NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check #_____ Amount $_____ Date paid_____]

Date: 03/06/2020 Is a conditional use needed? Yes: X No:_____ Unclear:_____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 208; Lot #('s): 9 ; Zoning district: Granite Ridge Development (GRD)

Property address/location: 178 Farmington Road

Name of project (if applicable): _____

Size of site: 4.28 acres; overlay zoning district(s)? Conservation & Aquifer Protection Overlay

Property owner

Name (include name of individual): Rochester/Rural District Visiting Nurse Services & Hospice

Mailing address: 178 Farmington Road, Rochester, NH 03867

Telephone #: 603-994-6935 Email: jreynolds@cornerstonevna.org

Applicant/developer (if different from property owner)

Name (include name of individual): Cornerstone VNA, c/o Julie Reynolds, CEO

Mailing address: Same as owner

Telephone #:_____ Email: _____

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc., c/o Scott Lawler, PE

Mailing address: PO Box 249, Rochester, NH 03866

Telephone #: 603-335-3948 Fax #: _____

Email address: slawler@norwayplains.com Professional license #: 10026

Proposed activity (check all that apply)

New building(s):_____ Site development (other structures, parking, utilities, etc.): _____

Addition(s) onto existing building(s): X Demolition:_____ Change of use: _____

(Continued *Nonresidential Site Plan* Application Tax Map: 208 Lot: 9 Zone GRD)

Describe proposed activity/use: Building expansion of the existing office building

Describe existing conditions/use (vacant land?): Cornerstone VNA office building with associated parking.

Utility information

City water? yes__ no__X__; How far is City water from the site? _____
City sewer? yes__ no__X____; How far is City sewer from the site? _____
If City water, what are the estimated total daily needs?_____gallons per day
If City water, is it proposed for anything other than domestic purposes? yes____ no____
If City sewer, do you plan to discharge anything other than domestic waste? yes ____ no ____
Where will stormwater be discharged? Bioretention Basin

Building information

Type of building(s): Wood-frames
Building height: 2 story Finished floor elevation: 277.85' (match existing)

Other information

parking spaces: existing: 99 total proposed: 92 ; Are there pertinent covenants? No
Number of cubic yards of earth being removed from the site Less than 100 cy
Number of existing employees: 35 full time – 10 part time – 125 field staff;
number of proposed employees No change
Check any that are proposed: variance _____; special exception _____; conditional use _X_

Wetlands: Is any fill proposed? __No__; area to be filled:_____; buffer impact? 432 sf _

Proposed *post-development* disposition of site (should total 100%)		
	Square footage	**% overall site**
Building footprint(s) – Office with addition	7,084	3.80
Shed	52	0.03
Parking and vehicle circulation	38,704	20.76
Pedestrian circulation (Sidewalks, patio)	2,320	1.40
Planted/landscaped areas (excluding drainage)	7,117	3.82
Natural/undisturbed areas (excluding wetlands)	37,574	20.15
Wetlands	44,564	23.90
Other – drainage structures, lawn, etc.	49,022	26.14

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

_____

_____

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I(we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Julie A. Reynolds CEO

Date: 3-9-2020

Signature of applicant/developer: _____

Date: _____

Signature of agent: _____

Date: 3-9-2020

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: Julie A. Reynolds CEO

Date: 3-9-2020

NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Fax (603)332-0098
Phone (603) 335-3948 / (800) 479-3948
slawler@norwayplains.com

P. O. Box 268
31 Mooney St.
Alton, NH 03809
www.norwayplains.com
Phone & Fax (603) 875-3948
rtetreault@norwayplains.com

March 7, 2020

Seth Creighton, Chief Planner
Planning Department
City of Rochester
33 Wakefield Street
Rochester, NH 03867

Re: Non- Residential Site Plan Application; Cornerstone VNA, 178 Farmington Road, Map 208, Lot 9.

Dear Mr. Creighton:

On behalf of the Cornerstone VNA, Norway Plains Associates, Inc. is pleased to submit a Non-Residential Site Plan Application. The Rochester/Rural District Visiting Nurse Service and Hospice are the owner of the parcel located at 178 Farmington Road identified by the City of Rochester assessors as Tax Map 208, Lot 9 with a total area of 4.28 acres. The parcel is located in the Granite Ridge Development Zoning District as well as the Conservation Overlay and Aquifer Protection Overlay Districts.

The parcel is located on the south side of Farmington Road, behind Lilac City. Access to the parcel is off Route 11 via a shared driveway with Lilac City Pediatrics and Route 11 RV & Marine. The existing site for the office of Cornerstone VNA was constructed in 2001. Cornerstone VNA, a non-profit organization, provides home health, hospice, palliative, private duty and community care services in the City of Rochester as well as many towns in the region. The existing 9,100 square feet office building is serviced by an on-site well and septic system. Parking for the employees and visitors is located along the front and western sides of the building and consist of 99 spaces, 4 of which are designated as ADA spaces with accessible aisles.

Currently, Cornerstone employs about 170 employees and operates Monday through Friday. Of the 170 employees, 35 are full time office staff with another 10 working at part time. The remaining 125 employees are field staff associated with either the Home Health Care, Hospice, or Life Care teams. These field staff teams rotate in and out of the facility on a bi-weekly basis for meeting.

The property is mostly surrounded by wetlands on most sides of the development. The jurisdictional wetlands were delineated by B.H. Keith Associates in 2000 and reevaluated in the areas near the proposed expansion in January 2020.

The proposed project is the expansion of the Cornerstone VNA office building. The proposed addition, approximately 4,394 square feet divided over two floors, will provide more efficient and professional working environment, much needed office, education space and larger meeting rooms. Furthermore, the new addition would add an elevator to the building, making the facility easier to accommodate for those with disabilities and comply with the Americans with Disabilities Act (ADA) on all levels of the building. Once the proposed addition is completed, portions of the existing building will undergo renovations to address other spatial needs. Please see the attached Case of Support document prepared by the applicant.

The proposed building addition will require 7 parking spaces to be removed in the upper parking area. Despite removing these spaces, the total number of parking spaces on site far exceeds the required number by the Site Review Regulations and will continue to meet the applicant's needs. A new sidewalk will connect the parking area and provide an ADA accessible route to the rear of the building. A new concrete patio with a sitting wall will be constructed to provide outdoor space for the employees.

The result of the proposed site development, there will be an increase the impervious surfaces by approximate 1,698 square feet. To account for the extra stormwater runoff, a stormwater management system will be constructed to mitigate the increase. This stormwater management system will consist of bioretention basin. The basin is designed to treat the runoff from the roofs and patio prior to infiltrating into the ground. As such, the infiltration basin will provide recharge of runoff back into the groundwater and avoid any additional runoff from leaving the property.

A conditional Use Permit application will be necessary to allow for some minor grading and installation of a sidewalk within the City of Rochester Conservation Overlay District. It should be noted, that the total amount of impervious surfaces within the COD will actually reduce from the existing conditions by approximately 123 square feet. Furthermore, the proposed impervious surfaces are down gradient of the associated wetlands. Thus, with the implementation of Best Management Practices, BMPs, protection of the wetlands will be maintained throughout construction.

The site will continue to be serviced by on site well and septic system. The existing well, however, is located where the building addition will be placed. Therefore, it will be removed and a new well will be drilled. Given the number of employees staffed on a consistent bases, approval from NHDES Drinking and Groundwater Bureau for a non-transient non-community (NTNC) water system. The existing effluent disposal area (EDA), also known as the leach field, is sized to accommodate the daily design flows for number of employees on any given day. However, the existing septic tank is undersized and will need to be replaced with a larger tank.

Other utility systems, such as the existing back-up generator and AC condensers will need to be relocated as part of the construction of the addition. Otherwise, all of the remaining utilities that service the existing building and proposed addition will not change.

In addition to the Public Water Supply permit, the only other State approval required for the addition will be from NHDOT for the expansion of use of the driveway access off Route 11. Although the facility is not proposing any changes to the number of staff, changes over the years since they moved to the site has altered the traffic entering and exiting onto Route 11 / Farmington Road. At the being, the facility had around 30 full time employees and about 95 field employees. Initially, most the field employees would need to stop by the office at least once a day to file paperwork on their cases. Thus, there were many vehicles entering and existing over the course of the day. But, as modern technology improved, field staff were able to start filing the paperwork remotely and not necessarily come to the office on a daily basis. Therefore, the number of vehicles (trips) going in and out has steadily been declining over the years.

A trip generation and vehicle turning movement analysis will be prepared by Stephen G. Pernaw & Company, Inc. which will outline the anticipated impacts to the entrance as the result of the proposed addition. In communications with Mike Dugas from NHDOT, a corridor safety improvements and resurfacing project will be going out to bid very shortly. The work, to be completed in 2020, will entail restriping the section of Route 11 from Two Rod Road intersection northerly to the Farmington town line with a designated center turn lane. As such, northbound vehicles waiting to make a left turn will have a turning lane if required to wait on southbound traffic. In addition to the restriping near the entrance, Mr. Dugas indicated that a new pull-off would be constructed on the northern side of Route 11 for a Coast Bus stop. Based on this work by NHDOT, we do not anticipate any off-site improvements will be necessary as part of the proposed expansion at Cornerstone VNA.

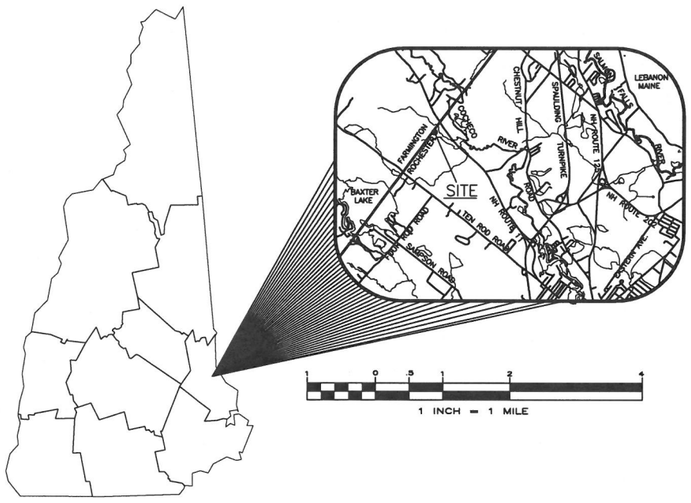
We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration Sincerely,

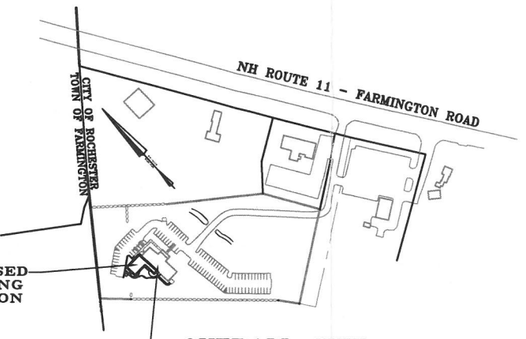
NORWAY PLAINS ASSOCIATES, INC.

By:
Scott A. Lawler, PE, Project Engineer

cc: Cornerstone VNA

PROPOSED FACILITY EXPANSION
178 FARMINGTON ROAD
PREPARED FOR
CORNERSTONE VNA
ROCHESTER, NH
MARCH 2020





OVERALL SITE
1" = 200'

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

STATE OF NEW HAMPSHIRE
SCOTT A. LAWLER
No. 10024
LICENSED
PROFESSIONAL ENGINEER

CIVIL ENGINEERS
NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3948

ARCHITECTS
SHEER McCRYSTAL PALSON ARCHITECTURE INC.
30 SOUTH MAIN STREET, BUILDING TWO
CONCORD, NEW HAMPSHIRE 03301
(603) 228-8880

OWNER OF RECORD
TAX MAP 208, LOT 9
OWNER OF RECORD:
ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE
178 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 2250, PAGE 320

APPLICANT
CORNERSTONE VNA
178 FARMINGTON ROAD
ROCHESTER, NH 03867
(603) 332-1133

STATE AND FEDERAL PERMITS:

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES ALTERATION OF TERRAIN:	NOT REQUIRED
NHDES WETLANDS PERMIT:	NOT REQUIRED
NHDES DAM PERMIT:	NOT REQUIRED
NHDES SUBDIVISION PERMIT:	NOT REQUIRED
NHDES SUBSURFACE SYSTEMS PERMIT:	NOT REQUIRED
NHDES WASTEWATER PERMIT:	NOT REQUIRED
NHDOT DRIVEWAY/ENTRANCE PERMIT:	NOT REQUIRED

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: NOT REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

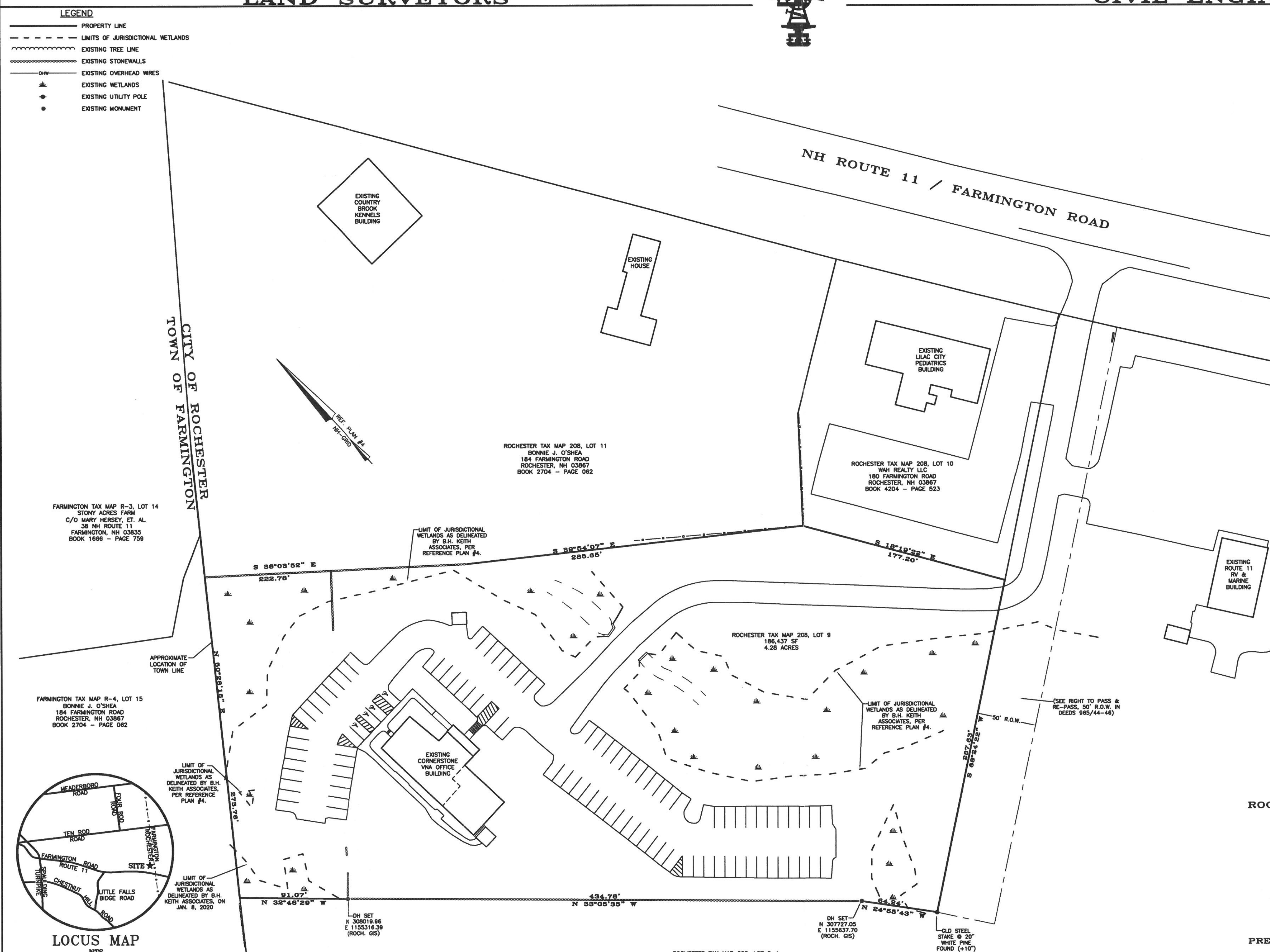
FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

SHEET INDEX

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

LAND SURVEYORS — CIVIL ENGINEERS



LEGEND
PROPERTY LINE
LIMITS OF JURISDICTIONAL WETLANDS
EXISTING TREE LINE
EXISTING STONEWALLS
EXISTING OVERHEAD WIRES
EXISTING WETLANDS
EXISTING UTILITY POLE
EXISTING MONUMENT
NH ROUTE 11 / FARMINGTON ROAD
CITY OF ROCHESTER
TOWN OF FARMINGTON
EXISTING COUNTRY BROOK KENNELS BUILDING
EXISTING HOUSE
EXISTING LILAC CITY PEDIATRICS BUILDING
EXISTING ROUTE 11 RV & MARINE BUILDING
EXISTING CORNERSTONE VNA OFFICE BUILDING
ROCHESTER TAX MAP 208, LOT 11
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062
ROCHESTER TAX MAP 208, LOT 10
WAH REALTY LLC
180 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 4204 - PAGE 523
FARMINGTON TAX MAP R-3, LOT 14
STONY ACRES FARM
C/O MARY HERSEY, ET. AL.
38 NH ROUTE 11
FARMINGTON, NH 03835
BOOK 1666 - PAGE 759
FARMINGTON TAX MAP R-4, LOT 15
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062
ROCHESTER TAX MAP 208, LOT 9
186,437 SF
4.28 ACRES
ROCHESTER TAX MAP 208, LOT 8-1
ROBIDAS PROPERTIES LLC
PO BOX 623
ROCHESTER, NH 03867
BOOK 3541 - PAGE 097
S 36°03'52" E
222.78'
S 39°54'07" E
285.65'
S 18°19'22" E
177.20'
S 66°24'22" W
287.62'
N 24°55'43" W
64.24'
N 33°05'35" W
434.78'
N 32°48'29" W
91.07'
273.76'
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 8, 2020
APPROXIMATE LOCATION OF TOWN LINE
(SEE RIGHT TO PASS & RE-PASS, 50' R.O.W. IN DEEDS 965/44-46)
50' R.O.W.
REF. PLAN #4
NH GRID
DH SET
N 308019.96
E 1155316.39
(ROCH. GIS)
DH SET
N 307727.05
E 1155637.70
(ROCH. GIS)
OLD STEEL STAKE @ 20" WHITE PINE FOUND (+10")
MEADERBORO ROAD
FOUR ROD ROAD
TEN ROD ROAD
FARMINGTON ROAD
ROUTE 11
SITE
CHESTNUT HILL ROAD
LITTLE FALLS BIDGE ROAD
SPAULDING TURNPIKE
LOCUS MAP
NTS

REFERENCE PLANS:

1) "AS-BUILT SURVEY PLAN, LILAC CITY PEDIATRICS, FARMINGTON ROAD - ROUTE 11, ROCHESTER, N.H. FOR WAH REALTY CORP." DATED JULY 1996, BY NORWAY PLAINS ASSOC. PLAN NO. C-1675A.
2) "PLAN OF LAND, HAZEL CORSON, HILDA CORSON, ROCHESTER AND FARMINGTON, N.H." DATED MAY 1982, BY FREDERICK E. DREW ASSOC. RECORDED: SCRD 17B-182.
3) "PLAN OF LAND, COOK TO TURCOTTE, ROCHESTER,N.H." DATED MAY 1975, BY G.L. DAVIS & ASSOC. NOT RECORDED.
4) "AS-BUILT - ROUTE 11 - FARMINGTON ROAD - ROCHESTER N.H. - FOR ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE" DATED OCTOBER 2001 BY NORWAY PLAINS ASSOCIATES, INC.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

STATE OF NEW HAMPSHIRE — LICENSED LAND SURVEYOR — No. 865 — JOEL D. RUNNALS

Joel D. Runnals — 03/10/20

JOEL D. RUNNALS, LLS 865 — DATE
ON BEHALF OF NORWAY PLAINS ASSOCIATES, INC.

TAX MAP 208, LOT 9
OWNER OF RECORD:
ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE
178 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 2250, PAGE 320

PLAN OF LAND
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA
MARCH 2020

GRAPHIC SCALE
40 0 20 40 80 160
(IN FEET)
1 INCH= 40 FT.

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

S-1

31 Mooney Street, Alton, N.H. 603-875-3948 — NORWAY PLAINS ASSOCIATES, INC. — 2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS

CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- LIMITS OF JURISDICTIONAL WETLANDS
- WETLANDS BUFFER
- EXISTING TREE LINE
- EXISTING STONEWALLS
- 258 EXISTING CONTOUR LINE
- EXISTING DRAIN LINE
- OHW EXISTING OVERHEAD WIRES
- W EXISTING WATER LINE
- EXISTING SEWER LINE
- G EXISTING GAS LINE
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING MONUMENT
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- TP EXISTING TEST PIT LOCATION & NUMBER
- EXISTING WETLANDS

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

ROCHESTER TAX MAP 208, LOT 11
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062

S 39°54'07" E
265.65'

S 36°03'52" E
222.78'

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

CITY OF ROCHESTER
TOWN OF FARMINGTON

N 50°28'16" E

LIGHT POLE WITH 2 FIXTURES

INV. = 270.7+/-

APPROX. LOCATION OF 4" PVC UNDERDRAIN

50' WETLANDS BUFFER

DUMPSTER ENCLOSURE

PAVED PARKING

BOLLARDS (5 EA.)

ELEC. METER
PAVED SIDEWALK

ADA SIGNS (4 EA.)

CONC. STEPS

CONC. WALK

CONC. STEPS

STONE DRIP EDGE

COVERED PORCH W/ OFFICE SPACE ABOVE

EXISTING CORNERSTONE VNA OFFICE BUILDING (2 STORY WOOD FRAMED WITH BASEMENT) (FINISH FLOOR = 277.85')

AC UNITS ON CONC. PAD

GENERATOR ON CONC. PAD

STONE DRIP EDGE

FOUNDATION DRAINS
NO BASEMENT

STONE DRIP EDGE

PAVED SIDEWALK

WELL

SHED

APPROX. LOCATION OF 4" PVC UNDERDRAIN

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

FARMINGTON
TAX MAP R-4, LOT 15
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 8, 2020

91.07'
N 32°48'29" W

50' WETLANDS BUFFER

APPROX. LOCATION OF UNDERGROUND UTILITY WIRES

UGU

POLE VER. 110 ½ PSNH 362 5Y

GUY WIRE

STONE DUST WALK

8" PVC FOUNDATION DRAIN

FLAG POLE

BURIED PROPANE TANK

1,250gal SEPTIC TANK

APPROX. LOCATION OF STONE AND PIPE LEACH FIELD

WOOD PERGOLA WITH PAVERS

BENCH

BIRD BATH

HEADWALL

INV. = 261.8'

WOOD GUARDRAIL

18" RCP CULVERT

HEADWALL

INV. = 261.8'

INV. = 265.7'

PAVED DRIVEWAY

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

GUY WIRE

GUY WIRE

POLE VER. 4L PSNH 362

LIGHT POLE WITH 2 FIXTURES

50' WETLANDS BUFFER

PAVED PARKING

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

494.78'
N 33°05'35" W

64.24'
N 24°55'43" W

ROCHESTER TAX MAP 208, LOT 8-1
ROBIDAS PROPERTIES LLC
PO BOX 823
ROCHESTER, NH 03867
BOOK 3541 - PAGE 097

REF. PLAN #4
NH GRID

GENERAL SITE PLAN NOTES

1. THIS PARCELS ARE LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE AND CONSERVATION OVERLAY AND AQUAIFER PROTECTION OVERLAYS.
2. TOTAL PARCEL AREA: 188,437 SQUARE FEET OR 4.28 ACRES.
3. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON THE LOT.
4. ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
5. THESE PLANS SHOW ONLY THOSE FEATURES THAT WERE VISUALLY PER REFERANCE PLAN 4 AND A SITE SURVEY IN JANUARY 2020.
6. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
   GRANITE RIDGE DISTRICT (GRD) ZONE:
   MINIMUM LOT AREA = N/A
   MINIMUM LOT FRONTAGE = 50 FEET
   MINIMUM YARD SETBACKS:
   FRONT = N/A
   SIDE = N/A
   REAR = N/A
   MAXIMUM LOT COVERAGE = N/A
   MAXIMUM BUILDING HEIGHT = N/A
7. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS BASED ON NGVD1929.
8. PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, COMMUNITY #33017C0182D AND #33017C0184D, DATED MAY 17, 2005.

TEST PIT DATA (PERFORMED BY ASHLEY ROWE NHDSDS 1857 ON 02/12/2020)

TP 1
0-26" 10YR3/2 LOAM TOP SOIL, MANY ROOTS
26-50" 10YR6/6 LOAMY FINE SAND, GRANULAR, FRIABLE.
50-65" 10YR6/6 LOAMY FINS SANDS, GANULAR, FRIABLE, COMMON REDOXIMORPHIC CONCENTRATIONS AND DEPLETIONS.
65" NO REFUSAL, NO OBSERVED WATER
SEASONAL HIGH WATER TABLE ESTIMATED AT 50 INCHES.

TP 2
0-12" 10YR3/2 LOAM TOPSOIL, COMMON ROOTS
12-26" 10YR6/6 LOAMY FINE SAND, GRANULAR, FRIABLE.
26-54" 5Y5/6 LOAMY FINE SAND, GRANULAR, FRIABLE COMMON REDOXIMORPHIC CONCENTRATIONS AND DEPLETIONS.
54" NO REFUSAL, NO OBSERVED WATER.
ESTIMATED SEASONAL HIGH WATER TABLE AT 26 INCHES.

REFERENCE PLANS:

1) "AS-BUILT SURVEY PLAN, LILAC CITY PEDIATRICS, FARMINGTON ROAD - ROUTE 11, ROCHESTER, N.H. FOR WAH REALTY CORP." DATED JULY 1996, BY NORWAY PLAINS ASSOC. PLAN NO. C-1675A.
2) "PLAN OF LAND, HAZEL CORSON, HILDA CORSON, ROCHESTER AND FARMINGTON, N.H." DATED MAY 1982, BY FREDERICK E. DREW ASSOC. RECORDED: SCRD 17B-182.
3) "PLAN OF LAND, COOK TO TURCOTTE, ROCHESTER,N.H." DATED MAY 1975, BY G.L. DAVIS & ASSOC. NOT RECORDED.
4) "AS-BUILT - ROUTE 11 - FARMINGTON ROAD - ROCHESTER N.H. - FOR ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE" DATED OCTOBER 2001 BY NORWAY PLAINS ASSOCIATES, INC.

TAX MAP 208, LOT 9
OWNER OF RECORD:
ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE
178 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 2250, PAGE 320

EXISTING FEATURES PLAN
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 INCH = 20 FEET

E-1

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS — CIVIL ENGINEERS

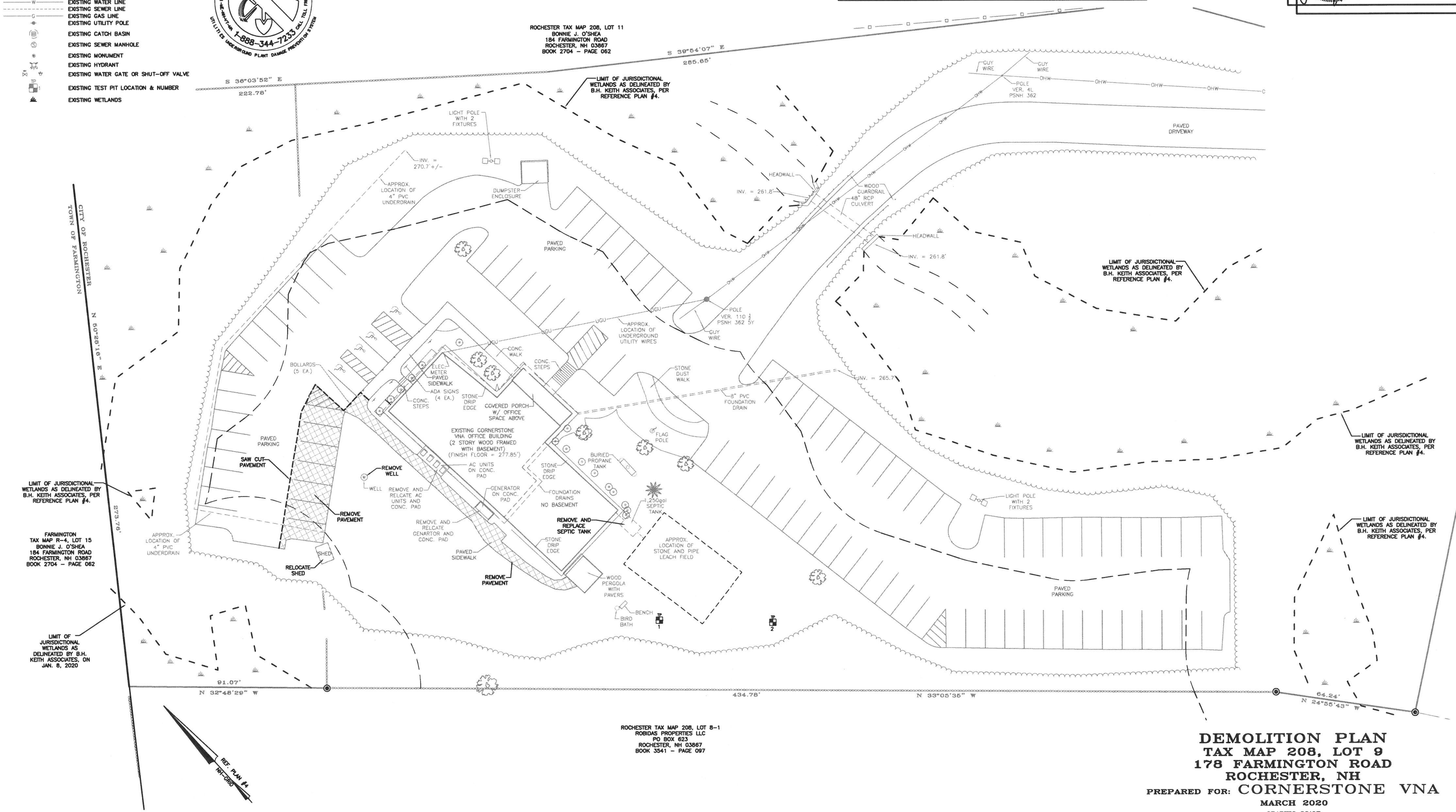
LEGEND

- PROPERTY LINE
- LIMITS OF JURISDICTIONAL WETLANDS
- WETLANDS BUFFER
- EXISTING TREE LINE
- EXISTING STONEWALLS
- EXISTING CONTOUR LINE (258)
- EXISTING DRAIN LINE
- EXISTING OVERHEAD WIRES (OHW)
- EXISTING WATER LINE (W)
- EXISTING SEWER LINE
- EXISTING GAS LINE (G)
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING MONUMENT
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING TEST PIT LOCATION & NUMBER (TP 1)
- EXISTING WETLANDS

DIG SAFE — 1-888-344-7233 CALL TOLL FREE — RI-ME-NH-VT-MA — UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

STATE OF NEW HAMPSHIRE — SCOTT A. LAWLER No. 10026 — LICENSED PROFESSIONAL ENGINEER



ROCHESTER TAX MAP 208, LOT 11
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062
S 39°54'07" E
285.65'
S 36°03'52" E
222.78'
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.
LIGHT POLE WITH 2 FIXTURES
INV. = 270.7'+/-
APPROX. LOCATION OF 4" PVC UNDERDRAIN
DUMPSTER ENCLOSURE
PAVED PARKING
HEADWALL
INV. = 261.8'
WOOD GUARDRAIL
48" RCP CULVERT
GUY WIRE
POLE VER. 4L PSNH 362
PAVED DRIVEWAY
POLE VER. 110 2/2 PSNH 362 5Y
APPROX. LOCATION OF UNDERGROUND UTILITY WIRES
CITY OF ROCHESTER
TOWN OF FARMINGTON
N 50°26'16" E
273.76'
BOLLARDS (5 EA.)
ELEC. METER
PAVED SIDEWALK
ADA SIGNS (4 EA.)
CONC. STEPS
STONE DRIP EDGE
CONC. WALK
CONC. STEPS
COVERED PORCH W/ OFFICE SPACE ABOVE
EXISTING CORNERSTONE VNA OFFICE BUILDING (2 STORY WOOD FRAMED WITH BASEMENT) (FINISH FLOOR = 277.85')
STONE DUST WALK
8" PVC FOUNDATION DRAIN
INV. = 265.7'
FLAG POLE
BURIED PROPANE TANK
SAW CUT PAVEMENT
REMOVE PAVEMENT
REMOVE WELL
WELL
REMOVE AND RELCATE AC UNITS AND CONC. PAD
AC UNITS ON CONC. PAD
GENERATOR ON CONC. PAD
REMOVE AND RELCATE GENARTOR AND CONC. PAD
FOUNDATION DRAINS NO BASEMENT
REMOVE AND REPLACE SEPTIC TANK
1,250gal SEPTIC TANK
APPROX. LOCATION OF STONE AND PIPE LEACH FIELD
PAVED SIDEWALK
RELOCATE SHED
SHED
REMOVE PAVEMENT
WOOD PERGOLA WITH PAVERS
BENCH
BIRD BATH
APPROX. LOCATION OF 4" PVC UNDERDRAIN
LIGHT POLE WITH 2 FIXTURES
FARMINGTON TAX MAP R-4, LOT 15
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 - PAGE 062
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 8, 2020
91.07'
N 32°48'29" W
434.78'
N 33°05'35" W
64.24'
N 24°55'43" W
ROCHESTER TAX MAP 208, LOT 8-1
ROBIDAS PROPERTIES LLC
PO BOX 623
ROCHESTER, NH 03867
BOOK 3341 - PAGE 097
REF. PLAN #4
NH-GRID

DEMOLITION PLAN
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 INCH = 20 FEET

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

D-1

31 Mooney Street, Alton, N.H. 603-875-3948 — NORWAY PLAINS ASSOCIATES, INC. — 2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS

CIVIL ENGINEERS

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

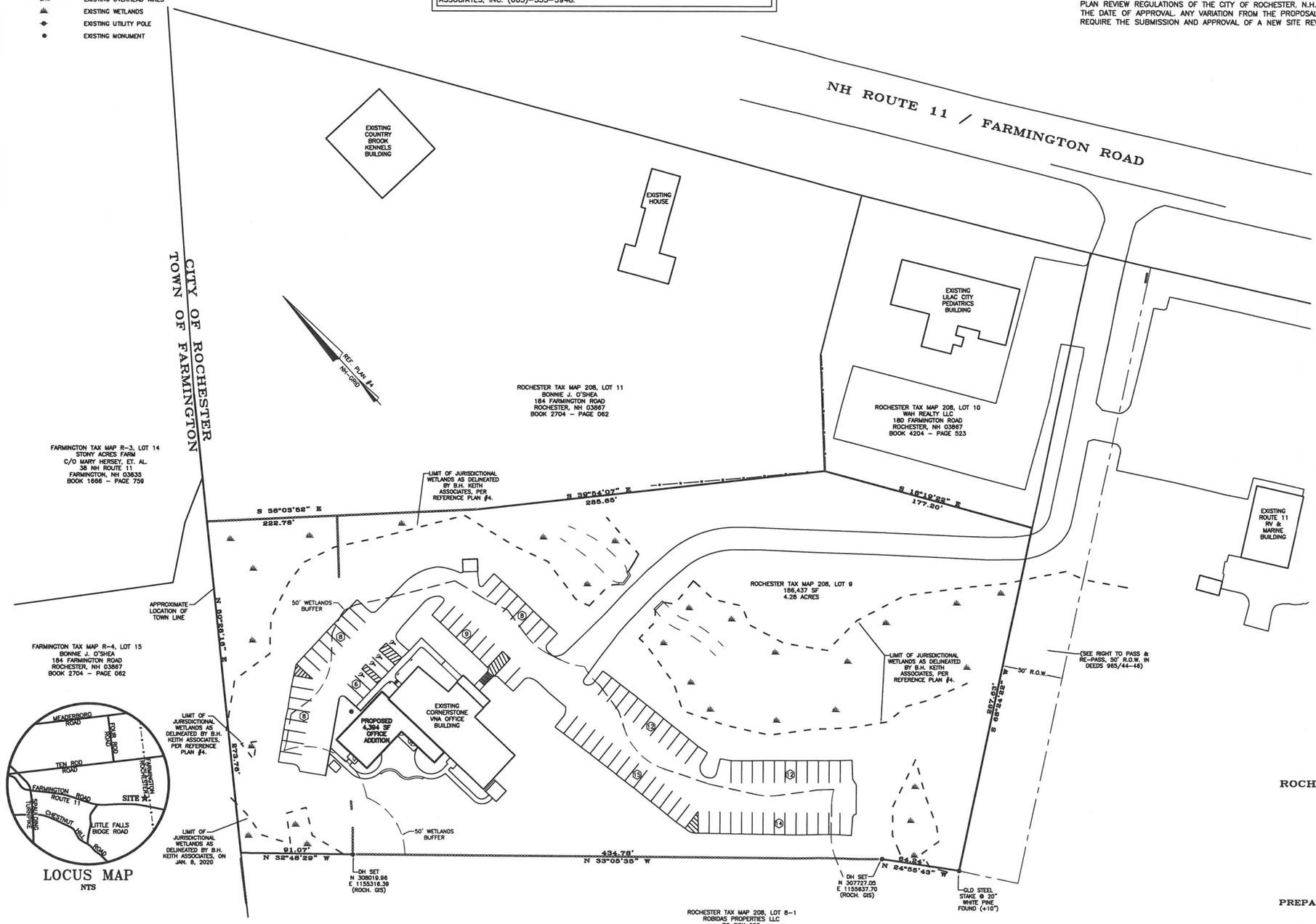
SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

STATE OF NEW HAMPSHIRE — SCOTT A. LAWLER No. 10028 LICENSED PROFESSIONAL ENGINEER

LEGEND

- PROPERTY LINE
- LIMITS OF JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- EXISTING STONEWALLS
- EXISTING OVERHEAD WIRES
- EXISTING WETLANDS
- EXISTING UTILITY POLE
- EXISTING MONUMENT



LOCUS MAP
NTS

REFERENCE PLANS:
1) "AS-BUILT SURVEY PLAN, LILAC CITY PEDIATRICS, FARMINGTON ROAD - ROUTE 11, ROCHESTER, N.H. FOR WAH REALTY CORP." DATED JULY 1998, BY NORWAY PLAINS ASSOC. PLAN NO. C-1675A.
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3) "PLAN OF LAND, COOK TO TURCOTTE, ROCHESTER,N.H." DATED MAY 1975, BY G.L. DAVIS & ASSOC. NOT RECORDED.
4) "AS-BUILT - ROUTE 11 - FARMINGTON ROAD - ROCHESTER N.H. - FOR ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE" DATED OCTOBER 2001 BY NORWAY PLAINS ASSOCIATES, INC.

GENERAL SITE PLAN NOTES

1. THIS PARCELS ARE LOCATED IN THE THIS PARCELS ARE LOCATED IN THE GRANITE RIDGE DEVELOPMENT (GRD) ZONE AND CONSERVATION OVERLAY AND AQUAIFER PROTECTION OVERLAYS.
2. TOTAL PARCEL AREA: 186,437 SQUARE FEET OR 4.28 ACRES.
3. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED EXPANSION OF THE EXISTING CORNERSTONE VNA BUILDING.
4. ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
5. THESE PLANS SHOW ONLY THOSE FEATURES THAT WERE VISUALLY PER REFERANCE PLAN 4 AND A SITE SURVEY IN JANUARY 2020.
6. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
   GRANITE RIDGE DISTRICT (GRD) ZONE:
   MINIMUM LOT AREA = N/A
   MINIMUM LOT FRONTAGE = 50 FEET
   MINIMUM YARD SETBACKS:
   FRONT = N/A
   SIDE = N/A
   REAR = N/A
   MAXIMUM LOT COVERAGE = N/A
   MAXIMUM BUILDING HEIGHT = N/A
7. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS BASED ON NGVD1929.
8. PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, COMMUNITY #33017C0182D AND #33017C0184D, DATED MAY 17, 2005.
9. SOIL TYPES ARE PER NATURAL RESOURCES CONSERVATION SERVICE (NRCS) REPORT:
   CsC - CHARLTON FINE SANDY LOAM, 8 TO 15 PRECENT SLOPES, VERY STONEY
   HnB - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
10. JURISDICTIONAL WETLANDS WERE DELINEATED BY B.H. KEITH ASSOCIATES.
11. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD ST., ROCHESTER, NH 03867, (603) 335-1338.
12. PARKING REQUIREMENTS (SITE PLAN REGULATIONS; SECTION 10 (A):
    OFFICE USE:
    3 SPACES PER 1,000 GROSS FLOOR AREA
    EXISTING: 9,100 SF X 3 SPACES/1,000 SF = 27 SPACES
    PROPOSED: 4,394 SF X 3 SPACES/1,000 SF = 13 SPACES
    TOTAL REQUIRED SPACES = 40 SPACES
    TOTAL PROVIDED SPACES = 92 SPACES
    ACCESSIBLE PARKING (SITE PLAN REGULATIONS SECTION 10(D)(2)):
    THE SPACES ARE PART OF THE TOTAL ABOVE.
    ACCESSIBLE PARKING SPACES = 76 TO 100 = 4 SPACES
    TOTAL PROVIDED SPACES = 4 SPACES
13. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERTINENT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
14. THE APPLICANT SHALL OBTAIN A STORMWATER MANAGEMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT (UNLESS DETERMINED TO BE UNNECESSARY BY THE CITY ENGINEER) AND FOLLOW THE REQUIREMENTS OF THE CITY ORDINANCE CHAPTER 50. THE PERMITTEE SHALL PREPARE A WRITTEN PLAN FOR MANAGING STORMWATER THAT ENTERS THE CONSTRUCTION SITE AND SHALL PRESENT IT TO THE INSPECTION ENGINEER AT THE PRE-CONSTRUCTION MEETING. THE PERMITTEE SHALL FOLLOW BEST MANAGEMENT PRACTICES TO PREVENT EROSION IN AREAS WHERE SOIL HAS BEEN DISTURBED.
15. ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
16. SNOW SHALL NOT BE PILED IN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON NH ROUTE 11 AND ALL EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
17. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
18. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
19. THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES, INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE, SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
20. ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
21. NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
22. THIS PROJECT PROPOSED TO DISTURB OVER ONE ACRE OF EXISTING GROUND COVER AND MEETS OTHER SPECIFIC REQUIREMENTS RELATED TO PERMIT CRITERIA FOR EPA NPDES COMPLIANCE. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPMENT AND IMPLEMENTATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SUBMISSION OF A NOTICE OF INTENT (NOI) TO EPA, INSPECTIONS AND MAINTENANCE OF SEDIMENT CONTROL MEASURES, DOCUMENTATION OF MAINTENANCE ACTIVITIES, AND SUBMISSION OF A NOTICE OF TERMINATION (NOT) TO EPA. THE CONTRACTOR IS ALSO RESPONSIBLE TO COMPLY WITH ANY OR ALL OTHER ASPECTS OF THE CURRENT FEDERAL, STATE AND LOCAL STORM WATER OR NPDES REGULATIONS OR REQUIREMENTS.

TAX MAP 208, LOT 9
OWNER OF RECORD:
ROCHESTER/RURAL DISTRICT VISITING NURSE SERVICES AND HOSPICE
178 FARMINGTON ROAD
ROCHESTER, NH 03867
SCRD BOOK 2250, PAGE 320

OVERALL SITE PLAN
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 INCH= 40 FT.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

C-1

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

LAND SURVEYORS

CIVIL ENGINEERS

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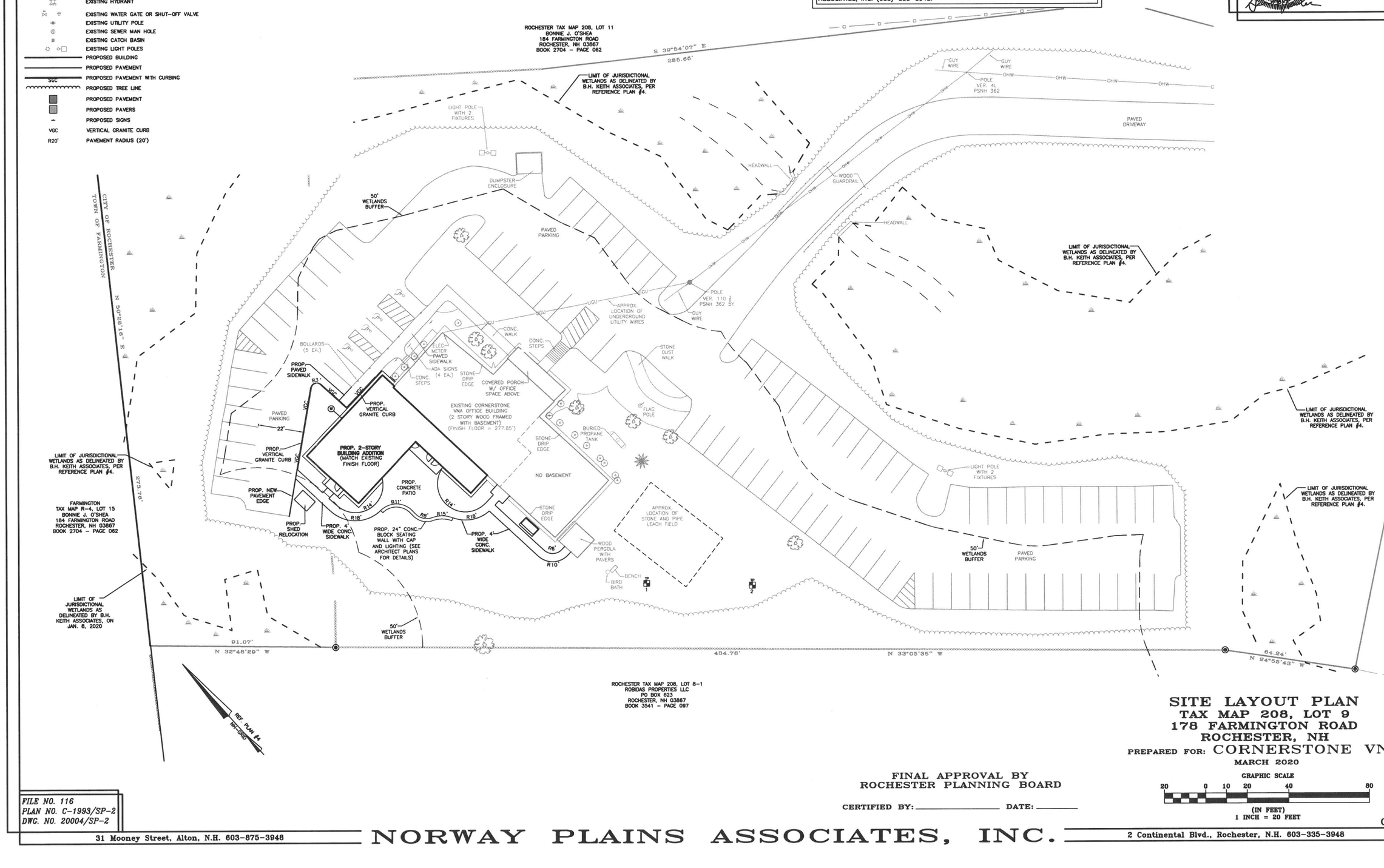
STATE OF NEW HAMPSHIRE
SCOTT A. LAWLER No. 10024 LICENSED LAND SURVEYOR

LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- OHW — EXISTING OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT POLES
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- SGC — PROPOSED PAVEMENT WITH CURBING
- PROPOSED TREE LINE
- PROPOSED PAVEMENT
- PROPOSED PAVERS
- PROPOSED SIGNS
- VGC — VERTICAL GRANITE CURB
- R20' — PAVEMENT RADIUS (20')



SITE LAYOUT PLAN
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 INCH = 20 FEET

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

C-2

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

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STATE OF NEW HAMPSHIRE — SCOTT A. LAWLER No. 10026 — LICENSED PROFESSIONAL ENGINEER

LEGEND

- PROPERTY LINE
- JURISDICTIONAL WETLANDS
- EXISTING TREE LINE
- EXISTING DRAIN LINE
- 232 EXISTING CONTOUR LINE
- TP #8 EXISTING TEST PIT
- E234.1' EXISTING SPOT GRADE
- P234.25' PROPOSED SPOT GRADE
- PROPOSED TREE LINE
- PROPOSED DRAIN LINE
- 232 PROPOSED CONTOUR LINE
- S/S PROPOSED SILTATION FENCE

DIG SAFE — 1-888-344-7233 CALL TOLL FREE — UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

ROCHESTER TAX MAP 208, LOT 11
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 – PAGE 062

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

LIGHT POLE WITH 2 FIXTURES

INV. = 270.7 +/-

APPROX. LOCATION OF 4" PVC UNDERDRAIN

DUMPSTER ENCLOSURE

50' WETLANDS BUFFER

HEADWALL

INV. = 261.8'

WOOD GUARDRAIL

48" RCP CULVERT

HEADWALL

INV. = 261.8'

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

CONC. WALK

CONC. STEPS

STONE DUST WALK

8" PVC FOUNDATION DRAIN

INV. = 265.7'

E275.2'

E275.5'

P275.45'

CONC. STEPS

STONE DRIP EDGE

COVERED PORCH W/ OFFICE SPACE ABOVE

PROP. VERTICAL GRANITE CURB

EXISTING CORNERSTONE VNA OFFICE BUILDING (2 STORY WOOD FRAMED WITH BASEMENT) (FINISH FLOOR = 277.85')

FLAG POLE

P276.5'

PROP. 2' WIDE STONE DRIP EDGE

PROP. ROOF GUTTERS

PROP. TEMPORARY SILT SOX

PROP. VERTICAL GRANITE CURB

P277.0'

PROP. 2-STORY BUILDING ADDITION (MATCH EXISTING FINISH FLOOR)

P277.75'

P277.75'

PROP. GUTTER DOWN SPOUT

P277.75'

P277.6'

P277.6'

E277.1'

P276.9'

STONE DRIP EDGE

FOUNDATION DRAINS NO BASEMENT

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

LIGHT POLE WITH 2 FIXTURES

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.

FARMINGTON
TAX MAP R-4, LOT 15
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 – PAGE 062

APPROX. LOCATION OF 4" PVC UNDERDRAIN

E277.0'

P277.4'

PROP. SHED RELOCATION

P277.2'

PROP. 2' WIDE STONE DRIP EDGE

P277.1'

P276.8'

PROP. 6" CPP DRAIN

P276.4'

P276.5'

WOOD PERGOLA WITH PAVERS

BENCH

BIRD BATH

APPROX. LOCATION OF STONE AND PIPE LEACH FIELD

PROP. 6" INV.=275.0'

P275.25'

PROP. TEMPORARY SILT SOX

50' WETLANDS BUFFER

PROP. GRASS LINED BIORETENTION BASIN

50' WETLANDS BUFFER

LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 8, 2020

ROCHESTER TAX MAP 208, LOT 8-1
ROBIDAS PROPERTIES LLC
PO BOX 623
ROCHESTER, NH 03867
BOOK 3541 – PAGE 097

REF. PLAN #4

GRADING, DRAINAGE, EROSION AND SEDIMENTATION CONTROL PLAN
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 INCH = 20 FEET

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

C-3

LAND SURVEYORS — **CIVIL ENGINEERS**

LEGEND

Symbol	Description
———	PROPERTY LINE
— — —	JURISDICTIONAL WETLANDS
—OHW—	EXISTING OVERHEAD WIRES
—W—	EXISTING WATER MAIN
- - - -	EXISTING GRAVITY SEWER MAIN
—UGE—	EXISTING UNDERGROUND ELECTRIC WIRES
—UGU—	EXISTING UNDERGROUND UTILITY WIRES
—G—	EXISTING GAS PIPE
= = = =	EXISTING DRAIN LINE
☼ o□	EXISTING LIGHT POLES
■ ■ ■ ■	PROPOSED DRAIN LINE
—PW—	PROPOSED WATER SERVICE
—PS—	PROPOSED SEWER LINE
—PG—	PROPOSED PROPANE GAS LINE
—UGU—	PROPOSED UNDERGROUND UTILITY WIRES
—UGE—	PROPOSED UNDERGROUND ELECTRIC WIRES
(W)	PROPOSED WELL
☼ o□	PROPOSED LIGHT POLES
◄	PROPOSED BUILDING LIGHT FIXTURES

NOTES:

1) CONSTRUCTION WILL CONFORM TO THE FOLLOWING UTILITIES STANDARDS AND SPECIFICATION:
   A) SANITARY SEWER DISPOSAL – NHDES
   B) ELECTRIC DISTRIBUTION – EVERSOURCE
   C) TELEPHONE – FAIRPOINT
   D) CABLE – METROCAST
   E) WATER – CITY OF ROCHESTER, STANDARDS
2) ALL PROPOSED ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.

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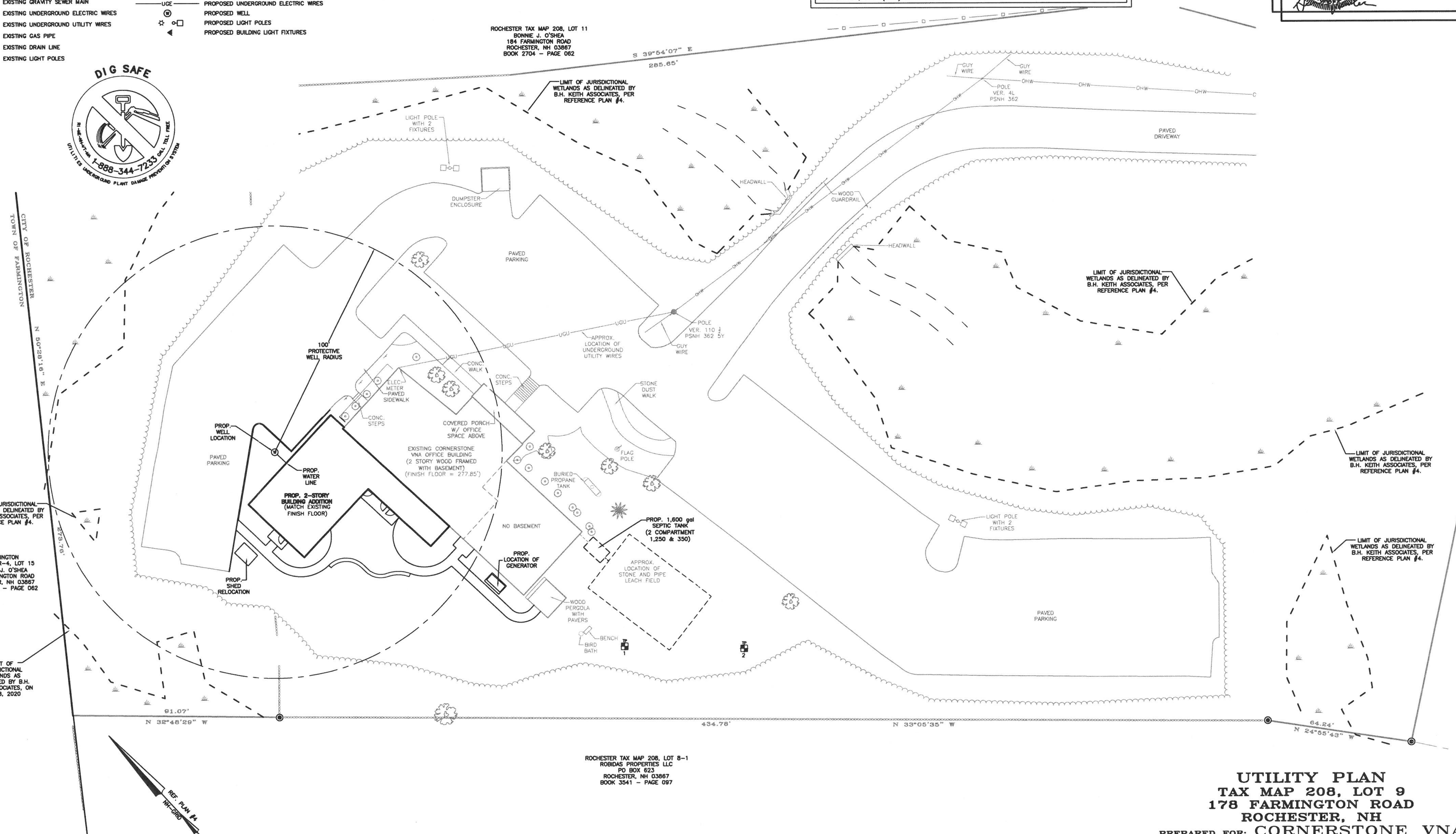
STATE OF NEW HAMPSHIRE SCOTT A. LAWLER No. 10026 LICENSED PROFESSIONAL ENGINEER

DIG SAFE 1-888-344-7233 UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM



ROCHESTER TAX MAP 208, LOT 11
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 – PAGE 062
S 39°54'07" E
285.65'
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, PER REFERENCE PLAN #4.
LIGHT POLE WITH 2 FIXTURES
DUMPSTER ENCLOSURE
PAVED PARKING
HEADWALL
WOOD GUARDRAIL
GUY WIRE
POLE VER. 4L PSNH 362
PAVED DRIVEWAY
POLE VER. 110 ½ PSNH 362 5Y
APPROX. LOCATION OF UNDERGROUND UTILITY WIRES
CITY OF ROCHESTER
TOWN OF FARMINGTON
N 50°28'18" E
100' PROTECTIVE WELL RADIUS
ELEC. METER
PAVED SIDEWALK
CONC. WALK
CONC. STEPS
STONE DUST WALK
COVERED PORCH W/ OFFICE SPACE ABOVE
EXISTING CORNERSTONE VNA OFFICE BUILDING (2 STORY WOOD FRAMED WITH BASEMENT) (FINISH FLOOR = 277.85')
PROP. WELL LOCATION
PROP. WATER LINE
PROP. 2-STORY BUILDING ADDITION (MATCH EXISTING FINISH FLOOR)
FLAG POLE
BURIED PROPANE TANK
NO BASEMENT
PROP. 1,600 gal SEPTIC TANK (2 COMPARTMENT 1,250 & 350)
APPROX. LOCATION OF STONE AND PIPE LEACH FIELD
PROP. LOCATION OF GENERATOR
PROP. SHED RELOCATION
WOOD PERGOLA WITH PAVERS
BENCH
BIRD BATH
273.76'
FARMINGTON TAX MAP R-4, LOT 15
BONNIE J. O'SHEA
184 FARMINGTON ROAD
ROCHESTER, NH 03867
BOOK 2704 – PAGE 062
LIMIT OF JURISDICTIONAL WETLANDS AS DELINEATED BY B.H. KEITH ASSOCIATES, ON JAN. 8, 2020
91.07'
N 32°48'29" W
434.78'
N 33°05'35" W
64.24'
N 24°55'43" W
ROCHESTER TAX MAP 208, LOT 8-1
ROBIDAS PROPERTIES LLC
PO BOX 623
ROCHESTER, NH 03867
BOOK 3541 – PAGE 097
REF. PLAN #4
NH GRID

UTILITY PLAN

TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH

PREPARED FOR: CORNERSTONE VNA

MARCH 2020

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 INCH = 20 FEET

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

C-4

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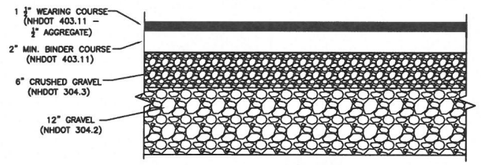
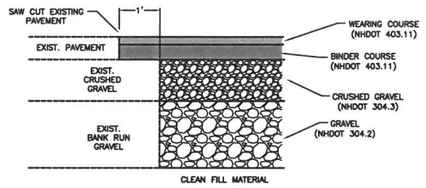
STATE OF NEW HAMPSHIRE — SCOTT A. LAWLER No. 10026 LICENSED PROFESSIONAL ENGINEER



PARKING LOT CROSS-SECTIONS

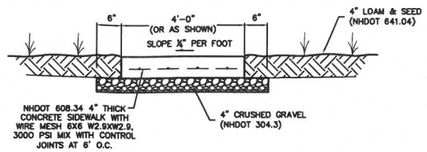
NOT TO SCALE



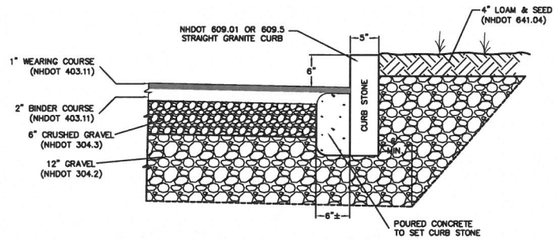
TYPICAL PAVEMENT MATCHING DETAIL

NOT TO SCALE

PAVEMENT NOTES:
1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

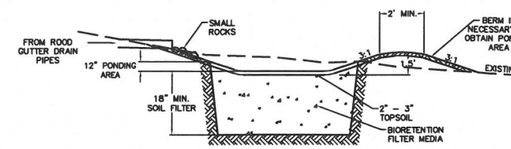


CONCRETE SIDEWALK DETAIL



GRANITE CURB DETAIL

NOT TO SCALE



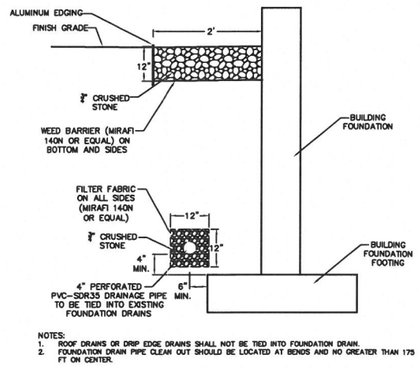
CROSS SECTION

BIORETENTION BASIN DETAIL

NOT TO SCALE

GRASSED BIORETENTION BASIN CONSTRUCTION AND MAINTENANCE NOTES:
1. SYSTEMS SHALL BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENTS EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION AS WARRANTED BY SUCH INSPECTION.
2. TRASH AND DEBRIS SHALL BE REMOVED AT EACH INSPECTION.
3. AT LEAST ANNUALLY, SYSTEM SHALL BE INSPECTED FOR DRAWDOWN TIME. IF THE RAIN GARDEN DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHALL ASSESS THE CONDITIONS OF THE GARDEN TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.

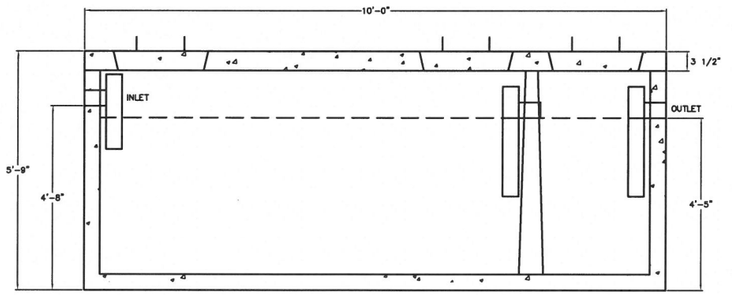
BIORETENTION FILTER MEDIA			
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL: SIEVE NO.	GRADATION OF MATERIAL: PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDY BARK OR WOOD FIBERS MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDY BARK OR WOOD FIBERS MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COURSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



NOTES:
1. ROOF DRAINS OR DRIP EDGE DRAINS SHALL NOT BE TIED INTO FOUNDATION DRAIN.
2. FOUNDATION DRAIN PIPE CLEAN OUT SHOULD BE LOCATED AT BENDS AND NO GREATER THAN 175 FT ON CENTER.

DRIP EDGE AND FOUNDATION DRAIN DETAIL

NOT TO SCALE



NOTES:
1. CONCRETE: 5,000 PSI MIN. AFTER 28 DAYS
2. ALL REINFOREMENT PER ASTM C1227-93
3. TEES AND GAS BAFFLE SOLD SEPARATELY
4. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
5. 4" POLYLOK IV CLOSED END BOOTS USED FOR CONNECTIONS.
6. PLASTIC RISERS CAN BE POURED INTO COVER

2-COMPARTMENT SEPTIC TANK

NOT TO SCALE

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

CONSTRUCTION DETAILS
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR: CORNERSTONE VNA
MARCH 2020

31 Mooney Street, Alton, N.H. 603-875-3948
NORWAY PLAINS ASSOCIATES, INC.
2 Continental Blvd., Rochester, N.H. 603-335-3948

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STATE OF NEW HAMPSHIRE — SCOTT A. LAWLER No. 10026 LICENSED PROFESSIONAL ENGINEER

TEMPORARY VEGETATION:

SPECIFICATIONS:

SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHALL BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR O THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

1. STONES AND TRASH SHALL BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
2. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
3. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
4. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

   LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*
   *EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

   FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)*
   *LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT

SEEDING:

1. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
2. TEMPORARY SEED SHALL TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
3. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL 3.
4. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.

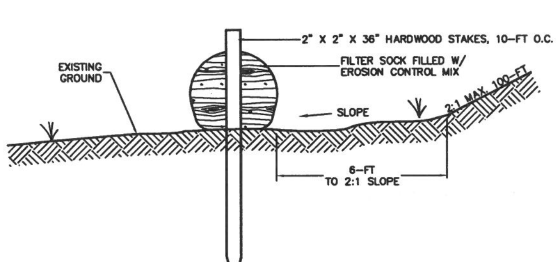
MAINTENANCE REQUIREMENTS:

1. TEMPORARY SEEDING SHALL BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHALL BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
2. BASED ON INSPECTION, AREAS SHALL BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED.
3. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEEDED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

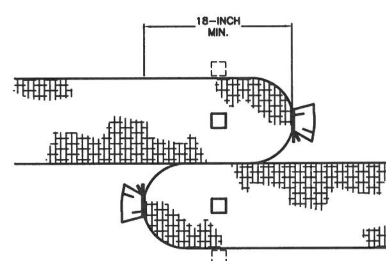
TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYE GRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYE GRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

SOURCES:
1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)



FILTER SOCK CROSS-SECTION



FILTER SOCK CONNECTION PLAN VIEW

CONTINUOUS CONTAINED BERM (FILTER SOCK ALTERNATIVE):

1. AN ALTERNATIVE PRODUCT, THE CONTINUOUS CONTAINED BERM (OR "FILTER SOCK") CAN BE AN EFFECTIVE SEDIMENT BARRIER AS IT ADDS CONTAINMENT AND STABILITY TO A BERM OF EROSION CONTROL MIX.
2. IN THE EVENT THAT USE OF CONTINUOUS CONTAINED BERM IS DESIRED, THE PRODUCT SELECTED SHOULD BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER.
3. INSTALLATION OF CONTINUOUS CONTAINED BERMS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER.

MAINTENANCE REQUIREMENTS:

1. FILTER SOCK MAINTENANCE SHALL FOLLOW THE SAME SCHEDULE AS EROSION CONTROL MIX BERMS.

CONSTRUCTION SPECIFICATIONS:

1. COMPOSITION OF THE EROSION CONTROL MIX SHALL EITHER BE THE SAME AS EROSION CONTROL MIX BERM MATERIAL OR AS SPECIFIED BY THE FILTER SOCK MANUFACTURER.
2. THE BARRIER MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR.
3. IT MAY BE NECESSARY TO CUT TALL GRASSES AND WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES IN THE BARRIER THAT WOULD ENABLE FINES TO WASH UNDER THE BARRIER THROUGH THE GRASS BLADES OR PLANT STEMS.
4. FILTER SOCK DIAMETER (HEIGHT) SHALL BE PER THE MANUFACTURER RECOMMENDATION FOR THE AREA OF INSTALLATION.

CONTINUOUS CONTAINED BERM "FILTER SOCK" DETAIL

NOT TO SCALE

PERMANENT VEGETATION:

SPECIFICATIONS:

SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHALL BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHALL INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION:

1. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHALL BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY AND SILT SOILS SHALL BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
2. REMOVE FROM THE SURFACE ALL STONES 2INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE CLODS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED; THE AREA MUST BE TILLED AND FIRMED AS ABOVE.
4. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
5. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHALL BE APPLIED DURING THE GROWING SEASON.
6. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE RESTRICTED TO LIME, WOOD ASH OR LOW PHOSPHATE AND SLOW RELEASE NITROGEN VARIETIES, UNLESS A SOIL TEST WARRANTS OTHERWISE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

   LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*
   *EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

   FERTILIZER APPLICATION RATE = 870 LB./ACRE (20 LB./1,000-SF)*
   *LOW PHOSPHATE FERTILIZER (6-0-4) OR EQUIVALENT

SEEDING:

1. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT.
2. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE.
3. WHERE FEASIBLE EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
4. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHALL BE COMPLETED 45 DAYS PRIOR TO FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDED IN LATE SUMMER AT LEAST 35% OF THE SEED SHALL BE HARD SEED (UNSCARIFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL 3. AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
5. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHALL BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL 3.
6. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHALL BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVER WINTER PROTECTION.

HYDROSEEDING:

1. WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND RAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.
2. SLOPES BUST BE NO STEEPER THAN 2:1 (2 FEET HORIZONTALLY BY 1 FOOT VERTICALLY.
3. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF FIBER MULCH ON CRITICAL AREAS IS NOT RECOMMENDED (UNLESS IT IS USED TO HOLD STRAW OR HAY). BETTER PROTECTION IS GAINED BY USING STRAW MULCH AND HOLDING IT WITH ADHESIVE MATERIALS OR 500 POUNDS PER ACRE OF WOOD FIBER MULCH.
4. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

MAINTENANCE REQUIREMENTS:

1. PERMANENT SEEDED AREAS SHALL BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION. INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHALL CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
2. SEEDED AREAS SHALL BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION. MOWING HEIGHT AND FREQUENCY DEPEND OF TYPE OF GRASS COVER.
3. BASED ON INSPECTION, AREAS SHALL BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
4. AT A MINIMUM 85% OF THE SOIL SURFACE SHALL BE COVERED BY VEGETATION.
5. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND AREAS SHALL BE RESEEDED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

USE	MIXTURE	SPECIES	LBS./ACRE	LBS./1,000-SF
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	TALL FESCUE CREEPING RED FESCUE REDTOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	TALL FESCUE CREEPING RED FESCUE REDTOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY RECREATION SITES	A	TALL FESCUE CREEPING RED FESCUE REDTOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL ESSENTIAL FOR GOOD TURF)	F	CREEPING RED FESCUE KENTUCKY BLUEGRASS TOTAL	50 50 100	1.15 1.15 2.30

SOURCES:
1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

GENERAL CONSTRUCTION PHASING:

1. STABILIZATION:
   A SITE IS DEEMED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10-YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO:
   A) IN AREAS THAT WILL NOT BE PAVED:
      a) A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
      b) A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR A CERTIFIED COMPOST BLANKET HAS BEEN INSTALLED, OR;
      c) EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
   B)
      a) BASE COURSE GRAVELS HAVE BEEN INSTALLED.
2. TEMPORARY STABILIZATION:
   ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS FROM THE TIME OF INITIAL DISTURBANCE, UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PART OF THE ISSUED PERMIT OR AN INDEPENDENT MONITOR.
3. PERMANENT STABILIZATION:
   ALL AREAS OF EXPOSED OR DISTURBED SOIL SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 3 DAYS FOLLOWING FINAL GRADING.
4. MAXIMUM AREA OF DISTURBANCE: THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREA ARE STABILIZED.
5. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.
   A) FLAG OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED.
   B) EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL VEGETATION.
6. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN DEPICTED ON SHEET C-3.
7. ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DEPICTED ON SHEET C-3.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND BE PROTECTED FROM EROSION.
9. STOCKPILES, BORROW AREAS AND SPOILS SHALL BE STABILIZED AS DESCRIBED UNDER "SOIL STOCKPILE PRACTICES".
10. SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED DAMAGE.
11. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND/OR OTHER OBJECTIONABLE MATERIALS.
12. AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3-INCHES PRIOR TO PLACEMENT OF TOPSOIL. TOPSOIL SHALL BE PLACED WITHOUT SIGNIFICANT COMPACTION TO PROVIDE A LOOSE BEDDING FOR PLACEMENT OF SEED.
13. ALL FILLS SHALL BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, SITE UTILITIES, CONDUITS AND OTHER FACILITIES, SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
14. IN GENERAL, FILLS SHALL BE COMPACTED IN LAYERS RANGING FROM 6 TO 24 INCHES IN THICKNESS. THE CONTRACTOR SHALL REVIEW THE PROJECT GEOTECHNICAL REPORT AND/OR THE "PROJECT SPECIFIC PHASING NOTES" FOR SPECIFIC GUIDANCE.
15. ANY AND ALL FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS (LARGER THAN 3/4 THE DEPTH OF THE LIFT BEING INSTALLED), LOGS, STUMPS, BUILDING DEBRIS, FROZEN MATERIAL AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY LIFTS.
16. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE (I.E. CLAY, SILT) MATERIALS ARE SUSCEPTIBLE TO ACCELERATED SETTLEMENT AND POTENTIAL ACCELERATED EROSION. WORK IN AREAS OF THESE MATERIALS SHALL BE PERFORMED UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER.
17. THE OUTER FACE OF THE FILL SLOPE SHALL BE ALLOWED TO STAY LOOSE, NOT ROLLED OR COMPACTED, OR BLADE SMOOTHED. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TREADS (CLEAT TRACKS) CREATE GROOVES PERPENDICULAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR. SEE "SURFACE ROUGHENING" IN THE NHSMM, VOL.3.
18. ROUGHEN THE SURFACE OF ALL SLOPES DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION AND FACILITATE VEGETATION ESTABLISHMENT.
19. USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE TO REDUCE THE LENGTH OF CUT-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GULLY EROSION. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION.
20. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE EVALUATED BY A PROFESSIONAL ENGINEER (PREFERABLY THE DESIGN ENGINEER) TO DETERMINE IF THE PROPOSED DESIGN SHALL BE REVISED TO PROPERLY MANAGE THE CONDITION.
21. STABILIZE ALL GRADED AREAS (AS ABOVE) WITH VEGETATION, CRUSHED STONE, COMPOST BLANKET, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETE OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH OR OTHER APPROVED METHODS TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
22. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
23. THE PROJECT SHALL BE CONSTRUCTED TO MEET ALL REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

ABOVE NOTES EXCERPTED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" (NHSMM, VOL. 3)

CONSTRUCTION PHASING:

1. REFER TO THE "GENERAL CONSTRUCTION PHASING" NOTES PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING PHASING. THE "GENERAL CONSTRUCTION PHASING" NOTES APPLY TO THE OVERALL CONSTRUCTION AND SHALL BE ADHERED TO.
2. INSTALL ALL TEMPORARY SEDIMENT CONTROL BARRIERS (I.E. SILT SOCK, EROSION CONTROL MIX BERM, STONE CHECK DAMS, ETC.) AROUND THE OUTER PERIMETER OF THE CONSTRUCTION SITE AS DEPICTED ON SHEET C-3 PRIOR TO EARTH MOVING OPERATIONS.
3. INSTALL ORANGE SNOW FENCE AROUND THE PEREMITER OF THE INFILTATION BASINS AND THE FENCE SHALL REMAIN IN PLACE UNTIL CONSTRUCTION OF THE BASINS HAS STARTED.
4. CLEAR, GRUB AND STRIP THE SITE. STUMPS, BRUSH AND OTHER ORGANIC WASTE SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
5. STOCKPILE STRIPPED TOPSOIL AND CUT MATERIAL TO BE REUSED ON SITE IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH THE "SOIL STOCKPILES PRACTICES". MAINTAIN THE STOCKPILES AS DIRECTED IN THE "SOIL STOCKPILE PRACTICES".
6. PERFORM THE NECESSARY CUTS AND FILLS TO CONSTRUCT THE BIORETENTION BASIN AS DEPICTED ON SHEET C-3 AND IN ACCORDANCE WITH THE BIORETENTION BASIN DETAILS SHOWN ON SHEET C-5.
7. ALL DITCHES/SWALES/AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. PERFORM THE NECESSARY CUTS AND FILLS TO SUBGRADE IN THE BUILDING.
   A) INSTALL REQUIRED FILLS IN MAXIMUM 8-INCH LIFTS AND COMPACT EACH LIFT TO 95% MAXIMUM PROCTOR DENSITY.
9. INSTALL ALL UTILITIES AND CLOSED DRAINAGE SYSTEM COMPONENTS (I.E. SEPTIC TANK, ROOF GUTTER DOWNSPOUT PIPE) PER THE CORRESPONDING DETAILS AND AS SHOWN ON SHEET C-3 AND C-4.
10. ALL CUT AND FILL SLOPES AND LAWN AREAS NOT TO BE PAVED SHALL BE LOAMED AND SEEDED FOR PERMANENT VEGETATION AND STABILIZATION AS DESCRIBED UNDER THE "PERMANENT VEGETATION PRACTICES" WITHIN 3 DAYS OF ACHIEVING FINAL GRADE.
11. INSTALL ALL GRAVEL BASE AND CRUSHED GRAVEL MATERIALS FOR THE CONCRETE SIDEWALKS AND PAVERS AS SPECIFIED IN THE CORRESPONDING DETAILS.
12. INSTALL PAVEMENT SURFACES AS SOON AS POSSIBLE AFTER THE INSTALLATION OF THE GRAVEL BASE AND CRUSHED GRAVEL, IN ORDER TO LIMIT THE SOIL EROSION AND POLLUTION OF THE GRAVEL MATERIALS WITH ORGANIC MATERIALS. IN NO CASE SHALL AREAS TO BE PAVED BE LEFT UNPROTECTED THROUGH OUT THE WINTER MONTHS.
13. ALL DISTURBED AREAS SHALL BE STABILIZED AS SOON AS POSSIBLE. IN NO CASE SHALL ANY DISTURBED AREA BE LEFT UN-STABILIZED FOR LONGER THAN 21 DAYS. IF NECESSARY TEMPORARY STABILIZATION MEASURES AS DISCUSSED IN THE "GENERAL CONSTRUCTION PHASING NOTES" AND NHSMM, VOL. 3 SHOULD BE EMPLOYED.

MAINTENANCE AND INSPECTION:

14. DURING CONSTRUCTION ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY 1/2 INCH OF RAINFALL, AND ANNUALLY.
15. EXCESS SEDIMENT SHOULD BE REMOVED FROM TEMPORARY SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES WHEN IT REACHES PRESCRIBED THRESHOLDS DISCUSSED IN THE DETAILS FOR EACH PRACTICE.
16. ALL DAMAGED TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE REPAIRED OR REPLACED IMMEDIATELY UPON NOTICE.
17. SEDIMENT SHALL BE DISPOSED OF PROPERLY EITHER ON SITE OR OFF SITE.

PROJECT COMPLETION AND STABILIZATION:

18. UPON PROJECT COMPLETION, ONCE THE SITE IS DEEMED STABILIZED (VEGETATION IS GERMINATED), THE TEMPORARY SEDIMENT CONTROL BARRIERS AND EROSION CONTROL PRACTICES SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING REMOVAL SHALL BE REPAIRED IN AN APPROPRIATE MANNER.
19. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL ON SITE CATCH BASINS AND THE SEDIMENT FOREBAYS TO THE GRAVEL WETLANDS BASIN.

WINTER STABILIZATION & CONSTRUCTION PRACTICES:

MAINTENANCE REQUIREMENTS:

1. MAINTENANCE MEASURES SHALL BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL CONDUCT INSPECTION OF ALL INSTALLED EROSION CONTROL PRACTICES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUED FUNCTION.
2. FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHALL CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF THE VEGETATION AND REPAIR ANY DAMAGED AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH.)

SPECIFICATIONS:

THE FOLLOWING STABILIZATION TECHNIQUES SHALL BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15 THROUGH MAY 15.

1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHALL BE LIMITED TO 1-ACRE AND SHALL BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NHSMM, VOL. 3 AND ELSEWHERE IN THIS PLAN SET, PRIOR TO ANY THAW OR SPRING MELT EVENT.
2. STABILIZATION AS FOLLOWS SHALL BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS.
   A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (REFER TO NHSMM, VOL. 3 FOR SPECIFICATION).
   B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15 SHALL BE SEEDED AND COVERED WITH A PROPERLY INSTALLED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCHES OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHALL NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
3. ALL STONE COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
4. INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
5. ALL MULCH APPLIED DURING WINTER SHALL BE ANCHORED (I.E. BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
6. WITHIN 24 HOURS OF STOCKPILING SOIL MATERIALS SHALL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4 INCH LAYER OF EROSION CONTROL MIX. MULCH SHALL BE REESTABLISHED PRIOR TO ANY RAIN OR SNOWFALL. NO SOIL STOCKPILE SHALL BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100-FT OF ANY WETLAND OR OTHER WATER RESOURCE AREA.
7. FROZEN MATERIAL (I.E. FROST LAYER REMOVED DURING WINTER CONSTRUCTION) SHALL BE STOCKPILED SEPARATELY AND IN A LOCATION AWAY FROM ANY AREA NEEDING PROTECTION. FROZEN MATERIAL STOCKPILES CAN MELT IN SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO HIGH SOIL MOISTURE CONTENT.
8. INSTALLATION OF EROSION CONTROL BLANKETS SHALL NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN GROUND.
9. ALL GRASS-LINED DITCHES AND CHANNELS SHALL BE CONSTRUCTED BY SEPTEMBER 1. ALL DITCHES AND SWALES WHICH DO NOT EXHIBIT 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AS DETERMINED BY A PROFESSIONAL ENGINEER. IF STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
10. ALL STONE LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
11. AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER SHALL BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF SAND AND GRAVEL WITH A GRADATION THAT IS LESS THAN 12% OF THE SAND PORTION, OR MATERIAL PASSING THE NUMBER 4 SIEVE, BY WEIGHT, PASSES THE NUMBER 200 SIEVE.
12. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHALL CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHALL NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.

DUST CONTROL PRACTICES:

1. APPLY DUST CONTROL MEASURES AS NECESSARY TO MAINTAIN CONTROL OF DUST ON SITE.
2. WATER APPLICATION:
   A) MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
   B) AVOID EXCESSIVE APPLICATION OF WATER THAT WOULD RESULT IN MOBILIZING SEDIMENT AND SUBSEQUENT DEPOSITION IN NATURAL WATERBODIES.
3. STONE APPLICATION:
   A) COVER SURFACE WITH CRUSHED OR COARSE GRAVEL.
   B) IN AREAS NEAR WATERWAYS USE ONLY CHEMICALLY STABILIZED OR WASHED AGGREGATE.
4. REFER TO "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" FOR OTHER ALLOWABLE DUST CONTROL PRACTICES (I.E. COMMERCIAL TACKIFIERS OR CHEMICAL TREATMENTS SUCH AS CALCIUM CHLORIDE, ETC.)

STOCKPILE PRACTICES:

1. LOCATE STOCKPILES A MINIMUM OF 50-FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES OR INLETS.
2. PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
3. STOCKPILES SHALL BE SURROUNDED BY SEDIMENT BARRIERS AS DESCRIBED ON THE PLANS AND IN NHSMM VOL. 3. TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILE.
4. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
5. PLACE BAGGED MATERIALS ON PALLETS OR UNDERCOVER.

PROTECTION OF INACTIVE STOCKPILES:

6. INACTIVE SOIL STOCKPILES SHALL BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY STABILIZATION PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES.
7. INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS, AND SIMILAR MATERIALS SHALL BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHALL ALSO BE COVERED.

PROTECTION OF ACTIVE STOCKPILES:

8. ALL STOCKPILES SHALL BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) PRIOR TO THE ONSET OF PRECIPITATION. PERIMETER BARRIERS SHALL BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIAL FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHALL BE INSPECTED AT THE END OF EACH WORKING DAY.
9. WHEN A STORM IS PREDICTED, STOCKPILES SHALL BE PROTECTED WITH AN ANCHORED PROTECTIVE COVERING.

FILE NO. 116
PLAN NO. C-1993/SP-2
DWG. NO. 20004/SP-2

EROSION AND SEDIMENTATION CONTROL DETAILS
TAX MAP 208, LOT 9
178 FARMINGTON ROAD
ROCHESTER, NH
PREPARED FOR: CORNERSTONE VNA
MARCH 2020

C-5

2 EAST ELEVATION
Scale: 3/16" = 1'-0"

1 WEST ELEVATION
Scale: 3/16" = 1'-0"

GENERAL PLAN NOTES:

1. ALL PRODUCTS/MATERIALS SHOWN ARE GIVEN AS A BASIS OF DESIGN. FINAL PRODUCTS/MATERIALS AND COLORS ARE TO BE SELECTED BY THE OWNER.
2. ALL WINDOWS ARE BASED ON MARVIN INTEGRITY, ALL ULTREX WINDOWS.

ELEVATION KEYNOTES:

1. CLABBOARD SIDING 5" TO WEATHER, BASED ON: CERTAINTEED MONOGRAM HORIZONTAL SIDING, COLOR TO BE SELECTED BY OWNER.
2. VINYL TRIM
3. SHINGLE SIDING 7" TO WEATHER. BASED ON: CERTAINTEED IMPRESSIONS PERFECTION SHINGLE, COLOR TO BE SELECTED BY OWNER.
4. CONCRETE FOUNDATION
5. GRADE LEVEL
6. STANDING SEAM METAL ROOF
7. BRACKET BASED ON: DURABRAC # 0325 KNEE BRACKET - 25-1/4" x 25-1/4" x 4" 45 DEGREE PORCH POST BRACKET BASED ON: DURABRAC # 0515 KNEE BRACE - 14" x 14" x 3.5"
8. RAILING/BALLUSTER BASED ON: CERTAINTEED EVERNEW OXFORD RAILING W/ SQUARE BALLUSTERS. 4 x 4 POST WITH BALL CAP.
9. PORCH POSTS BASED ON: CERTAINTEED EVERNEW SQUARE POST 5 x 5, CONTRACTOR TO CONFIRM LOAD BEARING CAPACITY IS ADEQUATE.
10. MEMBRANE ROOF
11. VERTICAL BOARD & BATTEN SIDING BASED ON: CERTAINTEED SINGLE 8" - COLOR GRANITE GRAY (CONTRACTOR VERIFY W/ OWNER)
12. VERTICAL BOARD & BATTEN SIDING BASED ON: CERTAINTEED SINGLE 8" - COLOR COLONIAL WHITE (CONTRACTOR VERIFY W/ OWNER)
13. VINYL TRIM, SIZE INDICATED ON DRAWINGS
14. PARGE COATED FOUNDATION WALL: PATCH EXISTING PARGING WHERE REQ'D, PAINT PARGING COMPLETE

PROGRESS SET NOT FOR CONSTRUCTION

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PROJECT: CORNERSTONE VNA
178 Farmington Rd, Rochester, NH 03867
DRAWING TITLE: EXTERIOR ELEVATIONS

ISSUED:	PROGRESS SET
JOB NO:	1911
DRAWN BY:	RC
CHECKED BY:	JL
DATE:	3/2/2020

REVISION	DATE

SHEET NUMBER: **A200**

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2 NORTH ELEVATION
Scale: 3/16" = 1'-0"

1 SOUTH ELEVATION
Scale: 3/16" = 1'-0"

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