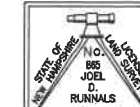


LAND SURVEYORS



CIVIL ENGINEERS

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.



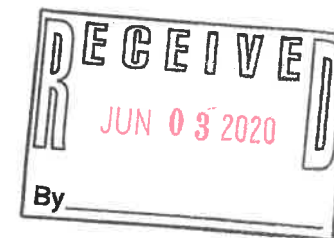
JOEL D. BUNALS, L.L.S. 086 DATE 04-09-2020

GENERAL PLAN NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 259, LOT 61 AND CREATE ONE NEW LOT 61-1.
2. DIMENSIONAL STANDARDS:
ZONE (A) AGRICULTURAL DISTRICT.
(CDD) CONSERVATION OVERLAY DISTRICT.
SINGLE FAMILY CONVENTIONAL SUBDIVISION, NEITHER MUNICIPAL WATER NOR SEWER.
LOT SIZE: 45,000 SF, FRONTAGE: 150', FY: 20', SY: 10', RY: 20', WETLAND BUFFER: 50'
3. PROPOSED LOT AREAS:
TAX MAP 259, LOT 61-0: OLD AREA: 123,290 +/- SF / 2.83 +/- ACRES.
PROPOSED AREA: 61,800 +/- SF / 1.42 ACRES.
TAX MAP 259, LOT 61-1: PROPOSED AREA: 61,490 +/- SF / 1.41 ACRES.
4. ORIENTATION: HORIZONTAL DATUM - ROCHESTER GIS / NAD83/2011. VERTICAL DATUM - NAVD83.
5. PARCELS ARE NOT LOCATED WITHIN (LOOSE FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NUMBER 33017C0195D EFFECTIVE ON 05-17-2005.
6. THE PARCELS ARE SERVICED BY INDIVIDUAL WATER AND SEWER SYSTEMS.
7. SOILS PER NRCS: (B2B) BLMWOOD FINE SANDY LOAM 3-8% SLOPES; (W2S) WINDSOR LOAMY SAND 15-60% SLOPES.
8. WETLANDS WERE DELINEATED BY JOSEPH W. NOEL, CWS 086, ON SEPTEMBER 09, 2019. WETLAND BUFFER PLACARDS WERE PLACED APPROXIMATELY EVERY 100 FEET ALONG THE 25' WETLAND BUFFER. THE INNER 25' BUFFER MUST REMAIN IN ITS NATURAL STATE.
9. ALL PROPOSED UTILITIES MUST BE INSTALLED UNDERGROUND.
10. THE EXISTING DRIVEWAY LOCATED ON HANSONVILLE ROAD SHALL BE ABANDONED. FUTURE DRIVEWAYS SHALL BE CONSTRUCTED ON JESSICA DRIVE AND BE APPROVED BY THE ROCHESTER PUBLIC WORKS DEPARTMENT.
11. NHDES SUBDIVISION APPROVAL NUMBER: 252020031801.
12. THE EXISTING WELL ON TAX MAP 259, LOT 61-0 WILL BE ONLY FOR NON-POTABLE WATER USES. TO CHANGE THIS STATUS TO POTABLE WATER USE WILL REQUIRE APPROVAL FROM NHDES SUBSURFACE WITH A FUTURE APPROVED SEPTIC SYSTEM DESIGN. TO CHANGE THE STATUS A SEPTIC DESIGN OUTSIDE OF THE PROTECTIVE WELL RADIUS WILL BE REQUIRED FROM NHDES.
13. FOR MORE INFORMATION ABOUT THIS PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, ANNEX BUILDING, 33 WAKEFIELD STREET, ROCHESTER, NH 03667. (603) 338-1338.

REFERENCE PLANS:

1. "ROCHESTER SOUTH SUBDIVISION PLAN FOR GRANITE STATE REALTY, ROCHESTER, N.H." DATED JUNE 1982, REV. JULY 1982 BY FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN 023A-0067
2. "ROCHESTER SOUTH PHASE II FOR ALBERT H. FONTNEAU, ROCHESTER, N.H." DATED MAY 1984 BY FREDERICK E. DREW ASSOCIATES S.C.R.D. PLAN 0022-0181



TAX MAP 259, LOT 61
OWNER OF RECORD:
JEFF & ANN TRUEWORTHY
8 STILLWATER CIRCLE
ROCHESTER, NH 03604-4961
S.C.R.D. BOOK 4685, PAGE 0392

SUBDIVISION OF LAND
HANSONVILLE ROAD
and JESSICA DRIVE
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR:
JEFF & ANN TRUEWORTHY

SCALE: 1" = 30' FEBRUARY 2020
GRAPHIC SCALE



REVISIONS: PLEASE RETURN
03-29-20 PER N.O.

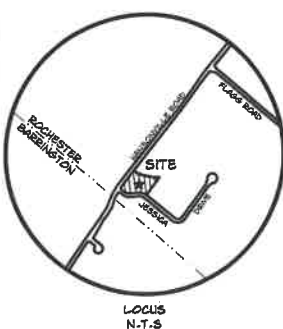
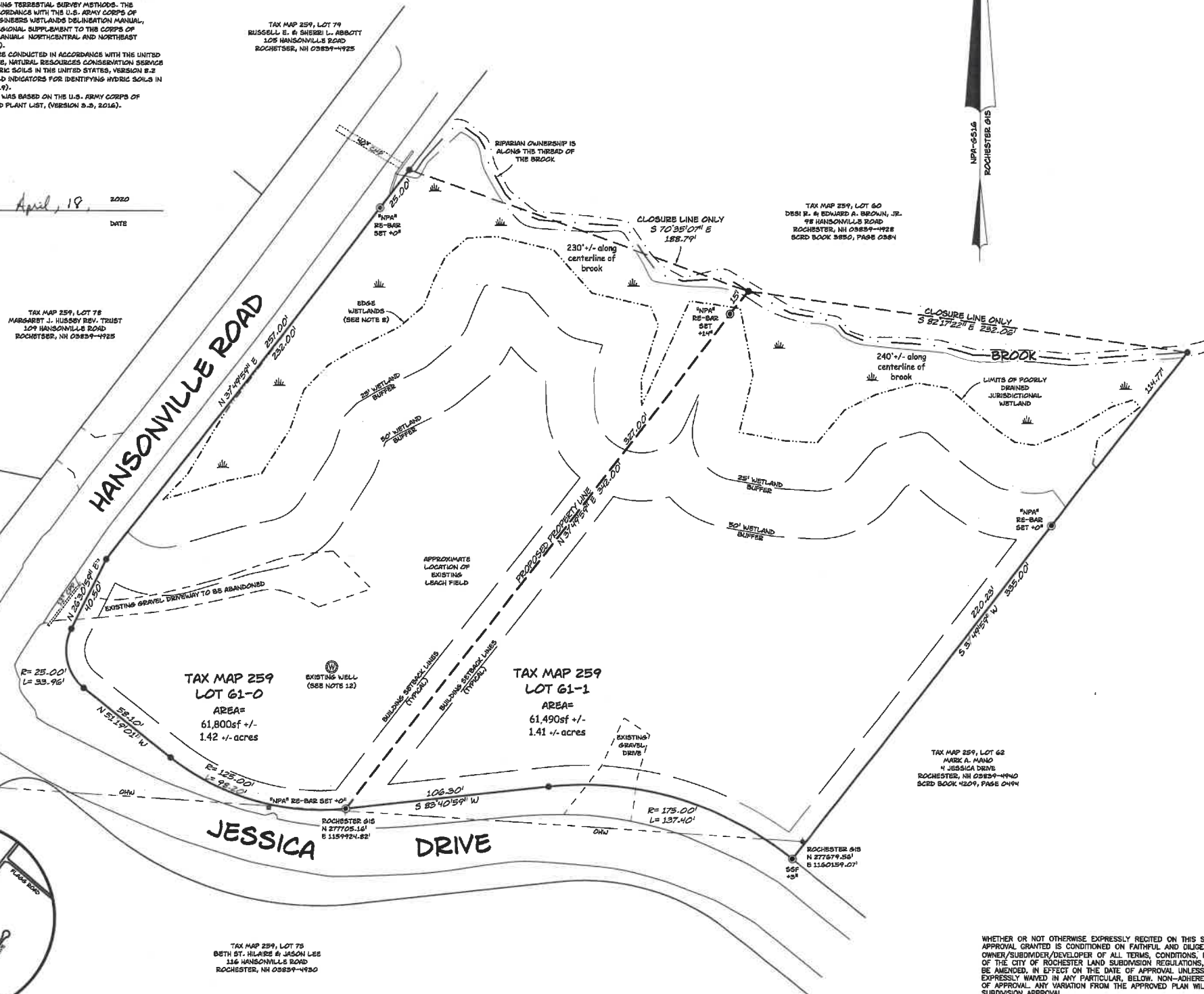
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

FINAL APPROVAL BY THE
ROCHESTER PLANNING BOARD ON 3/2/20
SIGNED BY: [Signature] DATE 5/7/20
NAME POSITION

LEGEND
"NPA" NORWAY PLAINS ASSOCIATES
RBF RE-BAR FOUND
RBS RE-BAR SET
SBF STEEL STAKE FOUND
• NO MONUMENT SET
OHW OVERHEAD WIRES

THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST 8037 AND NH CERTIFIED WETLAND SCIENTIST 8086, ON SEPTEMBER 9, 2019. THE FLAGS WERE SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. USING TERRESTRIAL SURVEY METHODS. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST AND NORTHEAST REGION, (VERSION 02, JANUARY 2015). HYDRIC SOIL DETERMINATIONS WERE CONDUCTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE DOCUMENT FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 5.2 (2016) ALONG WITH THE MANUAL FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND (VERSION 4, APRIL 2019). PLANT SPECIES INDICATOR STATUS WAS BASED ON THE U.S. ARMY CORPS OF ENGINEERS 2016, NATIONAL WETLAND PLANT LIST, (VERSION 3.3, 2016).

STATE OF NEW HAMPSHIRE
JOSEPH W. NOEL
No. 086
JOSEPH W. NOEL, CWS 086
DATE April, 19, 2020



FILE NO. 105
PLAN NO. C-3019-S1
DWG NO. 19220-LDD\S-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

KOD# 121-17

LEGEND

TBS MONUMENT TO BE SET
RBF RE-BAR FOUND
SSF STEEL STAKE FOUND
● NO MONUMENT SET
CHW OVERHEAD WIRES
AaA NRCS SOIL TYPE
••• NRCS SOIL BOUNDARY

THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST #017 AND NH CERTIFIED WETLAND SCIENTIST #096, ON SEPTEMBER 9, 2019. THE FLAGS WERE SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. USING TERRESTRIAL SURVEY METHODS. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, (VERSION 02, JANUARY 2012). HYDRIC SOIL DETERMINATIONS WERE CONDUCTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE DOCUMENT FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 6.2 (2018) ALONG WITH THE MANUAL FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND (VERSION 4, APRIL 2019). PLANT SPECIES INDICATOR STATUS WAS BASED ON THE U.S. ARMY CORPS OF ENGINEERS 2016, NATIONAL WETLAND PLANT LIST, (VERSION 3.5, 2016).



JOSEPH W. NOEL, CSS 086

2020

DATE

TAX MAP 259, LOT 78
MARGARET J. HESSLEY REV. TRUST
109 HANSONVILLE ROAD
ROCHESTER, NH 03859-1925

TAX MAP 259, LOT 76
BETTY & JAMES KESKAN
115 HANSONVILLE ROAD
ROCHESTER, NH 03859

TAX MAP 259, LOT 79
RUSSELL S. & SHERRI L. ABBOTT
105 HANSONVILLE ROAD
ROCHESTER, NH 03859-1925

TAX MAP 259, LOT 60
DESI R. & EDWARD A. BROWN, JR.
78 HANSONVILLE ROAD
ROCHESTER, NH 03859-1925
SCD BOOK 3850, PAGE 0384

TAX MAP 259, LOT 62
MARK A. RAND
4 JESSICA DRIVE
ROCHESTER, NH 03859-1940
SCD BOOK 4204, PAGE 0444

TAX MAP 259, LOT 61
OWNER OF RECORD:
JEFF & ANN TRUEWORTHY
8 STILLWATER CIRCLE
ROCHESTER, NH 03859-1961
S.C.R.D. BOOK 4685, PAGE 0392

NHDES SUBDIVISION OF LAND
HANSONVILLE ROAD
and JESSICA DRIVE
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR:
JEFF & ANN TRUEWORTHY

SCALE: 1" = 30' MARCH 2020
GRAPHIC SCALE



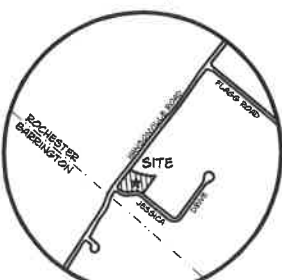
REVISIONS:
03-18-20 REVISE NOTES CONCERNING
THE EXISTING WELL ON LOT 61-0.

GENERAL PLAN NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 259, LOT 61 AND CREATE ONE NEW LOT 61-1.
2. DIMENSIONAL STANDARDS.
ZONE (A) AGRICULTURAL DISTRICT.
(COD) CONSERVATION OVERLAY DISTRICT.
SINGLE FAMILY CONVENTIONAL SUBDIVISION, NEITHER MUNICIPAL WATER NOR SEWER:
LOT SIZE= 45,000 SF, FRONTAGE= 150', FY= 20', SY= 10', RY= 20', WETLAND BUFFER= 50'
PROPOSED LOT AREAS:
TAX MAP 259, LOT 61-0: OLD AREA= 123,290 +/- sf / 2.83 +/- acres.
PROPOSED AREA= 61,800 +/- sf / 1.42 acres.
TAX MAP 259, LOT 61-1: PROPOSED AREA= 61,490 +/- sf / 1.18 acres.
3. ORIENTATION: HORIZONTAL DATUM - ROCHESTER GIS / NHSPC2800.
VERTICAL DATUM - NAVD83.
4. PARCELS ARE NOT LOCATED WITHIN (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NUMBER 3801700195D EFFECTIVE ON 05-17-2005.
5. THE PARCELS ARE SERVICED BY INDIVIDUAL WATER AND SEWER SYSTEMS.
6. SOILS PER NRCS (608) ELKWOOD FINE SANDY LOAM 3-8 % SLOPES;
(WDE) WINDSOR LOAMY SAND 15-60 % SLOPES.
7. WETLANDS WERE DELINEATED BY JOSEPH W. NOEL, CSS 086, ON SEPTEMBER 09, 2019. WETLAND BUFFER PLACARDS SHALL BE PLACED ALONG THE 25' WETLAND BUFFER. THE INNER 25' BUFFER MUST REMAIN IN ITS NATURAL STATE.
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12. FOR MORE INFORMATION ABOUT THIS PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, ANNEX BUILDING, 33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603) 335-1338.

REFERENCE PLANS:

1. "ROCHESTER SOUTH SUBDIVISION PLAN FOR GRANITE STATE REALTY, ROCHESTER, N.H." DATED JUNE 1982, REV. JULY 1982 BY FREDERICK E. DREW ASSOCIATES
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2. "ROCHESTER SOUTH PHASE II FOR ALBERT H. FONTNEAU, ROCHESTER, N.H." DATED MAY 1984 BY FREDERICK E. DREW ASSOCIATES
S.C.R.D. PLAN 0022-0181



REVIEWED AND APPROVED
IN ACCORDANCE WITH THE
REQUIREMENTS OF THE
NH DEPT. OF ENVIRONMENTAL SERVICES
WATER DIVISION
FILE # 202001801
PLAN # 03-18-20
DWC [Signature]
DATE 03/18/20

#eSA202001801 onny Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948