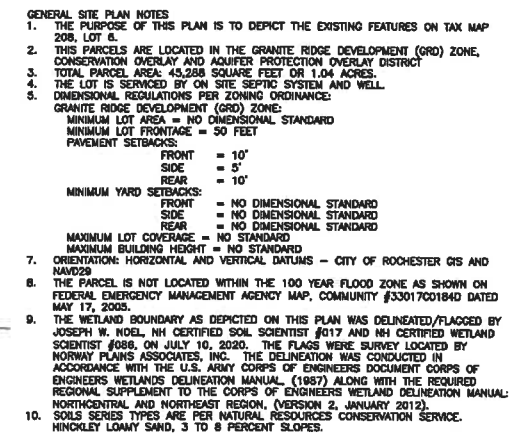


TAX MAP 208, LOT 7  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03301

TAX MAP 208, LOT 15  
CITY OF ROCHESTER  
31 WAKEFIELD STREET  
ROCHESTER, NH 03867

9/9/20 - ADD TEST PIT DATA

## NH ROUTE 11 / FARMINGTON ROAD



TEST PIT DATA:  
TEST PIT PERFORMED BY NORWAY PLAINS ASSOCIATES ON SEPT. 8, 2020

0 - 48" 10YR5/4 SAND, SINGLE GRAIN, FILL  
48 - 72" 10YR5/3 SAND WITH REDOX CONCENTRATIONS

ESHWT: 48"  
NO WATER  
NO LEDGE

RECEIVED  
SEP 28 2020  
By \_\_\_\_\_

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (803)-335-3948.

**TAX MAP 208, LOT 6  
OWNER OF RECORD:  
154 FARMINGTON RD LLC  
154 FARMINGTON ROAD  
ROCHESTER, NH 03867-4352  
SCRD BOOK 4775, PAGE 251**

**EXISTING FEATURES PLAN**  
**TAX MAP 208, LOT 6**  
**154 FARMINGTON ROAD**  
**ROCHESTER, NH**  
**PREPARED FOR:**  
**MOTOR CITY AUTOMOTIVE**  
**GROUP, LLC**  
**AUGUST 2020**

**FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD**

**CERTIFIED BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

(IN FEET)  
1 INCH = 20 FT.

E-

FILE NO. 116  
PLAN NO. C-3080/SP-1  
DWG. NO. 20002/SP-1

REFERENCE PLAN  
1) "SUBDIVISION OF LAND, ROCHESTER, NH FOR IRENE & NORRIS GERRY" DATED JUNE 1993; BY NORWAY PLAINS ASSOCIATES, INC. RECORDED SCRD PLAN 44-4.

**31 Mooney Street, Alton, N.H. 603-875-3948**

**NORWAY PLAINS ASSOCIATES, INC.**

**2 Continental Blvd., Rochester, N.H. 603-335-3948**

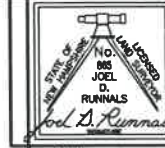


# LAND SURVEYORS

# CIVIL ENGINEERS

- LEGEND**
- PROPERTY LINE
  - JURISDICTIONAL WETLANDS
  - EXISTING TREE LINE
  - EXISTING OVERHEAD WIRES
  - EXISTING HYDRANT
  - EXISTING WATER GATE OR SHUT-OFF VALVE
  - EXISTING UTILITY POLE
  - EXISTING SEWER MAN HOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT POLES
  - EXISTING SPOT ELEVATION
  - PROPOSED BUILDING
  - PROPOSED PAVEMENT
  - PROPOSED SILT FENCE
  - P-234.1' PROPOSED SPOT ELEVATION

TAX MAP 208, LOT 7  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF TRANSPORTATION  
PO BOX 483  
CONCORD, NH 03301



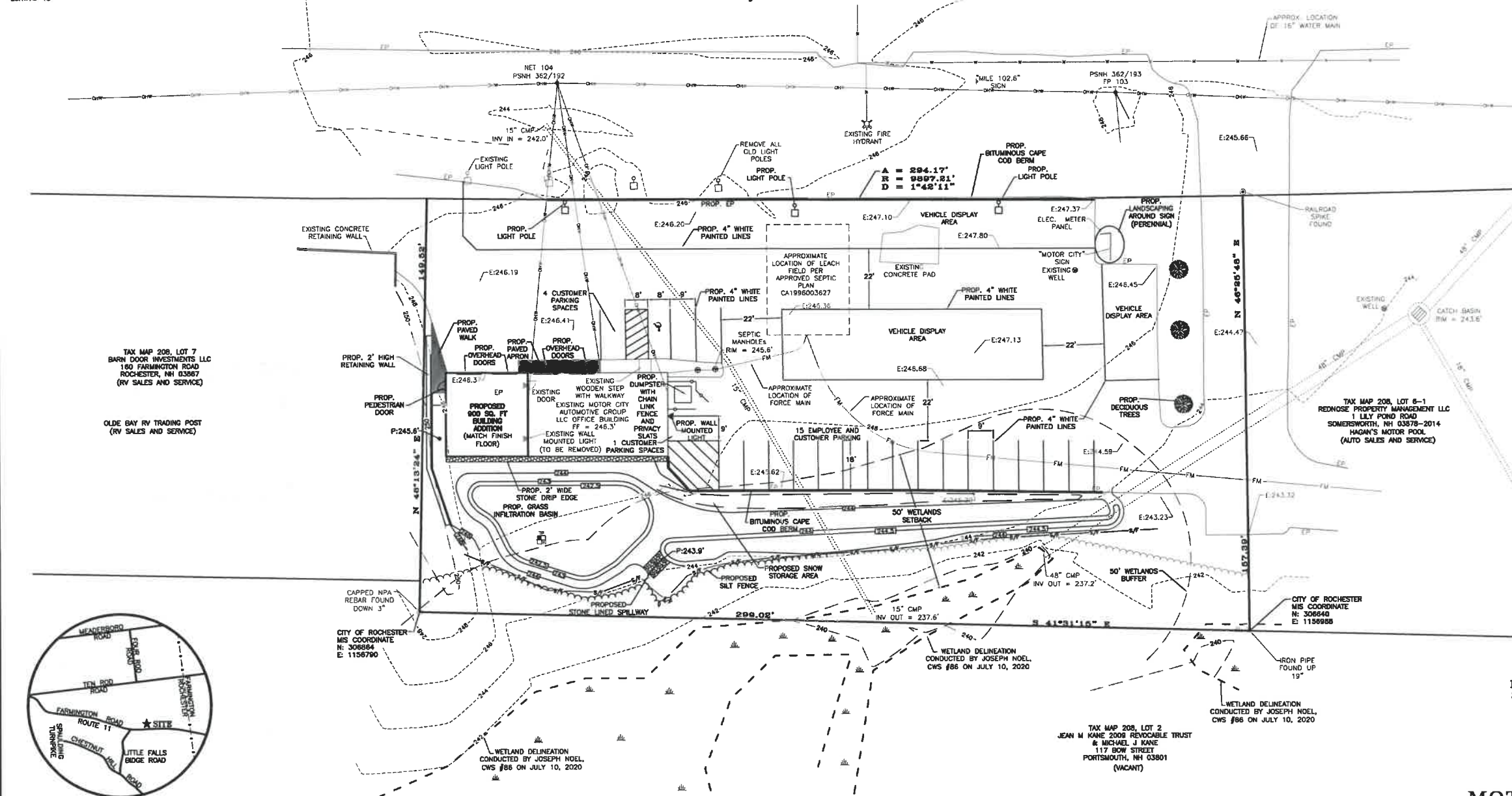
## REVISIONS:

- 08/30/20 - ADD PARKING SPACES AND DISPLAY AREAS, BITUMINOUS CAPE COD BERM, NEW LIGHT POLE LOCATIONS, GRASS INFILTRATION BASIN WITH AND LANDSCAPING, ADD DUMPSTER SCREENING AND CHANGE LOCATION, ADD NOTE 23 & 24, REVISE NOTE 11.
- 08/09/20 - REVISE TREATMENT SWALE AND GRADING.
- 08/24/20 - ADD TEST PIT LOG

## GENERAL SITE PLAN NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED 900 SQUARE FOOT BUILDING ADDITION ON TAX MAP 208, LOT 6.
- THIS PARCEL IS LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE, CONSERVATION OVERLAY AND ADJACENT PROTECTION OVERLAY DISTRICT.
- TOTAL PARCEL AREA 45,288 SQUARE FEET OR 1.04 ACRES.
- THE LOT IS SERVICED BY ON SITE SEPTIC SYSTEM AND WELL.
- DIMENSIONAL REGULATIONS PER ZONING ORDINANCE: GRANITE RIDGE DEVELOPMENT (GRD) ZONE:  
MINIMUM LOT AREA = NO DIMENSIONAL STANDARD  
MINIMUM LOT FRONTAGE = 50 FEET  
PAVEMENT SETBACKS:  
FRONT = 10'  
SIDE = 5'  
REAR = 10'  
MINIMUM YARD SETBACKS:  
FRONT = NO DIMENSIONAL STANDARD  
SIDE = NO DIMENSIONAL STANDARD  
REAR = NO DIMENSIONAL STANDARD  
MAXIMUM LOT COVERAGE = NO STANDARD  
MAXIMUM BUILDING HEIGHT = NO STANDARD
- ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NOV209
- THE PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017001840 DATED MAY 17, 2008.
- THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, NH CERTIFIED SOIL SCIENTIST #017 AND NH CERTIFIED WETLAND SCIENTIST #086, ON JULY 10, 2020. THE FLAGS WERE SURVEY LOCATED BY NORWAY PLAINS ASSOCIATES, INC. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).
- SOILS SERIES TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE, HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES.
- PARKING REQUIREMENTS (SITE PLAN REGULATIONS SECTION 10(A))  
AUTOMOTIVE - USED CAR SALES AND SERVICE  
1.3 SPACES PER 1,000 GROSS SQUARE FEET, PLUS ONE SPACE PER 15 EXTERIOR SALE/RENTAL/DISPLAY SPACES, PLUS FOUR SPACES PER SERVICE BAY.  
REQUIRED:  
1.3 SPACES/1,000 OFFICE GSF \* 750 GSF = 1 SPACE  
1 SPACE/15 SPACES OF SALE DISPLAY \* 30 SALE DISPLAY = 2 SPACES  
4 SPACES/BAY \* 4 BAYS = 16 SPACES  
TOTAL REQUIRED SPACES = 18 SPACES  
TOTAL PROVIDED SPACES = 20 SPACES INCLUDING 1 ACCESSIBLE SPACE
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03607, (603)335-1338.
- THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAVED.
- THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE CHAPTER 218. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED.
- ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
- SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON NH ROUTE 11 AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
- ALL NEW UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
- ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
- NOTE THAT THIS PERMIT IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
- EXISTING IMPERVIOUS COVERAGE = 28,483 SF  
PROPOSED IMPERVIOUS COVERAGE = 673 SF  
TOTAL IMPERVIOUS COVERAGE = 27,466 SF
- TOTAL PERCENTAGE OF LOT = 60.8%
- ALL DISTURBED AREAS NOT BEING PAVED OR BUILDING SHALL HAVE A MINIMUM OF 4-INCHES OF LOAM, SEEDING AND MULCHED.
- THERE SHALL BE NO PARKING OFF THE PAVEMENT OF ANY SALES OR CUSTOMER VEHICLES, THIS INCLUDES WITHIN THE STATE RIGHT OF WAY AND AT THE REAR PARKING AREA.
- "PROTECTIVE NATURAL AREA" SIGNS WILL BE PLACED ALONG THE REAR PARKING LOT AT 30 FEET INTERVALS.

## NH ROUTE 11 / FARMINGTON ROAD



LOCUS MAP  
NTS

## SITE REVIEW APPROVAL

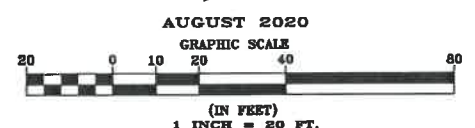
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: [Signature]

DATE: 10/16/20



C-1

FILE NO. 116  
PLAN NO. C-3080/SP-1  
DWC. NO. 20002/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

TAX MAP 208, LOT 6  
OWNER OF RECORD:  
154 FARMINGTON RD LLC  
154 FARMINGTON ROAD  
ROCHESTER, NH 03607-4352  
SCRD BOOK 4775, PAGE 251

**SITE PLAN**  
**TAX MAP 208, LOT 6**  
**154 FARMINGTON ROAD**  
**ROCHESTER, NH**  
PREPARED FOR:  
**MOTOR CITY AUTOMOTIVE**  
**GROUP, LLC LLC**

TAX MAP 208, LOT 2  
JEAN M. KANE 2008 REVOCABLE TRUST  
& MICHAEL J. KANE  
117 BOW STREET  
PORTSMOUTH, NH 03801  
(VACANT)

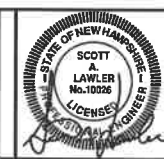
WETLAND DELINEATION  
CONDUCTED BY JOSEPH NOEL,  
CWS #86 ON JULY 10, 2020

CITY OF ROCHESTER  
MIS COORDINATE  
N: 306694  
E: 1156958

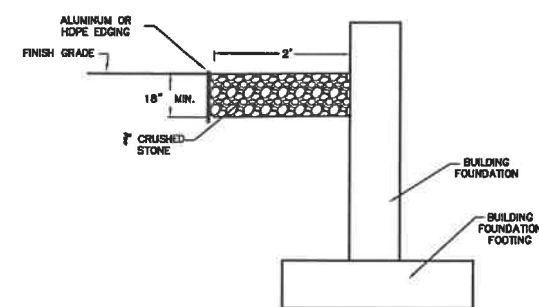
# LAND SURVEYORS



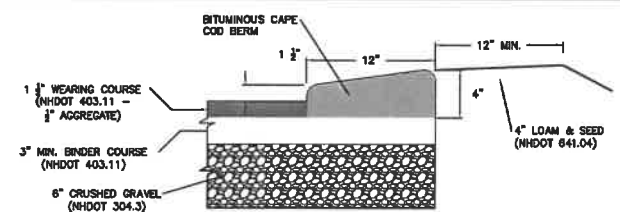
# CIVIL ENGINEERS



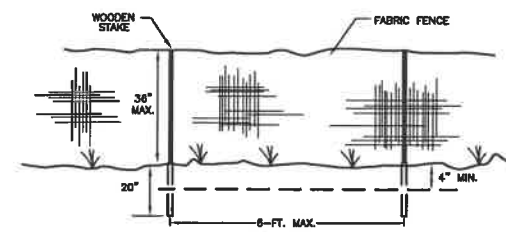
08/30/20 - ADD CHAIN LINK FENCE DETAIL, BITUMINOUS CAPE COD BERM DETAIL, STONE LINE SPILLWAY AND INFILTRATION BASIN DETAILS. REVISE STONE DRIP EDGE DETAIL.



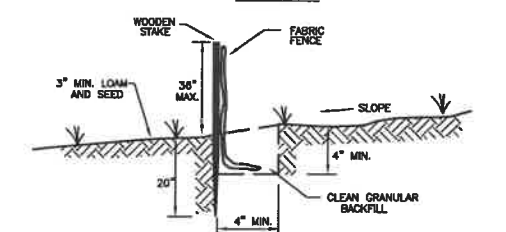
**DRIP EDGE DETAIL**  
NOT TO SCALE



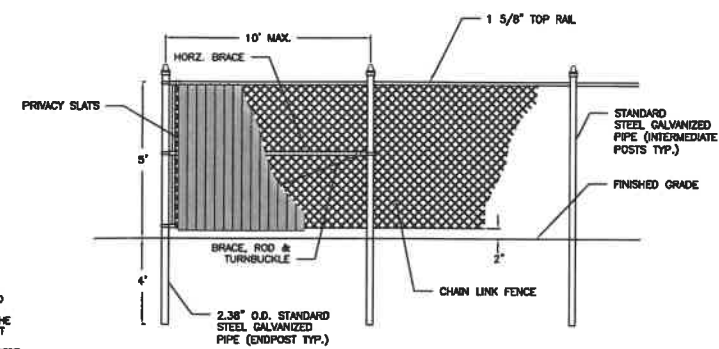
**BITUMINOUS CAPE COD BERM DETAIL**  
NOT TO SCALE



**PROFILE**

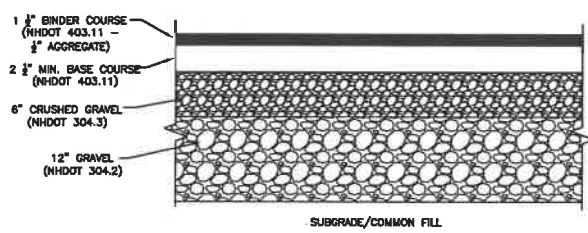


**CROSS-SECTION**

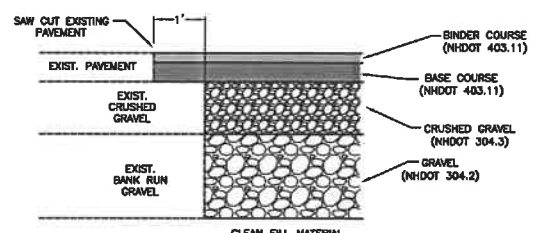


**CHAIN LINK FENCE**  
NOT TO SCALE

- NOTES:
1. ALL FENCING MATERIALS SHALL BE MASTER HALCO OR APPROVED EQUAL.
  2. FENCING SUPPLY: GG/AA FENCES, INC. (603) 745-0833
  3. ALL FENCING MATERIALS SHALL BE MIDNIGHT BLACK.
  4. FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION.



**PARKING LOT CROSS-SECTIONS**  
NOT TO SCALE



**TYPICAL PAVEMENT MATCHING DETAIL**  
NOT TO SCALE

- PAVEMENT NOTES:
1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
  2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
  4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

- MAINTENANCE REQUIREMENTS:
1. FENCES SHALL BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS.
  2. SEDIMENT DEPOSITION SHALL BE REMOVED, AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FENCE, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BACK TOWARD THE SILT FENCE.
  3. SILT FENCES SHALL BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
  4. SHALL THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SEED.
  6. IF THERE IS EVIDENCE OF END FLOW PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDIMENT TRAPS.
  7. SILT FENCES HAVE A USEFUL LIFE OF ONE SEASON. ON LONGER CONSTRUCTION PROJECTS, SILT FENCE SHALL BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

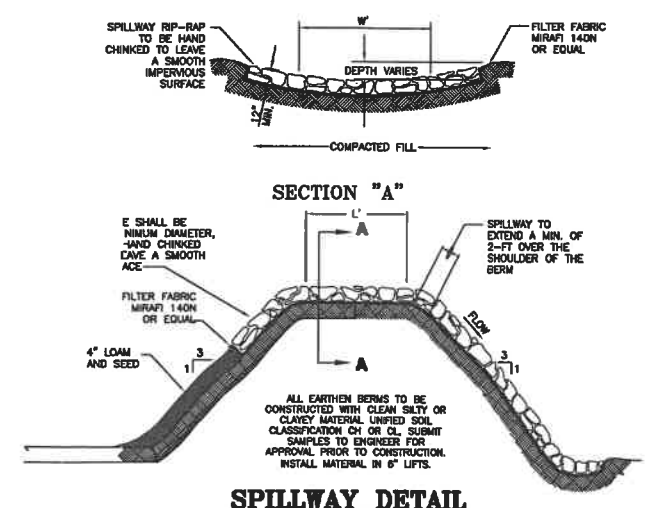
- CONSTRUCTION SPECIFICATIONS:
1. FENCES SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE FENCE. SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
  2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHALL BE LESS THAN 1 ACRE PER 100 LINEAR FEET OF FENCE.
  3. THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHALL BE 100 FEET.
  4. THE MAXIMUM SLOPE ABOVE THE FENCE SHALL BE 2:1.
  5. FENCES SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, AND
  - A. THE ENDS OF THE FENCE SHALL BE FLARED UPSLOPE.
  - B. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 4 INCHES IN DEPTH AND INCHES IN WIDTH IN A TRENCH EXCAVATED INTO THE GROUND, OR IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE PRESENCE OF HEAVY ROOTS, THE BASE OF THE FABRIC SHALL BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
  - C. THE SOIL SHALL BE COMPACTED OVER THE EMBEDDED FABRIC.
  - D. SUPPORT POSTS SHALL BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 8 FEET.
  - E. ADJOINING SECTIONS OF THE FENCE SHALL BE OVERLAPPED BY A MINIMUM OF 6 INCHES (24 INCHES IS PREFERRED), FOLDED AND STAPLED TO A SUPPORT POST. IF METAL POSTS ARE USED, FABRIC SHALL BE WIRE-TIED DIRECTLY TO THE POSTS WITH THREE DIAGONAL TIES.
  6. SILT FENCING SHALL NOT BE STAPLED OR NAILED TO TREES.
  7. THE FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPELLE, NYLON, POLYESTER OR ETHYLENE YARN AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.
  8. THE FILTER FABRIC SHALL CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES FAHRENHEIT TO 120 DEGREES FAHRENHEIT.
  9. POSTS FOR SILT FENCES SHALL BE EITHER 4-INCH DIAMETER WOOD OR 1.53 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 8 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM. POSTS SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE FABRIC.
  10. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES AS HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
  11. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPUN TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED.
  12. A MANUFACTURED SILT FENCE SYSTEM WITH INTEGRAL POSTS MAY BE USED.
  13. POST SPACING SHALL NOT EXCEED 8 FEET.
  14. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UP GRADIENT FROM THE BARRIER.
  15. THE STANDARD STRENGTH OF FILTER FABRIC SHALL BE STAPLED OR WIRE TO THE POST, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
  16. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
  17. SILT FENCE MAY BE INSTALLED BY "SLICING" USING MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR THIS PROCEDURE. THE SLICING METHOD USES AN IMPLEMENT TOWED BEHIND A TRACTOR TO "FLOW" OR SLICE THE SILT FENCE MATERIAL INTO THE SOIL. THE SLICING METHOD MINIMALLY DISTURBS SOIL PROFILE AND SLIGHTLY DISPLACES THE SOIL, MAINTAINING THE SOIL'S PROFILE AND CREATING AN OPTIMAL CONDITION FOR SUBSEQUENT MECHANICAL COMPACTION.
  18. SILT FENCES SHALL BE INSTALLED WITH "SMILES" OR "J-HOOKS" TO REDUCE THE DRAINAGE AREA THAT ANY SEGMENT WILL IMPOUND.
  19. THE ENDS OF THE FENCE SHALL BE TURNED UPHILL.
  20. SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 5 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.
  21. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILTATION CONTROL FENCE DETAIL**  
NOT TO SCALE

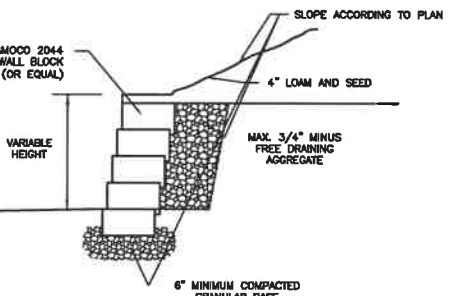
## CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AS SHOWN. MAINTAIN SILT FENCE AS CONSTRUCTION PROGRESSES AND UNTIL ALL DISTURBED AREAS ARE STABLE.
2. REMOVE LOAM AND VEGETATION FROM THE BUILDING ADDITION AND PAVEMENT AREAS.
3. INSTALL THE RETAINING WALL AS DEPICTED IN THE PLANS AND OUTSIDE CONSULTANT.
4. INSTALL THE GRAVEL BASE IN ALL AREAS TO BE PAVED.
5. INSTALL ALL NEW PAVEMENT.
6. ALL DISTURBED AREAS EXCLUDING GRAVEL TRAVEL AREA SHALL BE STABILIZED AS SOON AS POSSIBLE, BUT IN NO CASE SHALL BE LEFT UNSTABILIZED FOR MORE THAN 30 DAYS. BUILDINGS, AND PAVED AREAS SHALL BE CONSTRUCTED AS PRACTICABLE, BUT IN NO CASE SHALL BE LEFT UNPROTECTED OVER THE WINTER MONTHS.
7. REMOVE TEMPORARY EROSION CONTROL (SILT FENCE) TO ELIMINATE FLOW IMPEDIMENTS ONCE SEEDING IS FIRMLY ESTABLISHED.

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

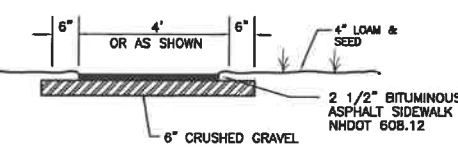


**SPILLWAY DETAIL**



**ANCHOR DIAMOND WALL SYSTEM**  
NOT TO SCALE

- NOTES:
1. CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE TO MANUFACTURERS GUIDELINES.
  2. COMPACTION SHALL BE 95% STANDARD PROCTOR.
  3. MINIMUM 1 FT. OF DRAINAGE FILL BEHIND WALL.
  4. CONTRACTOR SHALL CONTACT THIS OFFICE OR AN APPROVED ENGINEER TO VERIFY SOIL CHARACTERISTICS AND GROUND WATER LEVELS PRIOR TO PLACEMENT OF WALL SYSTEM.



**PAVED WALKWAY SECTION**  
NOT TO SCALE

- CONSTRUCTION NOTES:
1. DO NOT PLACE INFILTRATION BASIN INTO SERVICE UNTIL THE BMP HAS BEEN SEED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
  2. DO NOT DISCHARGE SEDIMENT-LOADED WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN DURING ANY STAGE OF CONSTRUCTION.
  3. CLEAR AND GRUB THE AREA WHERE THE INFILTRATION BASIN IS TO BE LOCATED. STOCKPILE LOAM FOR REUSE LATER.
  4. THE FOUNDATION AREA SHALL BE SCARIFIED PRIOR TO PLACING FILL. ALL UNSUITABLE MATERIAL UNDER THE BERM SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION MATERIAL.
  5. THE BERM SHALL BE CONSTRUCTED BEGINNING FROM THE LOWEST POINT UNIFORMLY ALONG ITS ENTIRE LENGTH. PLACE MATERIALS IN MAXIMUM 12" LOOSE LIFTS COMPACTED TO 95% MAXIMUM DRY DENSITY. EMBANKMENT SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LOOSE LIFT THICKNESS. EMBANKMENT FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

| SEIVE SIZE | PERCENT PASSING |
|------------|-----------------|
| #10        | 10-20           |
| #20        | 20-40           |
| #40        | 30-50           |
| #60        | 40-60           |
| #100       | 50-70           |
| #200       | 70-90           |

6. THE BOTTOM OF THE INFILTRATION BASIN SHALL RECEIVE FOUR INCHES OF LOAM AND BE SEED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION BASINS AND MOST SITES. THE MIX SHALL BE APPLIED AT A RATIO OF 35 LBS PER ACRE. SEED MIX AVAILABLE FROM: NEW ENGLAND WETLAND PLANTS, INC. 820 WEST STREET ANDOVER, MA 01922
7. ALL DISTURBED AREAS NOT OTHERWISE PLANTED SHALL RECEIVE FOUR INCHES OF LOAM AND SEED PER THE CONSTRUCTION SEQUENCING AND EROSION CONTROL NOTES ON SHEET D1.

- INFILTRATION BASIN MAINTENANCE:
1. THE BOTTOM SIDE SLOPES AND CREST SHALL BE MOVED AND THE VEGETATION MAINTAINED IN A HEALTHY CONDITION.
  2. EMBANKMENTS SHOULD BE INSPECTED ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, AND WOODY VEGETATION. REPAIR AS NECESSARY.
  3. A QUALIFIED PROFESSIONAL SHALL INSPECT THE OUTLET PIPE, SPILLWAY, AND OUTLET PROTECTION ANNUALLY. REPAIR AS NECESSARY.
  4. TRASH AND DEBRIS SHALL BE REMOVED FROM THE BASIN AND PIPE INLETS AND OUTLETS WHENEVER PRESENT.
  5. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE DEPTH EXCEEDS 4 INCHES.

FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

FILE NO. 116  
PLAN NO. C-3080/SP-1  
DWG. NO. 20002/SP-1

31 Mooney Street, Alton, N.H. 603-875-3948

**NORWAY PLAINS ASSOCIATES, INC.**

**CONSTRUCTION DETAILS**  
**TAX MAP 208, LOT 8**  
**154 FARMINGTON ROAD**  
**ROCHESTER, NH**  
PREPARED FOR:  
**MOTOR CITY AUTOMOTIVE**  
**GROUP, LLC**  
AUGUST 2020

2 Continental Blvd., Rochester, N.H. 603-335-3948



# LAND SURVEYORS



# CIVIL ENGINEERS

## LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING OVERHEAD WIRES
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED PAVEMENT WITH CURBING
- PROPOSED LIGHT POLES
- ◀ PROPOSED BUILDING LIGHT FIXTURES
- PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ISOLUMINATION LINES

| Luminaire Schedule |       |     |             |  |
|--------------------|-------|-----|-------------|--|
| Symbol             | Label | Qty | Arrangement | Description                                    |
| ○                  | S4    | 3   | SINGLE      | PRV-C40-D-UNV-T4-BZ-HSS/ SSS4A20SPN1 (20' AFG) |
| ◀                  | W     | 1   | SINGLE      | AXCS1A/ WALL MTD 12' AFG                       |

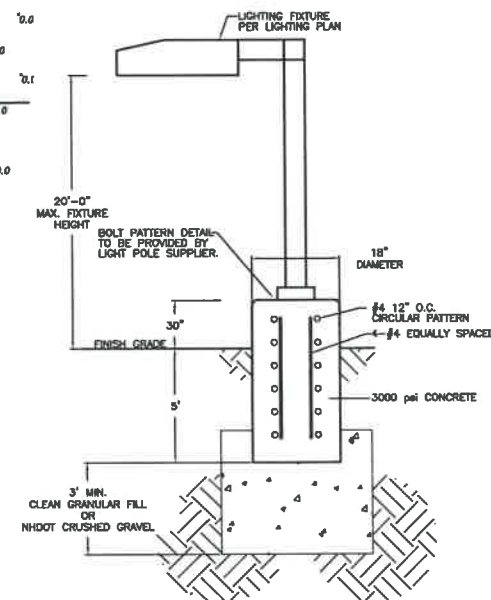
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.



AXCENT AXCS LED BY LUMARK LIGHTING WALL MOUNTED FIXTURE



PRV / PRV-XL PREVAIL LED BY LUMARK LIGHTING POLE MOUNTED FIXTURE



## POLE MOUNTED LIGHT DETAIL NOT TO SCALE

NOTE:  
1. THE LIGHT POLE BASES CAN BE PRECAST WITH COORDINATION WITH THE LIGHTING FIXTURE MANUFACTURE FOR BOLT PATTERN.

EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AS DEFINED BY ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA AND ADHERE TO CHAPTER 149-14.E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.

**LIGHTING PLAN**  
TAX MAP 208, LOT 6  
154 FARMINGTON ROAD  
ROCHESTER, NH  
PREPARED FOR:  
**MOTOR CITY AUTOMOTIVE GROUP, LLC**

AUGUST 2020  
GRAPHIC SCALE



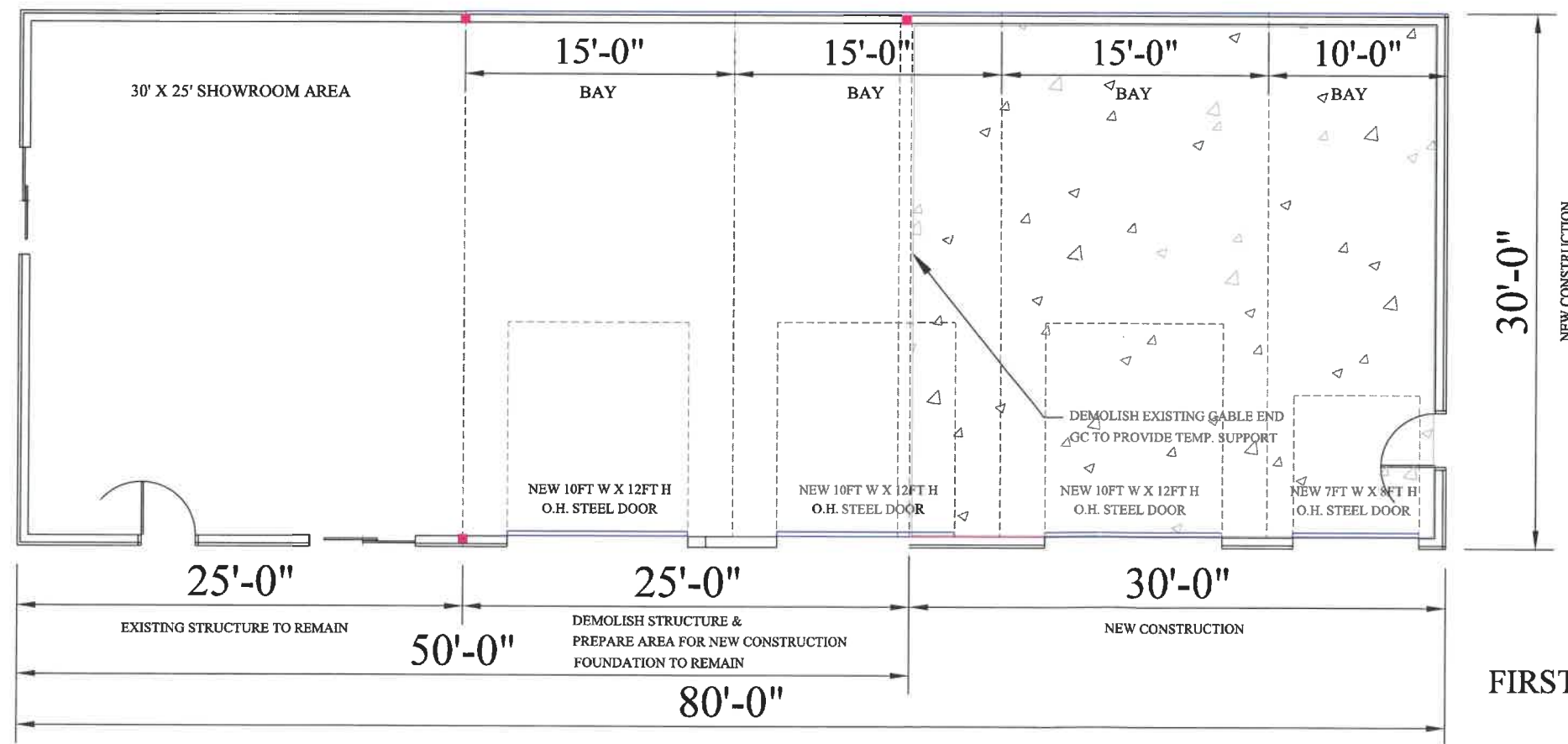
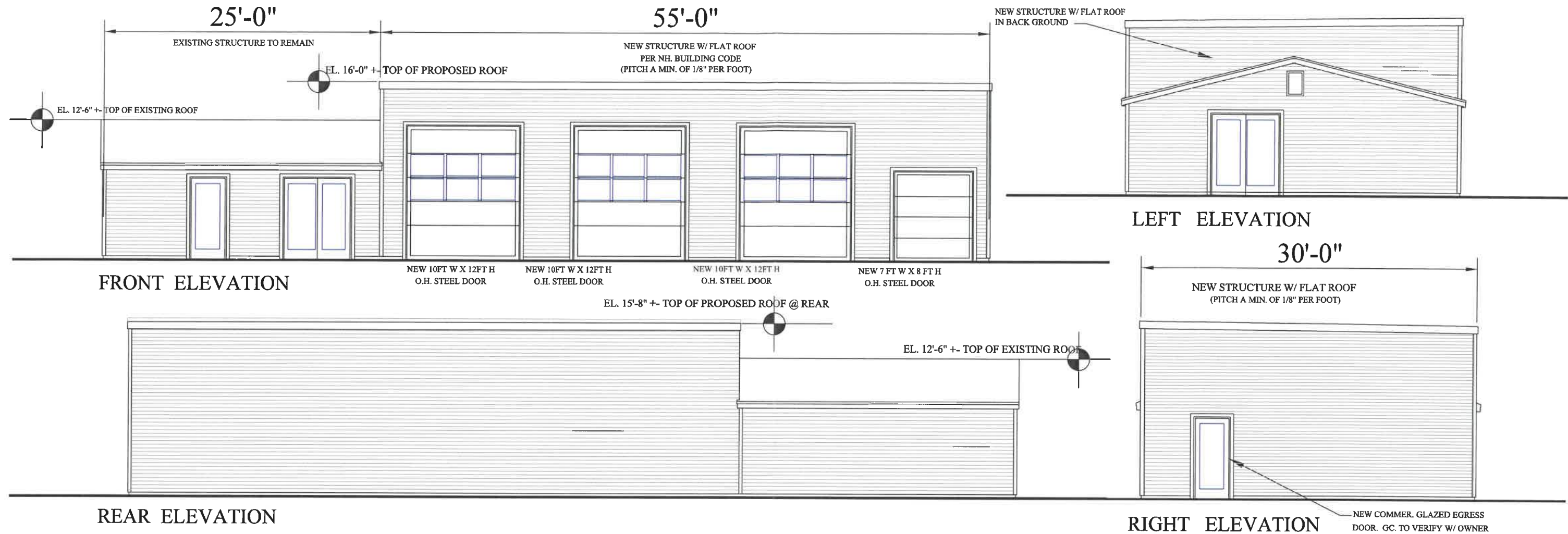
FILE NO. 104  
PLAN NO. C-2780  
DWG. NO. 15225/SP-1  
F.B. NO.

31 Mooney Street, Alton, N.H. 603-875-3948

**NORWAY PLAINS ASSOCIATES, INC.**

2 Continental Blvd., Rochester, N.H. 603-335-3948

L-1



|                                       |  |  |  |
|---------------------------------------|--|--|--|
| 154 FARMINGTON ROAD<br>ROCHESTER, NH. |  | PROPOSED FLOOR PLAN<br>AND ELEVATIONS<br>SCALE: 1/4"=1'-0" |  |
| REVISIONS:                            |  | A1.0   |  |
|                                       |  | 9-22-20  |  |

PLANNING BOARD DWG.

