

GENERAL INFORMATION

OWNER

MAP 121, LOT 17
R & J 90 NORTH MAIN, LLC
351 W. MAIN RD.
MIDDLETOWN, RI 02842-6309
B. 4668 P. 345

PREPARED FOR

BISBANO & ASSOCIATES, INC.
166 VALLEY STREET SUITE 100
PROVIDENCE RI 02909-2408

RESOURCE LIST

PLANNING AND DEVELOPMENT
CITY HALL ANNEX
31 WAKEFIELD STREET
ROCHESTER, NH 03867
PHONE: (603)335-1338
CONTACT: JIM HALL, DIRECTOR

BUILDING & ZONING DEPT

CITY HALL
31 WAKEFIELD STREET
ROCHESTER, NH 03867
PHONE: (603)332-3508
CONTACT: JIM GRANT, DIRECTOR

PUBLIC WORKS

45 OLD DOVER ROAD
ROCHESTER, NH 03867
PHONE: (603)332-4096
CONTACT: PETER NOURSE, P.E.

POLICE DEPARTMENT

23 WAKEFIELD STREET
ROCHESTER, NH 03867
PHONE: (603)330-7127
CONTACT: PAULE TOUSSAINT, CHIEF

FIRE DEPARTMENT

37 WAKEFIELD STREET
ROCHESTER, NH 03867
PHONE: (603)335-7545
CONTACT: MARK KLOSE, CHIEF

ABUTTERS

MAP 121, LOT 18
CITY OF ROCHESTER
31 WAKEFIELD ST.
ROCHESTER NH 03867-1916
B.1177 P.180

MAP 121, LOT 364
103 NORTH MAIN LLC
O/O TOM SHAUGHNESSY
44404 S. ORANGE AVE.
BROKEN ARROW OK 74011-1191
B.3792 P.827

MAP 121, LOT 366
VONGSAY LLC
101 SCHANDA DR.
NEWMARKET NH 03857
B.3095 P.374

MAP 121, LOT 367
GERARD L. BERGERON
95 N. MAIN ST.
ROCHESTER NH 03867-1924
B.4552 P.683

MAP 121, LOT 368-1
CHARLES F. & WENDI P. DUNN
91 N. MAIN ST.
ROCHESTER NH 03867
B.3876 P.330

MAP 121, LOT 368
MK REALTY TRUST
PO BOX 1443
ROCHESTER NH 03866-1443
B.3680 P.681

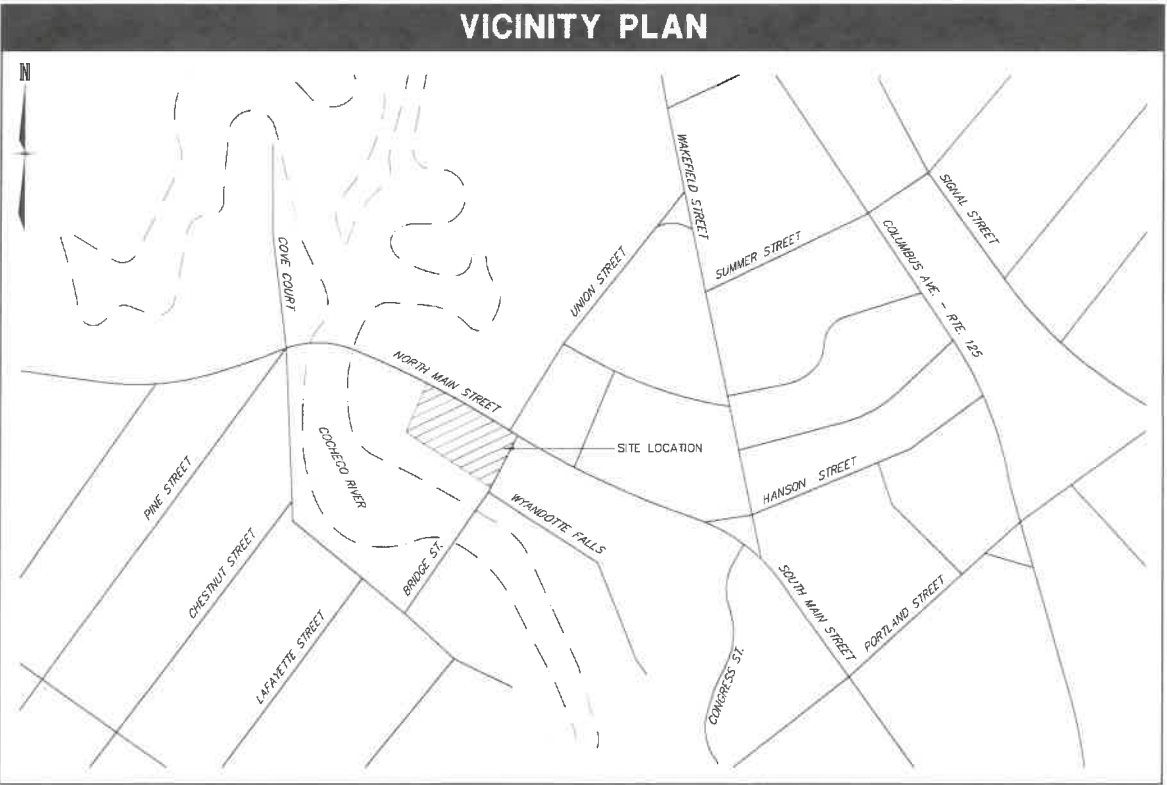
MAP 121, LOT 399
CITY OF ROCHESTER
31 WAKEFIELD ST.
ROCHESTER NH 03867
B.1170 P.497

MAP 121, LOT 369
73 NORTH MAIN LLC
12 ROSE PETAL LANE
KENSINGTON NH 03833 6825
B. 4647 P. 541

MAP 121, LOT 16
STATE OF NEW HAMPSHIRE
BUREAU OF COURTS
25 CAPITOL ST RM 420
CONCORD NH 03301-4931
B.1421 P.2

MAP 121, LOT 29
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LN.
ROCHESTER NH 03867
B.1159 P.370

PROPOSED
BANK BRANCH
ROCHESTER, NEW HAMPSHIRE



250 125 0 250
SCALE: 1"=250'



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



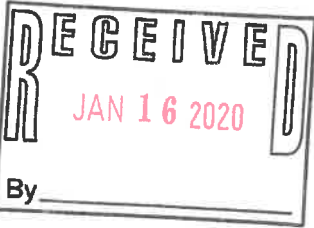
INDEX OF SHEETS

SHEET SHEET TITLE

1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PREPARATION PLAN
4	SITE LAYOUT PLAN
5	GRADING & EROSION CONTROL PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8-10	DETAIL SHEETS

PERMITS / APPROVALS

	NUMBER	APPROVED	EXPIRES
PLANNING BOARD SITE PLAN	121-17-DTC-19	5/17/2019	
PLANNING BOARD SITE PLAN (AMENDMENT)	121-17-DTC-19	12/16/2019	6/16/2020



SITE PLAN

TAX MAP 121 LOT 17

COVER SHEET

PROPOSED BANK BRANCH
ROCHESTER, NEW HAMPSHIRE

OWNED BY

R & J 90 NORTH MAIN, LLC

PREPARED FOR

BISBANO + ASSOCIATES, INC.

SCALE: AS NOTED

MARCH 27, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

FILE 47325.00 DR SRP FB
CK JH CADFILE 47325-00 Details SHEET 1 OF 10

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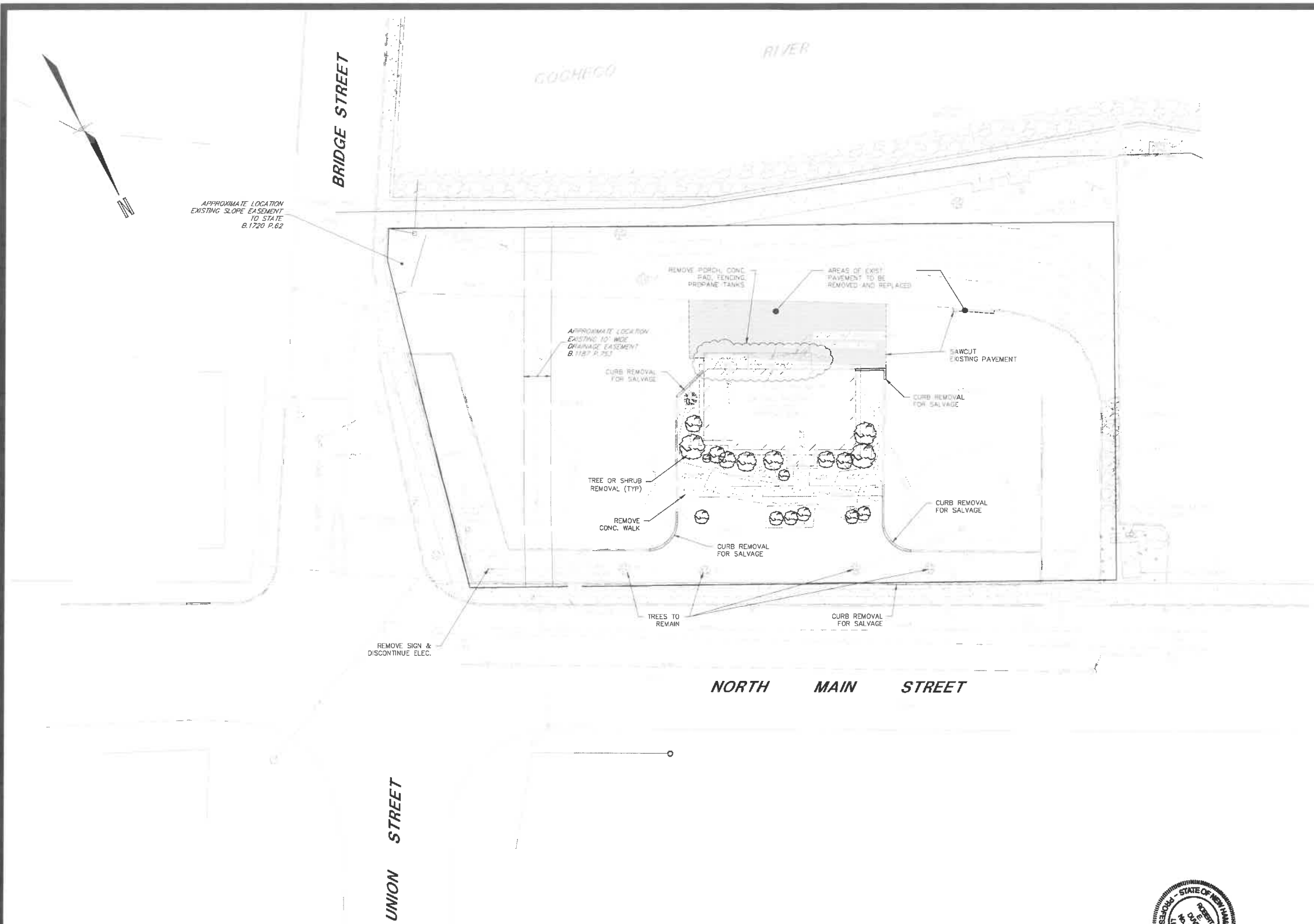
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REV	DATE	DESCRIPTION	DR	CK
2	2-20-2019	ISSUE FOR PERMITTING	JH	JH
1	11-4-2019	ADD BUILDING ADDITION	SRP	JH

Centric
JH MJ
6/3/20

[illegible]



- NOTES**
1. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 2. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
 3. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
 4. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.

APPROVED BY THE ROCHESTER PLANNING BOARD
ON _____ AND
CHAIRMAN: _____
SECRETARY: _____

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TAX MAP 121 LOT 17
SITE PREPARATION PLAN
PROPOSED BANK BRANCH
ROCHESTER, NEW HAMPSHIRE
OWNED BY
R & J 90 NORTH MAIN, LLC
PREPARED FOR
BISBANO + ASSOCIATES, INC.
SCALE: 1"=20' MARCH 27, 2019

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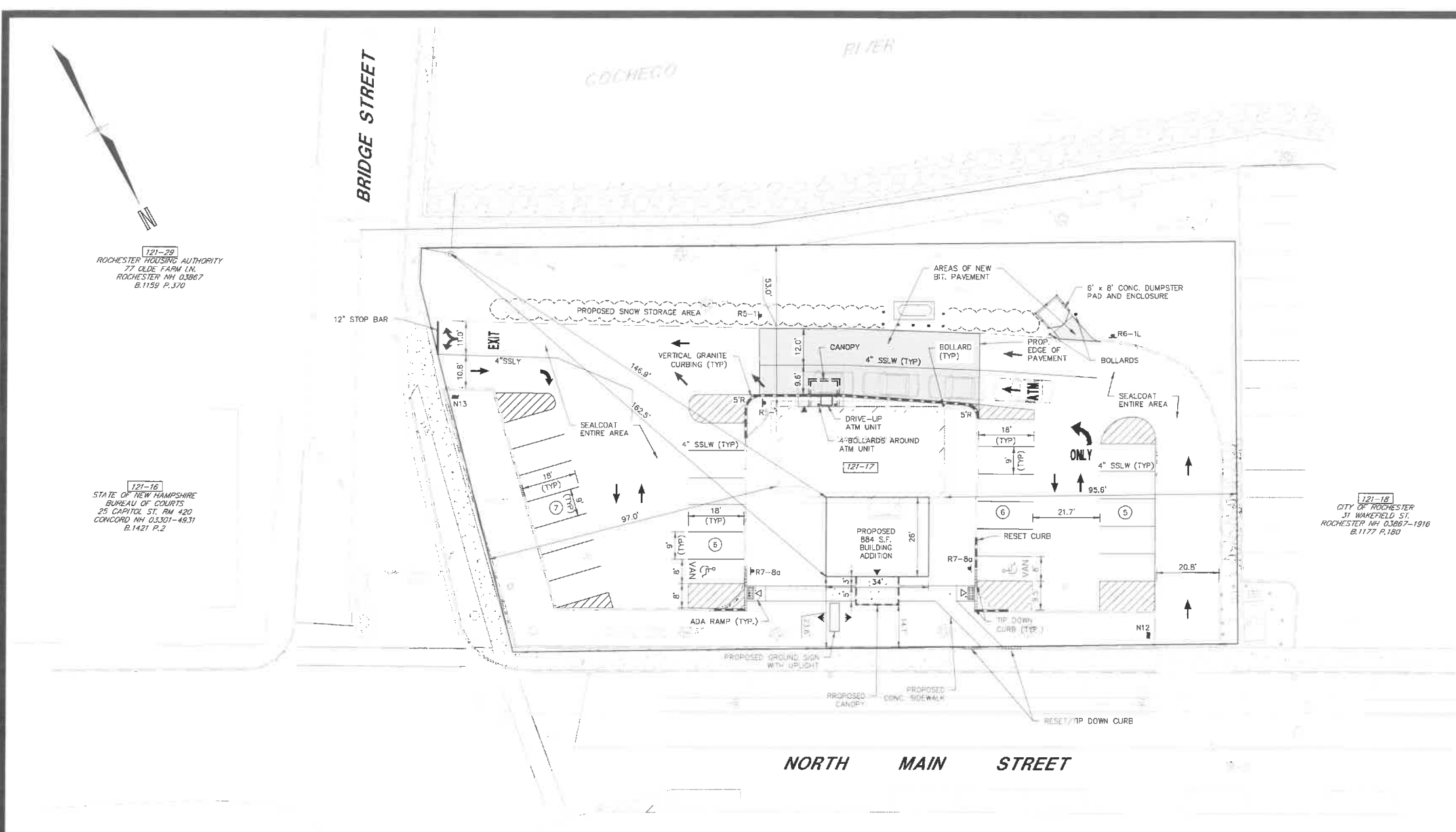
NOTES

- OWNER OF RECORD OF MAP 121 LOT 17: R & J 90 NORTH MAIN, LLC C/O ROBERT FOSTER, 11 MOSES CARR ROAD, ROLLINSFORD, NH 03869-5108. PROPERTY ADDRESS: 90 NORTH MAIN STREET, ROCHESTER, NH. DEED REFERENCE TO PARCEL IS BK. 4575 PG. 202 S.C.R.D. AREA OF PARCEL = 33,626 S.F.± OR 0.772 ACRES±
- THE PURPOSE OF THIS PLAN IS TO DEPICT SITE IMPROVEMENTS ASSOCIATED WITH RENOVATION AND CHANGE IN USE TO ACCOMMODATE A BRANCH BANK WITH AN 884 S.F. BUILDING ADDITION.
- CURRENT ZONING IS DC- COMMERCIAL DISTRICT WITH SPECIAL DOWNTOWN OVERLAY (SDOO).

	REQUIRED	PROVIDED
MIN. LOT SIZE:	4,000 S.F.	33,626 S.F.
MIN. LOT FRONTAGE:	40'	374'±
MIN. BUILDING SETBACKS:		
FRONT	10' (MAX)	14.1'
SIDE	N/A	95.6'
REAR	15'	53.0'
MAX. BUILDING HEIGHT:	5 STORIES	2 STORIES (20 FEET)
MIN. BUILDING HEIGHT:	2 STORIES (20 FEET)	
MAX. LOT COVERAGE:	N/A	
- PARKING CALCULATIONS:

REQUIRED:	PROVIDED:
BANK:	NO OFFSTREET PARKING REQUIRED IN DOWNTOWN COMMERCIAL DISTRICT.
PROPOSED:	24 SPACES (INCL. 2 ACCESSIBLE)
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	SEWER	WATER	GAS	ELECTRIC	TELEPHONE	CABLE
PRIVATE	MUNICIPAL	MUNICIPAL	UNITLE	EVERSOURCE	CONSOLIDATED COMMUNICATIONS	COMCAST
- IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
- THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREINAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- ALL WORK IS TO CONFORM TO CITY OF ROCHESTER, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR SHALL CARRY AN ALLOWANCE FOR REPAIRS / ALTERATIONS TO EXISTING PAVEMENT AS NEEDED.



121-29 ROCHESTER HOUSING AUTHORITY 77 OLDE FARM LN. ROCHESTER NH 03867 B.1159 P.370

121-16 STATE OF NEW HAMPSHIRE BUREAU OF COURTS 25 CAPITOL ST. RM 420 CONCORD NH 03301-4931 B.1421 P.2

121-369 MK REALTY TRUST PO BOX 1443 ROCHESTER NH 03866-1443 B.3680 P.691

121-368-1 CHARLES F. & MENDI P. DUNN 91 N. MAIN ST. ROCHESTER NH 03867 B.3876 P.330

121-367 GERARD L. BERGERON 95 N. MAIN ST. ROCHESTER NH 03857-1924 B.4532 P.683

121-366 VONGSAY LLC 101 SCHANDA DR. NEWMARKET NH 03857 B.3353 P.374

121-364 103 NORTH MAIN LLC C/O TOM SHAUGHNESSY 44404 S. ORANGE AVE. BROKEN ARROW OK 74011-1191 B.3792 P.827

121-399 CITY OF ROCHESTER 31 WAKEFIELD ST. ROCHESTER NH 03867 B.1170 P.497

121-398A ABACUS RESTAURANT CORP DBA REVOLUTION 61 N. MAIN ST. ROCHESTER NH 03867

121-368 PLUMB REALTY, LLC 151 S. MAIN ST. ROCHESTER NH 03867 B.2137 P.743

121-398A ABACUS RESTAURANT CORP DBA REVOLUTION 61 N. MAIN ST. ROCHESTER NH 03867

Controlled by: *[Signature]* Chief Planner 6/3/20

APPROVED BY THE ROCHESTER PLANNING BOARD

ON _____ AND _____

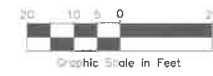
CHAIRMAN: _____

SECRETARY: _____

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1	11-4-2019	ADD BUILDING ADDITION	SRP	JH
		DESCRIPTION	DR	CK

TAX MAP 121 LOT 17

SITE LAYOUT PLAN

PROPOSED BANK BRANCH

ROCHESTER, NEW HAMPSHIRE

OWNED BY

R & J 90 NORTH MAIN, LLC

PREPARED FOR

BISBANO + ASSOCIATES, INC.

SCALE: 1"=20'

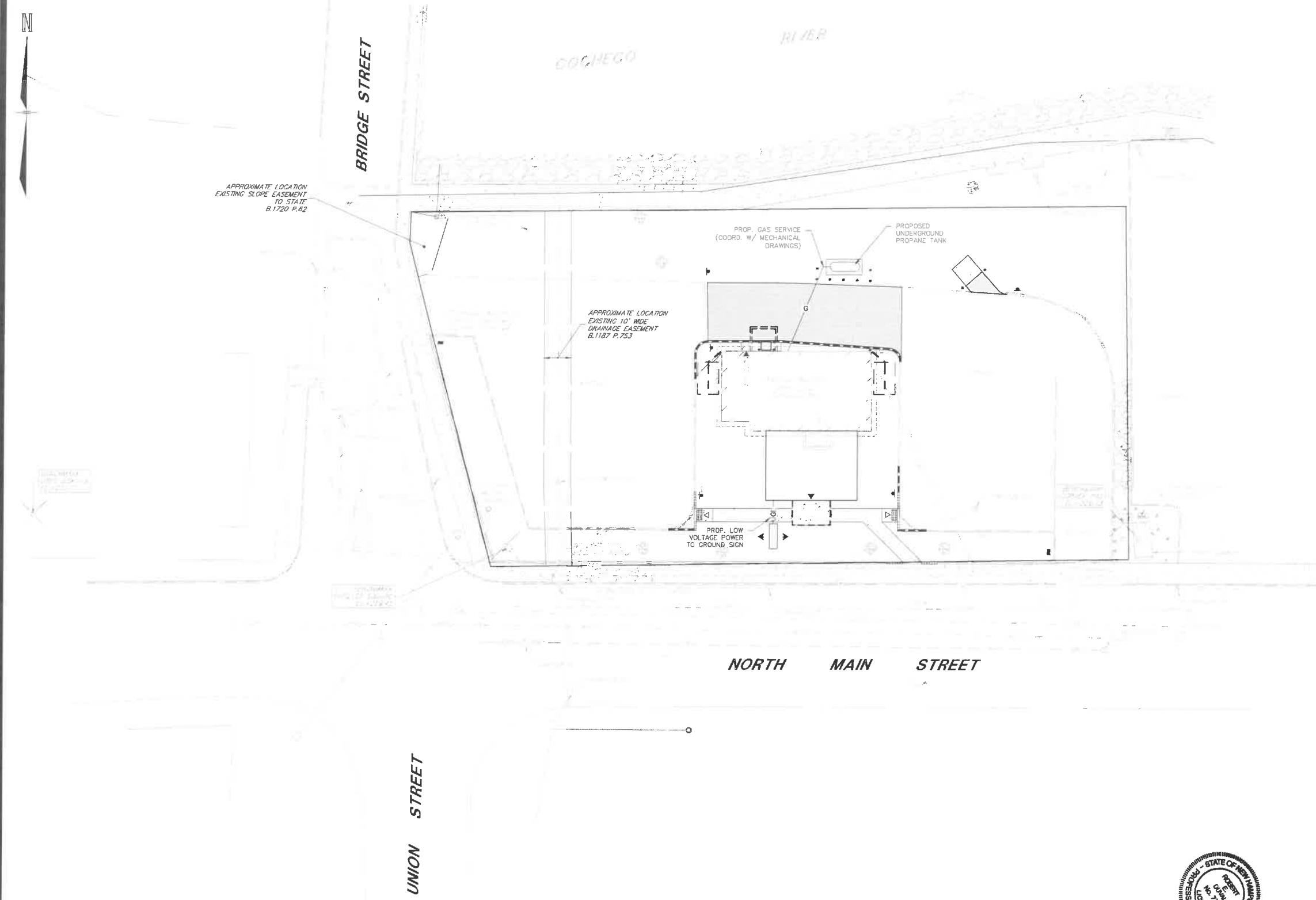
MARCH 27, 2019

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www.tfmoran.com

73725.00 DR JSH FB
CK RED CADFILE 47325-00 Site

SHEET 4 OF 10



- ### NOTES
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 6. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 7. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
 8. ON-SITE WATER DISTRIBUTION SHALL BE TO MANCHESTER WATER WORKS STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 6.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM.
 9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
 10. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
 11. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 12. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 13. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 14. UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
 15. EXIST. WATER, SEWER, GAS, ELECTRICAL SERVICES TO BE EXTENDED INTERNALLY FROM EXISTING STRUCTURE TO SERVICE ADDITION.

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2	12-20-2018	ISSUE FOR PERMITTING	JH	JH
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TAX MAP 121 LOT 17

UTILITY PLAN

PROPOSED BANK BRANCH

ROCHESTER, NEW HAMPSHIRE

OWNED BY

R & J 90 NORTH MAIN, LLC

PREPARED FOR

BISBANO + ASSOCIATES, INC.

SCALE: 1"=20' MARCH 27, 2019

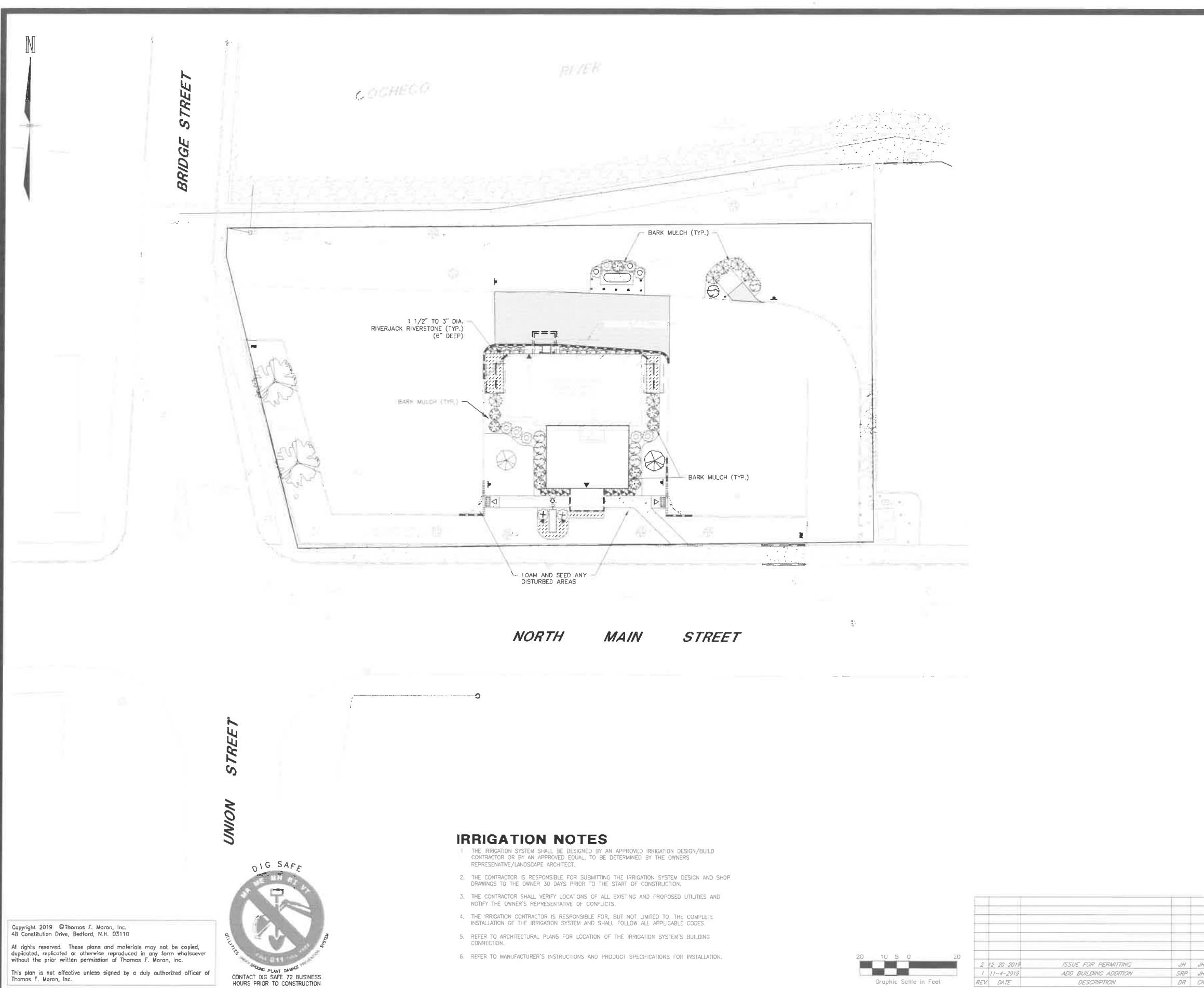
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Scientists

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47325.00

DR JSH FB
OK RED CADFILE 47325-00 Site

SHEET 6 OF 10



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	2	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2" TO 3" CAL.	B&B
	2	MALUS 'GUINEVERE' GUINEVERE CRABAPPLE	2 1/2" TO 3" CAL.	B&B
	9	ILEX GLABRA 'SHAMROCK' SHAMROCK HOLLY	2' TO 3'	B&B
	2	JUNIPERUS H. 'PLUMOSA COMPACTA' YOUNGTOWN JUNIPER	18" TO 24"	CONT.
	7	RHODODENDRON 'PJM' PJM RHODODENDRON	2' TO 3'	B&B
	6	THUJA O. 'SMARAGD' EMERALD GREEN ARBORVITAE	5' TO 6'	B&B
	9	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	2' TO 3'	B&B
	8	HYDRANGEA M. 'CITYLINE VENICE' CITYLINE VENICE HYDRANGEA	5 GAL.	CONT.
	51	HEMEROCALLIS 'JOAN SENIOR' JOAN SENIOR DAYLILY	24" O.C.	CONT.
	51	HEMEROCALLIS 'PARDON ME' PARDON ME DAYLILY	24" O.C.	CONT.

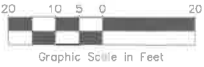
LANDSCAPE NOTES
(SEE DETAILS FOR ADDITIONAL NOTES)

- GENERAL
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
 - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
 - ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
 - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
 - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
 - ALL LANDSCAPED AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SEE IRRIGATION NOTES.
 - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

GUARANTEE
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE/LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
- REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.



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TAX MAP 121 LOT 17
LANDSCAPE PLAN
PROPOSED BANK BRANCH
ROCHESTER, NEW HAMPSHIRE
OWNED BY
R & J 90 NORTH MAIN, LLC
PREPARED FOR
BISBANO + ASSOCIATES, INC.
SCALE: 1"=20' **MARCH 27, 2019**

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Structural Engineers
Traffic Engineers
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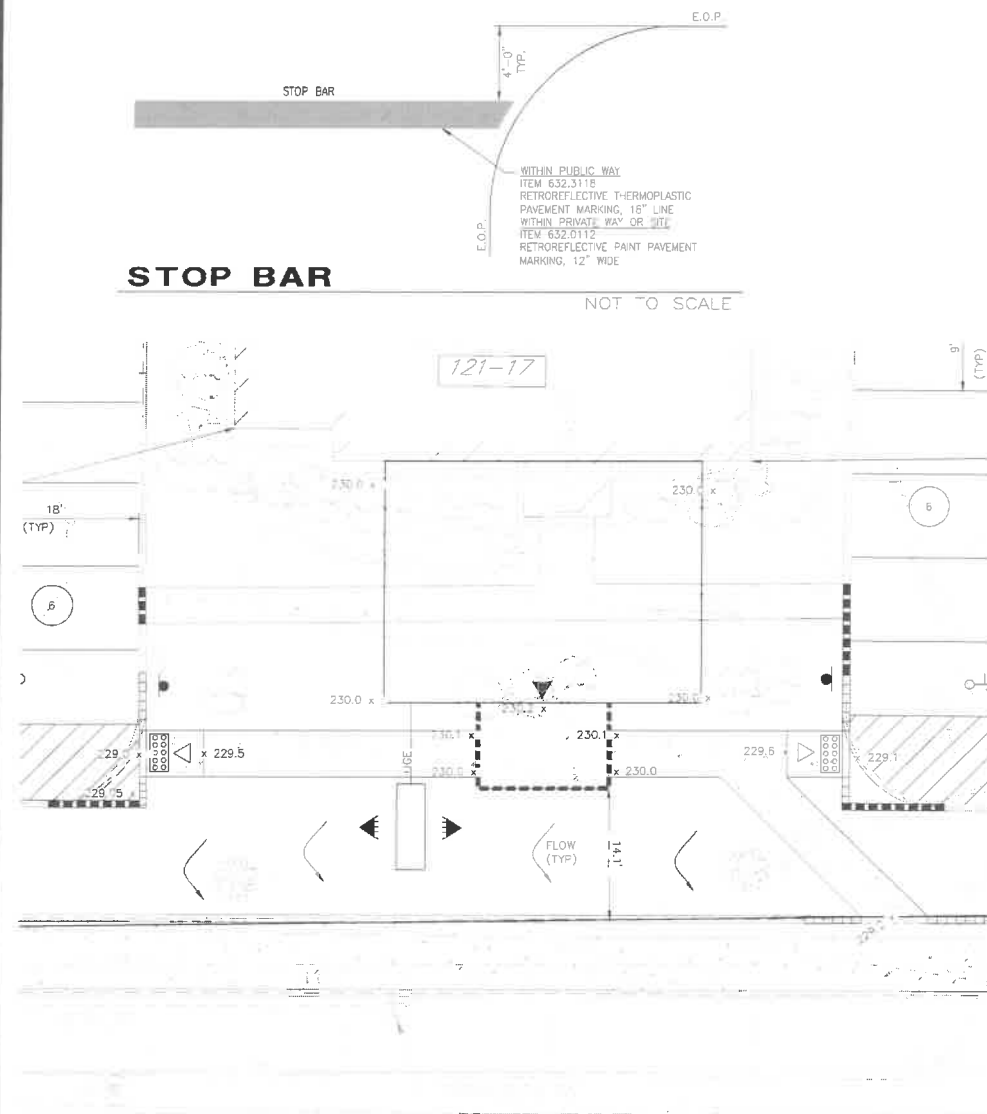
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CK RED CADFILE

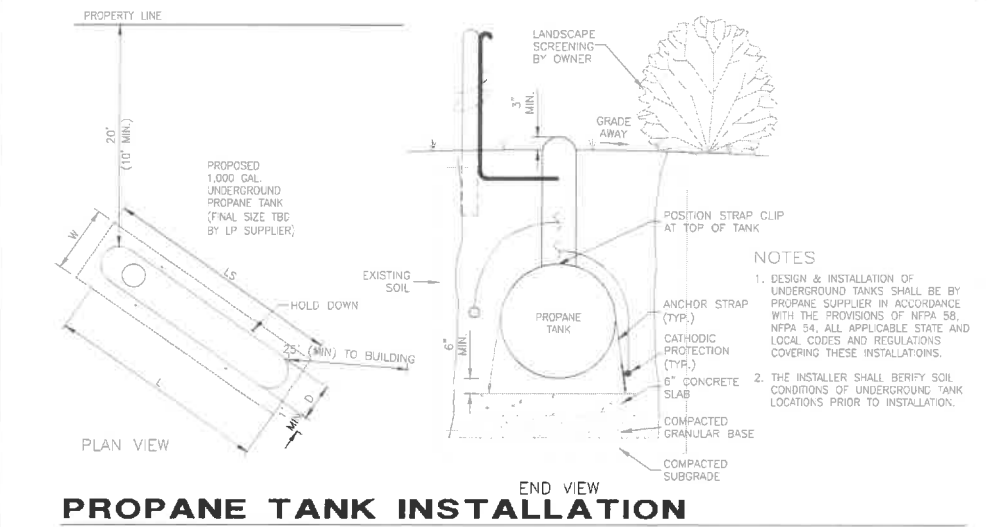
47325-00 Site

SHEET 7 OF 10



STOP BAR

NOT TO SCALE



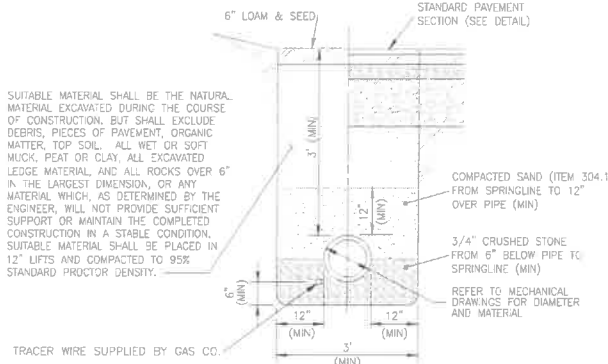
FRONT ENTRANCE AND GRADING DETAIL

SCALE: 1" = 10'



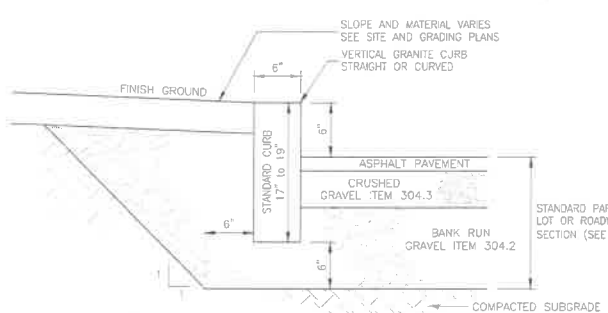
PROANE TANK INSTALLATION

NOT TO SCALE



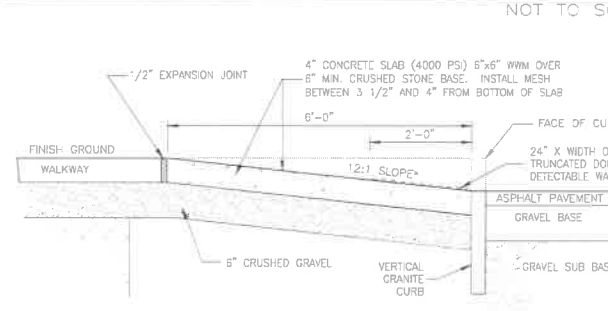
GAS MAIN TRENCH

NOT TO SCALE



VERTICAL GRANITE CURB

NOT TO SCALE



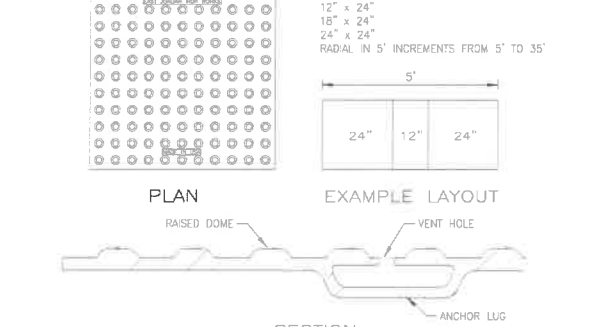
ACCESSIBLE CONCRETE RAMP AT END WALK

NOT TO SCALE



DETECTABLE WARNING PLATE

NOT TO SCALE



DETECTABLE WARNING PLATE

NOT TO SCALE



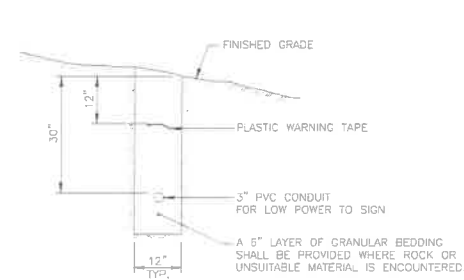
DETECTABLE WARNING PLATE

NOT TO SCALE



DETECTABLE WARNING PLATE

NOT TO SCALE



TRENCH FOR CONDUIT INSTALLATION

NOT TO SCALE



TRENCH FOR CONDUIT INSTALLATION

NOT TO SCALE



TRENCH FOR CONDUIT INSTALLATION

NOT TO SCALE



TRENCH FOR CONDUIT INSTALLATION

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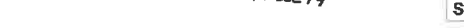
TRENCH FOR CONDUIT INSTALLATION

NOT TO SCALE



TRENCH FOR CONDUIT INSTALLATION

NOT TO SCALE



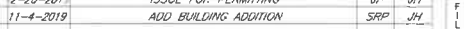
TRENCH FOR CONDUIT INSTALLATION

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TRENCH FOR CONDUIT INSTALLATION

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TRENCH FOR CONDUIT INSTALLATION

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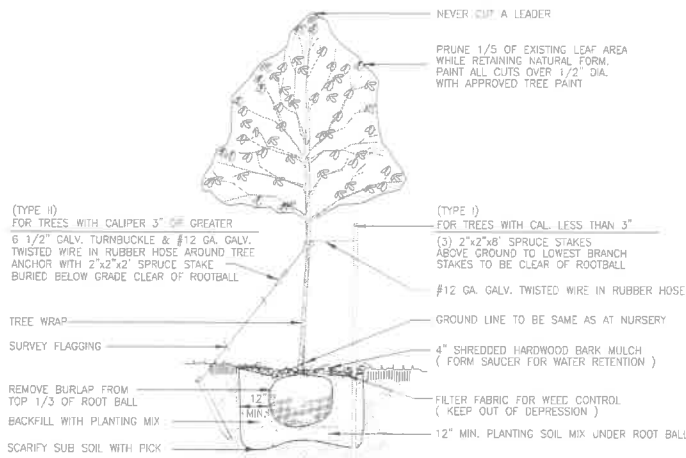
TAX MAP 121 LOT 17
DETAIL SHEET
PROPOSED BANK BRANCH
ROCHESTER, NEW HAMPSHIRE
 OWNED BY
R & J 90 NORTH MAIN, LLC
 PREPARED FOR
BISBANO + ASSOCIATES, INC.
 SCALE: AS NOTED MARCH 27, 2019

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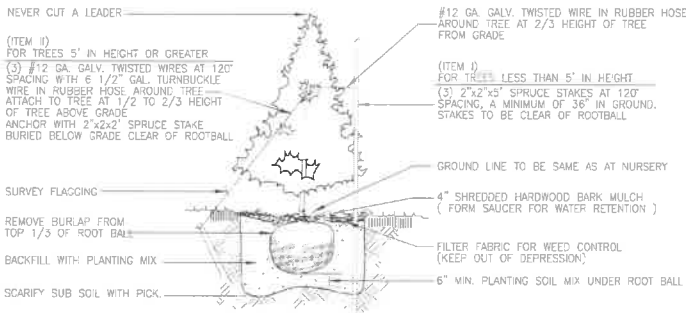
47325.00 DR SRP FB
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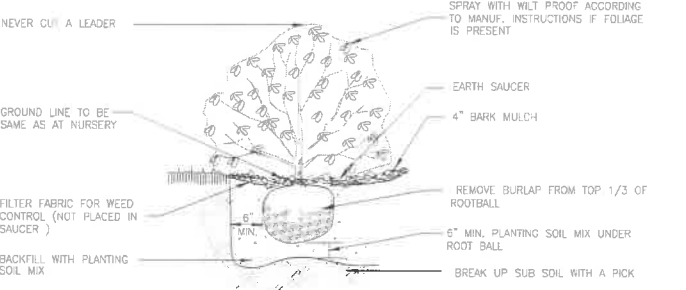




DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

LANDSCAPE SPECIFICATIONS

SITE AND SOIL PREPARATION

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SOODED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT. A SOIL TEST FACILITY SHALL BE UTILIZED TO DETERMINE APPLICATION RATES PRIOR TO APPLICATION OF ANY FERTILIZERS ONSITE.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER. SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

SEEDING

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
 - SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEED OR SOODED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
- ACCEPTABLE SEED MIXES ARE AS FOLLOWS:
- | TYPICAL LAWN MIX (MIN. 200 LBS/ACRE): | |
|---------------------------------------|--------------------|
| 33% CREEPING RED FESCUE | (MIN. 66 LBS/ACRE) |
| 42% PERENNIAL RYEGRASS | (MIN. 84 LBS/ACRE) |
| 21% KENTUCKY BLUEGRASS | (MIN. 42 LBS/ACRE) |
| 4% REDTOP | (MIN. 8 LBS/ACRE) |

PLANTING

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 4" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL, AND FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
- STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8'0", WOOD STAKES. GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "CINCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASONS.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

LAWN

- BEGINNING MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - SEEDING LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - WHEN FULL MAINTENANCE PERIOD HAS NOT ELAPSED BEFORE END OF PLANTING SEASON, OR IF LAWN IS NOT FULLY ESTABLISHED, CONTINUE MAINTENANCE DURING NEXT PLANTING SEASON.
 - SOODED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH. ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
- MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME Matted. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
 - MOW GRASS TO 1/2 INCH (13 mm) HIGH OR LESS.
 - MOW GRASS 1/2 TO 1 INCH (13 TO 25 mm) HIGH OR LESS.
 - MOW GRASS 1 TO 2 INCHES (25 TO 50 mm) HIGH OR LESS.
 - MOW GRASS 1-1/2 TO 2 INCHES (38 TO 50 mm) HIGH OR LESS.
 - MOW GRASS 2 TO 3 INCHES (50 TO 75 mm) HIGH OR LESS.
- LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - USE NO PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER.

MEADOW

- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
- MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
- WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - SCHEDULE WATERING TO PREVENT WILTING, PUDDING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

TREES AND SHRUBS:

- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
- TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
- THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
- LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.



LOAM & SEED DETAIL

NOT TO SCALE



TAX MAP 121 LOT 17
DETAIL SHEET
PROPOSED BANK BRANCH
ROCHESTER, NEW HAMPSHIRE
OWNED BY
R & J 90 NORTH MAIN, LLC
PREPARED FOR
BISBANO + ASSOCIATES, INC.
SCALE. AS NOTED **MARCH 27, 2019**



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Structural Engineers
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OK RED CADFILE 47325-00 Details SHEET 10 OF 10

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