

City of Rochester, New Hampshire

Property information

Size of site: 1.779 acres; overlay zoning district(s)? FHOD

Property owner

Telephone #: _____ Email: mbherbert@comcast.net

Applicant/developer (if different from property owner)

Telephone #: 603) 926-7770 Email: jmitchellsme@gmail.com

Engineer/designer

Email address: fmonterio@gpinet.com Professional license #: NH# 7152

Proposed activity (check all that apply)

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

Describe proposed activity/use: Proposed 4,350sf convenience store with deli including 12 indoor seats and 16 exterior seats, plus a retail motor fueling facility with five fuel dispenser islands (10 fueling locations) and overhead canopy.

Describe existing conditions/use (vacant land?): Currently vacant consisting primarily of old pavement and gravel.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? _____

City sewer? yes ☒ no ☐; How far is City sewer from the site? _____

If City water, what are the estimated total daily needs? 1,213 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? To existing municipal drainage onsite & along the Rte 125 frontage

Building information

Type of building(s): Convenience Store (single story) Canopy (flat roof)

Building height: C-Store=32'-2" +/- ; Canopy=20' +/- Finished floor elevation: C-Store=189.50

Other information

parking spaces: existing: 0 total proposed: 29; Are there pertinent covenants? NO

Number of cubic yards of earth being removed from the site _____

Number of existing employees: 0; number of proposed employees total: 6 (max shift)

Check any that are proposed: variance ☒; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? NO; area to be filled: _____; buffer impact? N/A

Proposed <i>post-development</i> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	C-STORE = 4,350 SF CANOPY = 3,430 SF	5.6% 4.5%
Parking and vehicle circulation	29,476 SF	38%
Planted/landscaped areas (excluding drainage)	17,190 SF	22.2%
Natural/undisturbed areas (excluding wetlands)	15,491 SF	20%
Wetlands	3,822 SF	4.9%
Other – drainage structures, outside storage, etc.	3,704 SF	4.8%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

See attached Waiver Requests.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: See Letter of Authorization

Date: _____

Signature of applicant/developer: [Signature]

Date: January 31, 2020

Signature of agent: _____

Date: [Signature]

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

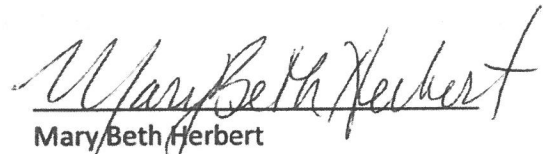
Signature of property owner: [Signature]

Date: January 31, 2020

LETTER OF AUTHORIZATION

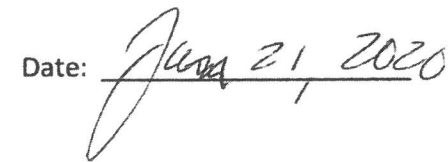
717 Columbus Avenue, Rochester, NH

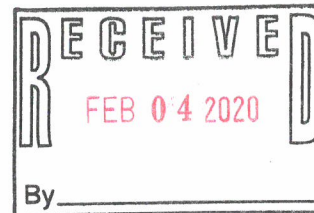
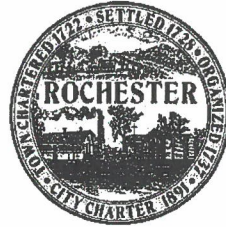
I, Mary Beth Herbert of 717 Columbus Avenue, LLC, as current owner of the property at 717 Columbus Avenue, Parcel ID: 0131-0007-000 (the "Property"), do hereby authorize 717 Rochester Holdings, LLC and/or Tropic Star Development and its engineers (GPI) and attorney (Cronin, Bisson & Zalinsky, P.C.) to act on our behalf and as our agent concerning applications for any local or state approvals.



Mary Beth Herbert
717 Columbus Avenue, LLC

Date:





Conditional Use Permit Application
City of Rochester, New Hampshire

Date: 02/04/2020

Property information

Tax map #: 131; Lot #'s: 7; Zoning district: NMU

Property address/location: 717 Columbus Avenue

Name of project (if applicable): _____

Property owner

Name (include name of individual): 717 Columbus Avenue, LLC, Mary Elizabeth Hebert, Manager

Mailing address: 112 Gates Street, Portsmouth, NH 03801

Telephone #: _____ Fax: _____

Applicant/developer (if different from property owner)

Name (include name of individual): 717 Rochester Holdings, LLC, Scott Mitchell, Manager

Mailing address: 321 Lafayette Road, Suite D, Hampton, NH 03842

Telephone #: (603) 624-4333 (Counsel) Fax #: (603) 623-5626 (Counsel)

Engineer/designer

Name (include name of individual): Patrick McLaughlin, Greenman-Pedersen, Inc.

Mailing address: 44 Stiles Road, Suite One, Salem, NH 03079

Telephone #: (603) 893-0720 Fax #: _____

Email address: pmclaughlin@gpinet.com Professional license #: 15769

Proposed Project

Please describe the proposed project: Construct a 4,350 square foot convenience store over 75' in length

with deli, including 12 interior seats and 16 exterior seats, together with a gas station consisting of five pump islands

with limited parking in the side yard of the Property.

Please describe the existing conditions: An undeveloped lot

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: Daniel Muller (Counsel)

Date: 2/4/2020

ATTACHMENT TO CONDITIONAL USE PERMIT APPLICATION

717 Columbus Avenue, LLC is the record owner of an approximately 1.779 acre parcel known as 717 Columbus Avenue and identified in the City of Rochester assessing records as Tax Map 131, Lot 7 (the "Property"). The Property is bounded by public streets on three sides; namely, Old Gonic Road to the west, Brock Street to the north, and New Hampshire Route 125 a/k/a Columbus Avenue to the east. The Property is located within the Neighborhood Mixed Use zoning district, but the back portion of the Property borders the Residential-2 zoning district to the south and west. There are existing trees along the rear lot line of the Property and the Property slopes downhill from Old Gonic Road to a small wetland. The Property currently may be accessed from Old Gonic Road.

717 Rochester Holdings, LLC (the "Applicant") intends to construct a convenience store and gas station on the Property with access from Columbus Avenue. The Zoning Board of Adjustment approved a variance for this use on November 14, 2018 and the proposed development contemplates the elimination of access from Old Gonic Road. The proposed convenience store and gas station would be served by twenty-nine parking spaces, including eight parking spaces in the side yard.

The Applicant seeks a conditional use permit from Section 275-5.5(C)(3)(a) to allow a parking spaces in the side yard.

CONDITIONAL USE PERMIT ELEMENTS

1. The departure from standards is specifically authorized by the Zoning Ordinance.

Section 275-5.5(C)(3)(a) expressly authorizes the Board to allow for parking in the side yard by conditional use permit.

2. The proposal is consistent with the purpose and intent of this chapter.

The proposed side yard parking is a part of a larger effort to preserve the rear portion of the Property. The rear of the Property abuts a residential zoning district and a residential street. The rear of the Property adjacent to Old Gonic Road and the Cedarbrook Village Condominium is wooded and, therefore, will provide a buffer between the proposed development and the residential properties. Preserving the rear portion of the Property will also help in affording the development more of a small scale feel by keeping a portion of the Property undeveloped and natural. This is the type of feel that the NMU zoning district intends for development therein. As such, the provision of parking spaces in the side yard as a part of this larger effort is consistent with the purpose and intent of the NMU zoning district.

3. The proposal is consistent with the purpose and intent of the Master Plan.

The Master Plan referred to the NMU zoning district as the Neighborhood Commercial district. The description of that district in the Master Plan more or less mirrors the provisions of the current Zoning Ordinance. As such, for the reasons set forth above, the proposal is also consistent with the Master Plan that guided the creation of the NMU zoning district.

4. The proposal is compatible with general dimensional, use and design characteristics of the neighborhood and surrounding area.

The proposed parking area in the side yard is a relatively small parking area with eight spaces, which two adjacent to the vacuum and air unit. The proposed parking area does not sit on the property line or even at the very bottom of the slope adjacent to Brock Street, but rather will have green space next to it. The parking area will sit next to a patio with outdoor seating and will be screened from Old Gonic Road and the residential properties thereon by the existing trees. Other properties in the immediate area have parking in the side yard and those parking areas do not necessarily have the same screening or surrounding green space or hardscaping as the proposed parking area. As such, the proposed parking area in the side yard is compatible with general dimensional, use and design characteristics in the area.

5. The proposal will not adversely impact the quality of the streetscape.

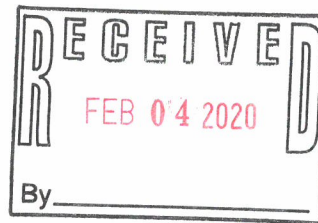
A small parking area next to an outdoor patio with seating and otherwise surrounded by green space will appear to be a natural part of the development from the street. The parking area will not crowd the easterly lot line or even the base of the slope running down from Brock Street. It will allow certain improvements typically associated with a gas station such as a vacuum and air station to be spread out over the development. The parking area will balance out a small loading and dumpster area on the other side of the proposed convenience store. As such, the parking area will not adversely impact the streetscape.

6. The use or departure will not have a significantly adverse impact upon natural, scenic, historic, or cultural resources and can be designed with sensitivity to environmental constraints.

The rear of the Property is the portion of the Property with the majority of the natural and environmentally sensitive features. Allowing a portion of the parking to be located in the side yard preserves the natural buffer between the proposed development and nearby residential properties. It also keeps features associated with parking areas like lighting further away from residential areas and closer to commercial areas where lighting is more common. In short, allowing parking in the side yard here enhances the protection of natural areas of the Property and those areas which might be environmentally sensitive, like the small wetland.

7. The use does not place an undue burden upon the City's resources, including the effect on the City's water supply and distribution system, sanitary and storm sewage collection and treatment systems, fire protection, police protection, streets and schools.

Allowing parking in the side yard adjacent to Brock Street will not burden municipal resources at all. The area is offset from the gas station canopy meaning that the view of the same for law enforcement purposes will not be impeded from Columbus Avenue. There is nothing that would impede access to this parking area for emergency vehicles in general. The parking area would be connected to the paved parking area out front meaning that runoff from the entire paved area may be readily handled through a single drainage system. There are no buildings diverting the flow of a portion of the runoff. The proposed parking has no foreseeable effect on other municipal resources.



Conditional Use Permit Application
City of Rochester, New Hampshire

Date: 02/04/2020

Property information

Tax map #: 131; Lot #'s: 7; Zoning district: NMU

Property address/location: 717 Columbus Avenue

Name of project (if applicable): _____

Property owner

Name (include name of individual): 717 Columbus Avenue, LLC, Mary Elizabeth Hebert, Manager

Mailing address: 112 Gates Street, Portsmouth, NH 03801

Telephone #: _____ Fax: _____

Applicant/developer (if different from property owner)

Name (include name of individual): 717 Rochester Holdings, LLC, Scott Mitchell, Manager

Mailing address: 321 Lafayette Road, Suite D, Hampton, NH 03842

Telephone #: (603) 624-4333 (Counsel) Fax #: (603) 623-5626 (Counsel)

Engineer/designer

Name (include name of individual): Patrick McLaughlin, Greenman-Pedersen, Inc.

Mailing address: 44 Stiles Road, Suite One, Salem, NH 03079

Telephone #: (603)893-0720 Fax #: _____

Email address: pmclaughlin@gpinet.com Professional license #: 15769

Proposed Project

Please describe the proposed project: Construct a 4,350 square foot convenience store over 75' in length

with deli, including 12 interior seats and 16 exterior seats, together with a gas station consisting of five pump islands

with said store being constructed outside of build to zone

Please describe the existing conditions: An undeveloped lot

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: Daniel Muller (Counsel)

Date: 2/4/2020

ATTACHMENT TO CONDITIONAL USE PERMIT APPLICATION

717 Columbus Avenue, LLC is the record owner of an approximately 1.779 acre parcel known as 717 Columbus Avenue and identified in the City of Rochester assessing records as Tax Map 131, Lot 7 (the "Property"). The Property is bounded by public streets on three sides; namely, Old Gonic Road to the west, Brock Street to the north, and New Hampshire Route 125 a/k/a Columbus Avenue to the east. The Property is located within the Neighborhood Mixed Use zoning district, but the back portion of the Property borders the Residential-2 zoning district to the south and west. There are existing trees along the rear lot line of the Property and the Property slopes downhill from Old Gonic Road to a small wetland. The Property currently may be accessed from Old Gonic Road.

717 Rochester Holdings, LLC (the "Applicant") intends to construct a convenience store and gas station on the Property with access from Columbus Avenue. The Zoning Board of Adjustment approved a variance for this use on November 14, 2018 and the proposed development contemplates the elimination of access from Old Gonic Road. The proposed convenience store building would be 4,350 square feet and 87 feet in length.

The Applicant seeks a conditional use permit from Section 275-5.5(C)(4)(a) to allow a building more than 4,000 square feet in size and having building frontage of more than 75 feet.

CONDITIONAL USE PERMIT ELEMENTS

1. The departure from standards is specifically authorized by the Zoning Ordinance.

Section 275-5.5(C)(4)(a) expressly authorizes the Board to allow for a departure from the 4,000 square foot limit on building size and the 75 foot limit on building frontage.

2. The proposal is consistent with the purpose and intent of this chapter.

The NMU zoning district is intended for smaller scale non-residential development to largely serve adjacent residential neighborhoods with small convenience stores among the allowed uses. Zoning Ordinance 275-5.5(B)(1), (2). The Property here abuts, in part, a residential neighborhood, but is located on a main street. Consistent with its location adjacent to a residential neighborhood, but on a main street, Columbus Avenue a/k/a N.H. Route 125, the Applicant intends to construct a small convenience store as well as a gas station.

The proposed building exceeds the maximum only by three hundred and fifty square feet. The Applicant indeed has reduced the size for the proposed building over time. The proposed building will not feel large in scale and is smaller than other buildings in the immediate area and in the NMU zoning district. Furthermore, in effort to afford the development more of a neighborhood feel, the Applicant has included a patio area with outdoor seating adjacent to the proposed building. Furthermore, in term of perceived scale, the Property is one of the larger lots

in the immediate area and the Applicant has eliminated a drive through element from earlier plans such that the rear portion of the Property will not be paved or cleared. Furthermore, an access from Old Gonic Road will be eliminated. In short, while the proposed building may exceed dimensional limitations to a limited extent, it will appear small in scale given the design of the development and the limited area of the Property to be dedicated to that development. Accordingly, the proposal will be consistent with the purpose and intent of the NMU provisions.

3. The proposal is consistent with the purpose and intent of the Master Plan.

The Master Plan referred to the NMU zoning district as the Neighborhood Commercial district. The description of that district in the Master Plan more or less mirrors the provisions of the current Zoning Ordinance. As such, for the reasons set forth above, the proposal is also consistent with the Master Plan that guided the creation of the NMU zoning district.

4. The proposal is compatible with general dimensional, use and design characteristics of the neighborhood and surrounding area.

While the proposed building is larger than some existing buildings in the surrounding NMU zoning district, it is smaller than a number of buildings as well. For example, the proposed convenience store is significantly smaller than both the Advanced Auto Parts building across Brock Avenue and the Wild Willy's across Columbus Avenue from the Property. In addition, the convenience store features both indoor and outdoor seating that make the development more attractive to persons in the surrounding area in terms of use.

5. The proposal will not adversely impact the quality of the streetscape.

While it is currently vacant, there is existing concrete encumbering portions of the Property near Columbus Avenue which detracts from the aesthetics of the Property. That concrete would be removed and the Applicant would enhance the quality of the streetscape through its proposed development. For example, the convenience store building will employ a variety of material to create an attractive front façade to the building. The development includes an outdoor patio area with seating which again enhances the attractiveness of the development and makes the same more pedestrian friendly. Rather than develop the entirety of the Property, the rear access to the Property will be eliminated and the existing tree line towards the back of the Property will be maintained. In short, the proposal should enhance the quality of the streetscape.

6. The use or departure will not have a significantly adverse impact upon natural, scenic, historic, or cultural resources and can be designed with sensitivity to environmental constraints.

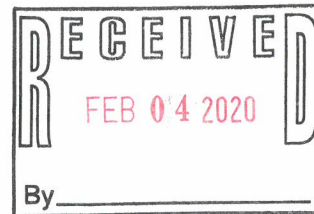
The departures from the building length and the overall square footage standards will not have an adverse impact, let alone a significant adverse impact, on natural, scenic, historic or cultural resources. The Property is currently vacant although portions of it are encumbered by concrete. The proposed building will not be located adjacent to any residential properties. Likewise, the departures will not cause the proposed building to be located in any environmentally sensitive areas. Indeed, the proposed building is being constructed away from a small wetland on the Property and outside the portion of the Property within the floodplain overlay district. Similarly, the departure from the general building standards does not push other parts of the development into any sensitive areas.

7. The use does not place an undue burden upon the City's resources, including the effect on the City's water supply and distribution system, sanitary and storm sewage collection and treatment systems, fire protection, police protection, streets and schools.

The increased length of the building façade and small increase from the maximum square footage will have no impact upon City resources. The building will still be smaller in scale than others in the immediate area. As is evident from the building elevations, the building will still appear to be a small convenience store.

8. The intent of providing smaller-scale building in the NMU zone is met through special design approaches.

Although the façade will be 87 feet long rather than 75 feet long and the building will have 4300 square feet rather than 4000 square feet, the building will still appear as a small convenience store. As is evident from the building elevations, the design of the building does nothing to suggest a large scale commercial outfit let alone a box store feel. In addition, the additional square footage and length will allow the convenience to accommodate some indoor seating consistent with the intent of the NMU to provide for services friendly to nearby residential properties. Similarly, the outdoor seating associated with the convenience store will not only further this intent even more, but will provide a green space next to the building which should help the building fit in with the green area behind it. The proposed building will not be situated close to any setback line so that there will be no feeling of overcrowding. In addition, the Property itself is one of the larger lots in the area and, as such, a single building slightly larger than allowed will still not feel large. In sum, notwithstanding the minimal departures, the proposed building will still feel and look like the smaller scale building that is intended for the NMU.



Conditional Use Permit Application
City of Rochester, New Hampshire

Date: 02/04/2020

Property information

Tax map #: 131; Lot #(s): 7; Zoning district: NMU

Property address/location: 717 Columbus Avenue

Name of project (if applicable): _____

Property owner

Name (include name of individual): 717 Columbus Avenue, LLC, Mary Elizabeth Hebert, Manager

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Engineer/designer

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Telephone #: (603) 893-0720 Fax #: _____

Email address: pmclaughlin@gpinet.com Professional license #: 15769

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Please describe the existing conditions: An undeveloped lot

Submission of application

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Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: _____

Signature of agent: Daniel Muller (Counsel)

Date: 2/4/2020

ATTACHMENT TO CONDITIONAL USE PERMIT APPLICATION

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717 Rochester Holdings, LLC (the "Applicant") intends to construct a convenience store and gas station on the Property with access from Columbus Avenue. The Zoning Board of Adjustment approved a variance for this use on November 14, 2018 and the proposed development contemplates the elimination of access from Old Gonic Road. The proposed convenience store building would be 4,350 square feet and 87 feet in length.

The Applicant seeks a conditional use permit from Section 275-5.5(C)(2)(a) to allow a construction for the convenience store outside of the build to zone.

CONDITIONAL USE PERMIT ELEMENTS

1. The departure from standards is specifically authorized by the Zoning Ordinance.

Section 275-5.5(C)(2)(a) expressly authorizes the Board to allow for a departure from the build to zone requirement.

2. The proposal is consistent with the purpose and intent of this chapter.

The NMU zoning district is intended for smaller scale non-residential development to largely serve adjacent residential neighborhoods with small convenience stores among the allowed uses. Zoning Ordinance 275-5.5(B)(1), (2). The Property here abuts, in part, a residential neighborhood, but is located on a main street. Consistent with its location adjacent to a residential neighborhood, but on a main street, Columbus Avenue a/k/a N.H. Route 125, the Applicant intends to construct a small convenience store as well as a gas station towards the front of the Property.

From a practical perspective as well as consistent with the intent that development serve nearby residential properties, it makes no sense to construct the convenience store within 20 feet of the Columbus Avenue frontage and, as a result, have the gas pumps and the traffic related to the same behind that building and closer to the residential properties. Having the proposed convenience store set back from Columbus Avenue out of the build to zone allows for the gas

station portion of the use to be located closer to Columbus Avenue and adjacent to properties improved by non-residential uses. Accordingly, the proposal will be consistent with the purpose and intent of the NMU provisions.

3. The proposal is consistent with the purpose and intent of the Master Plan.

The Master Plan referred to the NMU zoning district as the Neighborhood Commercial district. The description of that district in the Master Plan more or less mirrors the provisions of the current Zoning Ordinance. As such, for the reasons set forth above, the proposal is also consistent with the Master Plan that guided the creation of the NMU zoning district.

4. The proposal is compatible with general dimensional, use and design characteristics of the neighborhood and surrounding area.

The immediate area surrounding the Property does not appear to have many buildings within the build to zone, whether it is the Advanced Auto Parts building or Wild Willey's. Once again, preserving the green space towards the rear of the Property near the residential properties appears to be a more compatible design in terms of surround properties than having gas pumps with canopies towards the rear of the Property and the traffic related to the same, including deliveries. In short, design considerations and the surrounding area suggest that building to the convenience store far enough back to allow the gas station portion of the proposed development to be adjacent to Columbus Avenue is the appropriate avenue in this case.

5. The proposal will not adversely impact the quality of the streetscape.

The Property has frontage on three streets, Old Gonic Road, Brock Street, and Columbus Avenue. The proposal enhances the streetscape along Old Gonic Road which serves residential properties. More specifically, the proposed development with the convenience store towards the middle of the Property allows for the gas station to be constructed along the more commercial Columbus Avenue while preserving the existing trees and green space towards the more residential Old Gonic Road. Furthermore, even though the front of the Property adjacent to Columbus Avenue will be improved with the gas pumps and canopies, the Applicant is not proposing an endless sea of asphalt along Columbus Avenue. The Applicant is preserving space along the perimeter of the Property, including along Columbus Avenue, which may be landscaped for the betterment of Columbus Avenue.

6. The use or departure will not have a significantly adverse impact upon natural, scenic, historic, or cultural resources and can be designed with sensitivity to environmental constraints.

The departure from the build to zone actually will benefit the natural or environmentally sensitive areas of the Property. The rear portion of the Property slopes down from Old Gonic Road to a small wetland as shown on the plan. The rear portion of the Property, which abuts residential properties, is also wooded. The departure would allow the gas station use to be located away from the small wetland and keep the wooded area off of Old Gonic Road intact. This would preserve the view from Old Gonic Road as well as from portions of Brock Street.

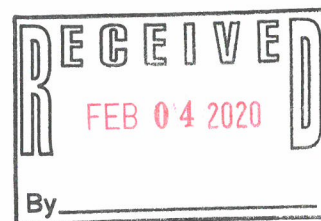
7. The use does not place an undue burden upon the City's resources, including the effect on the City's water supply and distribution system, sanitary and storm sewage collection and treatment systems, fire protection, police protection, streets and schools.

Building the convenience store outside of the build to zone will not unduly burden City resources and, in some cases, will facilitate the provision of City services. Given the topography of the Property, any utility or system connections would be made towards the Columbus Avenue frontage. The Applicant will bear the cost of connecting to any City utilities in Columbus Avenue. Given the topography of the Property with its significant slopes running down from Old Gonic Road as well as Brock Street, pushing the paved area associated with the gas station use towards the rear of the Property likely would potentially increase stormwater runoff issues or likely increase the complexity of handling such runoff as the gas station and the pavement associated with the same would likely have to connect to Columbus Avenue to either side of the convenience store. Having the gas station as well as the parking spaces for the convenience store behind the convenience store would require emergency vehicles to circle the convenience store for access. It would also impede the ability of law enforcement to readily inspect a significant portion of the use from the public street and might, in the event of criminal activity, encourage perpetrators to flee to the nearby residential properties behind the Property. The proposed store will not be so far back from the road that emergency personnel would have issues accessing or viewing the same from the street.

8. Strict compliance with the build to zone is not practical and would not further design considerations.

A convenience store with a gas station behind the same would be an anomaly. Patrons of gas stations are not looking to circle buildings to access a gas station. Given the nature of the business, the travelling public seeks easy access from the street to the gas station and easy access back out onto the street. Strict compliance with the build to zone would undermine the long-term viability of the use. Additionally, constructing the convenience store in the build to zone would push the gas station towards those parts of the Property which might not be the most suitable for the same. For example, constructing the gas station to the rear of the convenience store might push pavement or tanks closer to the small wetland on the Property. It also might

reduce the existing buffer in the back of the Property. It would undoubtedly lead to more lighting and traffic closer to residential properties. In short, strict compliance would neither be practical nor consistent with good design practices, particular, where one is attempting to fit in with nearby residential properties.



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name 717 Columbus Avenue

Case # _____

Subdivision: _____ Lot line revision: _____ Site Plan: ☒ Minor Site Plan: _____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Article 3, Section 14(B)(2) Spacing of Driveways requiring any new driveway be a minimum distance of 150 feet from an existing collector road measured from centerline to centerline _____

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request See attached _____

Name of applicant or agent filling out this form Daniel Muller, Esquire _____

Applicant? _____ Agent? ☒ Today's date 02/04/2020

----- Office use below -----

Waiver approved: _____ Waiver denied: _____

Comments: _____

Signature: _____ Date: _____

WAIVER ATTACHMENT

- (1) Strict compliance with the regulations would work an unnecessary hardship and a waiver would not be contrary to the spirit and intent of the regulations.

The Property is bounded on three sides by public streets, Old Gonic Road, Brock Street, and Columbus Avenue. However, Old Gonic Road serves predominantly residential neighborhoods and continued access from that road for commercial traffic would not likely be a welcome change for those neighborhoods and is contrary to policy in the Site Plan Regulations. Article III, Section 14(B)(4)(c). The Property slopes downhill from Brock Street to the extent that access to the Property from Brock Street is not feasible. As such, any access to the Property and the development thereon must be from Columbus Avenue.

The Property has a little over 260 feet of frontage on Columbus Avenue, where the Zoning Ordinance requires 60 feet for such properties. The Site Plan Regulations contemplate the potential of a second driveway accessing a property. However, the Regulations also suggest that any driveway be placed as far as possible from neighboring properties and the adjacent property, Tax Map 31, Lot 6 has development and parking close to the common boundary. In addition, the Regulations require a minimum separation of fifty feet between driveways where one driveway is a right in only driveway. It appears that the proposed primary driveway is in the area of an existing curb cut. On-site circulation is crucial to the functioning of any gas station and proper traffic circulation is something the Regulations look to achieve. The proposed five fuel dispenser islands would run from the area of the main entrance easterly. Having a second driveway will facilitate on-site circulation by allowing at least some traffic to access the development on the easterly end of the fuel pump islands. Given all of these considerations, a second access driveway has to be located within 150 feet of the Brock Street intersection, with Brock Street being an urban collector road.

However, the second driveway would be a right in only driveway and would only be accessible to traffic travelling south on Columbus Avenue given its proposed orientation. The limited access and design of the second driveway mitigate the safety concerns underlying the separation requirement. More specifically, being a right in only access, only vehicles travelling south on Columbus Avenue would be able to use the entrance. The driveway is designed so as not to impede the flow of southerly traffic by being angled such that vehicles need not as slow as much to safely enter into the driveway from Columbus Avenue. Furthermore, the proposed second driveway will be approximately two car lengths from the intersection. For traffic turning from Brock Street onto Columbus Avenue on a green light, that traffic will not be travelling at a high rate of speed at the proposed second driveway having just completed a turn. While there is a right turn on red at the Brock Street and Columbus Avenue intersection, a review of the traffic suggests that only one to three cars per minute make such a turn from Brock Street meaning that limited traffic will be impacted in that circumstance. Reference is made to the Applicant's traffic study for further evidence in support of this request. In sum, notwithstanding the reduced

distance, the second right in only driveway should not cause the issues which the Regulations seek to avoid and, therefore, a waiver is appropriate.

- (2) Alternatively, specific circumstances relative to the site plan or the conditions of the land in the site plan indicate that the waiver will properly carry out the spirit and intent of these regulations.

For the reasons set forth above, the specific circumstances relative to the site plan or the conditions of the land in the site plan indicate that a waiver will properly carry out the spirit and intent of the relevant regulation on driveway spacing.



City of Rochester, New Hampshire

Building, Zoning & Licensing Dept.
33 Wakefield Street * Rochester, NH 03867
(603) 332-3508

Web Site: www.rochesternh.net

Zoning Board of Adjustment Notice of Decision Case No 2018-12

November 14, 2018

2018-12 717 Columbus Avenue, LLC applicant for a Variance to permit a gas station, convenience store and restaurant with a drive-through in the Neighborhood Mixed Use Zone. According to Article 42, Table 18-B and Table 18-C.

Location: 717 Columbus Avenue, Rochester, NH 03867, 0131-0007-0000, in the NMU Zone.

The Variance was approved because it met all five criteria based on what the applicant presented.


Mr. Lawrence Spector - Chair
Rochester Zoning Board of Adjustment

It is the applicant's responsibility to obtain any applicable permits from local, state, and federal agencies. Contact the Department of Building, Zoning and Licensing Services at (603) 332-3508 ext. 1, to apply for any necessary permits and certificates. Any work completed within the thirty (30) day appeal period, explained below, is at your risk.

Note: Any person affected has a right to appeal this decision. A request for a rehearing is the first step of an appeal. The request must be submitted to the Department of Building, Zoning and Licensing within thirty (30) calendar days, starting the day after the decision is made. If a rehearing is not granted, the next step is to appeal to Superior Court within thirty (30) days. If a rehearing is granted, it is the responsibility of the original applicant to present the case to the Zoning Board, with the same obligations and following the same procedure used when the case was first heard.

cc: 717 Columbus Ave LLC
John Cronin, Esq
File

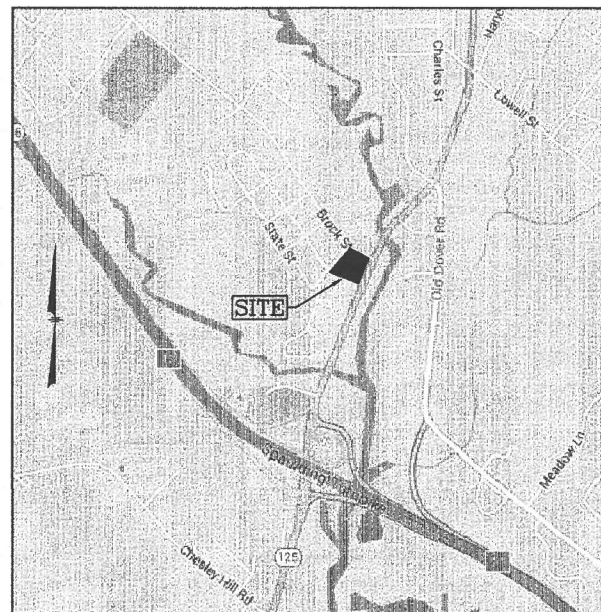
SITE DEVELOPMENT PLANS for PROPOSED RETAIL MOTOR FUEL OUTLET

TAX MAP 131 LOT 7
717 COLUMBUS AVENUE
ROCHESTER, NEW HAMPSHIRE 03867

Prepared for:

TROPIC STAR DEVELOPMENT, LLC

321D LAFAYETTE ROAD
HAMPTON, NH 03842



LOCATION MAP
NOT TO SCALE



INDEX TO DRAWINGS

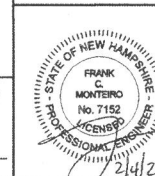
1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. GRADING & DRAINAGE PLAN
5. UTILITIES PLAN
6. EROSION & SEDIMENT CONTROL PLAN
7. LANDSCAPE PLAN
8. SITE DETAILS
9. SITE DETAILS
10. SITE DETAILS
11. SITE DETAILS
- 1 OF 1. TRUCK TURN PLAN
- 1 OF 1. SIGN & GRAPHICS PLAN
- 1 OF 1. LIGHTING PLAN (RL-6553-S1)
- 1 OF 1. BUILDING ELEVATIONS
- 1 OF 1. CANOPY ELEVATIONS

NO.	DESCRIPTION					BY	DATE		
REVISIONS									
TITLE SHEET									
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD HAMPTON, NH 03842									
GPI Engineering Design Planning Construction Management 603.893.0720 GPINET.COM								Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
NOT TO SCALE			DATE: FEBRUARY 4, 2020			DRAWING NO. 3988CVR			
DRAWN BY: CCC			CHECKED BY: FCM			PROJECT NO. 398816			
						SHEET NO. 1 OF 11			

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY:

DATE:



PLAN REFERENCES:

- 1) SITE PLAN, RICHARD DUFOUR, ROCHESTER, N.H.; DATED: 7-22-88; SCALE: 1"=20'; PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC.; ON FILE WITH THE CITY OF ROCHESTER.
- 2) STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLANS, NH PROJECT NO. 10620-D.
- 3) WATER MAIN AND SLUDGE LINE, CITY OF ROCHESTER, NH BROOK STREET AND GONIC STREET; DATED: JULY 1986; ON FILE AT ROCHESTER DPW.
- 4) CITY OF ROCHESTER, NEW HAMPSHIRE, ADDITIONS TO SEWER SYSTEM, PLAN AND PROFILE, OLD GONIC ROAD, LAWN & PARK AVENUE; REV. DATE: 10/9/81; ON FILE AT ROCHESTER DPW.
- 5) BROOK STREET RECONSTRUCTION WATER AND SEWER REPLACEMENT, WATER AND SEWER PLAN, DATED: 9/7/2012; ON FILE AT THE ROCHESTER DPW.
- 6) STRAFFORD COUNTY REGISTRY OF DEEDS (S.C.R.D.) PLAN 378A-1
- 7) S.C.R.D. PLAN 37A-106.
- 8) S.C.R.D. PLAN 51-1.
- 9) S.C.R.D. PLAN 61-79
- 10) S.C.R.D. PLAN 71-93.
- 11) S.C.R.D. PLAN 81-36.
- 12) S.C.R.D. PLAN 82-46.
- 13) S.C.R.D. PLAN 82-47.
- 14) S.C.R.D. PLAN 86-100.
- 15) S.C.R.D. PLAN 104-39.

OWNER OF RECORD:
717 COLUMBUS AVENUE, LLC
112 GATES ST
PORTSMOUTH, NH 03801
BOOK 4484 PAGE 81

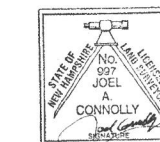
LOCATION MAP (NOT TO SCALE)

NOTES:

- 1) ZONE: NEIGHBORHOOD MIXED USE DISTRICT (NMU)
MIN. LOT SIZE: 6,000 Sq.Ft.
MIN. LOT FRONTAGE: 60 Ft.
SETBACKS:
FRONT 0 Ft. MIN./25 Ft. MAX
SIDE 5 Ft.
REAR (10 Ft. WHEN ADJOINING R2 DISTRICT (FIVE- OR MORE FAMILY) 20 Ft.)
- 2) REFER TO THE CITY OF ROCHESTER ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
- 3) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN OCTOBER 31 AND NOVEMBER 12, 2019.
- 4) WETLANDS SHOWN HEREON WERE DELINEATED BY SEEKAMP ENVIRONMENTAL CONSULTING, INC. ON OCTOBER 30, 2019 AND LOCATED BY THIS OFFICE.
- 5) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON OCTOBER 31, 2019.
- 6) ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON OCTOBER 31, 2019 (CONVERTED USING NGS VERTCON).
- 7) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
- 8) A PORTION OF THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33017C0211D, WITH AN EFFECTIVE DATE OF MAY 17, 2005. BASE FLOOD ELEVATION (BFE) = 184.3' (NGVD29) PER FLOOD PROFILE 11P.

CERTIFICATION:

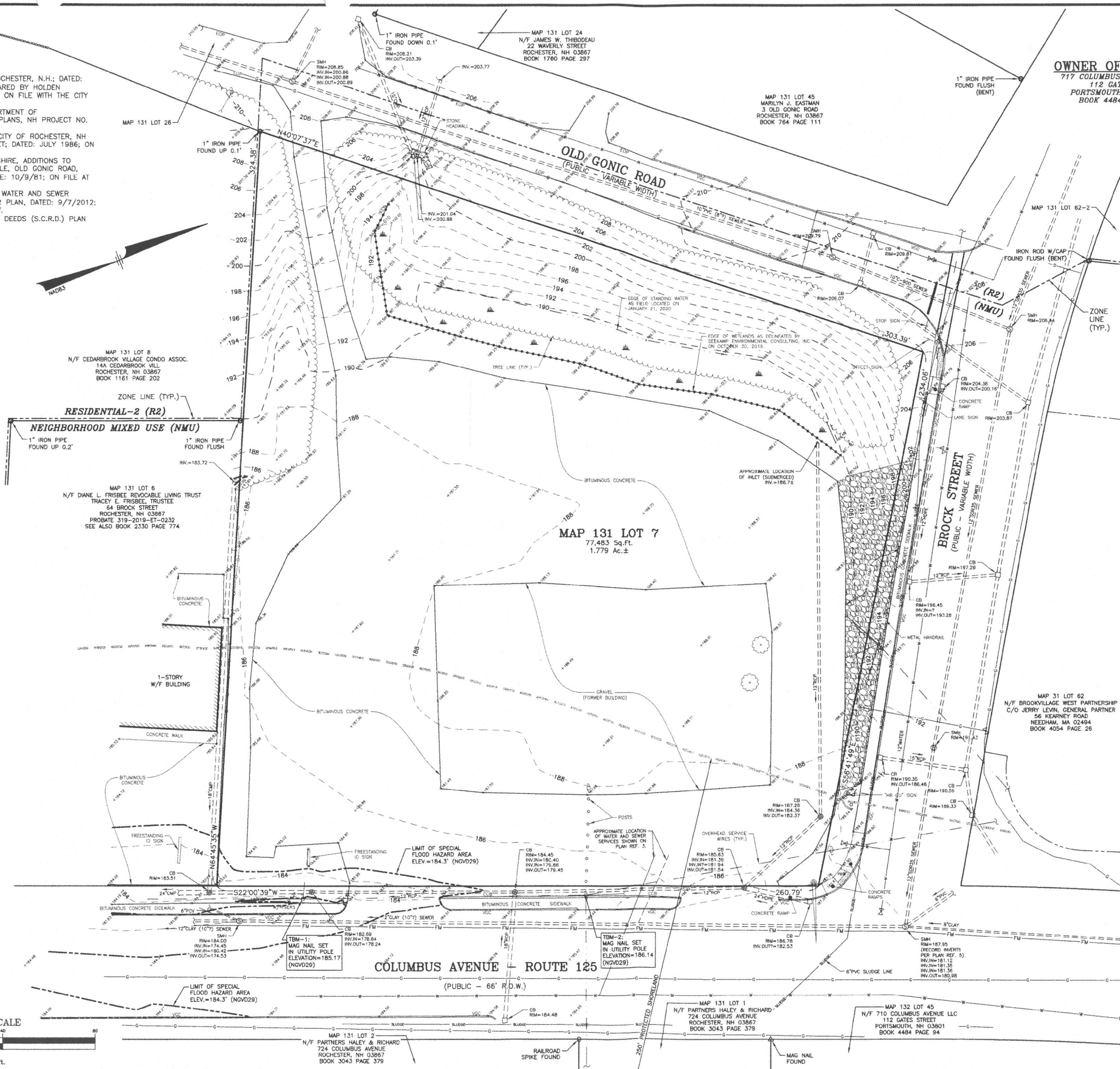
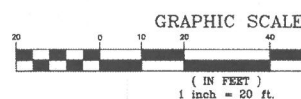
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND BETWEEN OCTOBER 31 AND NOVEMBER 12, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.



JOEL A. CONNOLLY, LLS 997		DATE	
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EXISTING CONDITIONS PLAN			
ASSESSORS MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD HAMPTON, NH 03842			
GPI Engineering Design Planning Construction Management 603.893.0720 GPINET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1"=20'	DATE: FEBRUARY 4, 2020		DRAWING NO. 30881WS.dwg
DRAWN BY:	CHECKED BY:	PROJECT NO.	SHEET NO.
JAC	JAC	MAX-0398816	2 OF 11

LEGEND

- VGC VERTICAL GRANITE CURB
- CCB CAPE COD BERM
- EGP EDGE OF PAVEMENT
- G GAS LINE
- FM SEWER FORCE MAIN
- W WATER LINE
- E UNDERGROUND ELECTRIC
- CLF CHAIN LINK FENCE
- SPOT ELEVATION
- CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- GAS VALVE
- GAS SHUT OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- MONITORING WELL
- LIGHT POLE



SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R5-1	DO NOT ENTER R/W	30" x 30" NEW SIGN WITH POST
R7-8	G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	G/W	6" x 12"

LEGEND	
	VERTICAL GRANITE CURB
	GAS LINE
	SEWER FORCE MAIN
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	SPOT ELEVATION
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREE LINE
	SIGN
	DRAIN MANHOLE
	CATCH BASIN
	SEWER MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	MONITORING WELL
	LIGHT POLE
	VERTICAL GRANITE CURB
	VERTICAL CONCRETE CURB
	NUMBER OF PARKING SPACES



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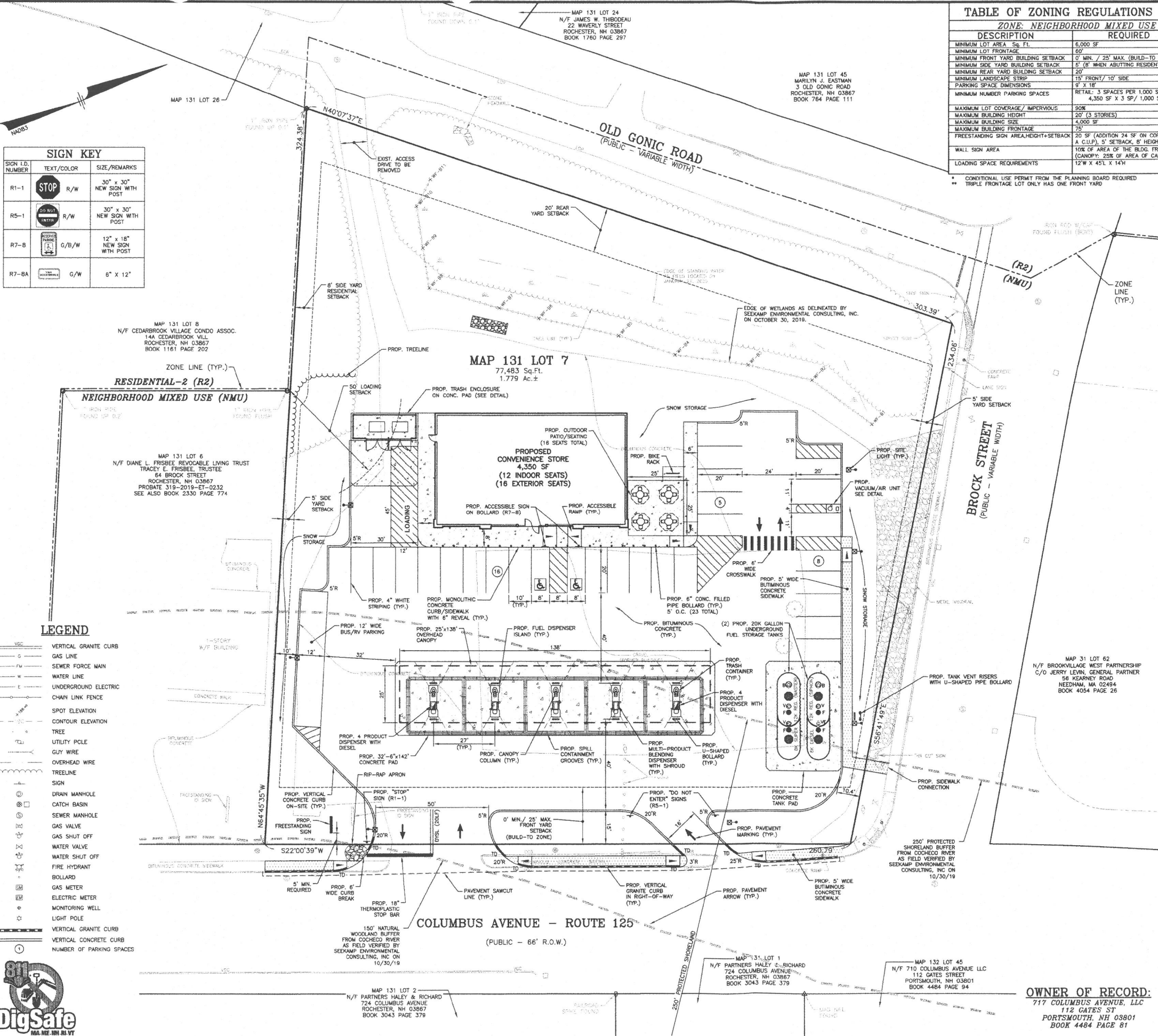
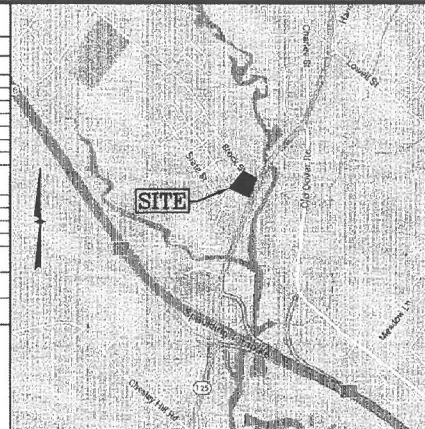


TABLE OF ZONING REGULATIONS - ROCHESTER, NH

ZONE: NEIGHBORHOOD MIXED USE DISTRICT (NMU)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	6,000 SF	77,483 SF
MINIMUM LOT FRONTAGE	60'	260.79'
MINIMUM FRONT YARD SETBACK	0' MIN. / 25' MAX. (BUILD-TO-ZONE)	54'*
MINIMUM SIDE YARD BUILDING SETBACK	5' (6' WHEN ABUTTING RESIDENTIAL)**	56'
MINIMUM REAR YARD BUILDING SETBACK	20'	82'
MINIMUM LANDSCAPE STRIP	15' FRONT / 10' SIDE	15' FRONT / 10' SIDE
PARKING SPACE DIMENSIONS	9' X 18'	10' X 20'
MINIMUM NUMBER PARKING SPACES	RETAIL: 3 SPACES PER 1,000 SF GFA 4,350 SF X 3 SP / 1,000 SF = 13 SPACES	29 SPACES
MAXIMUM LOT COVERAGE / IMPERVIOUS	90%	40,986 SF / 77,483 SF = 53%
MAXIMUM BUILDING HEIGHT	20' (3 STORIES)	20' (3 STORIES)
MAXIMUM BUILDING SIZE	4,000 SF	4,350 SF*
MAXIMUM BUILDING FRONTAGE	75'	87*
PRESTANDING SIGN AREA/HEIGHT+SETBACK	20 SF (ADDITION 24 SF ON CORNER LOTS WITH A C.U.P.), 5' SETBACK, 8' HEIGHT	SEE SIGN & GRAPHICS PLAN
WALL SIGN AREA	10% OF AREA OF THE BLDG. FRONTAGE (CANOPY: 20% OF AREA OF CANOPY FACE)	SEE SIGN & GRAPHICS PLAN
LOADING SPACE REQUIREMENTS	12'W X 45'L X 14'H	12'W X 45'L X 14'H

* CONDITIONAL USE PERMIT FROM THE PLANNING BOARD REQUIRED
** TRIPLE FRONTAGE LOT ONLY HAS ONE FRONT YARD

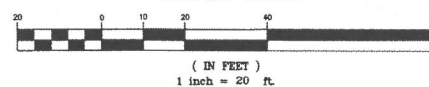


LOCATION MAP
(NOT TO SCALE)

NOTES:

- TAX MAP 131 LOT 7
- LOT AREA: 1.779 AC.±
- ZONING DISTRICT: NEIGHBORHOOD MIXED USE DISTRICT (NMU)
FLOOD HAZARD OVERLAY DISTRICT (FH00)*
- * A PORTION OF THE SITE IS LOCATED WITHIN THE 100 YEAR FLOOD PLAIN; HOWEVER, SINCE NO BUILDINGS ARE PROPOSED WITHIN THE FLOODPLAIN, THE FH00 IS NOT APPLICABLE TO THIS PROPOSED DEVELOPMENT.
- EXISTING USE, UNDEVELOPED
PROPOSED USE: A 4,350 SF CONVENIENCE STORE WITH DELI INCLUDING 12 INTERIOR SEATS AND 16 EXTERIOR SEATS PLUS FIVE FUEL DISPENSER ISLANDS (10 VEHICLE FUELING POSITIONS)
- A VARIANCE WAS GRANTED ON NOVEMBER 14, 2018 TO PERMIT A GAS STATION, CONVENIENCE STORE, AND RESTAURANT WITH A DRIVE-THROUGH IN THE NEIGHBORHOOD MIXED USE ZONE.
- ALL NON-RESIDENTIAL USES REQUIRE A CONDITIONAL USE PERMIT FROM THE PLANNING BOARD.
- A PORTION OF THE SITE IS WITHIN THE FEMA FLOOD PLAIN. THE PROJECT WILL REQUIRE A SPECIAL PERMIT FOR DEVELOPMENT WITHIN THE FH00.
- A PORTION OF THE SITE IS LOCATED WITHIN THE 250' PROTECTED SHORELAND BUFFER AND WILL REQUIRE A NHDES SHORELAND PERMIT. THE PROJECT WILL ALSO REQUIRE A NHDES ALTERATION OF TERRAIN (AOT) PERMIT SINCE THE PROPOSED DISTURBANCE ASSOCIATED WITH THE PROJECT EXCEEDS 50,000 SF. (ESTIMATED DISTURBED AREA = 58,000 SF±)
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER AND THE STATE OF NEW HAMPSHIRE.
- A PORTION OF THE SURVEY TRACT IS LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 330170221D, WITH AN EFFECTIVE DATE OF MAY 17, 2005. BASE FLOOD ELEVATION (BFE) = 184.3' (NOV02) PER FLOOD PROFILE 11P.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN CONTACT FRANK C. MONTEIRO, GREENMAN-PEDERSEN, INC.

GRAPHIC SCALE



NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE PLAN			
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842			
		GPI Engineering Design Planning Construction Management 603.893.0720 GPI.NET.COM	
SCALE: 1"=20' DRAWN BY: CCC CHECKED BY: FCM		DATE: FEBRUARY 4, 2020 PROJECT NO. 398816 SHEET NO. 3 OF 11	



OWNER OF RECORD:
717 COLUMBUS AVENUE, LLC
112 GATES ST
PORTSMOUTH, NH 03801
BOOK 4484 PAGE 81

MAP 131 LOT 1
N/F PARTNERS HALEY & RICHARD
724 COLUMBUS AVENUE
ROCHESTER, NH 03867
BOOK 3043 PAGE 379

MAP 132 LOT 45
N/F 710 COLUMBUS AVENUE LLC
112 GATES STREET
PORTSMOUTH, NH 03801
BOOK 4484 PAGE 84

MAP 131 LOT 2
N/F PARTNERS HALEY & RICHARD
724 COLUMBUS AVENUE
ROCHESTER, NH 03867
BOOK 3043 PAGE 379

MAP 131 LOT 8
N/F CEDARBROOK VILLAGE CONDO ASSOC.
14A CEDARBROOK VILL
ROCHESTER, NH 03867
BOOK 1161 PAGE 202

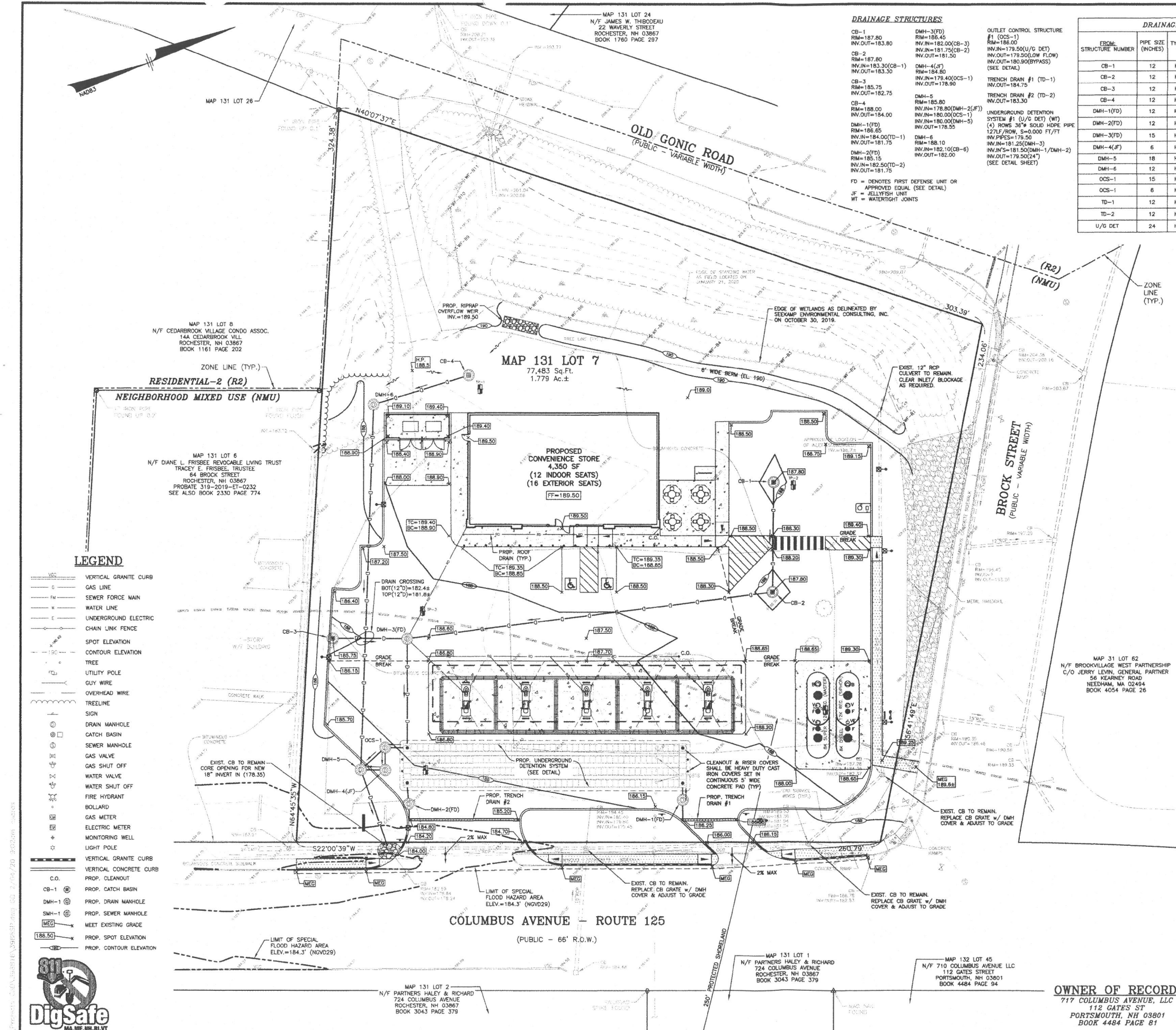
MAP 131 LOT 6
N/F DIANE L. FRISBEE REVOCABLE LIVING TRUST
TRACY E. FRISBEE, TRUSTEE
64 BROOK STREET
ROCHESTER, NH 03867
PROSTATE 319-2019-ET-0232
SEE ALSO BOOK 2330 PAGE 774

MAP 131 LOT 7
77,483 Sq.Ft.
1.779 AC.±

MAP 131 LOT 45
MARILYN J. EASTMAN
3 OLD GONIC ROAD
ROCHESTER, NH 03867
BOOK 764 PAGE 111

MAP 131 LOT 24
N/F JAMES W. THIBODEAU
22 WAVERLY STREET
ROCHESTER, NH 03867
BOOK 1760 PAGE 297

MAP 31 LOT 62
N/F BROOKVILLE WEST PARTNERSHIP
C/O JERRY LEVIN, GENERAL PARTNER
58 KEARNEY ROAD
NEEDHAM, MA 02494
BOOK 4054 PAGE 25



DRAINAGE STRUCTURES

- CB-1 RM=187.80 INV.OUT=182.00
- CB-2 RM=187.80 INV.OUT=183.30
- CB-3 RM=185.75 INV.OUT=182.75
- CB-4 RM=188.00 INV.OUT=184.00
- DMH-1(FD) RM=186.65 INV.IN=184.00(TD-1) INV.OUT=181.75
- DMH-2(FD) RM=185.15 INV.IN=182.50(TD-2) INV.OUT=181.75
- DMH-3(FD) RM=186.45 INV.IN=182.00(CB-3) INV.IN=181.75(CB-2) INV.OUT=181.30
- DMH-4(F) RM=184.80 INV.IN=178.40(OCS-1) INV.OUT=178.90
- DMH-5 RM=185.80 INV.IN=178.80(DMH-2(F)) INV.IN=180.00(OCS-1) INV.IN=180.00(DMH-5) INV.OUT=178.55
- DMH-6 RM=188.10 INV.IN=182.10(CB-6) INV.OUT=182.00

OUTLET CONTROL STRUCTURE #1 (OCS-1) RM=186.00 INV.IN=179.50(U/G DET) INV.OUT=179.50(LOW FLOW) INV.OUT=180.50(BYPASS) (SEE DETAIL)

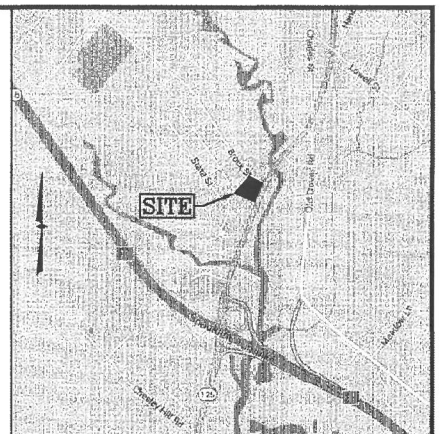
TRENCH DRAIN #1 (TD-1) INV.OUT=184.75

TRENCH DRAIN #2 (TD-2) INV.OUT=183.30

UNDERGROUND DETENTION SYSTEM #1 (U/G DET) (WT) (4) ROWS 36" SOLID HDPE PIPE 127LF/ROW, S=0.000 FT/FT INV.PIPES=179.50 INV.IN=181.25(DMH-3) INV.IN=181.50(DMH-1/DMH-2) INV.OUT=179.50(24") (SEE DETAIL SHEET)

DRAINAGE PIPE SCHEDULE

FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
CB-1	12	HDPE	49	0.010	CB-2
CB-2	12	HDPE	165	0.009	DMH-3(FD)
CB-3	12	HDPE	33	0.023	DMH-3(FD)
CB-4	12	HDPE	45	0.043	DMH-6
DMH-1(FD)	12	HDPE	6	0.045	U/G DET
DMH-2(FD)	12	HDPE	7	0.034	U/G DET
DMH-3(FD)	15	HDPE	47	0.005	U/G DET
DMH-4(F)	6	HDPE	11	0.009	DMH-5
DMH-5	18	HDPE	35	0.006	EXIST. CB
DMH-6	12	HDPE	162	0.012	DMH-5
OCS-1	15	HDPE	15	0.061	DMH-5
OCS-1	6	HDPE	10	0.010	DMH-4(F)
TD-1	12	HDPE	8	0.090	DMH-1(FD)
TD-2	12	HDPE	7	0.122	DMH-2(FD)
U/G DET	24	HDPE	8	0.000	OCS-1



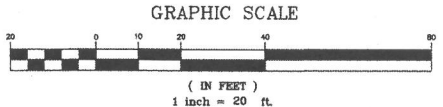
LOCATION MAP (NOT TO SCALE)

NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT JOINTS MEETING ASTM D3212 SPECIFICATIONS.
- ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC(SDR-35).
- ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (TOTAL DISTURBED LAND AREA = 58,000 SF±). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- SOIL STOCKPILING AREAS TO BE SURROUNDED BY HAY BALES TO LIMIT EROSION.
- SEE UTILITIES PLAN FOR DETAILED UTILITIES INFORMATION.
- SEE EROSION & SEDIMENT CONTROL PLAN FOR DETAILED EROSION CONTROL MEASURES.
- SEE SHEET 10 FOR TEST PIT DATA RESULTS.
- ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- CONTRACTOR IS TO FIELD ADJUST GRADES FOR THE TANK PAD TO SHED WATER.
- ALL PROPOSED CATCH BASINS SHALL HAVE 4' SLUMPS AND OUTLETS EQUIPPED WITH OIL HOODS.
- CONTRACTOR TO REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS & SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- CONTRACTOR TO INSTALL RISER STRUCTURES AT EACH CORNER OF UNDERGROUND DETENTION SYSTEM AND CLEANOUTS AT EACH END OF EACH ROW TO PROVIDE ACCESS POINTS FOR CLEANING AND MAINTENANCE.
 - TOTAL RISERS PROPOSED = 4
 - TOTAL CLEANOUTS PROPOSED = 4

LEGEND

- VERTICAL GRANITE CURB
- GAS LINE
- SEWER FORCE MAIN
- WATER LINE
- UNDERGROUND ELECTRIC
- CHAIN LINK FENCE
- SPOT ELEVATION
- CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- GAS VALVE
- GAS SHUT OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- MONITORING WELL
- LIGHT POLE
- VERTICAL GRANITE CURB
- VERTICAL CONCRETE CURB
- PROP. CLEANOUT
- CB-1
- DMH-1
- SMH-1
- MEG
- 188.50
- PROP. CATCH BASIN
- PROP. DRAIN MANHOLE
- PROP. SEWER MANHOLE
- MEET EXISTING GRADE
- PROP. SPOT ELEVATION
- PROP. CONTOUR ELEVATION

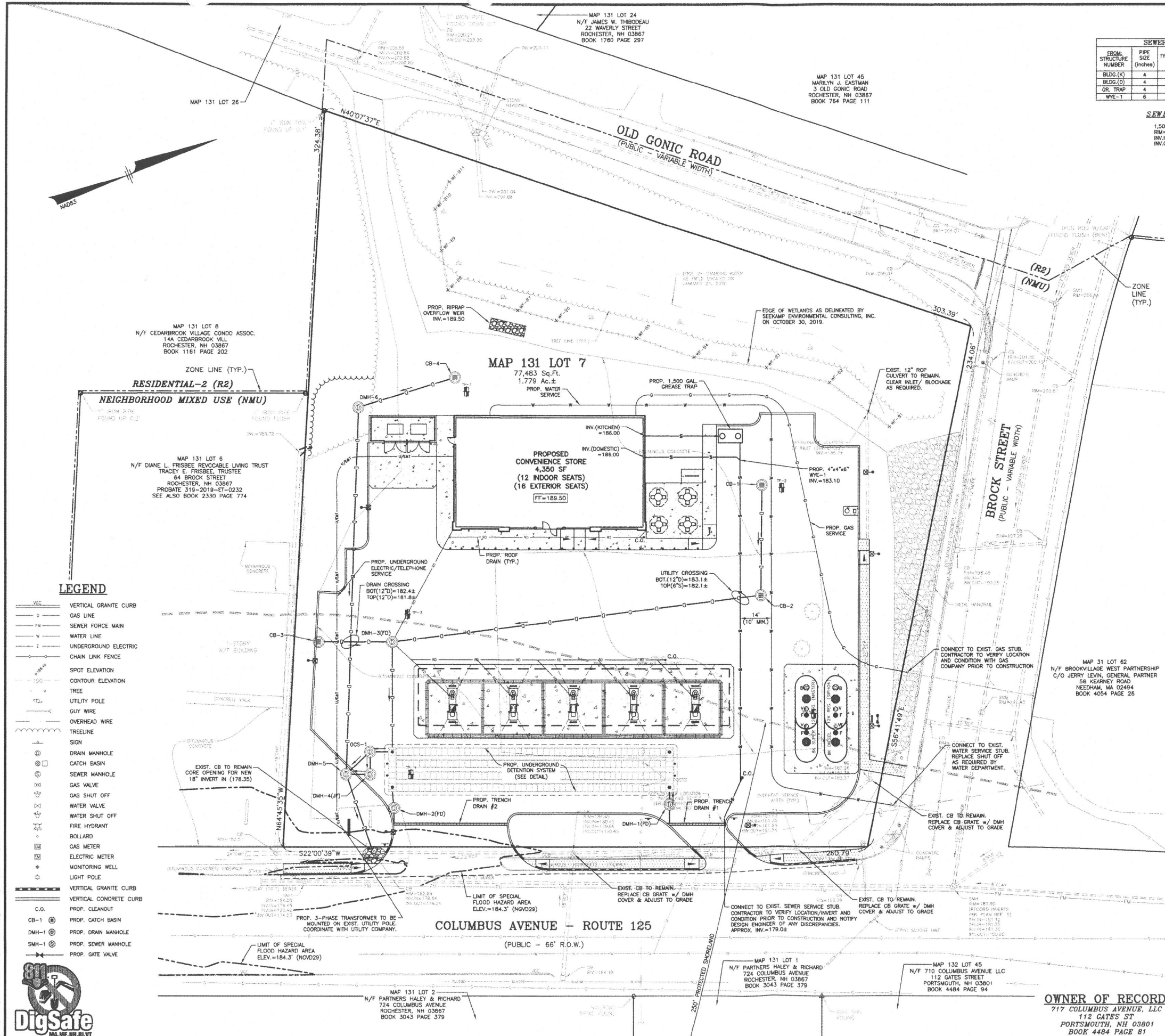


NO.	DESCRIPTION	BY	DATE
REVISIONS			
GRADING & DRAINAGE PLAN			
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842			
GPI		Engineering Design Planning Construction Management	
603.893.0720		GPI.NET.COM	
Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079			
SCALE: 1"=20'	DATE: FEBRUARY 4, 2020	DRAWING NO. 3988SP	
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816	SHEET NO. 4 OF 11



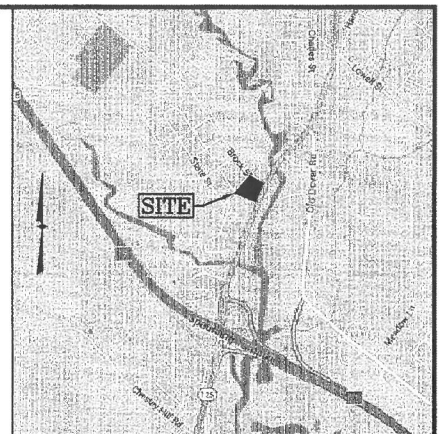
OWNER OF RECORD:
717 COLUMBUS AVENUE, LLC
112 GATES ST
PORTSMOUTH, NH 03801
BOOK 4484 PAGE 81





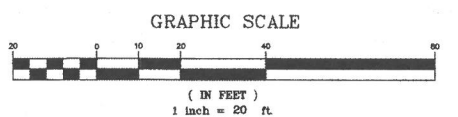
SEWER PIPE SCHEDULE					
FROM STRUCTURE NUMBER	PIPE SIZE (inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	SLOPE OF PIPE (ft./ft.)	TO STRUCTURE NUMBER
BLDG. (K)	4	PVC	32	0.077	GR. TRAP
BLDG. (D)	4	PVC	42	0.069	WYE-1
GR. TRAP	4	PVC	7	0.026	WYE-1
WYE-1	6	PVC	160	0.028	EXIST. STUB

SEWER STRUCTURES
1,500 GAL. GREASE TRAP
RIM=188.35
INV.=183.55
INV.OUT=183.30

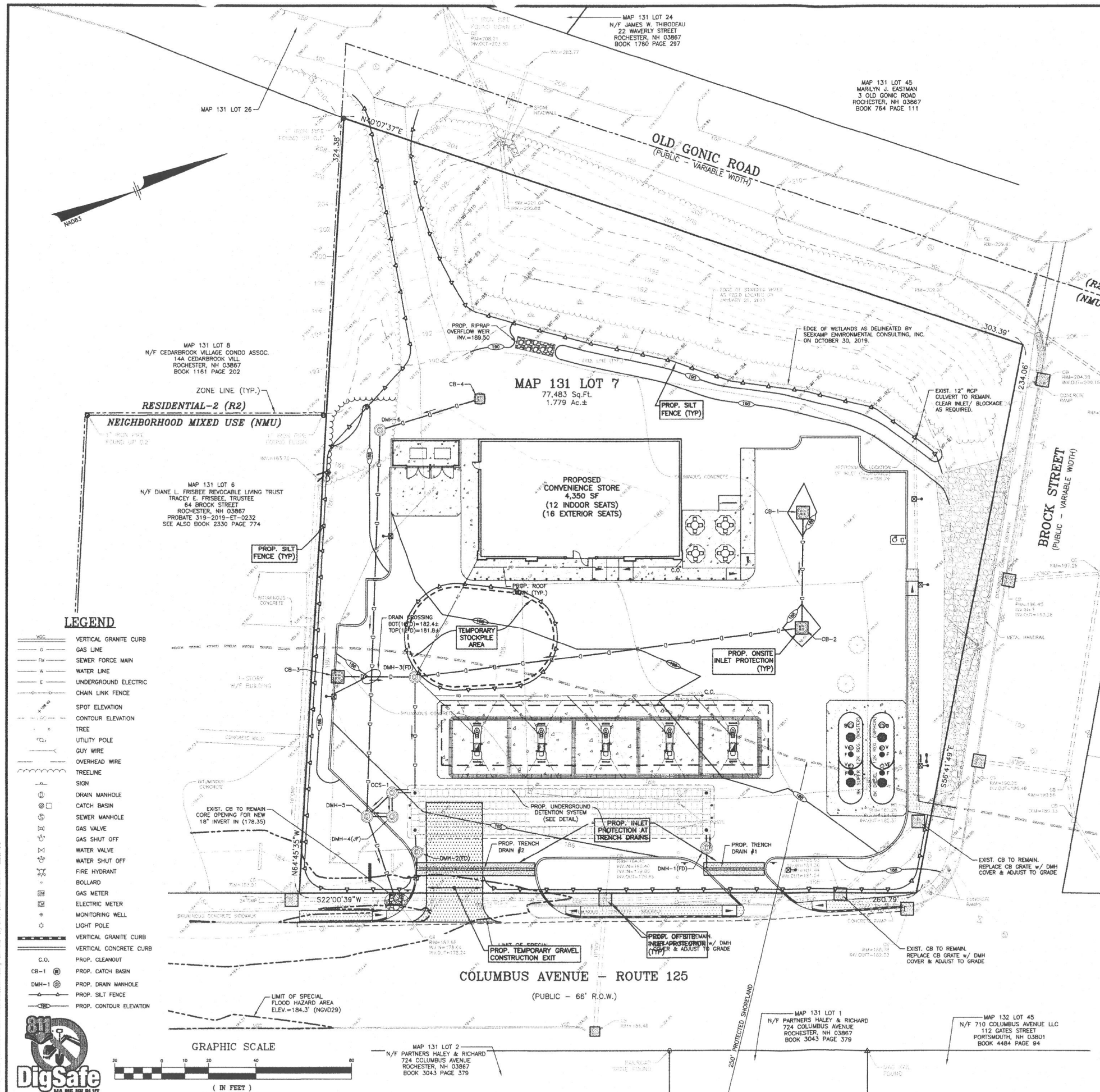


LOCATION MAP
(NOT TO SCALE)

- NOTES:**
- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
 - 2) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
 - 3) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
 - 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
 - 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
 - 6) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
 - 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (811) PRIOR TO COMMENCING ANY EXCAVATION.
 - 8) ALL WATER, SEWER AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCHESTER WATER UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH UTILITY COMPANY.
 - 10) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
 - 11) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
 - 12) ELECTRICAL CONDUIT WITHIN 20' OF TANKS OR DISPENSERS MAY NEED TO BE RIGID METAL CONDUIT WITH CONCRETE ENCASUREMENT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND/OR TOWN ELECTRICAL INSPECTOR AS REQUIRED.
 - 13) WATERLINE BUILDING CONNECTION SHALL BE EQUIPPED WITH BACKFLOW PREVENTER. COORDINATE INSPECTION WITH BUILDING DEPARTMENT.



NO.	DESCRIPTION	BY	DATE
REVISIONS			
UTILITIES PLAN			
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842			
GPI		Engineering Design Planning Construction Management	
603.893.0720		GPINET.COM	
Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079		DRAWING NO. 3988SP	
SCALE: 1"=20'	DATE: FEBRUARY 4, 2020	DRAWING NO. 3988SP	
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816	SHEET NO. 5 OF 11



WINTER STABILIZATION NOTES:

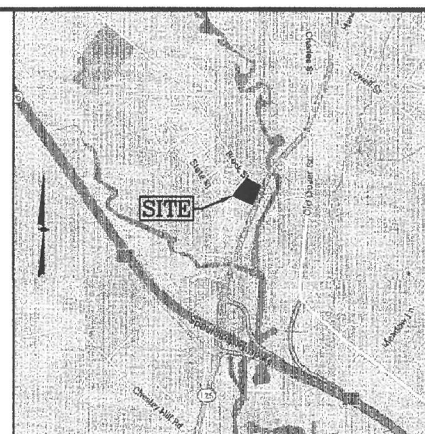
- MAINTENANCE REQUIREMENTS:
- MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD. AFTER EACH RAINFALL EVENT, SWEEPING OR PLOWING AND RINSE-UP. THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION.
- FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).
- SPECIFICATIONS:
- TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.
1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SPECIFICATION. THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC.
 2. STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
 - A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING OR 2 INCHES OF EROSION CONTROL MAT (SEE DESCRIPTION OF EROSION CONTROL MAT BEAMS FOR MATERIAL SPECIFICATION).
 - B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDING AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL BLANKET (OTHERWISE SPECIFIED BY THE MANUFACTURER). NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
 3. ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 4. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MAT SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
 5. ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
 6. STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MAT. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SHOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
 7. FROZEN MATERIALS (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION) SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. FROZEN MATERIALS CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
 8. INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
 9. ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR CHANNELS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIRONMENTAL INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
 10. ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 11. AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER WHOLE TEX 300.1.
 12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MAT BEAMS OR CONTINUOUS CONTAINED BERM. SET FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBODIMENT OF THESE BARRIERS.

CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEEDING TO PREVENT EROSION.
5. CONSTRUCT PONDS, SWALES & LEVEL SPREADERS & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
6. CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND STABILIZATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. EXCAVATE, CONSTRUCT & BEGIN STABILIZATION OF GRAVEL WETLAND.
8. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
9. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDING OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
10. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERM, DITCHES, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
11. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
12. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.
13. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
14. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
15. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPANIED BY HYDROSEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW.

Permanent Seed Mix	Ibs./Acres
Creeping Red Fescue	20
Tall Fescue	20
TOTAL	40
Interseeding Seed Mix	Ibs./Acres
Winter Rye (Aug. 15-Sept. 15)	112
Oats (No later than May 15)	80

16. NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.
17. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:3 AND AGR 2000 RELATIVE TO PONDING SPECIFICATIONS.
18. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.



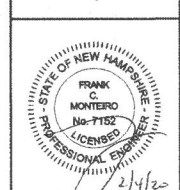
LOCATION MAP
(NOT TO SCALE)

EROSION CONTROL NOTES:

1. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3: EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2006.
2. DURING CONSTRUCTION AND THROUGHOUT EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
3. LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
4. ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP-RAP, HAS BEEN INSTALLED.
 - D) OR EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
5. SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGEWAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
6. ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOADED AND SEEDING WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NO LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
7. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION, SHALL BE MULCHED AND SEEDING WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNFOLDED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COMBUSTIBLE MATERIAL.
8. DURING GRADING OPERATIONS INSTALL HAY BALE BARRIERS ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE WAVED OR GRASSED.
9. THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OF EACH LAYER.
10. AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHENEVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADWAYS OF FUTURE ROADS.

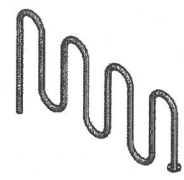
TEMPORARY EROSION CONTROL MEASURES:

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
3. BAILED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
4. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
5. STOCKPILES OF MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SITUATION FENCE AND SEEDING TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
6. ALL DISTURBED AREAS SHALL BE LOADED AND SEEDING. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
8. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
10. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
11. ALL Dewatering operations must discharge directly into a sediment filter area.
12. SITE WAITING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

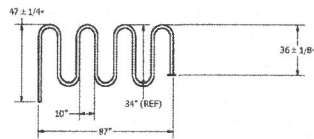


OWNER OF RECORD:
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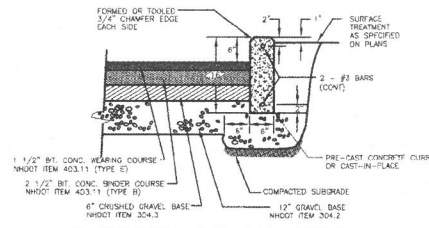
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EROSION & SEDIMENT CONTROL PLAN			
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842			
GPI Engineering Design Planning Construction Management 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1"=20'	DATE: FEBRUARY 4, 2020	DRAWING NO. 3988SP	SHEET NO.
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816	6 OF 11



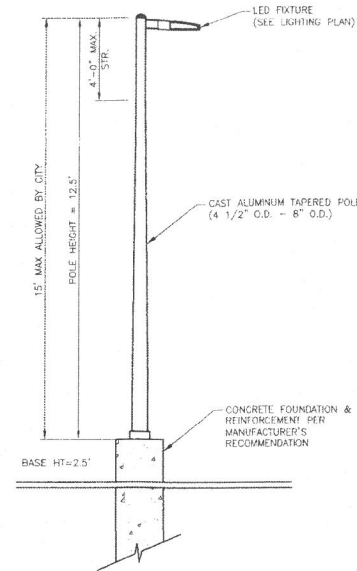
A CONTEMPORARY BIKE RACK AVAILABLE IN GROUND OR SURFACE MOUNT STYLES. CONSTRUCTED OF 2 - 3/8" O.D. SCHEDULE 40 GALVANIZED PIPE. POWDER COATED FINISH AVAILABLE IN BLACK, BROWN, GREEN, BLUE, AND RED.



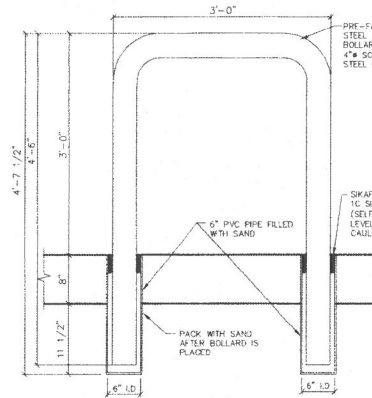
9 CAPACITY WAVE BIKE RACK DETAIL
NOT TO SCALE



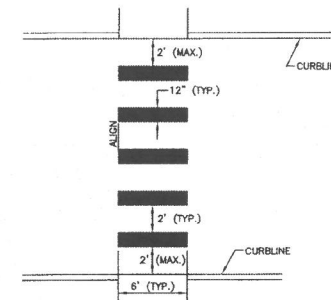
PAVEMENT AND CONCRETE CURB SECTION ON-SITE
NOT TO SCALE



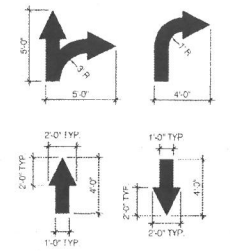
LIGHT FIXTURE DETAIL
NOT TO SCALE



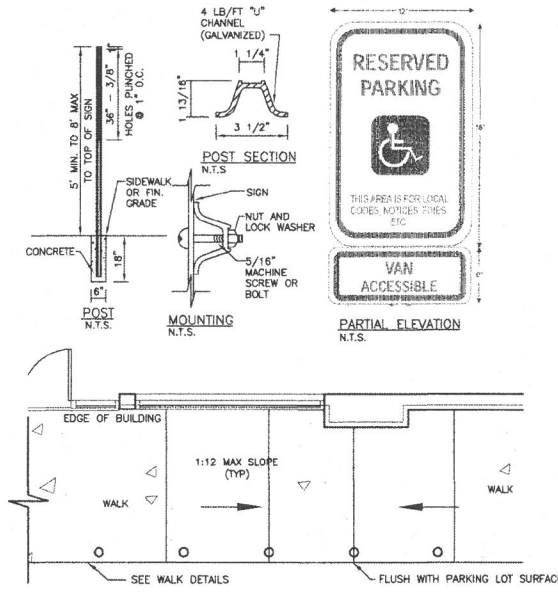
TYPICAL U-SHAPED BOLLARD
NOT TO SCALE



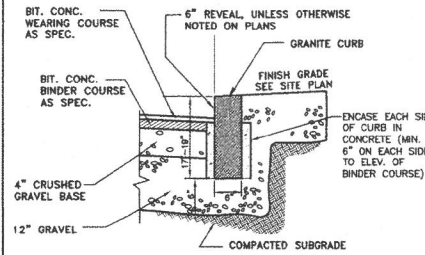
TYPICAL CROSSWALK
NOT TO SCALE



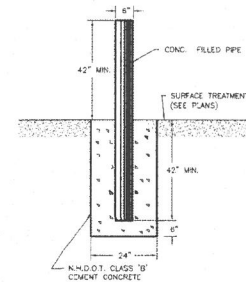
ON-SITE PAVEMENT MARKING DETAILS
NOT TO SCALE



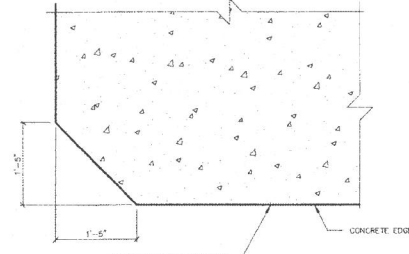
ACCESSIBLE PARKING RAMP
NOT TO SCALE



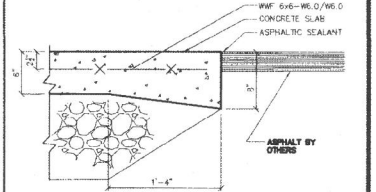
VERTICAL GRANITE CURB
NOT TO SCALE



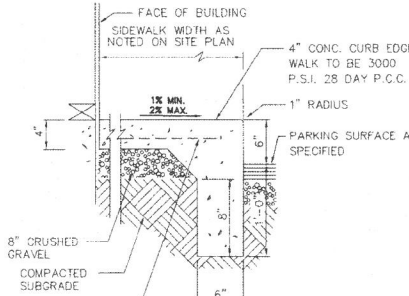
PIPE BOLLARD DETAIL
NOT TO SCALE



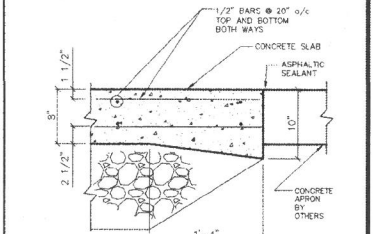
DISPENSER APRON CHAMFER DETAIL
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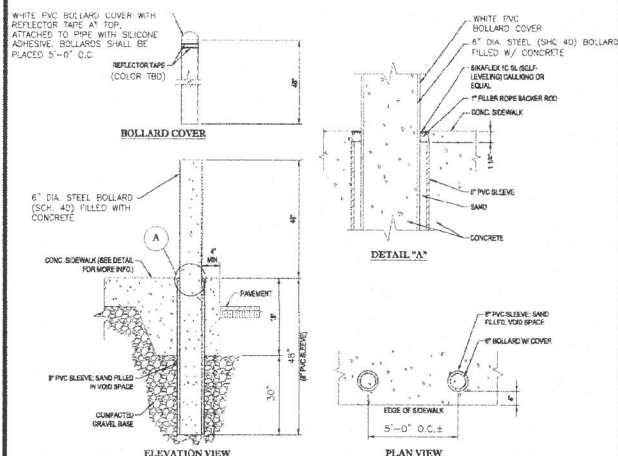
DISPENSER APRON EDGE DETAIL
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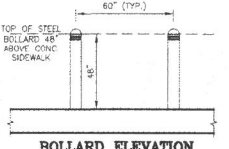
SIDEWALK DETAIL
NOT TO SCALE



TANK APRON EDGE DETAIL
NOT TO SCALE

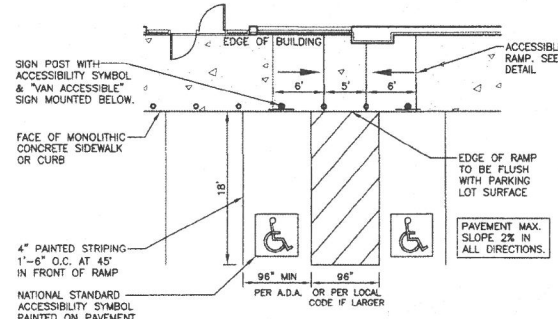


BOLLARD SET IN CONCRETE WALK

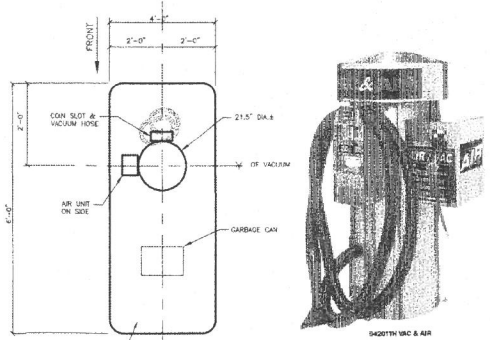


BOLLARD ELEVATION

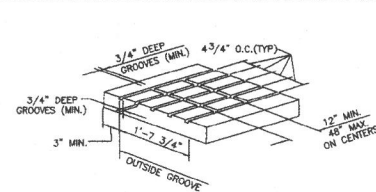
BOLLARD DETAILS AT STOREFRONT
NOT TO SCALE



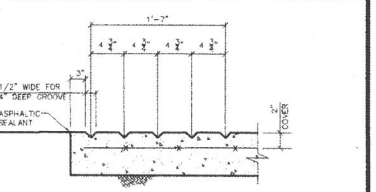
ACCESSIBLE PARKING STALL
NOT TO SCALE



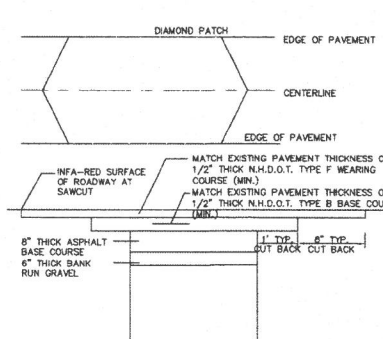
VACUUM/AIR ISLAND DETAIL
NOT TO SCALE



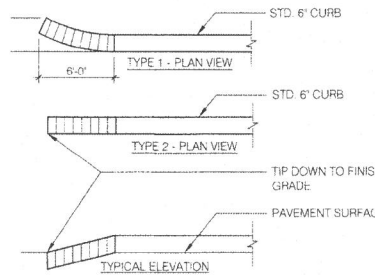
SPILL CONTAINMENT GROOVES
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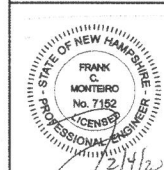
V-GROOVE EDGE OF SLAB SECTION



TYPICAL PAVEMENT REPAIR DETAIL
NOT TO SCALE



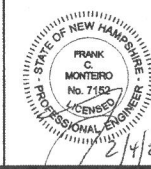
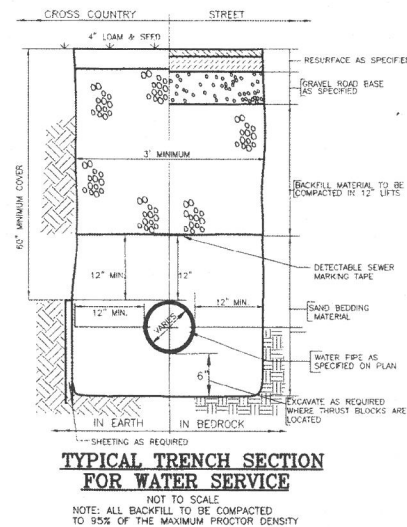
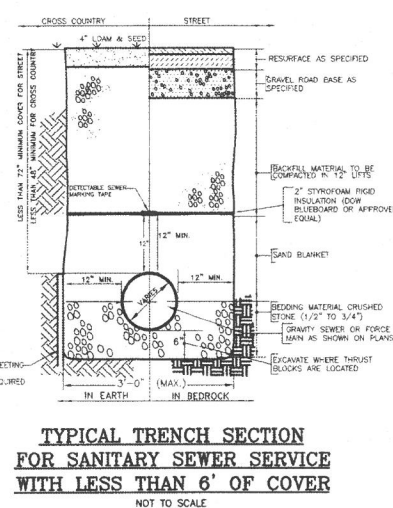
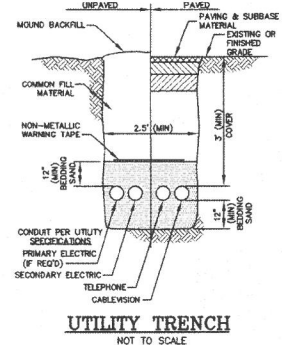
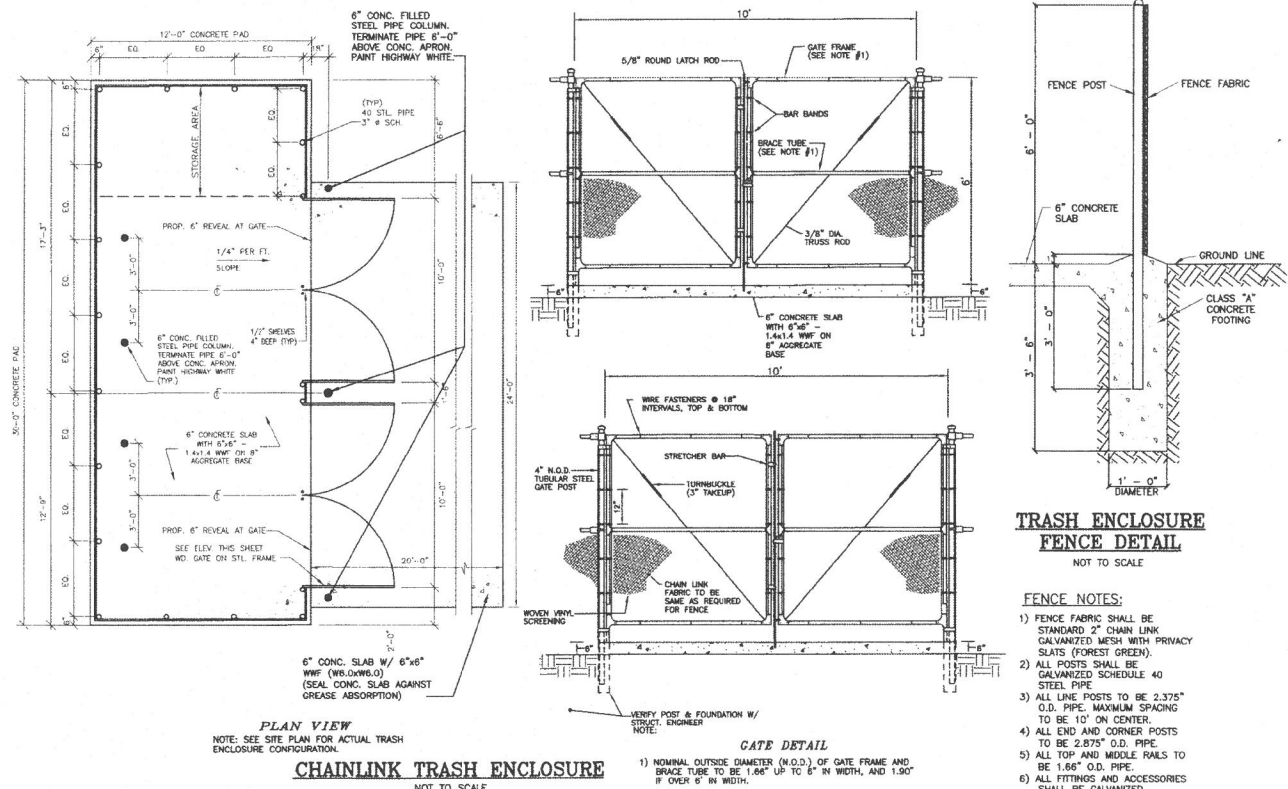
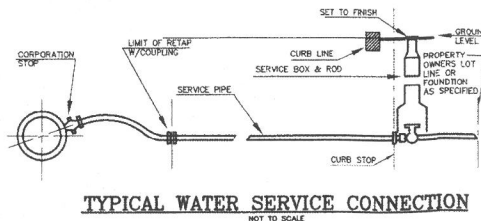
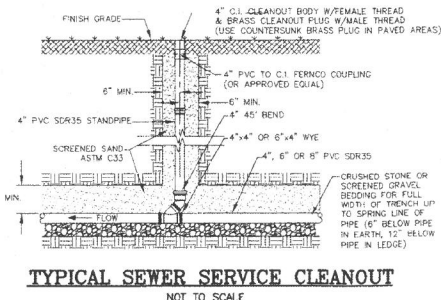
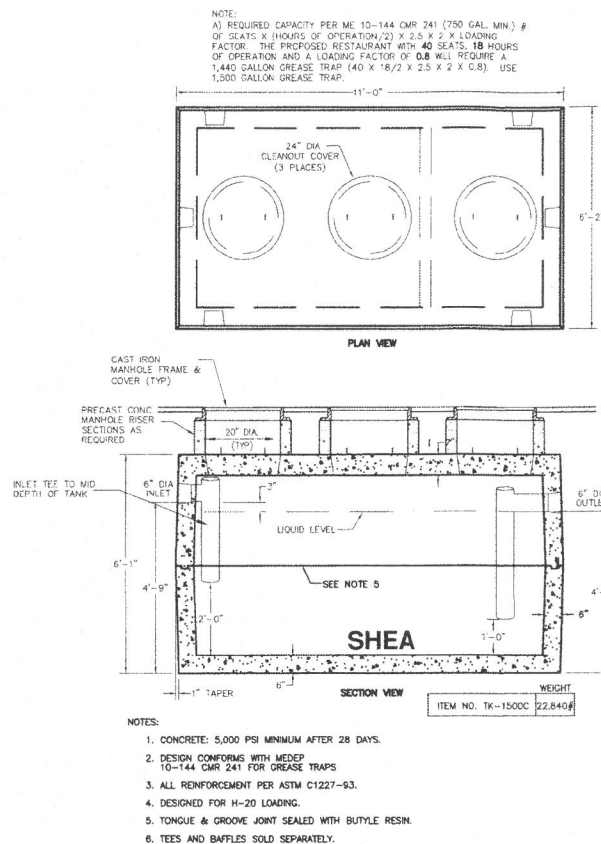
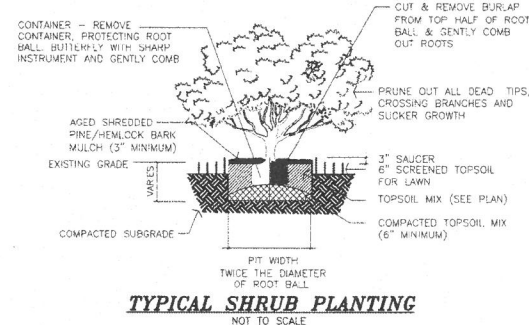
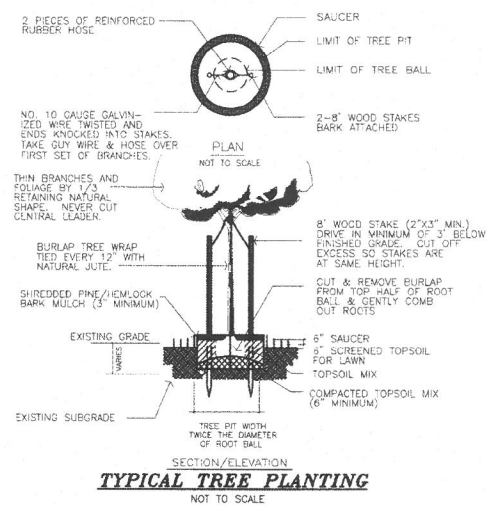
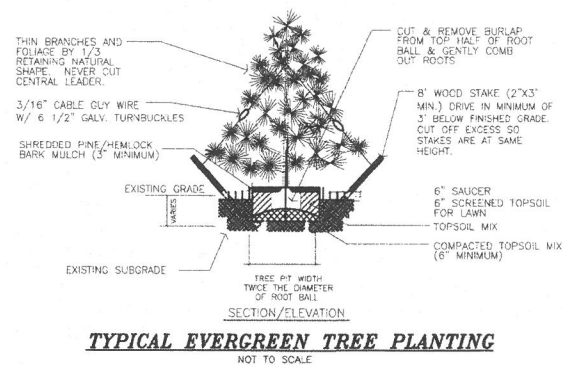
TYPICAL TIP DOWN CURB ELEVATION
NOT TO SCALE



TROPIC STAR DEVELOPMENT, LLC
717 COLUMBUS AVENUE
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
3210 LAFAYETTE ROAD
HAMPTON, NH 03842

GPI Engineering Design Planning Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: AS NOTED	DATE: FEBRUARY 4, 2020	DRAWING NO. 3888DET
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816
		SHEET NO. 8 OF 11



NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE DETAILS			
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842			
GPI Engineering Design Planning Construction Management 603.893.0720 GPI.NET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: AS NOTED	DATE: FEBRUARY 4, 2020	DRAWING NO. 398802	
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816	SHEET NO. 9 OF 11

GPI

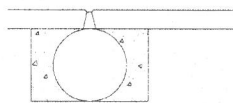
Engineering | Design | Planning | Construction Management

Client: Tropic Star Development
Project Address: 717 Columbus Avenue
Town, State: Rochester, NH
Job Number: MAX-0398816
Date: January 29, 2020
Performed by: Diane Pantemoller

Test Pit No.	1	SCS Soil:	Buxton Silt Loam
ESHWT:	24"	Standing Water:	24"
Refusal:	>96"	Roots:	None
Depth	0-36"	Soil Texture	Sand/Silt
	36-96"	Color	2.5y 6/1
		Consistence	Platy
		Mottles/Quantity/Contrast	
Test Pit No.	2	SCS Soil:	Buxton Silt Loam
ESHWT:	24"	Standing Water:	96"
Refusal:	>108"	Roots:	None
Depth	0-24"	Soil Texture	Sand/Gravel
	24-108"	Color	2.5y 6/1
		Consistence	Platy
		Mottles/Quantity/Contrast	Pockets of gravel
Test Pit No.	3	SCS Soil:	Buxton Silt Loam
ESHWT:	36"	Standing Water:	36"
Refusal:	>114"	Roots:	None
Depth	0-36"	Soil Texture	Sand/Gravel
	36-60"	Color	7.5y 5/1
	60-114"	Consistence	Platy
		Mottles/Quantity/Contrast	
Test Pit No.	4	SCS Soil:	Buxton Silt Loam
ESHWT:	72"	Standing Water:	72"
Refusal:	>118"	Roots:	None
Depth	0-72"	Soil Texture	Urban Fill
	72-118"	Color	7.5y 5/1
		Consistence	Platy
		Mottles/Quantity/Contrast	Pockets of gravel
Test Pit No.	5	SCS Soil:	Buxton Silt Loam
ESHWT:	72"	Standing Water:	72"
Refusal:	>126"	Roots:	None
Depth	0-72"	Soil Texture	Urban Fill
	72-126"	Color	7.5y 5/1
		Consistence	Platy
		Mottles/Quantity/Contrast	Iron Pipe, Old SDS

Greenman-Pedersen, Inc. 44 Stiles Road, Suite One Salem, NH 03079 p 603-893-0720
An Equal Opportunity Employer

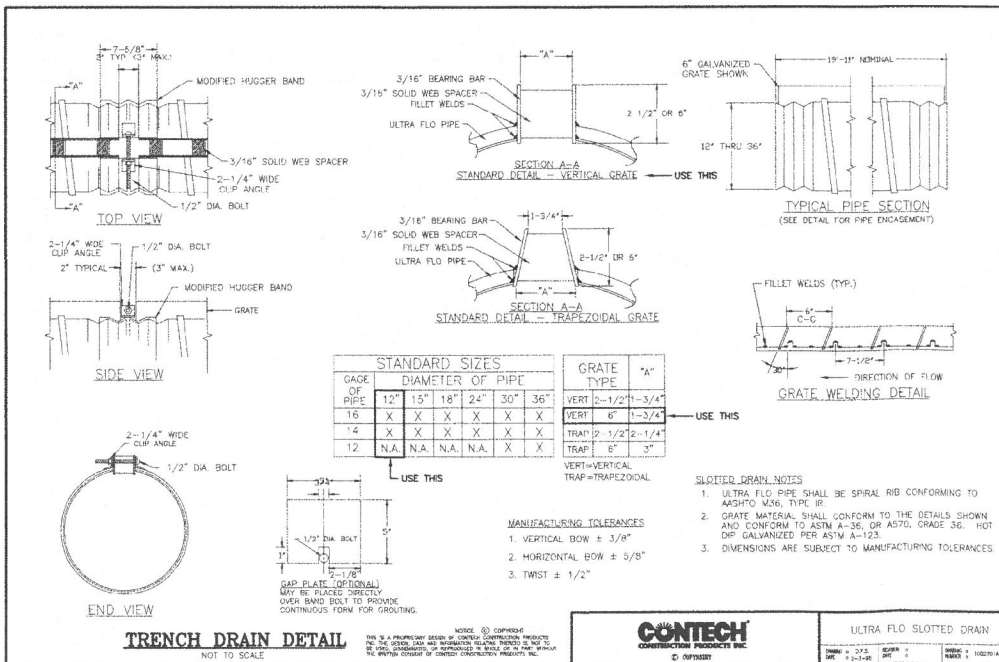
TEST PIT LOGS

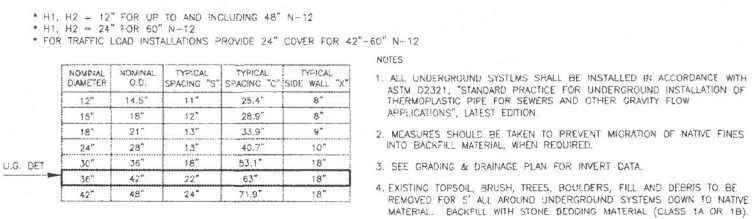


RECOMMENDED INSTALLATION PRACTICES
ASK FOR CONTECH DRAWING 1008607
FOR INSTALLATION AIDS, CALL YOUR LOCAL CONTECH
SALES ENGINEER

PIPE ENCASUREMENT DETAIL

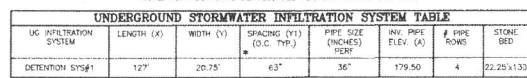
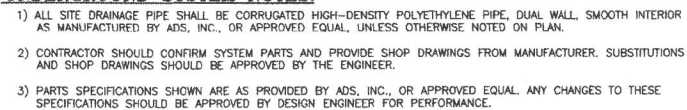
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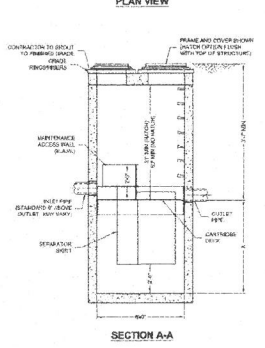
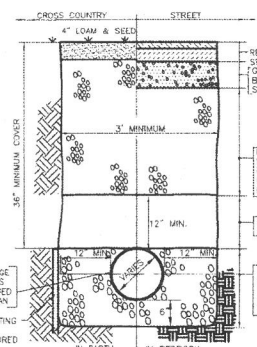


1. ALL REFERENCES TO SAND, STONE OR GRAVEL MATERIAL ARE PER ASTM D3231, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D3231, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D3231.
4. NO STORMWATER FLOWS ARE TO BE DIRECTED TO THE INFILTRATION SYSTEMS UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. FILTER FABRIC: GEOTEXTILE FABRIC SHALL BE MINRAI 140N (OR APPROVED EQ.) TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
6. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE OR UNSUITABLE FOR INFILTRATION, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL. ALL DELETERIOUS OR UNSUITABLE FILL MATERIAL SHALL BE REMOVED BELOW THE TRENCH BOTTOM UNTIL NATIVE MATERIAL IS ENCOUNTERED.
7. BEDDING: SUITABLE MATERIAL SHALL BE CLEAN COMPACT SAND. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER.
8. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE PLACED IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D3231, LATEST EDITION.
9. MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLATULATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" FOR 12" TO 24" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF ROAD PAVEMENT.

NOT TO SCALE

[illegible]

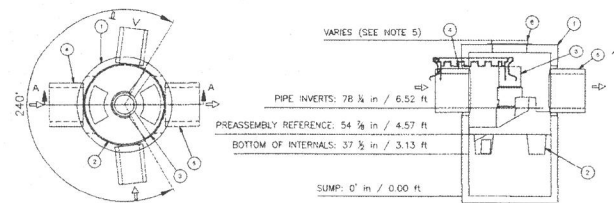
- 1) INDIVIDUAL UNIT SPECIFICATIONS MAY DIFFER FROM THE TYPICAL CONFIGURATION AS SHOWN.
- 2) PRELIMINARY SIZING WAS TAKEN FROM LITERATURE PROVIDED BY THE MANUFACTURER. FINAL DESIGN SPECIFICATION AND SHOP DRAWINGS SHALL BE PROVIDED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
- 3) SEE UNIT SCHEDULE FOR SIZING INFORMATION.

[illegible]

STORM



NOT TO SCALE



<input type="checkbox"/> parts list <input type="checkbox"/> enter anywhere <input type="checkbox"/> within 20" depth			SECTION A-A		
GENERAL NOTES:			GENERAL ARRANGEMENT DRAWINGS ONLY: CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC INFORMATION. DRAWINGS:		
1			THE DIAMETER OF THE INLET & OUTLET PIPES SHALL NOT BE MORE THAN 24".		
2			MULTIPLE INLET PIPES ARE POSSIBLE (SEE GENERAL ARRANGEMENT DRAWINGS FOR EXEMPT TO PROJECT)		
3			INLET/OUTLET PIPE MUST ALIGN TO ALIGN WITH DRAINAGE NETWORK (SEE TO PROJECT)		
4			PEAK FLOW RATE AND WASHWATER HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DRAINFAGE. LARGER DRAINAGE SYSTEM CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.		
5			PRODUCT SPECIFICATIONS:		
A			THE TREATMENT SYSTEM SHALL USE AN INLET/OUTLET TO REMOVE POLLUTANTS FROM STORMWATER RUNOFF.		
B			THE TREATMENT SYSTEM SHALL BE DESIGNED TO ALLOW THE FLOW OF EXCESSIVE WATER TO BE RELEASED TO THE NEAREST AVAILABLE DRAINAGE SYSTEM.		
C			INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA.		
D			INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA.		
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P			INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA. INLET/OUTLET PIPES SHALL BE LOCATED IN LOCATIONS FOR THE DESIGN FLOW AREA.		
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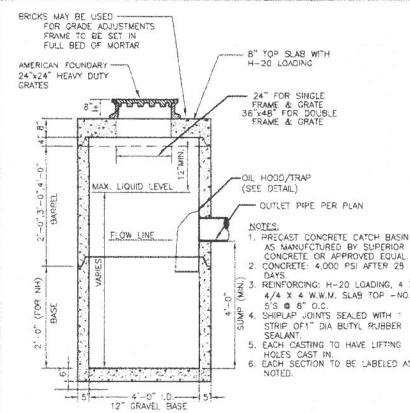
(OR APPROVED EQUAL.)
NOT TO SCALE

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

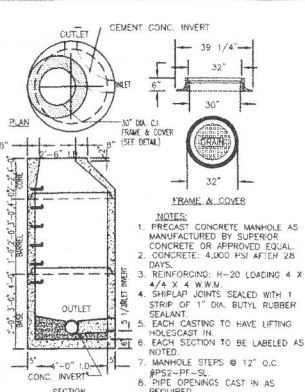


Features:
Reduced cure & weight
Economical alternative to DOT standard
High strength casting
Nonseaking grade
Solid colors are available

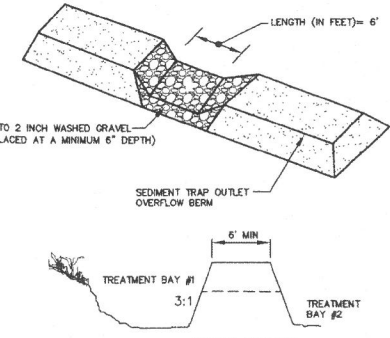
Specifications:
Quality cast frame and grate
Bituminous coated
Nonrocking grate
24 square opening pattern on grate



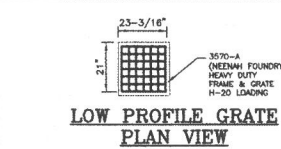
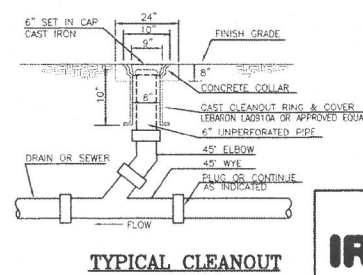
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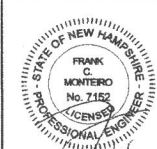
MAXIMUM PIPE DIAMETER 30"
NOT TO SCALE




NOT TO SCALE

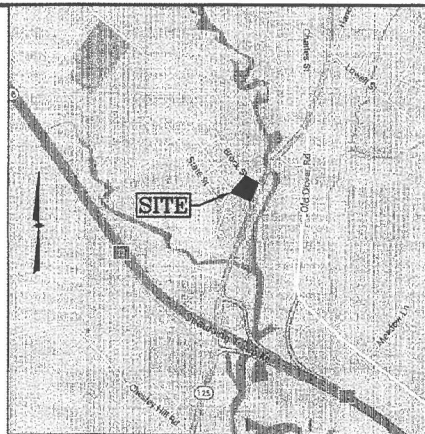
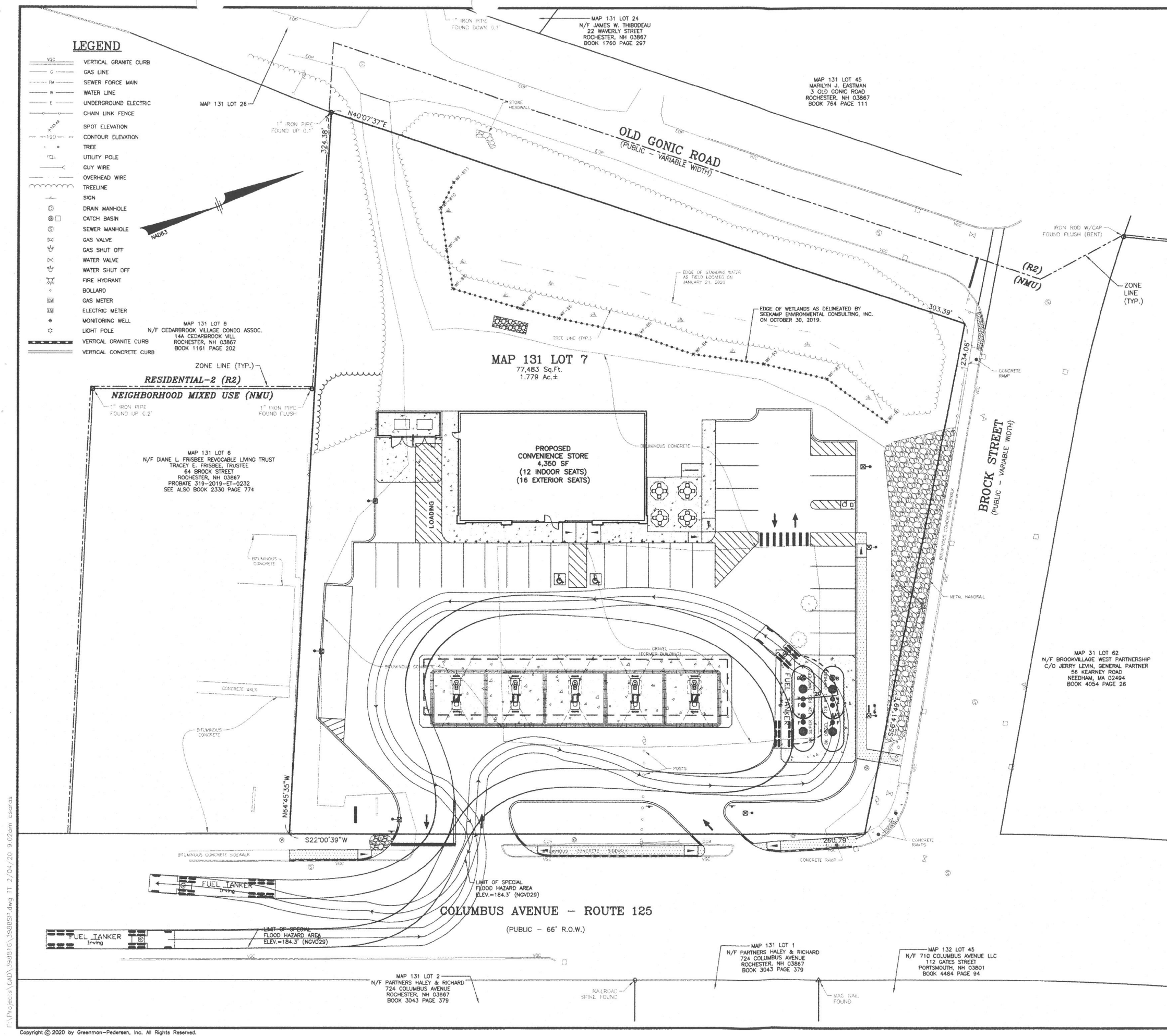


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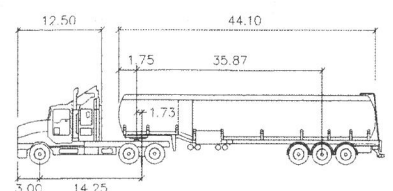


NO.	DESCRIPTION						BY	DATE	
REVISIONS									
SITE DETAILS									
MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 3210 LAFAYETTE ROAD HAMPTON, NH 03842									
			Engineering Design Planning Construction Management			Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079			
603.893.0720			GPINET.COM						
SCALE: AS NOTED			DATE: FEBRUARY 4, 2020			DRAWING NO. 39880ET			
DRAWN BY:		CHECKED BY:		PROJECT NO.		SHEET NO.			
CCC		FCM		398816		11 OF 11			

F:\Projects\CAD\3988SP.dwg IT 2/04/20 9:02am csp



LOCATION MAP
(NOT TO SCALE)



FUEL TANKER		feet
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 40.0
Tractor Track	: 8.00	Articulating Angle : 70.0
Trailer Track	: 8.50	

NO.	DESCRIPTION	BY	DATE
REVISIONS			

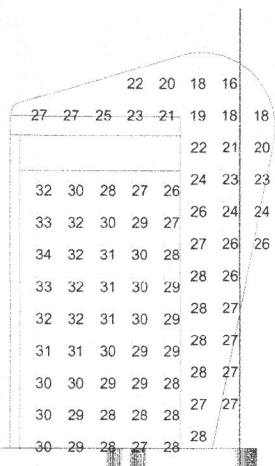
TRUCK TURN PLAN

MAP 131 LOT 7
717 COLUMBUS AVENUE
ROCHESTER, NEW HAMPSHIRE
PREPARED FOR:
TROPIC STAR DEVELOPMENT, LLC
3210 LAFAYETTE ROAD
HAMPTON, NH 03842

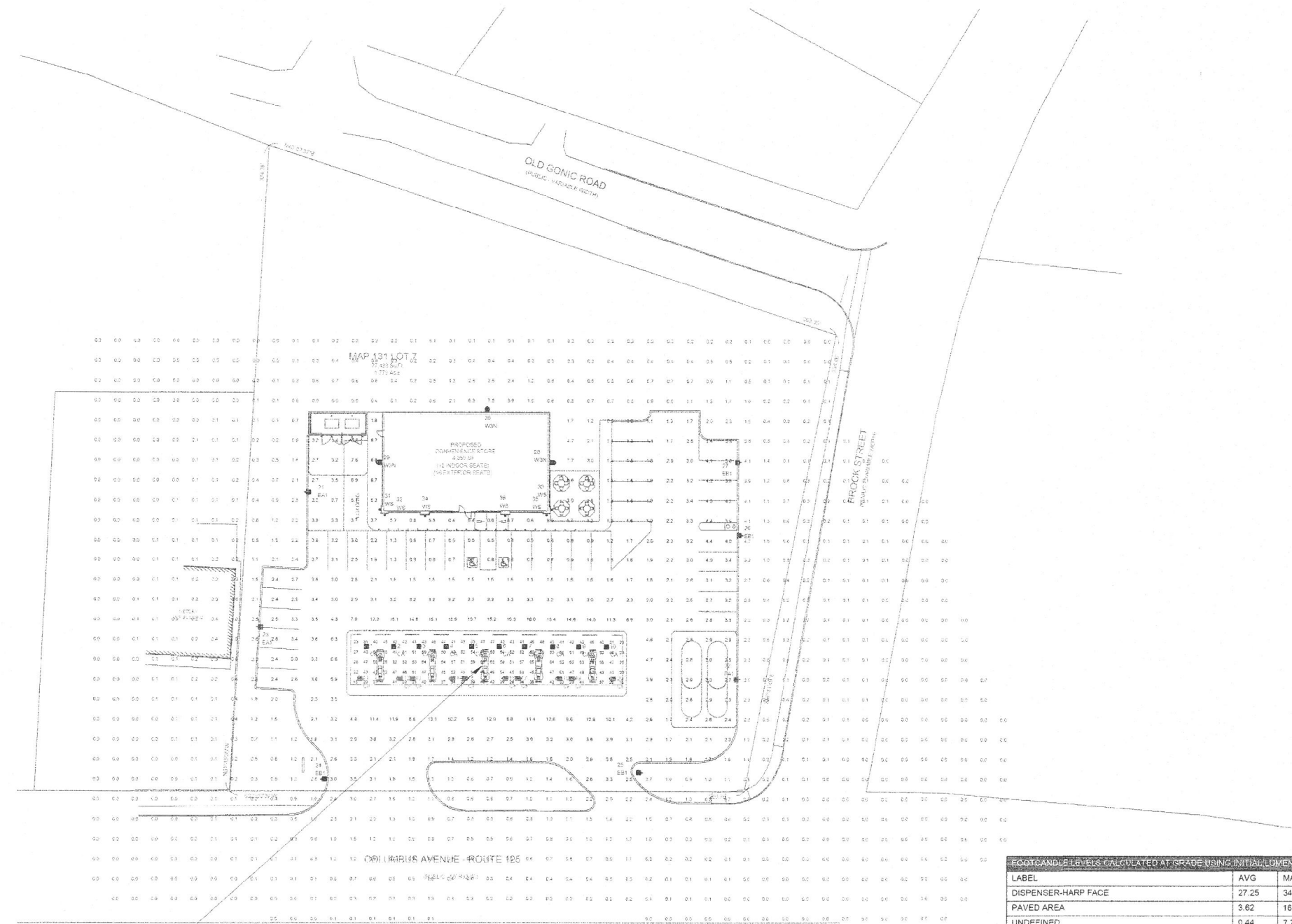
GPI Engineering
Design
Planning
Construction Management
603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1"=20'	DATE: FEBRUARY 4, 2020	DRAWING NO. 3988SP
DRAWN BY: CCC	CHECKED BY: FCM	PROJECT NO. 398816
		SHEET NO. 1 OF 1



IRVING HARP FACE ELEVATION
SCALE: 1" = 2'



IRVING HARP FACE
(SEE ELEVATION)

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
DISPENSER-HARP FACE	27.25	34	16	1.70	2.13
PAVED AREA	3.62	16.0	0.4	9.05	40.00
UNDEFINED	0.44	7.7	0.0	N.A.	N.A.
UNDER CANOPY	44.77	66	15	2.98	4.40

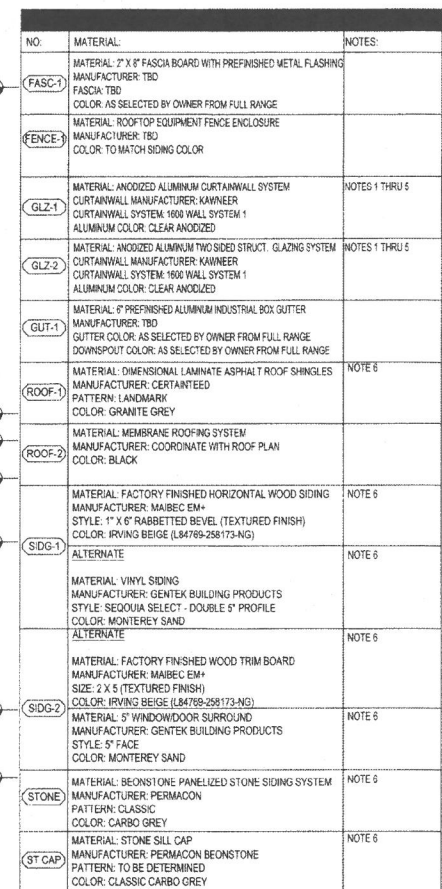
LUMINAIRE SCHEDULE									
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER
10	CA	SINGLE	13261	1.080	B3-U0-G1	134	1340	1340	CREE, INC.
10	CF	SINGLE	12862	1.030	B2-U1-G1	141	1410	1410	RUUD LIGHTING, INC. A CREE COMPANY
4	EAT	SINGLE	12181	1.000	B2-U0-G2	113	339	339	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)
4	EB1	SINGLE	12252	1.000	B2-U0-G2	113	452	452	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)
3	W0N	SINGLE	5883	1.090	B2-U0-G2	66	204	204	CREE, INC.
6	WS	SINGLE	819	1.000	B1-U3-G0	20.18	121.08	121.08	
DESCRIPTION									
CAN-304-SL-RS-06-E-UL-WH-700-57K									
CAN-304-AF-RS-06-E-UL-WH-700									
GLEON-AF-02-LED-E1-T3-7050									
GLEON-AF-02-LED-E1-T4FT-7050									
SEC-EDG-3M-WM-F04-E-UL-525-57K									
2SRBK-4-9W-LED-120V									


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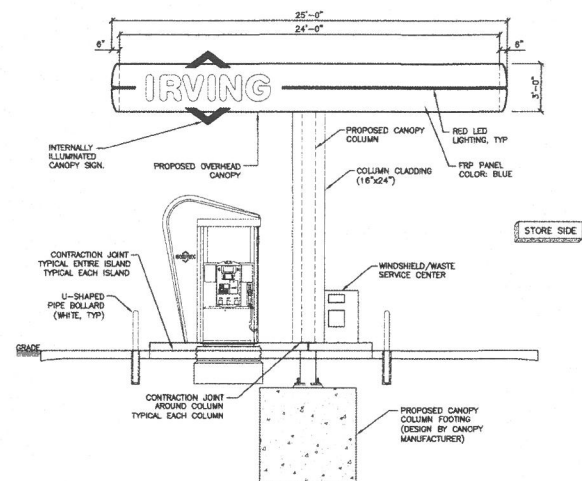
SCALE: 1" = 30'
DATE: 1/1/20

PROJECT NAME
IRVING OIL
ROCHESTER, NH
DRAWING NUMBER
RL-6553-S1

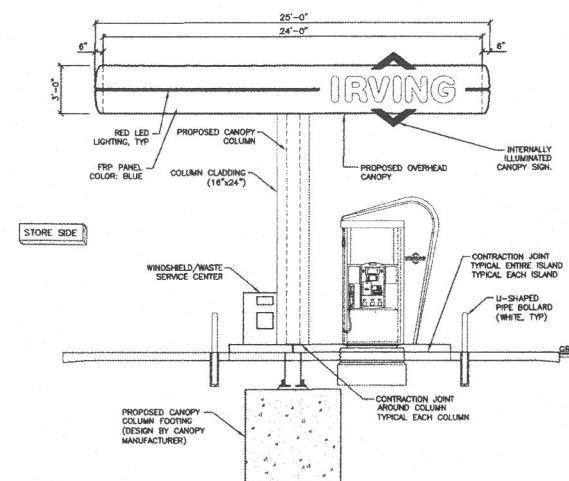
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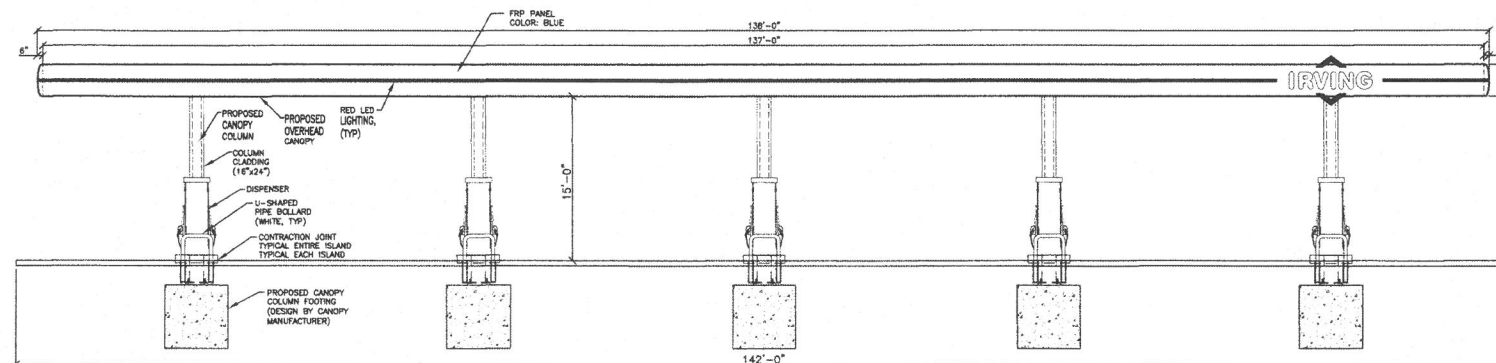
NO.	DESCRIPTION	BY	DATE		
REVISONS					
BUILDING ELEVATIONS					
<p>MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD HAMPTON, NH 03842</p>					
		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079			
603.893.0720		GPINET.COM			
SCALE: 1"=20'	DATE: FEBRUARY 4, 2020		DRAWING NO. 3988REV		
DRAWN BY:	CHECKED BY:	PROJECT NO.	SHEET NO.		
CCC	FCM	398816	1 OF 1		



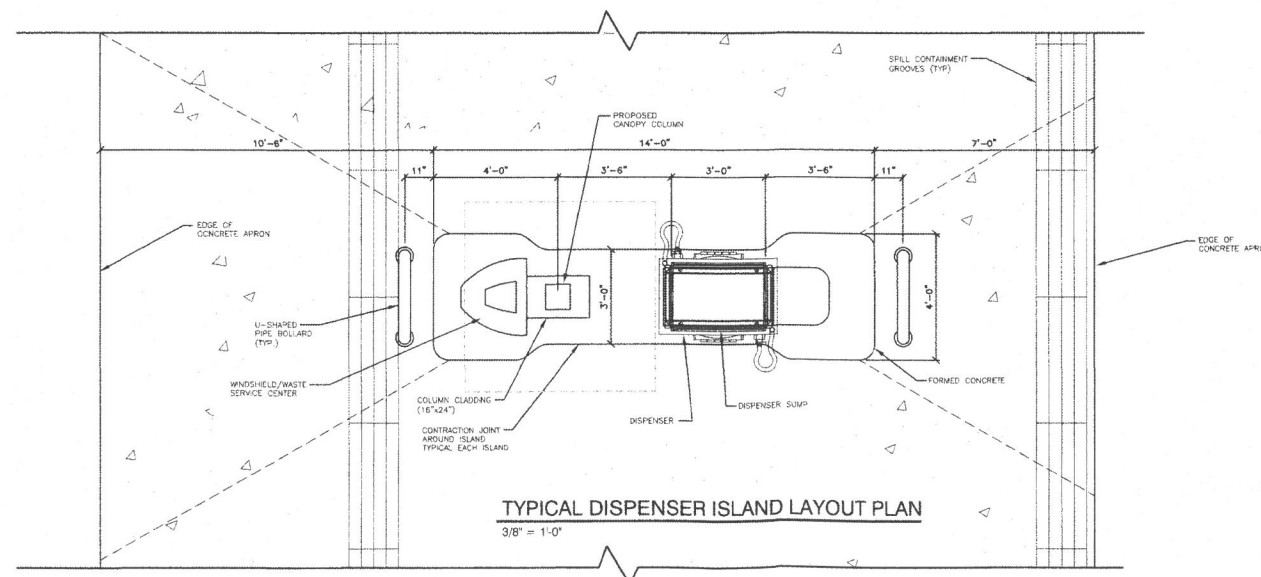
A AUTO FUELING CANOPY NORTH ELEVATION
3/16" = 1'-0"



B AUTO FUELING CANOPY SOUTH ELEVATION
3/16" = 1'-0"



1 AUTO FUELING CANOPY FRONT ELEVATION
1/8" = 1'-0"



NO.	DESCRIPTION	BY	DATE
REVISIONS			
CANOPY ELEVATIONS			
IRVING MAP 131 LOT 7 717 COLUMBUS AVENUE ROCHESTER, NEW HAMPSHIRE PREPARED FOR: TROPIC STAR DEVELOPMENT, LLC 321D LAFAYETTE ROAD HAMPTON, NH 03842			
GPI 603.893.0720 GPINET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1"=20' DRAWN BY: CCC		DATE: FEBRUARY 4, 2020 CHECKED BY: FCM	
		PROJECT NO. 398816 SHEET NO. 1 OF 1	