

NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

Date: 11/17/2020 Is a conditional use needed? Yes: No: x Unclear:
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 208; Lot #(s): 18; Zoning district: GRD

Property address/location: 17 Sterling Drive

Name of project (if applicable): Proposed Self Storage

Size of site: 6.67 acres; overlay zoning district(s)? aquifer protection, flood hazard and wetland conservation

Property owner

Name (include name of individual): Packys Investment Properties LLC

Mailing address: PO Box 77, Farmington, NH 03835

Telephone #: 603-765-9101 Email: packyc@rsarealty.com

Applicant/developer (if different from property owner)

Name (include name of individual): Same as owner

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc.; Scott A. Lawler, PE

Mailing address: PO Box 249, Rochester, NH 03867

Telephone #: 603-335-3948 Fax #: _____

Email address: slawler@norwayplains.com Professional license #: 10026

Proposed activity (check all that apply)

New building(s): x Site development (other structures, parking, utilities, etc.): x

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

Describe proposed activity/use: the proposed project is to construct four self storage buildings and use the property as
a self storage facility.

Describe existing conditions/use (vacant land?): the lot is currently vacant and mostly wooded

Utility information

City water? yes ☐ no ☒; How far is City water from the site? _____

City sewer? yes ☐ no ☒; How far is City sewer from the site? _____

If City water, what are the estimated total daily needs? _____ gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☐

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☐

Where will stormwater be discharged? Infiltration Basin

Building information

Type of building(s): Steel

Building height: _____ Finished floor elevation: Variable

Other information

parking spaces: existing: 0 total proposed: 39; Are there pertinent covenants? no

Number of cubic yards of earth being removed from the site N/A

Number of existing employees: 0; number of proposed employees total: 0

Check any that are proposed: variance ☐; special exception ☐; conditional use ☐

Wetlands: Is any fill proposed? No; area to be filled: _____; buffer impact? No

Proposed <i>post-development</i> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	3,600 sf	1.2%
Building footprint(s) – give for each building	6,400 sf	2.2%
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Parking and vehicle circulation	43,610 sf	15.0%
Planted/landscaped areas (excluding drainage)	46,938 sf	16.2%
Natural/undisturbed areas (excluding wetlands)	62,811 sf	21.6%
Wetlands	103,745 sf	35.7%
Other – drainage structures, outside storage, etc.	10,641 sf	3.7%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: [Signature]

Date: 11/20/2020

Signature of applicant/developer: [Signature]

Date: 11/20/2020

Signature of agent: [Signature], Norway Plains ASSOCIATES, Inc.

Date: 11/20/2020

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. And Give Notice

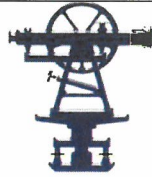
Signature of property owner: [Signature]

Date: 11/20/2020

NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

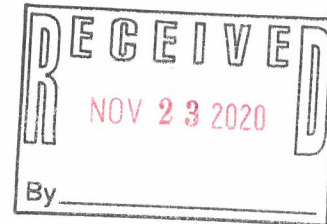
P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Fax (603)332-0098
Phone (603) 335-3948
slawler@norwayplains.com



P. O. Box 268
31 Mooney St.
Alton, NH 03809
www.norwayplains.com
Phone & Fax (603) 875-3948
rtetreault@norwayplains.com

November 23, 2020

Seth Creighton, Chief Planner
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867



Re: Non- Residential Site Plan Application; Proposed Self Storage, 17 Sterling Drive, Map 208, Lot 18.

Dear Mr. Creighton:

On behalf of Packys Investment Properties LLC, Norway Plains Associates, Inc. is pleased to submit a Non-Residential Site Plan Application. Packys Investment Properties LLC is the owner of the parcel located at 17 Sterling Drive identified by the City of Rochester assessors as Tax Map 208, Lot 18 with a total area of 6.67 acres. The parcel is located in the Granite Ridge Development Zoning District, Aquifer Protection Overlay District, Flood Hazard Overlay District and Wetland Conservation Overlay District.

The parcel is located on the east side of Sterling Drive. The site is partially wooded and the rest is gravelly land. There is a gravel driveway to access a sewer pump station owned by the City of Rochester and easement exists to maintain that access. There is also a small cemetery located on the west side of the parcel.

The proposed project is to construct a 22,800 square foot self-storage facility on the parcel. The facility will have four (4) steel self-storage buildings; three will be 160 feet by 40 feet, and one will be 120 feet by 30 feet. The hipped roof buildings will be a beige color with blue doors, matching the other facilities owned and operated by the applicant.

Access into the site will be via a paved driveway constructed at the current driveway that accesses the existing pump station. The site will have a 24-foot-wide paved travel way around and between each building. There will be signs and painted arrows indicating one-way travel throughout the site.

The stormwater from the impervious surfaces will be directed towards either a swale along the eastern property line or directly into a lined sediment forebay and then into an infiltration basin. The basin has been designed for the 50-year storm event. The infiltration basin is intended to provide the groundwater recharge to offset the impervious coverage for the project. Therefore, a vast amount of the stormwater will be infiltrated back into the ground. A stone lined spillway will be installed on the berm of the basin. Lining the sediment forebay will allow for the capture of any potential petroleum spills from getting into the infiltration basin and soaking into the ground without being noticed beforehand. As a result of effective stormwater management practices, there will be a reduction in both the peak runoff rate and volume leaving the site.

Since the site will not have an office, there will be no connection to public water or sewer. Electricity and communications wires will be buried from the transformers located within the Sterling Drive right-of-way. The site will be illuminated by LED lighting fixtures either mounted on the buildings or on pole around the perimeter of the site. The fixtures will be full cut-off and adhere to the City of Rochester lighting ordinances.

Located at each end of the four buildings, the applicant is proposing installing solar trackers. These eight (8) solar trackers will be constructed such that the support pole will rise through the middle of the roof. This will allow the solar panel trackers to rotate with the sun orbit and not impede on the vehicular traffic flows.

An optional chain-link fence has been incorporated into the site design. It may be installed on the sides of the parcel to discourage trespassing, if unauthorized entrance becomes a problem. Should there be a gate installed at the entrance of the parcel, it will be equipped with radio frequency for the police and fire departments in case of emergency. Security camera will be installed throughout the site for added protection.

A free-standing sign will be placed at the southwesterly corner of the property consistent with the City of Rochester sign ordinance. Additional trees will be planted between the Sterling Drive ROW and the proposed development to fill in gaps within existing trees that will be maintained. A no earth disturbance buffer, no less than 25-feet will be preserved around the existing cemetery in accordance with the State statue for all cemeteries.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,
NORWAY PLAINS ASSOCIATES, INC.

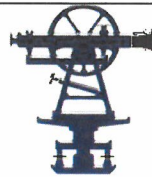


By:
Scott A. Lawler, PE, Project Engineer

cc: Packys Investment Properties LLC

NORWAY PLAINS ASSOCIATES, INC.
LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249
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rtetreault@norwayplains.com

November 20, 2020

Seth Creighton, Chief Planner
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867

Re: Waiver Request: Section 10(A); Number of Parking Spaces, Packys Investment Properties LLC; Sterling Drive, Rochester, NH, Tax Map 208, Lot 18.

Dear Seth:

On behalf of Packy Campbell and Packys Investment Properties LLC, Norway Plains Associates respectfully requests waivers to the following Site Plan Regulation:

Waiver Request Section 10 (A):

Section 10(A) of the Rochester Site Plan Review Regulations requires that the minimum number of designated off street parking shall be provided on each site based upon the type of use, as shown in the Table of Parking Requirements. For Industrial use, the requirement is 1 space per 1000 square feet of gross floor area plus 3 spaces per 1,000 gross square feet for area designated for offices or retail sales.

Under the Site Review Regulations, the proposed industrial use, the total number of parking spaces based on the total gross floor area of the industrial use and the office use is 23:

<u>22,800 sf proposed Industrial</u>	Plus	<u>0 sf. proposed office</u>
1 space per 1,000 sf Industrial Use		3 spaces per 1,000 sf Office

Since the proposed buildings will be a self-storage facility and there will not be an office or full-time employees, there is no need to have designated parking. Renters will be loading and unloading at their individual units. Therefore, we respectfully request a waiver to eliminate the need for parking spaces as part of the site design.

Thank you for your consideration.

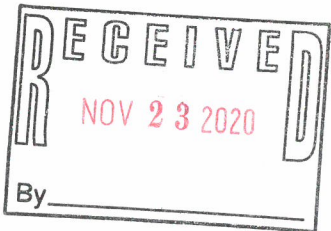
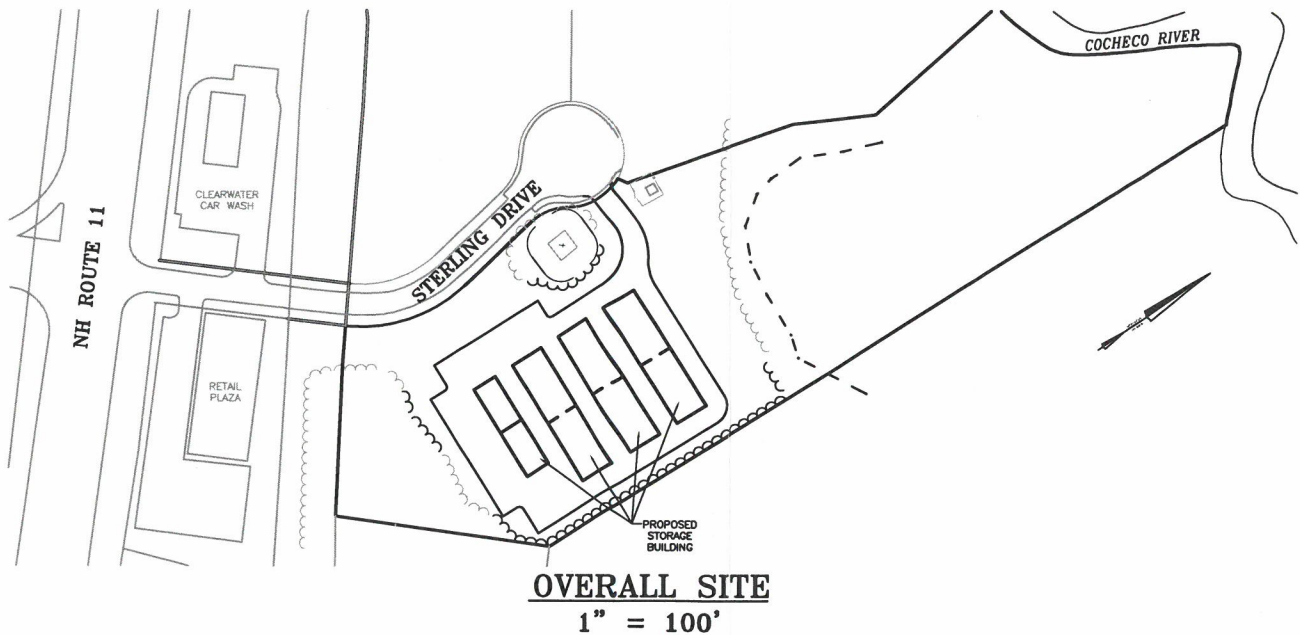
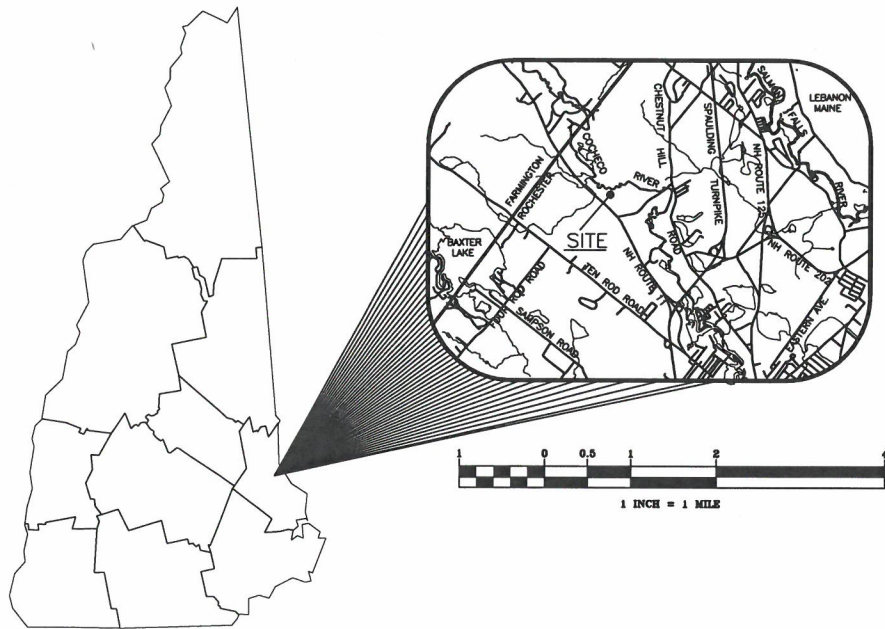
Sincerely,

NORWAY PLAINS ASSOCIATES, INC.

By: _____
Scott A. Lawler, P.E., Project Engineer



PROPOSED SELF STORAGE
17 STERLING DRIVE
PREPARED FOR
PACKYS INVESTMENT PROPERTIES LLC
NOVEMBER 2020



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

CIVIL ENGINEERS
NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3948

OWNER OF RECORD
TAX MAP 208, LOTS 18
OWNER OF RECORD:
PACKYS INVESTMENT PROPERTIES LLC
PO BOX 77
FARMINGTON, NH 03835-0077
SCRD BOOK 4748, PAGE 803

APPLICANT
PACKYS INVESTMENT PROPERTIES LLC
PO BOX 77
FARMINGTON, NH 03835-0077
(603) 765-9101

STATE AND FEDERAL PERMITS:
STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES ALTERATION OF TERRAIN: NOT REQUIRED
NHDES WETLANDS PERMIT: NOT REQUIRED
NHDES DAM PERMIT: NOT REQUIRED
NHDES SUBDIVISION PERMIT: NOT REQUIRED
NHDES SUBSURFACE SYSTEMS PERMIT: NOT REQUIRED
NHDES WASTEWATER PERMIT: NOT REQUIRED
NHDOT DRIVEWAY/ENTRANCE PERMIT: NOT REQUIRED

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.
FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

SHEET INDEX		
	COVER	
SHEET E-1	EXISTING FEATURES	1" = 30'
SHEET C-1	OVERALL SITE PLAN	1" = 50'
SHEET C-2	SITE LAYOUT PLAN	1" = 30'
SHEET C-3	GRADING AND DRAINAGE PLAN	1" = 30'
SHEET C-4	EROSION AND SEDIMENTATION CONTROL PLAN	1" = 30'
SHEET C-7	CONSTRUCTION DETAILS	AS SHOWN
SHEET C-8	TEMPORARY EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET C-9	PERMANENT EROSION AND SEDIMENTATION CONTROL DETAILS	AS SHOWN
SHEET L-1	SITE LANDSCAPING PLAN	1" = 30'
SHEET L-2	LIGHTING PLAN AND DETAILS	1" = 30'

FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

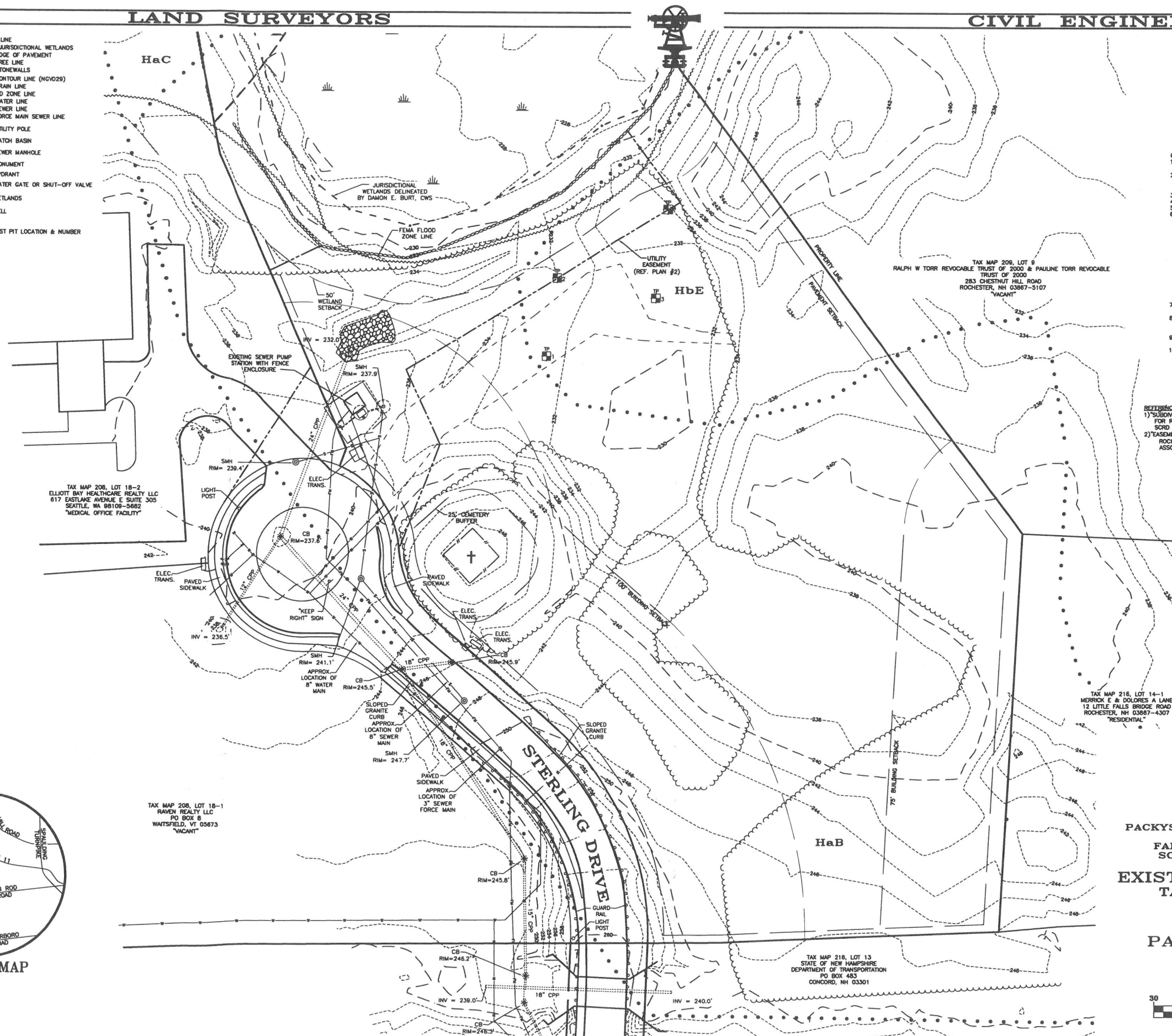
Drawing Location: N:\2019\19273.DWG; 19273-SP-1.dwg
Thu, 19 Nov 2020 - 2:50pm

LAND SURVEYORS

CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- - - LIMITS OF JURISDICTIONAL WETLANDS
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING TREE LINE
- - - EXISTING STONEWALLS
- - - EXISTING CONTOUR LINE (NGVD29)
- - - EXISTING DRAIN LINE
- - - FEMA FLOOD ZONE LINE
- - - EXISTING WATER LINE
- - - EXISTING SEWER LINE
- - - EXISTING FORCE MAIN SEWER LINE
- - - EXISTING UTILITY POLE
- - - EXISTING CATCH BASIN
- - - EXISTING SEWER MANHOLE
- - - EXISTING MONUMENT
- - - EXISTING HYDRANT
- - - EXISTING WATER GATE OR SHUT-OFF VALVE
- - - EXISTING WETLANDS
- - - EXISTING WELL
- - - EXISTING TEST PIT LOCATION & NUMBER



- GENERAL SITE PLAN NOTES
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON TAX MAP 208, LOT 18-0.
 2. THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE AND THE AQUIFER PROTECTION OVERLAY DISTRICT (APOD), THE FLOOD HAZARD OVERLAY DISTRICT (FHD) AND THE WETLAND CONSERVATION OVERLAY DISTRICT.
 3. TOTAL PARCEL AREA: LOT 18-0 = 6.67 ACRES OR 290,345 SQUARE FEET.
 4. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON THE LOT.
 5. THE LOTS AREA SERVED BY CITY SEWER AND WATER.
 6. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
GRANITE RIDGE DEVELOPMENT (GRD) ZONE:
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
MINIMUM LOT FRONTAGE = 50 FEET
PAVEMENT SETBACKS:
FRONT = 10'
SIDE = 5'
REAR = 10'
 7. MINIMUM YARD SETBACKS:
FRONT = NO DIMENSIONAL STANDARD
SIDE = NO DIMENSIONAL STANDARD
REAR = NO DIMENSIONAL STANDARD
 8. MAXIMUM LOT COVERAGE = NO STANDARD
MAXIMUM BUILDING HEIGHT = NO STANDARD
 9. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NGVD29
 10. PARCEL IS LOCATED WITHIN ZONE AE (100YR FLOOD) AND THE FLOODWAY ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017001840 DATED MAY 17, 2005.
 11. WETLANDS DELINEATION WAS COMPLETED BY DAMON E. BURT, CWS IN MAY OF 2020.
 12. SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE:
 - HbE - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
 - HaC - HINCKLEY LOAMY SAND, 8 TO 15 PERCENT SLOPES
 - HbE - HINCKLEY LOAMY SAND, 15 TO 60 PERCENT SLOPES
 - Ru - RUMNEY FINE SANDY LOAM

REFERENCE PLAN

- 1) "SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH" FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 84-28.
- 2) "EASEMENT PLAN - SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH" FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 84-29.

TEST PIT LOG
PERFORM BY ASHLEY F. ROWE,
NH SEPTIC DESIGNER #1857
ON SEPTEMBER 22, 2020

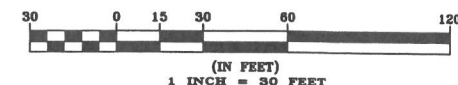
- TEST PIT 1
0' - 11'
11' - 20'
20' - 30'
30' - 42'
42' - 60'
60' - 75'
75' - 100'
- LOAM TOPSOIL, COMMON ROOTS.
COARSE GRAVELLY SAND, SOMEWHAT FIRM IN PLACE.
MEDIUM TO COARSE SINGLE GRAIN SAND, LOOSE.
FINE SINGLE GRAIN SAND, LOOSE.
COARSE SINGLE GRAIN SAND, LOOSE.
REDOXIMORPHIC CONCENTRATIONS PROMINENT BELOW 28'.
PERC 2 MPI
- TEST PIT 2
0' - 15'
15' - 30'
30' - 42'
42' - 60'
60' - 75'
75' - 100'
- LOAM TOPSOIL, COMMON ROOTS.
MEDIUM TO FINE SANDS, SINGLE GRAIN, SMALL INCLUSIONS OF COARSE GRAVELLY SAND, COBBLES THROUGHOUT, LOOSE.
REDOXIMORPHIC CONCENTRATIONS PROMINENT BELOW 28'.
PERC 2 MPI
- TEST PIT 3
0' - 4'
4' - 68'
68' - 100'
- LOAM TOPSOIL, COMMON ROOTS.
MEDIUM GRAIN GRAVELLY SAND, SINGLE GRAIN, BUT SOMEWHAT FIRM IN PLACE, COBBLES THROUGHOUT, PROMINENT BELOW.
REDOXIMORPHIC CONCENTRATION OBSERVED AT 28', ALTHOUGH NOT PROMINENT BELOW.
PERC 6 MPI
- TEST PIT 4
0' - 6'
6' - 20'
20' - 48'
48' - 60'
60' - 75'
75' - 100'
- LOAM TOPSOIL, COMMON ROOTS.
LOAMY FINE SAND, GRANULAR, FRIABLE, FIRM IN PLACE.
MEDIUM SINGLE GRAIN SANDY GRAVEL, MANY COBBLES, LOOSE.
COARSE SAND, SINGLE GRAIN, LOOSE.
REDOXIMORPHIC CONCENTRATION OBSERVED AT 50', ALTHOUGH NOT PROMINENT BELOW.
PERC 8 MPI

TAX MAP 208, LOTS 18
OWNER OF RECORD:
PACKYS INVESTMENT PROPERTIES LLC
PO BOX 77
FARMINGTON, NH 03835-0077
SCRD BOOK 4746, PAGE 803

EXISTING FEATURES PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH

PREPARED FOR:
PACKYS INVESTMENT
PROPERTIES LLC
NOVEMBER 2020

GRAPHIC SCALE



E-1

LOCUS MAP
NTS

FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS



CIVIL ENGINEERS

- LEGEND**
- PROPERTY LINE
 - JURISDICTIONAL WETLANDS
 - EXISTING TREE LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING HYDRANT
 - EXISTING WATER GATE OR SHUT-OFF VALVE
 - EXISTING UTILITY POLE
 - EXISTING SEWER MAN HOLE
 - EXISTING CATCH BASIN
 - EXISTING LIGHT POLES
 - PROPOSED BUILDING
 - PROPOSED PAVEMENT
 - PROPOSED CHAINLINK FENCE
 - PROPOSED TREE LINE

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- GENERAL SITE PLAN NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT A SELF-STORAGE FACILITY ON TAX MAP 208, LOT 18-0.
 - THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, THE AQUIFER PROTECTION OVERLAY DISTRICT (APOD), THE FLOOD HAZARD OVERLAY DISTRICT (FHOD) AND THE WETLAND CONSERVATION OVERLAY DISTRICT.
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 - THE LOTS AREA SERVED BY CITY SEWER AND WATER.
 - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
- GRANITE RIDGE DEVELOPMENT (GRD) ZONE:**
- MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
MINIMUM LOT FRONTAGE = 50 FEET
- PAVEMENT SETBACKS:**
- FRONT = 10'
SIDE = 5'
REAR = 10'
- MINIMUM YARD SETBACKS:**
- FRONT = NO DIMENSIONAL STANDARD
SIDE = NO DIMENSIONAL STANDARD
REAR = NO DIMENSIONAL STANDARD
- MAXIMUM LOT COVERAGE = NO STANDARD**
MAXIMUM BUILDING HEIGHT = NO STANDARD
- MINI-WAREHOUSE:**
- FRONT = 100'
SIDE = 75' (IF ABUTTING RESIDENTIAL PROPERTY)
REAR = 75' (IF ABUTTING RESIDENTIAL PROPERTY)
- 50' SETBACK**
- ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NGVD29
 - PARCEL IS LOCATED WITHIN ZONE AE (100YR FLOOD) AND THE FLOODWAY ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #53017001840 DATED MAY 17, 2005.
 - WETLANDS DELINEATION WAS COMPLETED BY DAMON E. BURR, CWS IN MAY OF 2020.
 - SOIL SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE.
 - HbB - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
 - HbC - HINCKLEY LOAMY SAND, 8 TO 15 PERCENT SLOPES
 - HbE - HINCKLEY LOAMY SAND, 15 TO 60 PERCENT SLOPES
 - Rd - RUMNEY FINE SANDY LOAM
 - FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD ST., ROCHESTER, NH 03667. (603) 335-1338.
 - PARKING REQUIREMENTS:**

REQUIRED: 1 SPACE / 1,000 SF → 1 SPACE / 1,000 SF * 22,800 = 23 SPACES
PROVIDED = 0 SPACES - WAIVER REQUESTED
 - THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
 - THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE CHAPTER 218. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED.
 - ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
 - SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON STERLING DRIVE AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
 - ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
 - ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
 - THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
 - ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
 - NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM MAY BE SPECIFIED AT THAT TIME.
 - THIS PROJECT PROPOSED TO DISTURB OVER ONE ACRE OF EXISTING GROUND COVER AND MEETS OTHER SPECIFIC REQUIREMENTS RELATED TO PERMIT CRITERIA FOR EPA NPDES COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). SUBMISSION OF NOTICE OF INTENT (NOI) TO EPA, INSPECTIONS AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION OF A NOTICE OF TERMINATION (NOT) TO EPA. THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF THE CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.

REFERENCE PLAN

1) SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH* FOR RAVEN REALTY, LLC, DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 94-28

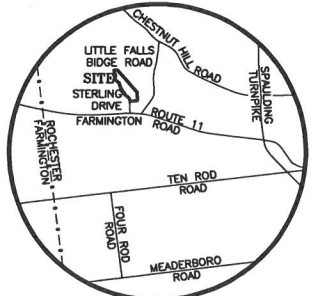
2) EASEMENT PLAN - SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH* FOR RAVEN REALTY, LLC, DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 94-28

SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

TAX MAP 208, LOTS 18
OWNER OF RECORD:
PACKYS INVESTMENT PROPERTIES LLC
PO BOX 77
FARMINGTON, NH 03835-0077
SCRD BOOK 4746, PAGE 803

OVERALL SITE PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
PREPARED FOR:
PACKYS INVESTMENT
PROPERTIES LLC
NOVEMBER 2020
GRAPHIC SCALE



















FILE NO. 116
PLAN NO. C-3077
DWC NO. 19273/SP-1

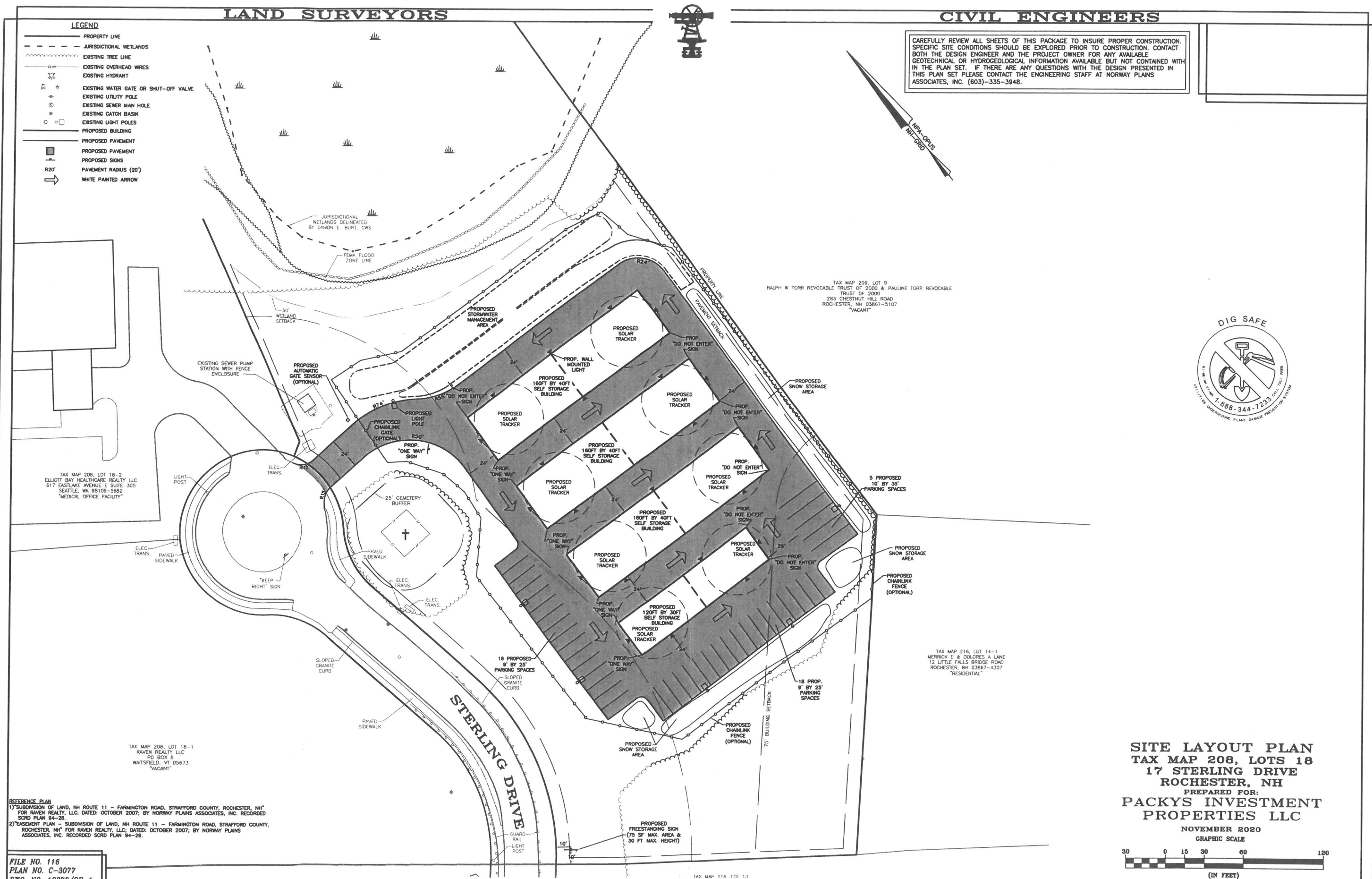
31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

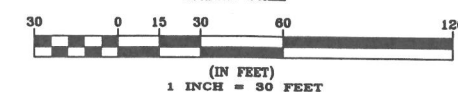
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

	PROPERTY LINE
	JURISDICTIONAL WETLANDS
	EXISTING TREE LINE
	EXISTING OVERHEAD WIRES
	EXISTING HYDRANT
	EXISTING WATER GATE OR SHUT-OFF VALVE
	EXISTING UTILITY POLE
	EXISTING SEWER MAN HOLE
	EXISTING CATCH BASIN
	EXISTING LIGHT POLES
	PROPOSED BUILDING
	PROPOSED PAVEMENT
	PROPOSED PAVEMENT
	PROPOSED SIGNS
	PAVEMENT RADIUS (20')
	WHITE PAINTED ARROW



**SITE LAYOUT PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
PREPARED FOR:
PACKYS INVESTMENT
PROPERTIES LLC**

NOVEMBER 2020
GRAPHIC SCALE



REFERENCE PLAN

1) SUBDIVISION OF LAND, NH ROUTE 11 - FARMINGTON ROAD, STRAFFORD COUNTY, ROCHESTER, NH^{*} FOR RAVEN REALTY, LLC; DATED: OCTOBER 2007; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 94-28.

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FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

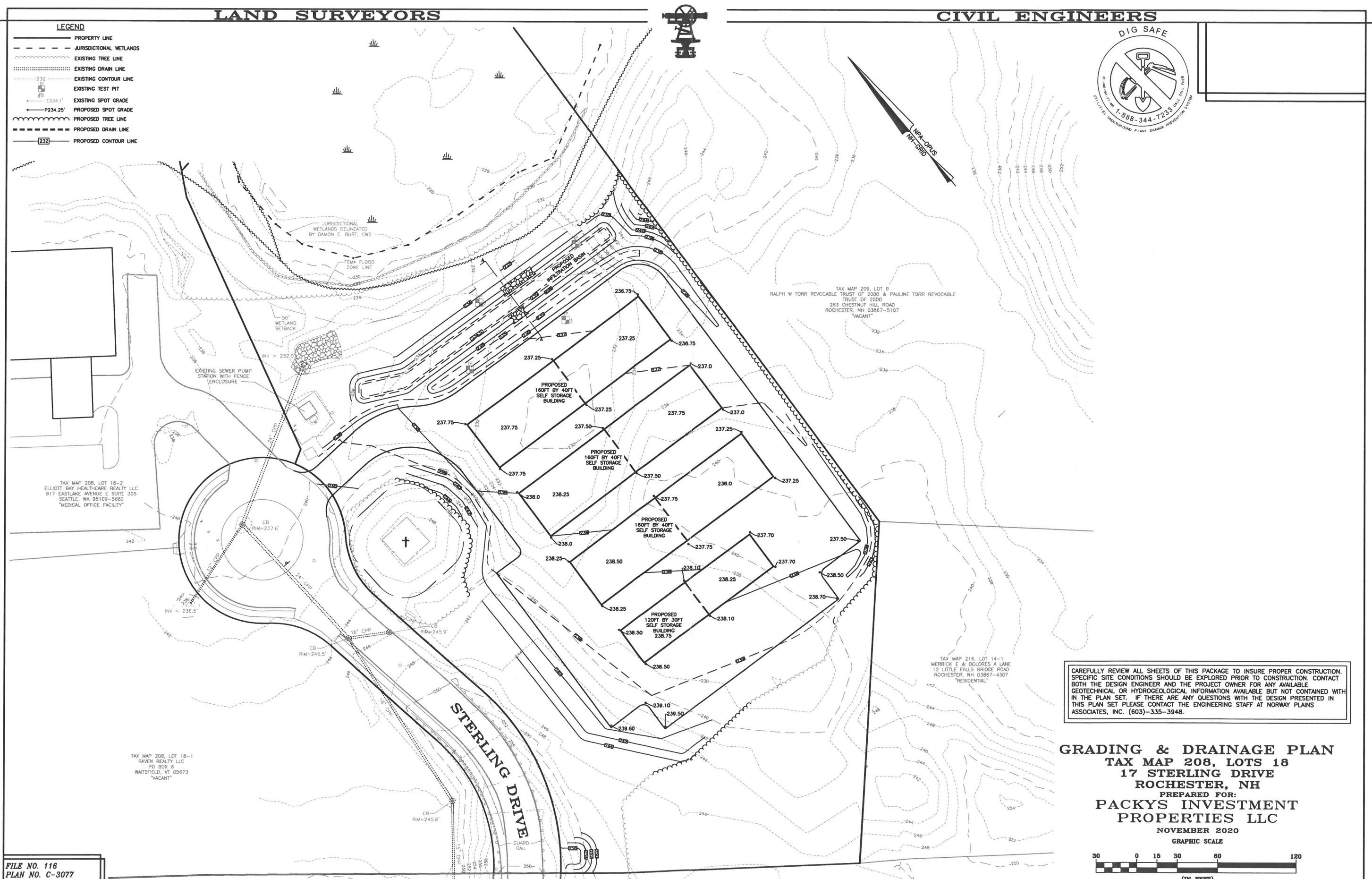
C-2

LAND SURVEYORS

CIVIL ENGINEERS

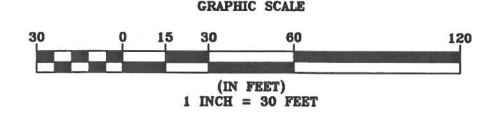
LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- ... EXISTING TREE LINE
- ... EXISTING DRAIN LINE
- ... EXISTING CONTOUR LINE
- ... EXISTING TEST PIT
- ... EXISTING SPOT GRADE
- ... PROPOSED SPOT GRADE
- ... PROPOSED TREE LINE
- ... PROPOSED DRAIN LINE
- ... PROPOSED CONTOUR LINE



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

GRADING & DRAINAGE PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
 PREPARED FOR:
PACKYS INVESTMENT
PROPERTIES LLC
 NOVEMBER 2020



FILE NO. 116
 PLAN NO. C-3077
 DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

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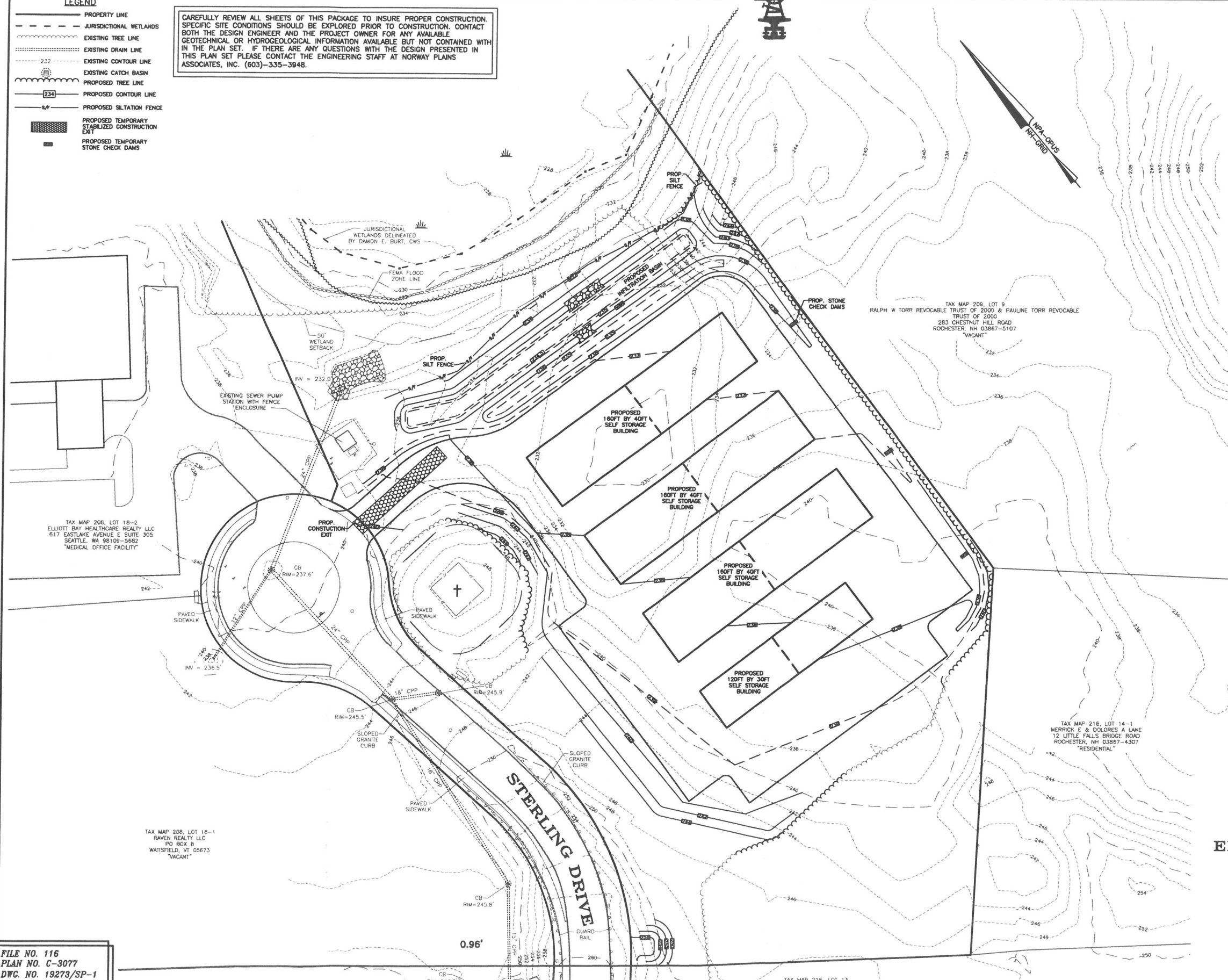
LAND SURVEYORS

CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- EXISTING DRAIN LINE
- EXISTING CONTOUR LINE
- EXISTING CATCH BASIN
- PROPOSED TREE LINE
- PROPOSED CONTOUR LINE
- PROPOSED SILTATION FENCE
- PROPOSED TEMPORARY STABILIZED CONSTRUCTION EXIT
- PROPOSED TEMPORARY STONE CHECK DAMS

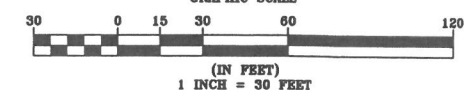
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EROSION CONTROL PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
 PREPARED FOR:
PACKY CAMPBELL

NOVEMBER 2020

GRAPHIC SCALE



FILE NO. 116
 PLAN NO. C-3077
 DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

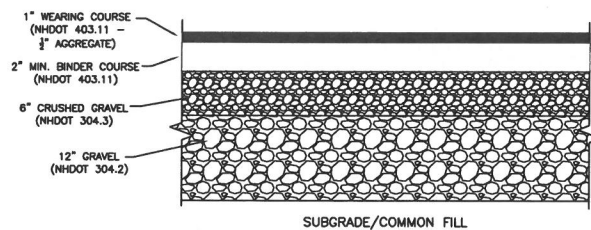
NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

C-4

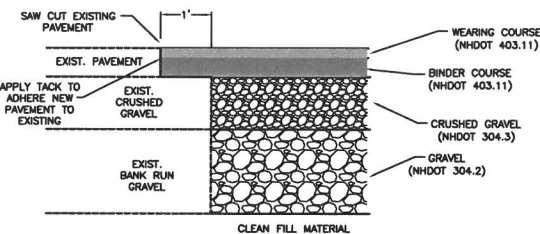


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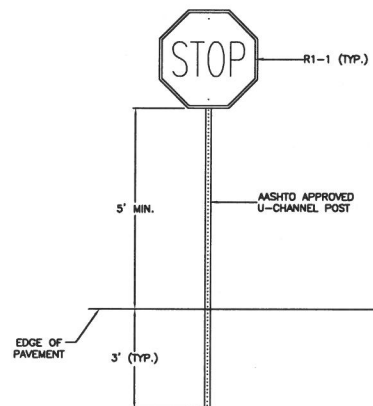
PARKING LOT CROSS-SECTIONS
NOT TO SCALE

- PAVEMENT NOTES:**
1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
 2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.



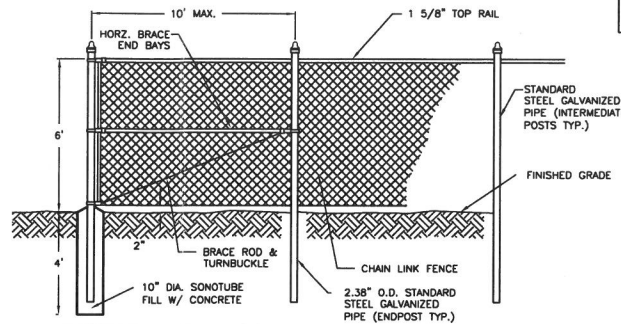
TYPICAL PAVEMENT MATCHING DETAIL
NOT TO SCALE

ITEM NO.	SIGN SIZE	TEXT	NO. SIGNS REQ'D
R1-1	30" x 30"	STOP	1
R5-1	30" x 30"	DO NOT ENTER	9
R6-1	12" x 36"	ONE WAY	8

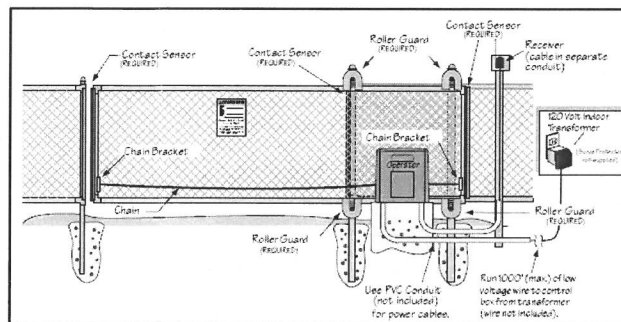


- NOTES:**
1. SIGN POST SHALL BE ASHTO APPROVED U-CHANNEL OR OTHER PER ASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINAIRES AND SIGNALS", LATEST EDITION.
 2. SIGNS SHALL BE MOUNTED 5 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
 3. SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 2 FT. FROM EDGE OF PAVEMENT UNLESS CURBED.

TYPICAL TRAFFIC SIGN
NOT TO SCALE

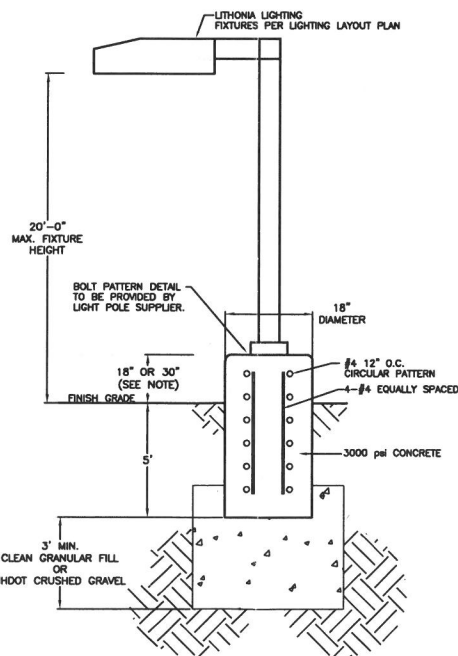


TYPICAL CHAINLINK FENCE
NOT TO SCALE
(OPTIONAL)



ELECTRIC CANTILEVER CHAINLINK GATE
NOT TO SCALE
(OPTIONAL)

- NOTES:**
1. THE PROPOSED CANTILEVER GATE SHALL BE INSTALLED IN ACCORDANCE WITH GATE MANUFACTURER'S REQUIREMENTS.
 2. THE AUTOMATIC OPERATION KEYPAD AND MOTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND LOCAL REQUIREMENTS.
 3. INSTALL WITH RADIO FREQUENCY FOR POLICE AND FIRE DEPARTMENTS.

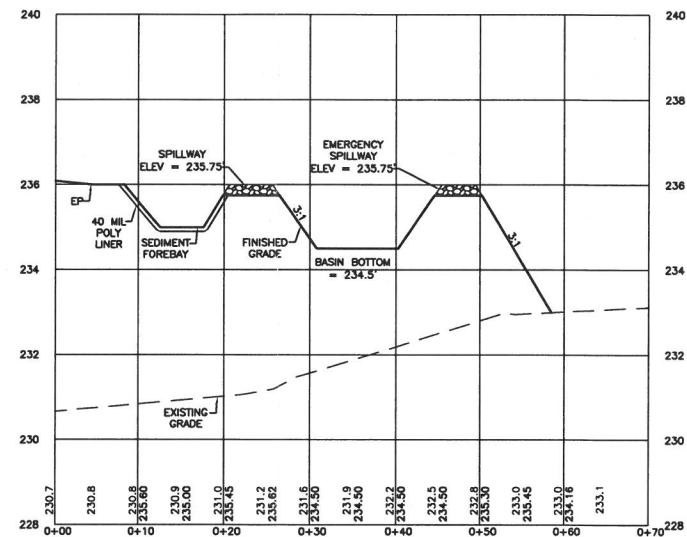


POLE MOUNTED LIGHT DETAIL
NOT TO SCALE

- NOTE:**
1. LIGHT POLE BASE SHALL BE 18" ABOVE FINISH GRADE FOR NON VEHICLE IMPACT AREAS AND 30" FOR VEHICLE IMPACT AREAS.
 2. THE LIGHT POLE BASES CAN BE PRECAST, WITH COORDINATION WITH THE LIGHTING FIXTURE MANUFACTURE FOR BOLT PATTERN.

CONSTRUCTION SEQUENCE

- 1.) CUT ALL TREES AND REMOVE ALL STUMPS.
- 2.) CONSTRUCT SILT FENCE AS SHOWN. MAINTAIN THE FENCE AS CONSTRUCTION PROGRESSES AND UNTIL ALL DISTURBED AREAS ARE STABLE.
- 3.) CONSTRUCT THE INFILTRATION BASIN AS SHOWN ON THE PLAN. LOAM, SEED AND MULCH IMMEDIATELY AFTER CONSTRUCTION.
- 4.) THE INFILTRATION BASIN MUST BE STABILIZED BEFORE DIRECTING RUNOFF TO THEM. EROSION CONTROL BLANKETS (CURLX EXCELSIOR BY AMERICAN EXCELSIOR COMPANY, OR EQUAL) SHALL BE USED WHERE SOD IS NOT PLACED AND VEGETATION IS NOT ESTABLISHED.
- 5.) REMOVE THE LOAM AND VEGETATION FROM THE BUILDING, PARKING LOT AND BACKSLOPE AREAS. THE LOAM WILL NEED TO BE STORED FOR USE LATER IN STABILIZING THE SWALES AND SIDESLOPES. THE LOAM PILE SHALL BE SEEDED FOR TEMPORARY PROTECTION SHOULD IT REMAIN INACTIVE FOR MORE THAN 30 DAYS.
- 6.) CUT THE PARKING LOT, BACKSLOPE AREAS, AND BUILDING AREAS TO SUB-GRADE.
- 7.) ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED OR COVERED WITH AN EROSION CONTROL BLANKET IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 8.) INSTALL THE GRAVEL BASE IN ALL AREAS TO BE PAVED.
- 9.) INSTALL ALL NEW PAVEMENT.
- 10.) ALL DISTURBED AREAS EXCLUDING BUILDINGS AND PARKING SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT IN NO CASE SHALL BE LEFT UNSTABILIZED FOR MORE THAN 30 DAYS. BUILDINGS, PARKING LOTS, AND DRIVEWAYS SHALL BE CONSTRUCTED AS PRACTICABLE, BUT IN NO CASE SHALL BE LEFT UNPROTECTED OVER THE WINTER MONTHS.
- 11.) REMOVE TEMPORARY EROSION CONTROL (SILT FENCES) TO ELIMINATE FLOW IMPEDMENTS ONCE SEEDING IS FIRMLY ESTABLISHED.



INFILTRATION BASIN A-A CROSS SECTION
1" = 10' (HORIZ.) & 1" = 2' (VERT.)

INFILTRATION BASIN:

- SPECIFICATIONS:**
1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
 2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
 3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
 4. VEGETATION SHALL BE ESTABLISHED IMMEDIATELY AFTER FINAL GRADING IS COMPLETED.
 5. CONSTRUCT THE INFILTRATION BASIN TO THE GRADES DEPICTED ON THE PLAN AND CROSS-SECTION.
 6. LOAM AND SEED ONLY THE SLOPES OF THE INFILTRATION BASIN AS PRESCRIBED IN THE "PERMANENT VEGETATION" NOTES FOUND ON SHEET C-2.
 7. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- MAINTENANCE REQUIREMENTS:**
1. INSPECT PRETREATMENT MEASURES (I.E. SEDIMENT FOREBAY(S), HOODED CATCH BASINS, ETC.) AT LEAST TWICE A YEAR AND AFTER EVERY STORM GREATER THAN 2.5 INCHES OF RAIN OVER A 24-HOUR PERIOD.
 2. INSPECT INFILTRATION SURFACE BI-ANNUALLY. ONCE IN THE SPRING PRIOR TO MAY 15 AND ONCE IN THE FALL PRIOR TO OCTOBER 15.
 3. INSPECT INFILTRATION SURFACE AFTER ANY RAINFALL EVENT OF 2.5-INCHES OR GREATER IN A 24-HOUR PERIOD.
 4. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BASED ON INSPECTION. REPAIR AREA OF REMOVAL AS NECESSARY TO RESTORE INFILTRATION CAPACITY.
 5. PERFORM MAINTENANCE AND REHABILITATION BASED ON INSPECTIONS.
 6. REMOVE DEBRIS (IF ANY) FROM INFILTRATION BASIN INLET BASED ON INSPECTION.
 7. CONDUCT PERIODIC MOWING OF THE INFILTRATION BASIN SLOPES AND EMBANKMENTS (MINIMUM TWICE A YEAR) TO ELIMINATE WOODY GROWTH FROM THE EMBANKMENTS AND BOTTOM. MOWING THE INFILTRATION BASIN EMBANKMENTS WHEN MOWING THE REST OF THE SITE IS RECOMMENDED.
 8. IF THE INFILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL (I.E. PROFESSIONAL ENGINEER, CERTIFIED SOILS SCIENTIST, ETC.) SHALL ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE INFILTRATION SURFACE.

CONSTRUCTION DETAILS
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
PREPARED FOR:
PACKY CAMPBELL
NOVEMBER 2020

ELECTRICAL & UNDERGROUND UTILITY
TRENCH INSTALLATION DETAIL
NOT TO SCALE

- NOTES:**
1. ALL NON-METALLIC CONDUIT AND FITTINGS SHALL BE ELECTRICAL GRADE, SCHEDULE 40 PVC, AND SHALL CONFORM TO THE APPLICABLE SECTIONS OF NEMA TC2-1990 AND BE UL LISTED. ONLY GRAY-COLORED CONDUIT WILL BE ACCEPTED. ANY PVC CONDUIT NOT HAVING THE PROPER NEMA AND UL MARKINGS WILL NOT BE ACCEPTED. ALL STEEL CONDUITS SHALL CONFORM TO ASTM A120 AND BE RIGID GALVANIZED STEEL. ALL PVC JOINTS MUST BE CEMENTED. STEEL FITTINGS SHALL BE SEALED WITH COMPOUND.
 2. ALL 90 DEGREE SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES. ALL STEEL SWEEPS WITHIN 18" OF THE SURFACE SHALL BE PROPERLY GROUNDED.
 3. A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE PSNH DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING CABLE PULLING.
 4. THE CONDUIT SHALL CROSS PAVED AREAS AT APPROXIMATELY 90 DEGREES.
 5. BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY PSNH. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE THOROUGHLY COMPACTED IN 8-INCH LAYERS.
 6. A SUITABLE PULL STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE PSNH IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 7. ROUTING OF THE CONDUIT AND INSPECTION PRIOR TO BACKFILL WILL BE PROVIDED BY PSNH. INSTALLATION OF THE CONDUIT WILL BE DONE BY THE CONTRACTOR. THE PSNH SUPERVISOR MUST BE NOTIFIED 2 BUSINESS DAYS PRIOR TO BACKFILLING THE TRENCH. IN THE EVENT THAT A CABLE CANNOT BE SUCCESSFULLY PULLED THROUGH THE COMPLETED CONDUIT SYSTEM DUE TO A CONSTRUCTION ERROR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REPAIR THE INVOLVED CONDUIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL RESULTING EXPENSES.
 8. NORMAL CONDUIT SIZES FOR PSNH ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY, AND 5-INCH FOR THREE PHASE PRIMARY.
 9. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE THE NATIONAL ELECTRIC CODE.
 10. CONDUIT MAY BE INSTALLED BY EXCAVATING AN OPEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4-FT. INSTALLATIONS DEEPER THAN 4-FT REQUIRE THE USE OF A TRENCH BOX.

FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

**PERMANENT VEGETATION:****SPECIFICATIONS:****SITE PREPARATION:**

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHALL BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

1. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHALL BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY AND SILT SOILS SHALL BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
2. REMOVE FROM THE SURFACE ALL STONES 3 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE CLODS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED; THE AREA MUST BE TILLED AND FIRMED AS ABOVE.
4. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 4 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
5. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
6. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*

*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)*

*LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT

SEEDING:

1. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT.
2. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE.
3. WHERE FEASIBLE EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
4. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHALL BE COMPLETED 45 DAYS PRIOR TO FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDING IN LATE SUMMER AT LEAST 35% OF THE SEED SHALL BE HARD SEED (UNSCARIFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NYSM, VOL. 3, AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
5. AREAS SEEDING BETWEEN MAY 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NYSM, VOL. 3.
6. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.

HYDROSEEDING:

1. WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND RAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.
2. SLOPES MUST BE NO STEEPER THAN 2:1 (2 FEET HORIZONTALLY BY 1 FOOT VERTICALLY).
3. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF FIBER MULCH ON CRITICAL AREAS IS NOT RECOMMENDED (UNLESS IT IS USED TO HOLD STRAW OR HAY). BETTER PROTECTION IS GAINED BY USING STRAW MULCH AND HOLDING IT WITH ADHESIVE MATERIALS OR 500 POUNDS PER ACRE OF WOOD FIBER MULCH.
4. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

MAINTENANCE REQUIREMENTS:

1. PERMANENT SEEDING AREAS SHALL BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION. INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHALL CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
2. SEEDING AREAS SHALL BE MOVED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION. MOWING HEIGHT AND FREQUENCY DEPEND OF TYPE OF GRASS COVER.
3. BASED ON INSPECTION, AREAS SHALL BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
4. AT A MINIMUM 85% OF THE SOIL SURFACE SHALL BE COVERED BY VEGETATION.
5. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

USE	MIXTURE	SPECIES	LBS./ACRE	LBS./1,000-SF
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDDTOP	2	0.05
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDDTOP	2	0.05
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY RECREATION SITES	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDDTOP	2	0.05
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL ESSENTIAL FOR GOOD TURF)	F	CREeping RED FESCUE	50	1.15
		KENTUCKY BLUEGRASS	50	1.15
		TOTAL	100	2.30

SOURCES:

1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

GENERAL CONSTRUCTION PHASING:

1. **STABILIZATION:**
A SITE IS DEEMED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10-YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO:
a) A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
b) A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR A CERTIFIED COMPOST BLANKET HAS BEEN INSTALLED; OR
c) EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
BURN AREAS TO BE PAVED:
a) BASE COURSE GRAVELS HAVE BEEN INSTALLED.
2. **TEMPORARY STABILIZATION:**
ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS FROM THE TIME OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT OR AN INDEPENDENT MONITOR.
3. **PERMANENT STABILIZATION:**
ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 3 DAYS FOLLOWING FINAL GRADING.
4. **MAXIMUM AREA OF DISTURBANCE:**
THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, NO MORE THAN 5 ACRES SHALL BE DISTURBED (NOT STABILIZED) AT ANY TIME.
5. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.
a) FLAG OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED.
b) EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL VEGETATION.
6. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN DERIVED ON SHEET C-3.
7. ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DERIVED ON SHEET C-4.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND BE PROTECTED FROM EROSION.
9. STOCKPILES, BORROW AREAS AND SPOILS SHALL BE STABILIZED AS DESCRIBED UNDER "SOIL STOCKPILE PRACTICES".
10. SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED DAMAGE.
11. AREAS TO BE FILLED SHALL BE CLEARED, GROUND AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND/OR OTHER OBJECTIONABLE MATERIALS.
12. AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3-INCHES PRIOR TO PLACEMENT OF TOPSOIL. TOPSOIL SHALL BE PLACED WITHOUT SIGNIFICANT COMPACTION TO PROVIDE A LOOSE BEDDING FOR PLACEMENT OF SEED.
13. ALL FILLS SHALL BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, SITE UTILITIES, CONDUITS AND OTHER FACILITIES, SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
14. IN GENERAL, FILLS SHALL BE COMPACTED IN LAYERS RANGING FROM 6 TO 24 INCHES IN THICKNESS. THE CONTRACTOR SHALL REVIEW THE PROJECT GEOTECHNICAL REPORT AND/OR THE "PROJECT SPECIFIC PHASING NOTES" FOR SPECIFIC GUIDANCE.
15. ANY AND ALL FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS (LARGER THAN 3/4 THE DEPTH OF THE FILL WHEN INSTALLED), LOGS, STUMPS, BUILDING DEBRIS, FROZEN MATERIAL AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
16. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE (I.E. CLAY, SILT) MATERIALS ARE SUSCEPTIBLE TO ACCELERATED SETTLEMENT AND POTENTIAL ACCELERATED EROSION. WORK IN AREAS OF THESE MATERIALS SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER.
17. THE OUTER FACE OF THE FILL SLOPE SHALL BE ALLOWED TO STAY LOOSE, NOT ROLLED OR COMPACTED, OR BLADE SMOOTHED. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TREADS (CLEAT TRACKS) CREATE GROOVES PERPENDICULAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR. SEE SUBGRADE ROUGHENING IN THE NYSM, VOL. 3.
18. ROUGHEN THE SURFACE OF ALL AREAS DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION AND FACILITATE VEGETATION ESTABLISHMENT.
19. USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE TO REDUCE THE LENGTH OF CUT-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GULLY EROSION. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION.
20. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE EVALUATED BY A PROFESSIONAL ENGINEER (PREFERABLY THE DESIGN ENGINEER) TO DETERMINE IF THE PROPOSED DESIGN SHALL BE REVISED TO PROPERLY MANAGE THE CONDITION.
21. STABILIZE ALL GRADED AREAS (AS ABOVE) WITH VEGETATION, CRUSHED STONE, COMPOST BLANKET, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETE OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH OR OTHER APPROVED METHODS TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
22. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
23. THE PROJECT SHALL BE CONSTRUCTED TO MEET ALL REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARC 3800 RELATIVE TO INVASIVE SPECIES.

ABOVE NOTES EXCERPTED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" (NYSM, VOL. 3)

PROJECT SPECIFIC CONSTRUCTION PHASING:

1. REFER TO THE "GENERAL CONSTRUCTION PHASING" NOTES PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING PHASING. THE "GENERAL CONSTRUCTION PHASING" NOTES APPLY TO THE OVERALL CONSTRUCTION AND SHALL BE ADHERED TO.
2. INSTALL ALL TEMPORARY SEDIMENT CONTROL BARRIERS (I.E. SILT FENCE, EROSION CONTROL MIX BERM, STONE CHECK DAMS, ETC.) AROUND THE OUTER PERIMETER OF THE CONSTRUCTION SITE AS DEPICTED ON SHEET C-4 PRIOR TO EARTH MOVING OPERATIONS.
3. INSTALL ORANGE SNOW FENCE ALONG THE PERIMETER OF THE INFILTRATION BASINS AND THE FENCE SHALL REMAIN IN PLACE UNTIL CONSTRUCTION OF THE BASINS HAS STARTED.
4. CLEAR, GRUB AND STRIP THE SITE. STUMPS, BRUSH AND OTHER ORGANIC WASTE SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
5. INSTALL A TEMPORARY CONSTRUCTION EXIT AT THE LOCATION OF THE PROPOSED INFILTRATION BASIN AS DEPICTED ON SHEET C-3 AND IN ACCORDANCE WITH THE INFILTRATION BASIN DETAILS SHOWN ON SHEET C-5.
6. STOCKPILE STRIPPED TOPSOIL AND CUT MATERIAL TO BE REUSED ON SITE. IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH THE "SOIL STOCKPILES PRACTICES", MAINTAIN THE STOCKPILES AS DIRECTED IN THE "SOIL STOCKPILE PRACTICES".
7. PERFORM THE NECESSARY CUTS AND FILLS TO CONSTRUCT THE INFILTRATION BASIN AS DEPICTED ON SHEET C-3 AND IN ACCORDANCE WITH THE INFILTRATION BASIN DETAILS SHOWN ON SHEET C-5.
8. ALL DITCHES/SWALES/AND BASINS SHALL BE STABILIZED PRIOR TO PERFORM THE NECESSARY CUTS AND FILLS TO SUBGRADE IN THE BUILDING AND PARKING LOT AREAS.
a) INSTALL SEEDING MIXES IN MAXIMUM 8-INCH LIFTS AND COMPACT EACH LIFT TO 85% MAXIMUM PROCTOR DENSITY.
10. AS SUBGRADE IS ACHIEVED INSTALL REMAINING SEDIMENT CONTROL BARRIERS WITHIN THE SITE (I.E. ADDITIONAL SILT FENCE, CHECK DAMS AND SEDIMENT CONTROLS AND CATCH BASINS, ETC.)
11. CONSTRUCT THE INFILTRATION BASINS AND OUTLET PROTECTION. LOAM SEED AND MULCH THE SIDE SLOPES OF THE BASIN AS DIRECTED IN THE INFILTRATION BASIN DETAILS AND TEMPORARY SEDIMENT CONTROL BARRIER DEPICTED ON SHEET C-5.
12. ALL CUT AND FILL SLOPES AND LAWN AREAS NOT TO BE PAVED SHALL BE LOAMED AND SEED FOR PERMANENT VEGETATION AND STABILIZATION AS DESCRIBED UNDER THE "PERMANENT VEGETATION PRACTICES" WITHIN 3 DAYS OF ACHIEVING FINAL GRADE.
13. INSTALL ALL GRAVEL BASE AND CRUSHED GRAVEL MATERIALS FOR THE PARKING AREA AS SPECIFIED IN THE CORRESPONDING DETAILS.
14. THE PARKING AREAS SHALL BE STABILIZED (CONSTRUCTED TO GRAVEL BASE COURSE) WITHIN 3 DAYS OF ACHIEVING FINISHED SUBGRADE ELEVATIONS.
15. INSTALL PAVEMENT SURFACES AS SOON AS POSSIBLE AFTER THE INSTALLATION OF THE GRAVEL BASE AND CRUSHED GRAVEL, IN ORDER TO LIMIT THE SOIL EROSION AND POLLUTION OF THE GRAVEL MATERIALS WITH ORGANIC MATERIALS. IN NO CASE SHALL AREAS TO BE PAVED BE LEFT UNPROTECTED THROUGHOUT THE WINTER MONTHS.
16. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS POSSIBLE. IN NO CASE SHALL ANY DISTURBED AREA BE LEFT UN-STABILIZED FOR LONGER THAN 21 DAYS. IF NECESSARY TEMPORARY STABILIZATION MEASURES AS DISCUSSED IN THE "GENERAL CONSTRUCTION PHASING NOTES" AND NYSM, VOL. 3 SHOULD BE EMPLOYED.
17. **MAINTENANCE AND INSPECTION:**
a) DURING CONSTRUCTION ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY 1/2 INCH OF RAINFALL, AND ANNUALLY. EXCESS SEDIMENT SHOULD BE REMOVED FROM TEMPORARY SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES WHEN IT REACHES PRESCRIBED THRESHOLDS DISCUSSED IN THE DETAILS FOR EACH PRACTICE.
3. ALL DAMAGED TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE REPAIRED OR REPLACED IMMEDIATELY UPON NOTICE.
4. SEDIMENT SHALL BE DISPOSED OF PROPERLY EITHER ON SITE OR OFF SITE.

PROJECT COMPLETION AND STABILIZATION:

1. UPON PROJECT COMPLETION, ONCE THE SITE IS DEEMED STABILIZED (VEGETATION IS GERMINATED), THE TEMPORARY SEDIMENT CONTROL BARRIERS AND EROSION CONTROL PRACTICES SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING REMOVAL SHALL BE REPAIRED IN AN APPROPRIATE MANNER.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT FOREBAY TO THE INFILTRATION BASIN.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

WINTER STABILIZATION & CONSTRUCTION PRACTICES:**MAINTENANCE REQUIREMENTS:**

1. MAINTENANCE MEASURES SHALL BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RAINFALL, SNOWFALL, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL CONDUCT INSPECTION OF ALL INSTALLED EROSION CONTROL PRACTICES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUED FUNCTION.
2. FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHALL CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF THE VEGETATION AND REPAIR ANY DAMAGED AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).

SPECIFICATIONS:

- THE FOLLOWING STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 15.
1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1-ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NYSM, VOL. 3 AND ELSEWHERE IN THIS PLAN SET, PRIOR TO ANY THAW OR SPRING MELT EVENT.
 2. STABILIZATION AS FOLLOWS SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
 - A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDING AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING AND TEMPORARY SEDIMENT CONTROL MIX (REFER TO NYSM, VOL. 3 FOR SPECIFICATION).
 - B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15 SHALL BE SEEDING AND COVERED WITH A PROPERLY INSTALLED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCHES OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHALL NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
 3. ALL STONE UNED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 4. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
 5. ALL MULCH APPLIED DURING WINTER SHALL BE ANCHORED (I.E. BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
 6. WITHIN 24 HOURS OF STOCKPILING SOIL MATERIALS SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4 INCH LAYER OF EROSION CONTROL MIX. MULCH SHALL BE REESTABLISHED PRIOR TO ANY RAIN OR SNOWFALL. NO SOIL STOCKPILE SHALL BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100-FT OF ANY WETLAND OR OTHER WATER RESOURCE AREA.
 7. FROZEN MATERIAL (I.E. FROST LAYER REMOVED DURING WINTER CONSTRUCTION) SHALL BE STOCKPILED SEPARATELY AND IN A LOCATION AWAY FROM ANY AREA NEEDING PROTECTION. FROZEN MATERIAL STOCKPILES CAN MELT IN SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO HIGH SOIL MOISTURE CONTENT.
 8. INSTALLATION OF EROSION CONTROL BLANKETS SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN GROUND.
 9. ALL GRASS-LINED DITCHES AND CHANNELS SHALL BE CONSTRUCTED BY SEPTEMBER 1. ALL DITCHES AND SWALES WHICH DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AS DETERMINED BY A PROFESSIONAL ENGINEER. IF STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
 10. ALL STONE UNED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
 11. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF SAND AND GRAVEL WITH A GRADATION THAT IS LESS THAN 12% OF THE SAND PORTION, OR MATERIAL PASSING THE NUMBER 4 SIEVE, BY WEIGHT, PASSES THE NUMBER 200 SIEVE.
 12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHALL CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHALL NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

PERMANENT EROSION AND
SEDIMENTATION CONROL DETAILS
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
PREPARED FOR:
PACKY CAMPBELL
NOVEMBER 2020

FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

LAND SURVEYORS



CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED LIGHT POLES
- PROPOSED BUILDING LIGHT FIXTURES
- PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ISOLLLUMINATION LINES

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	1	S3	SINGLE	PRV-C15-D-UNV-T3-B2-RSS/ SSS4A20SFN1 (20' AFG)
□	5	S4	SINGLE	PRV-C15-D-UNV-T4-B2-RSS/ SSS4A20SFN1 (20' AFG)
◀	22	W	SINGLE	MERU-LED-AC-DB-PIR / WALL MTD 8' AFG

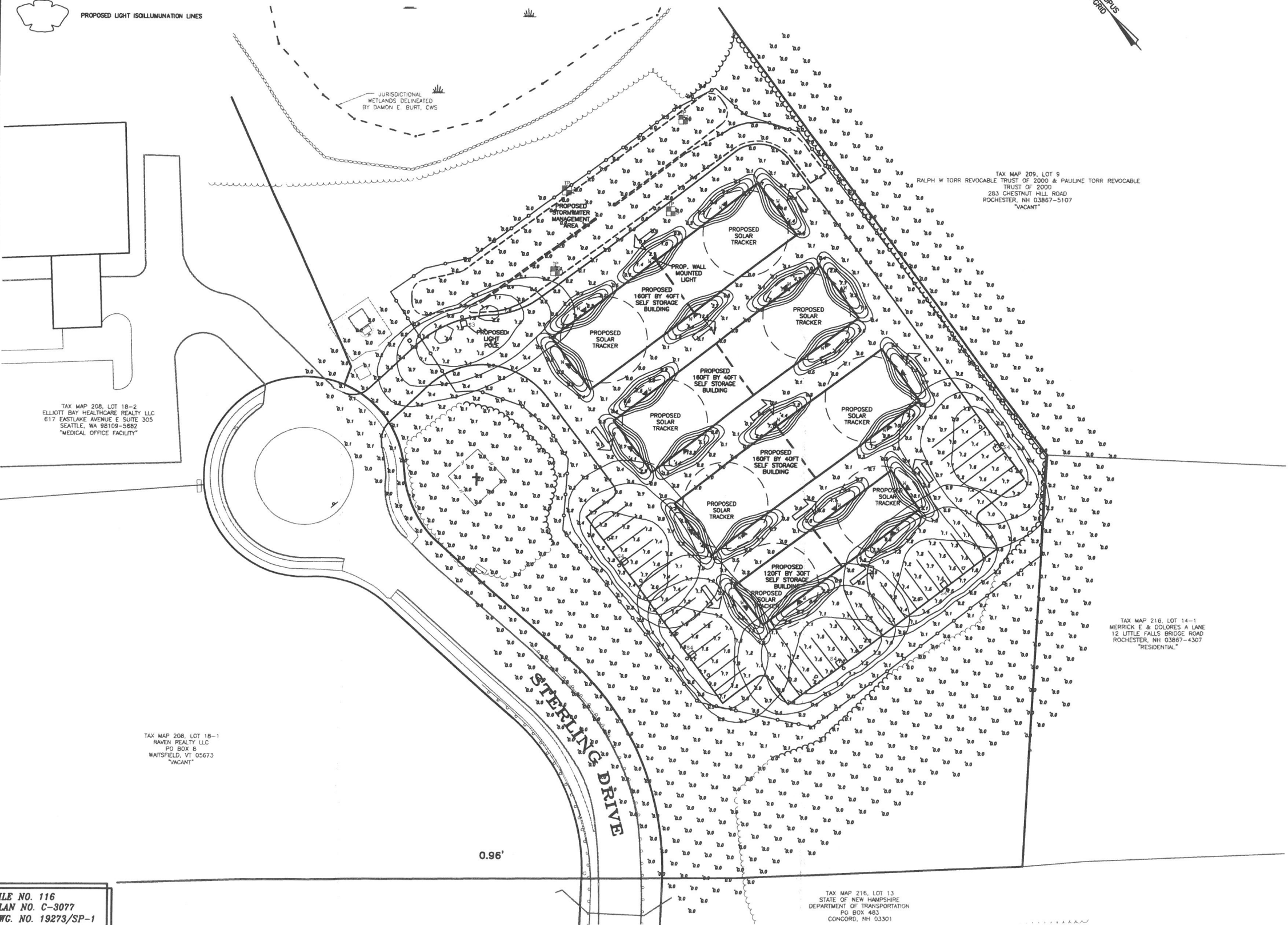
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



MERU SERIES LED BY MULE LIGHTING, INC. WALL MOUNTED FIXTURE



PRV / PRV-XL PREVAIL LED BY LUMARK POLE MOUNTED FIXTURE



LIGHTING PLAN
TAX MAP 208, LOTS 18
17 STERLING DRIVE
ROCHESTER, NH
PREPARED FOR:
PACKY'S INVESTMENT
PROPERTIES LLC
NOVEMBER 2020
GRAPHIC SCALE

(IN FEET)
1 INCH = 30 FEET

FILE NO. 116
PLAN NO. C-3077
DWG. NO. 19273/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

