

CIVIL ENGINEERS

NH ROUTE 11 / FARMINGTON ROAD



2 Continental Blvd., Rochester, N.H. 603-335-3948

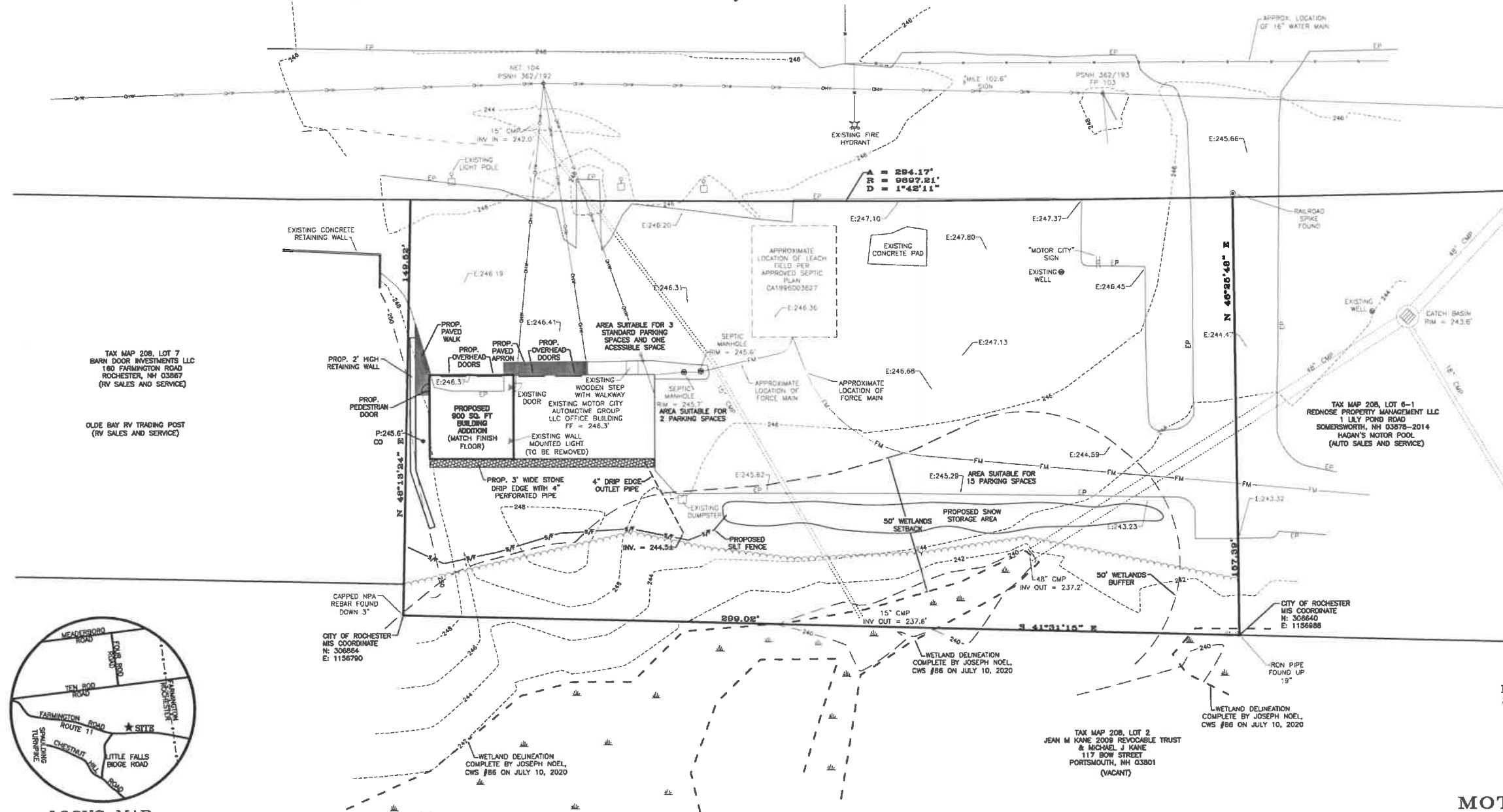


- LEGEND**
- PROPERTY LINE
 - - - JURISDICTIONAL WETLANDS
 - - - EXISTING TREE LINE
 - - - EXISTING OVERHEAD WIRES
 - - - EXISTING HYDRANT
 - - - EXISTING WATER GATE OR SHUT-OFF VALVE
 - - - EXISTING UTILITY POLE
 - - - EXISTING SEWER MAN HOLE
 - - - EXISTING CATCH BASIN
 - - - EXISTING LIGHT POLES
 - - - EXISTING SPOT ELEVATION
 - - - PROPOSED BUILDING
 - - - PROPOSED PAVEMENT
 - - - PROPOSED SILT FENCE
 - - - PROPOSED SPOT ELEVATION

TAX MAP 208, LOT 7
STATE OF NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION
PO BOX 483
CONCORD, NH 03301

TAX MAP 208, LOT 15
CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03607

NH ROUTE 11 / FARMINGTON ROAD



- GENERAL SITE PLAN NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED 900 SQUARE FOOT BUILDING ADDITION ON TAX MAP 208, LOT 6.
 - THIS PARCELS ARE LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, CONSERVATION OVERLAY AND ACQUIFER PROTECTION OVERLAY DISTRICT.
 - TOTAL PARCEL AREA: 48,288 SQUARE FEET OR 1.04 ACRES.
 - THE LOT IS SERVED BY ON SITE SEPTIC SYSTEM AND WELL.
 - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
GRANITE RIDGE DEVELOPMENT (GRD) ZONE:
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD
MINIMUM LOT FRONTAGE = 50 FEET
PAVEMENT SETBACKS:
FRONT = 10'
SIDE = 5'
REAR = 10'
MINIMUM YARD SETBACKS:
FRONT = NO DIMENSIONAL STANDARD
SIDE = NO DIMENSIONAL STANDARD
REAR = NO DIMENSIONAL STANDARD
MAXIMUM LOT COVERAGE = NO STANDARD
MAXIMUM BUILDING HEIGHT = NO STANDARD
 - ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NAVD83
 - THE PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017CD1840 DATED MAY 17, 2005.
 - WETLANDS DELINEATION WAS COMPLETED BY JOSEPH NOEL, CWS #86 ON JULY 10, 2020.
 - SOILS SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE, HINCKLEY LOWMY SAND, 3 TO 8 PERCENT SLOPES.
 - PARKING REQUIREMENTS (SITE PLAN REGULATIONS SECTION 10(A))
AUTOMOTIVE - USED CAR SALES AND SERVICE: 1.5 SPACES PER 1,000 GROSS SQUARE FEET, PLUS ONE SPACE PER 15 EXTERIOR SALE/RENTAL DISPLAY SPACES, PLUS FOUR SPACES PER SERVICE BAY.
REQUIRED: 1.5 SPACES/1,000 GSF = 2,400 GSF + 1 SPACE/15 SPACES OF SALE DISPLAY + 20 SALE DISPLAY + 4 SPACES/BAY + 4 BAYS = 21 SPACES
PROVIDED: 21 SPACES INCLUDING 1 ACCESSIBLE SPACE
 - FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03607. (603)335-1338.
 - THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
 - THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE CHAPTER 218. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED. ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
 - SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON NH ROUTE 11 AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
 - ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
 - ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
 - ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
 - NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
 - EXISTING IMPERVIOUS COVERAGE = 28,483 SF
PROPOSED IMPERVIOUS COVERAGE = 973 SF
TOTAL IMPERVIOUS COVERAGE = 27,466 SF
TOTAL PERCENTAGE OF LOT = 60.6%



SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

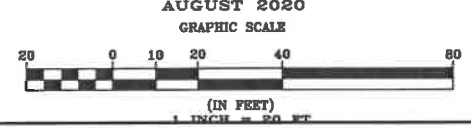
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

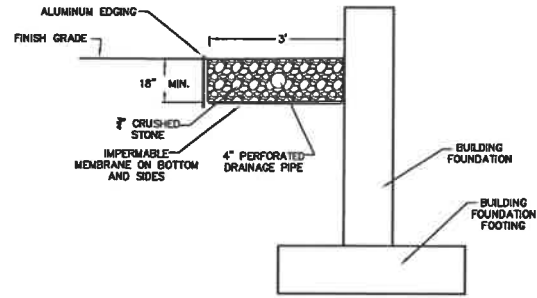
CERTIFIED BY: _____ DATE: _____

TAX MAP 208, LOT 6
OWNER OF RECORD:
154 FARMINGTON RD LLC
154 FARMINGTON ROAD
ROCHESTER, NH 03607-4352
SCRD BOOK 4775, PAGE 251

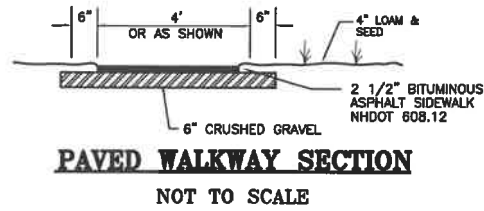
SITE PLAN
TAX MAP 208, LOT 6
154 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR:
MOTOR CITY AUTOMOTIVE
GROUP, LLC LLC



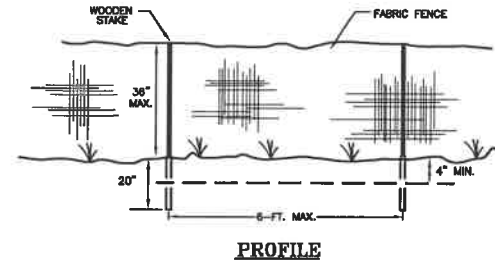
FILE NO. 116
PLAN NO. C-3080/SP-1
DWC NO. 20002/SP-1



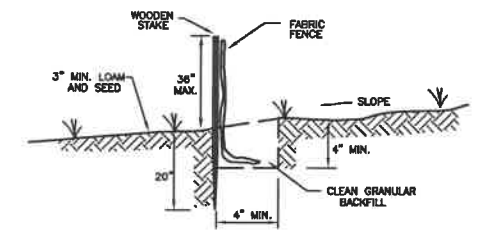
DRIP EDGE & FOUNDATION DRAIN DETAIL
NOT TO SCALE



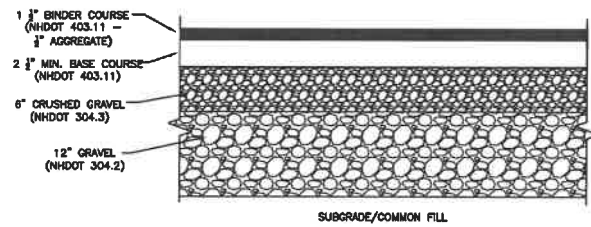
PAVED WALKWAY SECTION
NOT TO SCALE



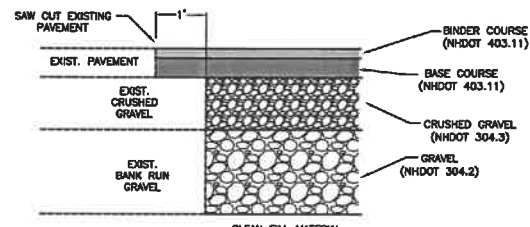
PROFILE



CROSS-SECTION

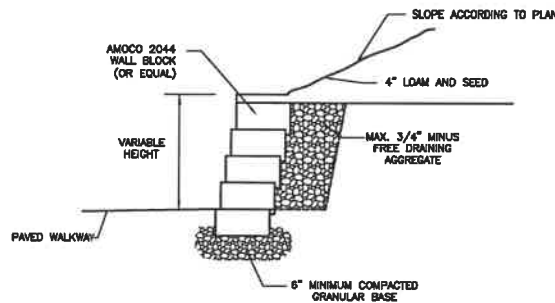


PARKING LOT CROSS-SECTIONS
NOT TO SCALE



TYPICAL PAVEMENT MATCHING DETAIL
NOT TO SCALE

- PAVEMENT NOTES:**
1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
 2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
 4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.



ANCHOR DIAMOND WALL SYSTEM
NOT TO SCALE

- NOTES:**
1. CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE TO MANUFACTURER'S GUIDELINES.
 2. COMPACTION SHALL BE 95% STANDARD PROCTOR.
 3. MINIMUM 1 FT. OF DRAINAGE FILL BEHIND WALL.
 4. CONTRACTOR SHALL CONTACT THIS OFFICE OR AN APPROVED ENGINEER TO VERIFY SOIL CHARACTERISTICS AND GROUND WATER LEVELS PRIOR TO PLACEMENT OF WALL SYSTEM.

- MAINTENANCE REQUIREMENTS:**
1. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS.
 2. SEDIMENT DEPOSITION SHALL BE REMOVED, AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FENCE, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BACK TOWARD THE SILT FENCE.
 3. SILT FENCES SHALL BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
 4. SHALL THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SEED.
 6. IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
 7. SILT FENCES HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT FENCE SHALL BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

- CONSTRUCTION SPECIFICATIONS:**
1. FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE FENCE. SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
 2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1 ACRE PER 100 LINEAR FEET OF FENCE.
 3. THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHALL BE 100 FEET.
 4. THE MAXIMUM SLOPE ABOVE THE FENCE SHALL BE 2:1.
 5. FENCES SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, AND
 - A. THE ENDS OF THE FENCE SHALL BE FLARED UPSLOPE.
 - B. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 4 INCHES IN DEPTH AND INCHES IN WIDTH IN A TRENCH EXCAVATED INTO THE GROUND, OR IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, THE BASE OF THE FABRIC SHALL BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
 - C. THE SOIL SHALL BE COMPACTED OVER THE EMBEDDED FABRIC.
 - D. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 8 FEET.
 - E. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY A MINIMUM OF 8 INCHES (24 INCHES IS PREFERRED), FOLDED AND STAPLED TO A SUPPORT POST. IF METAL POSTS ARE USED, FABRIC SHALL BE WIRE-TIED DIRECTLY TO THE POSTS WITH THREE DIAGONAL TIES.
 6. SILT FENCING SHALL NOT BE STAPLED OR NAILED TO TREES.
 7. THE FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.
 8. THE FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES FAHRENHEIT TO 120 DEGREES FAHRENHEIT.
 9. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH DIAMETER WOOD OR 1.33 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 8 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. POSTS SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE FABRIC.
 10. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES AS HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
 11. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPUNCE TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
 12. A MANUFACTURED SILT FENCE SYSTEM WITH INTEGRAL POSTS MAY BE USED.
 13. POST SPACING SHALL NOT EXCEED 8 FEET.
 14. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UP GRADIENT FROM THE BARRIER.
 15. THE STANDARD STRENGTH OF FILTER FABRIC SHALL BE STAPLED OR WIED TO THE POST, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 16. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 17. SILT FENCE MAY BE INSTALLED BY "SLICING" USING MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR THIS PROCEDURE. THE SLICING METHOD USES AN IMPLEMENT TOWED BEHIND A TRACTOR TO "PLOW" OR SLICE THE SILT FENCE MATERIAL INTO THE SOIL. THE SLICING METHOD MINIMALLY DISRUPTS THE SOIL UPWARD AND SLIGHTLY DISPLACES THE SOIL, MAINTAINING THE SOIL'S PROFILE AND CREATING AN OPTIMAL CONDITION FOR SUBSEQUENT MECHANICAL COMPACTION.
 18. SILT FENCES SHALL BE INSTALLED WITH "SMILES" OR "J-HOOKS" TO REDUCE THE DRAINAGE AREA THAT ANY SEGMENT WILL IMPOUND.
 19. THE ENDS OF THE FENCE SHALL BE TURNED UPHILL.
 20. SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 8 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW POHONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.
 21. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILTATION CONTROL FENCE DETAIL
NOT TO SCALE

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

CONSTRUCTION DETAILS
TAX MAP 208, LOT 6
154 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR:
MOTOR CITY AUTOMOTIVE GROUP, LLC
AUGUST 2020

FILE NO. 118
PLAN NO. C-3080/SP-1
DWG. NO. 20002/SP-1

