



Amendment to Approved Project
City of Rochester, New Hampshire

Case # 253-47-13-A-06 Property Address Peaslee Road

Type of project: Site Plan ☐; Subdivision ☒; Lot Line Adjustment ☐; Other ☐

Project name 9-Lot Subdivision, Peasley Road

Date of original Planning Board approval November 20, 2006

Description of amendment The owner of Tax Map 253, Lot 47-13, a lot created in the approved subdivision is seeking
an amendment to create a single driveway to access the lot instead of the shared driveway proposed in the original approval.

Would this affect a wetland or wetland buffer or require a conditional use? Yes ☒ No ☐

Applicant Name: Ronald David & Michelle Balcar

Mailing Address: 16 Cassily Lane, Dover, NH 03820

Phone Number: 713-539-1931 Email Address: rdbalcar@gmail.com

Please note: There is a \$125.00 fee for amendments. They are reviewed by the Planning Board and a public hearing is held. Abutters must be renotified by the applicant. The applicant must submit any supplementary materials necessary to explain and support the amendment, such as a narrative and plans. This form, the abutter's list, the fee, and other necessary materials must be submitted by the applicable deadline date.

Name of applicant or agent filling out this form Norway Plains Associates, Inc.; Scott A. Lawler

Please check box: Applicant ☒ Agent ☐

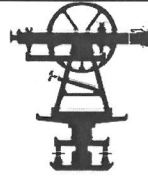
Signature of person completing form: [Signature] Date: 4/14/21

Signature of property owner (if different): _____ Date: _____

NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Phone (603) 335-3948
www.norwayplains.com



P. O. Box 268
31 Mooney St.
Alton, NH 03809
Phone & Fax (603) 875-3948

April 16, 2021

Seth Creighton, Chief Planner
Department of Planning and Development
33 Wakefield Street
Rochester, NH 03867-1917

Re: Amendment to Approved Project - Proposed residential driveway and amendment to approved subdivision; Tax Map 253, Lot 47-13; Rochester Planning Case Number 253-47-13-A-06

Dear Seth,

On behalf of Ronald David and Michelle Balcar, Norway Plains Associates, Inc. is pleased to submit an Amendment to Approved Project application for their project located at 20 Peaslee Road. More specifically the driveway proposed to access 20 Peaslee Road.

The original subdivision that was approved by the Rochester Planning Board on November 20, 2006, consisted of a 9-lot subdivision. Associated with that approval, there was a proposed driveway easement on Tax Map 253, Lot 47-15 for the benefit of the applicant's lot. The house and paved driveway for Lot 47-15 occurred in 2008. When the lot was resold in 2016 to the current owners, Braford Taylor, they were not aware that there was the possibility that a shared driveway and associated easement was on their property.

The Balcars' are seeking an amendment to the original approval to not use the easement for the shared driveway, but to be allowed to have their own driveway. They are proposing to construct a four-bedroom residential home with attached garage and two-bedroom accessory dwelling unit on the parcel. The building will be serviced by private water and septic system. To access this building the driveway would be entirely located on lot 47-13 and will be constructed off of Peaslee Road. This location for the driveway access off Peaslee Road has been reviewed and approved by the Department of Public Works.

As mentioned above, access to the house will be from a new driveway to be constructed off Peaslee Road. The driveway will be 16 feet wide paved with two-foot shoulders. This driveway width is necessary to achieve minimum access for emergency and first responders' vehicles. The construction of the driveway will require impacts within the conservation overlay district. There will not be any direct impacts to the jurisdictional wetlands. Minor grading for the proposed driveway is proposed within the Conservation Overlay district, totaling approximately 4,785 square feet of that, only 535 square feet will be within the 25-foot buffer. With the use of a retaining wall and stabilized 2:1 slope, along the driveway, the impacts have been minimized to the extent possible.

We look forward to reviewing the proposed amendments with the Planning Department and eventually with the Planning Board. Should you need anything or have any questions, please do not hesitate to contact me. Thank you for your assistance and ongoing support of this project.

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read "Scott A. Lawler". The signature is fluid and cursive, with the first name "Scott" and last name "Lawler" clearly distinguishable.

By:
Scott A. Lawler, PE, Project Engineer

cc: Ronald David and Michelle Balcar

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: 4/13/2021

Property information

Tax map #: 253; Lot #(s): 47-13; Zoning district: Agricultural

Property address/location: 20 Peaslee Road

Name of project (if applicable): _____

Property owner

Name (include name of individual): Ronald David & Michelle Balcar

Mailing address: 16 Cassily Lane, Dover, NH 03820

Telephone #: 713-539-1931 Fax _____

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Fax #: _____

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc.; Scott A. Lawler

Mailing address: PO Box 249, Rochester, NH 03867

Telephone #: 603-335-3948 Fax #: _____

Email address: slawler@norwayplains.com Professional license #: 10026

Proposed Project

Please describe the proposed project: The proposed project is to construct a driveway to access a residential house with accessory dwelling unit.

Please describe the existing conditions: The site is currently undeveloped. Trees have been removed from a portion of the site in the location of the proposed structure.

(continued Conditional Use application Tax Map: 256 Lot: 47-13)

Please fill in **one of the next two sections – for either Conditional Uses or Buffer Reductions**

Conditional Uses

For Conditional Uses only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (1) (A)). All four criteria must be satisfied.

(i) The proposed construction is essential to the productive use of land not in the COD.

To construct a driveway to access the build-able area on the lot, impacts must occur within the 50 and 25 foot wetland buffers.

This impact is necessary to keep all work on the applicants' property. The impacts will equal approximately 4250 square feet, only

535 square feet of that would be within the 25 foot buffer.

(ii) Design and construction methods will be such as to minimize impact upon the wetlands and will include restoration of the site consistent with the permitted use.

The design will include the construction of a retaining wall to minimize the impacts to the buffer area as much as possible.

(iii) There is no feasible alternative route on land controlled by the applicant that does not cross the CO District nor has less detrimental impact on the wetlands. Nothing in this Section shall limit the applicant from exploring alternatives with abutting property owners.

There is no other feasible way to access the buildable portion of the land. A large wetlands complex located at the rear of the

property is preventing access to the the proposed house location. The abutting lot, constructed in 2008, would be drastically impacted by

placing the new driveway on their lot.

(iv) Economic advantage is not the sole reason for the proposed location of work.

The construction of this driveway is not meant for economic advantage, but rather to access the land that is build-able at the top

of the slope. The lot cannot be developed without access to this land and the driveway cannot be constructed without impacts to

the buffer.

(Buffer Reductions on next page)

(continued Conditional Use application Tax Map: _____ Lot: _____)

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, **or** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel **or** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I (we) hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Paul Ken B. W.

Date: 4/14/21

Signature of applicant/developer: _____

Date: _____

Signature of agent: *Ken A. Paulen*

Date: 4/16/2021

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: _____

Date: _____

Conservation Commission Recommendation: *[office use only]*

Recommendation:

- Comments/recommended conditions:

Conservation Commission _____ date _____

Planning Department _____ date _____

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April 16, 2021

Rochester Conservation Commission
Department of Planning and Development
Second Floor, City Hall
31 Wakefield Street
Rochester, NH 03867-1917

Re: Conditional Use Application - Proposed residential driveway and amendment to approved subdivision; Tax Map 253, Lot 47-13

Dear Members,

On behalf of Ronald David and Michelle Balcar, Norway Plains Associates, Inc. is pleased to submit plans and Conditional Use application for a proposed residential driveway located at 20 Peaslee Road. The parcel, Tax Map 253, Lot 47-13 is comprised of 8.14 acres and was part of a subdivision approved in November 2006. The parcel is currently undeveloped. This Conditional Use application is being submitted in conjunction with an Amendment to Approved Project application to the Rochester Planning Board.

The parcel is located within the Agricultural (A) zoning district. The property is abutted by residential lots. To the southwest of the parcel is Peaslee Road and to the northeast is Lowell Street. The subject lot is mostly wooded and is currently vacant. The land slopes generally from southwest to northeast, with a large wetland complex to the northern property line and near Lowell Street. Jurisdictional wetlands were delineated by Joseph Noel in April 2021.

Due to a very large wetlands complex at the rear of the property, driveway access to the buildable upland off Lowell Street is not viable. Thus, the only access to the proposed house area is off Peaslee Road as designed

The Balcars are proposing to construct a four-bedroom residential home with attached garage and two-bedroom accessory dwelling unit on the parcel. The building will be serviced by private water and septic system.

As mentioned above, access to the house will be from a new driveway to be constructed off Peaslee Road. The driveway will be 16 feet wide paved with two-foot shoulders. This driveway width is necessary to achieve minimum access for emergency and first responders' vehicles. The construction of the driveway will require impacts within the conservation overlay district. There will not be any direct impacts to the jurisdictional wetlands. Minor grading for the proposed driveway is proposed within the Conservation Overlay district, totaling approximately 4,785 square feet of that, only 535 square feet will be within the 25-foot buffer. With the use of a retaining wall

and stabilized 2:1 slope, along the driveway, the impacts have been minimized to the extent possible.

Should the Commission need additional information or have any questions, please feel free to contact our office. Otherwise, we look forward to discussing this project with staff and the Conservation Commission. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

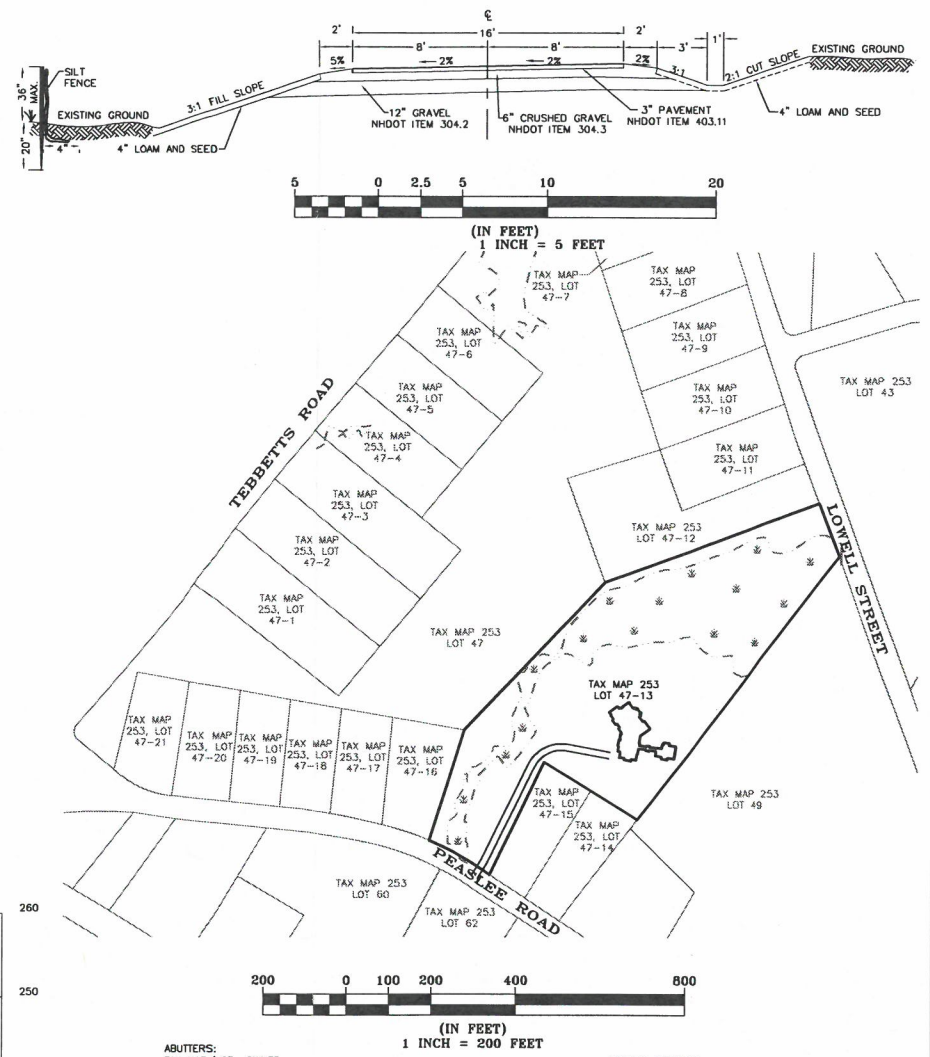
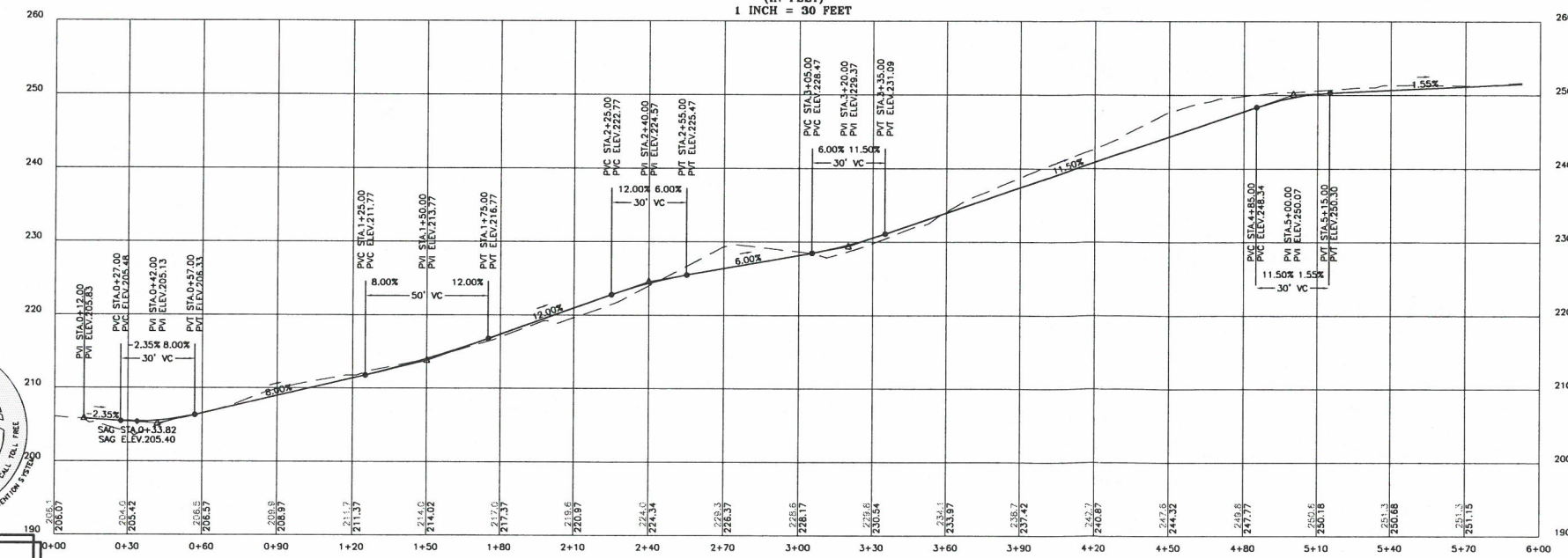
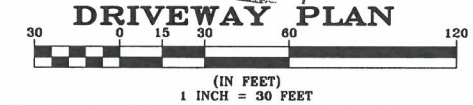
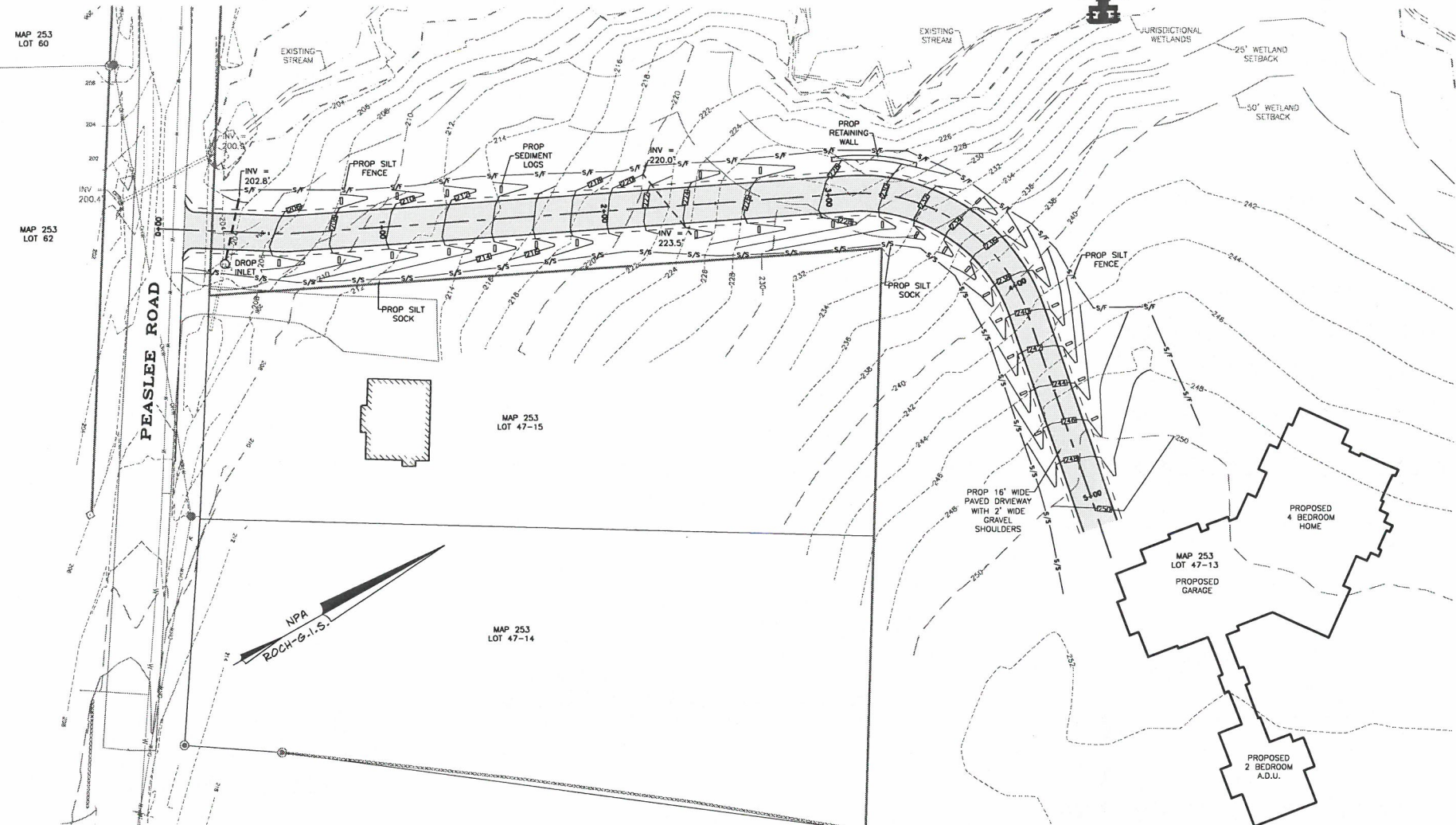
A handwritten signature in black ink, appearing to read "Scott A. Lawler". The signature is fluid and cursive, with a large initial "S" and a long horizontal stroke at the end.

By:

Scott A. Lawler, PE, Project Engineer

cc: Ronald David and Michelle Balcar

RECEIVED
APR 27 2021
By _____



TABULATORS:		1 INCH = 200 FEET	
AX	MAP LOT	OWNER	MAILING ADDRESS
253/43		BARTLETT REVOCABLE TRUST OF 2012 C/O M G & N W BARTLETT	3 HOLLIS LANE, ROCHESTER, NH 03667-4553
253/47		COMMON OWNERSHIP	
253/47-1		MARTIN G JOHANSEN JR	81 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-2		CHRISTOPHER B & MICHELLE SHEPARD	85 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-3		DONALD J & KATHY WEBB	117 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-4		SCOTT A BADOS	91 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-5		AMY L ZOELLER REVOCABLE TRUST & MARK A ZOELLER REVOCABLE TRUST	95 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-6		RICHARD A & CHERYL L WACHTER	97 TEBBETTS ROAD, ROCHESTER, NH 03667-4511
253/47-7		THOMAS H & GEORGIA BONIAS	223 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-8		STEPHEN J GALL	227 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-9		NICOLE E & CHRISTOPHER M DAIGLE	229 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-10		RICHARD M & JOANN L MANISCALCO	231 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-11		DOUGLAS J & LINDA M CASHIN	235 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-12		MICHAEL S & TRACY R VAILLANCOURT	237 LOWELL STREET, ROCHESTER, NH 03667-4511
253/47-14		ABBOTT & SON CONSTRUCTION LLC	105 HANSONVILLE ROAD, ROCHESTER, NH 03839-4925
253/47-15		BRADFORD TAYLOR	22 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/47-16		MARK A CERRI	116 MARION ROAD, MELROSE, MA 02176-1252
253/47-17		KIRK A MOELLER & GWENDOLYN L TERPSTRA	14 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/47-18		DAVID HANSEN & JENNIFER BALDWIN	2815 NORRIS AVENUE, WINTER PARK, FL 32789-6669
253/47-19		JEFFREY J & JENNIFER L PERKINS	10 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/47-20		MARK & KATH MITCHELL	8 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/47-21		TIMOTHY E PETRAS	6 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/47-22		ROPER & BARNETT ESTATE HOLDINGS LLC	16 PEALEE ROAD, ROCHESTER, NH 03667-4523
253/60		ANDREW & MARSHA L NEAL	208 OLD DOWER ROAD, ROCHESTER, NH 03667-4549
253/62		JACOB C MCQUAD & AMANA F WANDER HEYDEN	214 OLD DOWER ROAD, ROCHESTER, NH 03667-4549

DRIVEWAY PLAN & PROFILE
TAX MAP 253, LOT 47-13
30 BEASLEE ROAD

PREPARED FOR:
RONALD DAVID & MICHELLE BALCAR

APRIL 2021

SHEET 1 OF 2

FILE NO. 102
PLAN NO. C-3160
DWG NO. 20356

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948



The image contains two technical drawings of a fabric fence system. The left drawing is a cross-section showing a wooden stake driven into the ground, with a fabric fence panel attached. The panel is 36 inches high and 4 inches wide. The ground is composed of 3-inch minimum loam and seed on top, and 20 inches of clean granular backfill below. The fence is installed on a slope. The right drawing is a plan view showing the fence layout. It features three wooden stakes spaced 6 feet apart. Each stake is 36 inches high and 4 inches wide. The ground is 20 inches deep. The fence panels are 36 inches high and 4 inches wide. The total length of the fence is 6 feet maximum.

PROFILE

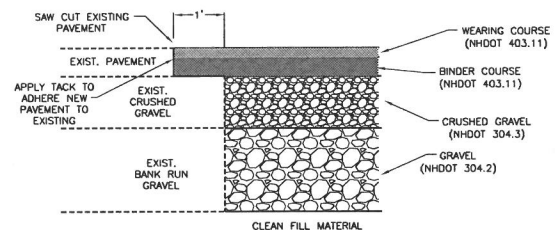
MAINTENANCE REQUIREMENTS:

1. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS;
2. SEDIMENT DEPOSITION SHALL BE REMOVED AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FENCE, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BACK TOWARD THE SILT FENCE.
3. SILT FENCES SHALL BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR AT THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
4. SHALL THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY; THE FABRIC SHALL BE USED TO REPAIR THE BARRIER.
5. IF ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SEED.
6. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
7. SILT FENCES HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT FENCE SHALL BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

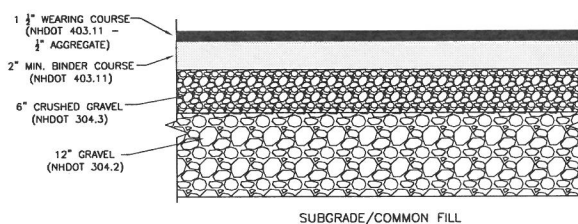
CONSTRUCTION SPECIFICATIONS:

- A. FENCE SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR CHANNEL MAY BE FORMED BY THE FENCE. SEDIMENT BARRIERS SHALL BE INSTALLED IN AREAS WHERE THERE IS A CONCERN OF TURBIDITY OF THE CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE.
- B. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1 ACRE PER 100 LINEAR FEET OF FENCE;
- C. THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHALL BE 100 FEET;
- D. THE MAXIMUM SLOPE ABOVE THE FENCE SHALL BE 2:1;
- E. FENCES SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, AND
- F. THE SLOPE OF THE FENCE SHALL BE FLARED UPWARD.
- G. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 4 INCHES IN DEPTH AND INCHES IN WIDTH IN A TRENCH EXCAVATED INTO THE GROUND, OR IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, THE BASE OF THE FABRIC SHALL BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STEEL POSTS.
- H. THE SOIL SHALL BE COMPACTED OVER THE EMBEDDED FABRIC.
- I. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 8 FEET.
- J. THE ENTIRE SECTION OF THE FENCE SHALL BE OVERLAPPED BY A MINIMUM OF 6 INCHES (24 inches IS PREFERRED), FOLDED AND STAPLED TO A SUPPORT POST. IF METAL POSTS ARE USED, FABRIC SHALL BE WIRE-TIED DIRECTLY TO THE POSTS WITH THREE DIAGONAL TIES.
- K. THE FABRIC SHALL BE STAPLED OR WAIRED TO TREES, NOT TO EXCEED 10 FEET FROM THE TREE.
- L. THE FIBER FABRIC SHALL BE PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.
- M. THE FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A RATE OF 1/2 INCHES PER YEAR.
- N. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH DIAMETER WOOD OR 1.33 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE OR FABRIC.
- O. THE HEIGHT OF THE FENCE SHALL NOT EXCEED 36 INCHES AS TO BE EFFECTIVE. FENCES OVER 36 INCHES HIGH MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
- P. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY; THE JOINT SHALL BE STAPLED OR WAIRED TOGETHER TO A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
- Q. A MANUFACTURED SILT FENCE SYSTEM WITH INTEGRAL POSTS MAY BE USED.
- R. POST SPACING SHALL NOT EXCEED 6 FEET.
- S. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UP GRADIENT FROM THE BARRIER.
- T. THE STANDARD STRENGTH OF FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POST, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 10 FEET INTO THE TRENCH.
- U. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- V. SILT FENCE MAY BE INSTALLED BY "SLICING" USING MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR THIS PROCEDURE. THE SLICING METHOD USES AN IMPLEMENTS TOWED BY A TRACTOR TO CUT A SLICE OF THE SOIL. THE SLICING METHOD DOES NOT DISRUPT THE SOIL UPWARD AND SLIGHTLY DISRUPTS THE SOIL DOWNWARD.
- W. THE SOIL, MAINTAINING THE SOIL'S PROFILE AND CREATING AN OPTIMAL CONDITION FOR SUBSEQUENT MECHANICAL COMPACTION.
- X. SILT FENCES SHALL BE INSTALLED WITH "SMILES" OR "J-HOOKS" TO REDUCE THE DRAINAGE AREA THAT ANY SEGMENT WILL IMPOUND.
- Y. THE END OF THE TRENCH SHALL BE TURNED UPWILL.
- Z. SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE M ALLOW SPACE FOR SHALLOW PONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.
- AA. SILT FENCES SHALL BE USED ONLY IF THEY HAVE SERVED THEIR PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

31 Mooney Street, Alton, N.H. 603-875-3948



NOT TO SCALE



NOT TO SCALE

PAYMENT NOTES:

1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
4. PAYMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

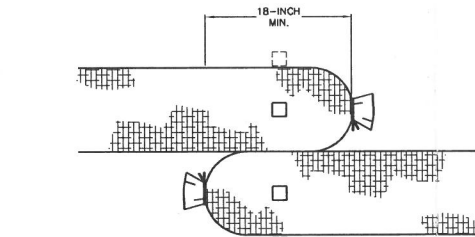


Diagram illustrating the installation of a filter sock on a slope. The diagram shows a cross-section of the ground with an existing ground surface and a proposed slope. A 2" x 2" x 36" hardwood stake, 10-FT O.D., is driven into the ground. A filter sock filled with erosion control mix is placed over the stake. The slope is marked as 2:1 MAX. 100-FT. A 6-FT TO 2:1 SLOPE is indicated for the area where the filter sock is installed.

CONTINUOUS CONTAINED BERM (FILTER SOCK ALTERNATIVE):

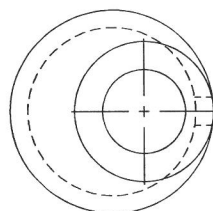
1. AN ALTERNATIVE PRODUCT, THE CONTINUOUS CONTAINED BERM (OR "FILTER SOCK") CAN BE AN EFFECTIVE SEDIMENT BARRIER AS IT ADDS CONTAINMENT AND STABILITY TO A BERM OF EROSION CONTROL MIX.
2. IN THE EVENT THAT USE OF CONTINUOUS CONTAINED BERM IS DESIRED, THE PRODUCT SELECTED SHOULD BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER.
3. INSTALLATION OF CONTINUOUS CONTAINED BERMS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER.

MAINTENANCE REQUIREMENTS:
1. FILTER SOCK MAINTENANCE SHALL FOLLOW THE SAME SCHEDULE AS EROSION CONTROL MIX BERMS.

CONSTRUCTION SPECIFICATIONS:

1. COMPOSITION OF THE EROSION CONTROL MIX SHALL EITHER BE THE SAME AS EROSION CONTROL MIX BERM MATERIAL OR AS SPECIFIED BY THE FILTER SOCK MANUFACTURER.
2. THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR.
3. IT MAY BE NECESSARY TO CUT TALL GRASSES AND WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES IN THE BARRIER THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
4. FILTER SOCK DENSITY (HEIGHT) SHALL BE PER THE MANUFACTURER RECOMMENDATION FOR THE AREA OF INSTALLATION.

NOT TO SCALE

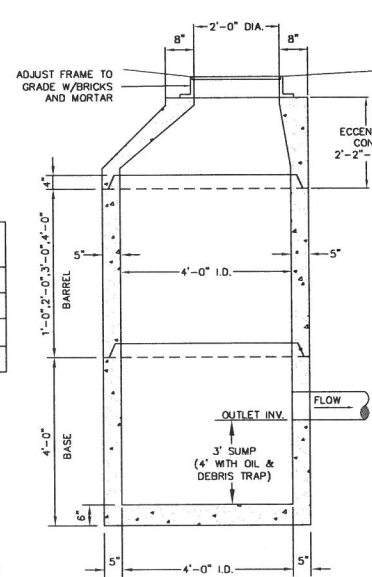


PLAN VIEW

DRAIN LINE DIAMETER	SUM OF DRAIN LINE DIAMETER	CATCH BASIN DIAMETER
15" to 18"	LESS THAN 54"	4'
21" to 27"	LESS THAN 72"	5'
30" to 33"	LESS THAN 90"	6'
36" & LARGER	GREATER THAN 90"	REFER TO THE STANDARD

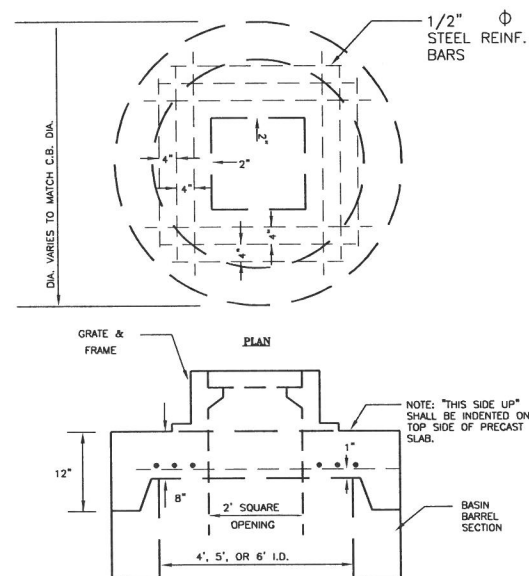
NOTES:

1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
2. REINFORCING: SHALL BE PROVIDED FOR H-20 LOADING.
3. SHIPLAP JOINTS SEALED WITH 1 STRIP OF BUTYL RUBBER SEALANT.
4. PIPE OPENINGS CAST IN AS REQUIRED.
5. RISER HEIGHT VARIES 1', 2', 3' OR 4' TO REACH DESIRED DEPTH.
6. PIPE CONNECTIONS SHALL BE MORTARED.
7. FRAMING SECTIONS SHALL CONFORM TO ASTM C-578.
8. SEE SLAB TOP DETAIL FOR STRUCTURES REQUIRING SLAB TOPS, I.E. DOUBLE GRATE AND FRAME STRUCTURES.



SECTION VIEW

NOT TO SCALE

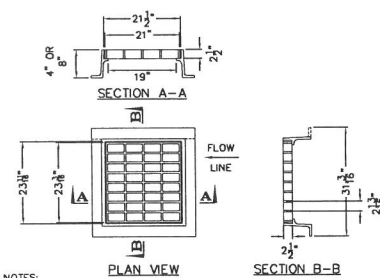


ELEVATION

NOTE:

1. SLAB TO BE PLACED IN LIEU OF TAPERED SECTION WHERE PIPE WOULD OTHERWISE ENTER INTO TAPERED SECTION OF THE STRUCTURE AND WHERE PERMITTED.
2. SLAB TOP MAY BE CASTED WITH MINIMUM OR NO INTERLOCKING CHANNEL. HOWEVER, THE CONTRACTOR MUST ENSURE THE SLAB TOP IS FIRMLY ATTACHED TO THE STRUCTURE.

NOT TO SCALE

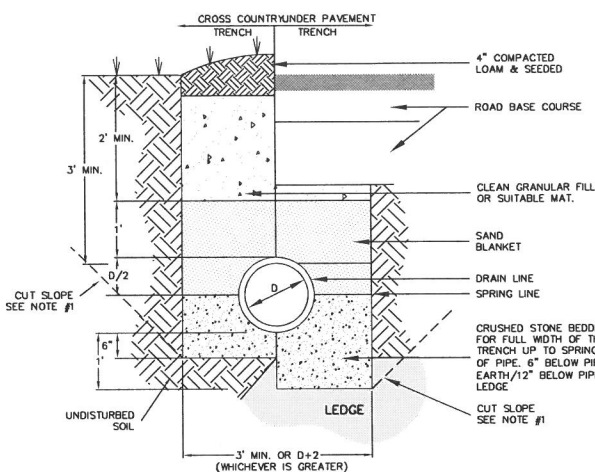


NOTES:

1. FRAME AND GRATE SHALL BE CAST IRON.
2. FRAME AVAILABLE IN 4" OR 8" HEIGHTS.
3. USE 3 FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.
4. ALL DIMENSIONS ARE NOMINAL.

NOT TO SCALE

DRAINAGE PIPE
TRENCH INSTALLATION DETAIL
NOT TO SCALE



NOTES:

1. PIPES MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4'-FT. INSTALLATIONS DEEPER THAN 4'-FT REQUIRE THE USE OF A TRENCH BOX.
2. PIPE MATERIALS SHALL BE AS SPECIFIED ON THE DESIGN PLAN.
3. SAND BLANKET MAY BE OMITTED FOR REINFORCED CONCRETE PIPE.

TAX MAP 253, LOT 47-13

20 PEASLEE ROAD

TOWN, NH

PREPARED FOR:
RONALD DAVID & MICHELLE BALCAR
APRIL 2021

SHEET 2 OF 2

2 Continental Blvd., Rochester, N.H. 603-335-3948