPHS AND DESCRIPTIONS PROVIDED FOR REFERENCE.

NOTES
1. SMALL, MOSTLY AQUATIC WITH BLACK OR DARK BROWN WITH YELLOW SPOTS
2. FAIRLY FLAT SHELL COMPARED TO BLANDING'S TURTLE

SPOTTED TURTLE

NOTES
1. LARGE, DARK/BLACK DOMED SHELL WITH LIGHTER SPECKLES
2. DISTINCT YELLOW THROAT/CHIN
3. AQUATIC BUT OFTEN MOVES ON LAND

BLANDING'S TURTLE

NOTES
1. BALD EAGLES ARE LEGALLY PROTECTED IN NEW HAMPSHIRE. POSSESSION AND TAKE (WHICH INCLUDES HARMING, HARASSING, INJURING AND KILLING) IS ILLEGAL.
2. ADULTS ARE APPROXIMATELY 3' TALL WITH 6'-8' WING SPAN, AND HAVE DISTINCTIVE WHITE HEAD AND TAIL FEATHERS, AND A DARK BROWN BODY AND WINGS. EYES ARE PALE YELLOW AND THE BEAK AND FEET ARE BRIGHT YELLOW.
3. IMMATURE BALD EAGLES ARE MOTTLED LIGHT BROWN, TAN, AND WHITE WITH BROWN EYES, BLACK BEAK, AND YELLOW FEET.

BALD EAGLE

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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

REV	DATE	DESCRIPTION	DR	CK

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED PROFESSIONAL ENGINEER
6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

COVER

PROPOSED AUTO DEALERSHIP
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB	–	C-00
		CK	CRR	CADFILE	47159-02_COVER	

Jun 01, 2021 - 4:28am
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LEGEND

PROPOSED

- PROPERTY LINE
- ZONING LINE
- EASEMENT
- BASELINE
- FLOODPLAIN
- EDGE OF WATERBODY
- EDGE OF WETLAND
- SETBACK (WETLAND)
- SETBACK (STRUCTURE)
- SETBACK (PARKING)
- SETBACK (LANDSCAPE)
- GRAVEL ROAD
- EOP — EDGE OF PAVEMENT
- VGC — VERTICAL GRANITE CURB
- SGC — SLOPED GRANITE CURB
- CC — CONCRETE CURB
- ICC — INTEGRATED CONCRETE CURB
- BIT — BITUMINOUS ASPHALT CURB
- CCB — CAPE COD BERM
- SAWCUT
- BUILDING
- BUILDING ROOF OVERHANG
- BUILDING FOUNDATION
- BUILDING ENTRANCE
- OVERHEAD DOOR
- TREE LINE
- FENCE (CHAIN LINK)
- FENCE (WIRE)
- FENCE (STOCKADE)
- GUARDRAIL
- STONE WALL
- RETAINING WALL
- SILT FENCE
- SILT SOCK
- SOIL BOUNDARY
- LIMIT OF GRADING
- CONTOUR
- SPOT GRADE — TC100.50 / BC100.00 OR XXX.XX
- (##) — PARKING COUNT
- DSLY — YELLOW DOUBLE SOLID LINE
- SSLY — YELLOW SINGLE SOLID LINE
- SSLW — WHITE SINGLE SOLID LINE
- SBLW — WHITE SINGLE BROKEN LINE
- STOP BAR
- CROSSWALK
- ACCESSIBLE PARKING SYMBOL
- PAVEMENT ARROW
- TRAFFIC FLOW ARROW (NOT PAINTED)
- SIGN (SINGLE POST)
- SIGN (DOUBLE POST)
- SIGN (PYLON)
- SIGN (MONUMENT)
- BOLLARD
- D — DUMPSTER PAD

PROPOSED

- CONCRETE
- GRAVEL
- HEAVY DUTY PAVEMENT
- CONSTRUCTION ENTRANCE
- SNOW STORAGE
- RIPRAP
- INLET PROTECTION
- DRAIN LINE
- DRAINAGE SWALE
- STORMWATER BMP
- S — SEWER LINE
- FM — SEWER FORCE MAIN LINE
- W — WATER LINE
- G — GAS LINE
- OHE — OVERHEAD UTILITY LINE
- UGE — UNDERGROUND UTILITY LINE
- CATCH BASIN
- DRAIN INLET
- OUTLET CONTROL STRUCTURE
- ROOF DRAIN
- DRAIN CLEANOUT
- DRAIN MANHOLE
- FARED END SECTION
- SEWER CLEAN OUT
- SEWER MANHOLE
- SEWER VENT
- DRAIN/SEWER/WATER PLUG OR CAP
- HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER GATE VALVE
- WATER SHUTOFF
- THRUST BLOCK
- WATER METER
- WATER MANHOLE
- WELL
- GAS GATE VALVE
- GAS SHUT OFF
- GAS METER
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- TRAFFIC CONTROL CABINET
- ELECTRIC HANDHOLE
- ELECTRIC PULL BOX
- ELECTRIC METER
- FLOOD LIGHT
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- T — TRANSFORMER PAD
- B-# — BORING LOCATION
- TP-# — TEST PIT LOCATION
- IT-# — INFILTRATION TEST LOCATION
- MW-# — MONITORING WELL

ABBREVIATIONS

GENERAL

ABAN	ABANDON
AC	ACRES
ADJ	ADJUST
APPROX	APPROXIMATE
BC	BOTTOM OF CURB
BIT	BITUMINOUS
BK/PG	BOOK & PAGE
BLDG	BUILDING
BS	BOTTOM OF SLOPE
BW	BOTTOM OF WALL
CONC	CONCRETE
COORD	COORDINATE
DIA	DIAMETER
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EXIST	EXISTING
FFE	FINISHED FLOOR ELEVATION
FND	FOUNDATION
HP	HIGH POINT
INV	INVERT ELEVATION
IT	INFILTRATION TEST
L	LENGTH
LF	LINEAR FEET
LSA	LANDSCAPE AREA
MAX	MAXIMUM
MIN	MINIMUM
N/F	NOW OR FORMERLY
NTS	NOT TO SCALE
OC	ON CENTER
PAVE	PAVEMENT
PERF	PERFORATED
PROP	PROPOSED
R	RADIUS
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
REM	REMOVE
RET	RETAIN
RIM	RIM ELEVATION
ROW	RIGHT OF WAY
S	SLOPE
SF	SQUARE FEET
SW	SIDEWALK
TBM	TEMPORARY BENCHMARK
TC	TOP OF CURB
TP	TEST PIT
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
WCR	ACCESSIBLE WHEELCHAIR RAMP
W/	WITH

UTILITIES

CB	CATCH BASIN
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COND	CONDUIT
DMH	DRAIN MANHOLE
FES	FLARED END SECTION
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INSI	INSULATED
JF	JELLYFISH (BY CONTECH)
LP	LIGHT POLE
MW	MONITORING WELL
OCS	OUTLET CONTROL STRUCTURE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SMH	SEWER MANHOLE
SOS	SEDIMENT OIL SEPARATOR
STC	STORMCEPTOR (BY CONTECH)
TSV	TAPPING SLEEVE, VALVE, AND BOX
UP	UTILITY POLE
WQU	WATER QUALITY UNIT

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DIG SAFE — CONTACT DIG SAFE FOR BUSINESS HOURS PRIOR TO CONSTRUCTION

GENERAL NOTES

1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
2. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
3. FOR MORE INFORMATION ABOUT THIS SITE PLAN, PLEASE CONTACT TFMORAN SEACOAST DIVISION (603-431-2222) OR THE LIST OF ASSOCIATED PROFESSIONALS LISTED ON SHEET C-01.
4. THE SITE PLAN SHALL BE RECORDED IN THE STRAFFORD COUNTY REGISTRY OF DEEDS, IF REQUESTED BY THE CITY OF ROCHESTER.
5. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING BOARD.
6. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
7. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WQ 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
8. SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
9. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
10. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
11. PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
12. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
13. TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
14. TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
15. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
16. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
17. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
18. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
19. CONTRACTOR'S GENERAL RESPONSIBILITIES:
    A. THE CONTRACTOR MUST BE QUALIFIED TO WORK WITH HAZARDOUS MATERIAL. SOIL AND MATERIALS FOUND WITHIN THE SOIL MAY NOT BE TRANSPORTED OFF-SITE. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN AND OTHER DOCUMENTS RELATIVE TO THE NHDES FILE #199705019 UNDER THE BROWNFIELDS COVENANT PROGRAM AND ALL OTHER PERMITS AND APPROVALS. THE SOIL MANAGEMENT PLAN MUST BE APPROVED PRIOR TO EARTHWORK.
    B. BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
    C. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
    D. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
    E. THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
    F. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS IN ACCORDANCE WITH THE APPLICABLE MUNICIPAL ORDINANCES AND REGULATIONS OF THE CITY OF ROCHESTER, NEW HAMPSHIRE.
    G. MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
    H. IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
    I. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
    J. PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
    K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
    L. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
    M. VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
    N. PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
    O. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
    P. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.

GRADING NOTES

1. THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
2. THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
5. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
6. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
7. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
8. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
9. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
10. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
11. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
12. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
13. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
14. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
15. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
16. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
17. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
18. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
19. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
20. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
21. DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL BELOW LOAM AND SEED AREAS
90%	

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

1. LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
2. ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
8. ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
9. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
10. ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF ROCHESTER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, SEWER LINE MUST BE CONSTRUCTED OF FORCE MAIN MATERIALS (PER ENV-WQ 704.08) FROM BUILDING OR MANHOLE TO MANHOLE, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 6' HORIZONTALLY TO THE WATER LINE.
11. THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
13. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
14. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING, AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
15. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
16. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
17. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNITIL
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS, COMCAST XFINITY, ETC.
CABLE	CONSOLIDATED COMMUNICATIONS, COMCAST XFINITY, ETC.

STATE OF NEW HAMPSHIRE — HANNAH E. GIOVANNUCCI No.15699 — LICENSED PROFESSIONAL ENGINEER

6/01/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

NOTES & LEGEND

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	DR	HEG	FB	
47159.02	CK	CRR	CADFILE	47159-02_LEGEND-NOTES

C-01

Jun 01, 2021 - 4:29am
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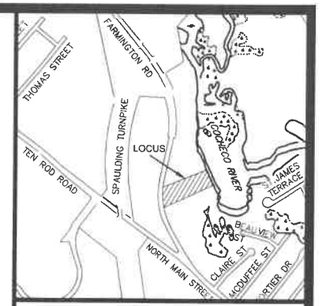
LEGEND:

MAP 114 LOT 2	ASSESSOR'S MAP NUMBER/ LOT NUMBER
AC.	ACRES
A.G.	ABOVE GRADE
BK./PG	BOOK & PAGE
BNDF	BOUND FOUND
CHB	CHORD BEARING
CHL	CHORD LENGTH
CONC.	CONCRETE
EL.	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
IPF	IRON PIPE FOUND
IRF	IRON ROD FOUND
N/F	NOW OR FORMERLY
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
NET	NEW ENGLAND TELEPHONE
NHHB	NEW HAMPSHIRE HIGHWAY BOUND
PSNH	PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
R	RADIUS
RRSPK	RAILROAD SPIKE
SBC	SLOPED BITUMINOUS CURB
SCRD	STRAFFORD COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
TBM	TEMPORARY BENCH MARK
TYP.	TYPICAL
Δ	CENTRAL ANGLE
UGU	UNDERGROUND UTILITIES
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
VZ	VERIZON
W/	WITH
400B/hbhde	SOIL TYPE
	PROPERTY LINE
	SETBACK LINE
10	EXISTING CONTOUR
	EDGE OF WETLANDS
	EDGE OF RIVER
	WETLANDS BUFFER
W	WATER LINE
D	DRAIN LINE
S	SEWER LINE
OHU	OVERHEAD UTILITIES
	FLOOD ZONE LINE
	EDGE OF WOODS
	SOIL LINE
	WATER VALVE
	WATER SHUT OFF
	HYDRANT
	BOUND
	SIGN POLE
	CATCH BASIN
	SEWER MANHOLE
	MONITORING WELL
	UTILITY POLE
	GUY POLE/WIRE
	VENT PIPE
BOR	BORING
	CONCRETE
	WETLAND
	DRAINAGE EASEMENT
	PAVEMENT

PLAN REFERENCES:

1. "PLAN OF LAND FOR J. PIERCE TRUST, MEREDITH PIERCE, TRUSTEE AND WILLIAM 'CHIP" ALBEE NEW HAMPSHIRE ROUTE 11 ROCHESTER, NEW HAMPSHIRE TAX MAP #114 LOT 8" BY LAND TECHNICAL SERVICE CORP, DATED MARCH 2001. SCRD PLAN #64-21.
2. "PLAN OF LAND NORTH MAIN STREET ROCHESTER STRAFFORD COUNTY NEW HAMPSHIRE FOR: OPPORTUNITY REALTY OF ROCHESTER, LLC" BY NORWAY PLAINS ASSOCIATES, INC., DATED OCTOBER 2016. SCRD PLAN #112-015.
3. "PLAN OF RIVERSIDE PARK. ROCHESTER N.H. OWNED BY A.W. LACROIX MANCHESTER N.H." BY E.N. SHEFFIELD ENGINEER, DATED APRIL 1926. SCRD PLAN #24 POCKET #10 FOLDER #3.
4. "ESTATE OF MARTIN BROCK ROCHESTER N.H." SURVEY BY T.W. CHESLEY ENGR. CO DOVER, N.H., DATED NOV. 1956. SCRD PLAN POCKET 1 FOLDER 10 PLAN #36.
5. "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DESIGN FARMINGTON ROAD RIGHT-OF-WAY PLAN SHEET 3 COUNTY: OF STRAFFORD TOWN OF: ROCHESTER STATE PROJECT NO. 10620-D" BY VSE, INC AND CHA LLP, DATED 1-11-11. SCRD PLAN #101-47.
6. "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DESIGN FARMINGTON ROAD RIGHT-OF-WAY PLAN SHEET 4 COUNTY OF: STRAFFORD TOWN OF: ROCHESTER STATE PROJECT NO. 10620-D" BY VSE, INC AND CHA LLP, DATED 1-11-11. SCRD PLAN #101-48.
7. "PLAN OF LAND 400 NORTH MAIN STREET, LLC OF TAX MAP 114 LOT 2 400 NORTH MAIN STREET ROCHESTER, NEW HAMPSHIRE" BY DOUCET SURVEY LLC, DATED JANUARY 31, 2020. SCRD PLAN #12070.
8. "PLAN OF LAND - PROPOSED MERGER LAND OF GLENN DAVIDS INTEGRITY AUTOMOTIVE INC. 415 NORTH MAIN STREET ROCHESTER, NH 03867 TAX MAP 114 LOTS 4 & 5" BY BERRY SURVEYING & ENGINEERING, DATED JUNE 11, 2019 WITH REVISION 3 DATED 2/4/20. SCRD PLAN #12220.



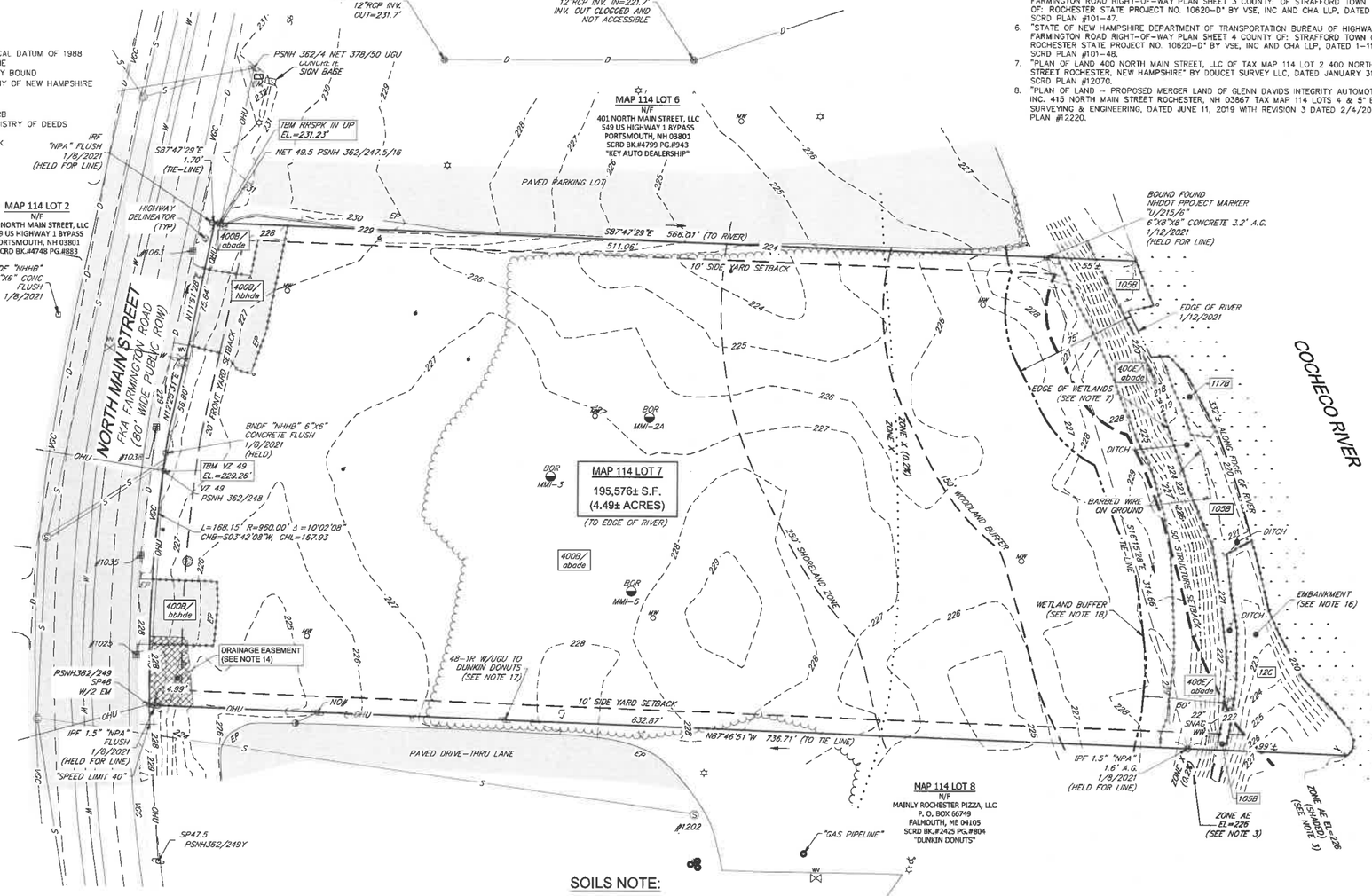
LOCATION PLAN

NOTES:

1. THE PARCEL IS LOCATED IN THE HIGHWAY COMMERCIAL (HC) ZONING DISTRICT, PARTIALLY WITHIN THE CONSERVATION OVERLAY DISTRICT AND THE SHORELAND WATER QUALITY PROTECTION ZONE.
2. THE PARCEL IS SHOWN ON THE CITY OF ROCHESTER ASSESSOR'S MAP 114 AS LOT 7.
3. THE PARCEL IS LOCATED IN FLOOD ZONE X (AREAS OF MINIMAL FLOODING) AND FLOOD HAZARD ZONES X (0.2%) & AE (EL.226 NGVD) AS SHOWN ON FLOOD INSURANCE RATE MAP STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 203 OF 405, MAP NUMBER 33017C0203D WITH AN EFFECTIVE DATE OF MAY 17, 2005. FLOOD ZONES SHOWN HEREON PLOTTED FROM FEMA GIS DATA. THE VERTICAL DATUM FOR PANEL 203 ABOVE IS NGVD29, THE CONVERSION FROM NAVD88 TO NGVD29 IS 0.594'. FLOOD ZONE INDICATED AS AE EL=226 (SHADED) IS THE CHANNEL OF A STREAM PLUS ANY ADJACENT FLOODPLAIN AREAS THAT MUST BE KEPT FREE OF ENCROACHMENT. SEE FLOOD PANEL LEGEND FOR FURTHER DETAILS.
4. OWNER OF RECORD:
   MAP 114 LOT 7
   401 NORTH MAIN STREET, LLC
   549 US HIGHWAY 1 BYPASS
   PORTSMOUTH, NH 03801
   SCRD BK.#4799 PG.#945
5. TOTAL LOT AREA:
   MAP 114 LOT 7
   195,576± S.F.
   (4.49± ACRES)
6. ZONING DIMENSIONAL STANDARDS: HC

LOTS	
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	100'
MINIMUM LOT AREA/DWELLING UNIT	5,000 S.F./7,500 S.F.*
MAXIMUM LOT COVERAGE	85%
SETBACKS	
MINIMUM FRONT	20'
MINIMUM SIDE	10'
MINIMUM REAR	25'
STANDARDS	
MAXIMUM NUMBER OF STORIES	3

   PER THE CITY OF ROCHESTER, NEW HAMPSHIRE ZONING ORDINANCE TABLE 19-B AND SECTION 42.B.C.
7. JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON OCTOBER 27, 2020 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3). NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEIWPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).
8. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. THE VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 1 FOOT.
9. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
10. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
11. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
12. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES, EXISTING FEATURES, TOPOGRAPHY AND SOILS OF TAX MAP 114 LOT 7.
13. ALL WETLANDS LESS THAN ONE-HALF ACRE IN SIZE, EXCEPT VERNAL POOLS ARE EXEMPT FROM THE CONSERVATION OVERLAY DISTRICT (COD) PER THE CITY OF ROCHESTER ZONING ORDINANCE SECTION 42.12.E.1.



SOILS NOTE:

THIS SITE SPECIFIC SOIL SURVEY WAS COMPLETED UTILIZING SSSNNE SPECIAL PUBLICATION NO. 3; SITE SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 4.0, FEBRUARY 2011 THE SOIL LEGEND USED FOR THIS SOIL MAP CONFORMS TO THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, ISSUE #10, JANUARY 2011 ESTABLISHED AND MAINTAINED BY THE NATURAL RESOURCES CONSERVATION SERVICE.

Symbol*	Map Unit Class	Slope	Drainage Class	HISS Symbol	Hydro. Soil Group
12C	Hinckley gravelly loamy sand	8-15%	Excessively	111BH	A
105B	Rumney, frequently flooded	0-8%	Poorly	575BH	C
117B	Podunk, occasionally flooded	0-8%	Moderately well	375BH	B
400B/abode	Udorthents, sandy	0-8%	Excessively	161BH	A
400E/abode	Udorthents, sandy	25%+	Excessively	161EH	A
400B/hbhde	Udorthents, sandy	0-8%	Excessively**	761BH	A

* REFER TO ACCOMPANYING REPORT FOR 5-UNIT SUPPLEMENTAL SYMBOL EXPLANATION FOR DISTURBED SOIL MAP UNITS.
** ASSUMED BASED ON SOILS ON ADJACENT UNPAVED SURFACES.

THIS DETAILED SITE-SPECIFIC SOIL MAP, PREPARED ON NOVEMBER 25, 2020 BY THOMAS E. SOKOLOSKI, CERTIFIED SOIL SCIENTIST #083 OF TES ENVIRONMENTAL CONSULTANTS, L.L.C. IN BOW, NEW HAMPSHIRE, CONFORMS TO THE STANDARDS OF SSSNNE PUBLICATION NO. 4, AS AMENDED, "SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT", FEBRUARY 2011. THIS MAP HAS BEEN PREPARED TO COMPLY WITH SOIL MAPPING REQUIREMENTS OF RSA 485 A: 17 AND NHDES ENV-WQ 1500, ALTERATION OF TERRAIN. SEE ACCOMPANYING REPORT FOR METHODOLOGY, MAP SYMBOL LEGEND, AND INTERPRETATIONS.

NOTES CONTINUED:

14. THIS PROPERTY IS SUBJECT TO A PERMANENT DRAINAGE EASEMENT AND A TEMPORARY SLOPE & DRIVEWAY EASEMENT. SEE SCRD BK.#3737 PG.#128 & PLAN REFERENCE 5.
15. FIELD SURVEY COMPLETED BY TCE & MVP IN JANUARY, 2021 USING A LEICA TS-16, A TOPCON HIPER SR AND A CARLSON RT-4 DATA COLLECTOR.
16. THE PORTION OF LAND SHOWN HERON AS "EMBANKMENT" MAY BE SUBJECT TO THE RIGHTS OF PASSAGE OF OTHERS. SEE SCRD BK.#633 PG.#454.
17. THIS PROPERTY IS SUBJECT TO ANY DRAINAGE RIGHTS ACROSS THE PROPERTY AND ANY POLE AND POWER LINE EASEMENTS THEREON. SEE SCRD BK.#4799 PG.#945 & BK.#633 PG.#454.
18. THE WETLAND BUFFER IS 75' FROM THE ORDINARY HIGH-WATER MARK OF THE COCHECO RIVER, EXCEPT WHERE THE 50' WETLAND BUFFER FROM THE EDGE OF JURISDICTION WETLANDS IS MORE RESTRICTIVE.

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DIG SAFE
MA ME NH RI VT
811
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JANUARY 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

STATE OF NEW HAMPSHIRE
LICENSED LAND SURVEYOR
01037
BRENDA M. KOLBOW
Brenda Kolbow

LICENSED LAND SURVEYOR — 2021-05-06 DATE

Graphic Scale in Feet (40 20 0 40)

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 114 LOT 7

EXISTING CONDITIONS PLAN

0 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE
COUNTY OF STRAFFORD

OWNED BY

401 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22x34)
1" = 80' (11x17)

APRIL 28, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	DR	RD	FB	
47159-02	CK	BMK	CADFILE	S-1

Mar 06, 2021 - 4:54pm
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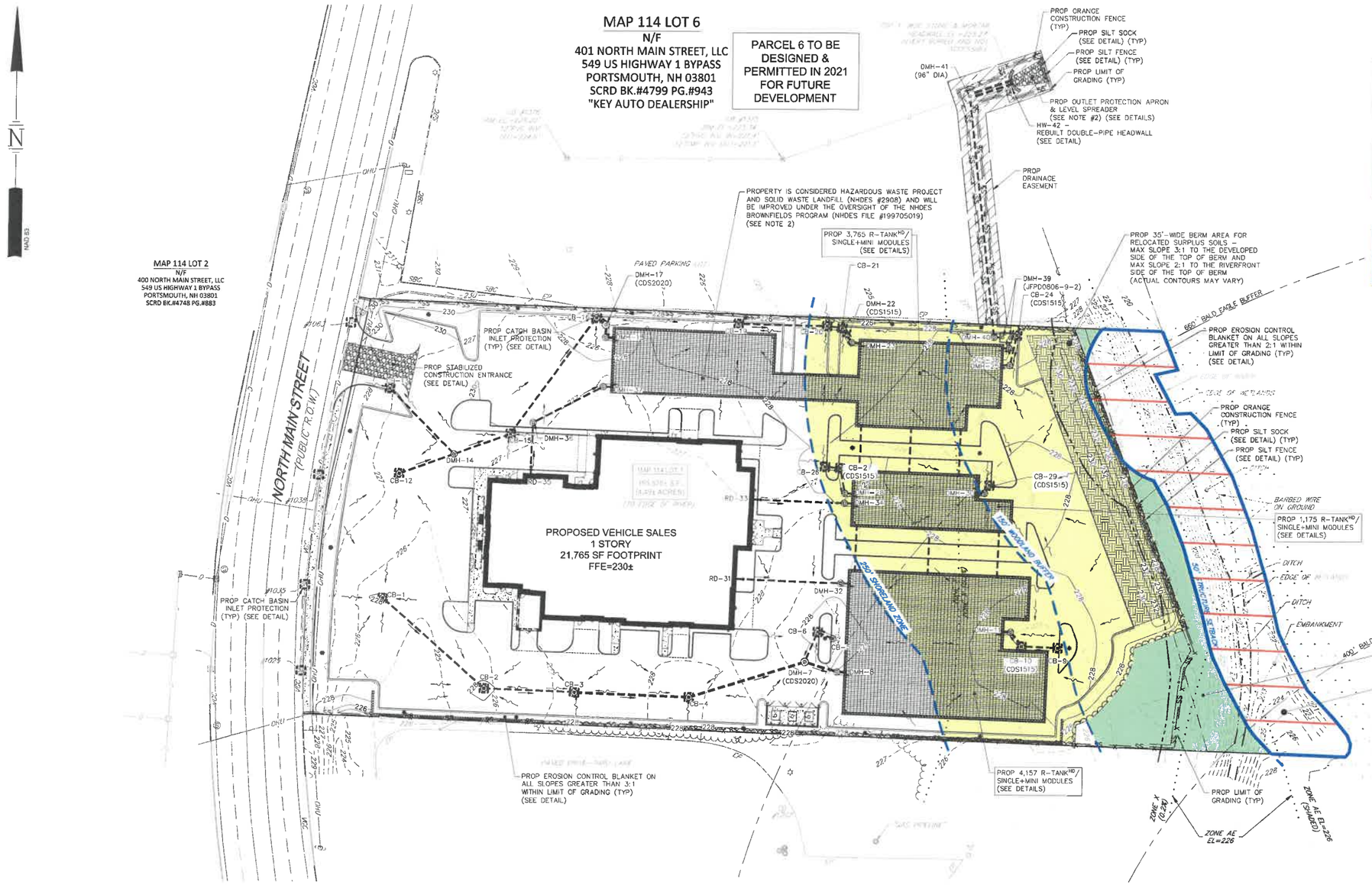

NOTES

1. SEE SHEET C-01 FOR NOTES.

SHORELAND IMPACT AREA

AREA OF NATURAL WOODLAND BUFFER TO REMAIN IN AN UNALTERED STATE

WATERFRONT BUFFER

8,619 SF NATURAL WOODLAND BUFFER TO REMAIN IN UNALTERED STATE

EACH 25'X50' WATERFRONT BUFFER GRID SEGMENT EXCEEDS 25 POINTS - REFER TO PHOTO EXHIBIT IN NHDES SHORELAND APPLICATION

HORIZONTAL SCALE 1"=40'
40 20 0 40

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

NHDES SHORELAND IMPACT PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: 1"=80' (11"X17")
1"=40' (22"X34")

JUNE 1, 2021

STATE OF NEW HAMPSHIRE – HANNAH E. GIOVANNUCCI – No.15699 – LICENSED PROFESSIONAL ENGINEER
6/1/2021

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB		C-02
		CK	GRR	CADFILE	47159-02_NHDES_SHORELAND	

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DIG SAFE – CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

Jun 01, 2021 - 4:29am
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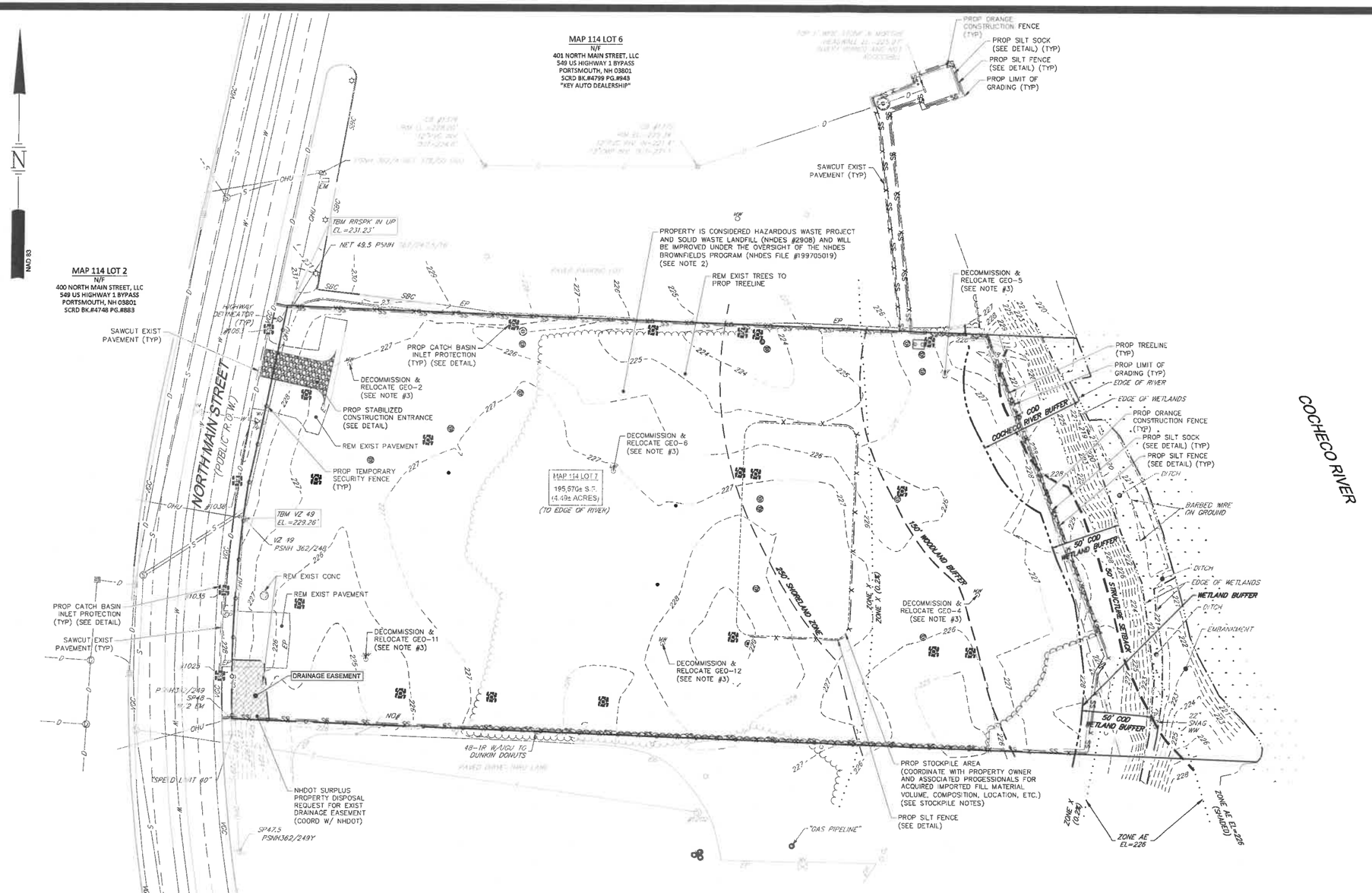

NOTES

1. SEE SHEET C-01 FOR NOTES.
2. THE CONTRACTOR MUST BE QUALIFIED TO WORK WITH HAZARDOUS MATERIAL. SOIL AND MATERIALS FOUND WITHIN THE SOIL MAY NOT BE TRANSPORTED OFF-SITE. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN AND OTHER DOCUMENTS RELATIVE TO THE NHDES FILE #199705019 UNDER THE BROWNFIELDS COVENANT PROGRAM AND ALL OTHER PERMITS AND APPROVALS. THE SOIL MANAGEMENT PLAN MUST BE APPROVED PRIOR TO EARTHWORK.
3. MONITORING WELLS SHALL BE DECOMMISSIONED AND RELOCATED IN COMPLIANCE WITH NHDES REGULATIONS AND GUIDANCE PER NHDES FILE #199705019 UNDER THE BROWNFIELDS COVENANT PROGRAM. COORDINATE WITH NHDES, GEOINSIGHT, ENSAFE, TFMORAN, AND PROPERTY OWNER
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
6. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
7. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
8. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
9. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
10. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE AND SWPPP, IF APPLICABLE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE STORMWATER SYSTEM. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.

DO NOT PLACE STORMWATER SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE SUBSURFACE DETENTION BASIN DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT PLACE THE SUBSURFACE DETENTION SYSTEM INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

HORIZONTAL SCALE 1"=40'
40 20 0 40

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

SITE PREPARATION & DEMOLITION PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED PROFESSIONAL ENGINEER
6/01/2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
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Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB	-	C-03
		CK	CRR	CADFILE	47159-02_SITE PREP	

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DIG SAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

Jun 01, 2021 - 4:30am
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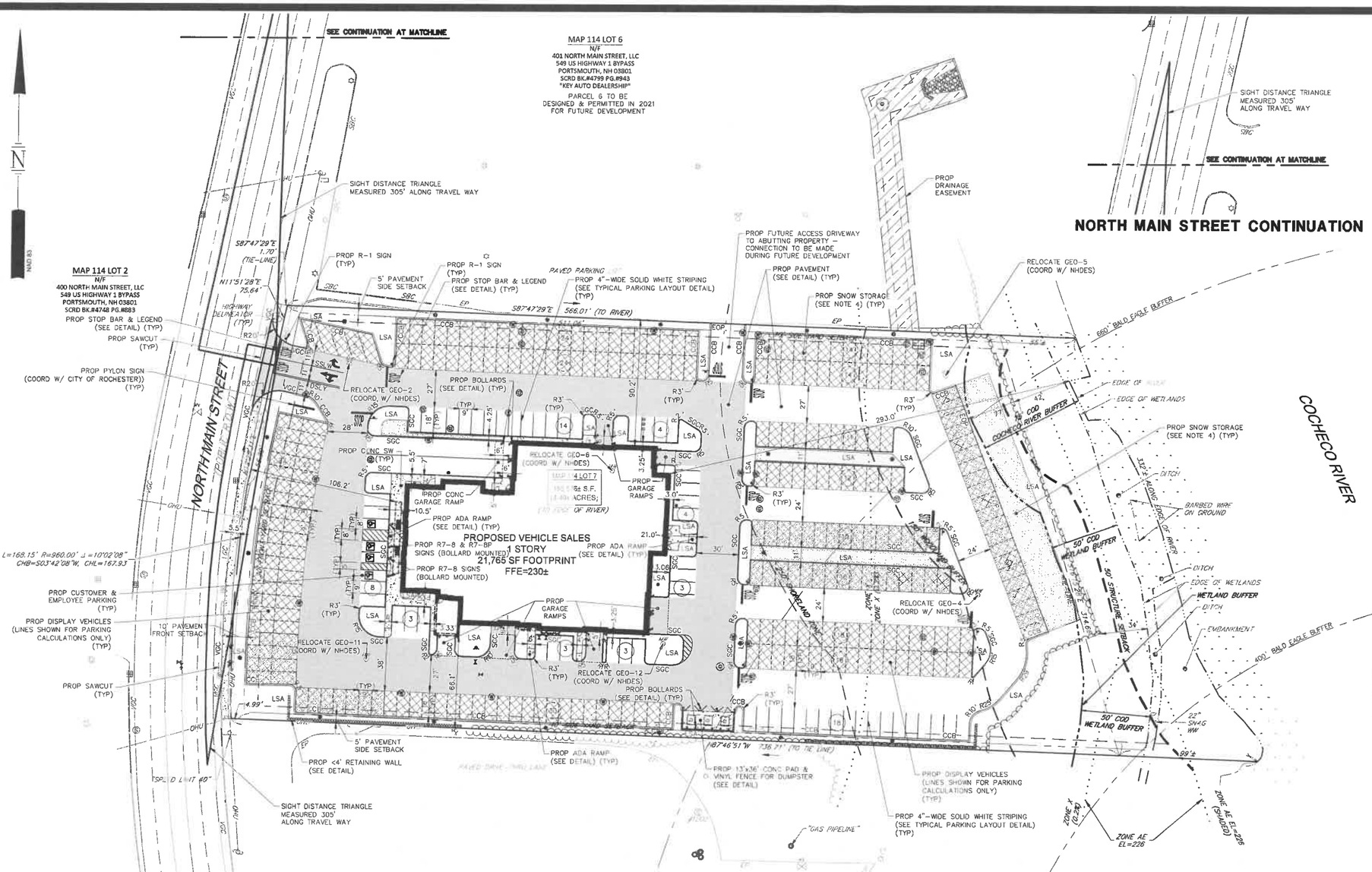

SITE DATA

OWNER OF RECORD OF MAP 114 LOT 7: 401 NORTH MAIN STREET, LLC
549 US HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS BK 4799 PG 945
AREA OF PARCEL = 195,576± SF OR 4.49± ACRES

ZONED: HIGHWAY COMMERCIAL (HC)
CONSERVATION OVERLAY DISTRICT (COD) (PORTION ONLY)
SHORELAND QUALITY PROTECTION ZONE (PORTION ONLY)
EXISTING USE: VACANT
PROPOSED USE: VEHICLE SALES (NEW & USED)

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A PROPOSED AUTO DEALERSHIP WITH A 1-STORY BUILDING UPON A VACANT LOT. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES, LIGHTING, AND LANDSCAPING. THE PROPERTY IS IN THE LOCATION OF A FORMER CITY LANDFILL CLOSED AND CLASSIFIED AS NON-OPERATING UNLINED LANDFILL. THE SITE IS FILED WITH NHDES AS HAZARDOUS WASTE PROJECT AND SOLID WASTE LANDFILL (#2908) AND WILL BE IMPROVED UNDER THE OVERSIGHT OF THE NHDES BROWNFIELDS PROGRAM (NHDES FILE #199705019).

DIMENSIONAL REQUIREMENTS (CURRENT ZONING)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	20,000 SF	195,576± SF
LOT FRONTAGE	100 FT	300.6± FT
MINIMUM YARD DIMENSIONS:		
FRONT	20 FT	106.2 FT
SIDE	10 FT	66.1 FT
REAR	25 FT	293.0 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE STORIES	3 STORIES	1 STORY
MINIMUM SETBACKS/BUFFER:		
PAVEMENT FRONT	10 FT	10 FT
PAVEMENT SIDE	5 FT	5 FT
PAVEMENT REAR	10 FT	77 FT
MAXIMUM LOT COVERAGE	85%	71.2%

SNOW STORAGE REQUIREMENTS

SNOW STORAGE (SEE CALCULATION)	3,466 SF – 6,9361 SF	18,394 SF (7,236 SF OFF-PAVEMENT)

PARKING REQUIREMENTS

PARKING SPACES (SEE CALCULATION)	80 SPACES	60 SPACES (CUSTOMER/ EMPLOYEE) 266 SPACES (DISPLAY)
ACCESSIBLE SPACES (REQ'D BY ADA)	4 SPACES (1 VAN SPACE)	4 SPACES (2 VAN SPACES)
PARKING SPACE SIZE	9 FT X 18 FT	9 FT X 17 FT
AISLE WIDTH (BETWEEN PARKING)	24 FT	24 FT (MIN) / 30 FT (MAX)

PARKING CALCULATIONS

REQUIRED PARKING RATIO:

INTERIOR MOTOR VEHICLE SALE/RENTAL:	1.5 SPACES / 1,000 GROSS SF
EXTERIOR DISPLAY SPACES:	1 SPACE / 15 EXTERIOR DISPLAY
MOTOR VEHICLE SERVICE BAYS:	4 SPACES / SERVICE BAY

TOTAL PARKING SPACES REQUIRED:

9,666 GROSS SF * 1.5 SPACE / 1,000 GROSS SF	= 14	SPACES +
266 EXTERIOR DISPLAY SPACES* 1 SPACE / 15 SPACES	= 18	SPACES +
12 SERVICE BAYS * 4 SPACES / SERVICE BAY	= 48	SPACES
TOTAL	= 80	SPACES

SNOW STORAGE CALCULATIONS

REQUIRED PARKING RATIO:
1 SF OF STORAGE AREA / 5 SF TO 10 SF OF CLEARING AREA

TOTAL SNOW STORAGE REQUIRED
34,652 SF CLEARING AREA X 1 SF / (5 SF TO 10 SF) = 3,466 SF TO 6,931 SF

NOTES

1. SEE SHEET C-04 FOR NOTES.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
4. SNOW SHALL NOT BE STOCKPILED OVER CATCH BASIN OR IN WETLANDS. SEE SNOW STORAGE LOCATIONS ON THE PLAN. SNOW STORAGE LOCATIONS ON PAVEMENT SHOULD BE USED ONLY IF NO OTHER SPACE IS AVAILABLE. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.

HEAVY DUTY PAVEMENT

SIGN LEGEND

ID	SIGN	SIZE (INCHES) WIDTH	SIZE (INCHES) HEIGHT	DESIGN (COLORING, TEXT SIZE, SPACING, SHAPE, RETROFLECTIVITY, ETC.)	NO. OF SIGNS
R1-1	STOP	30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	10
R7-8[1]	RESERVED PARKING	12	18		4
R7-8P[2]	VAN ACCESSIBLE	18	9		2

NOTE:
1. HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER STANDARDS AND ADA REGULATIONS.
2. PER ADA STANDARDS, A "VAN ACCESSIBLE" PLAQUE DOES NOT RESTRICT USE OF ACCESSIBLE SPACES TO VAN USERS ONLY.

HANNAH E. GIOVANNUCCI No.15696 LICENSED PROFESSIONAL ENGINEER
6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

SITE LAYOUT PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
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www.tfmoran.com

FILE	47159.02	DR	HEG	FB	–	C-04
		CK	CRR	CADFILE	47159-02_SITE	

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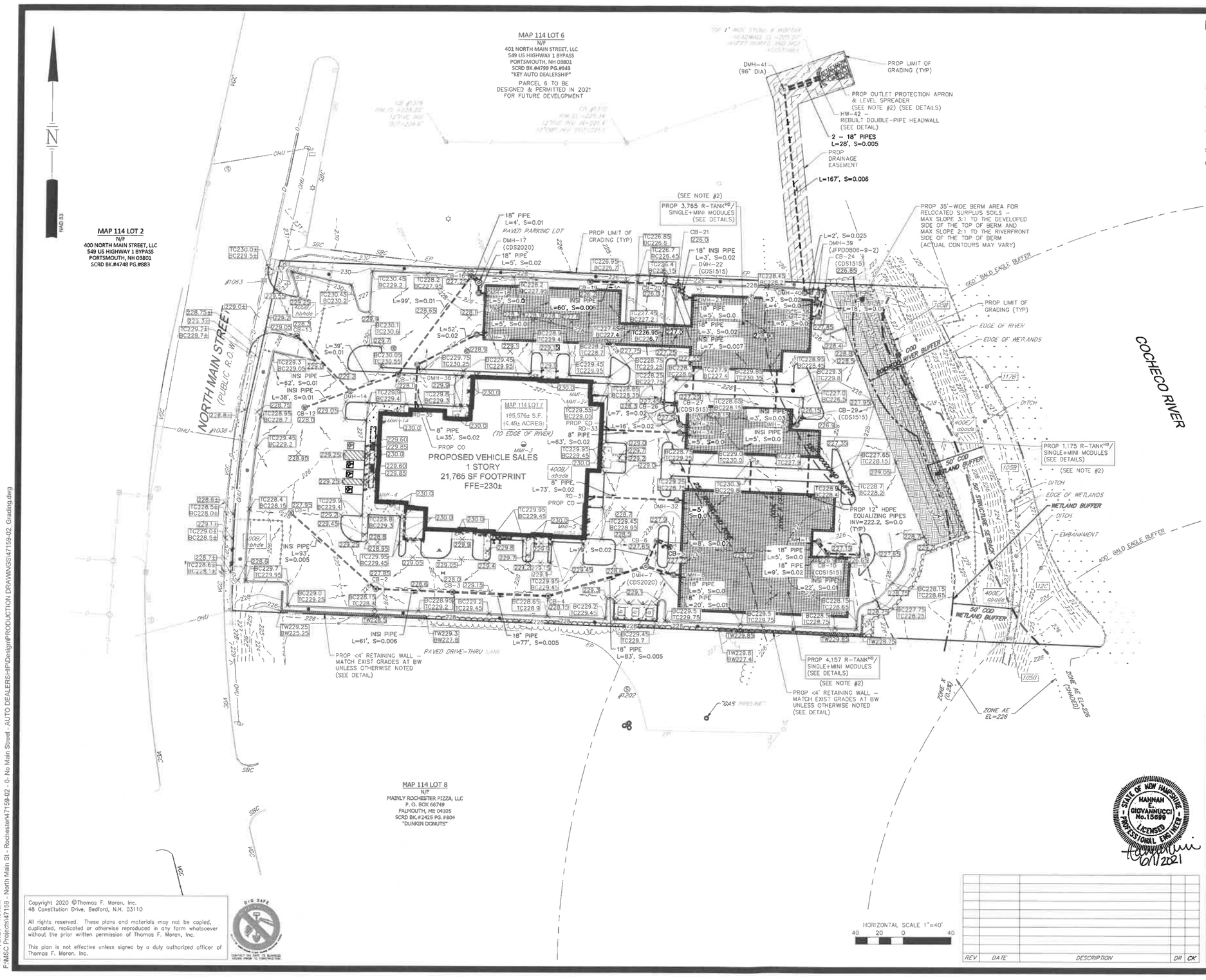

NOTES

1. SEE SHEET C-01 FOR NOTES.
1. THE STORMWATER SYSTEM HAS BEEN DESIGNED TO TIE INTO THE EXISTING STORMWATER SYSTEM ON PARCEL 6 AND DISCHARGE VIA A REBUILT HEADWALL. PRIOR TO INSTALLATION AND ORDERING MATERIALS, CONFIRM WITH THE ENGINEER THAT THE STORMWATER SYSTEM'S SIZING AND CONFIGURATION IS APPROPRIATE, BASED ON SURVEY, DESIGN, AND PERMITTING OF PARCEL 6.
2. ALL DOORS AND GARAGE ENTRANCES SHALL BE AT FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED.
3. PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. THE CONTRACTOR, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMPS, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
4. LENGTH OF PIPE AND PIPE SLOPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
5. ALL PROPOSED DRAINAGE PIPES SHALL BE 12" AND HDPE, UNLESS OTHERWISE NOTED ON THE PLAN.
6. DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP CATCH BASIN (SEE DETAILS).

DRAINAGE STRUCTURE TABLE

CB-1 (SLAB-TOP)
RIM=227.95±
INV=224.90 (OUT)
SUMP=220.50

CB-2 (SLAB-TOP)
RIM=227.85±
INV=224.00 (IN)
INV=223.90 (OUT)
SUMP=219.90

CB-3 (SLAB TOP)
RIM=228.00±
INV=223.55 (IN)
INV=223.45 (OUT)
SUMP=219.45

CB-4
RIM=228.15±
INV=223.05 (IN)
INV=222.95 (OUT)
SUMP=218.95

CB-5
RIM=227.25±
INV=223.25 (OUT)
SUMP=219.25

CB-6
RIM=227.65±
INV=223.05 (IN)
INV=222.95 (OUT)
SUMP=218.95

DMH-7 (CDS2020)
RIM=228.4±
INV=222.50 (DMH-4)
INV=222.50 (DMH-6)
INV=222.50 (OUT)

DMH-8
RIM=228.0±
INV=222.30 (IN)
INV=222.20 (OUT)

CB-9 (SLAB TOP)
RIM=226.65±
INV=222.75 (OUT)
SUMP=218.75

CB-10 (CDS1515)
RIM=226.90±
INV=222.50 (IN)
INV=222.50 (OUT)

DMH-11
RIM=227.3±
INV=222.30 (IN)
INV=222.20 (OUT)

CB-12 (SLAB TOP)
RIM=228.00±
INV=224.55 (OUT)
SUMP=220.55

CB-13 (SLAB TOP)
RIM=228.3±
INV=224.80 (OUT)
SUMP=220.80

DMH-14
RIM=229.2±
INV=224.20 (DMH-12)
INV=224.20 (DMH-13)
INV=224.10 (OUT)

CB-15 (SLAB TOP)
RIM=228.1±
INV=223.70 (IN)
INV=223.60 (OUT)
SUMP=219.60

CB-16 (SLAB TOP)
RIM=227.25±
INV=222.65 (IN)
INV=222.55 (OUT)
SUMP=218.55

DMH-17 (CDS2020)
RIM=227.4±
INV=222.50 (IN)
INV=222.50 (OUT)

DMH-18
RIM=227.6±
INV=222.40 (IN)
INV=222.20 (OUT)

CB-19 (SLAB TOP)
RIM=226.20±
INV=222.90 (OUT)
SUMP=218.90

CB-20 (SLAB TOP)
RIM=226.00±
INV=222.55 (IN)
INV=222.45 (OUT)
SUMP=218.45

CB-21 (SLAB TOP)
RIM=226.00±
INV=222.40 (IN)
INV=222.30 (OUT)
SUMP=218.30

DMH-22 (CDS1515)
RIM=226.3±
INV=222.25 (IN)
INV=222.25 (OUT)

DMH-23
RIM=226.40±
INV=222.20 (IN)
INV=222.20 (OUT)

CB-24 (CDS1515)
RIM=226.85±
INV=222.50 (OUT)
SUMP=218.50

DMH-25
RIM=227.50±
INV=222.30 (IN)
INV=222.20 (OUT)

CB-26
RIM=227.45±
INV=223.40 (OUT)
SUMP=219.40

CB-27 (CDS1515)
RIM=227.25±
INV=223.25 (IN)
INV=223.25 (OUT)

DMH-28
RIM=227.9±
INV=222.90 (IN)
INV=222.20 (OUT)

CB-29 (CDS1515)
RIM=226.15±
INV=222.40 (OUT)

DMH-30
RIM=226.3±
INV=222.30 (IN)
INV=222.20 (OUT)

RD-31
INV=225.30 (OUT)

DMH-32
RIM=228.3±
INV=223.85 (IN)
INV=222.20 (OUT)

RD-33
INV=225.30 (OUT)

DMH-34
RIM=228.1±
INV=224.05 (IN)
INV=222.20 (OUT)

RD-35
INV=225.30 (OUT)

DMH-36
RIM=229.7±
INV=224.60 (IN)
INV=224.50 (OUT)

DMH-37
RIM=228.5±
INV=223.45 (IN)
INV=222.20 (OUT)

OGS-38
RIM=227.2±
INV=220.20 (IN)
INV=222.20 (0.5" ORIFICE)
INV=223.30 (1" ORIFICE)
INV=224.05 (6" ORIFICE)
INV=224.35 (3" ORIFICE)
INV=224.80 (18" ORIFICE – HORIZONTAL)
INV=220.20 (OUT)

DMH-39 (JFPDD806-9-2)
RIM=226.85±
INV=222.10 (IN)
INV=221.65 (OUT)

DMH-40
RIM=227.3±
INV=221.60 (IN)
INV=221.50 (OUT)

DMH-41 (96" DIA)
RIM=TBD±
INV=220.35 (IN)
INV=220.20 (OUT)

HW-42
INV=220.2±

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

GRADING & DRAINAGE PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED PROFESSIONAL ENGINEER
6/1/2021

REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division
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Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB	-	C-05
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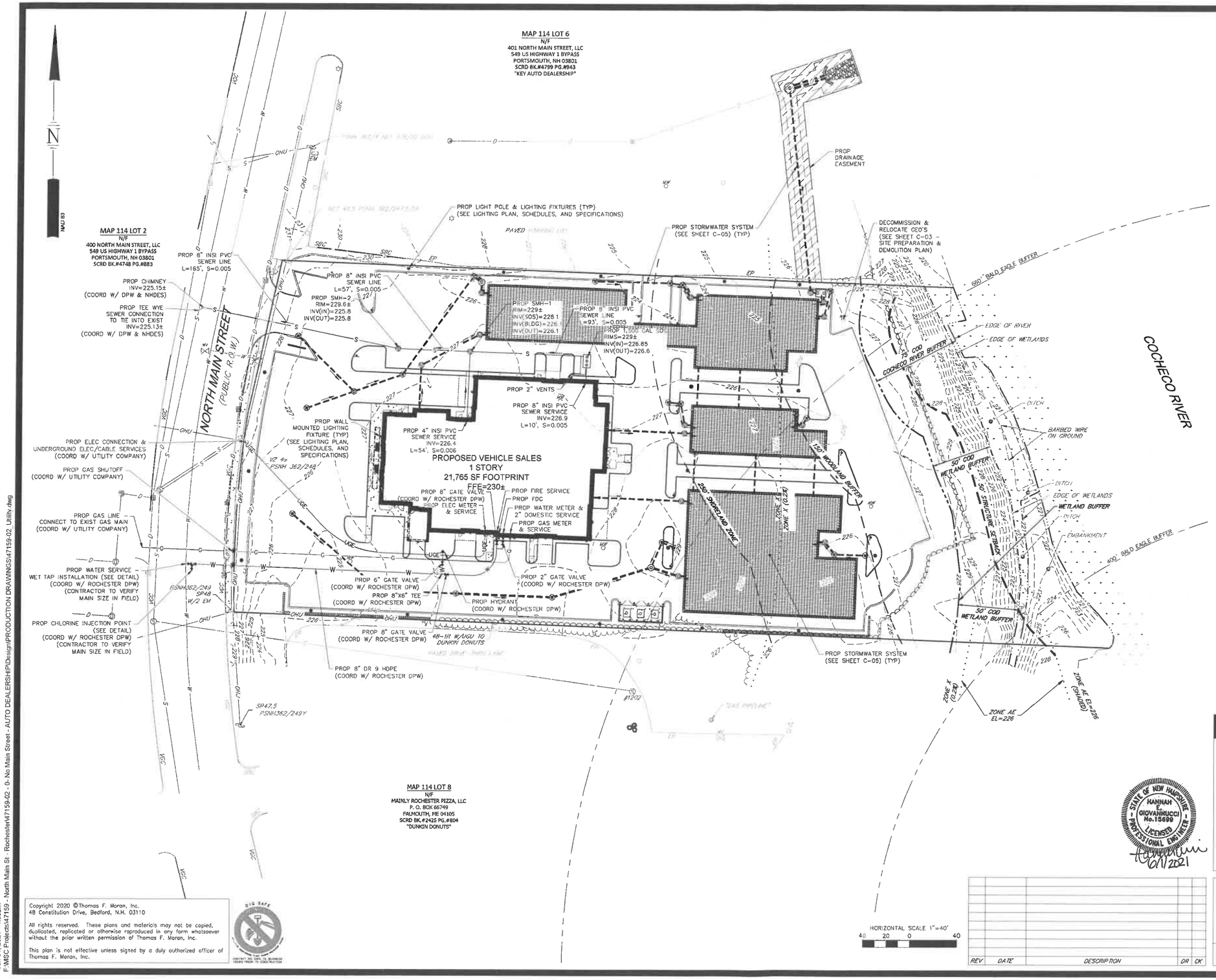

NOTES

1. SEE SHEET C-01 FOR NOTES.
2. ALL PROPOSED UTILITIES SHALL CONFORM TO THE CITY OF ROCHESTER'S STANDARDS OF INFRASTRUCTURE DESIGN.
3. APPROPRIATE PERMITS AND APPROVALS FOR LAWFUL INSTALLATION AND OPERATION OF ABOVE GROUND PETROLEUM STORAGE TANKS (I.E. FUEL TANK, DIESEL GENERATOR, ETC.) MUST BE OBTAINED AND MAINTAINED PRIOR TO CONSTRUCTION AND OPERATION. ANY REQUIRED MODIFICATIONS TO THE SITE CONDITIONS MUST BE COORDINATED WITH THE ENGINEER OF RECORD.
4. WATER AND DRAIN LINE CROSSINGS REQUIRE INSTALLATION OF RIGID INSULATION WHEN SEPARATION BETWEEN LINES IS LESS THAN 18". SEE UTILITY TRENCH DETAIL.
5. A RED/WHITE STRIPED FIBERGLASS HYDRANT MARKER PILE WITH FLEXIBLE CONNECTION SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND, PER CITY OF ROCHESTER REGULATIONS.
6. CONTRACTOR IS REQUIRED TO LOCATE AND PROTECT MONITORING WELLS. ANY MODIFICATIONS TO EXISTING MONITORING WELLS SHALL BE DOCUMENTS WITH THE NHDES WITH COPY TO THE CITY.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

UTILITY PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15698
LICENSED PROFESSIONAL ENGINEER
6/1/2021

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
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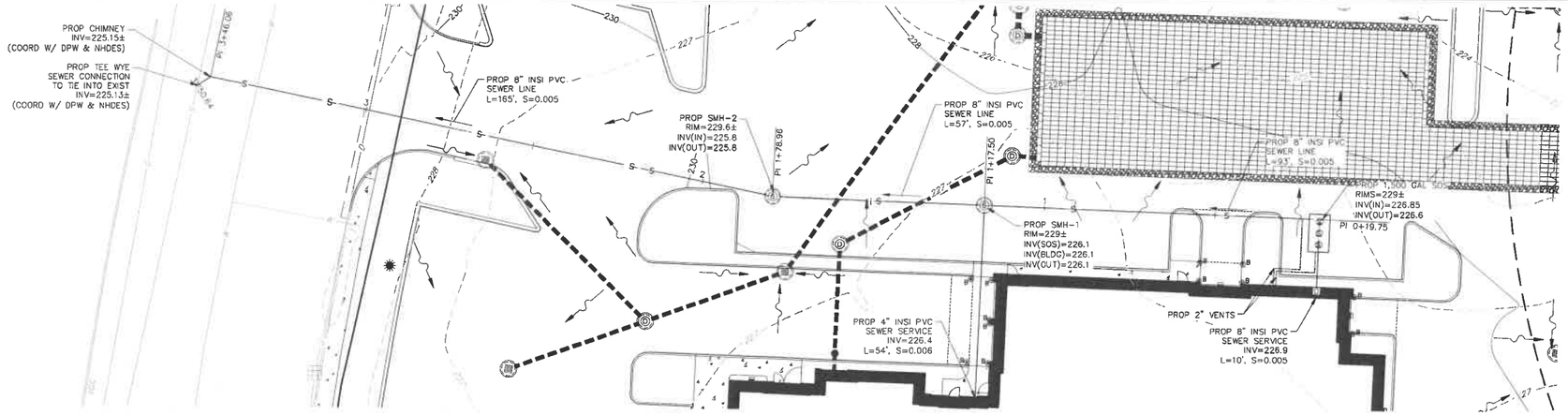
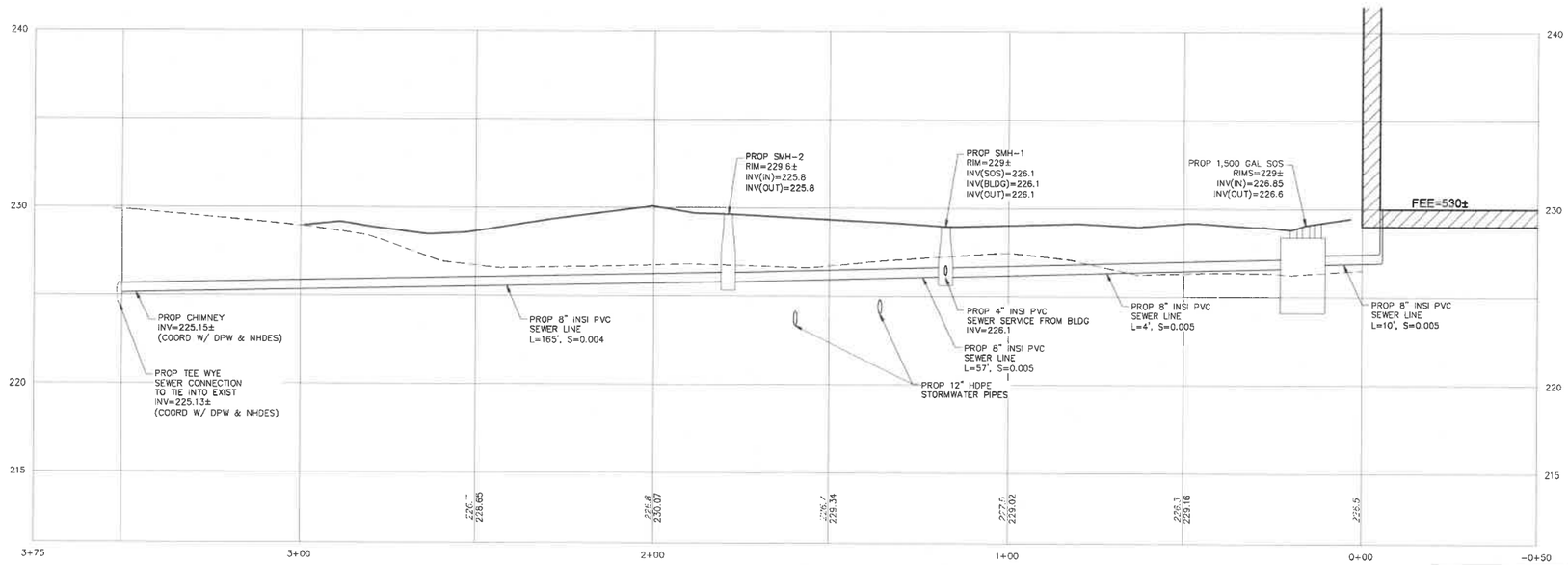


PLAN



PROFILE

NOTES

1. SEE SHEET C-01 FOR NOTES.

HORIZONTAL SCALE 1"=20'
VERTICAL SCALE 1"=4'

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

SEWER PROFILE

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15899
LICENSED PROFESSIONAL ENGINEER
6/01/2021

1"=40' (11"X17")
SCALE: 1"=20' (22"X34")

JUNE 1, 2021

Seacoast Division
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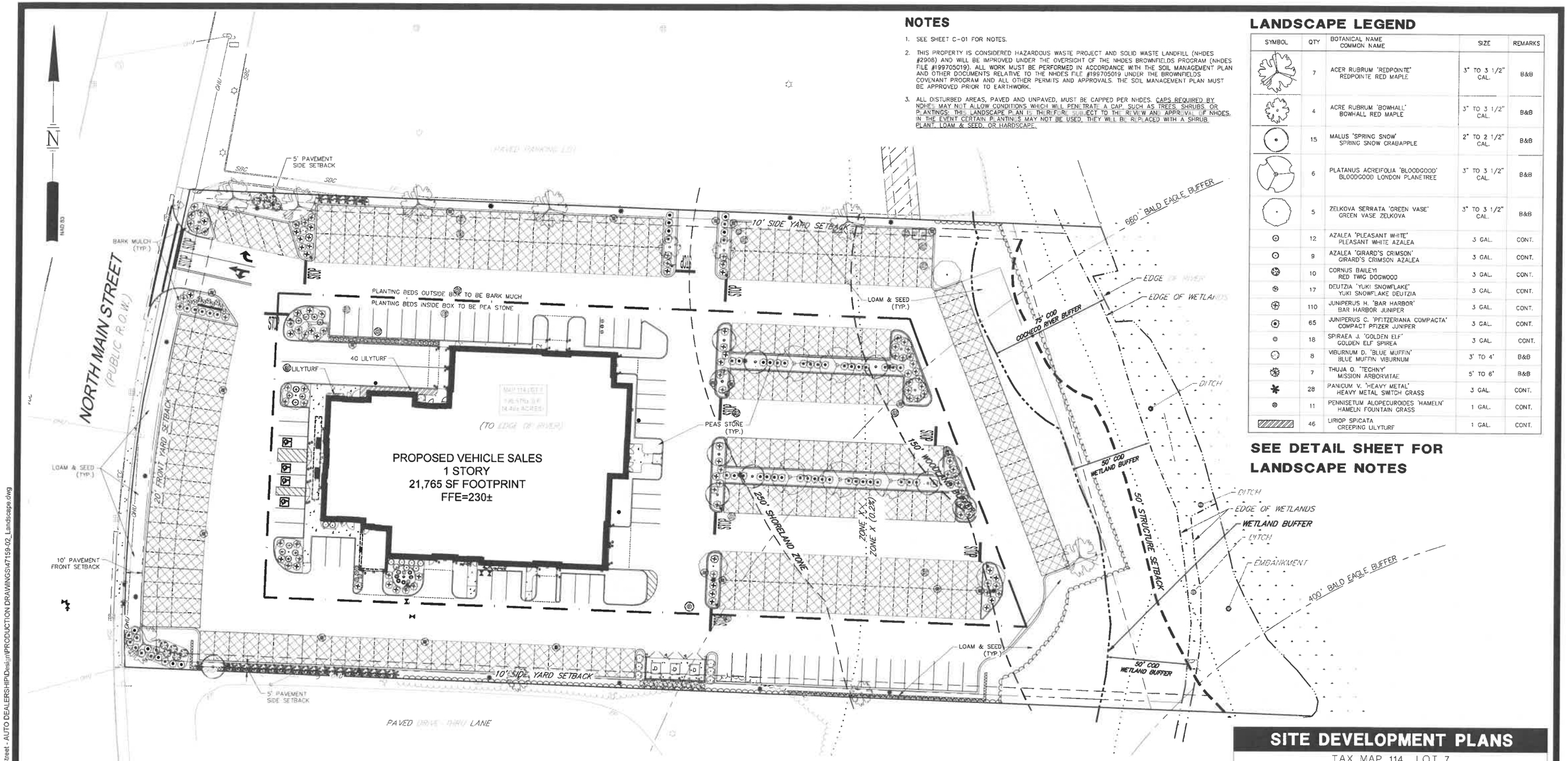
NOTES

1. SEE SHEET C-01 FOR NOTES.
2. THIS PROPERTY IS CONSIDERED HAZARDOUS WASTE PROJECT AND SOLID WASTE LANDFILL (NHDES #2908) AND WILL BE IMPROVED UNDER THE OVERSIGHT OF THE NHDES BROWNFIELDS PROGRAM (NHDES FILE #199705019). ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN AND OTHER DOCUMENTS RELATIVE TO THE NHDES FILE #199705019 UNDER THE BROWNFIELDS COVENANT PROGRAM AND ALL OTHER PERMITS AND APPROVALS. THE SOIL MANAGEMENT PLAN MUST BE APPROVED PRIOR TO EARTHWORK.
3. ALL DISTURBED AREAS, PAVED AND UNPAVED, MUST BE CAPPED PER NHDES. CAPS REQUIRED BY NDHES MAY NOT ALLOW CONDITIONS WHICH WILL PENETRATE A CAP, SUCH AS TREES, SHRUBS OR PLANTINGS. THIS LANDSCAPE PLAN IS THEREFORE SUBJECT TO THE REVIEW AND APPROVAL OF NHDES. IN THE EVENT CERTAIN PLANTINGS MAY NOT BE USED, THEY WILL BE REPLACED WITH A SHRUB, PLANT, LOAM & SEED, OR HARDSCAPE.

LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	7	ACER RUBRUM 'REDPOINTE' REDPOINTE RED MAPLE	3" TO 3 1/2" CAL.	B&B
	4	ACRE RUBRUM 'BOWHALL' BOWHALL RED MAPLE	3" TO 3 1/2" CAL.	B&B
	15	MALUS 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" TO 2 1/2" CAL.	B&B
	6	PLATANUS ACREIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	3" TO 3 1/2" CAL.	B&B
	5	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	3" TO 3 1/2" CAL.	B&B
	12	AZALEA 'PLEASANT WHITE' PLEASANT WHITE AZALEA	3 GAL.	CONT.
	9	AZALEA 'GIRARD'S CRIMSON' GIRARD'S CRIMSON AZALEA	3 GAL.	CONT.
	10	CORNUS BAILEYI RED TWG DOGWOOD	3 GAL.	CONT.
	17	DEUTZIA 'YUKI SNOWFLAKE' YUKI SNOWFLAKE DEUTZIA	3 GAL.	CONT.
	110	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	3 GAL.	CONT.
	65	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFIZER JUNIPER	3 GAL.	CONT.
	18	SPIRAEA J. 'GOLDEN ELF' GOLDEN ELF SPIREA	3 GAL.	CONT.
	8	VIBURNUM D. 'BLUE MUFFIN' BLUE MUFFIN VIBURNUM	3' TO 4'	B&B
	7	THUJA O. 'TECHNY' MISSION ARBORVITAE	5' TO 6'	B&B
	28	PANICUM V. 'HEAVY METAL' HEAVY METAL SWITCH GRASS	3 GAL.	CONT.
	11	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL.	CONT.
	46	LIRIOP SPICATA CREEPING LILYTURF	1 GAL.	CONT.

SEE DETAIL SHEET FOR LANDSCAPE NOTES



LANDSCAPE CALCULATIONS

GENERAL PROVISIONS: ARTICLE III SEC. 5(B)(12)

MINIMUM OF 25% OF THE TOTAL LAND AREA OF ANY DEVELOPMENT SITE SHALL BE DEVOTED TO LANDSCAPED AREAS OR LEFT IN AN UNALTERED NATURAL STATE.
REQUIRED: 48,894 SF
PROVIDED: 53,007± SF (27.1±%)

FRONT & SIDE BUFFER PLANTING REQUIREMENTS: ARTICLE III SEC. 5(D)

1. ONE BROAD-LEAFED SHADE TREE PER 40 LINEAR FEET OF FRONT BUFFER
   REQUIRED: 259' / 40' = 6 TREES
   PROVIDED: 1 TREES
   *WAIVER REQUIRED, ARTICLE III SEC. 5(D)(8b)
2. TWO SHADE TREES, SPACED AT LEAST 40' APART, SHALL BE LOCATED WITHIN THE FRONT 50' OF EACH SIDE BUFFER.
   REQUIRED: 4 TREES, 40' APART
   PROVIDED: 4 SHADE TREES
   ARTICLE III SEC. 5(D)(8c)
3. THE FRONT BUFFER AND FRONT 50 FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT, AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF THE AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES/CROWNS OF THE TREES AND SHRUBS.

PARKING LOT PLANTING REQUIREMENTS: ARTICLE III SEC. 5(E)

1. OFF-STREET PARKING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY TO PROVIDE AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE, EXCLUDING SIGHT TRIANGLES AT VEHICULAR ENTRANCES AND EXITS. A MODERATELY DENSE HEDGE COMPOSED OF EVERGREEN SHRUBS SHALL BE PLANTED WHICH IS REASONABLY EXPECTED TO REACH THIS OPACITY AND HEIGHT WITHIN ONE YEAR.
   *WAIVER REQUIRED, ARTICLE III SEC. 5(E)(2)
2. THE LANDSCAPED MEDIAN SHALL BE PLANTED WITH EVERGREEN SHRUBBERY AND AT LEAST ONE ORNAMENTAL OR SHADE TREE FOR EVERY 30 LINEAR FEET OF THE MEDIAN.
   REQUIRED: 9 TREES BETWEEN THE TWO LANDSCAPED MEDIANS
   PROPOSED: 9 TREES AND EVERGREEN SHRUBS
   ARTICLE III SEC. 5(E)(6)
3. SHADE AND/OR ORNAMENTAL TREES SHALL BE PLANTED IN AND AROUND THE PARKING LOT IN ORDER THAT NO SPOT ON THE PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM THE CENTER OF THE TRUNK OF A SHADE OR ORNAMENTAL TREE. ARTICLE III SEC. 5(E)(9)
4. FOUNDATION PLANTING BUFFER. THE PLANNING BOARD SHALL DETERMINE IF A MINIMUM 4 FOOT WIDE FOUNDATION PLANTING BUFFER BETWEEN THE BUILDING AND ANY PARKING LOT OR DRIVEWAY SITUATED ON THE FRONT OR SIDE OF THE BUILDING WILL BE REQUIRED. THE FOUNDATION BED SHALL BE PLANTED WITH APPROPRIATE LANDSCAPING MATERIALS, INCLUDING GRASS, SHRUBBERY, FLOWERS, AND MULCH, AS DETERMINED BY THE APPLICANT. USE OF ORNAMENTAL TREES IS ENCOURAGED WHERE PRACTICAL. WHERE THERE IS A SIDEWALK ALONGSIDE THE BUILDING, THE FOUNDATION BUFFER MAY BE SITUATED ON EITHER SIDE OF THE SIDEWALK. A CONTINUOUS FOUNDATION PLANTING BUFFER IS PREFERRED BUT IT NEED NOT BE CONTINUOUS WHERE THERE ARE PROJECTING BUILDING ELEMENTS, SUCH AS ENTRANCES, BAYS, AND UTILITIES. [21]
   *WAIVER REQUIRED, ARTICLE III SEC. 5(E)(11)

HORIZONTAL SCALE 1"=30'
30 15 0 30

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

LANDSCAPE PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=60' (11"x17")
SCALE: 1"=30' (22"x34")

JUNE 1, 2021

Seacoast Division
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FILE	47159.02	DR	HEG	FB	--	C-08
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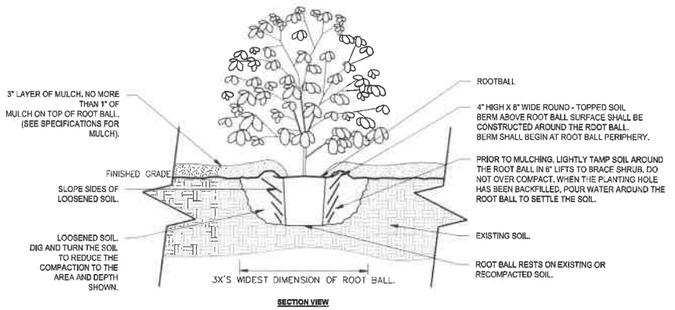
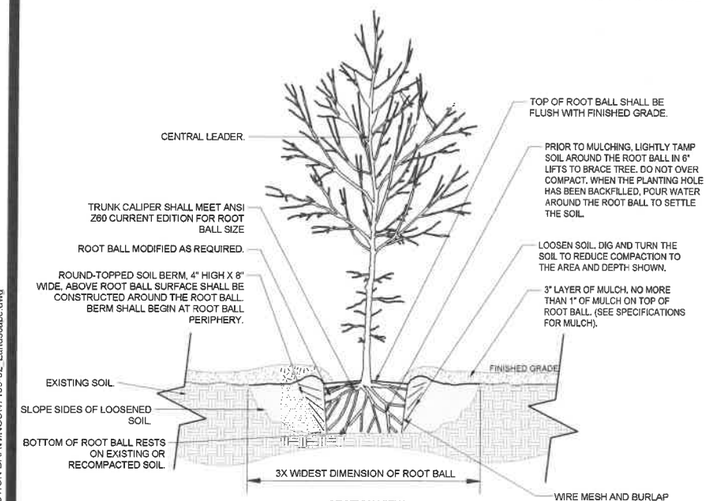


SECTION VIEW

SHRUB PLANTING

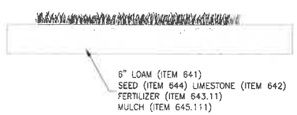
NOT TO SCALE



SECTION VIEW

TREE WITH MULCH BERM

NOT TO SCALE



LOAM & SEED

NOT TO SCALE

LANDSCAPE NOTES

1. CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
2. CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
3. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
6. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
7. ALL PLANTS WILL BE NURSERY GROWN.
8. PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
9. TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
10. PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
11. ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
12. NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
13. PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
14. MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
15. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
16. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
17. ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
18. ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
19. ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
2. CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 48 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
3. WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
4. ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
5. THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
6. ALL ORNAMENTAL GRASSES WILL BE CUT BACK EVERY FALL OR EARLY SPRING.
7. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
8. EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

HYDROSEEDING NOTES

1. HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

INVASIVE PLANT NOTES

1. EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS".

PRICING & CONSTRUCTION DOCUMENT NOTES

1. CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
2. CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
3. PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
4. EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
5. COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
6. CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

SEEDING NOTES

1. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
2. SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
3. SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
4. GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENATIVE/LANDSCAPE ARCHITECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
4. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
5. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
6. REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.

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DIG SAFE

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

LANDSCAPE DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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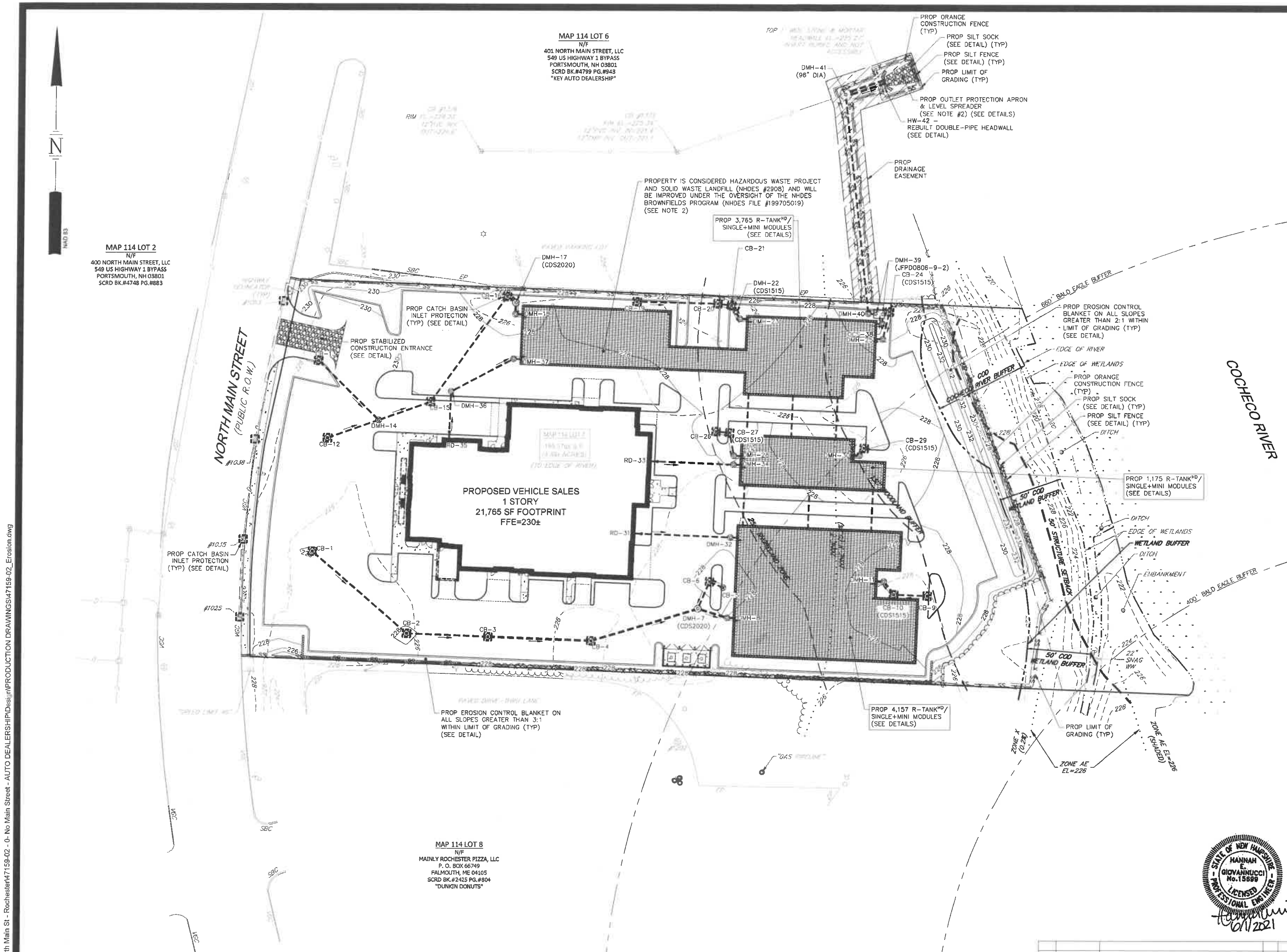

NOTES

1. SEE SHEET C-01 FOR NOTES.
2. THE CONTRACTOR MUST BE QUALIFIED TO WORK WITH HAZARDOUS MATERIAL. SOIL AND MATERIALS FOUND WITHIN THE SOIL MAY NOT BE TRANSPORTED OFF-SITE. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN AND OTHER DOCUMENTS RELATIVE TO THE NHDES FILE #199705019 UNDER THE BROWNFIELDS COVENANT PROGRAM AND ALL OTHER PERMITS AND APPROVALS. THE SOIL MANAGEMENT PLAN MUST BE APPROVED PRIOR TO EARTHWORK.
3. SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
4. INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
5. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
6. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
7. THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION IF THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
8. SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
9. CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
10. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
11. PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
12. ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
13. ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
14. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    A. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, ARE INSTALLED IN AREAS TO BE PAVED
    B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
    C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
    D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

13. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.

14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.

15. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

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REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

EROSION CONTROL PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
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SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF UDORTHENTS, SANDY. THE MAJORITY OF THE SOIL IS HSG TYPE A.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 174,614 SQUARE FEET (4.0± ACRES). CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SWPPP IF REQUIRED.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. COMPLETE MAJOR GRADING OF SITE.
4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
5. CONSTRUCT PARKING LOT.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
7. CONSULT APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSIVE VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10" OR GREATER.
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

1. SILT SOCKS

   A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE 3" SIEVE
MOISTURE CONTENT		STND TESTING < 60%

   MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

   MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

   B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.

   C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

   SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

   A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

   B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

   C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.

   D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

C. MULCHING

1. TIMING

   IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

   A. APPLY MULCH PRIOR TO ANY STORM EVENT.

   THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

   B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

   THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

   WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

   ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

    A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
    B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.

    MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

   A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

   B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.

   C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

      GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
      MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)

   D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.

   E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

   F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

1. WASTE MATERIALS
   ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
   ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
   ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES
   THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

   GOOD HOUSEKEEPING:
   THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

   A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
   B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
   C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
   D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
   E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
   F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

   HAZARDOUS PRODUCTS:
   THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

   A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
   B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
   C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

2. PRODUCT SPECIFICATION PRACTICES
   THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

   PETROLEUM PRODUCTS:
   ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

   FERTILIZERS:
   FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

   PAINTS:
   ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

   CONCRETE TRUCKS:
   CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.

F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.

G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

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DIG SAFE — CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE — HANNAH E. GIOVANNUCCI No.15699 — LICENSED PROFESSIONAL ENGINEER

6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

EROSION CONTROL NOTES

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

JUNE 1, 2021

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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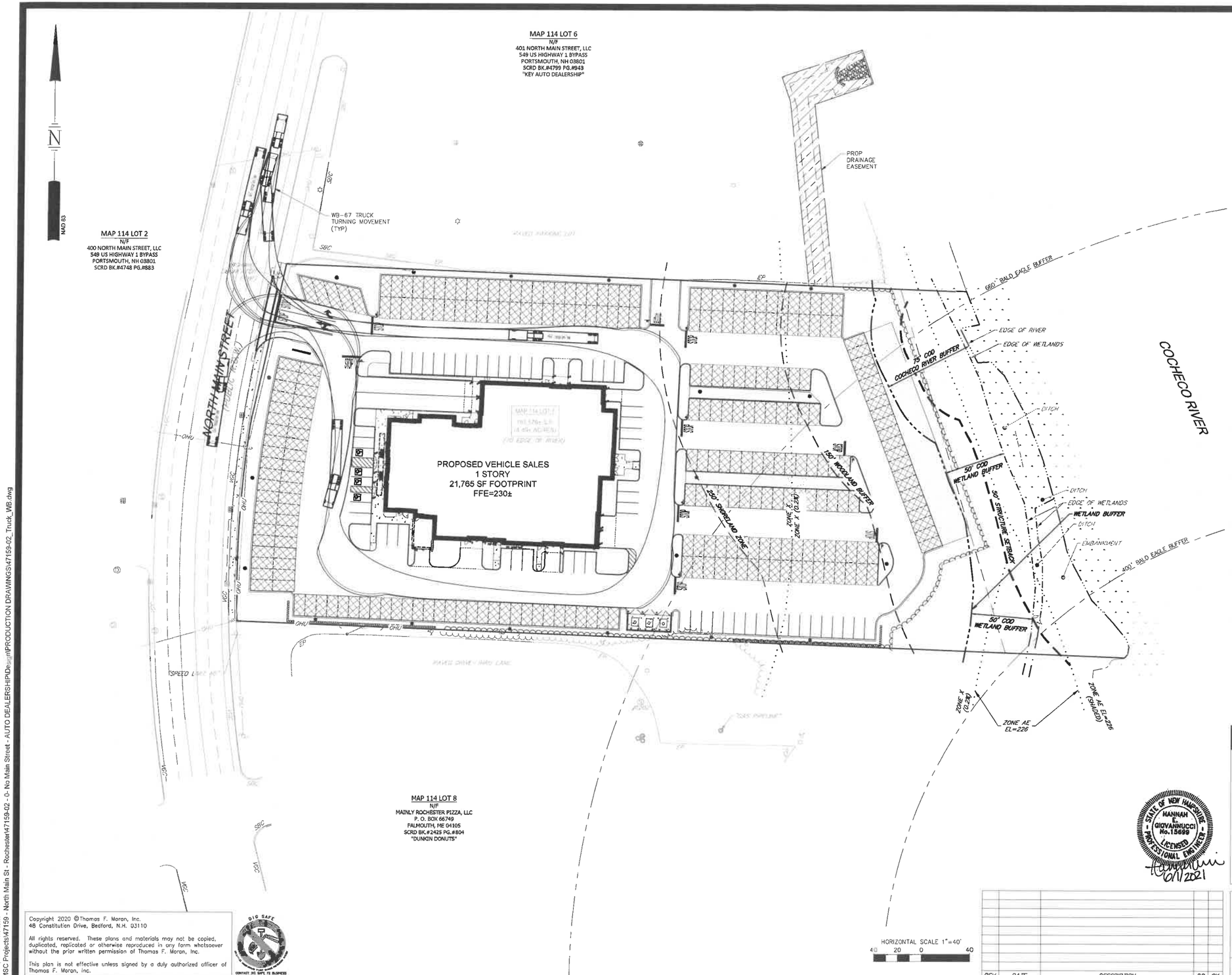

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

WB-67 TRUCK TURNING PLAN

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED
PROFESSIONAL ENGINEER
6/1/2021

1"=80' (11"X17")
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REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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DIG SAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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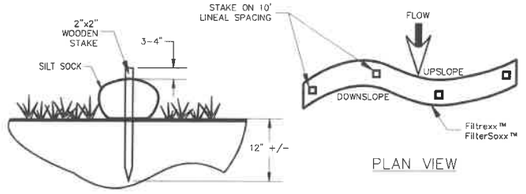


SECTION VIEW

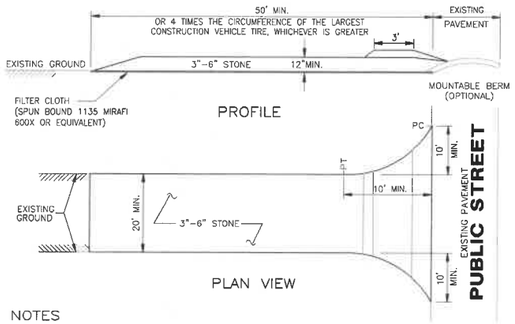
PLAN VIEW

NOTES:

1. SILT SOCK SHALL BE FILTREXX™ SILTSOXX™ NATURAL ORIGINAL OR APPROVED EQUIVALENT.
2. ALL MATERIAL AND SIZES TO MEET FILTREXX SPECIFICATIONS.
3. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
4. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED

FILTREXX™ FILTERSOXX™ STAKING

NOT TO SCALE



NOTES

1. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE

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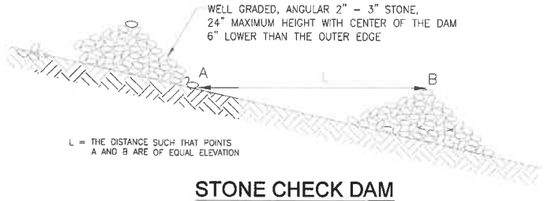

STONE CHECK DAM

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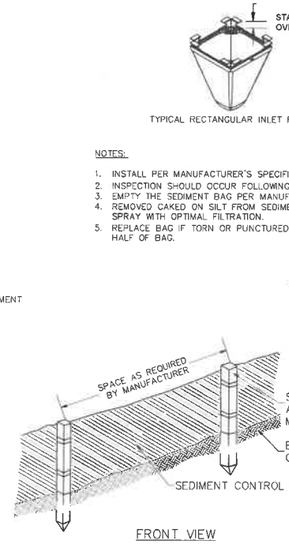

NOTES:

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > ½".
3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
5. REPLACE BAG IF TORN OR PUNCTURED TO > ½" DIAMETER ON LOWER HALF OF BAG.

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC.
A DIVISION OF ADS, INC.
WWW.INLETFILTERS.COM
(866) 287-8655 INFO@INLETFILTERS.COM

INLET PROTECTION

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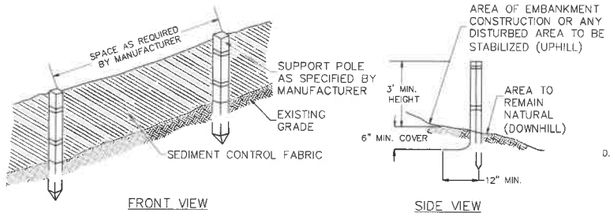
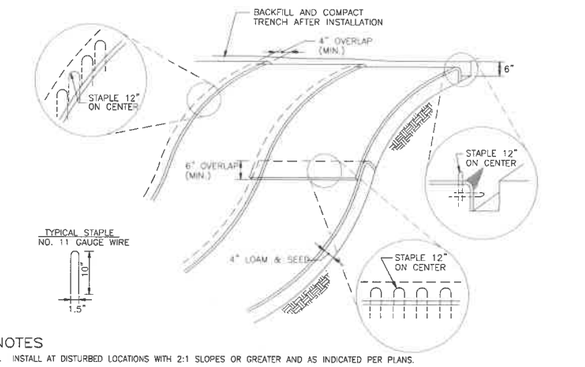


NOTES

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
3. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
6. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
9. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE

NOT TO SCALE

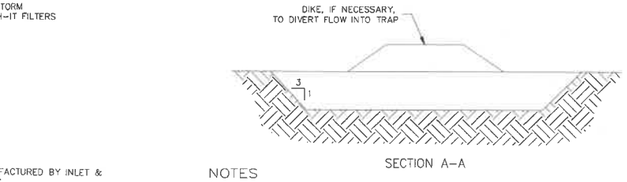


NOTES

1. INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.
2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
3. ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.
7. BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

EROSION CONTROL BLANKET

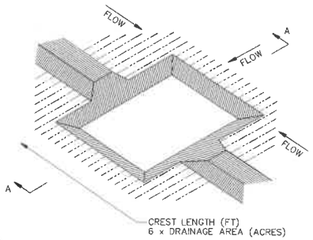
NOT TO SCALE



SECTION A-A

NOTES

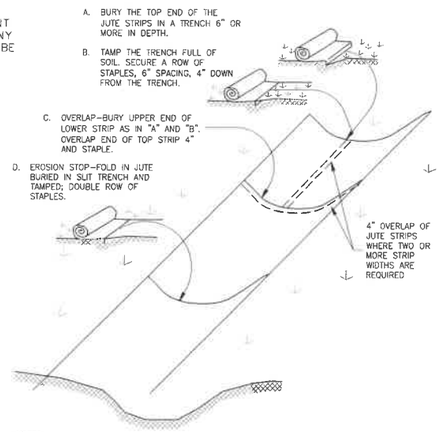
1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.
2. 3,600 CF OF BASIN STORAGE IS REQUIRED FOR EVERY ACRE OF CONTRIBUTING DRAINAGE AREA.



SEDIMENT TRAP – ISOMETRIC VIEW

SEDIMENT TRAP

NOT TO SCALE

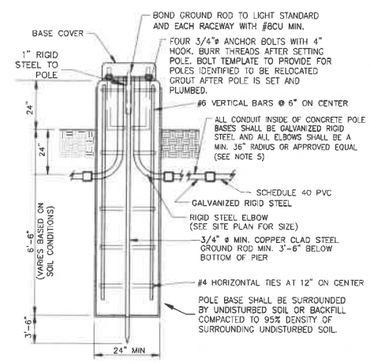


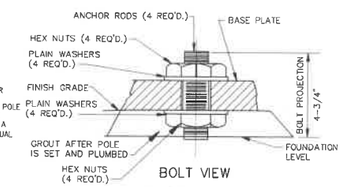
NOTES

1. MATTING SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS, INCLUDING STAPLE PATTERNS.
2. STAPLES SHALL BE BIODEGRADABLE.

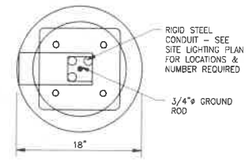
JUTE MATTING

NOT TO SCALE





BOLT VIEW



PLAN VIEW

NOTES:

1. CONCRETE TO BE 4000 PSI.
2. BASE SHALL BE USED FOR ALL POLES WITH FIXTURE MOUNTING HEIGHT LESS THAN 25-FEET.
3. POLE BASES TO BE SET A MINIMUM OF 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON DRAWING.
4. BASE HEIGHT SHALL BE 2'-0" ABOVE PAVEMENT GRADE WHEN BASE IS WITHIN 2' OF PAVEMENT EDGE.
5. EQUIVALENTS MUST MEET NATIONAL ELECTRICAL CODE AND LOCAL/STATE REQUIREMENTS

LIGHT POLE BASE (24" MOUNTING HEIGHT)

NOT TO SCALE

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DIG SAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI No.15699 LICENSED PROFESSIONAL ENGINEER
6/1/2021

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB		C-13
		CK	CRR	CADFILE	47159-02_DETAILS	

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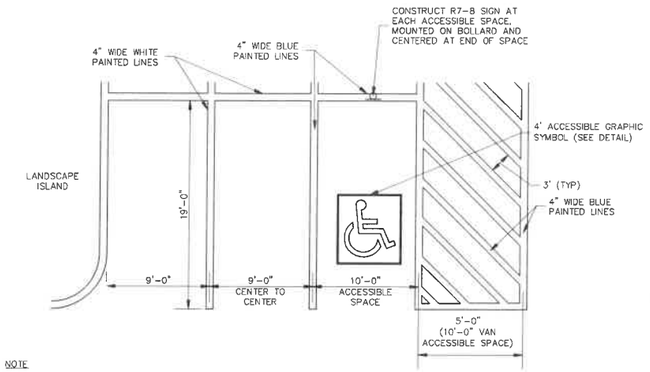
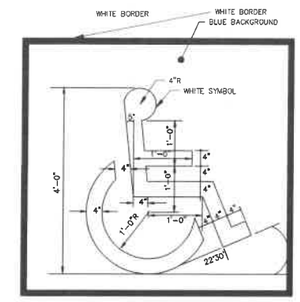


NOTE

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
3. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" OC BORDERED BY 4" WIDE LINES.
4. 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

TYPICAL PARKING LAYOUT

NOT TO SCALE

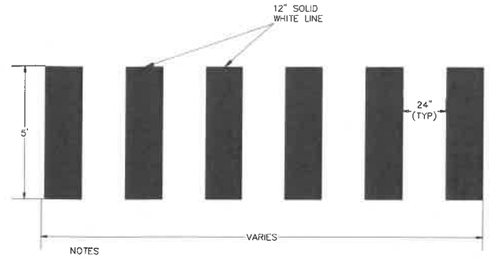


NOTES

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

ACCESSIBLE GRAPHIC SYMBOL

NOT TO SCALE

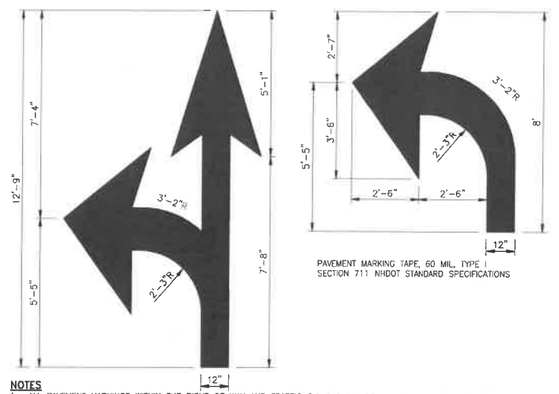


NOTES

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. CROSSWALK PAVEMENT MARKINGS SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS WITHIN THE PROPOSED DEVELOPMENT ONLY. FOR CROSSWALK PAVEMENT MARKINGS WITHIN THE NHDOT RIGHT OF WAY, REFER TO THE "PLANS FOR SIGNALIZATION IMPROVEMENTS".

ON-SITE CROSSWALK STRIPING

NOT TO SCALE



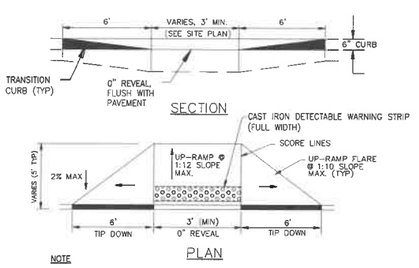
PAVEMENT MARKING TAPE, 60 MIL, TYPE I
SECTION 711 NHDOT STANDARD SPECIFICATIONS

NOTES

1. ALL PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY AND TRAFFIC SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE GUIDE LINES OUTLINED IN THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE FURNISHING AND PLACING OF WHITE OR YELLOW PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF THE N.H. DEPARTMENT OF TRANSPORTATION'S CURRENT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 632 REFLECTORIZED PAVEMENT MARKINGS. TRAFFIC PAINT NOT WITHIN THE RIGHT OF WAY SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
3. ALL CENTERLINES, EDGE LINES, AND LANE LINES SHALL BE 4 INCHES IN WIDTH; STOP BARS SHALL BE 18 INCHES WIDE.
4. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

PAVEMENT MARKINGS

NOT TO SCALE

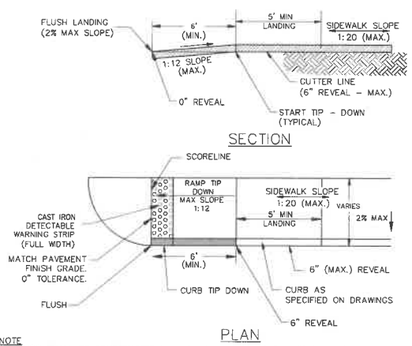


NOTE

1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION AND NHDOT SIDEWALK CURB RAMP DETAILS.

STANDARD ACCESSIBLE RAMP (TYPE A)

NOT TO SCALE

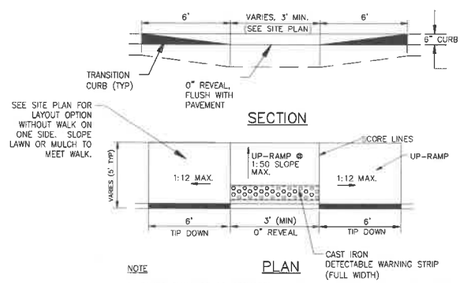


NOTE

1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION AND NHDOT SIDEWALK CURB RAMP DETAILS.

SIDEWALK TIP DOWN RAMP (TYPE B)

NOT TO SCALE

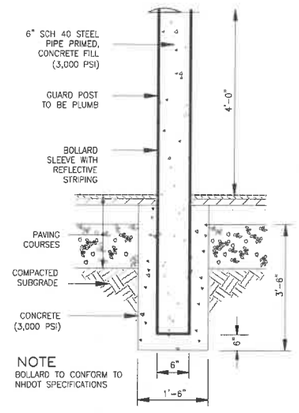


NOTE

1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION AND NHDOT SIDEWALK CURB RAMP DETAILS.

SIDEWALK TIP DOWN RAMP (TYPE C)

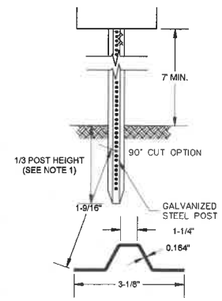
NOT TO SCALE



NOTE
BOLLARD TO CONFORM TO NHDOT SPECIFICATIONS

BOLLARD

NOT TO SCALE

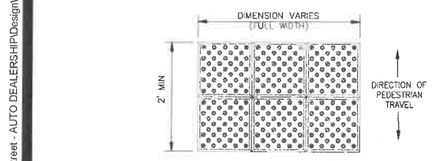


LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRIED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

NOTE:
1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2'.
2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST

NOT TO SCALE

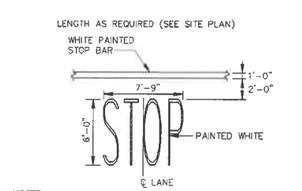


NOTES

1. DETECTABLE WARNING STRIP TO BE CAST-IRON (NHDOT ITEM 608.54), MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.
2. MANUFACTURER SHALL BE NEENAH FOUNDARY CATALOG NO. 4984 (SPECIFY WIDTH), OR APPROVED EQUAL.
3. DETECTABLE WARNING STRIPS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH.
4. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.

DETECTABLE WARNING STRIP

NOT TO SCALE

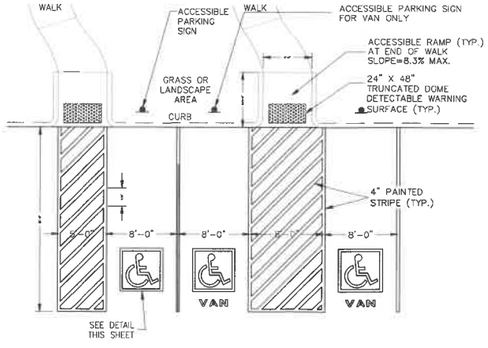


NOTES

1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOL SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

STOP BAR & LEGEND

NOT TO SCALE



ACCESSIBLE RAMP AT END OF WALK

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

STATE OF NEW HAMPSHIRE — HANNAH E. GIOVANNUCCI No. 15699 — LICENSED PROFESSIONAL ENGINEER

6/1/2021

SCALE: NTS **JUNE 1, 2021**

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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		CK	CRR	CADFILE	47159-02_DETAILS	

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DIG SAFE — CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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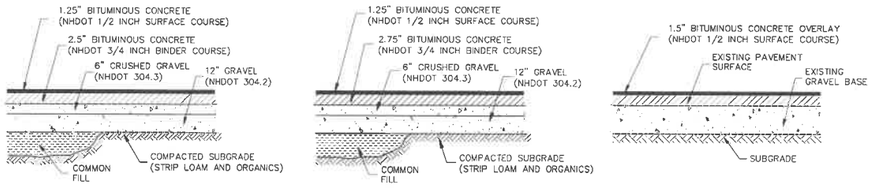
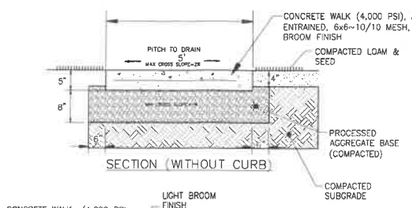


STANDARD DUTY PAVEMENT | HEAVY DUTY PAVEMENT | OVERLAY

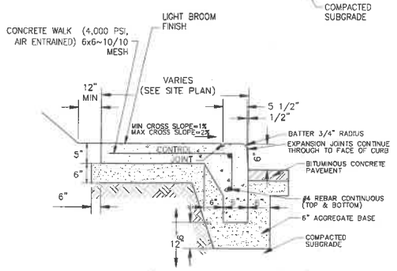
NOTES

1. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557.
7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% OF ASTM D-1557.
8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
9. SEE SITE LAYOUT PLAN FOR HEAVY DUTY LOCATIONS. ALL OTHER LOCATIONS SHALL BE STANDARD DUTY.
10. EXACT AREAS TO RECEIVE FULL-DEPTH PAVEMENT SECTION BASE AND SUB-BASE SHALL BE DETERMINED IN FIELD AT THE TIME OF CONSTRUCTION.

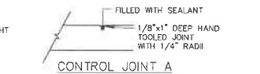
PAVEMENT SECTION
NOT TO SCALE



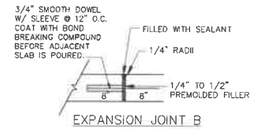
SECTION (WITHOUT CURB)



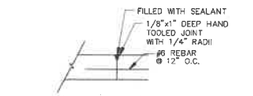
SECTION (WITH MONOLITHIC CURB)



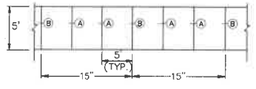
CONTROL JOINT A



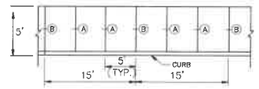
EXPANSION JOINT B



CONSTRUCTION JOINT

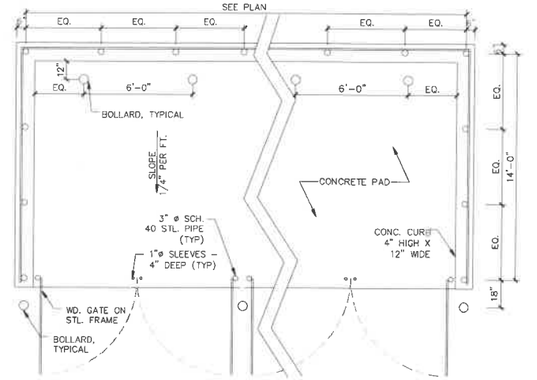


PLAN (5' WALK W/OUT CURB)

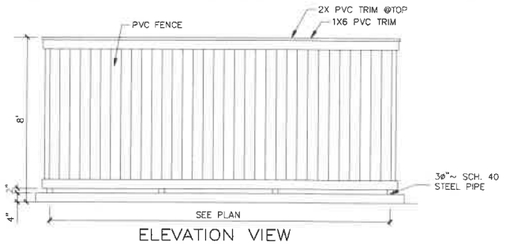


PLAN (5' WALK W/CURB)

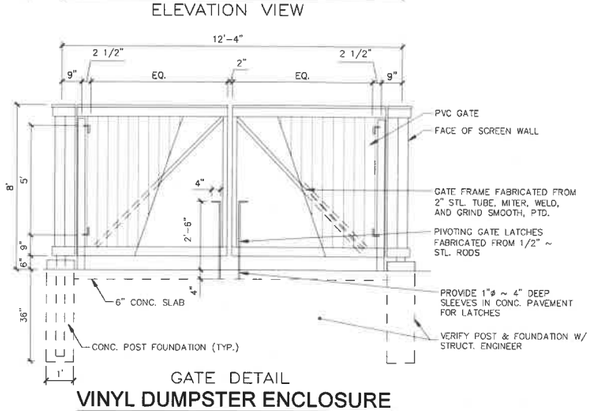
CONCETE SIDEWALK
NOT TO SCALE



PLAN VIEW

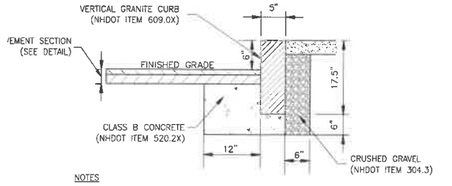


ELEVATION VIEW



GATE DETAIL

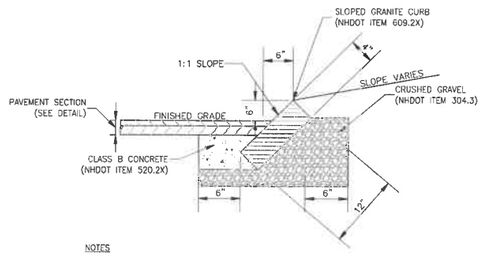
VINYL DUMPSTER ENCLOSURE
NOT TO SCALE



NOTES

1. MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

VERTICAL GRANITE CURB
NOT TO SCALE

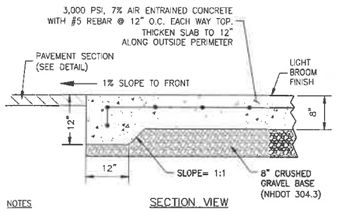


NOTES

1. MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

SLOPED GRANITE CURB
NOT TO SCALE

CONTROL JOINT

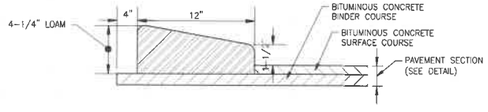


SECTION VIEW

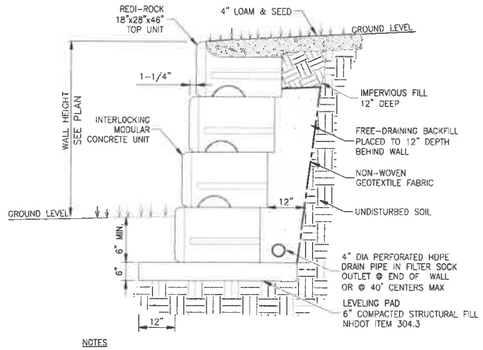
NOTES

1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT.

CONCRETE PAD
NOT TO SCALE



CAPE CODE BERM WITH REVEAL
NOT TO SCALE



NOTES

1. THIS DETAIL IS ONLY FOR WALLS LESS THAN 4 FEET IN HEIGHT.
2. FINAL WALL DESIGN SHALL BE SUBJECT TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

UNREINFORCED RETAINING WALL (MODULAR CONCRETE UNIT)
NOT TO SCALE

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DIG SAFE

STATE OF NEW HAMPSHIRE - HANNAH E. GIOVANNUCCI No.13699 - LICENSED PROFESSIONAL ENGINEER

6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	DR	CK		
47159.02	HEG	CRR	FB	CADFILE: 47159-02_DETAILS

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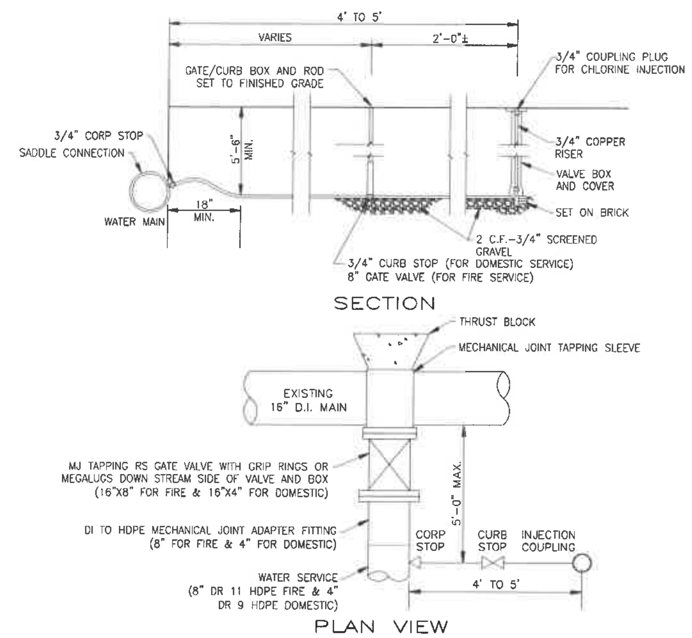
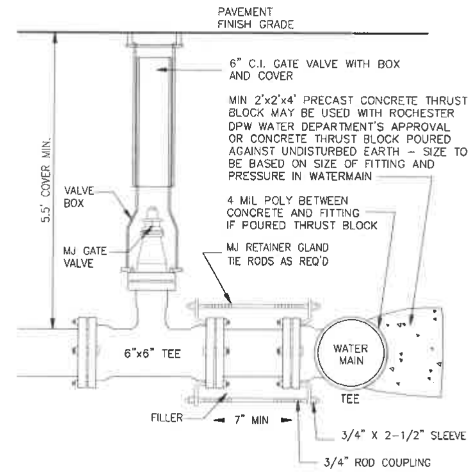


NOTES
1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO ROCHESTER'S INFRASTRUCTURE DESIGN STANDARDS AND ROCHESTER DPW'S ESTABLISHED RULES AND PROCEDURES.
2. CHLORINATION AND TESTING SHALL CONFORM TO AWWA C651.
3. DOMESTIC LINE MUST BE FLUSHED AND DISINFECTED BEFORE THE LINES ENTER THE BUILDING.

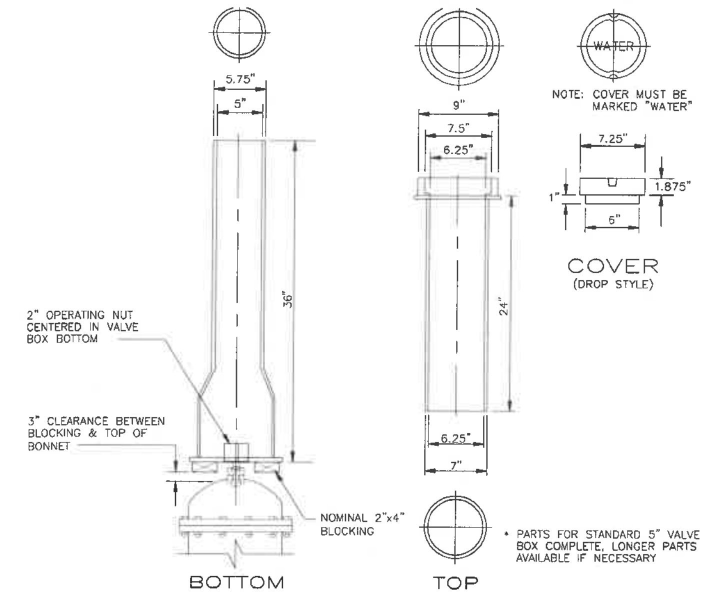
CHLORINE INJECTION CONNECTION

NOT TO SCALE



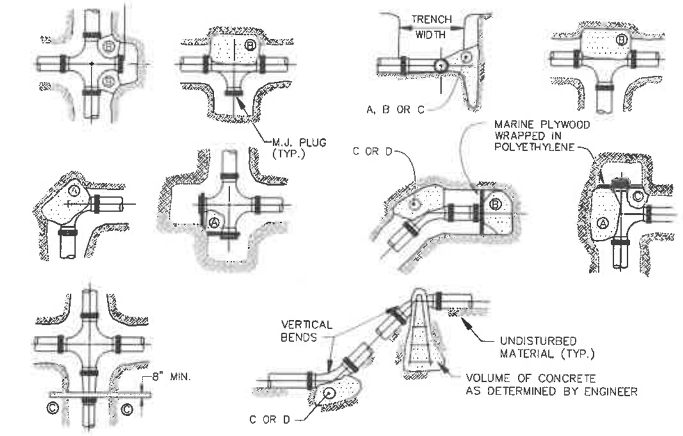
BURIED GATE VALVE

NOT TO SCALE



VALVE BOX

NOT TO SCALE



BEARING AREA REQUIRED, SQUARE FEET

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	4" AND LESS DEGREE BEND				6" AND 8" DEGREE BEND				10" AND 12" DEGREE BEND			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	3.0	6.2	12.0	22.0
PACKED GRAVEL AND SAND - 4,000	1.0	1.0	1.5	2.0	1.0	1.5	3.0	5.0	1.5	3.1	6.0	11.0
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	1.3	2.4	4.4

BEARING AREA REQUIRED, SQUARE FEET

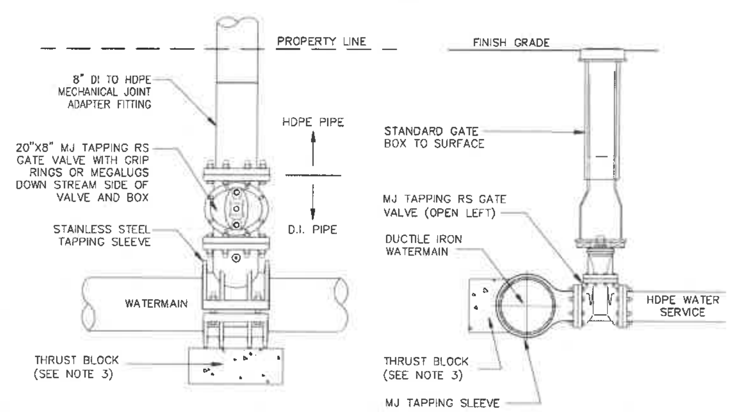
TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	14" AND 16" DEGREE BEND OR DEFLECTION				18" AND 20" DEGREE BEND OR DEFLECTION			
	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5	19.0	37.0	67.0
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5	18.5	33.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8	7.4	13.5

NOTES

1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO ROCHESTER'S INFRASTRUCTURE DESIGN STANDARDS AND ROCHESTER DPW'S ESTABLISHED RULES AND PROCEDURES.
2. A PRECAST CONCRETE THRUST BLOCK IS PREFERRED BY ROCHESTER DPW AND MUST CONFORM TO ROCHESTER DPW'S INFRASTRUCTURE DESIGN STANDARDS.
3. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO PIPE JOINTS SHALL BE COVERED WITH CONCRETE.
4. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
5. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS. PLACE ROOFING FELT AROUND HYDRANT ELBOW BEFORE POURING THRUST BLOCKS AND ENSURE CONCRETE DOES NOT PLUG HYDRANT DRAIN PORTS.

THRUST BLOCKS

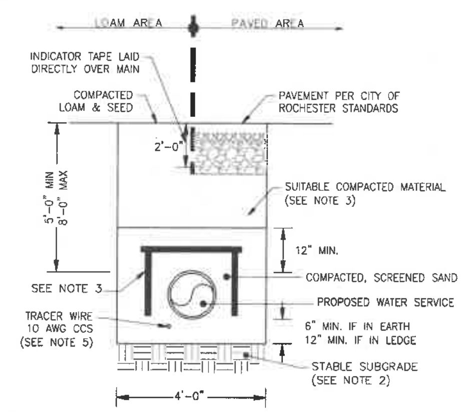
NOT TO SCALE



NOTES
1. TAPPING SLEEVES SHALL BE STAINLESS STEEL (SS) WITH SS HARDWARE.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 6' FROM TOP OF PIPE TO FINISH GRADE PER NHDOT REQUIREMENTS WITHIN THE RIGHT OF WAY.
3. PRECAST CONCRETE THRUST BLOCK TO BE USED, SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

WATER SERVICE WET TAP INSTALLATION

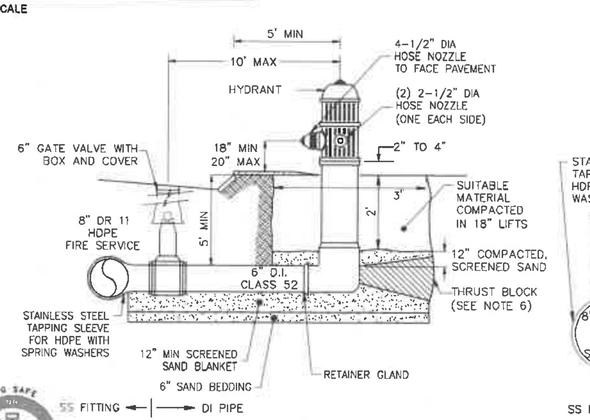
NOT TO SCALE

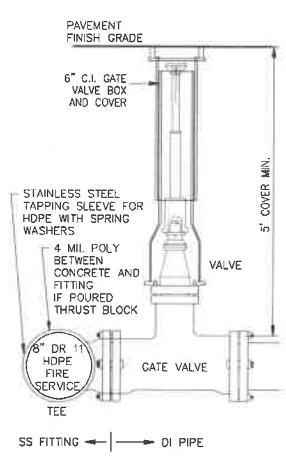


NOTES
1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO ROCHESTER'S INFRASTRUCTURE DESIGN STANDARDS AND ROCHESTER DPW'S ESTABLISHED RULES AND PROCEDURES.
2. IN LOCATIONS WITH EXISTING FILL SOILS, CONSULT WITH THE GEOTECHNICAL ENGINEER FOR METHODS TO PREPARE STABLE SUBGRADE AND REMOVAL OF MATERIAL IF NECESSARY.
3. SUITABLE MATERIAL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER 6" IN THE LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
4. RIGID STYROFOAM INSULATION (DOW HI-40 OR EQUAL) WITH 6" CLEAN SAND BLANKET AROUND WATER PIPE WHERE WATER AND DRAIN PIPE SEPARATION IS LESS THAN 18".
5. TRACER WIRE SPECIFIED FOR NON-METALLIC WATER LINES SHALL BE INSTALLED BELOW AND TO THE SIDE OF THE PIPE AND PER THE MANUFACTURER REQUIREMENTS. TRACER WIRE PRODUCT SHALL BE SELECTED FOR OPEN CUT INSTALLATION TECHNIQUE.

WATER TRENCH

NOT TO SCALE





NOTES:
1. ALL MATERIAL, INSTALLATION PROCEDURES, MANUFACTURERS, AND DIMENSIONAL REQUIREMENTS SHALL CONFORM TO ROCHESTER'S INFRASTRUCTURE DESIGN STANDARDS AND ROCHESTER DPW'S ESTABLISHED RULES AND PROCEDURES.
2. HYDRANT MANUFACTURER SHALL BE AMERICAN DARLING B-84-B OR KENNEDY K-81-D.
3. HYDRANT TO BE PAINTED RED AND CAPS AND BONNETS PAINTED PER PRESSURE ZONES PER ROCHESTER DPW.
4. HYDRANT SHALL BE FURNISHED WITH A 5 INCH MINIMUM VALVE, ONE 4-1/2 INCH STEAMER CONNECTION, TWO 2-1/2 INCH HOSE CONNECTIONS, PLUGGED DRAIN HOLES, AND SHALL OPEN CLOCKWISE.
5. HYDRANT INLET SHALL HAVE MECHANICAL JOINTS CONFORMING TO ANSI A21.11/AWWA C111.
6. A PRECAST CONCRETE THRUST BLOCK IS PREFERRED BY ROCHESTER DPW OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN (SEE ASSOCIATED DETAIL).
7. THE STAINLESS STEEL TAPPING SLEEVE SHALL BE BOLTED DIRECTLY TO THE A DI GATE VALVE. ALL MATERIAL FROM THE GATE VALVE TO HYDRANT SHALL BE DI.
7. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

FIRE HYDRANT & GATE VALVE

NOT TO SCALE

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STATE OF NEW HAMPSHIRE HANNAH E. GIOVANNUCCI No.13699 LICENSED PROFESSIONAL ENGINEER 6/1/2021

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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GENERAL NOTES

1. IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
2. BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WQ 704.12 & 704.13.
3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.
4. BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.
5. MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.
6. ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.
7. ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
8. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.
9. HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:

   SIKAFLEX-12-SL

   SONNEBORN BUILING PRODUCTS-SONOLASTIC SL-1
10. THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN 24-INCH DIAMETER, MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.
11. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WQ 704.17.
    (a) ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
    (b) THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
        1. THE INITIAL VACUUM GUAGE TEST PRESSURE SHALL BE 10 INCHES Hg.
        2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
           A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
           B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
           C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
    (c) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
    (d) INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
    (e) FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT
12. ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.
13. BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.

    MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
    (a) 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
    (b) 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME

    CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".
14. INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
15. FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM A48/48M AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BLISTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.
16. BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANNIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.

100% PASSING	1" SCREEN
90-100% PASSING	3/4" SCREEN
20-55% PASSING	3/8" SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE

17. FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WIbHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 48 INCHES FOR REINFORCED CONCRETE PIPE (RCP). (b) WITHIN 60 INCHES FOR PVC PIPE LARGER THAN 15" DIAMETER
18. NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH DIAMETER.
19. PIPE TO MANHOLE JOINTS SHALL BE ONLY AS FOLLOWS:
    A. ELASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
    B. CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
    C. ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.
    D. ON-SHRINK GROUTED JOINTS WHERE WATERTIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
20. THE INVERT OF THE INCOMING PIPE SHALL BE NO MORE THAN 6 INCHES ABOVE THE OUTGOING PIPE UNLESS A DROP ENTRY IS USED.

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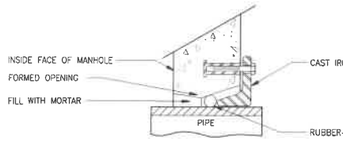
DIG SAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



RES-SEAL
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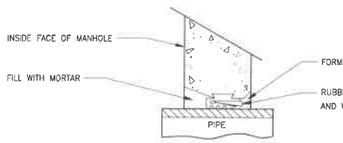

PRESS-WEDGE II
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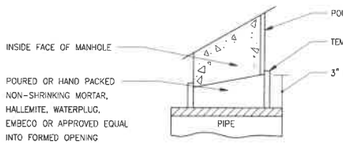

NON-SHRINKING MORTAR
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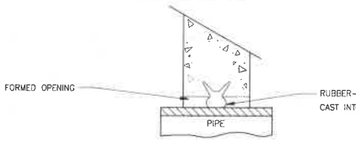
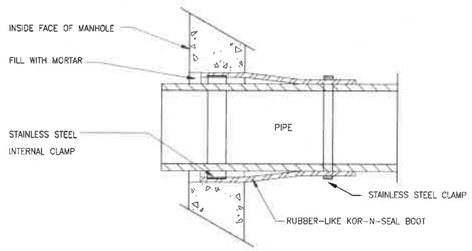
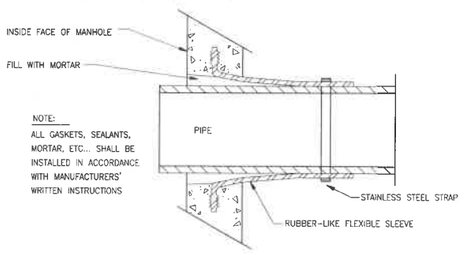


A-LOK
(OR ACCEPTABLE SUBSTITUTE)

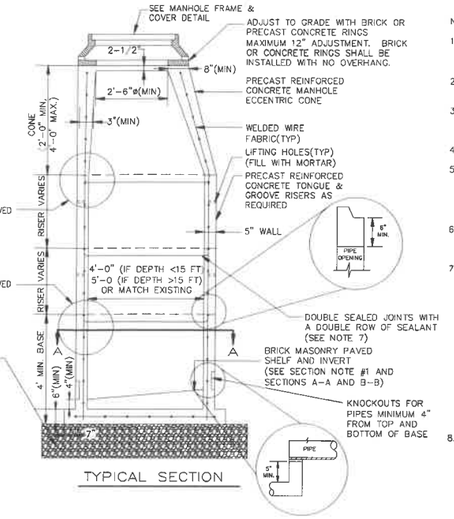


KOR-N-SEAL JOINT SLEEVE
(OR ACCEPTABLE SUBSTITUTE)



LOCK-JOINT FLEXIBLE MANHOLE SLEEVE
(OR ACCEPTABLE SUBSTITUTE)

DETAIL "A" - PIPE TO MANHOLE JOINTS

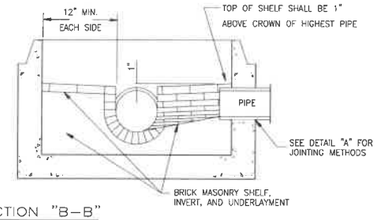


PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANNIC MATTER. THE EXCAVATION SHALL BE PROPERLY DEWATERED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE.

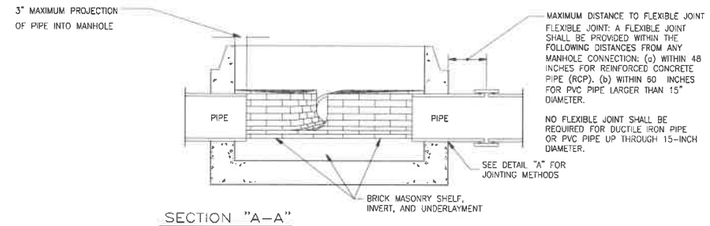
TYPICAL SECTION

NOTES:

1. INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.
3. BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6" ABOVE THE PIPE CROWN.



SECTION "B-B"



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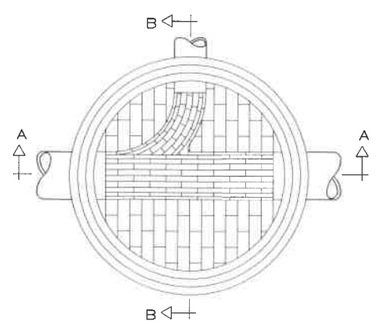


TYPICAL MANHOLE - PLAN VIEW

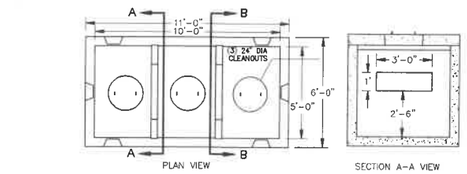
STANDARD MANHOLE
NOT TO SCALE

NOTES

1. UNDERLAYMENT OF MANHOLE INVERT AND SHELF SHALL BE BRICK MASONRY PER ENV-WQ 704.12(K).
2. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
3. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
4. INVERT BRICKS SHALL BE LAID ON EDGE.
5. PRECAST CONCRETE MANHOLES SHALL MEET AASHTO M199-93/ ASTM C478-90B, RATED FOR HS-20 LOADING WITH CONCRETE STRENGTH OF 4000 PSI OR GREATER.
6. ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
7. HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.

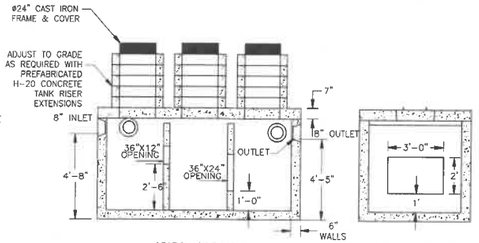
   ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

   STATE OF NEW HAMPSHIRE APPROVED PRODUCTS
   A) SIKAFLEX-12-SL
   B) SONNEBORN BUILDING PRODUCTS SONOLASTIC SL-1
8. MANHOLE STEPS ARE PROHIBITED BY TILTON SEWER COMMISSION.



PLAN VIEW

SECTION A-A VIEW



SECTION SIDE VIEW

SECTION B-B VIEW

DETAIL PROVIDED BY SHEA CONCRETE PRODUCTS
87 HAVERHILL ROAD AMESBURY, MA
(800) 696-7432

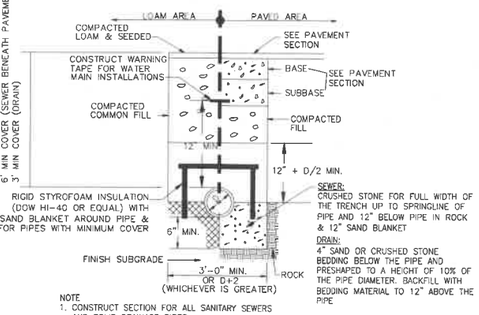
NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING
3. TONGUE & GROOVE JOINT SHALL BE DOUBLE SEALED JOINTS WITH A DOUBLE ROW OF SEALANT.

BAFFLE WALL DETAIL

1,500 GALLON SEDIMENT & OIL SEPARATOR

NOT TO SCALE



NOTE
1. CONSTRUCT SECTION FOR ALL SANITARY SEWERS AND SOLID DRAINAGE PIPES.

SEWER:
CRUSHED STONE FOR FULL WIDTH OF THE TRENCH UP TO SPRINGLINE OF PIPE AND 12" BELOW PIPE IN ROCK & 12" SAND BLANKET

DRAIN:
4" SAND OR CRUSHED STONE BEDDING BELOW THE PIPE AND PRESHAPED TO A HEIGHT OF 10% OF THE PIPE DIAMETER. BACKFILL WITH BEDDING MATERIAL TO 12" ABOVE THE PIPE

UTILITY TRENCH

NOT TO SCALE

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED PROFESSIONAL ENGINEER
6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

JOB NO.	DR	HEG	FB	-	
47159.02	CK	CRR	CADFILE	47159-02_DETAILS	C-17

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SEWER SERVICE NOTES

1) MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.

2) PIPE AND JOINT MATERIALS:
   A. PLASTIC SEWER PIPE
      1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2680	*ABS (COMPOSITES WALL)	8" THROUGH 15"

*PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE

      2. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.

         ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).

         JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.

   B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.

      1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
         A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
         A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
      2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
         A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.

6) SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

   THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

7) TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)

   A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.

   B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.

   C. DRY FLUORESCENE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN-STREAM MANHOLE.

   LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.

8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.

10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE

   WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.

12) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

GRAVITY SEWER NOTES

1. MINIMUM SIZE PIPE FOR GRAVITY SEWER SHALL BE 8-INCHES.
2. PIPE AND JOINT MATERIALS FOR PLASTIC SEWER PIPE SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034-04a	* PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679-03	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F794-03	PVC (RIBBED WALL)	8" THROUGH 36"
F1760-01(2005)e1	PVC, RECYCLED	ALL DIAMETERS

*PVC: POLY VINYL CHLORIDE

3. PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D2412-02 DURING MANUFACTURE.
4. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212-96(a)(2003)e1 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
5. DUCTILE-IRON PIPE, FITTINGS AND JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA).

   AWWA C151/A21.51-02 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536-84 (2004) DUCTILE IRON CASTINGS.

   AWWA C151/A21.51-02 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.

   JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO AWWA C151/A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

6. CONCRETE PIPE SHALL CONFORM TO AWWA C302-04.
7. PRESTRESSED CONCRETE CYLINDER PIPE AND FITTINGS SHALL CONFORM TO AWWA C301-99.

   JOINTS SEALS FOR CONCRETE CYLINDER PIPE SHALL BE OIL RESISTANT ELASTOMERIC MATERIAL CONFORMING TO ASWWA C301-99 SPECIFICATIONS.

8. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
9. GRAVITY SEWER PIPE TESTING SHALL BE AS FOLLOWS:

   ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.

   LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:

   ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR".

   UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE".

10. ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
11. ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
12. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5.0 PERCENT OF THE AVERAGE INSIDE DIAMETER.
13. TRENCH CONSTUCTION SHALL CONFORM TO THE FOLLOWING:

    SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6' BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS COUNTRY LOCATIONS.

    WHERE SEWER LINES CROSS WATER PIPES, A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. AT SEWER/WATER INTERSECTIONS, A MINIMUM OF 6 FEET SHALL BE PROVIDED FROM THE WATER LINE TO THE SEWER PIPE JOINT. 12" SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE REQUIRED BETWEEN SEWER LINES AND ALL OTHER PIPES.

    TRENCH DIMENSIONS FOR SEWER PIPE LESS THAN 15 INCHES IN DIAMETER, THE ALLOWABLE TRENCH WIDTH AT A PLANE 12 INCHES ABOVE THE PIPE SHALL BE NO MORE THAN 36 INCHES AND FOR PIPE 15 INCHES AND LARGER, THE ALLOWABLE WIDTH SHALL BE EQUAL TO THE PIPES OUTSIDE DIAMETER PLUS 24 INCHES.

    PIPE TRENCH BEDDING MATERIAL AND FILL MATERIAL FOR EXCAVATION BELOW GRADE SHALL BE SCREENED GRAVEL OR CRUSHED STONE TO ASTM C33-03 STONE SIZE NO. 67. THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ANY ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSED THE 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE. IN LIEU OF A SAND BLANKET, A STONE ENVELOPE 6 INCHES THICK COMPLETELY AROUND THE PIPE USING 3/4-INCH STONE MAY BE USED.

    PIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH THE PIPE AXIS TO 6-INCHES BELOW THE BOTTOM OF THE OUTSIDE SURFACE OF THE PIPE.

    PIPE SAND BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE THE CROWN OF THE OUTSIDE SURFACE.

    COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.

    BACKFILL MATERIAL SHALL BE IN 3-FOOT LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3-FEET SHALL BE COMPACTED IN 12-INCH LAYERS TO THE ROAD BASE SURFACE.

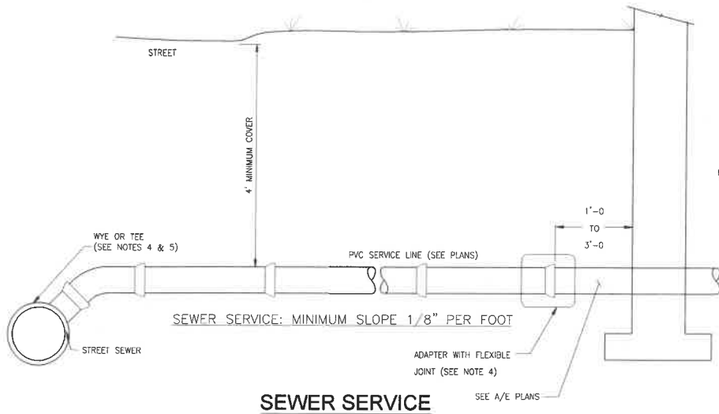
    TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING DEBRIS, PAVEMENT PIECES, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT, CLAY, EXCAVATED LEDGE, ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION, OR ANY OTHER UNSUITABLE MATERIAL NOT APPROVED BY THE ENGINEER.

    TRENCH BACKFILL AT CROSS-COUNTRY LOCATIONS SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. BACKFILL SHALL BE MOUNDED 6-INCHES ABOVE ORIGINAL GROUND.

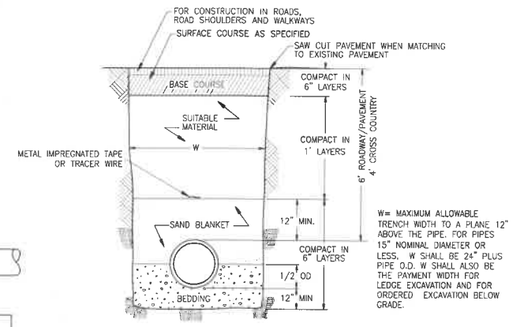
    BASE COURSE MATERIALS FOR TRENCH REPAIRS SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

    WHERE SHEETING IS PLACED ALONG SIDE OF THE PIPE AND EXTENDS BELOW MID-DIAMETER, THE SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE AND AT LEAST 3 FEET BELOW FINISH GRADE.

    TRENCHES FOR SEWER PIPES WITH SLOPES OVER 0.08 FEET PER FOOT AND TRENCHES FOR SEWER PIPES BELOW THE SEASONAL HIGH GROUND WATER LEVEL SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET TO PREVENT POTENTIAL DISTURBANCE TO PIPE BEDDING AND BLANKET MATERIALS.



SEWER SERVICE
NOT TO SCALE



LEDGE CONSTRUCTION
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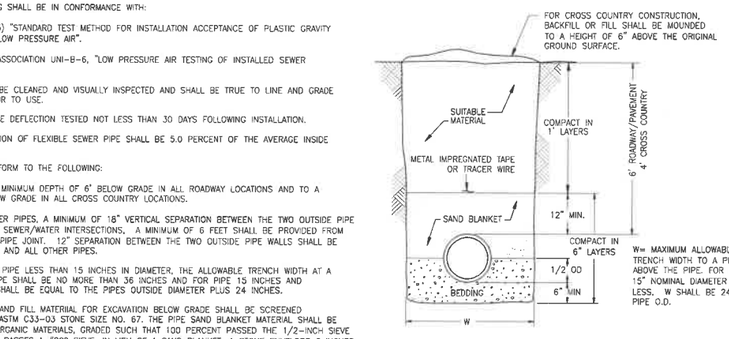
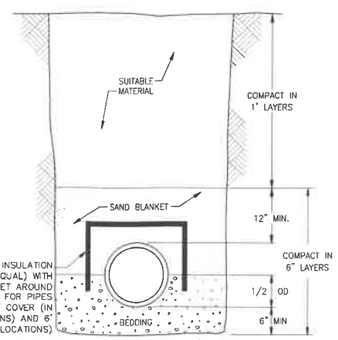
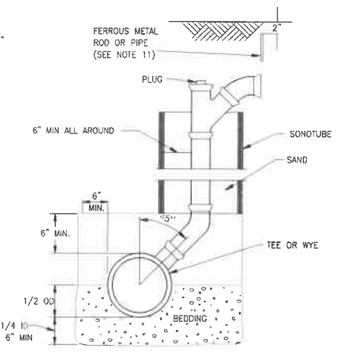


EARTH CONSTRUCTION
NOT TO SCALE

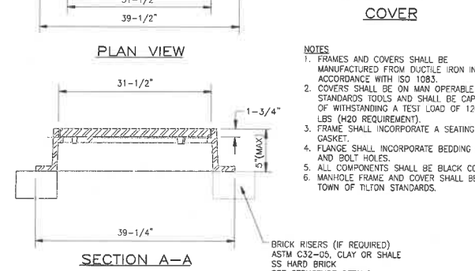


TRENCH CROSS-SECTION
NOT TO SCALE



BACKFILLING TO BE BROUGHT UP EVENLY ON ALL SIDES. (SEE NOTE 12)

CHIMNEY
NOT TO SCALE



PLAN VIEW

SECTION A-A

COVER

NOTES
1. FRAMES AND COVERS SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
2. COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (H20 REQUIREMENT).
3. FRAME SHALL INCORPORATE A SEATING GASKET.
4. FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
5. ALL COMPONENTS SHALL BE BLACK COATED.
6. MANHOLE FRAME AND COVER SHALL BE PER TOWN OF TILTON STANDARDS.

MANHOLE FRAME AND COVER
NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAIL

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

STATE OF NEW HAMPSHIRE — HANNAH E. GIOVANNUCCI — No.15699 — LICENSED PROFESSIONAL ENGINEER

6/1/2021

SCALE: NTS **JUNE 1, 2021**

REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division
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Structural Engineers
Traffic Engineers
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Landscape Architects
Scientists
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FILE	47159.02	DR	HEG	FB		C-18
		CK	ORR	CADFILE	47159-02_DETAILS	

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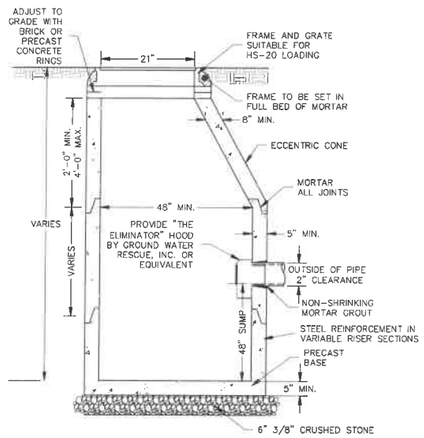
DIG SAFE — CONTACT BE SAFE TO BUSINESS HOURS PRIOR TO CONSTRUCTION

Jun 01, 2021 - 4:34am
F:\MSC Projects\47159 - North Main St - Rochester\47159-02 - 0- No Main Street - AUTO DEALERSHIP\Design\PRODUCTION DRAWINGS\47159-02 Details.dwg

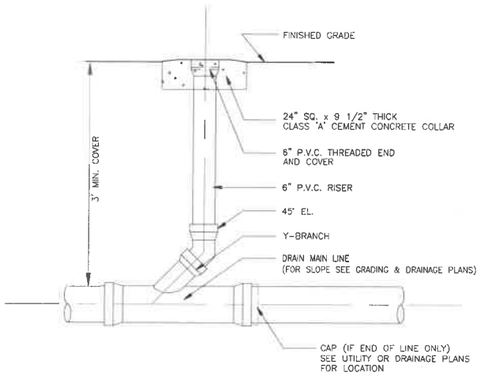


NOTES

1. ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
2. CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
3. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
4. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

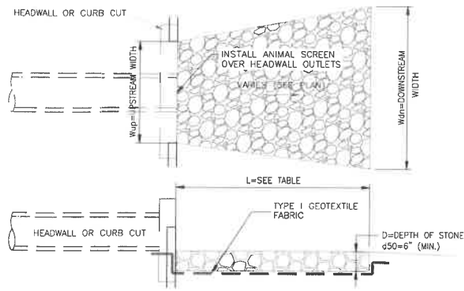
ECCENTRIC CATCH BASIN

NOT TO SCALE



DRAINAGE CLEAN OUT

NOT TO SCALE



MINIMUM OUTLET APRON DIMENSIONS (SEE NOTE #1)					
OUTLET	L	Wup	Wdn	D	d50
HW#1	20'	4.5'	13'	0.5'	0.25'

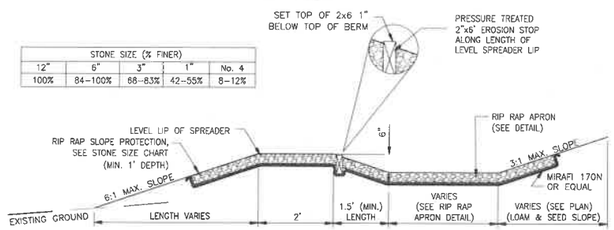
% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	4.50 TO 8.00
85	3.90 TO 5.40
50	3.00 TO 4.50
15	0.90 TO 1.50

MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

CONSTRUCTION SPECIFICATIONS:
1. THE OUTLET APRON SIZING IS CONCEPTUAL AND SHOULD BE SIZED FOR STORMWATER FLOWS FROM PARCEL 6, WHICH WILL BE REDEVELOPED AND DESIGNED IN 2021. PRIOR TO INSTALLATION AND ORDERING MATERIALS, CONFIRM WITH THE ENGINEER THAT THE OUTLET PROTECTION APRON SIZING AND STORMWATER SYSTEM'S CONFIGURATION IS APPROPRIATE.
2. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
3. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
4. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
5. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
6. INSTALL ANIMAL SCREEN TO HEADWALL OUTLET.

OUTLET PROTECTION APRON

NOT TO SCALE

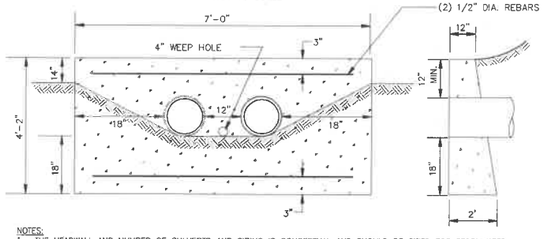


STONE SIZE (% FINER)				
12"	6"	3"	1"	No. 4
100%	84-100%	66-83%	42-55%	8-12%

CROSS SECTION

LEVEL SPREADER

NOT TO SCALE



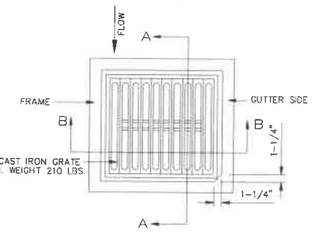
NOTES:
1. THE HEADWALL AND NUMBER OF CULVERTS AND SIZING IS CONCEPTUAL AND SHOULD BE SIZED FOR STORMWATER FLOWS FROM PARCEL 6, WHICH WILL BE REDEVELOPED AND DESIGNED IN 2021. PRIOR TO INSTALLATION AND ORDERING MATERIALS, CONFIRM WITH THE ENGINEER THAT THE HEADWALL, CULVERTS, AND STORMWATER SYSTEM'S SIZING AND CONFIGURATION IS APPROPRIATE.
2. DESIGN WINGWALLS, IF NECSSARY PER GRADING & DRAINAGE PLAN.
3. INSTALL ANIMAL SCREEN TO HEADWALL OUTLET.

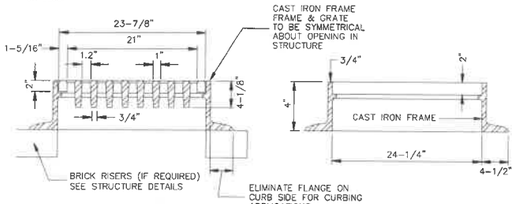
DOUBLE PIPE CONCRETE HEADWALL

NOT TO SCALE

PLAN VIEW

NOTES
1. FRAMES AND GRATE SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
2. COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (H20 REQUIREMENT).
3. FRAME SHALL INCORPORATE A SEATING GASKET.
4. FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
5. ALL COMPONENTS SHALL BE BLACK COATED.
6. MANHOLE FRAME AND COVER SHALL BE REXUS PER CITY OF ROCHESTER STANDARDS.
7. GRATE OPENINGS MUST BE 1-1/2" OR LESS.

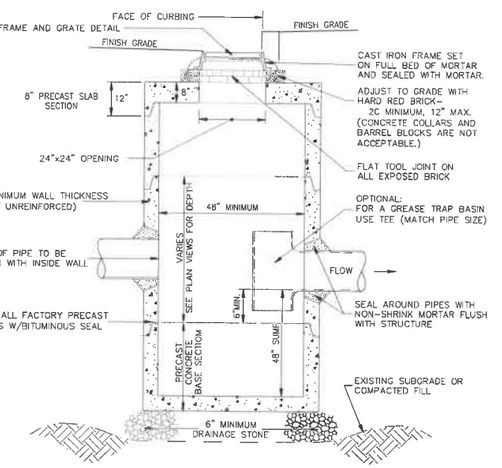




SECTION B-B SECTION A-A

CATCH BASIN FRAME AND GRATE

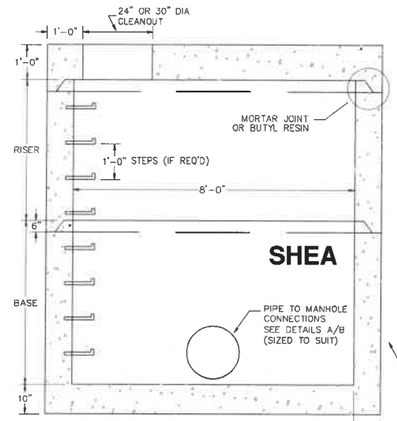
NOT TO SCALE



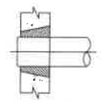
NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

SLAB TOP CATCH BASIN

NOT TO SCALE



SECTION VIEW



DETAIL B
MORTOR AND GROUT
BY CONTRACTOR

DETAIL B
FLEXIBLE SLEEVE

NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO ASTM A185 SPEC. 0.18 SQ. IN./LINEAL FT. AND 0.18 SQ. IN. (BOTH WAYS) BASE BOTTOM.
3. DESIGN LOADING PER AASHTO HS-20, 1 TO 5 FEET COVER.
4. MANHOLE DESIGN SPECS CONFORM TO ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
5. BUTYL RESIN SECTION JOINT CONFORMS TO ASTM C990 SPECIFICATION.
6. STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO ASTM C478 SPEC.

FLAT TOP

HEIGHT	ITEM NO	WEIGHT
1'-0"	MH8-FT8ID	11,225#

RISER SECTION

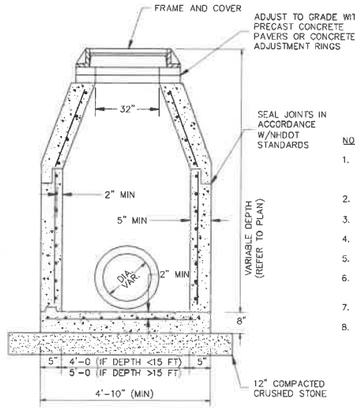
HEIGHT	ITEM NO	WEIGHT
2'-0"	MH8-24CSBID	6,102#
3'-0"	MH8-36CSBID	9,153#
4'-0"	MH8-48CSBID	12,204#
5'-0"	MH8-60CSBID	15,255#
6'-0"	MH8-72CSBID	18,306#

BASE SECTION

HEIGHT	ITEM NO	WEIGHT
3'-6"	MH8-42SBID	18,690#
4'-6"	MH8-54SBID	11,740#
5'-6"	MH8-66SBID	24,790#

96" DIAMETER DRAIN MANHOLE

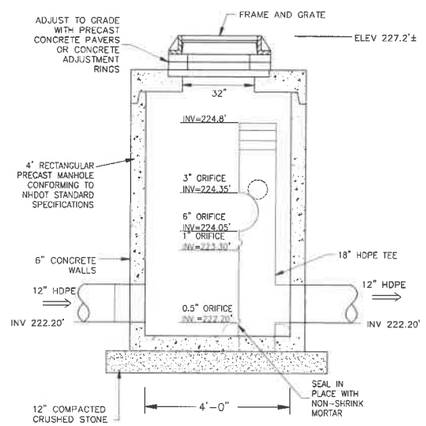
NOT TO SCALE



NOTES
1. MANHOLE FRAME & COVER: SHALL BE PAMREX CLASS D400, OR APPROVED EQUAL BY THE CITY ENGINEER.
2. MANHOLE TO BE STAMPED TO SAY "STORM".
3. COVERS AND FRAMES TO BE COATED BLACK.
4. MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
5. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING
6. REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
7. ALL CONCRETE SHALL BE NHDOT CLASS A.
8. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

DRAIN MANHOLE

NOT TO SCALE



OUTLET CONTROL STRUCTURE #36 (OCS-36)

NOT TO SCALE

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DIG SAFE
CONTACT DIG SAFE TO SCHEDULE MARKING BEFORE YOU CONSTRUCT

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI
No. 15699
LICENSED PROFESSIONAL ENGINEER
10/1/2021

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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		CK	CRR	CADFILE	47159-02_DETAILS	

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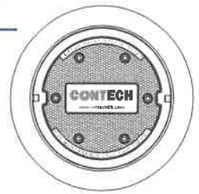
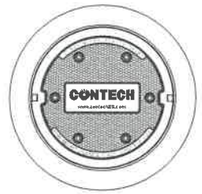
CONTECH
ENGINEERED SOLUTIONS LLC

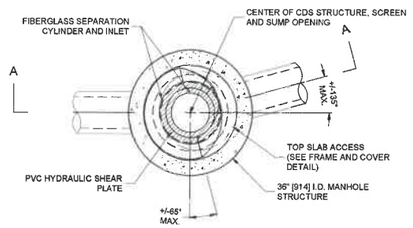


FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

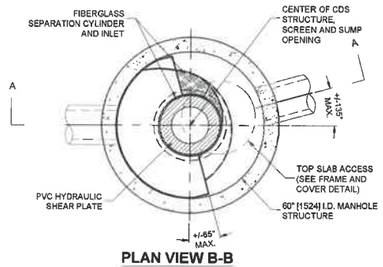


FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



PLAN VIEW B-B
NOT TO SCALE



PLAN VIEW B-B
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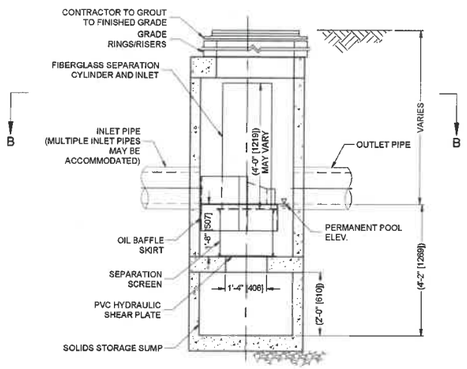
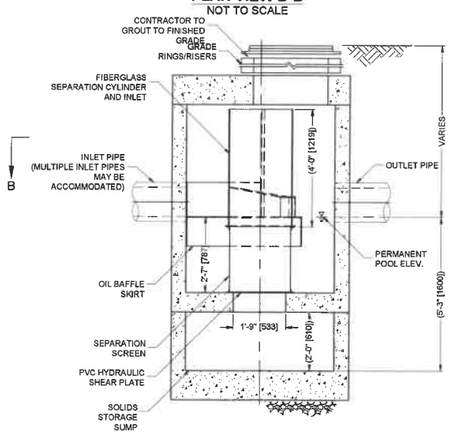


ELEVATION A-A
NOT TO SCALE



ELEVATION A-A
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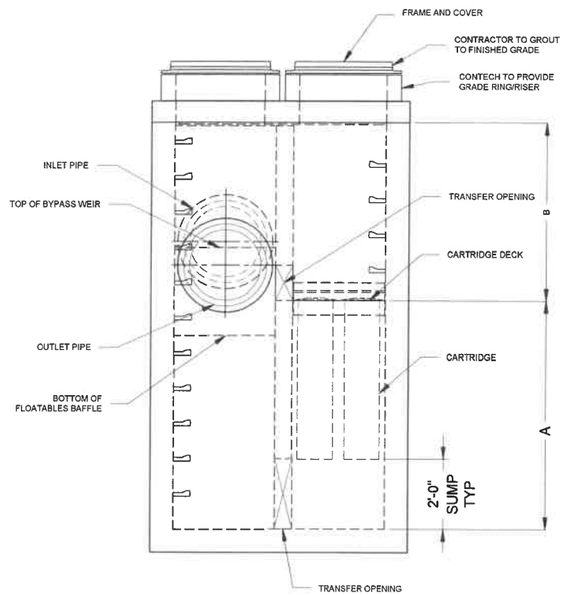
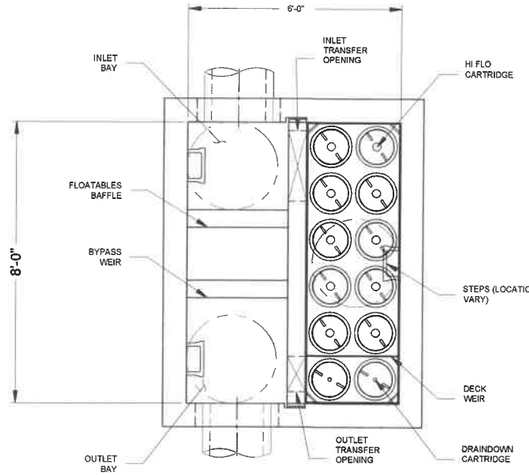


ELEVATION VIEW



PLAN VIEW
(TOP SLAB NOT SHOWN FOR CLARITY)

Jellyfish® Filter

JELLYFISH TREATMENT DEVICE
(JFPD0806-9-2)
NOT TO SCALE

GENERAL NOTES:
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.ContechES.com
3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 10', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-916, AND AASHTO LOAD FACTOR DESIGN METHOD.
6. OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
7. THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
8. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
C. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
D. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO H520 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS PRE-TREATMENT DEVICE
(CDS1515-3-C)
NOT TO SCALE

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STRUCTURE SHALL MEET AASHTO H520 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO..
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INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CDS PRE-TREATMENT DEVICE
(CDS2020-5-C)
NOT TO SCALE

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DIG SAFE

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI No.15699 LICENSED PROFESSIONAL ENGINEER
6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

SCALE: NTS **JUNE 1, 2021**

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47159.02	DR	HEG	FB	-	C-20
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ACF ENVIRONMENTAL

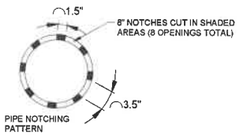
LET'S GET IT DONE

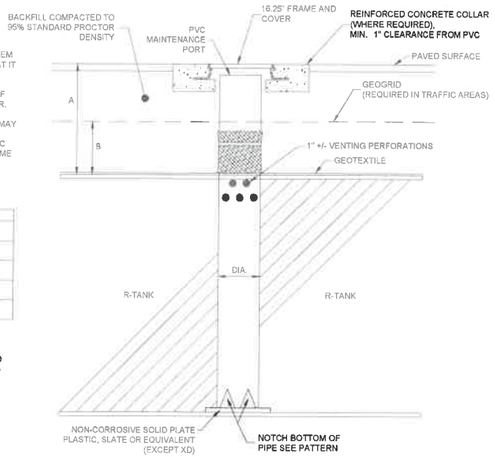
FOR ADDITIONAL INFORMATION PLEASE CONTACT:
ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

NOTES
- THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT.
- MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.
- ONLY R-TANK^{SD}, R-TANK^{SD}, R-TANK^{HD}, AND R-TANK^{XD} MAY BE USED IN TRAFFIC APPLICATIONS.
- IF MAINTENANCE PORT IS LOCATED IN A NON-TRAFFIC AREA, A PLASTIC CAP CAN BE USED IN LEU OF A FRAME AND COVER WITH CONCRETE COLLAR.

DEPTH SUMMARY

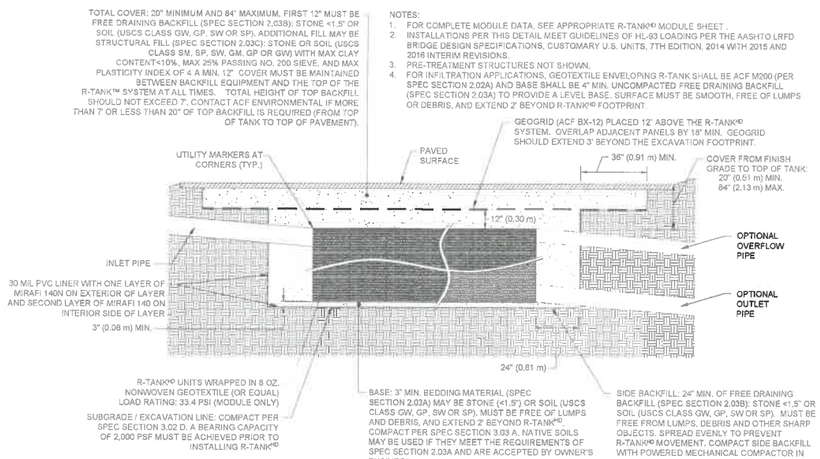
TYPE	A	B	DIA.
R-TANK^{SD}	12" MIN - 36" MAX	AS SHOWN ON PLANS	12"
R-TANK^{HD}	20" MIN - 6.99' MAX	12"	12"
R-TANK^{SD}	18" MIN - 9.99' MAX	12"	12"
R-TANK^{MD}	12" MIN - 5.00' MAX	6"	10"
R-TANK^{XD}	6" MIN - 16.67' MAX	N/A	12"





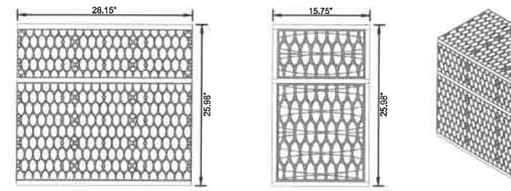
R-TANK MAINTENANCE PORT

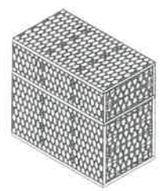
NOT TO SCALE

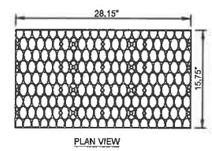


R-TANK & HS-20 LOADS - SECTION VIEW

NOT TO SCALE







MODULE DATA

GEOMETRY:	LENGTH = 28.15 IN. (715 MM)	**LOAD RATING:**	33.4 PSI, (MODULE ONLY)
	WIDTH = 15.75 IN. (400 MM)		HS25, (WITH ACF COVER SYSTEM)
	HEIGHT = 25.98 IN. (660 MM)		
	TANK VOLUME = 6.67 CF	**MATERIAL:**	100% RECYCLED POLYPROPYLENE
	STORAGE VOLUME = 6.33 CF		
	VOID INTERNAL VOLUME: 95%	**SMALL PLATES PER**	
	VOID SURFACE AREA: 90%	**SEGMENT/TOTAL:**	5/10

R-TANK^{HD} - SINGLE + MINI MODULES

NOT TO SCALE

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

GIS SAFE

STATE OF NEW HAMPSHIRE
HANNAH E. GIOVANNUCCI No.15699
LICENSED PROFESSIONAL ENGINEER
6/1/2021

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 7

DETAILS

PROPOSED AUTO DEALERSHIP

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

401 NORTH MAIN STREET LLC

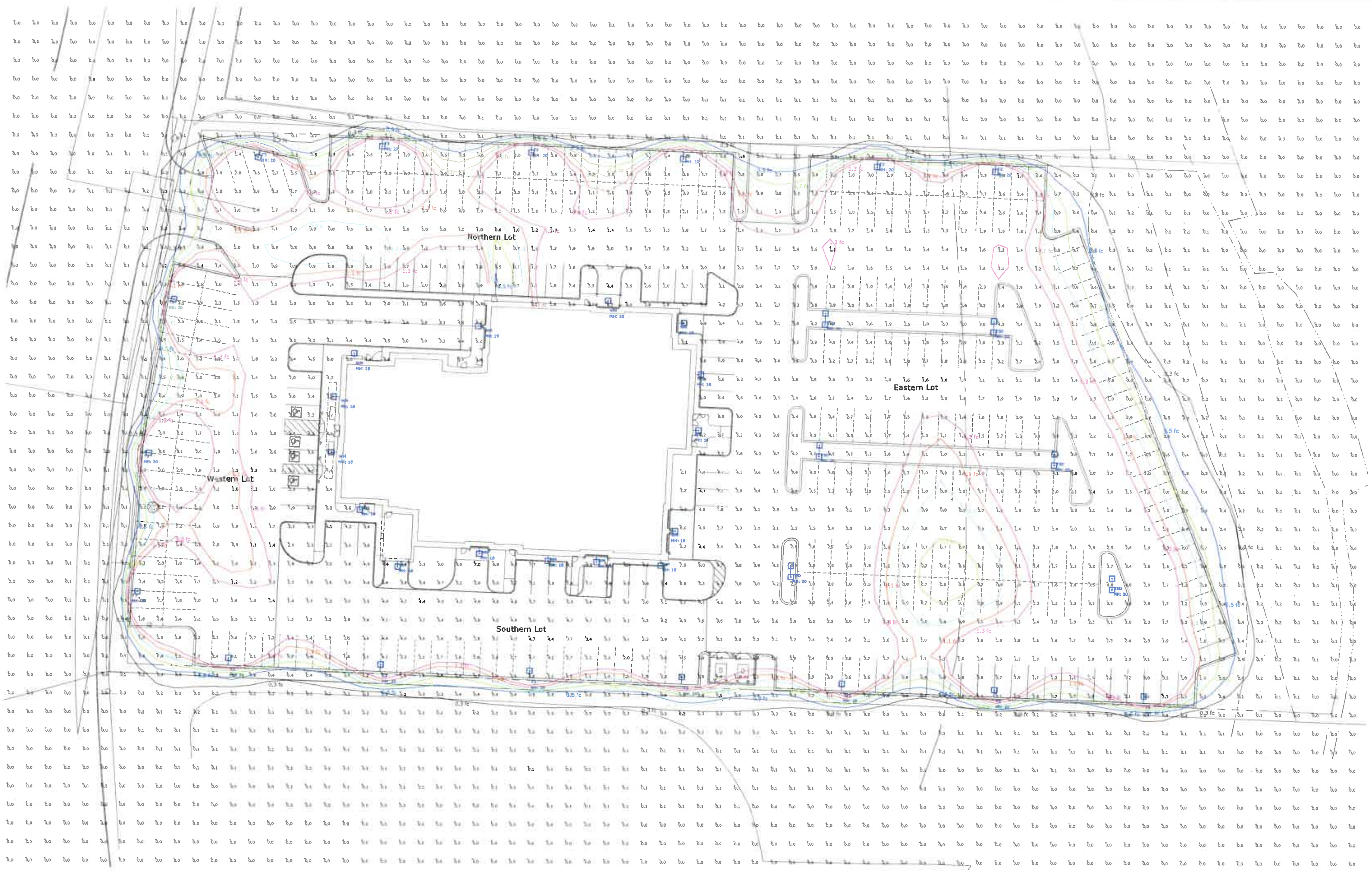
SCALE: NTS **JUNE 1, 2021**

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

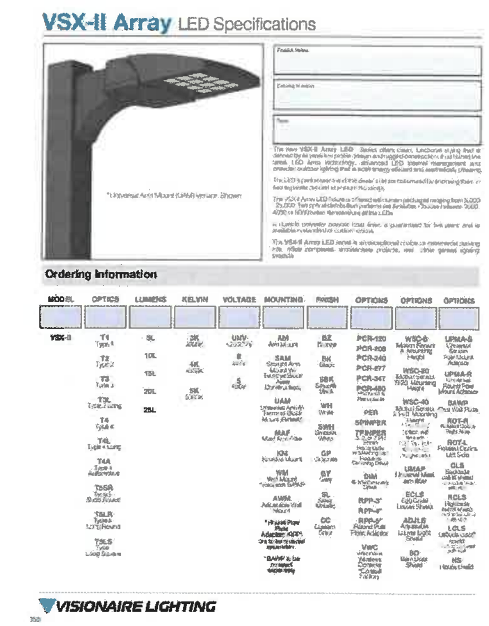
FILE	47159.02	DR	HEG	FB	--	C-21
		CK	CRR	CADFILE	47159-02_DETAILS	

Jun 01, 2021 - 4:34am
F:\MSC Projects\47159 - North Main St - Rochester\47159-02 - 0- No Main Street - AUTO DEALERS\PlDesign\PRODUCTION DRAWINGS\47159-02_Details.dwg

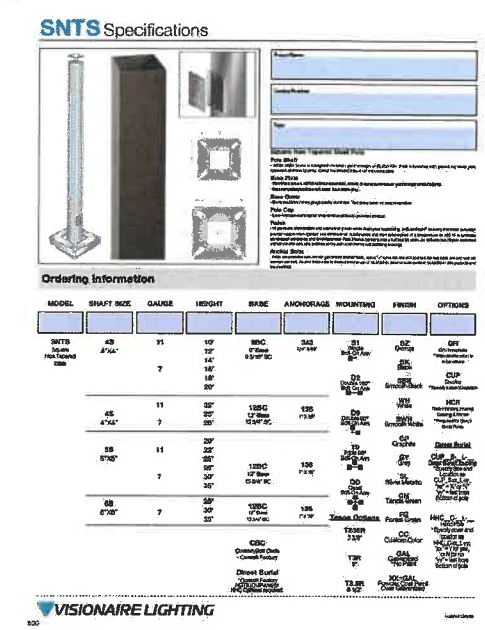


1 Photometric Layout and Calculations

SCALE: 1:30



2 Visionaire Type VSX-II Array Specification



3 Visionaire Type SNTS Specification

Luminaire Schedule

Symbol	Label	Qty	Description	LLF	Arrangement	Lum. Watts	Lum. Lumens	BUG Rating
	T3	16	Visionaire # VSX-II-T3L-25L-4K-UNV-AM-TBD-HS / SNTS-4S-11-20'-9BC-343-S1-TBD	0.900	SINGLE	167	7381	B1-U3-G4
	T5D	6	Visionaire # VSX-II-T5LR-10L-4K-UNV-AM-TBD / SNTS-4S-11-20'-9BC-343-D1-TBD	0.900	BACK-BACK	140	18712	B3-U0-G3
	WM	15	Visionaire # VSX-II-T4L-15L-4K-UNV-WM-TBD	0.900	SINGLE	101.7	13949	B3-U0-G3

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site Calc Pts	Illuminance	Fc	0.91	9.4	0.0	N.A.	N.A.
Eastern Lot	Illuminance	Fc	2.14	6.9	0.4	5.35	17.25
Northern Lot	Illuminance	Fc	1.59	5.3	0.4	3.98	13.25
Southern Lot	Illuminance	Fc	3.49	9.4	0.8	4.36	11.75
Western Lot	Illuminance	Fc	2.07	5.6	0.4	5.18	14.00

NOTES:

A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.

B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.

C. CALCULATION POINTS ARE TAKEN AT GRADE.

D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

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JACK SKWATT APPROVED
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Canton, MA 02021
T - 781-821-1700
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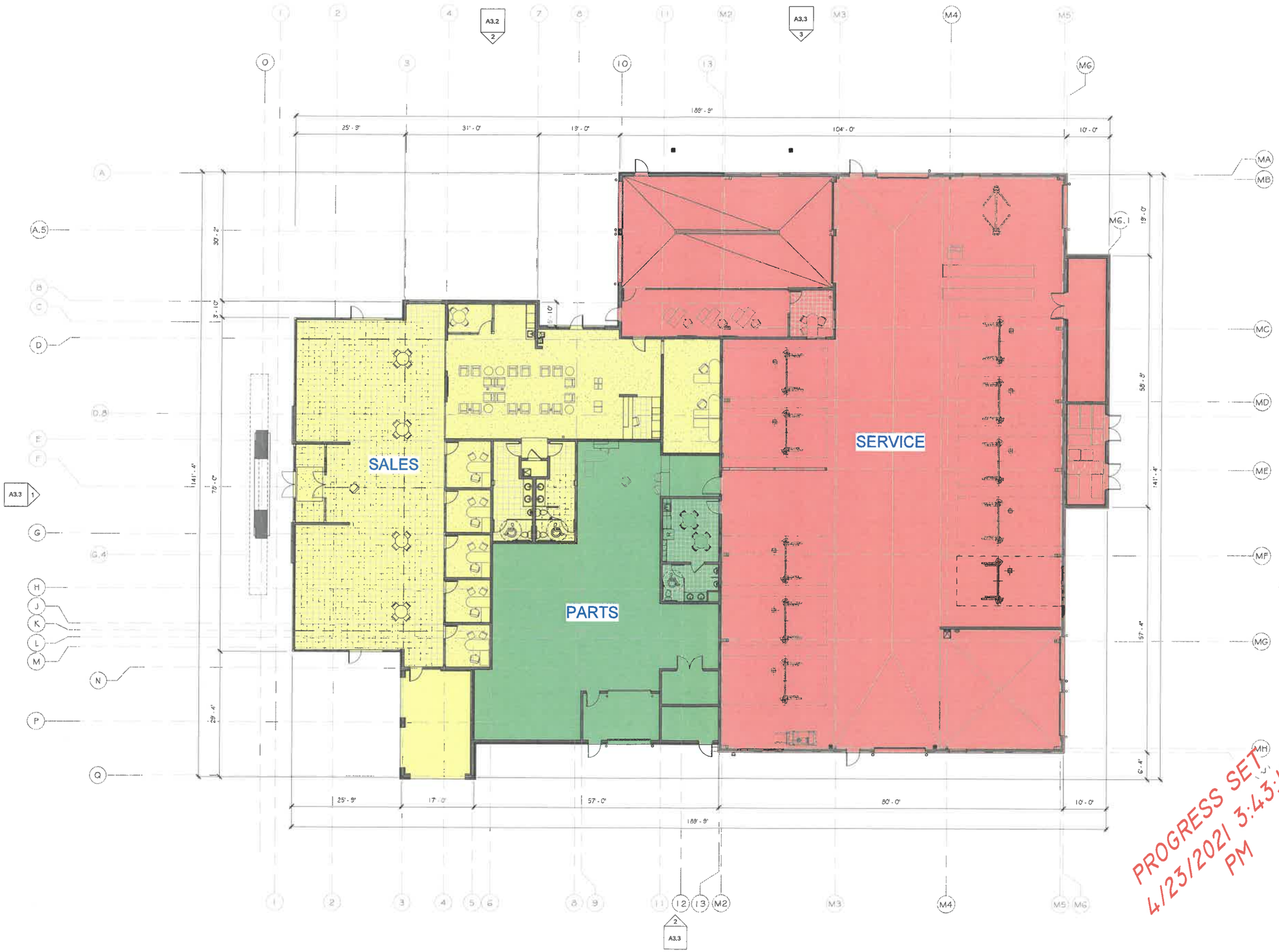
TFM
170 Commerce Way
Suite 102
Portsmouth, NH 03801

21059 Auto Dealership

Photometric Layout Calculations and Schedules

DATE: April 23,2021	REVISIONS	DESCRIPTION	DATE
PROJECT NUMBER: 21059	1		
DRAWN BY: AM	2		
CHECKED BY:AD	3		
APPROVED BY:AD	4		
SCALE: AS NOTED	5		
	6		
	7		

SL1



TW DESIGNS
254 Drake Hill Rd. Strafford, NH 03884
P: 603.664.2181 | F: 603.664.9508

DESIGN | BUILD Architectural Document Set -
Prepared For Exclusive Use By :

WHITCHER BUILDERS

LICENSED ARCHITECT JOHN M. TUTTLE No. 04015 STATE OF NEW HAMPSHIRE

NOT FOR CONSTRUCTION
ARIL, 23, 2021

PROGRESS SET
4/23/2021 3:43:12 PM

No. Description Date

Revision Schedule

Project Info:

Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: PROGRESS SET
Org. Issue Date: Sept 9th 2019

JOB NO: 20046
DRAFTED: Author
CHECKED: Checker

SCALE: 3/32" = 1'-0"

Sheet Title:
First Floor Plan

Sheet Number:
A1.1

4/23/2021 3:43:12 PM

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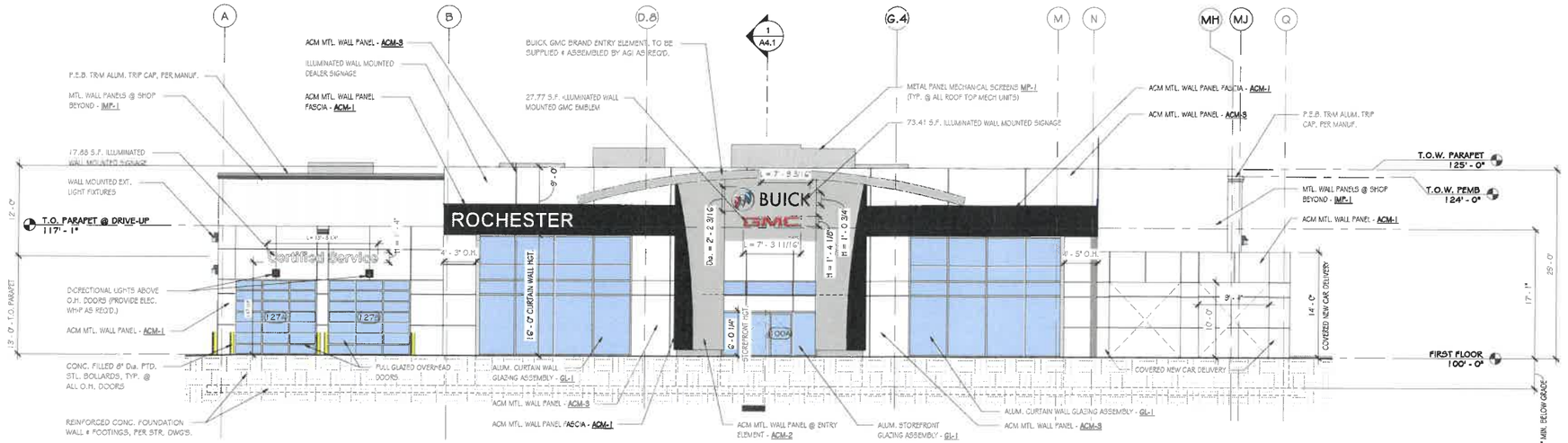


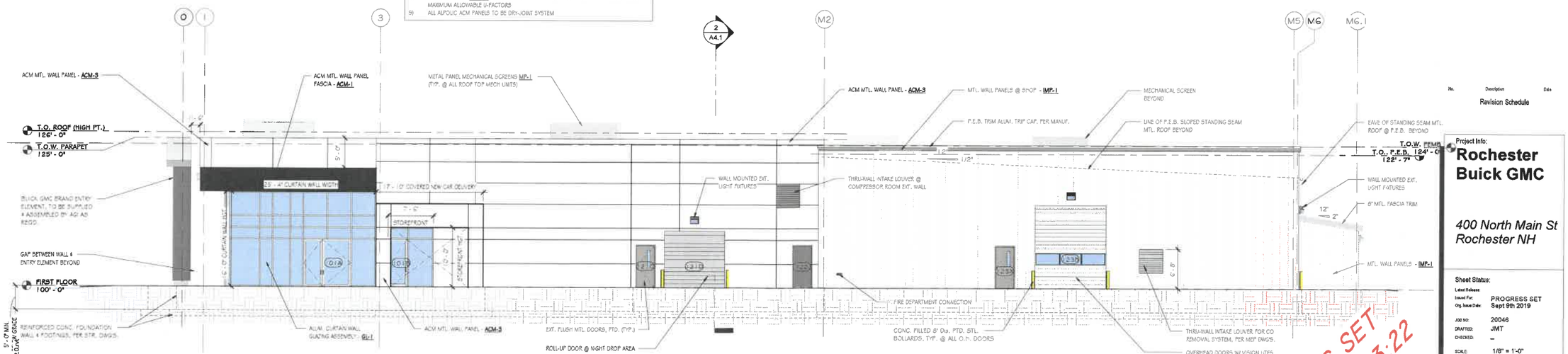
1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

Building S-gns s.f. totals
16.25 (Certified Service)
28.4 (Dealer Name)
4.76 (Trademd)
8.25 (Buick Letters)
9.82 (GMC letters)
70.48 s.f. total

ELEVATION NOTES:
1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
3) REFER TO SHEET AG.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTOR'S DESIGN / BUILD ENGINEER
8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET CR.1 FOR ENVELOPE FENESTRATION MAXIMUM ALLOWABLE U-FACTORS
9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

EXTERIOR FINISH SCHEDULE
1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
2. ACM-2 = ALPOLIC HLA BRUSHED HAIRLINE ALUM-NUM
3. ACM-3 = ALPOLIC RVW WHITE - WHITE
4. IMP-1 = ATAS ISOLEER® VL MICRO-BEAD - BONE WHITE
5. GL-1 = SOLARBAND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN

G = SPANDREL GLAZE STOREFRONT PANEL



4 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

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PROGRESS SET
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LICENSED ARCHITECT
JOHN M. TUTTLE
No. 04015
STATE OF NEW HAMPSHIRE

NOT FOR CONSTRUCTION
ARIL, 23, 2021

No. Description Date
Revision Schedule

Project Info:
Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: PROGRESS SET
Org. Issue Date: Sept 9th 2019

JOB NO: 20046
DRAFTED: JMT
CHECKED: –
SCALE: 1/8" = 1'-0"

Sheet Title:
Exterior Elevations

Sheet Number:
A3.1

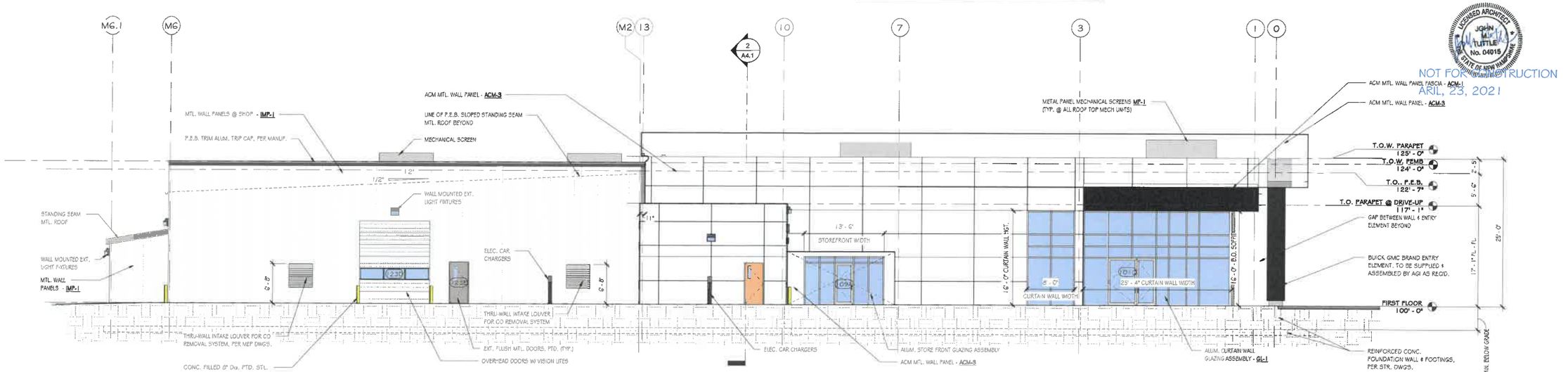
4/23/2021 3:43:22 PM

ELEVATION NOTES:

1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
3) REFER TO SHEET AG.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET CR.1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

EXTERIOR FINISH SCHEDULE

1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
2. ACM-2 = ALPOLIC HLA BRUSHED HAIRLINE ALUMINUM
3. ACM-3 = ALPOLIC RVW WHITE - WHITE
4. MP-1 = ATAS ISOLERIN VI, MICRO-BEAD - BONE WHITE
5. GL-1 = SOLARBAND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN



2 SOUTH EXTERIOR ELEVATION
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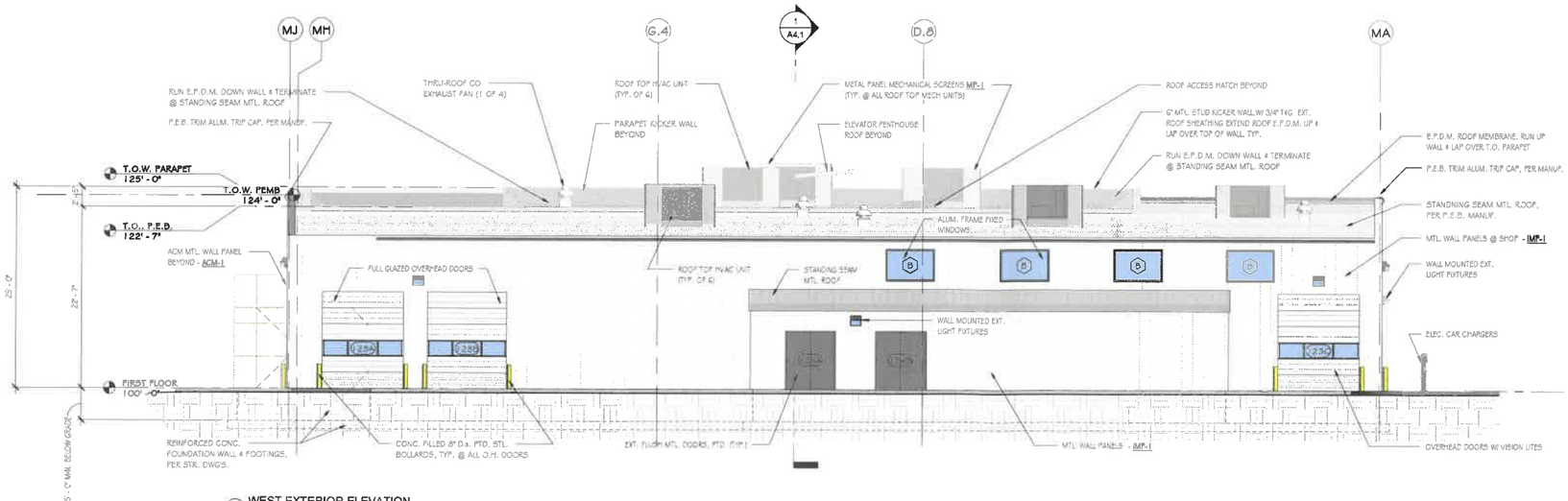

1 WEST EXTERIOR ELEVATION
1/8" = 1'-0"

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WHITCHER BUILDERS

LICENSED ARCHITECT JOHN MARK TUTTLE No. 04015 STATE OF NEW HAMPSHIRE

NOT FOR CONSTRUCTION
APRIL 23, 2021

No.	Description	Date

Revision Schedule

Project Info:
Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: PROGRESS SET
Org. Issue Date: Sept 9th 2019

JOB NO: 20046
DRAFTED: MLN
CHECKED: JMT
SCALE: 1/8" = 1'-0"

Sheet Title:
Exterior Elevations

Sheet Number:
A3.2

PROGRESS SET
4/23/2021 3:43:30 PM

4/23/2021 3:43:30 PM

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WHITCHER BUILDERS

LICENSED ARCHITECT
JOHN M. TUTTLE
No. 04015
STATE OF NEW HAMPSHIRE

NOT FOR CONSTRUCTION
ARIL, 23, 2021

No.	Description:	Date

Revision Schedule

Project Info:

Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:

Latest Release:	
Issued For:	PROGRESS SET
Org. Issue Date:	Sept 9th 2019
JOB NO:	20046
DRAFTED:	Author
CHECKED:	Checker
SCALE:	

Sheet Title:

3-D Rendering

Sheet Number:

R1.1

PROGRESS SET
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4/23/2021 3:43:30 PM

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Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealership (0 North Main Street - Tax Map 114 Lot 7)

Case # _____

Subdivision:_____ Lot line revision:_____ Site Plan: X Minor Site Plan:_____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

5 - Landcaping

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request TFM has provided a landscape plan to meet regulations, less requested waivers; however, this project is the site of an uncapped landfill, subject to NHDES review and environmental restrictions. The Soil Management Plan and other permit restrictions required by NHDES may not allow conditions which will penetrate a cap, such as trees, shrubs, or other plantings; the Landscape Plan is therefore subject to the review and approval of NHDES. In the event certain plantings may not be used, they will be replaced with a shrub, plant, loam & seed, or hardscape.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 6/1/2021

---------- *Office use below* ----------

Waiver approved: _____ Waiver denied:_____

Comments: _____

Signature: _____ Date: _____

Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealership (0 North Main Street - Tax Map 114 Lot 7)

Case # _____

Subdivision:_____ Lot line revision:_____ Site Plan:__X__ Minor Site Plan:_____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

5(D)(8B) - Landcaping - Front and Side Landscaping Buffers: At least one broad-leaved shade tree shall be planted in the front buffer for every 40 linear feet of the front buffer

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

_____

_____

Reason/justification(s) for waiver request Trees are excluded in areas where within the front buffer where it conflicts with the sight distance requirements of Section 14(C). Locating trees in the front buffer would not provide safe sight distance for vehicles exiting the proposed driveway.

_____

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 6/1/2021

---------- *Office use below* ----------

Waiver approved: _____ Waiver denied:_____

Comments: _____

Signature: _____ Date: _____

Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealership (0 North Main Street - Tax Map 114 Lot 7)

Case # _____

Subdivision:_____ Lot line revision:_____ Site Plan:__X__ Minor Site Plan:_____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

10(A) - Parking And Circulation - Number Of Required Parking Spaces: 60 spaces where 80 are required

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request Customers of car dealerships do not frequently show up on site on a regular basis, while many customers drive around the lot to shop. Most customers are relatively quick when visiting car dealerships. The total provided spaces is 61. There a 42 proposed parking spaces provided around the building to easily separate customer/employee spaces from vehicle inventory. The remaining 19 spaces are provided along the southwestern portion of the lot, intended primarily to store cars requiring maintenance within the service station.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 6/1/2021

---------- *Office use below* ----------

Waiver approved: _____ Waiver denied:_____

Comments: _____

Signature: _____ Date: _____

Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealership (0 North Main Street - Tax Map 114 Lot 7)

Case # _____

Subdivision:_____ Lot line revision:_____ Site Plan:__X__ Minor Site Plan:_____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

10(H)(2) - Parking And Circulation - Curbing: Sloped curbing shall also have a 6-inch vertical reveal and it shall be set at a 45 degree angle unless otherwise approved by the planning board.

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

_____

_____

Reason/justification(s) for waiver request NH Fish & Game and NHB prefers that Cape Cod berm be utilized on-site to allow passage of wildlife, particularly the endangered Blanding's Turtle and threatened Spotted Turtle, discovered in the project area. Vertical granite curb and sloped granite curb prevent turtle passage. Cape Cod berm is proposed along the exterior of the site, to allow wildlife passage.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 6/1/2021

---------- *Office use below* ----------

Waiver approved: _____ Waiver denied:_____

Comments: _____

Signature: _____ Date: _____

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

NEW HAMPSHIRE 200

June 1, 2020

Seth Creighton, AICP, Chief Planner
City of Rochester Planning & Development Department
33 Wakefield Street
Rochester, NH 03867

via email: seth.creighton@rochesternh.net

RE: TRG Rev 0 Submittal
0 North Main Street – 401 North Main Street LLC – Tax Map 114 Lot 7
Project #47159.02

Dear Mr. Creighton:

On behalf of our client, 401 North Main Street LCC, please find a Site Review Application and Conditional Use Permit (CUP) Application for the Conservation Overlay District (COD) for the Technical Review Group (TRG) submission relative to the above-referenced project. The following materials are included in this submission:

- **Check for Site Plan Review Fee Paid to "City of Rochester" ($2,085.90)**
- **Check for Abutter's Notification Paid to "City/ of Rochester" ($61.65)**
- **Site Plan Checklist (1 copy);**
- **Abutter's List (1 copy);**
- **Abutter's List (2 set of labels);**
- **Existing Covenants, Easements, & Deeds (1 copy);**
- **Site Plan Application (4 copies);**
- **CUP for COD Application (4 copies);**
- **Waiver from Regulations Application (4 copies);**
- **Traffic Impact and Access Study (2 copies)**
- **Drainage Analysis (2 copies); and**
- **Site Development Plans entitled "Site Development Plans, Tax Map 114 Lot 7, Proposed Auto Dealership, 0 North Main Street, Rochester, New Hampshire", prepared by TFMoran, Inc., dated June 1, 2021 (3 copies at 22"x34, 2 copies at 11"x17").**

Project Description

The project includes the development of an auto dealership on 0 North Main Street. The existing Tax Map 114 Lot 7 is approximately 4.49 acres and currently is a vacant lot. The property is in the location of a former city landfill closed and classified as non-operating unlined landfill. The site is filed with NHDES as hazardous waste project and solid waste landfill (#2908) and will be improved under the oversight of the NHDES Brownfields Program (NHDES File #199705019). The site is within the Highway Commercial

TFMoran, Inc.
48 Constitution Drive, Bedford, NH 03110
T(603) 472-4488 www.tfmoran.com

TFMoran, Inc. Seacoast Division
170 Commerce Way–Suite 102, Portsmouth, NH 03801
T(603) 431-2222

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

June 1, 2021

TRG Rev 0 Submittal
0 North Main Street – 401 North Main Street LLC – Tax Map 114 Lot 7
Project #47159.02

(HC) Zoning District, Conservation Overlay District (COD), and Shoreland Quality Protection Zone (SWPZ). The property is bounded by North Main Street to the west and the Cocheco River and associated wetland/shoreland to the east. An existing Key Chrysler Dodge Jeep Ram of Rochester dealership is the northern neighbor and Dunkin' abuts to the south.

The proposed project is to construct a 1-story building. Associated improvements include and are not limited to access, grading, utilities, stormwater management system, lighting, and landscaping. The project proposes a 21,765 SF building footprint and total 117,394 SF of impervious area and approximately 171,878 SF of disturbance (excluding on Parcel 6) to facilitate the development. A portion of the stormwater system will require a drainage easement to tie into the existing stormwater system on Parcel 6, also owned by 401 North Main Street LLC. This will prevent disturbances to the wetland and riverfront buffers and allow the existing woodland buffer to be maintained on Parcel 7. The stormwater connection on Parcel 6 proposes 2,937 SF of disturbance and the improvements will serve the future development on Parcel 6, currently in the process of also being designed and permitted.

The project does not propose any wetland impacts and maintains a woodland buffer along the riverfront and wetland. A portion of the development is proposed within the 250' NHDES Shoreland Buffer Zone. All pavement and structures are located outside of the 75' Conservation Overlay District (COD) Cocheco River Buffer or 50' COD Wetland Buffer. The maximum grading disturbances to these buffers are 42' from the River Buffer and 34' to the Wetland Buffer.

Based on our review of the City of Rochester's Site Plan Review Regulations, we are requesting relief in the form of waivers from the sections explained on the Waiver Request Forms included in part of this submission.

The project will be undergoing further review by Conservation Commission, Planning Board, DPW, NHDES Alteration of Terrain (AoT), NHDES Shoreland, NHDES Sewer, NHDES Brownfields, and EPA's NOI for Construction General Permit.

We appreciate your consideration of these matters and look forward to presenting this project to you in the near future. We respectfully request that we be placed on the upcoming agenda for the TRG meeting on June 10, 2021.

If you have any questions or concerns, please do not hesitate to contact us.

Respectfully,
TFMoran, Inc.

Hannah Giovannucci

Hannah Giovannucci, PE
Civil Project Manager

HEG/crr