



RESIDENTIAL SITE PLAN APPLICATION (townhouses, apts. etc.)

City of Rochester, New Hampshire

Date: April 3, 2020 Is a conditional use needed? Yes: No: X Unclear:
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 121/120 ; Lot #'s: 10, 361 ; Zoning district: Downtown Commercial (DC)

Property address/location: 10 and 14 North Main Street

Name of project (if applicable): Scenic Theater / Salinger Mixed Use Development

Size of site: 0.37 acres; overlay zoning district(s)? Special Downtown Overlay District (SDOD)

Property owner

Name (include name of individual): City of Rochester

Mailing address: 31 Wakefield Street, Rochester, NH 03867-1916

Telephone #: 603-335-1388 (Planning & Development) Email: seth.creighton@rochesternh.net (Chief Planner)

Applicant/developer (if different from property owner)

Name (include name of individual): Chinburg Properties, Attn: Matt Assia, Director of Asset Management

Mailing address: 3 Penstock Way

Telephone #: 603-868-5995 x25 Email: massia@chinburg.com

Engineer/designer

Name (include name of individual): Brian D. Jones, PE - Allen & Major Associates, Inc.

Mailing address: 400 Harvey Road, Manchester, NH 03103

Telephone #: 603-627-5500 x9622 Fax #: 603-627-5501

Email address: bjones@allenmajor.com Professional license #: 13809

Proposed use

(You are not bound by information on bedrooms and type of ownership unless that is a condition of approval.)

Total number of proposed dwelling units: 51 ; number of existing dwelling units: 0

Proposed bedrooms/unit: 1 or 2 ; total number of proposed bedrooms: 54

New building(s)? 1 addition(s)/modifications to existing building(s)? Yes

Townhouses/rowhouses: - flats: - duplexes: - freestanding detached units: -

Proposed ownership - leasehold: Yes fee simple conveyance: - condominiums: -

Utility information

City water? yes X no -; How far is City water from the site? Site is currently serviced by water

City sewer? yes X no -; How far is City sewer from the site? Site is currently serviced by sewer

If City water, what are the estimated total daily needs? 11,937 gallons per day

Where will stormwater be discharged? Roof drainage only - to be connected to existing municipal storm drain system

Other information

parking spaces: existing: 0 total proposed: 14; Are there pertinent covenants? No

Describe existing conditions/use (vacant land?): Site is the Scenic Theater and Salinger building. Site is almost entirely covered with the existing buildings.

Check any that are proposed: variance -; special exception -; conditional use -

Wetlands: Is any fill proposed? No; area to be filled: N/A; buffer impact? No

Proposed <i>post-development</i> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	11722	72.1%
Parking and vehicle circulation	1912	11.8%
Planted/landscaped areas (excluding drainage)	2615	16.1%
Natural/undisturbed areas (excluding wetlands)	0	0%
Wetlands	0	0%
Other – drainage structures, outside storage, etc.	0	0%

Comments

Please feel free to add any comments, additional information, or requests for waivers

here: Additional off site parking is available per Development Agreement with the City of Rochester

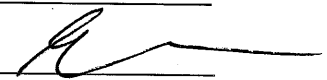
Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: Geoff Spitzer, VP of Design + Dev. 

Date: 4/3/2020

Signature of agent: Brian D. Jones, PE (Allen & Major Associates, Inc.) 

Date: April 3, 2020

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

Date: _____



ALLEN & MAJOR
ASSOCIATES, INC.

April 3, 2020

Seth Creighton, AICP
Chief Planner
City of Rochester Planning &
Development
33 Wakefield Street
Rochester, NH 03867

RE: A&M Project: 2748-01
10 & 14 North Main Street
Scenic Theater / Salinger
Site Plan Review

Dear Mr. Creighton:

On behalf of Chinburg Properties, Allen & Major Associates, Inc. (A&M) is pleased to submit the attached application for Site Plan Review for the redevelopment of the Scenic Theater/Salinger buildings located at 10 and 14 North Main Street. The Applicant (Chinburg Properties) entered into a Development Agreement with the City of Rochester on February 21, 2020 to acquire and improve the properties as a mixed-use development. The Applicant intends to carefully restore the street facades and front portions of both buildings while constructing a new 4-story building with parking below at the rear of the existing buildings to remain.

There are 51 residential units proposed primarily as studio and one-bedroom apartments. Three of the units will be two-bedroom for a total bedroom count of 54. The project will also include approximately 2,300 square feet of commercial leasable space on the ground floor street-side. The buildings will be serviced by municipal water and sewer, natural gas, and underground electric and telephone/data lines. Stormwater management will be limited to roof drain connections to the existing drainage system.

Enclosed with this letter, please find the following documents:

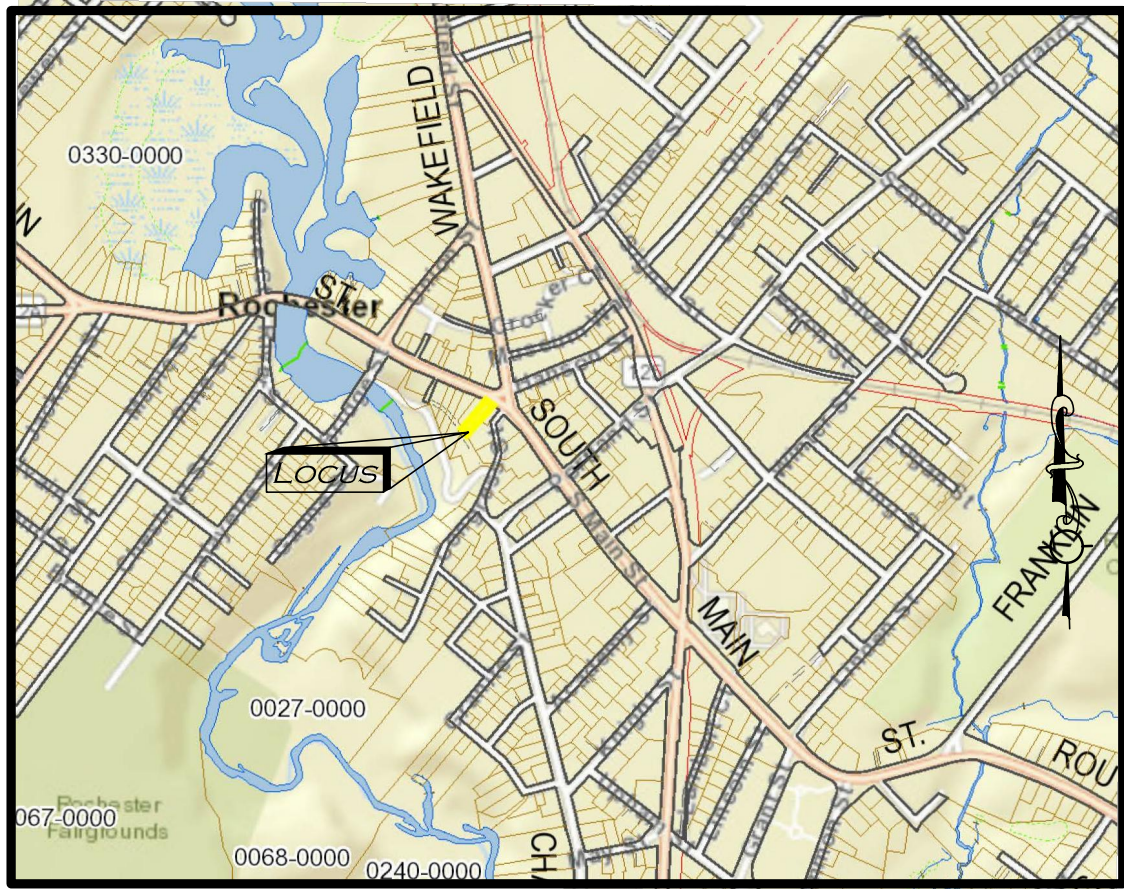
1. Site Plan Review Application.
2. Site Plan Review Plan Set.
3. Drainage Report.
4. Completed Checklist.
5. Abutter's List.

The architectural drawings and building elevations will be submitted under separate cover by the Applicant. We look forward to presenting this project at the next available Planning Board meeting.

Very truly yours,

Brian D. Jones, PE
Senior Project Manager
ALLEN & MAJOR ASSOCIATES, INC.

Cc:
Chinburg Properties



LOCUS MAP
SCALE: 1" = 1000'

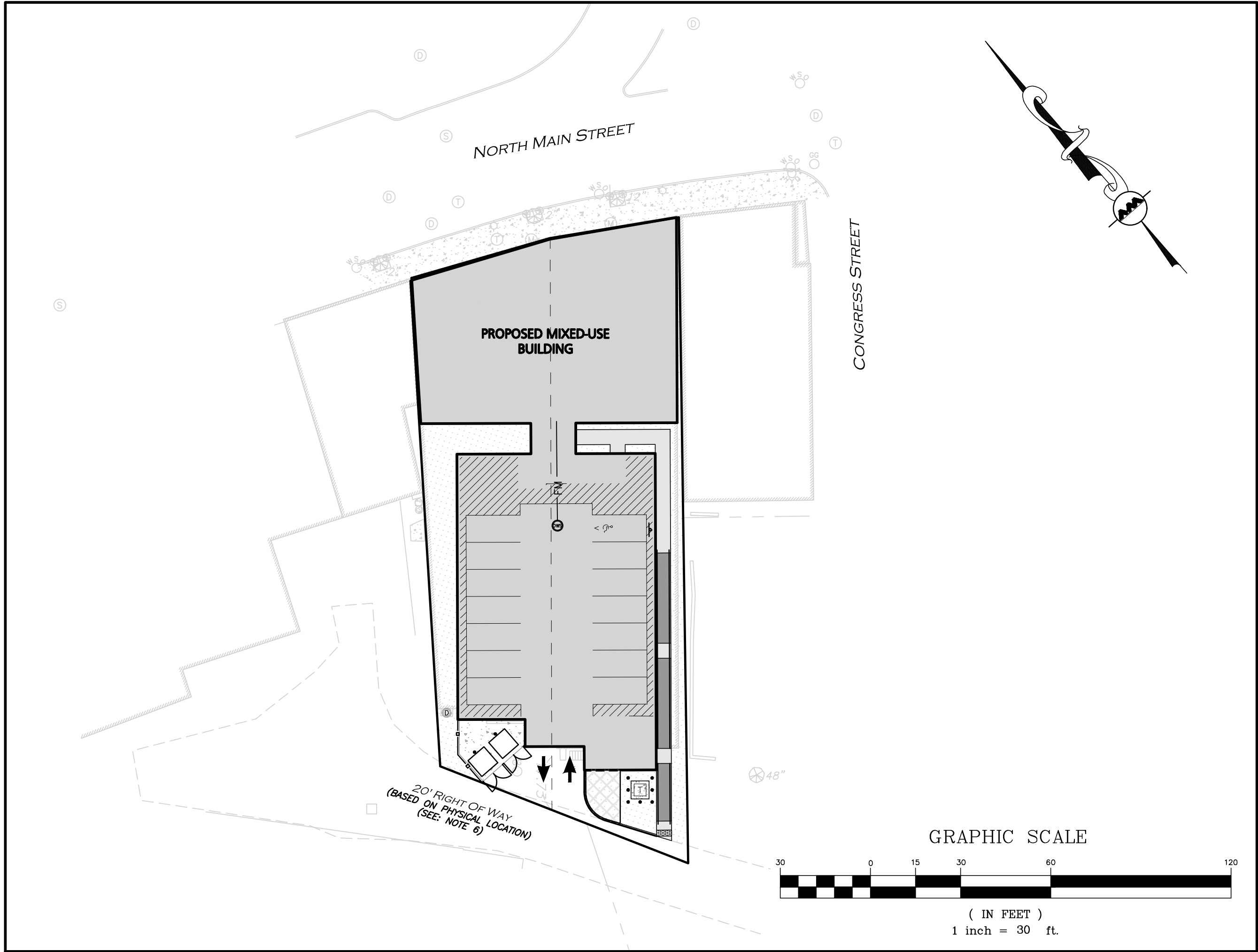
APPLICANT/ARCHITECT:
CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857
(603) 868-5995

CIVIL ENGINEER/ LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
(603) 627-5500

SITE DEVELOPMENT PLAN SET

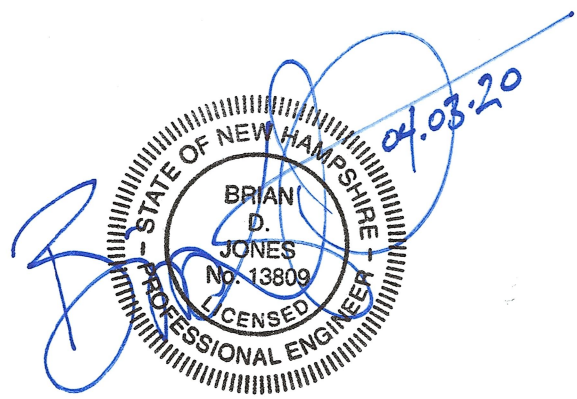
MIXED-USE DEVELOPMENT

10-14 NORTH MAIN STREET ROCHESTER, NH 03867



LIST OF DRAWINGS

DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS	V-101	4/03/2020	-
SITE PREPARATION PLAN	C-101	4/03/2020	-
LAYOUT & MATERIALS PLAN	C-102	4/03/2020	-
GRADING & DRAINAGE PLAN	C-103	4/03/2020	-
UTILITIES PLAN	C-104	4/03/2020	-
DETAILS	C-501	4/03/2020	-
DETAILS	C-502	4/03/2020	-
DETAILS	C-503	4/03/2020	-



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering ♦ land surveying environmental
consulting ♦ landscape architecture
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WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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APPROVED - CITY PLANNING STAFF

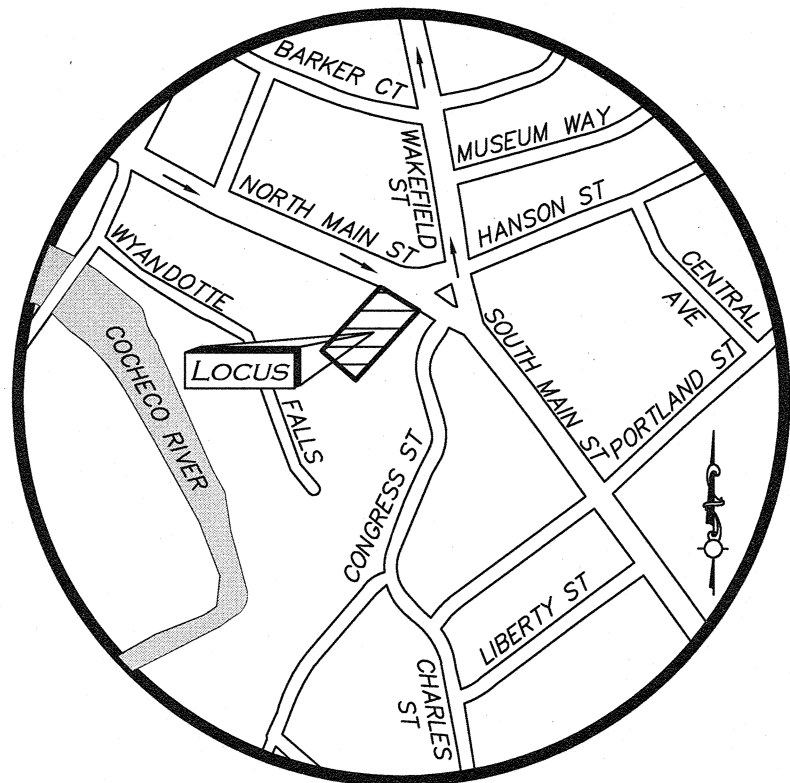
CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

ISSUED FOR PLANNING REVIEW: APRIL 3, 2020

R:\PROJECTS\2748-01\CIVIL\DRAWINGS\CURRENT\C-2748-01_COVER.DWG



LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

-CITY OF ROCHESTER ASSESSORS MAP 120, LOT 361 & MAP 121, LOT 10 -S.C.R.D. BOOK 4579, PAGE 786 AND BOOK 4528, PAGE 898.
-PLAN ENTITLED, "PLAN SHOWING LINES, AS ESTABLISHED BY AGREEMENT, BETWEEN SCENIC THEATRE PROPERTY OWNED BY LOUIS H. MCDUFFEE AND HARRISON HALE PROPERTY OWNED BY LESLIE P. SNOW, ROCHESTER, N.H.", SCALE: 1"=10', DATE: FEBRUARY, 1924, PREPARED BY: ORRIN M. JAMES, C.E. AND ON FILE AT THE NH ARCHIVES IN THE ORRIN M. JAMES COLLECTION AND IS ALSO KNOWN AS PLAN #1102, BOOK #83, PAGE 68.

PLAN REFERENCES

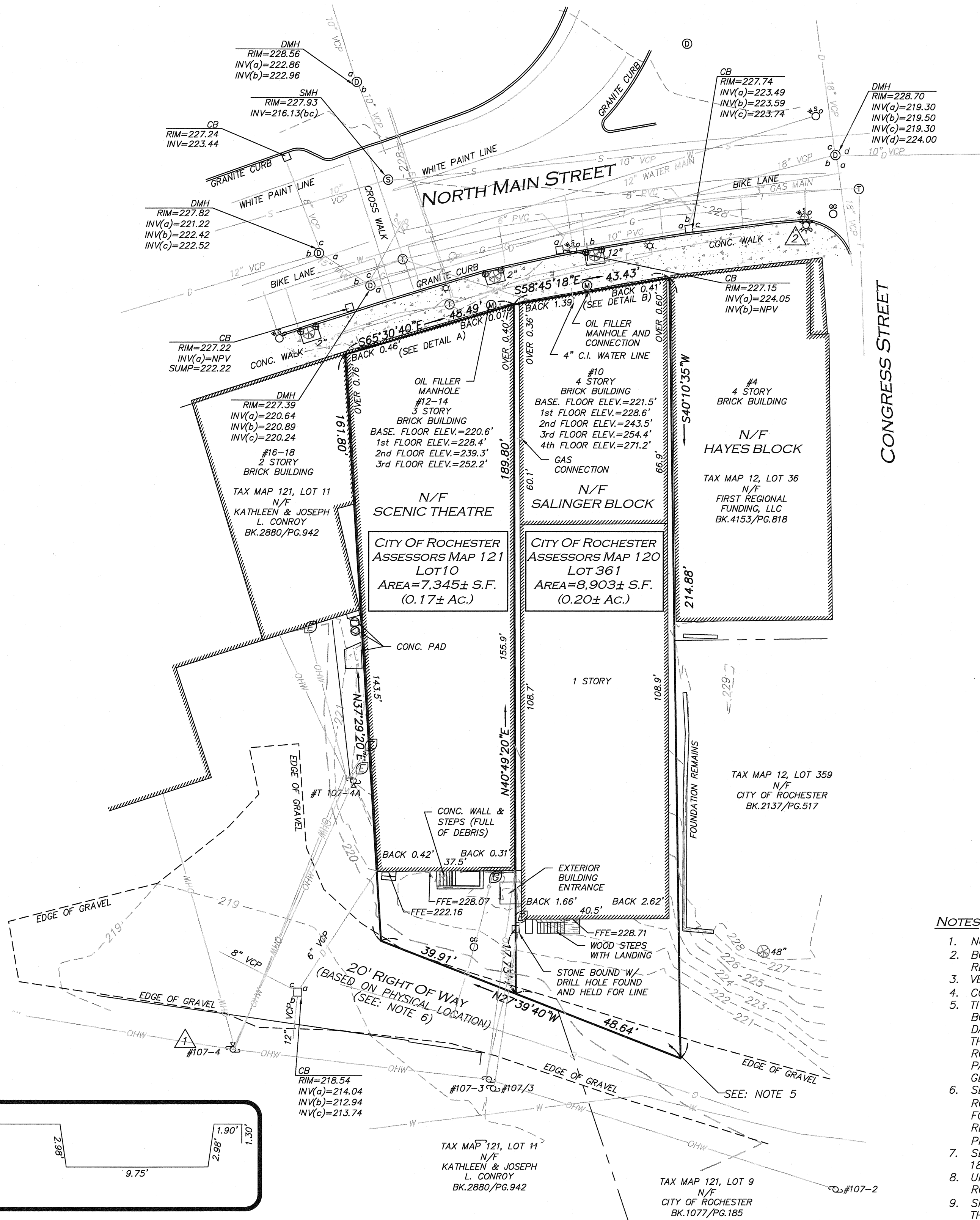
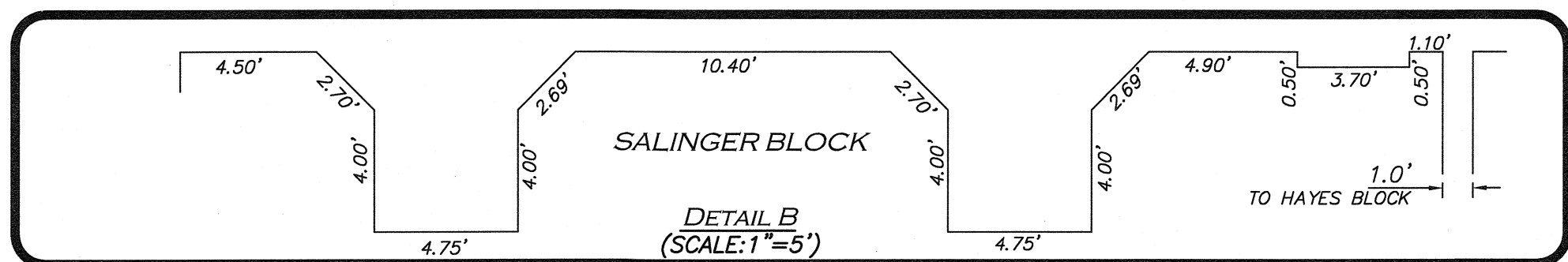
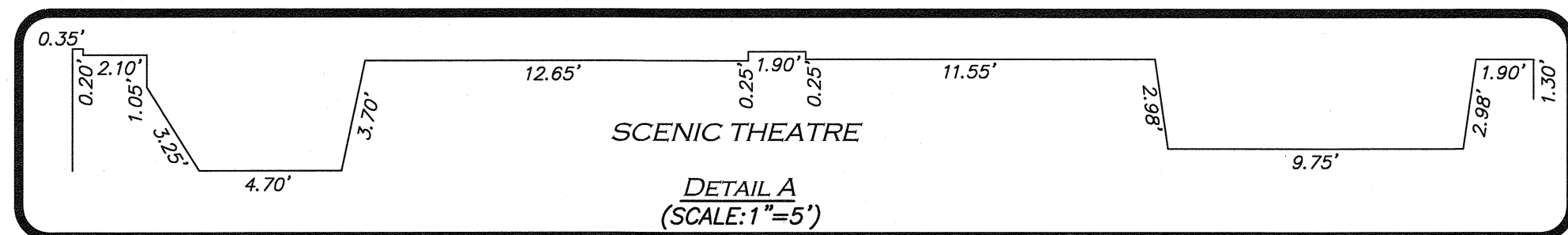
-PLAN ENTITLED, "PROPOSED SUBDIVISION OF LAND OF SNOW PROPERTIES RICHARD SNOW, AGENT NORTH MAIN STREET ROCHESTER, N.H.", SCALE: 1"=20', DATE: JUNE 14, 1978, PREPARED BY: BY BERRY CONSTRUCTION, CO. RECORDED AS S.C.R.D. PLAN # 19-29.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
1	CHISEL SQUARE ON CONC. TRANSFORMER PAD	219.43
2	X-CUT ON HYDRANT FLANGE BOLT	230.94



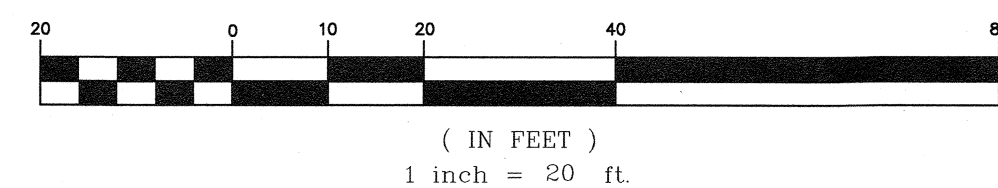
NOTES

- NORTH ARROW IS BASED ON NEW HAMPSHIRE GRID COORDINATE SYSTEM (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM STRAFFORD COUNTY REGISTRY OF DEEDS IN DOVER, NH
- VERTICAL DATUM IS NAVD 88.
- CONTOUR INTERVAL IS ONE FOOT (1').
- TITLE TO THIS PORTION OF 10 NORTH MAIN STREET WAS LAST REFERENCED IN BOOK 572, PAGE 490 JOSEPH MICHAEL TO JOSEPH MICHAEL REALTY CORP., DEED DATED JULY 22, 1949. THIS REAR PORTION OF WHAT WAS KNOWN AS PART OF THE SALINGER BLOCK WAS NEVER CARRIED FORWARD BY DEED INTO THE CITY OF ROCHESTER. THE CITY STILL MAY HAVE ACQUIRED IT UNDER S.C.R.D. TAX BOOK 4, PAGE 85 OR TAX BOOK 5, PAGE 29. THE DESCRIPTION IN THESE BOOKS ARE GENERAL IN NATURE AND DO NOT SPECIFICALLY DESCRIBE THE TRACT.
- SEE: S.C.R.D. BOOK 485, PAGE 495, NORMA C. SNOW & CONRAD E. SNOW TO ROCHESTER THEATRE CO., "CONVEYING PART OF THE HARRISON HALE LAND FORMERLY OWNED BY LESLIE P. SNOW AND ALSO WITH A RIGHT TO PASS AND REPASS ON FOOT OR VEHICLES FROM SAID TRACT HEREBY CONVEYED OVER PRIVATE WAY TO CONGRESS STREET," DEED DATED: DECEMBER 02, 1938.
- SEE: S.C.R.D. BOOK 409, PAGE 472, BOUNDARY LINE AGREEMENT DATED MARCH 18, 1924.
- UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM THE CITY OF ROCHESTER GIS DATABASE AND SHOULD BE CONSIDERED APPROXIMATE.
- SITE IS LOCATED WITHIN FEMA FLOODZONE "X", AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FEMA FIRM STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 211 OF 405, MAP NUMBER 33017C0211D, EFFECTIVE DATE MAY 17, 2005.

LEGEND

STONE BOUND (SB)	□
DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
MISC. MANHOLE (MH)	⊙
TELEPHONE MANHOLE (TMH)	⊙
CATCH BASIN (CB)	□
UTILITY POLE	⊙
UTILITY POLE W/LIGHT	⊙
GUY WIRE	—
FIRE HYDRANT	⊙
WATER GATE	⊙
GAS GATE	⊙
BOLLARD	⊙
TREE	⊙
GAS METER	⊙
ELECTRIC METER	⊙
SIGN	⊙
HANDICAPPED PARKING SPACE	⊙
LIGHT	⊙
CONCRETE	⊙
BUILDING	⊙
EASEMENT LINE	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
PROPERTY LINE	⊙
EDGE OF PAVEMENT	⊙
EDGE OF GRAVEL	⊙
CURB	⊙
WATER LINE	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
OVERHEAD WIRES	⊙
BUILDING HEIGHT	BH
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
BOTTOM CENTER	(BC)
REINFORCED CONCRETE PIPE	RCP
FINISHED FLOOR ELEVATION	FFE
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

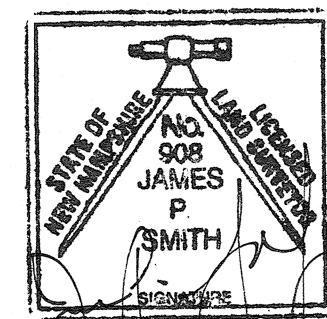
GRAPHIC SCALE



R:\PROJECTS\2748-01\SURVEY\DRAWINGS\CURRENT\S-2748-01-EC.DWG

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN SEPTEMBER 11, 2018 AND MARCH 6, 2020 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.



JAMES P. SMITH-NH LLS #908

4/03/2020 DATE

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

#10-14
NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2547-01	DATE:	3/13/20
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SCALE:	1" = 20'	DWG. NAME:	S-2547-01-EC
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DRAFTED BY:	AJR	CHECKED BY:	JPS
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PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

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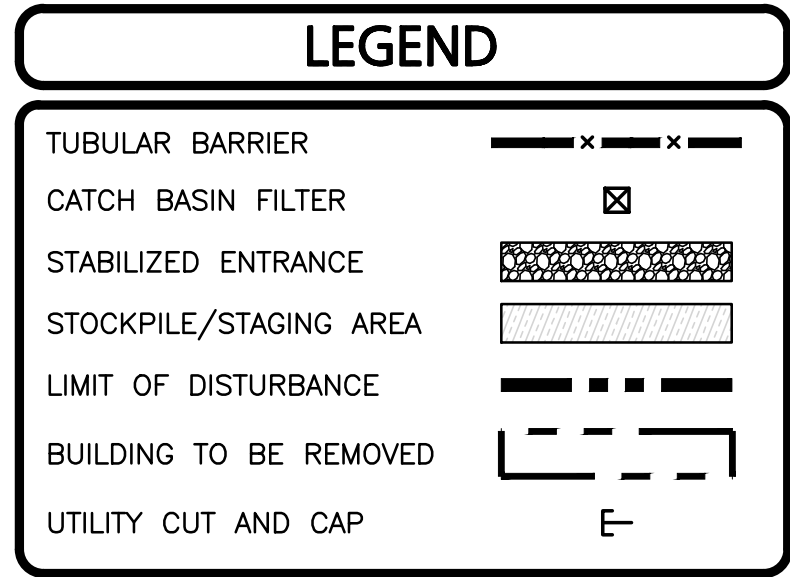
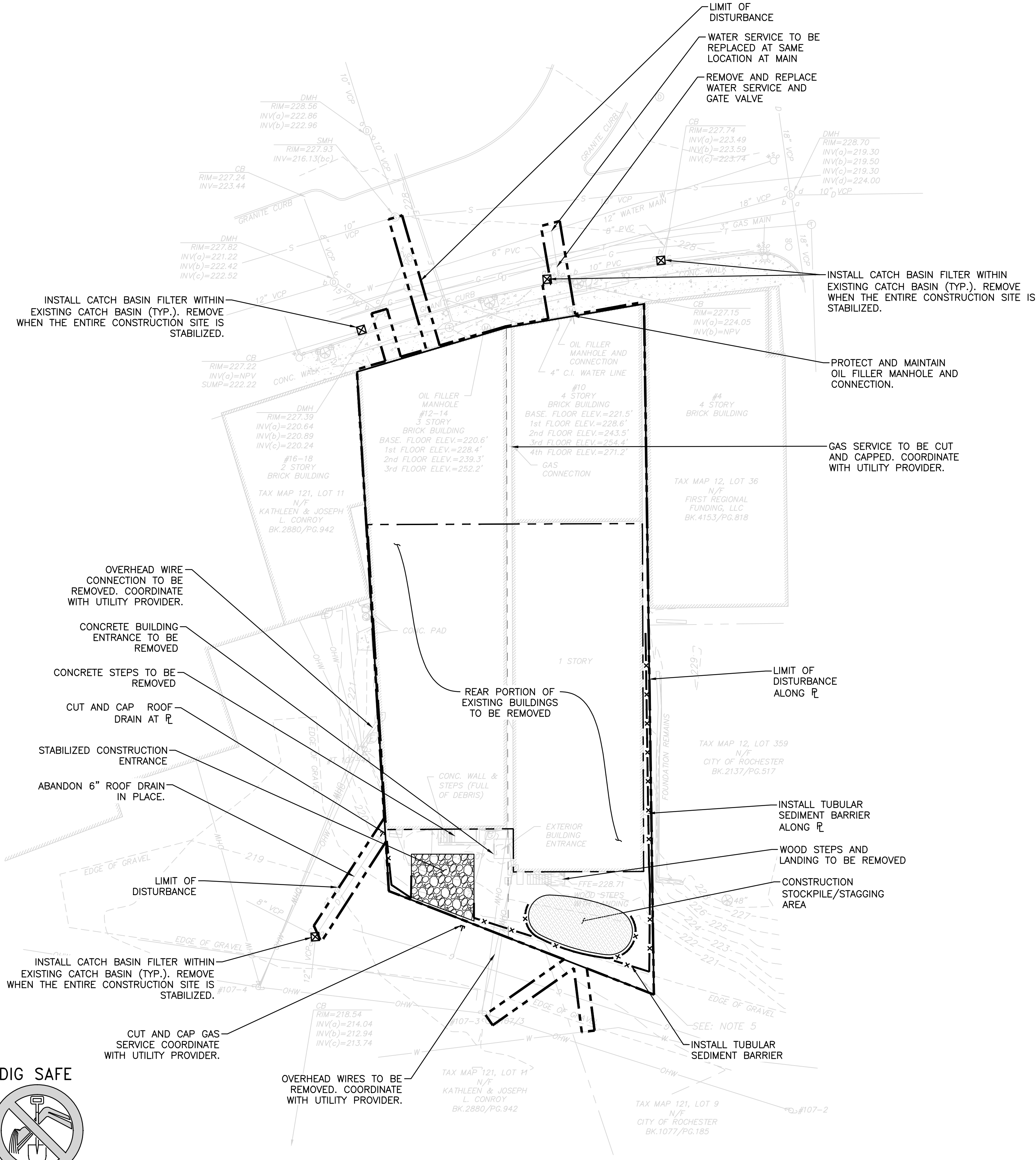
DRAWING TITLE:	SHEET No.
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EXISTING CONDITIONS

V-101

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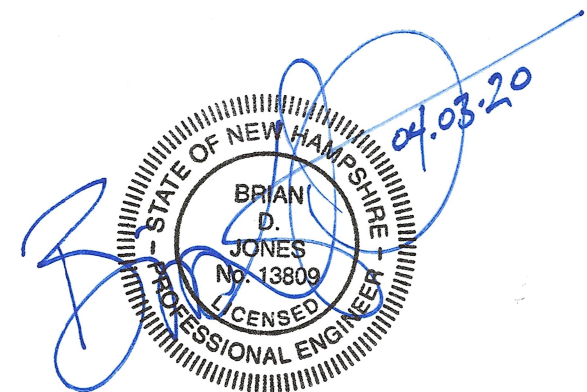
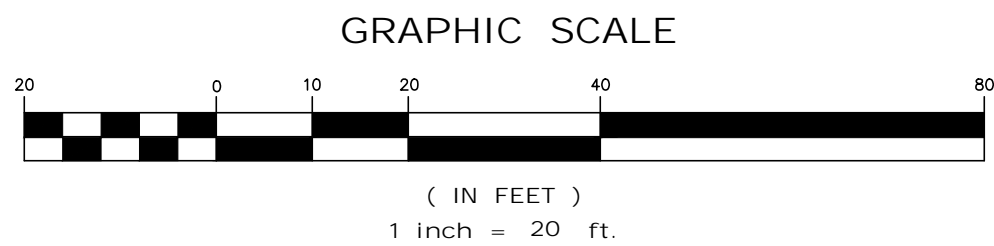


SITE PREPARATION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. EXISTING WATER AND SEWER CONNECTIONS SHALL BE CUT AND CAPPED IN ACCORDANCE WITH CITY REQUIREMENTS.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. ALL CATCH BASINS AND AREA DRAINS SHALL HAVE A FILTER INSTALLED IMMEDIATELY, AND THE FILTER SHALL BE REMOVED WHEN THE ENTIRE SITE IS STABILIZED.

APPROVED - CITY PLANNING STAFF

CHAIRMAN	DATE
SECRETARY	DATE
DATE OF APPROVAL	



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-14 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: 1" = 20' DWG. NAME: C2748-01

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
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environmental consulting • landscape architecture
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DRAWING TITLE:

SITE PREPARATION PLAN

SHEET No.

C-101

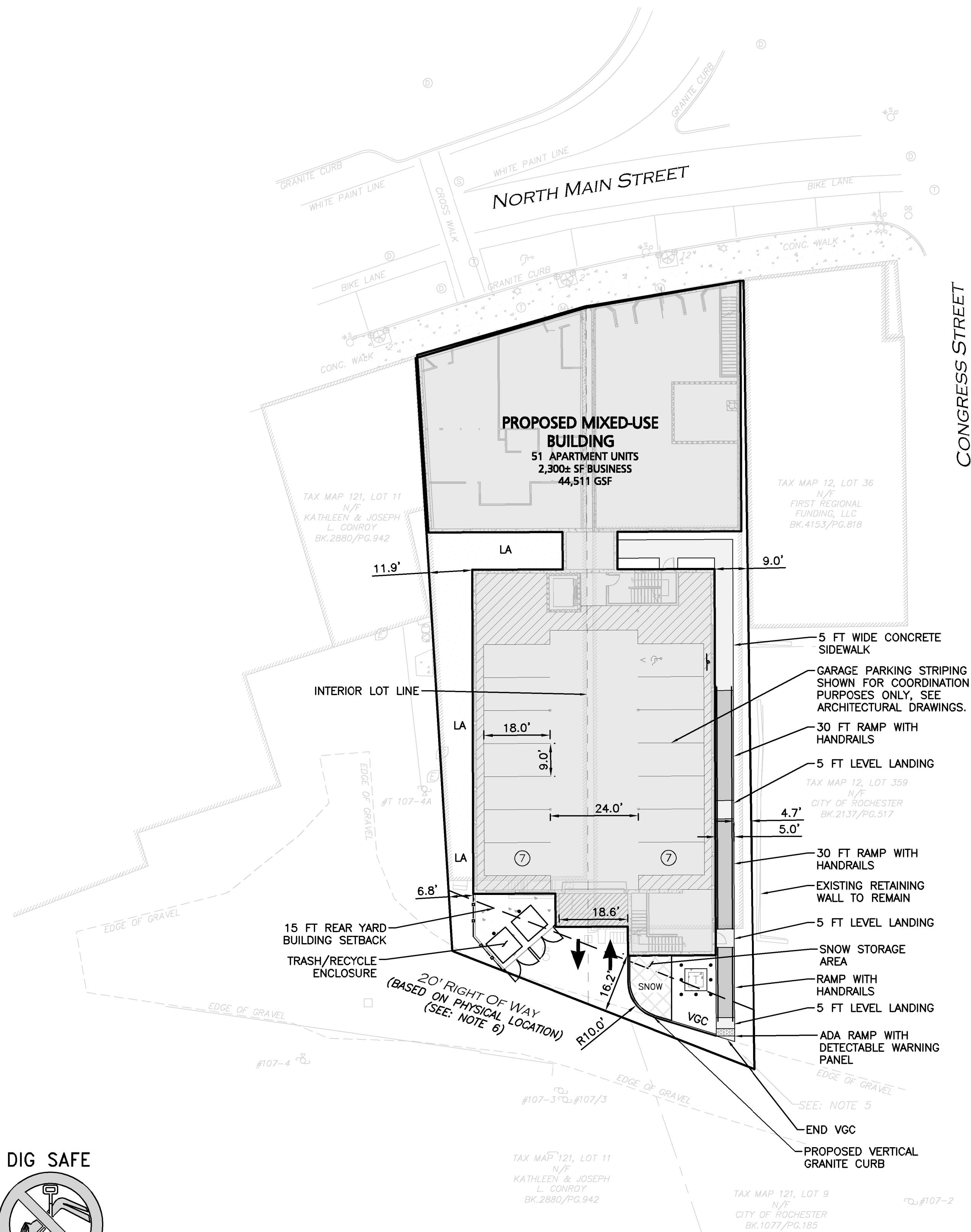
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1-888-DIG-SAFE
1-888-344-7233



ZONING SUMMARY TABLE DOWNTOWN COMMERCIAL (DC), SPECIAL DOWNTOWN OVERLAY DISTRICT (SDOD)

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 SF	16,248 SF	16,248 SF
MINIMUM FRONTAGE	40 FT	91.9± FT	91.9± FT
MINIMUM LOT AREA PER DWELLING UNIT	500 SF ⁽²⁾	N/A	318 SF ⁽²⁾
MAXIMUM IMPERVIOUS LOT COVERAGE	--	85.8%	83.9%
MINIMUM FRONT YARD SETBACK	NONE	0 FT	0 FT
MINIMUM SIDE YARD SETBACK	NONE	0 FT	0 FT
MINIMUM REAR YARD SETBACK	15 FEET	19.7 FT	16.2 FT
MAXIMUM NUMBER OF STORIES	5	5	5
MINIMUM NUMBER OF STORIES	2	5	5
MAXIMUM HEIGHT	--	TBD	TBD
MINIMUM HEIGHT	20 FT	>20 FT	>20 FT

ZONING TABLE NOTES:

- TABLE 18-A RESIDENTIAL USES, DWELLING, APARTMENTS (APARTMENT/MIXED-USE BUILDING), IS PERMITTED (P) WITHIN THE DOWNTOWN COMMERCIAL ZONE (DC).
- ARTICLE 19. DIMENSIONAL REGULATIONS, 275-19.2 DIMENSIONAL PROVISIONS, E. (1), THERE IS NO MINIMUM LOT AREA PER DWELLING UNIT WITHIN THE DOWNTOWN COMMERCIAL (DC) ZONE DISTRICT...
- AMENDMENT TO CHAPTER 275 OF THE GENERAL ORDINANCES OF THE CITY OF ROCHESTER REGARDING RESIDENTIAL USES WITHIN THE DOWNTOWN COMMERCIAL DISTRICT 4) DOWNTOWN COMMERCIAL DISTRICT. WITHIN THE DOWNTOWN COMMERCIAL (DC) DISTRICT, MULTIFAMILY IS ALLOWED WITH THE FOLLOWING RESTRICTIONS: A) FOR PARCELS FRONTING ON THE STREETS NOTED BELOW, GROUND FLOOR SPACE OF 30' MULTIPLIED BY THE BUILDING FRONTAGE, OR (700 SQ. FT.), WHICHEVER IS GREATER, SHALL BE RESERVED FOR NON-RESIDENTIAL USES AS PERMITTED IN THE DC DISTRICT, UNLESS OTHERWISE REQUIRED TO COMPLY WITH STATE BUILDING CODE AND/OR FIRE CODE. ANY AREA EXCLUDED DUE TO BUILDING CODE AND/OR FIRE CODE SHALL NOT COUNT TOWARD THE MINIMUM. THIS APPLIES TO THE ENTIRE PORTION OF THE BUILDING FRONTING ON THE STREET. THE REMAINING AREA OF THE FIRST FLOOR MAY CONTAIN RESIDENTIAL UNITS AS A CONDITIONAL USE.
- THE PARCELS ARE LOCATED WITHIN THE HISTORIC OVERLAY, SPECIAL DOWNTOWN OVERLAY, AND THE DOWNTOWN COMMERCIAL DISTRICT.

PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.0 SPACE PER BEDROOM	47	14
	47 X 1 = 47 REQUIRED		
	0.75 SPACE PER STUDIO UNIT 7 X 0.75 = 5.25 REQUIRED		
BUSINESS USE	NO MINIMUM	N/A	N/A
	2,300± SF		
		52	14

ADA SPACES REQUIRED:

(15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.

PROVIDED 1 SPACES, 1 BEING VAN ACCESSIBLE.

PARKING TABLE NOTES:

- SECTION 10 - PARKING AND CIRCULATION, (E) PARKING LOT DESIGN, (A) STANDARD PARKING STALL SHALL BE 9'X18', AND THE DRIVE AISLE FOR 90 DEGREE PARKING SHALL BE 24 FEET FOR TWO-WAY CIRCULATION.
- ADDITIONAL OFF-STREET PARKING ADDRESSED WITHIN THE DEVELOPMENT AGREEMENT WITH THE CITY OF ROCHESTER.

LEGEND

PROP. PROPERTY LINE

SIGN

BOLLARD

BUILDING

BUILDING ARCHITECTURE

BUILDING INTERIOR WALLS

CURB

RETAINING WALL

PARKING STRIPING

ROADWAY STRIPING

SIDEWALK

ADA ACCESSIBLE RAMP

ADA DET. WARNING SURFACE

SNOW STORAGE

SETBACK LINE

SAW-CUT LINE

HEAVY DUTY CONCRETE

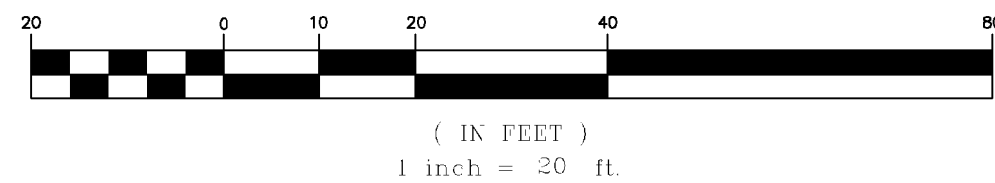
TRANSFORMER

PARKING COUNT

NOTES

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- FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES. (603) 627-5500.
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- THE APPLICANT HAS INDICATED THAT THE CITY WILL INCLUDE SITE LIGHTING ON IMPROVED ACCESS ROAD AT THE REAR OF THE BUILDING.

GRAPHIC SCALE

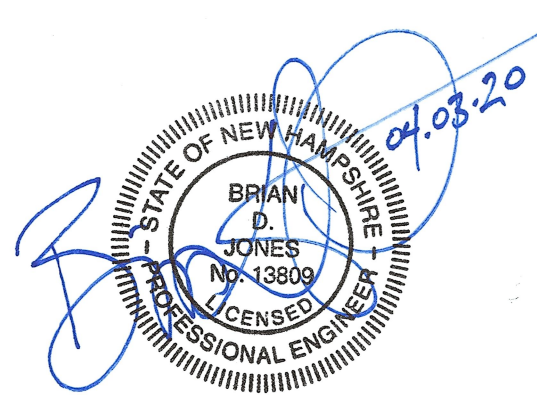


APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-14 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: 1" = 20' DWG. NAME: C2748-01

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
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DRAWING TITLE:

LAYOUT & MATERIALS PLAN

SHEET No.

C-102

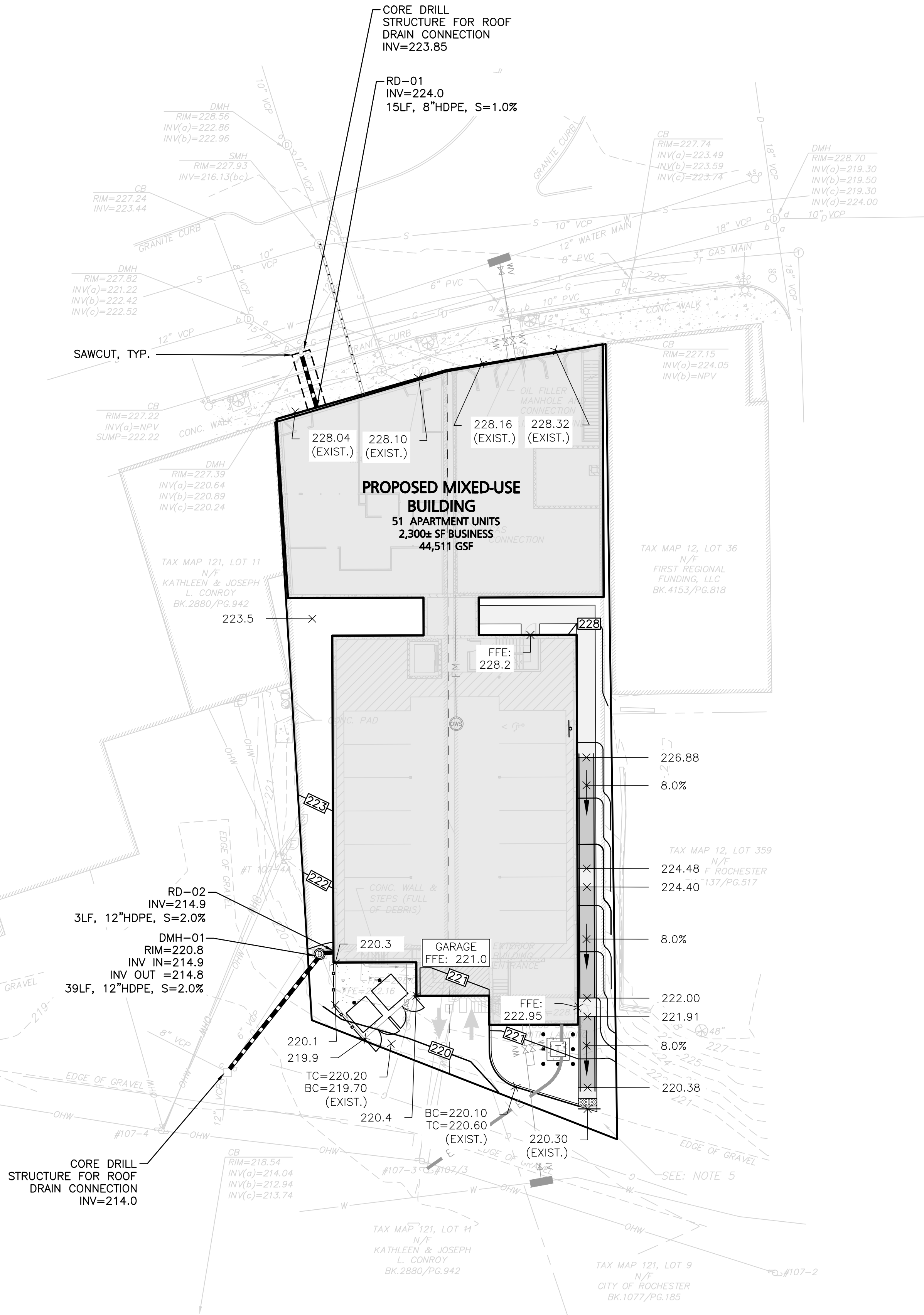
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R:\PROJECTS\2748-01 CIVIL\DRAWINGS\CURRENT\2748-01 GRADING & DRAINAGE.DWG

DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



LEGEND

DRAIN MANHOLE	
DRAIN LINE	
10' CONTOUR	
2' CONTOUR	
SPOT GRADE	

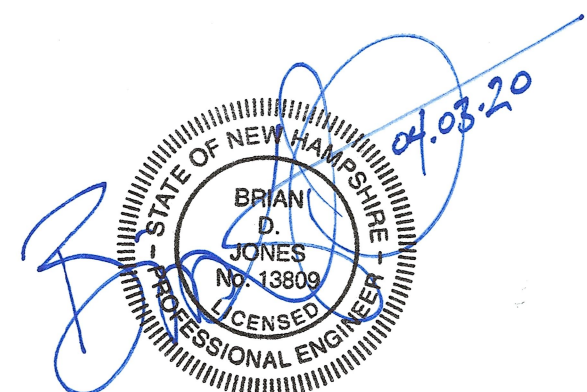
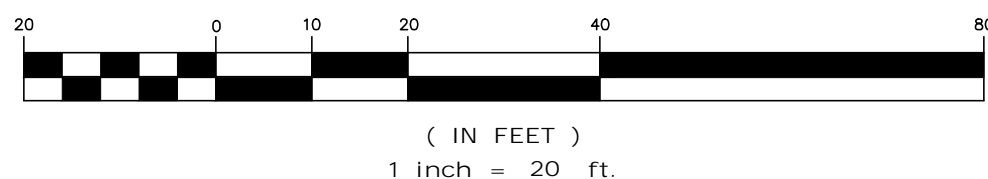
PLAN NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
- EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF ROCHESTER, NHDOT, NHDES, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
DATE OF APPROVAL _____

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-14 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	1" = 20'	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:



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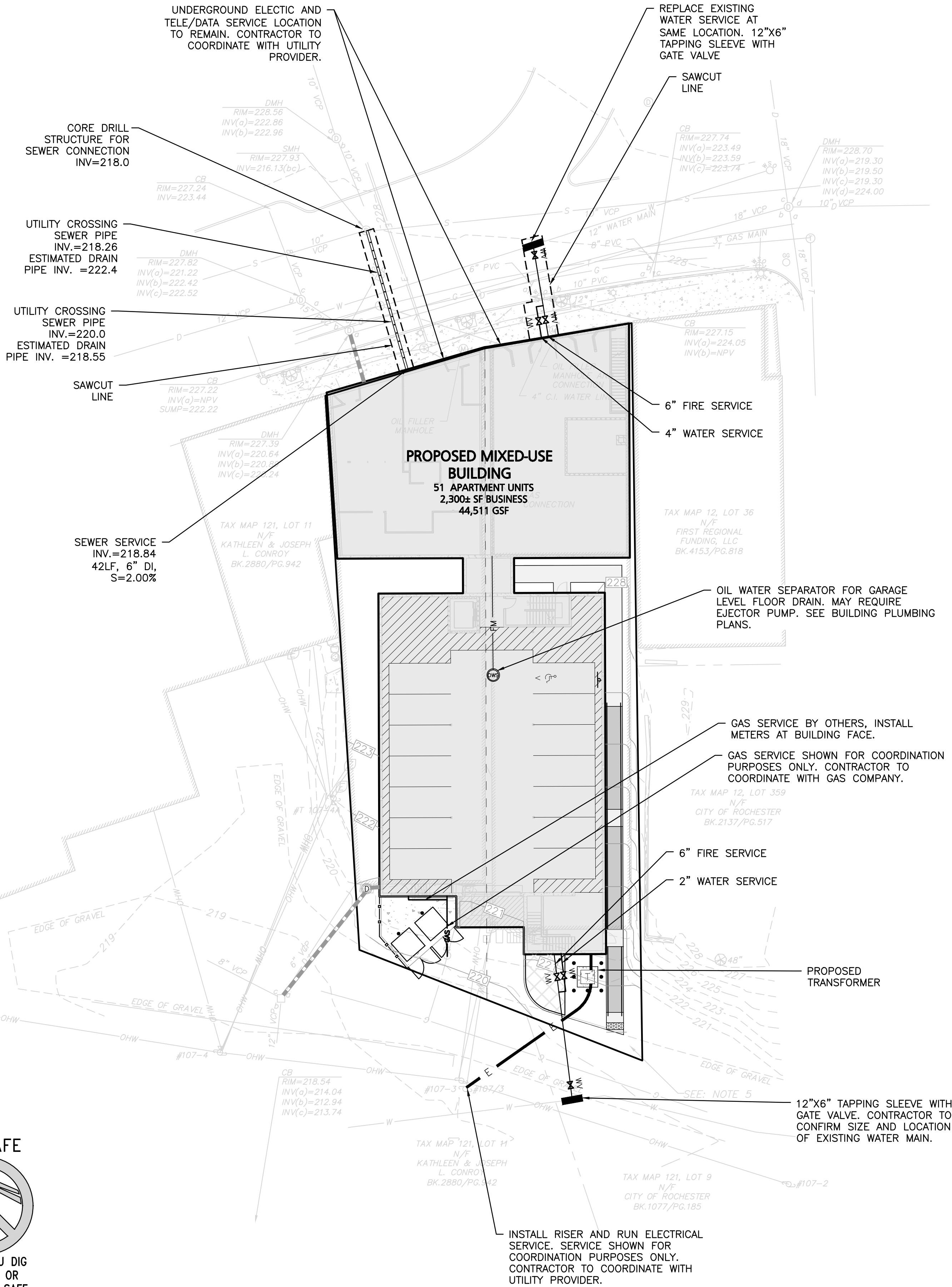
GRADING & DRAINAGE PLAN

SHEET No.

C-103

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R:\PROJECTS\2748-01\CIVIL\DRAWINGS\CURRENT\2748-01 UTILITIES.DWG

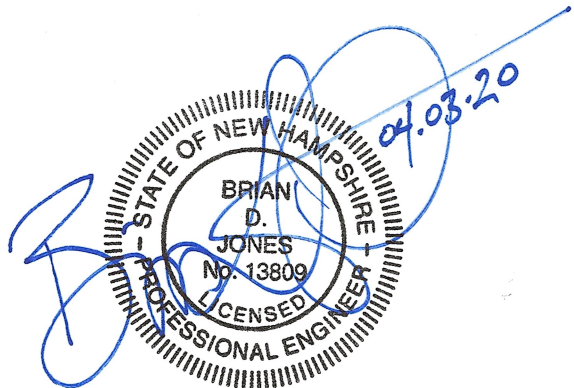
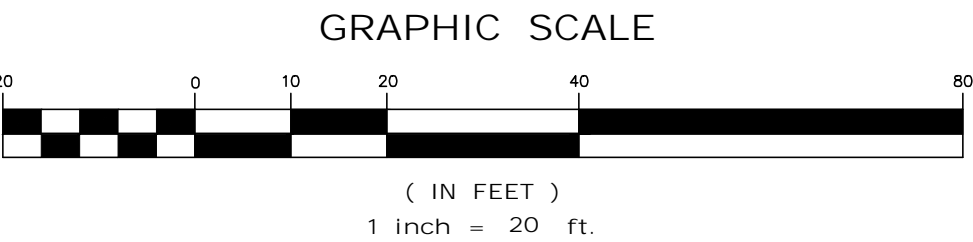


LEGEND	
SEWER MANHOLE	
SEWER CLEANOUT	
SEWER VENT	
SEWER LINE	
SEWER FORCEMAIN	
WATER LINE	
WATER (FIRE SERVICE)	
WATER (DOMESTIC SERVICE)	
WATER VALVE	
GAS LINE	
GAS VALVE	
ELECTRICAL CONDUIT	
TELE/CABLE CONDUIT	

UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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APPROVED - CITY PLANNING STAFF	
CHAIRMAN	DATE
SECRETARY	DATE
DATE OF APPROVAL	



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT/OWNER:		
CHINBURG PROPERTIES 3 PENSTOCK WAY NEWMARKET, NH 03857		
PROJECT:		
MIXED-USE DEVELOPMENT 10-14 NORTH MAIN STREET ROCHESTER, NH		
PROJECT NO.	2748-01	DATE: 4/03/2020
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DESIGNED BY:	ARM	CHECKED BY: BDJ

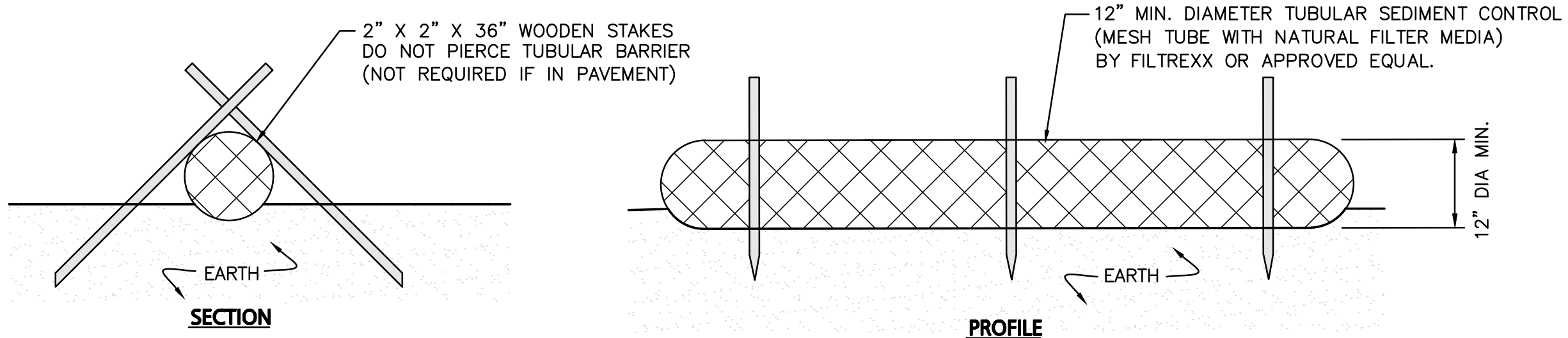
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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104

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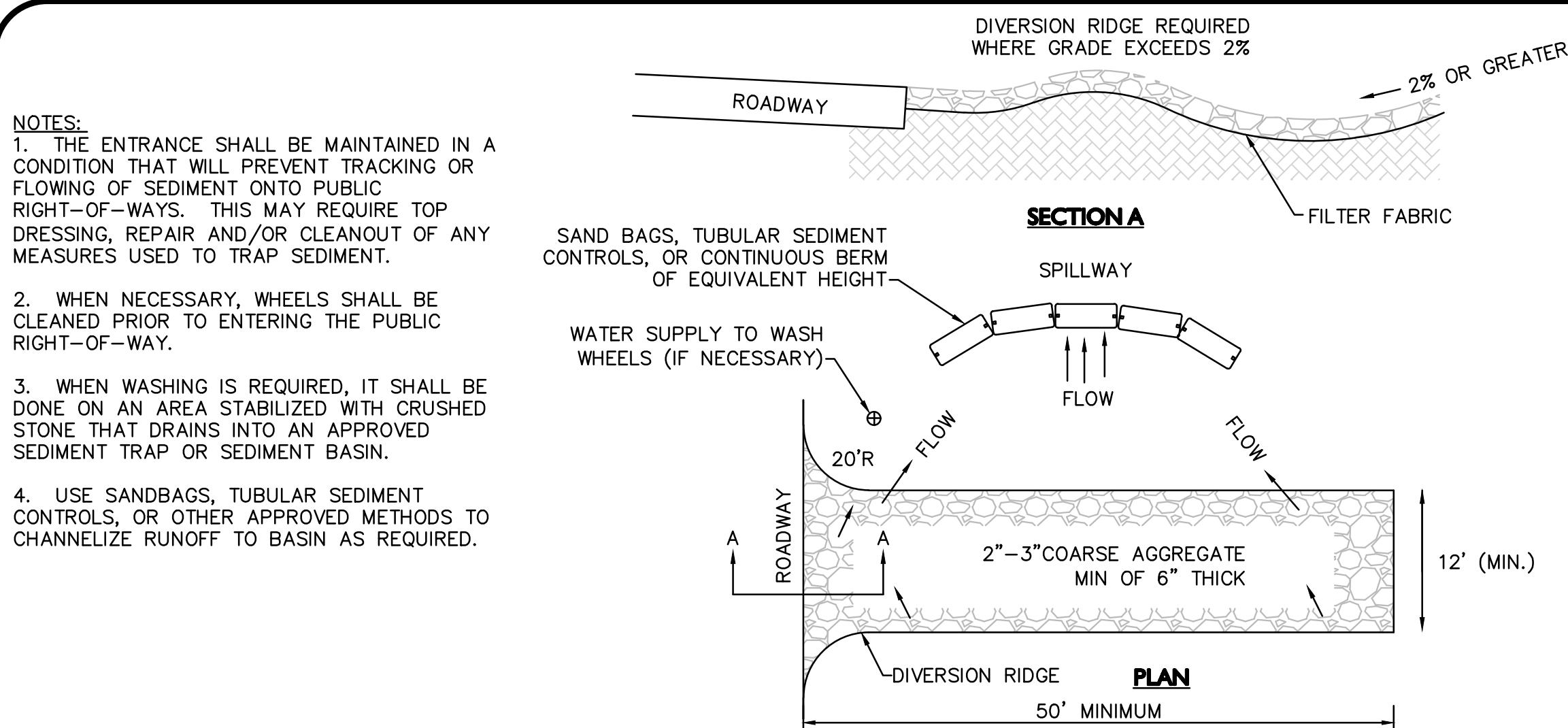
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- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 12" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 3. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER
 4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

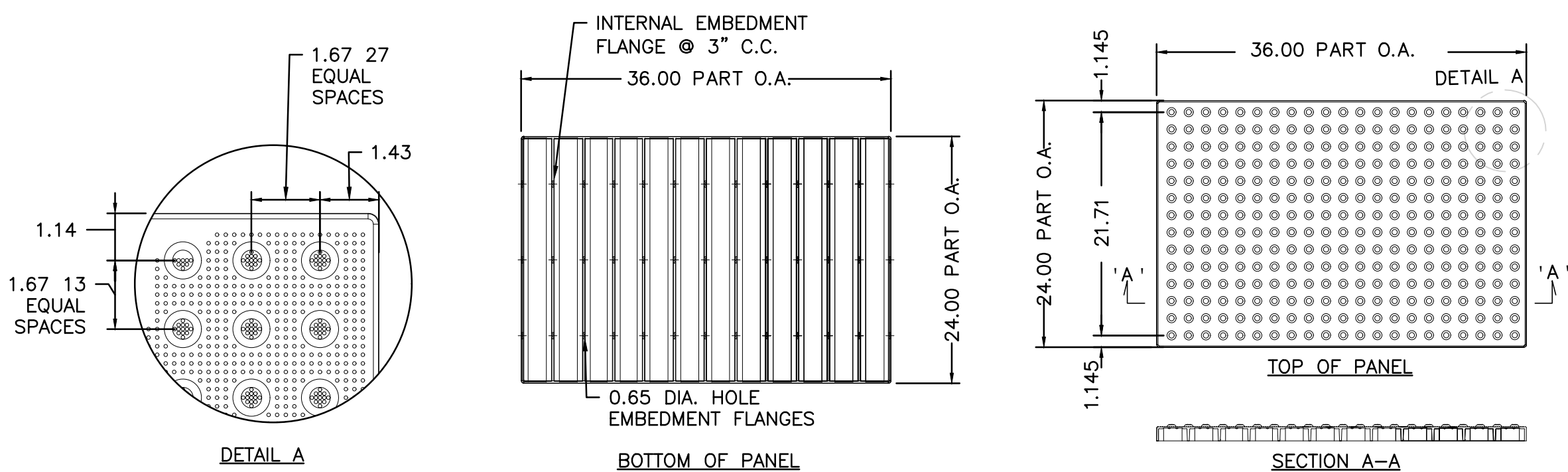
1



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, TUBULAR SEDIMENT CONTROLS, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE

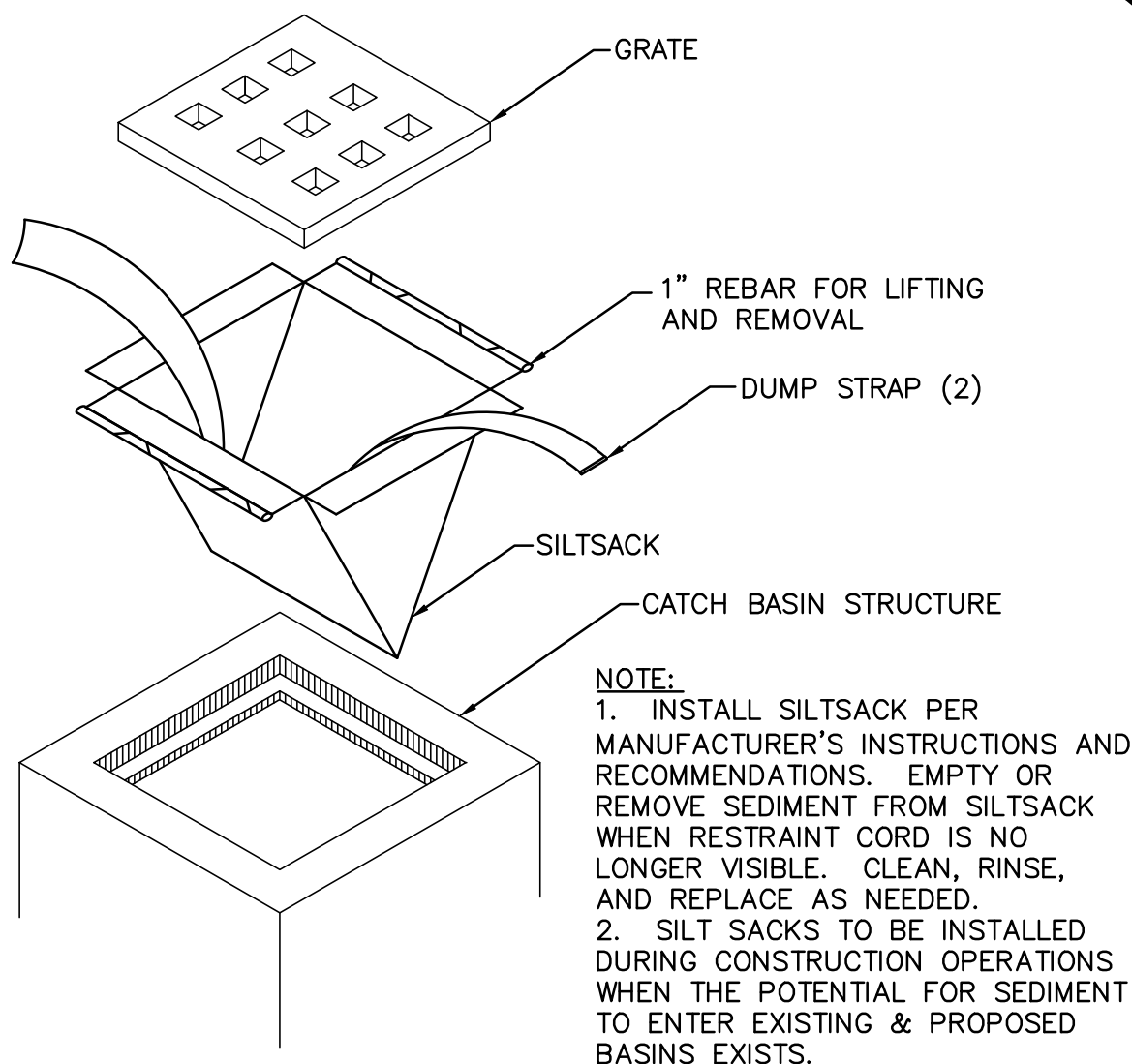
4



- NOTES:
1. CONCRETE SLAB SHALL BE SLOPED 1.5% CROSS PITCH MAX TO PROVIDE COMPLETE SURFACE DRAINAGE. SEE GRADING PLAN & HANDICAP CURB CUT / CURB TRANSITION DETAIL.
 2. SET TILES FLUSH WITH ADJACENT MATERIALS. SUBMIT SHOP DRAWINGS OF TILES.
 3. INSTALL DETECTABLE WARNING PAVERS PER MANUFACTURER'S RECOMMENDATIONS.
 4. COLOR SHALL BE BRICK RED PER CITY REQUIREMENTS.
 5. PANELS SHOULD BE ADA SOLUTIONS, INC. PART NO.2436IDPAV1_, DRAWING NO.ADA-CIP 2436_1, OR APPROVED EQUAL.

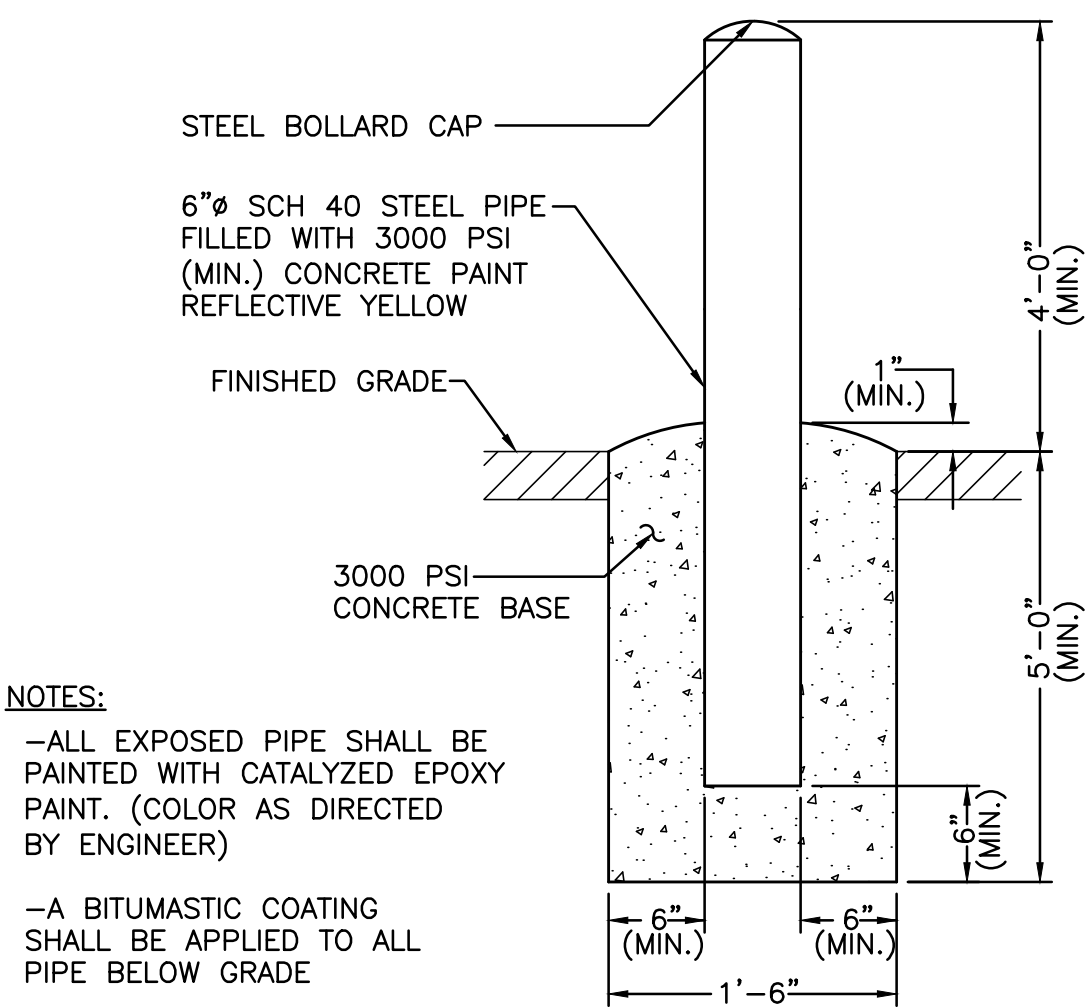
CAST-IN-PLACE TACTILE WARNING PANELS
NOT TO SCALE

7



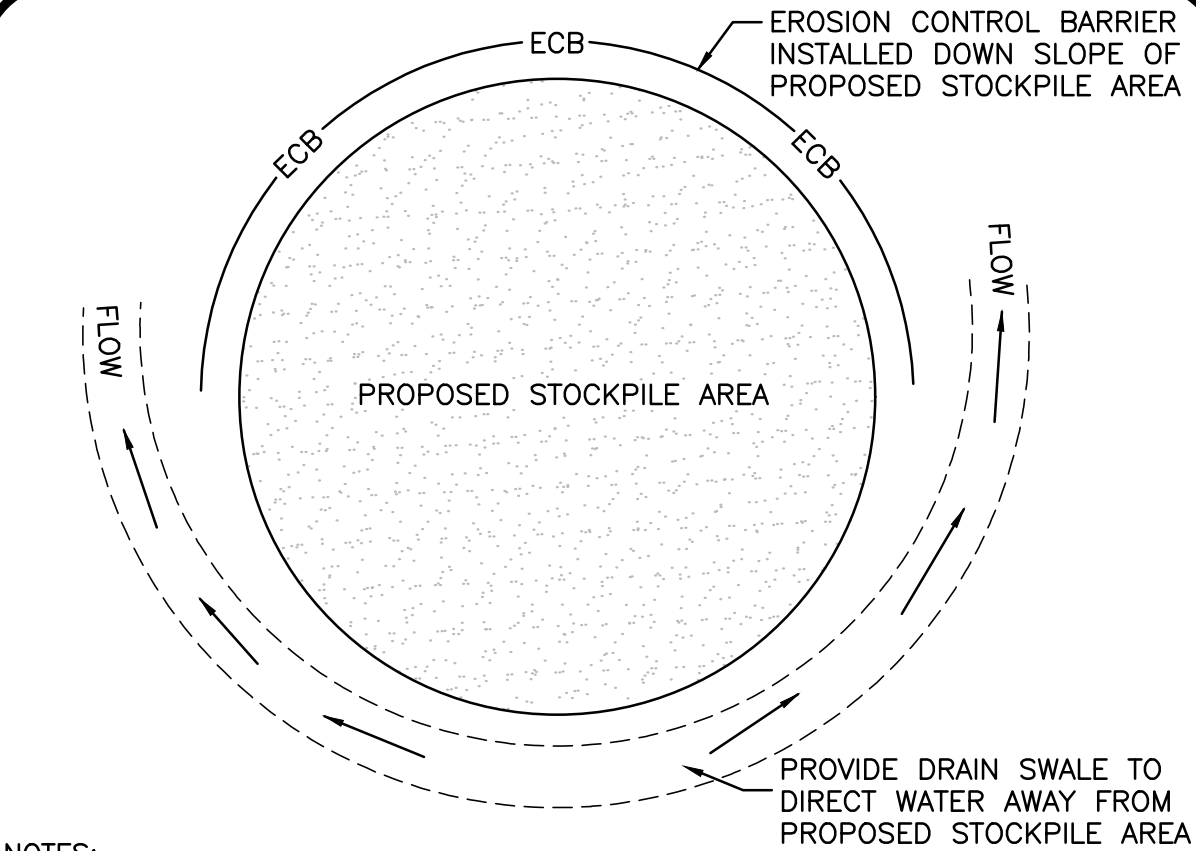
SILTSACK INLET DETAIL
NOT TO SCALE

2



FIXED PIPE BOLLARD
NOT TO SCALE

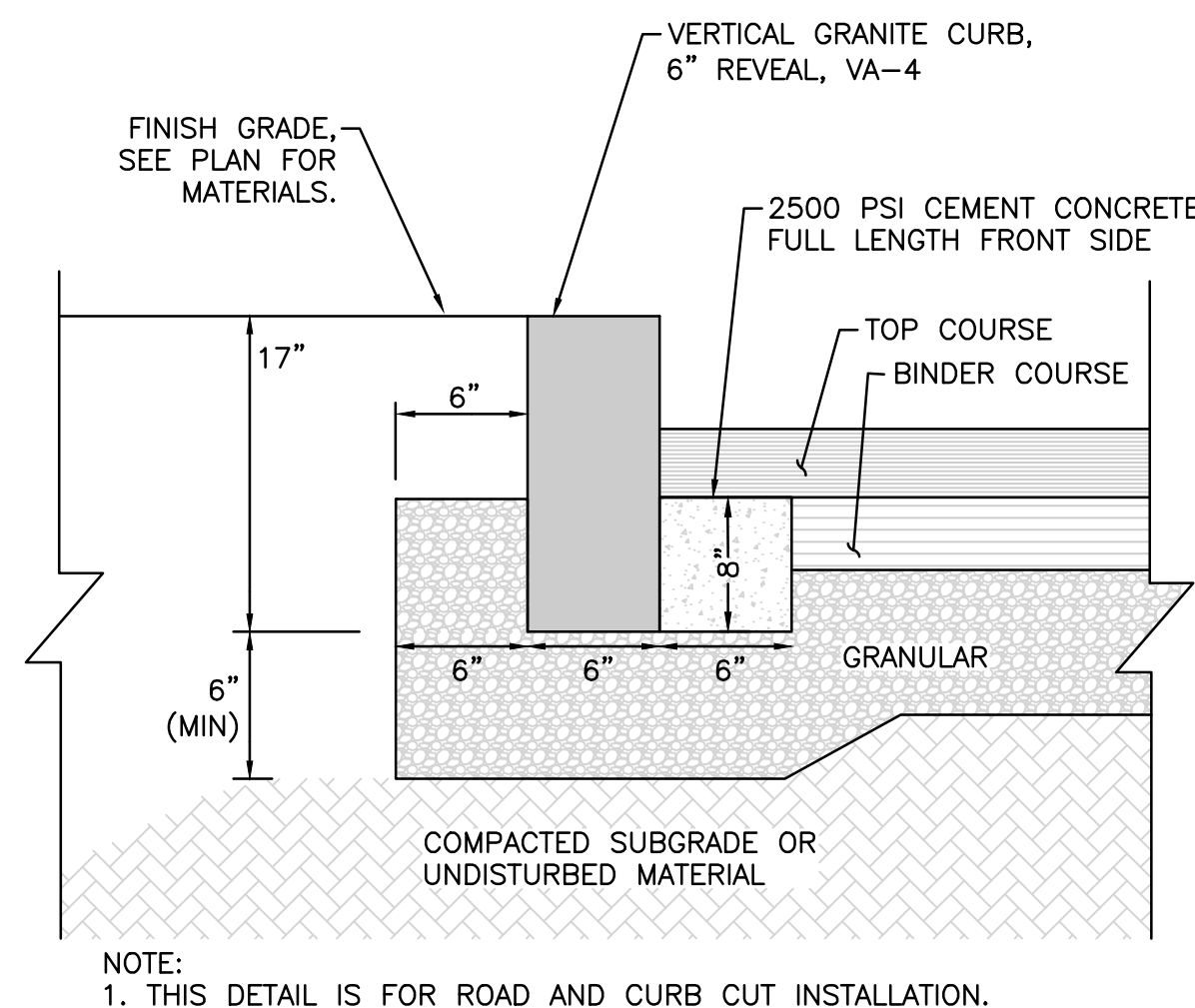
5



- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

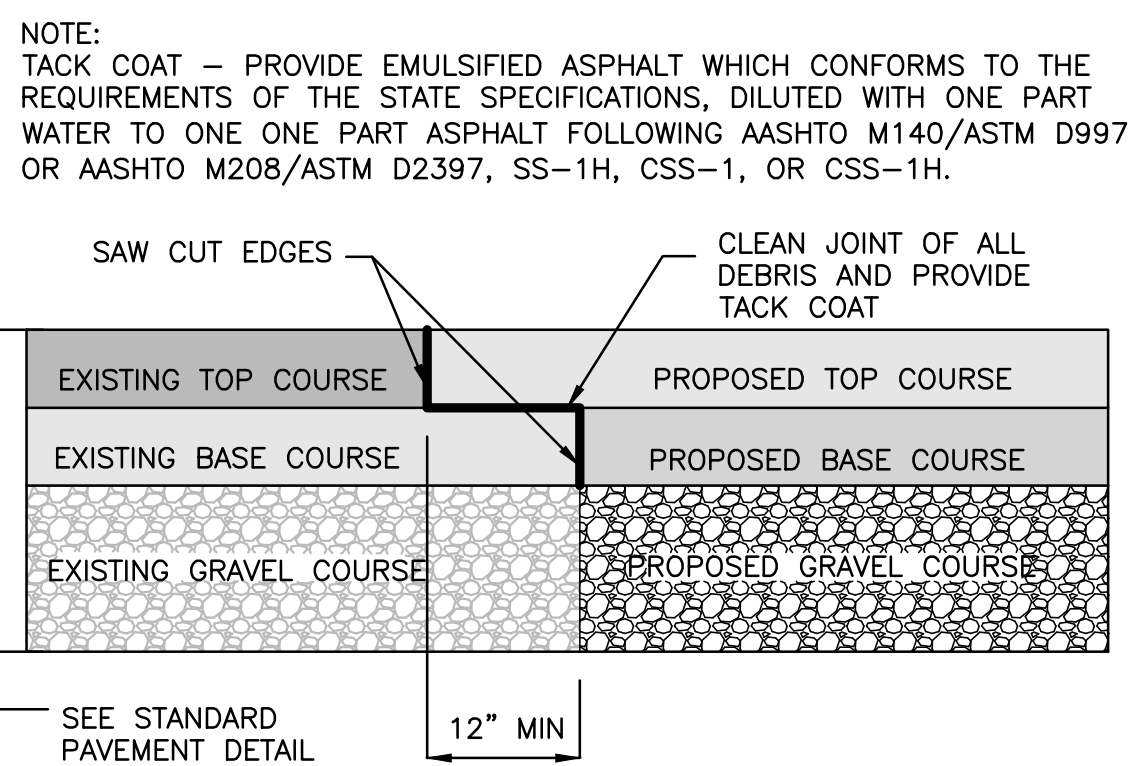
STOCKPILE PROTECTION DETAIL
NOT TO SCALE

3



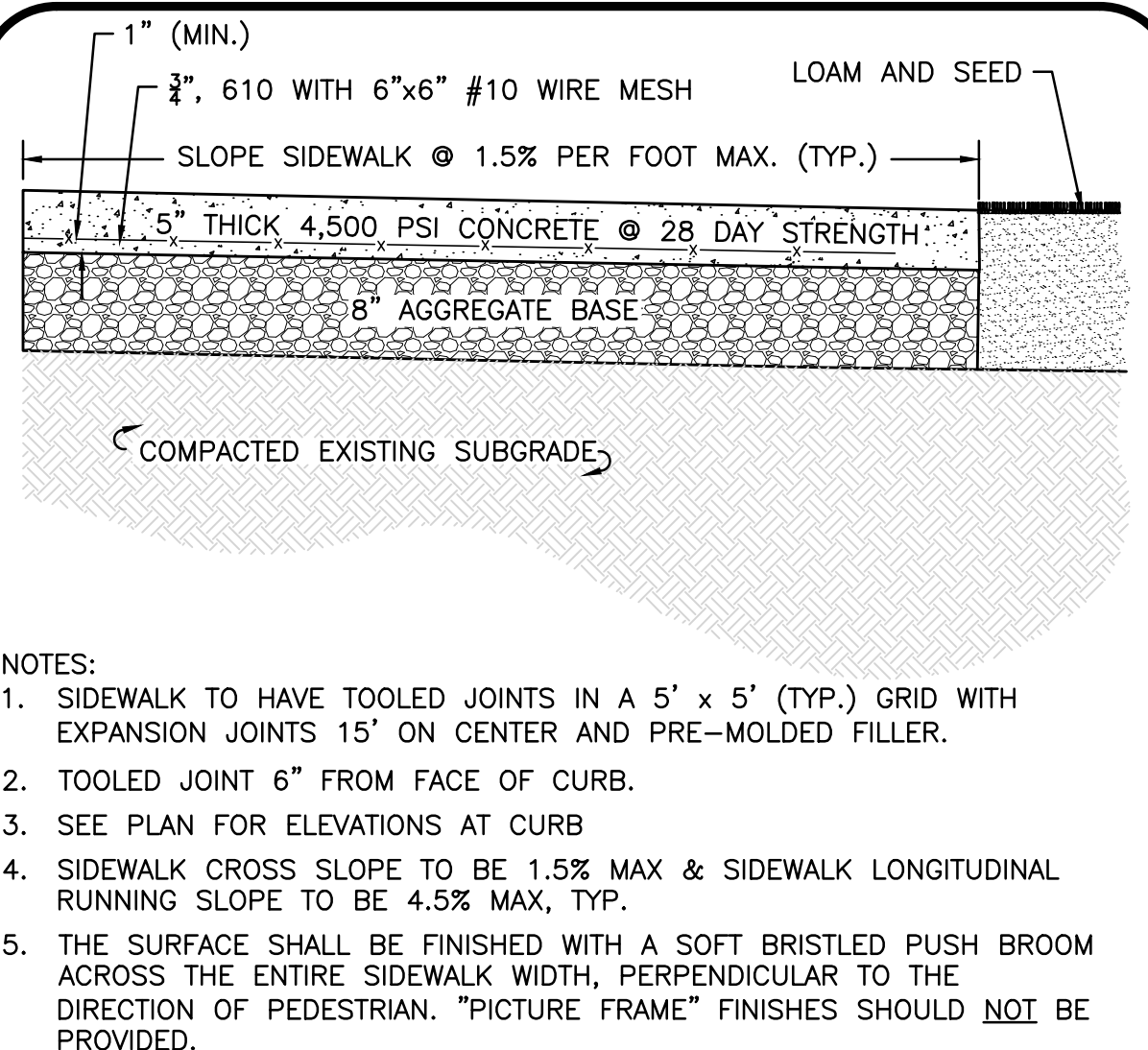
VERTICAL GRANITE CURB
NOT TO SCALE

6



PAVEMENT KEY CUT DETAIL
NOT TO SCALE

8



CONCRETE SIDEWALK
NOT TO SCALE

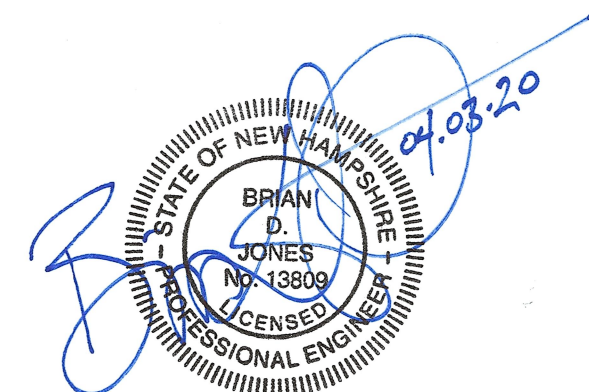
9

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

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CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

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10-14 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: AS SHOWN DWG. NAME: C2748-01

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:



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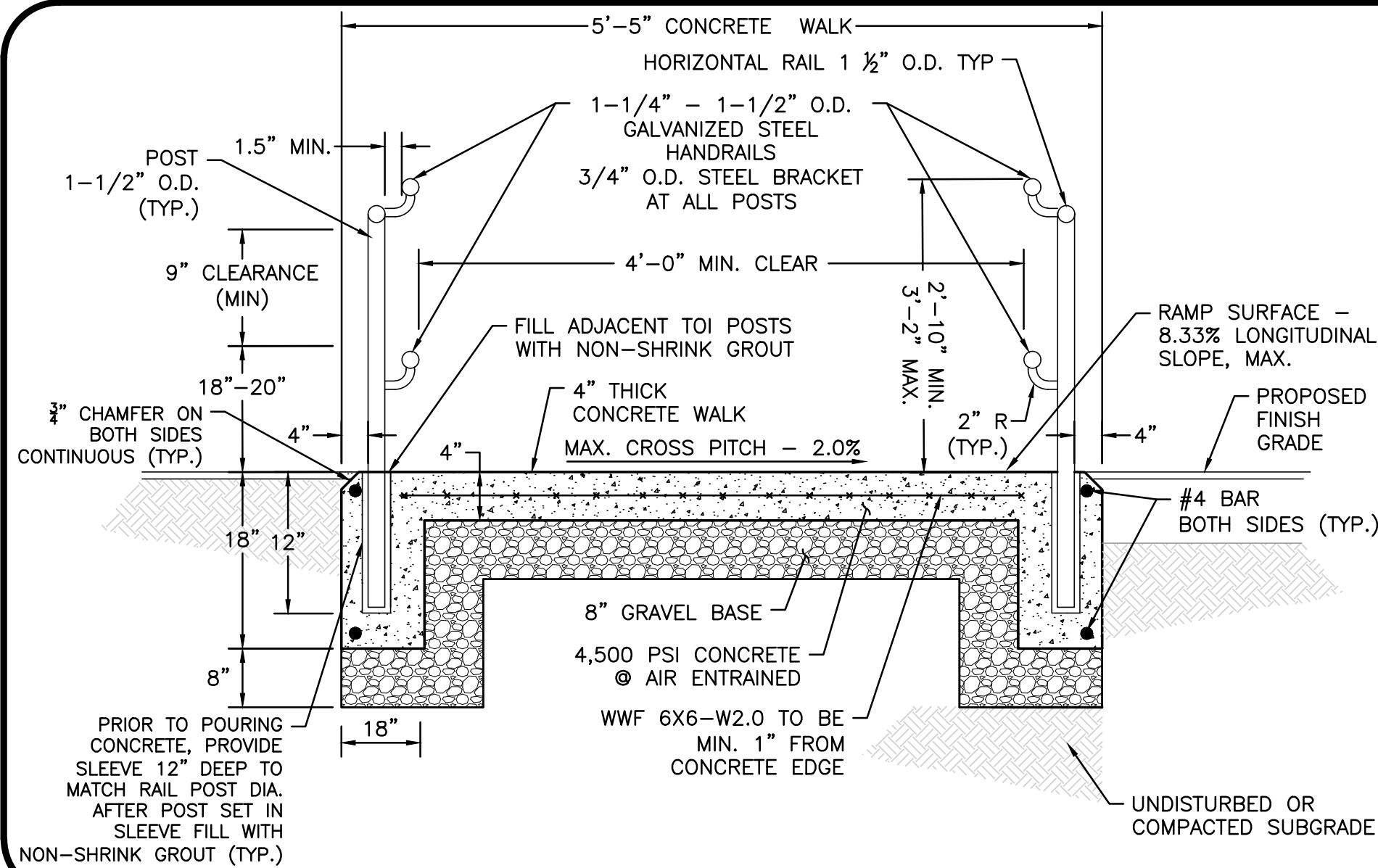
DETAILS

SHEET No.

C-501

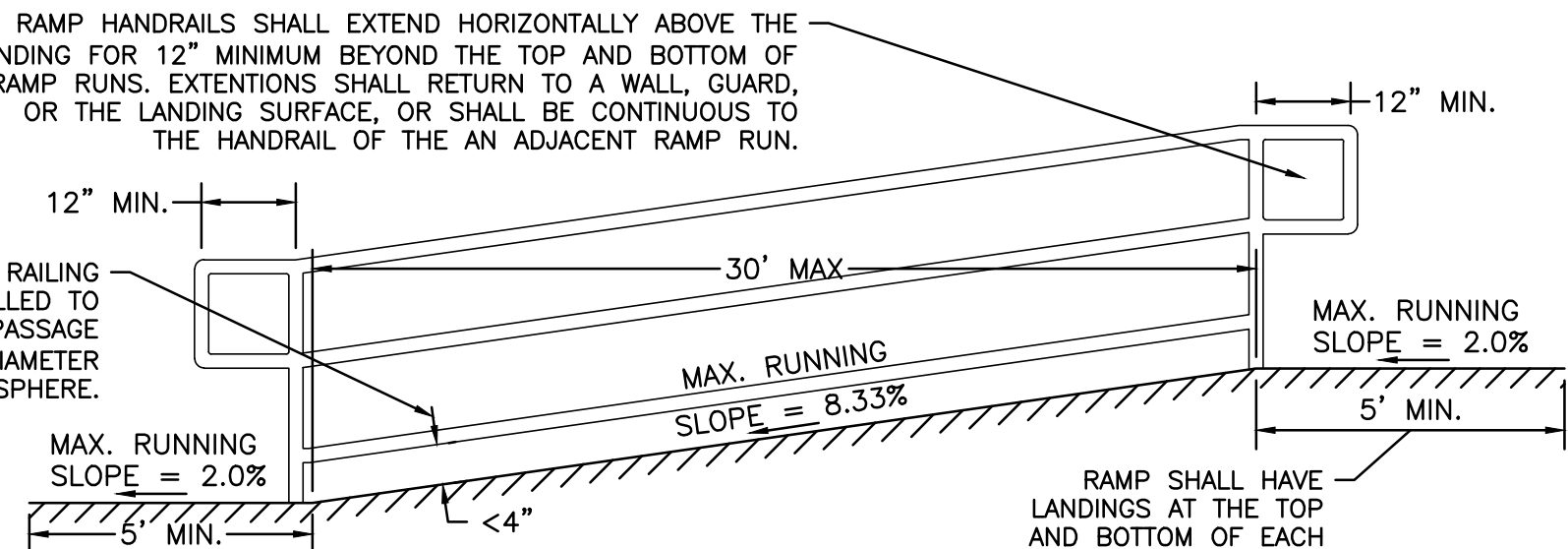
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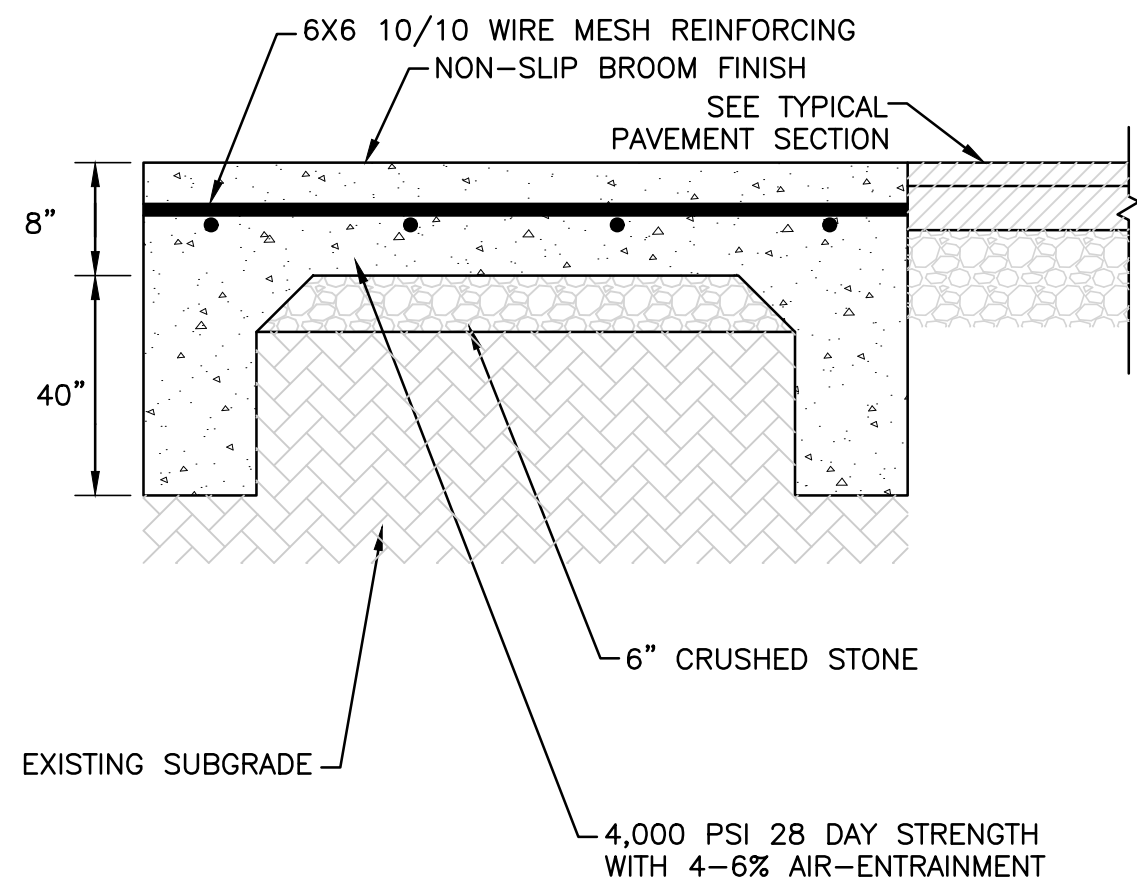
NOTES:

- HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS AND RAMP SURFACES.
- HANDRAIL SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20% OF THEIR LENGTH.
- UPPER AND LOWER HANDRAIL ENDS TO JOIN SMOOTHLY AT ENDS WITH 6" RADI & EXTEND 12" BEYOND TOP AND BOTTOM OF EACH RAMP SECTION.
- MAINTAIN 8.33% MAX RUNNING SLOPE ON RAMP SEGMENTS AND 2.0% MAX. RUNNING SLOPE IN ALL DIRECTIONS ON LEVEL LANDINGS. MAINTAIN 2.0% MAX CROSS SLOPE ON ALL RAMPING SECTIONS.
- ALL RAILINGS, HANDRAILS, POSTS, HANDRAILS TO BE PAINTED METAL.
- SIDEWALK TO HAVE TOOLED JOINTS EVENLY SPACED NO MORE THAN 5' APART WITH EXPANSION JOINTS NO MORE THAN 15' ON APART AND PREMOLDED FILLER.



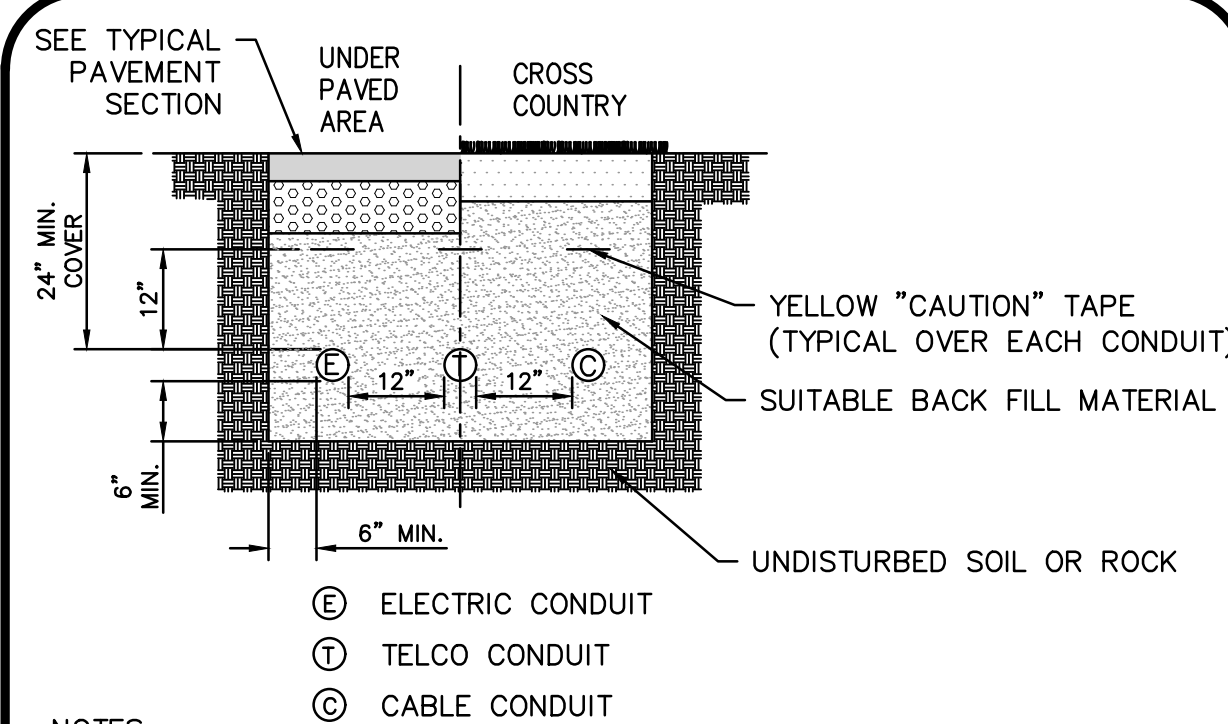
CONCRETE ADA RAMP WITH HANDRAILS
NOT TO SCALE

1



HEAVY DUTY CONCRETE PAD
NOT TO SCALE

2

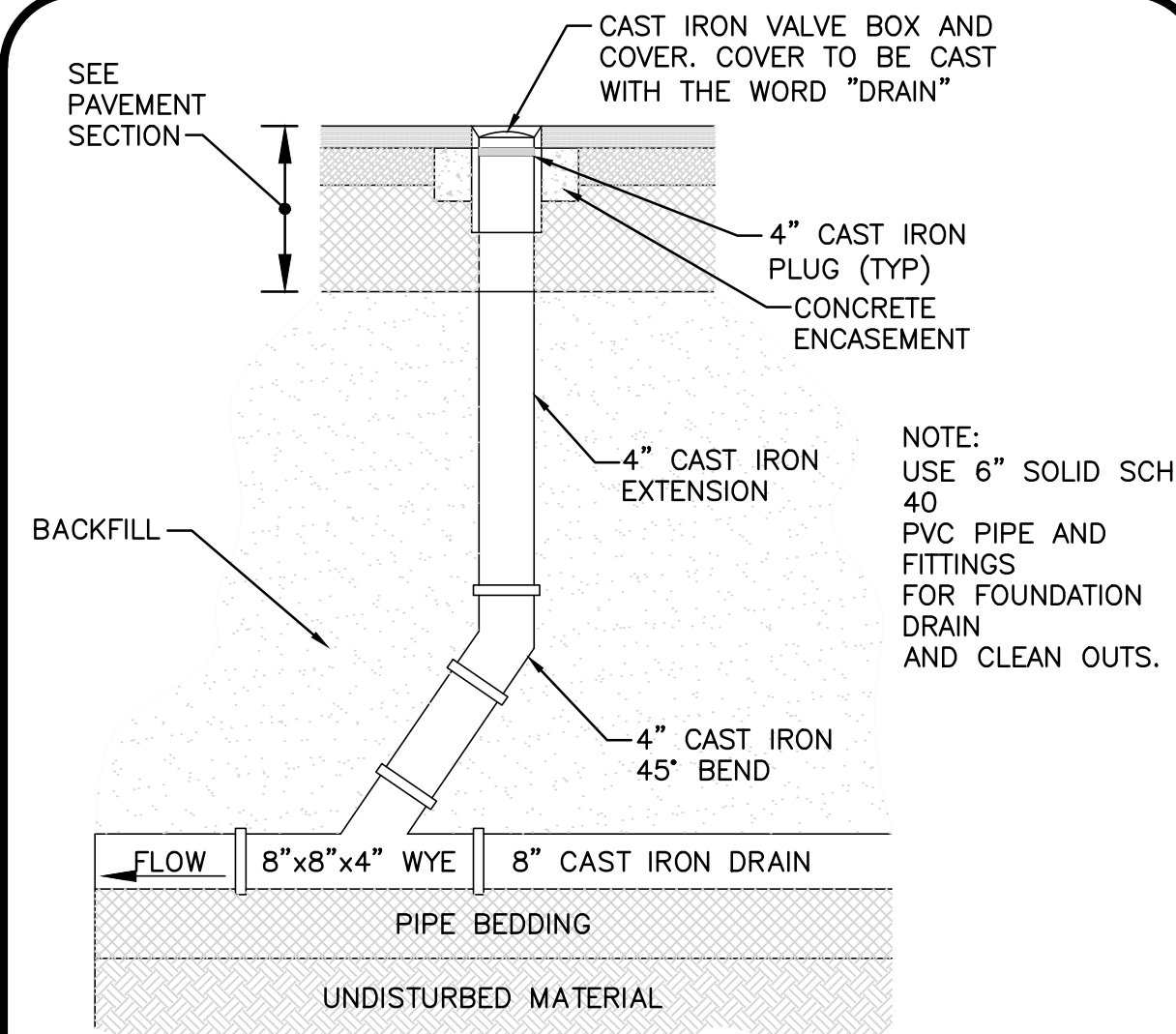


NOTES:

- SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
- ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
- SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS

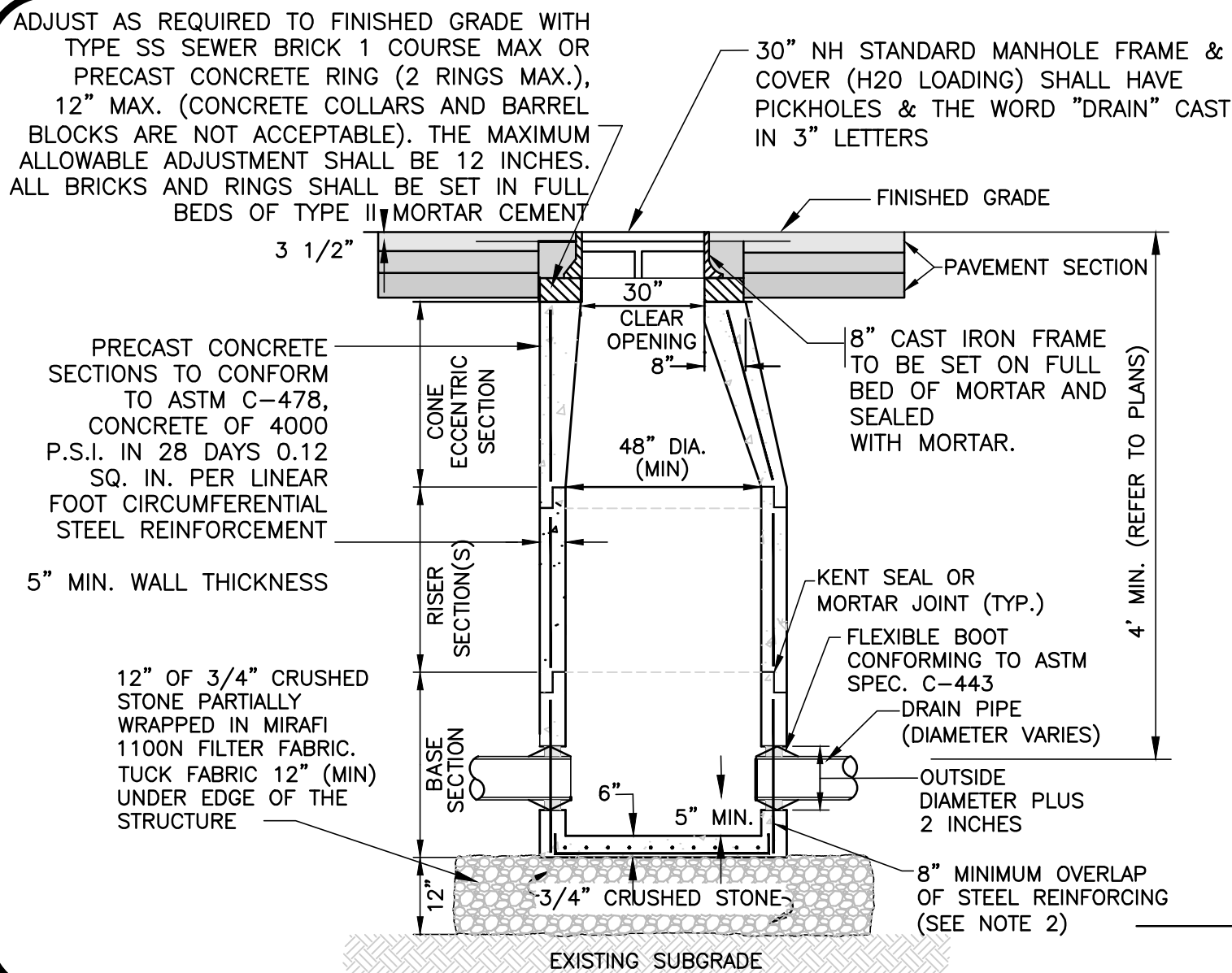
BURIED CONDUIT DETAIL
NOT TO SCALE

3



CLEAN OUT
NOT TO SCALE

4



NOTES:

- MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
- STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
- BASE SECTION SHALL BE MONOLITHIC
- ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

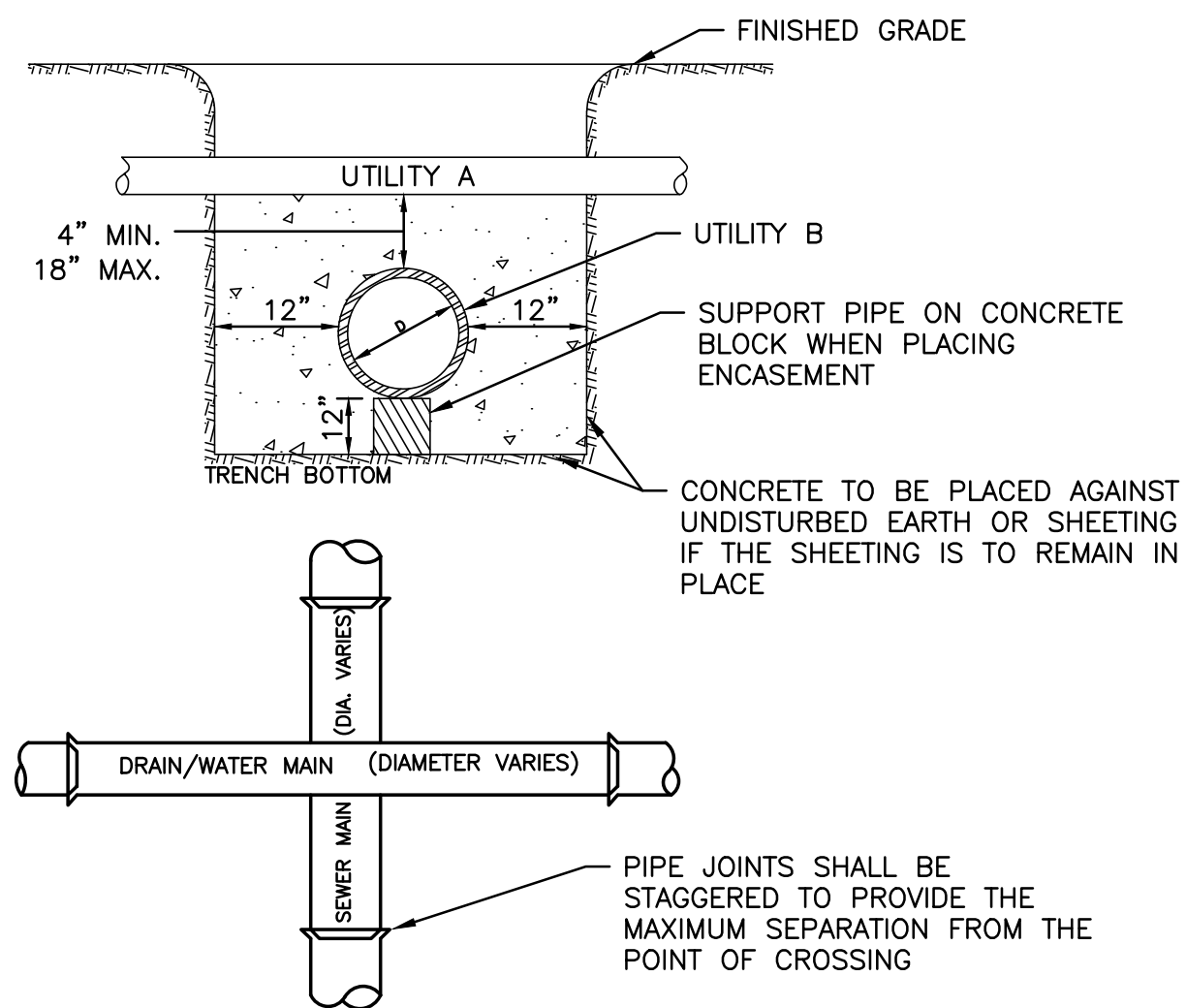
DRAIN MANHOLE
NOT TO SCALE

5

NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:

- THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
- THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
- THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
- UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
- WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
- ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
- PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



SEWER, WATER/RAIN CROSSING DETAIL
NOT TO SCALE

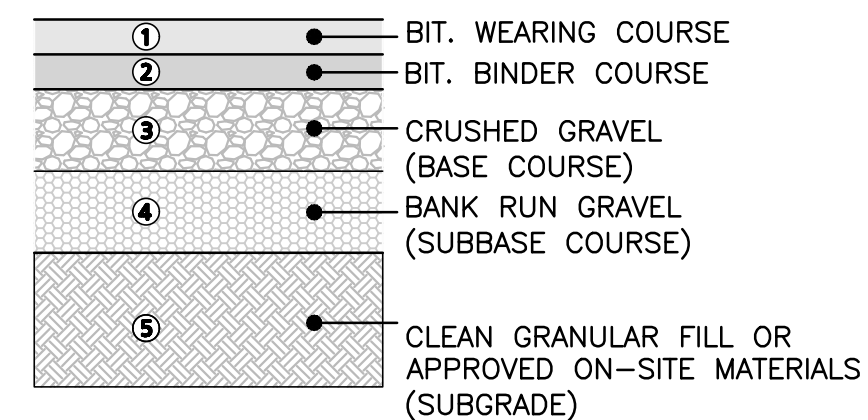
6

STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION

LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)
1	BITUMINOUS WEARING COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
2	BITUMINOUS BINDER COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
3	CRUSHED GRAVEL (BASE COURSE) (NHDOT ITEM 304.3)	6.0"
4	GRAVEL BORROW (SUBBASE COURSE) (NHDOT ITEM 304.2)	12"
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY

NHDOT GRADATION SPECIFICATION

SIEVE SIZE	PERCENT PASSING BY WEIGHT		
	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
1 1/2"	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12



NOTES:

- IF A GEOTECHNICAL REPORT IS PREPARED THE RECOMMENDATIONS WITHIN THAT REPORT SHALL SUPERCEDE RECOMMENDATIONS HEREIN. THE CONTRACTOR SHALL HAVE AND REVIEW A COPY OF THE GEOTECHNICAL REPORT AND COMPLY WITH THE RECOMMENDATIONS THEREIN.
- TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS OR ACCEPTABLE ON-SITE FILL MATERIALS.
- THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT "WEAVE" OR "ROLL" EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
- THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

PAVEMENT SECTIONS
NOT TO SCALE

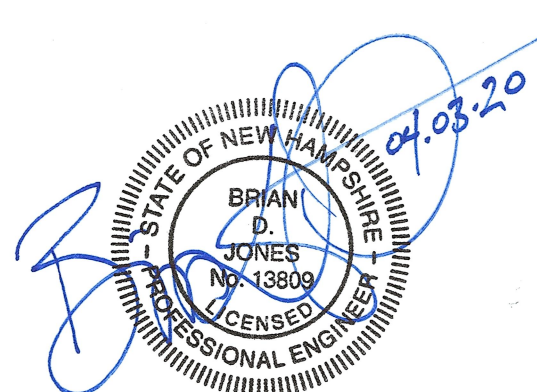
7

APPROVED - CITY PLANNING STAFF

CHAIRMAN DATE

SECRETARY DATE

DATE OF APPROVAL



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3		
2		

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-14 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	AS SHOWN	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:



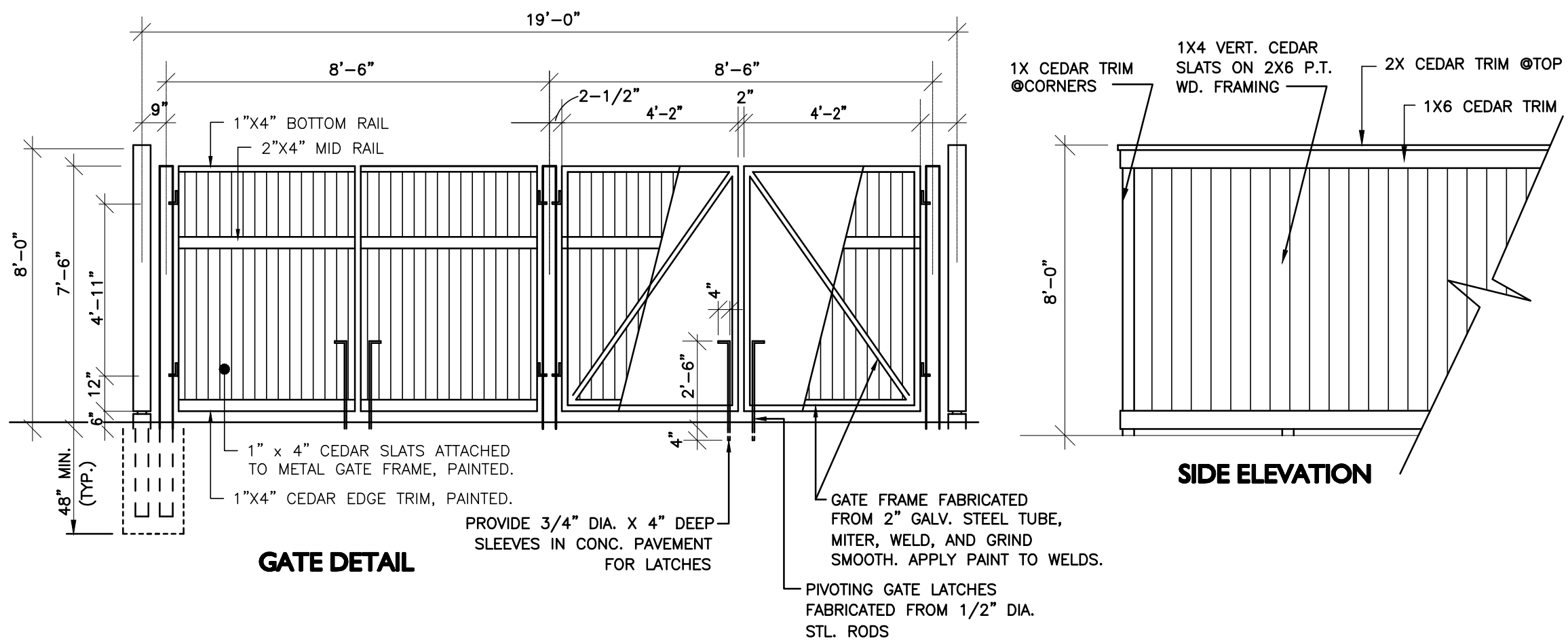
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DRAWING TITLE:	SHEET No.
DETAILS	C-502



SCREENED DUMPSTER ENCLOSURE
NOT TO SCALE

1

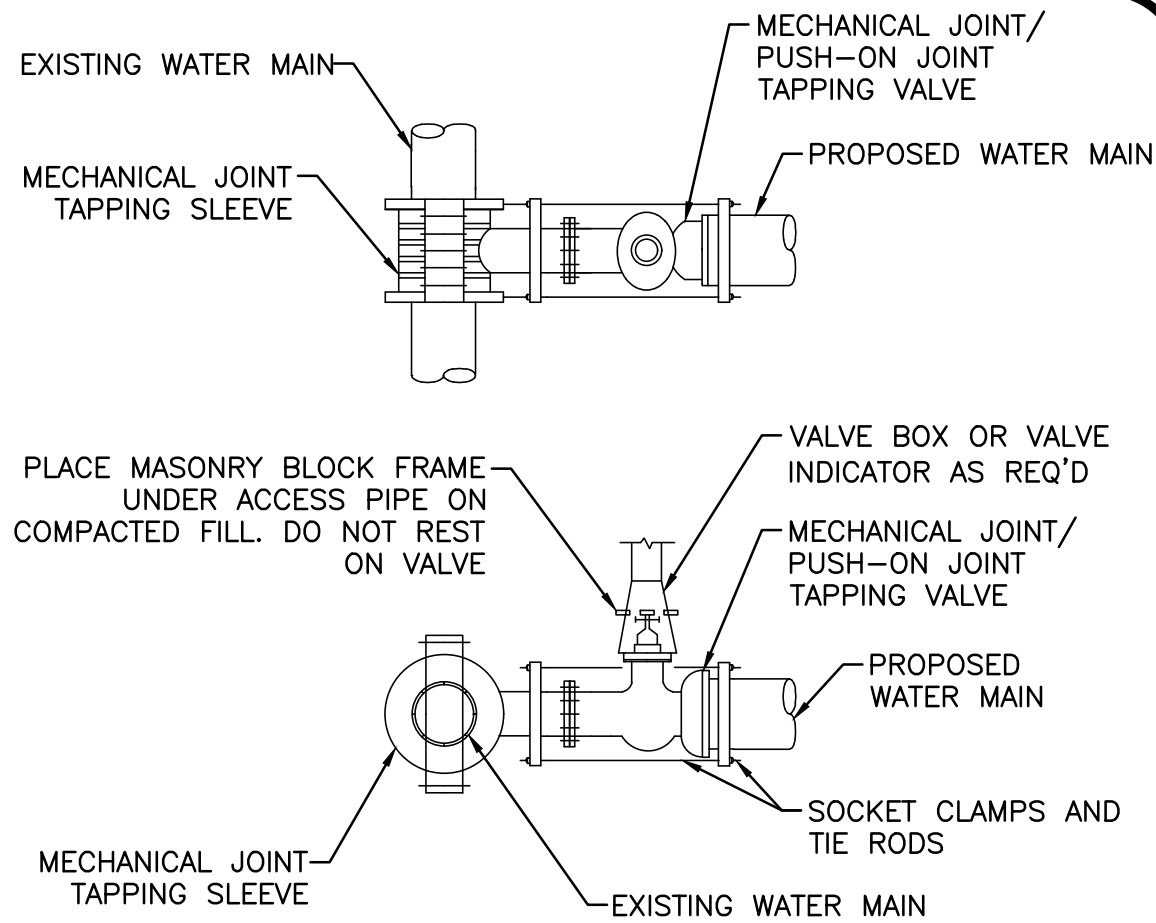
NOTES:

1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
3. SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
4. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
5. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
6. THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:

PIPE Ø	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYD. (SQ. FT.)
6"	5	3	3	4
8"	9	6	3	9
10"	13	7	4	12
12"	20	10	5	16

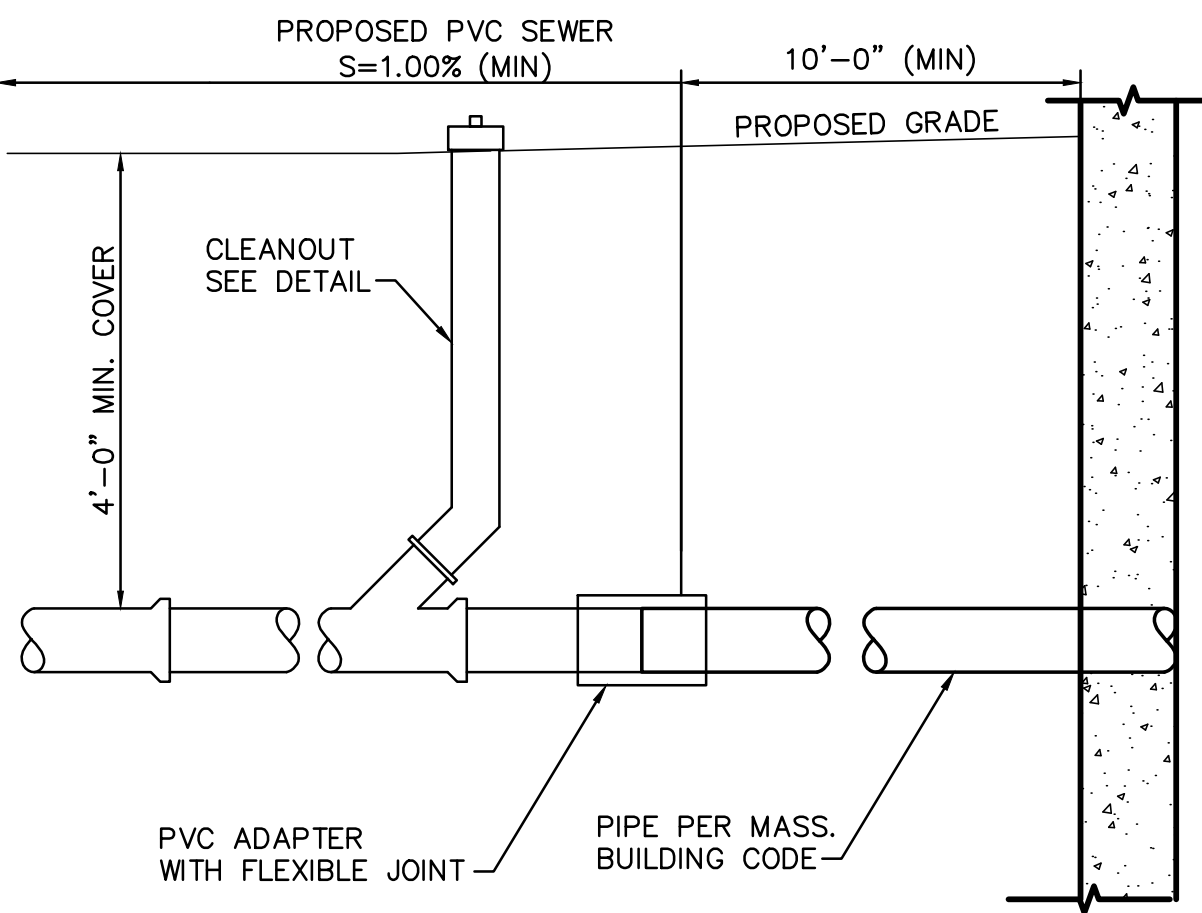
THRUST BLOCK DETAILS
NOT TO SCALE

2



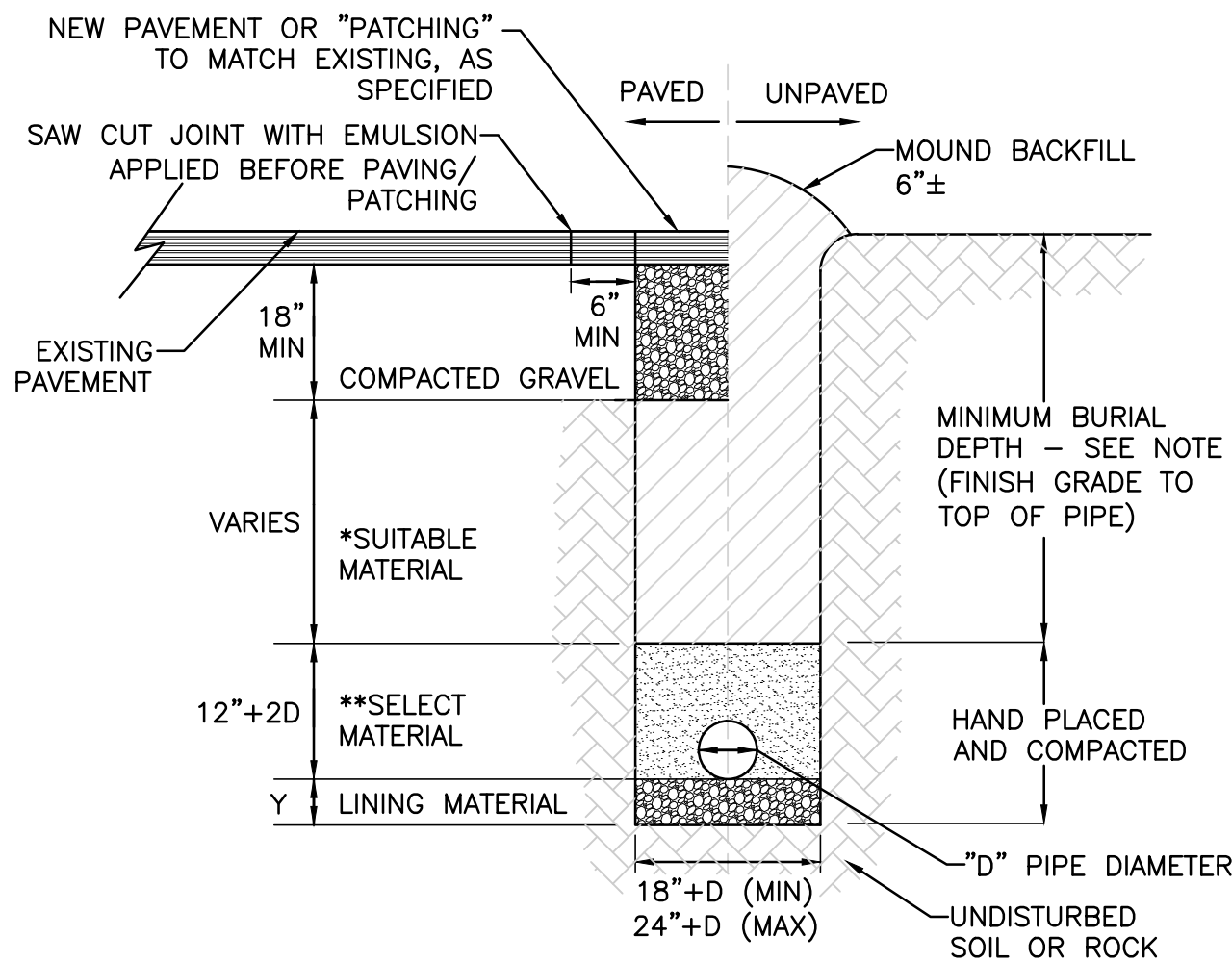
TAPPING SLEEVE AND VALVE
NOT TO SCALE

3



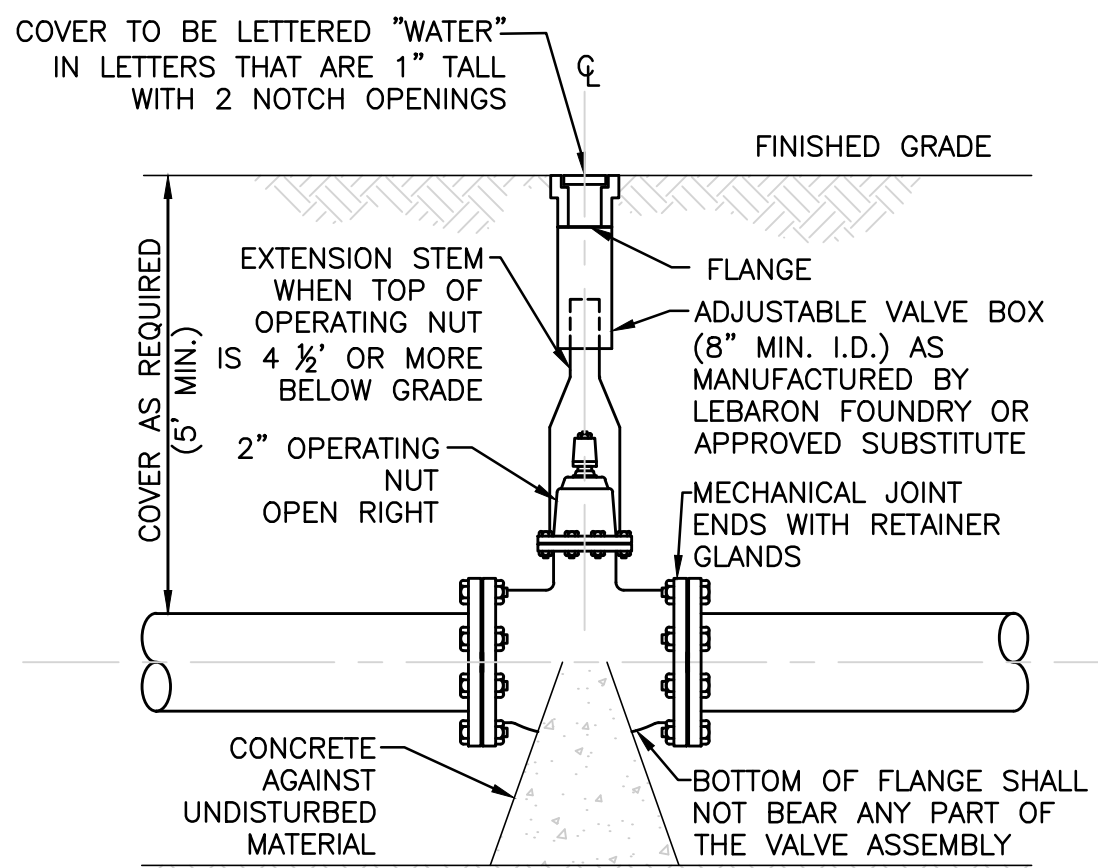
BUILDING SEWER SERVICE
NOT TO SCALE

4



TRENCH DETAIL
NOT TO SCALE

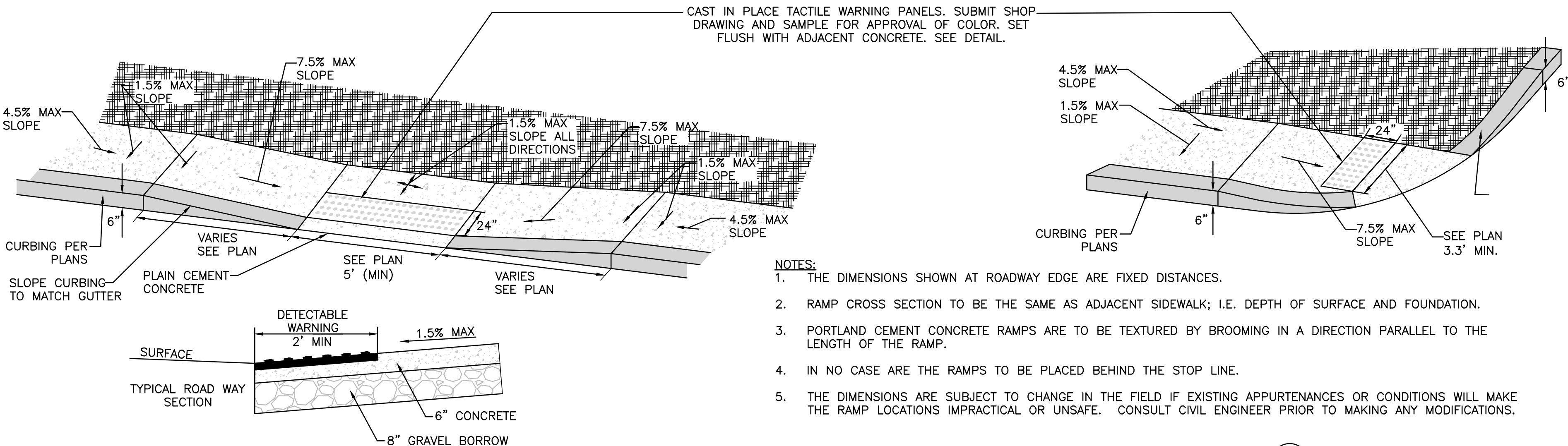
5



- NOTES:
1. CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
 2. HYDRANTS AND VALVES SHALL BE RIGHT TURN OPEN (OPEN RIGHT).

GATE VALVE
NOT TO SCALE

6



HANDICAP CURB CUT & CURB TRANSITION
NOT TO SCALE

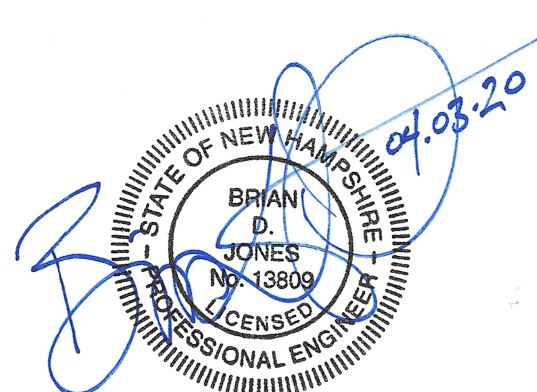
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DRAWING TITLE:

DETAILS

SHEET No.

C-503