



Conditional Use Permit Application

City of Rochester, New Hampshire

Date: April 28, 2020

Property information

Tax map #: 121/120 ; Lot #(s): 10,361 ; Zoning district: Downtown Commercial (DC)

Property address/location: 10 and 12 North Main Street

Name of project (if applicable): Scenic Theater / Salinger Mixed Use Development

Property owner

Name (include name of individual): City of Rochester, c/o Seth Creighton, Chief Planner

Mailing address: 31 Wakefield Street, Rochester, NH 03867-1916

Telephone #: 603-335-1388 (Planning & Development) Fax email: seth.creighton@rochester.net

Applicant/developer (if different from property owner)

Name (include name of individual): Chinburg Properties, Attn: Matt Assia, Director of Asset Management

Mailing address: 3 Penstock Way

Telephone #: 603-868-5995 x25 Fax #: email: massia@chinburg.com

Engineer/designer

Name (include name of individual): Brian D. Jones, PE - Allen & Major Associates, Inc.

Mailing address: 400 Harvey Road, Manchester, NH 03103

Telephone #: 603-627-5500 x 9622 Fax #: 603-627-5501

Email address: bjones@allenmajor.com Professional license #: 13809

Proposed Project

Please describe the proposed project: Redevelopment of the Scenic Theater/Salinger buildings located at 10 and

12 North Main Street into a mixed use project. The applicant intends to restore the street facades of the front portions of both

buildings while constructing a new 4-story building with parking below at the rear of the existing buildings to remain. There will be
51 residential units and approximately 2,300 square feet of commercial leasable space. The residential units are located on the first floor
and upper floors of the buildings, which requires a CUP in the Downtown Commercial Zone (See Section 20.2.K.4.a).

Please describe the existing conditions: The site is comprised of two parcels, both are predominantly covered
by existing buildings with minimal green space. Topography ranges from elevation 228 at the front to 220 along the rear. There is
a 20' wide right-of-way along the rear of the properties that provides vehicular access to Congress Street.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I (we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Signature of applicant/developer: Matt Asin Date: _____

Signature of agent: [Signature] Date: April 28, 2020

Date: April 28, 2020



ALLEN & MAJOR
ASSOCIATES, INC.

April 24, 2020

Seth Creighton, AICP
Chief Planner
City of Rochester Planning &
Development
33 Wakefield Street
Rochester, NH 03867

RE: A&M Project: 2748-01
10 & 12 North Main Street
Scenic Theater / Salinger
TRG Review
Response Letter

Dear Mr. Creighton:

Allen & Major Associates, Inc. (A&M), on behalf of Chinburg Properties, has prepared this letter in response to comments contained in the TRG's April 16, 2020 review of the proposed mixed-use redevelopment of 10 and 12 North Main Street. The TRG comments are reproduced below along with the design team's responses. Enclosed with this letter are copies of the revised site development plan set and drainage report. We have also enclosed the completed waiver request form for the on-site parking. We thank you in advance for your consideration.

Staff Comments:

DPW:

1. North Main Street is under a roadway Moratorium until 2023. Any disturbance to the paved travel way requires approval of the Public Works & Building Comm as well as City Council.

Response: The applicant is aware of this restriction and will avoid or limit the disturbance to North Main Street to the extent practicable. If any disturbance is required, the applicant will seek approval of the Public Works, Building Comm, and City Council as required. A note regarding the roadway Moratorium has been added to Sheet C-104.

2. Clarify/explain the need for (2) water service connections to the proposed building at front and back of the property.

Response: Upon further review by the design team, only a single water service connection is proposed for the project. The applicant's preferred alternative is for a water connection at the rear of the property in the 20' Right-of-Way, which avoids disturbance to North Main Street. The applicant will determine whether adequate pressure and capacity are available within this waterline by performing a hydrant flow test. This option has been labeled as "Water Alternative #1" on the site plan set. If there is not adequate capacity and pressure within the waterline at the rear, the applicant will construct a new water service connection to North Main Street and seek the appropriate approvals for the roadway disturbance. This option has been labeled as "Water Alternate #2" on the site plan set.

3. Investigate the potential for reuse of the existing sewer service and/or potential lining of the service if required. Service connections shall be to the main. Connections to sewer manholes are discouraged.

Response: The design team has discussed this alternative and will reuse the existing sewer service(s) provided the capacity and condition are acceptable to the applicant and the City of Rochester DPW. Notes have been added to Sheet C-104 Utility Plan, stating that the applicant will perform cleaning and CCTV inspection of the existing building sewer service(s) to North Main Street. The results of the CCTV inspection will be provided to the Rochester DPW for review. If the existing sewer

service(s) are acceptable or can be re-habilitated to an acceptable level using a slip-line, then the existing sewer service(s) will be re-used. This option has been labeled as "Sewer Alternate #1". If the existing sewer service(s) are determined to be un-acceptable, then the Applicant will construct a new sewer service replacing the existing and seek the appropriate approvals for the roadway disturbance. This option has been labeled as "Sewer Alternate #2".

4. Provide sewer design flow calculations.

Response: Using the flow rates provided in NH Env-Wq 1000, the sewer design flow calculations are as follows:

From Table 1008-1 Design Flows

<i>Commercial Space (Stores, Dry Goods, stand-alone)</i>	<i>5 GPD / 100 square feet</i>
<i>Apartments (1 bedroom or studio)</i>	<i>225 GPD / bedroom</i>
<i>Apartments (2 or more bedrooms per apartment)</i>	<i>150 GPD / bedroom</i>

Sewer Flow Calculation:

<i>(2,300± square feet Commercial Space) x (5GPD/100 square feet)</i>	<i>= 115 GPD</i>
<i>(48 apartment units) x (1 bedroom/studio) x (225 GPD)</i>	<i>= 10,800 GPD</i>
<i>(3 apartment units) x (2 bedrooms) x (150 GPD)</i>	<i>= 900 GPD</i>
<i>TOTAL SEWER FLOW:</i>	<i>= 11,815 GPD</i>

5. Domestic water service and fire flow service connections will be required to have permitted backflow prevention devices.

Response: A note has been added to Sheet C-104 stating that the water service and fire flow service connections will require City of Rochester approved backflow prevention devices.

6. Roof top runoff appears to be directed to a "Private" drainage system at the rear of the property.

Response: The existing stormwater runoff from the property flows to a catch basin at the rear of the building within the 20' wide Right-of-Way by a direct connection and surface flow. This stormwater discharge point is maintained in the proposed condition. In the proposed condition, the runoff rates are slightly reduced due to the increased landscape area associated with the re-development. Stormwater from the catch basin flows in a southerly direction from the Right-of-Way by a 12" drain pipe towards the Cocheco River.

7. Post-development flow is not routed to its ultimate discharge point...i.e. Cocheco River.

Response: The drainage design has been revised to eliminate the drainage connection to North Main Street (See Sheet C-103). All post-development flow is routed towards the catch basin at the rear of the site and then to the Cocheco River, which is the ultimate discharge point.

8. DPW Permits Required: Demolition, Excavation, Drainage, Water Connection (if New), Sewer Connection (if New) and Sewer Assessment. Fees to be waived.

Response: Understood.

Planning Department:

1. Please add landscaping at the rear, in the form of trees and shrubs and flower gardens. The trees are to be placed to help screen the parking area. Please add location, quantity, size, and specie of plantings to the plan. (Site Plan Regulation Article III Section 2.H.3 and Section 5).

Response: A detailed landscape plan has been prepared and added to the Site Plan Set. The drawings include the location, quantity, size, and species of the plantings. See Sheets L-101 and L-501.

2. Add a note to the plans stating that snow is to be hauled offsite (because there is no room for onsite storage, per Site Plan Regulation Article III Section 9.C.7).

Response: A note regarding snow removal has been added to Sheet C-102 as requested.

3. Please commit to bicycle storage, via a bike rack or interior bicycle storage area(s); add such note to the plans (per Site Plan Regulation Article III Section 11.B).

Response: A note regarding bicycle storage areas has been added to Sheet C-102 as requested.

- 4a. Architectural design review is being referred to the Historic District Commission. Please meet with Planning Staff before submitting the application; and ensure that rear façade looks good because this may become a second frontage in the near future.

Response: The applicant will meet with Planning Staff as recommended.

- 4b. Please list what Energy/Water Conservation etc... factors will be incorporated. (Per Site Plan Regulation Article III Section 2.F.11)

Response: The building will designed to meet or exceed the International Energy Code as adopted by the State of NH.

5. Two dumpsters are proposed at the rear of the site, and are called out to be screened by stockade fencing. Per Site Plan Regulation Article III Section 9.D:

a) Unless the applicant agrees beforehand, Staff suggests the Planning Board discuss requiring the dumpsters to be placed in the covered parking area (the dumpsters can be wheeled dumpsters, like those that are shared by the City Hall/Annex/Police/Fire/Revenue buildings. If the PB doesn't support that, Staff suggests the fencing be changed to a brick-walled enclosure with swinging composite stockade/artistic art gates.

b) If PB doesn't support that, Staff suggests the enclosure be composite stockade fencing, instead of wood. Please show add a dumpster pad detail to the plans that include Positive Limiting Barriers (V-grooves) around the perimeter.

c) Please explain/show plans for collecting recyclables.

Response: The applicant is amenable to providing a solid-walled enclosure and is working with the project architect to develop a design that compliments the building façade and meets the approval of the Historic District Commission. The trash enclosure includes two containers, one of these containers, labeled "R" on the site plan, is dedicated for recyclable materials using single sort. The second container, labeled "T" on the site plan, is for non-recyclable refuse.

6. Please submit a completed Waiver Request (for parking, see above).

Response: Enclosed with this letter is the completed Waiver Request Form for parking.

7. Change the plan title and address references from 10 & 14 No. Main St, to 10 & 12 No. Main St.

Response: The plan title and address references have been revised as requested.

Police Department:

1. Exterior lighting details and photometric plans are needed, for the rear of the garage and rear of the building and along the side of the garage where the sidewalk is located). Per Site Plan Regulation Article III Section 6).

Response: Site lighting will be provided by building mounted lights only. There are no free-standing pole lights. The locations of the building mounted lights will be shown on the architectural drawings. A photometric plan will be provided with the site electrical drawings.

2. Video security for the building, particularly in these areas at the back of the building, is warranted, please inform the Deputy Police Chief on your intentions. Per Site Plan Regulation Article III Section 12.D, Public Health and Safety.

Response: There will be CCTV video cameras at every door and on all sides of the building.

Assessing Department:

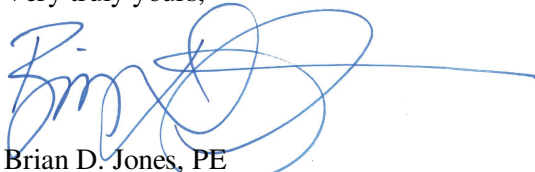
1. Address assignment, using E-911 standards, will be administered by staff. Address and units numbers will need to be in place before a CO is issued, and address numbers will need to be posted prior to and throughout construction. Please consult the Deputy Fire Chief on appropriate size and placement of address numbers.

Response: Understood.

2. All deeds should be reviewed by the City before they get recorded at the Registry, to avoid any errors.

Response: Understood.

Very truly yours,



Brian D. Jones, PE
Senior Project Manager

ALLEN & MAJOR ASSOCIATES, INC.

Attachments:

1. Site Plan Review Plan Set, revised April 24, 2020
2. Site Plan Waiver Request Form

Cc:

Chinburg Properties



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name: 10 & 12 North Main Street (Scenic Theater / Salinger Buildings)

Case #: To be determined

Subdivision: _____ Lot line revision: _____ Site Plan: X Minor Site Plan: _____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

A waiver is requested to Article III, Section 10(A) Number of Required Parking Spaces

Reason/justification(s) for waiver request: The applicant is providing 14 spaces onsite and requesting a waiver for the other 38 required parking spaces. The applicant has a legal agreement to lease 45 parking spaces from the City, within one or more of the City's adjacent parking lots on Congress Street. The agreement states, 'The parking lease shall be for an initial base term of twenty (20) years and shall include three 5-year extension options to be exercised at applicant's sole discretion'.

Name of applicant or agent filling out this form: Brian D. Jones, P.E. (Allen & Major)

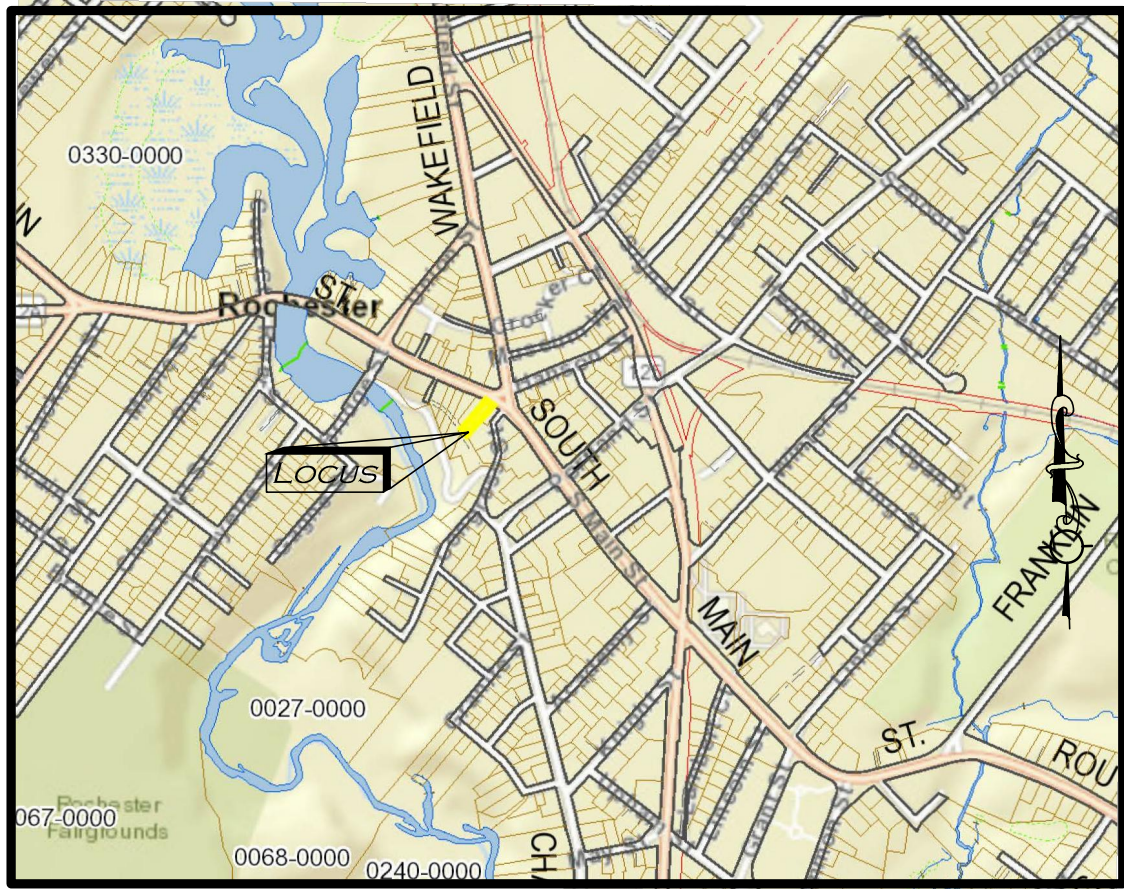
Applicant? _____ Agent? X Today's date: April 24, 2020

----- Office use below -----

Waiver approved: _____ Waiver denied: _____

Comments: _____

Signature: _____ Date: _____



LOCUS MAP
SCALE: 1" = 1000'

APPLICANT/ARCHITECT:
CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857
(603) 868-5995

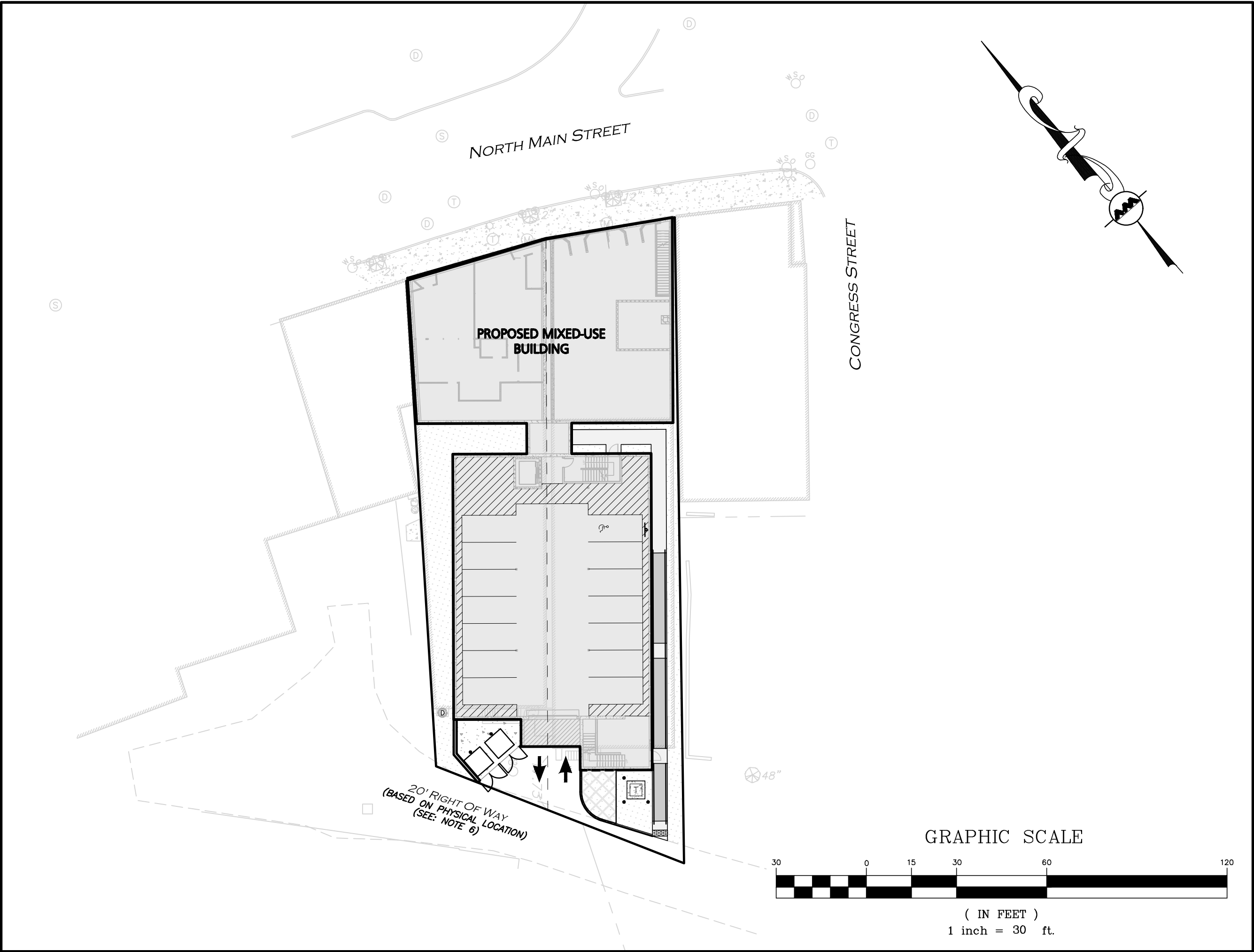
CIVIL ENGINEER/ LAND SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103
(603) 627-5500

SITE DEVELOPMENT PLAN SET

MIXED-USE DEVELOPMENT

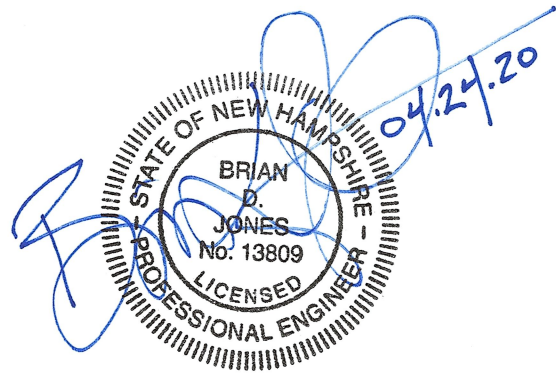
10-14 NORTH MAIN STREET

ROCHESTER, NH 03867



LIST OF DRAWINGS

DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS	V-101	4/03/2020	-
SITE PREPARATION PLAN	C-101	4/03/2020	-
LAYOUT & MATERIALS PLAN	C-102	4/03/2020	4/24/2020
GRADING & DRAINAGE PLAN	C-103	4/03/2020	4/24/2020
UTILITIES PLAN	C-104	4/03/2020	4/24/2020
LANDSCAPE PLAN	L-101	-	4/24/2020
LANDSCAPE DETAILS	L-501	-	4/24/2020
DETAILS	C-501	4/03/2020	-
DETAILS	C-502	4/03/2020	-
DETAILS	C-503	4/03/2020	4/24/2020



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering ♦ land surveying environmental
consulting ♦ landscape architecture
www.allenmajor.com

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MANCHESTER, NH 03103
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WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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APPROVED - CITY PLANNING STAFF

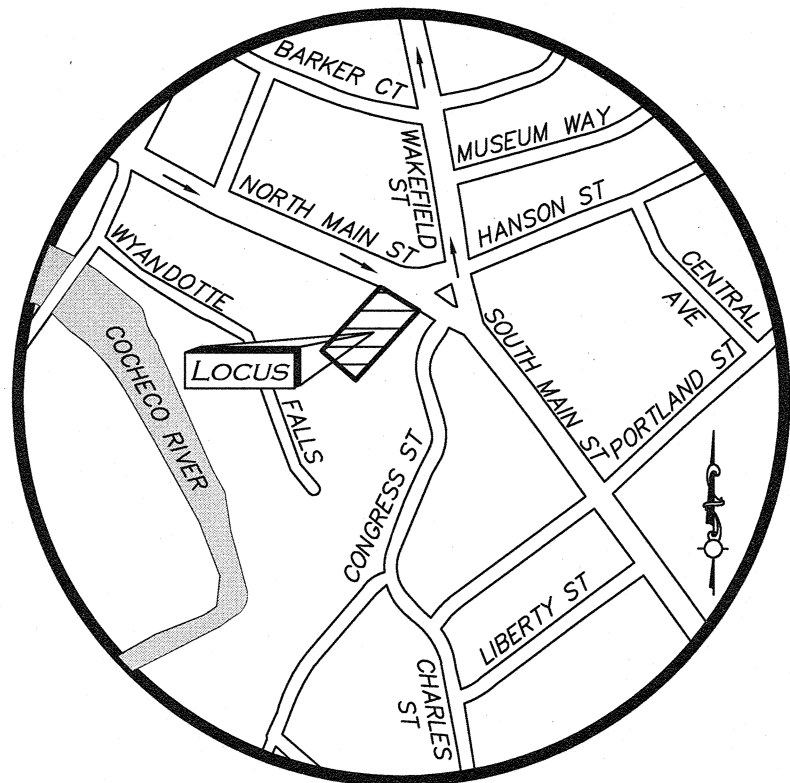
CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

ISSUED FOR PLANNING REVIEW: APRIL 3, 2020

PLANNING SUBMISSION REVISION 1: APRIL 24, 2020



LOCUS MAP
(NOT TO SCALE)

LOCUS REFERENCES

-CITY OF ROCHESTER ASSESSORS MAP 120, LOT 361 & MAP 121, LOT 10 -S.C.R.D. BOOK 4579, PAGE 786 AND BOOK 4528, PAGE 898.
-PLAN ENTITLED, "PLAN SHOWING LINES, AS ESTABLISHED BY AGREEMENT, BETWEEN SCENIC THEATRE PROPERTY OWNED BY LOUIS H. MCDUFFEE AND HARRISON HALE PROPERTY OWNED BY LESLIE P. SNOW, ROCHESTER, N.H.", SCALE: 1"=10', DATE: FEBRUARY, 1924, PREPARED BY: ORRIN M. JAMES, C.E. AND ON FILE AT THE NH ARCHIVES IN THE ORRIN M. JAMES COLLECTION AND IS ALSO KNOWN AS PLAN #1102, BOOK #83, PAGE 68.

PLAN REFERENCES

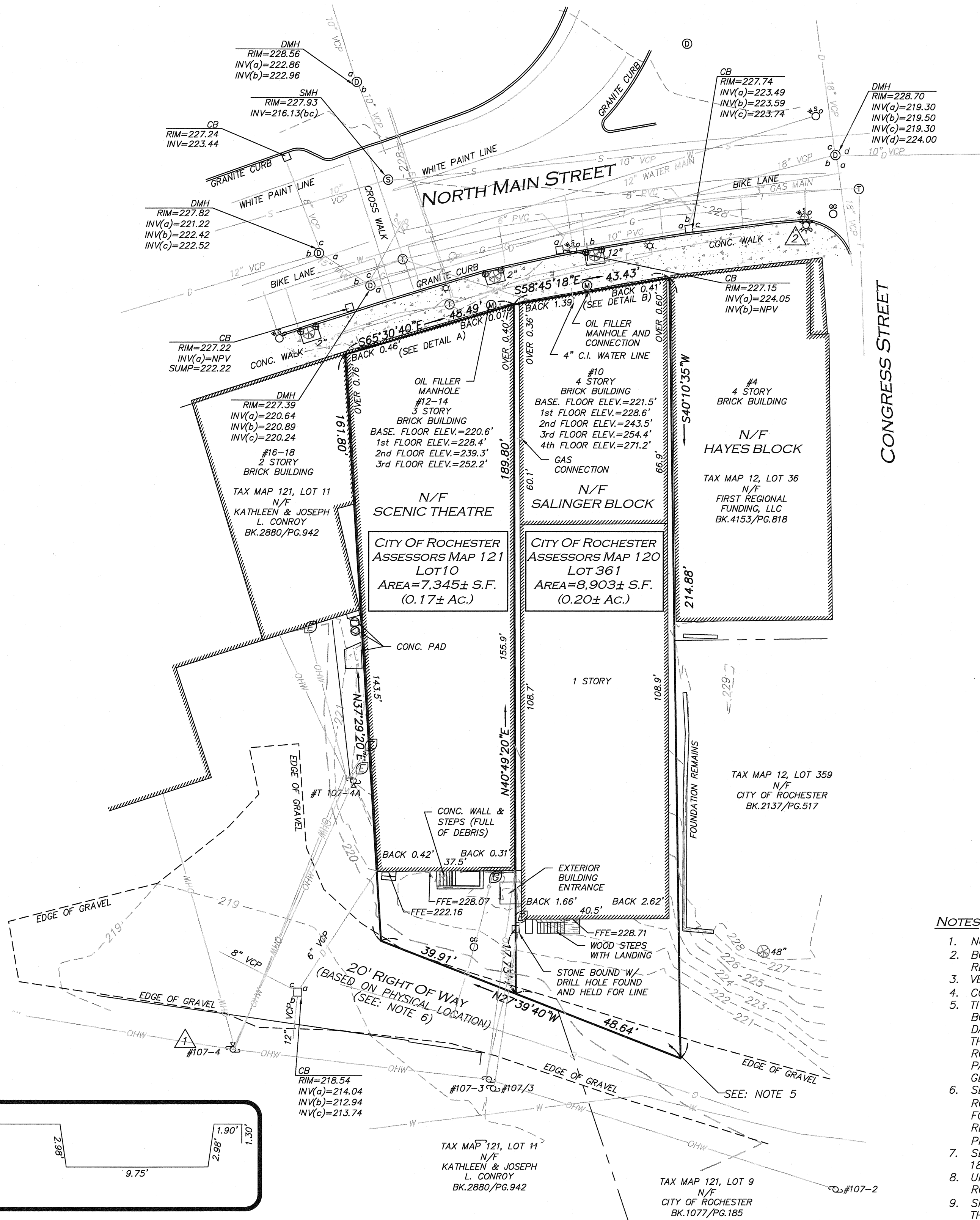
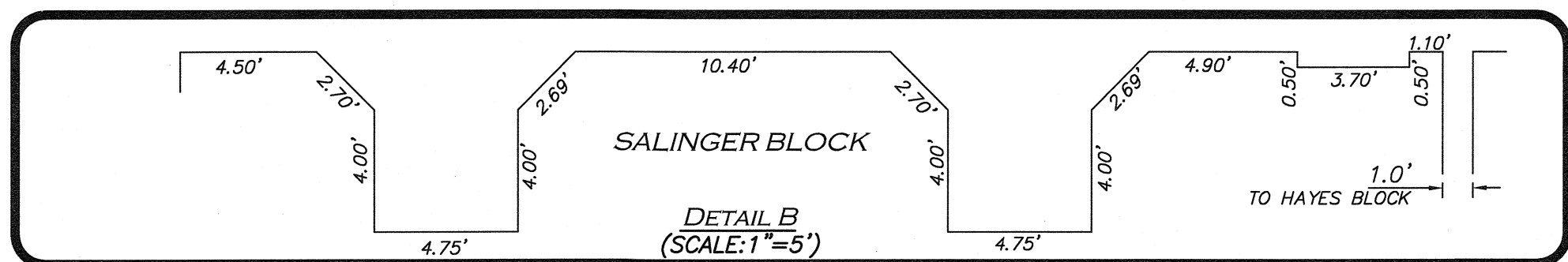
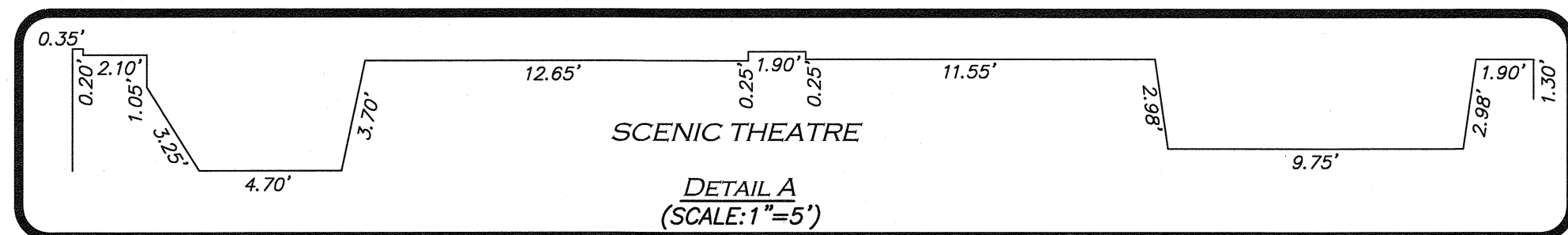
-PLAN ENTITLED, "PROPOSED SUBDIVISION OF LAND OF SNOW PROPERTIES RICHARD SNOW, AGENT NORTH MAIN STREET ROCHESTER, N.H.", SCALE: 1"=20', DATE: JUNE 14, 1978, PREPARED BY: BY BERRY CONSTRUCTION, CO. RECORDED AS S.C.R.D. PLAN # 19-29.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
1	CHISEL SQUARE ON CONC. TRANSFORMER PAD	219.43
2	X-CUT ON HYDRANT FLANGE BOLT	230.94



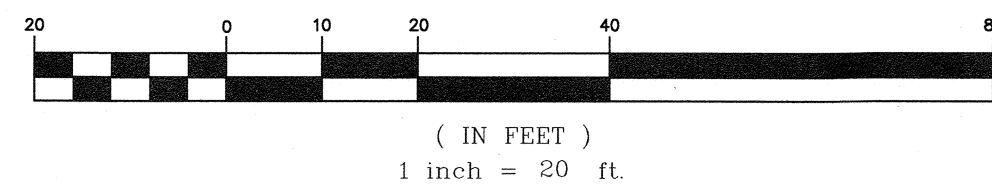
LEGEND

STONE BOUND (SB)	□
DRAIN MANHOLE (DMH)	⊙
SEWER MANHOLE (SMH)	⊙
MISC. MANHOLE (MH)	⊙
TELEPHONE MANHOLE (TMH)	⊙
CATCH BASIN (CB)	□
UTILITY POLE	⊙
UTILITY POLE W/LIGHT	⊙
GUY WIRE	—
FIRE HYDRANT	⊙
WATER GATE	⊙
GAS GATE	⊙
BOLLARD	⊙
TREE	⊙
GAS METER	⊙
ELECTRIC METER	⊙
SIGN	⊙
HANDICAPPED PARKING SPACE	⊙
LIGHT	⊙
CONCRETE	⊙
BUILDING	⊙
EASEMENT LINE	⊙
1' CONTOUR	⊙
5' CONTOUR	⊙
PROPERTY LINE	⊙
EDGE OF PAVEMENT	⊙
EDGE OF GRAVEL	⊙
CURB	⊙
WATER LINE	⊙
SEWER LINE	⊙
DRAIN LINE	⊙
OVERHEAD WIRES	⊙
BUILDING HEIGHT	BH
BITUMINOUS	BIT.
CONCRETE	CONC.
GRANITE	GRAN.
BOTTOM CENTER	(BC)
REINFORCED CONCRETE PIPE	RCP
FINISHED FLOOR ELEVATION	FFE
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

NOTES

1. NORTH ARROW IS BASED ON NEW HAMPSHIRE GRID COORDINATE SYSTEM (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM STRAFFORD COUNTY REGISTRY OF DEEDS IN DOVER, NH
3. VERTICAL DATUM IS NAVD 88.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. TITLE TO THIS PORTION OF 10 NORTH MAIN STREET WAS LAST REFERENCED IN BOOK 572, PAGE 490 JOSEPH MICHAEL TO JOSEPH MICHAEL REALTY CORP., DEED DATED JULY 22, 1949. THIS REAR PORTION OF WHAT WAS KNOWN AS PART OF THE SALINGER BLOCK WAS NEVER CARRIED FORWARD BY DEED INTO THE CITY OF ROCHESTER. THE CITY STILL MAY HAVE ACQUIRED IT UNDER S.C.R.D. TAX BOOK 4, PAGE 85 OR TAX BOOK 5, PAGE 29. THE DESCRIPTION IN THESE BOOKS ARE GENERAL IN NATURE AND DO NOT SPECIFICALLY DESCRIBE THE TRACT.
6. SEE: S.C.R.D. BOOK 485, PAGE 495, NORMA C. SNOW & CONRAD E. SNOW TO ROCHESTER THEATRE CO., "CONVEYING PART OF THE HARRISON HALE LAND FORMERLY OWNED BY LESLIE P. SNOW AND ALSO WITH A RIGHT TO PASS AND REPASS ON FOOT OR VEHICLES FROM SAID TRACT HEREBY CONVEYED OVER PRIVATE WAY TO CONGRESS STREET," DEED DATED: DECEMBER 02, 1938.
7. SEE: S.C.R.D. BOOK 409, PAGE 472, BOUNDARY LINE AGREEMENT DATED MARCH 18, 1924.
8. UNDERGROUND UTILITIES SHOWN HEREON WERE TAKEN FROM THE CITY OF ROCHESTER GIS DATABASE AND SHOULD BE CONSIDERED APPROXIMATE.
9. SITE IS LOCATED WITHIN FEMA FLOODZONE "X", AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. FEMA FIRM STRAFFORD COUNTY, NEW HAMPSHIRE, PANEL 211 OF 405, MAP NUMBER 33017C0211D, EFFECTIVE DATE MAY 17, 2005.

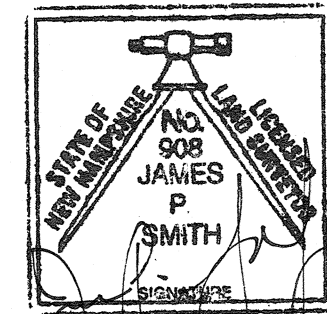
GRAPHIC SCALE



R:\PROJECTS\2748-01\SURVEY\DRAWINGS\CURRENT\S-2748-01-EC.DWG

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN SEPTEMBER 11, 2018 AND MARCH 6, 2020 AND HAD AN ERROR OF CLOSURE OF NO GREATER THAN 1/10,000.

ALLEN & MAJOR ASSOCIATES, INC.



JAMES P. SMITH-NH LLS #908

4/03/2020 DATE

REV	DATE	DESCRIPTION
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APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

#10-14
NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2547-01	DATE:	3/13/20
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SCALE:	1" = 20'	DWG. NAME:	S-2547-01-EC
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DRAFTED BY:	AJR	CHECKED BY:	JPS
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PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500
FAX: (603) 627-5501

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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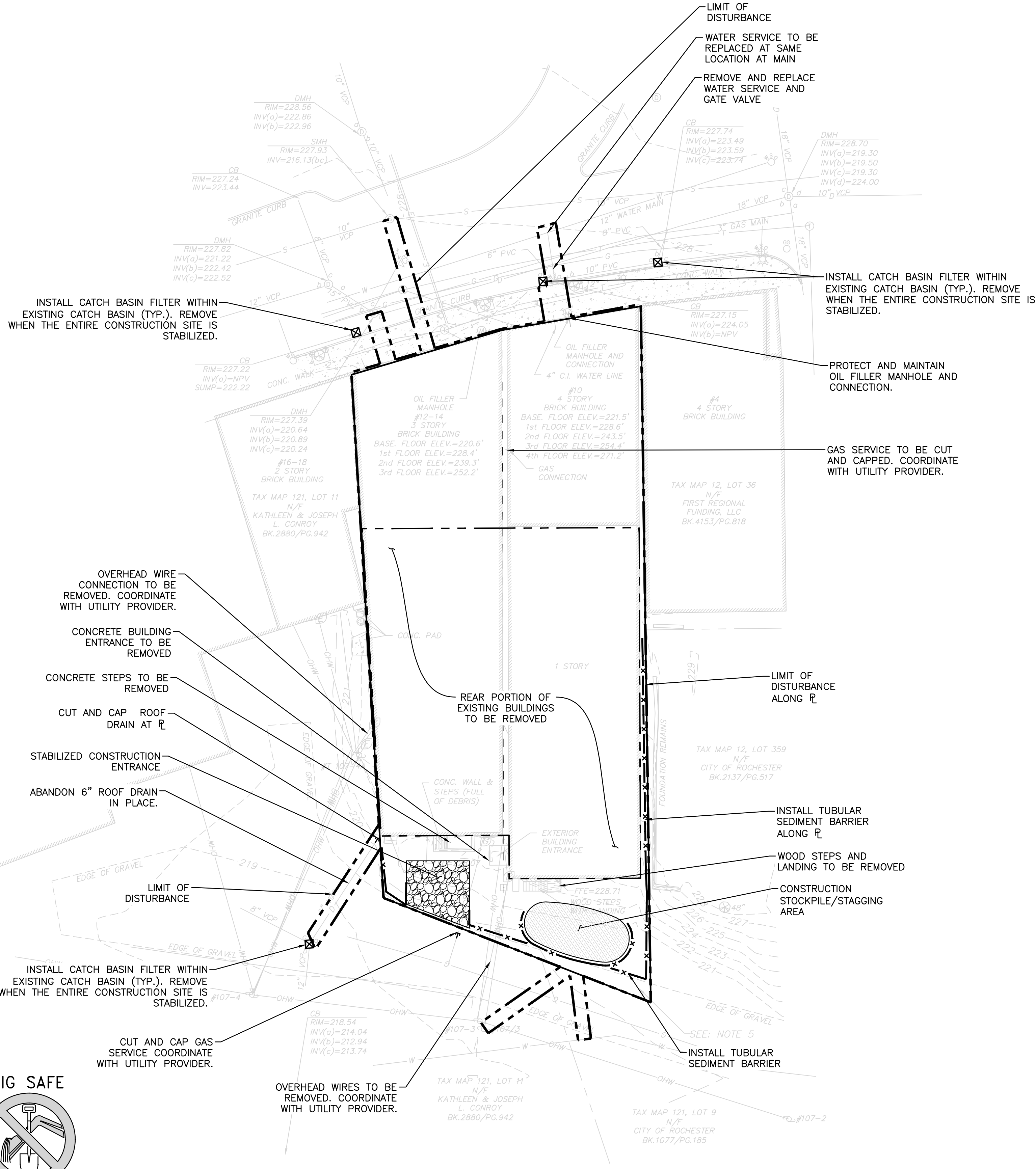
DRAWING TITLE:	SHEET No.
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EXISTING CONDITIONS

V-101

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R:\PROJECTS\2748-01\CIVIL\DRAWINGS\CURRENT\2748-01_SITE-PREP.DWG

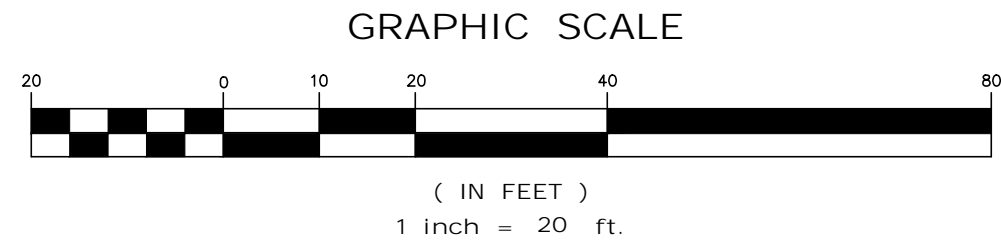


LEGEND

TUBULAR BARRIER	— x — x —
CATCH BASIN FILTER	⊠
STABILIZED ENTRANCE	▨
STOCKPILE/STAGING AREA	▨
LIMIT OF DISTURBANCE	— · — · —
BUILDING TO BE REMOVED	— · — · —
UTILITY CUT AND CAP	E

SITE PREPARATION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. EXISTING WATER AND SEWER CONNECTIONS SHALL BE CUT AND CAPPED IN ACCORDANCE WITH CITY REQUIREMENTS.
5. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
6. ALL CATCH BASINS AND AREA DRAINS SHALL HAVE A FILTER INSTALLED IMMEDIATELY, AND THE FILTER SHALL BE REMOVED WHEN THE ENTIRE SITE IS STABILIZED.



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____

BRIAN D. JONES
No. 18809
LICENSED PROFESSIONAL ENGINEER - NH

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	1" = 20'	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
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MANCHESTER, NH 03103
TEL: (603) 627-5500
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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DRAWING TITLE:	SHEET No.
SITE PREPARATION PLAN	C-101

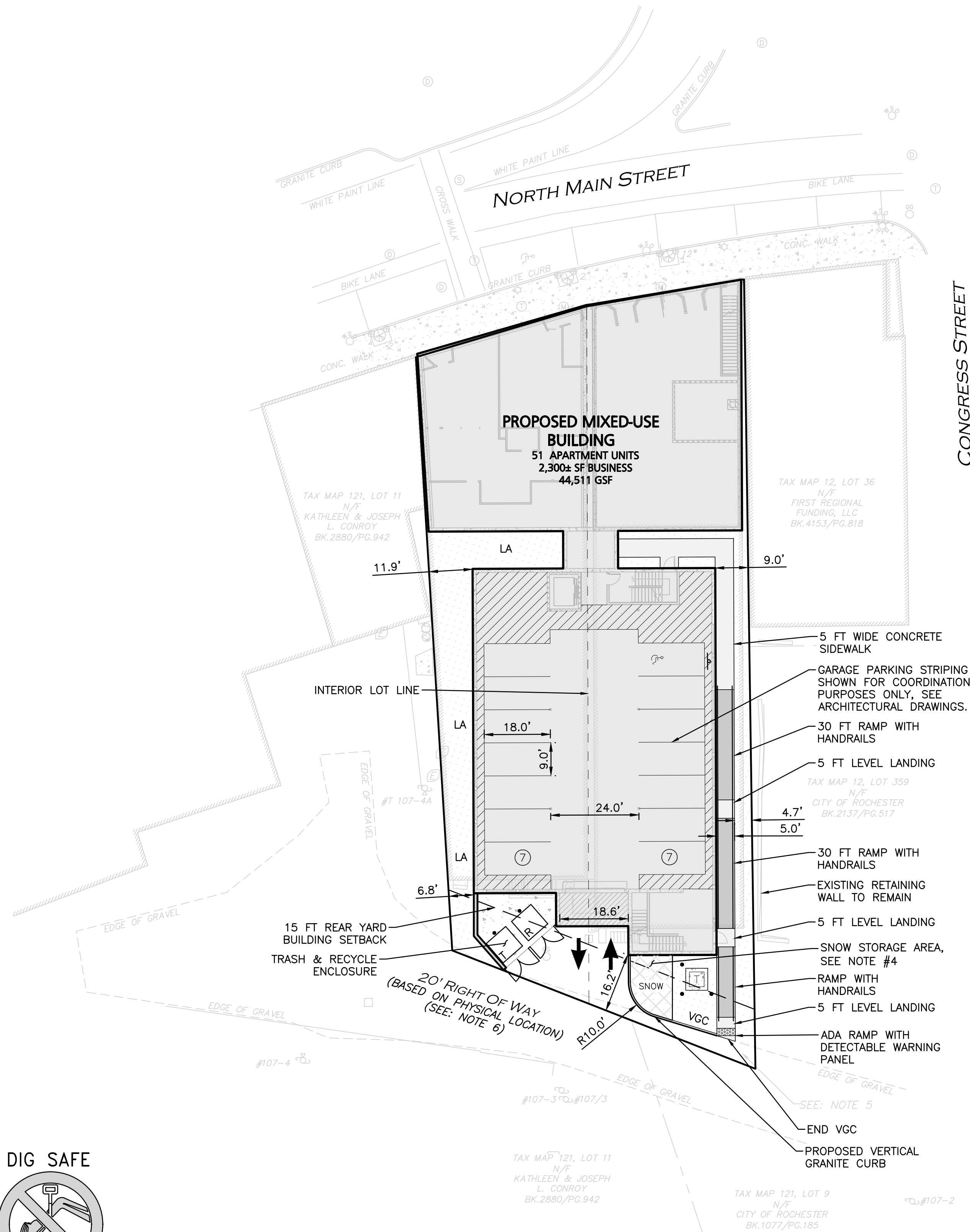
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R:\PROJECTS\2748-01\CIVIL\DRAWINGS\CURRENT\2748-01_LAYOUT & MATERIALS.DWG

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CONGRESS STREET

ZONING SUMMARY TABLE DOWNTOWN COMMERCIAL (DC), SPECIAL DOWNTOWN OVERLAY DISTRICT (SDOD)

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 SF	16,248 SF	16,248 SF
MINIMUM FRONTAGE	40 FT	91.9± FT	91.9± FT
MINIMUM LOT AREA PER DWELLING UNIT	0 SF ⁽²⁾	N/A	318 SF ⁽²⁾
MAXIMUM IMPERVIOUS LOT COVERAGE	--	85.8%	83.9%
MINIMUM FRONT YARD SETBACK	NONE	0 FT	0 FT
MINIMUM SIDE YARD SETBACK	NONE	0 FT	0 FT
MINIMUM REAR YARD SETBACK	15 FEET	19.7 FT	16.2 FT
MAXIMUM NUMBER OF STORIES	5	5	5
MINIMUM NUMBER OF STORIES	2	5	5
MAXIMUM HEIGHT	--	TBD	TBD
MINIMUM HEIGHT	20 FT	>20 FT	>20 FT

ZONING TABLE NOTES:

- TABLE 18-A RESIDENTIAL USES, DWELLING, APARTMENTS (APARTMENT/MIXED-USE BUILDING), IS PERMITTED (P) WITHIN THE DOWNTOWN COMMERCIAL ZONE (DC).
- ARTICLE 19. DIMENSIONAL REGULATIONS, 275-19.2 DIMENSIONAL PROVISIONS, E. (1), THERE IS NO MINIMUM LOT AREA PER DWELLING UNIT WITHIN THE DOWNTOWN COMMERCIAL (DC) ZONE DISTRICT...
- AMENDMENT TO CHAPTER 275 OF THE GENERAL ORDINANCES OF THE CITY OF ROCHESTER REGARDING RESIDENTIAL USES WITHIN THE DOWNTOWN COMMERCIAL DISTRICT 4) DOWNTOWN COMMERCIAL DISTRICT. WITHIN THE DOWNTOWN COMMERCIAL (DC) DISTRICT, MULTIFAMILY IS ALLOWED WITH THE FOLLOWING RESTRICTIONS: A) FOR PARCELS FRONTING ON THE STREETS NOTED BELOW, GROUND FLOOR SPACE OF 30' MULTIPLIED BY THE BUILDING FRONTAGE, OR (700 SQ. FT.), WHICHEVER IS GREATER, SHALL BE RESERVED FOR NON-RESIDENTIAL USES AS PERMITTED IN THE DC DISTRICT, UNLESS OTHERWISE REQUIRED TO COMPLY WITH STATE BUILDING CODE AND/OR FIRE CODE. ANY AREA EXCLUDED DUE TO BUILDING CODE AND/OR FIRE CODE SHALL NOT COUNT TOWARD THE MINIMUM. THIS APPLIES TO THE ENTIRE PORTION OF THE BUILDING FRONTING ON THE STREET. THE REMAINING AREA OF THE FIRST FLOOR MAY CONTAIN RESIDENTIAL UNITS AS A CONDITIONAL USE.
- THE PARCELS ARE LOCATED WITHIN THE HISTORIC OVERLAY, SPECIAL DOWNTOWN OVERLAY, AND THE DOWNTOWN COMMERCIAL DISTRICT.

PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.0 SPACE PER BEDROOM	47	14
	47 X 1 = 47 REQUIRED		
	0.75 SPACE PER STUDIO UNIT		
BUSINESS USE	7 X 0.75 = 5.25 REQUIRED	N/A	N/A
	NO MINIMUM		
	2,300± SF		
		52	14

ADA SPACES REQUIRED:

(15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.

PROVIDED 1 ADA SPACE

PARKING TABLE NOTES:

- SECTION 10 - PARKING AND CIRCULATION, (E) PARKING LOT DESIGN, (A) STANDARD PARKING STALL SHALL BE 9'X18', AND THE DRIVE AISLE FOR 90 DEGREE PARKING SHALL BE 24 FEET FOR TWO-WAY CIRCULATION.
- ADDITIONAL OFF-STREET PARKING ADDRESSED WITHIN THE DEVELOPMENT AGREEMENT WITH THE CITY OF ROCHESTER.

LEGEND

PROP. PROPERTY LINE

SIGN

BOLLARD

BUILDING

BUILDING ARCHITECTURE

BUILDING INTERIOR WALLS

CURB

RETAINING WALL

PARKING STRIPING

ROADWAY STRIPING

SIDEWALK

ADA ACCESSIBLE RAMP

ADA DET. WARNING SURFACE

SNOW STORAGE

SETBACK LINE

SAW-CUT LINE

HEAVY DUTY CONCRETE

TRANSFORMER

PARKING COUNT

NOTES

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES. (603) 627-5500.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- SNOW IS TO BE REMOVED FROM THE SITE WHEN THERE IS NOT SUFFICIENT SPACE ON SITE OR WHEN THERE WILL NOT BE SUFFICIENT SPACE IN THE EVENT OF EXCESSIVE SNOW FALL.
- BICYCLE PARKING AREA WILL BE PROVIDED WITHIN THE PARKING GARAGE, SEE ARCHITECTURAL DRAWINGS.

GRAPHIC SCALE



(IN FEET)

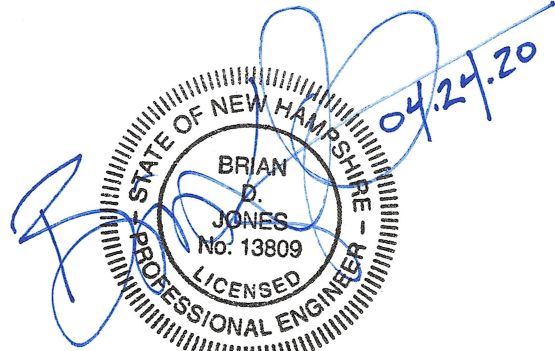
1 inch = 20 ft.

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
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DESIGNED BY: ARM CHECKED BY: BDJ

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DRAWING TITLE:

LAYOUT & MATERIALS PLAN

SHEET No.

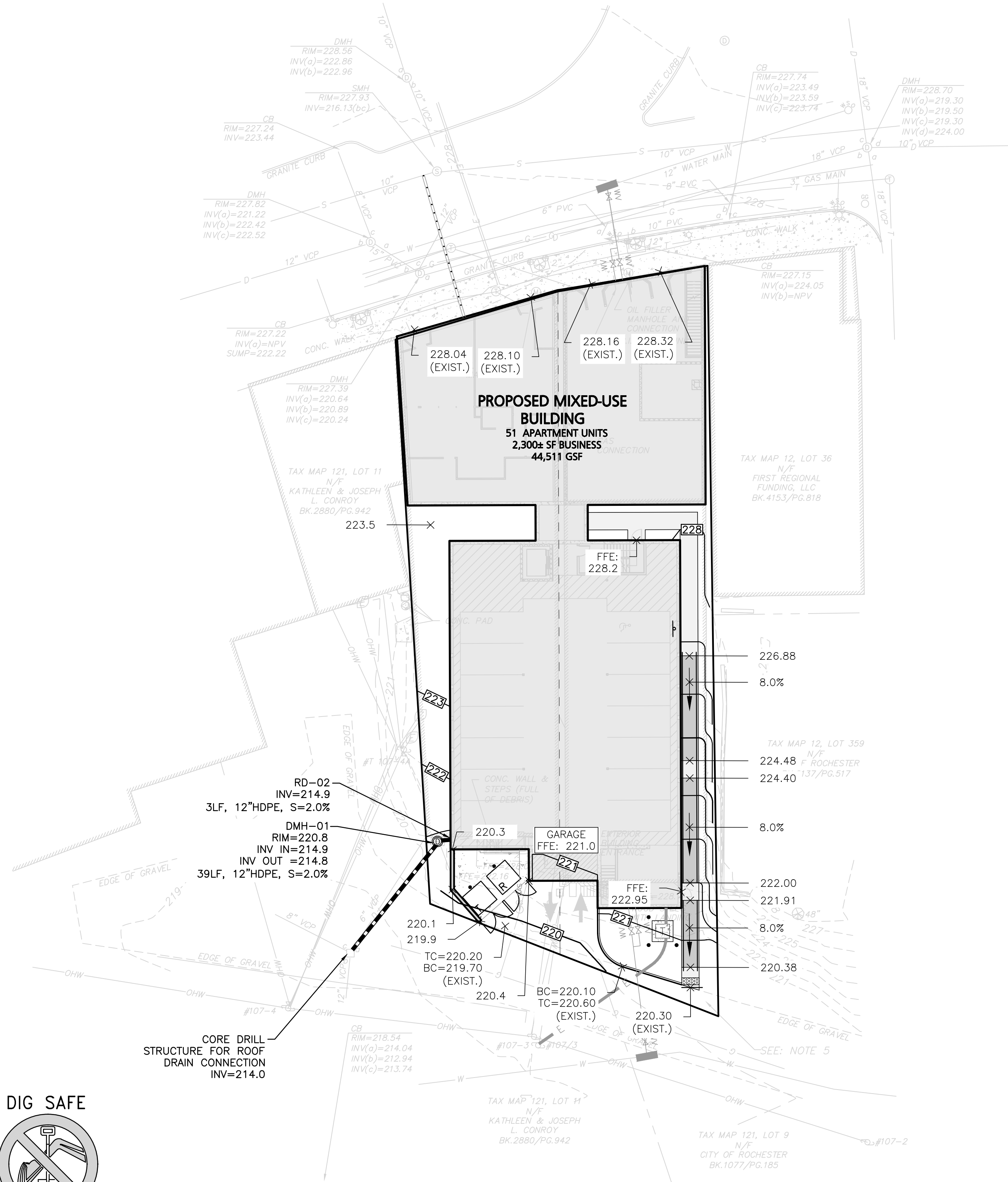
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R:\PROJECTS\2748-01 CIVIL\DRAWINGS\CURRENT\2748-01 GRADING & DRAINAGE.DWG



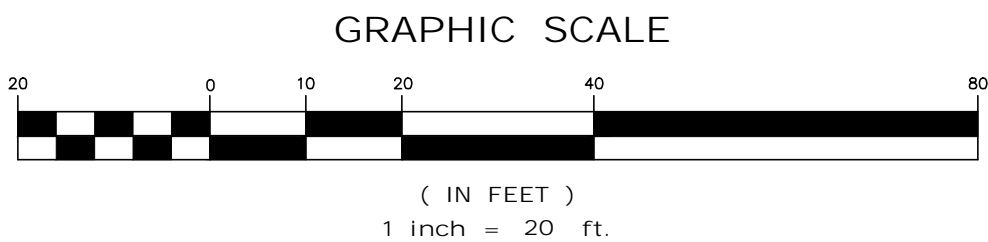
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LEGEND	
DRAIN MANHOLE	⊙
DRAIN LINE	—
10' CONTOUR	200
2' CONTOUR	204
SPOT GRADE	220.50 X

PLAN NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
- EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF ROCHESTER, NHDOT, NHDES, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

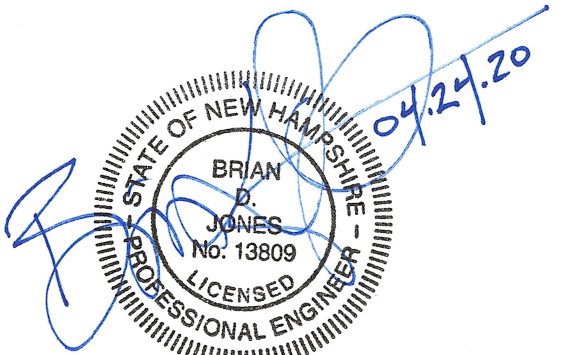


APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

1	04-24-08	REVISED PER TOWN
REV	DATE	DESCRIPTION

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CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
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PREPARED BY:



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DRAWING TITLE:

GRADING & DRAINAGE PLAN

SHEET No.

C-103

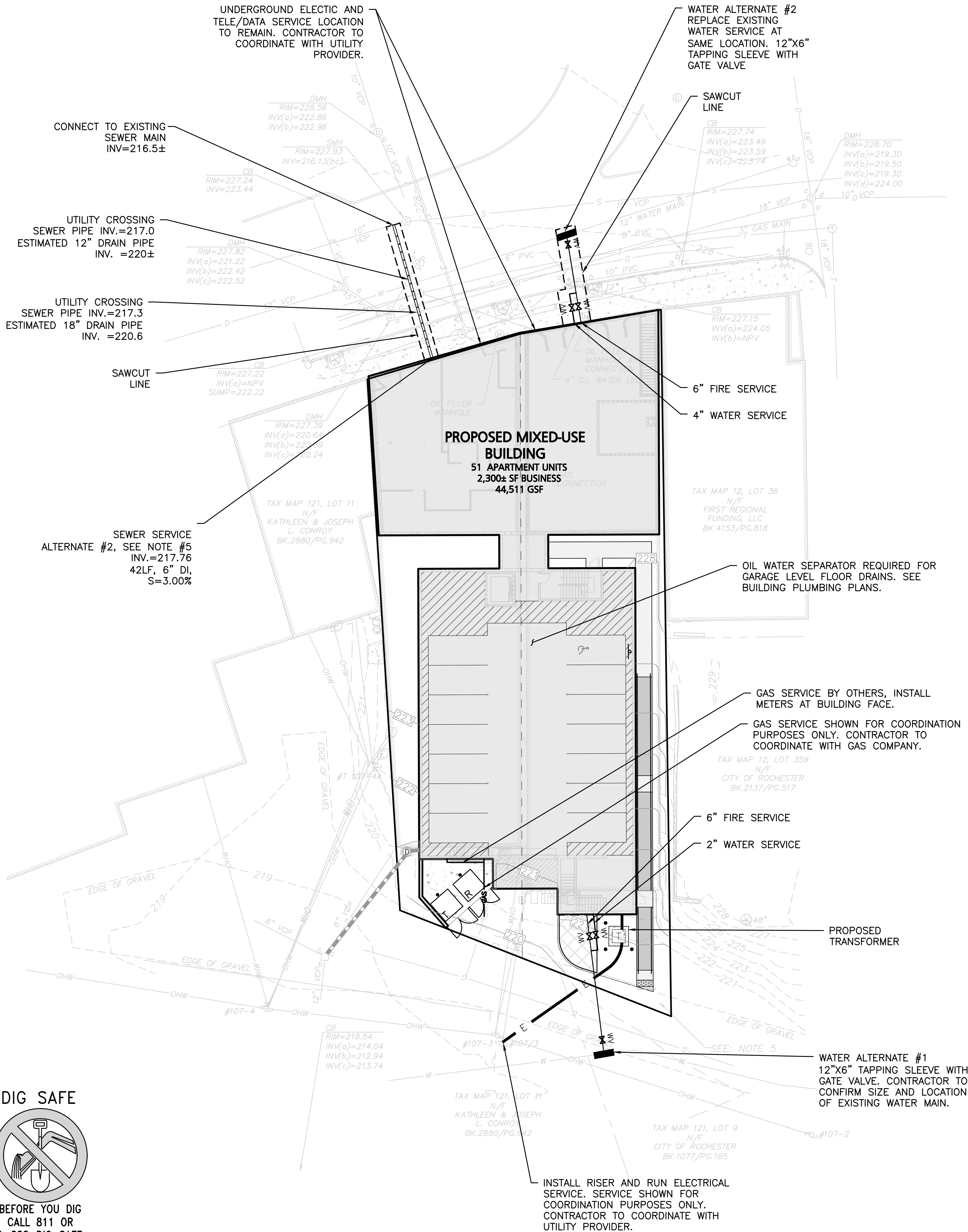
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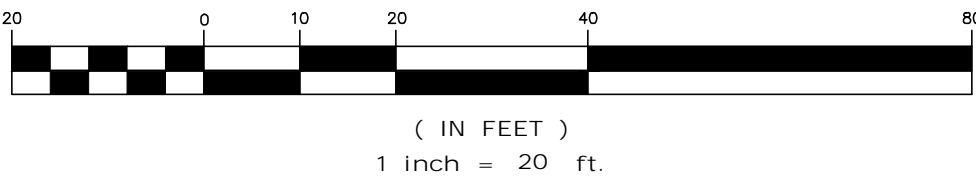
LEGEND

SEWER MANHOLE	
SEWER CLEANOUT	
SEWER VENT	
SEWER LINE	
SEWER FORCEMAIN	
WATER LINE	
WATER (FIRE SERVICE)	
WATER (DOMESTIC SERVICE)	
WATER VALVE	
GAS LINE	
GAS VALVE	
ELECTRICAL CONDUIT	
TELE/CABLE CONDUIT	

UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. SEWER ALTERNATE #1. THE APPLICANT WILL PERFORM CLEANING AND CCTV INSPECTION OF THE EXISTING BUILDING SEWER SERVICE(S) TO NORTH MAIN STREET. THE RESULTS OF THE INSPECTION WILL BE PROVIDED TO THE ROCHESTER DPW FOR REVIEW. IF THE EXISTING SEWER SERVICE(S) ARE ACCEPTABLE OR CAN BE RE-HABILITATED TO AN ACCEPTABLE LEVEL USING A SLIP-LINE, THEN THE EXISTING SEWER SERVICE(S) WILL BE RE-USED. PROVIDED THE SERVICE(S) HAVE ADEQUATE CAPACITY.
6. DOMESTIC WATER SERVICE AND FIRE SERVICES REQUIRE CITY OF ROCHESTER APPROVED BACKFLOW PREVENTION DEVICES.
7. PRIOR TO ANY DISTURBANCE WITHIN NORTH MAIN STREET APPROVALS FROM PUBLIC WORKS, BUILDING COMMISSION, AND CITY COUNCIL SHALL BE REQUIRED.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR HIS/HER INFORMATION AND/OR SPECIFIC USE ON THIS PROJECT. DUE TO THE POTENTIAL THAT THE PROVIDED INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE DIGITAL MEDIA PRINTED REPRESENTATIONS OR PORTABLE DOCUMENT FORMAT OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

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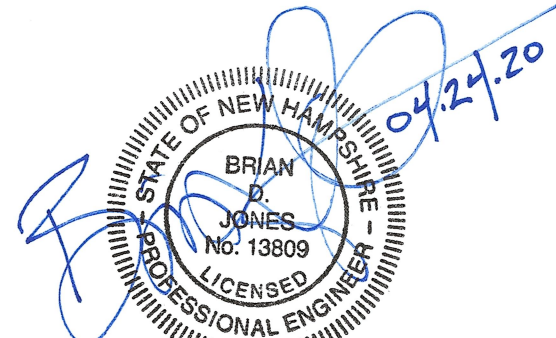


APPROVED - CITY PLANNING STAFF

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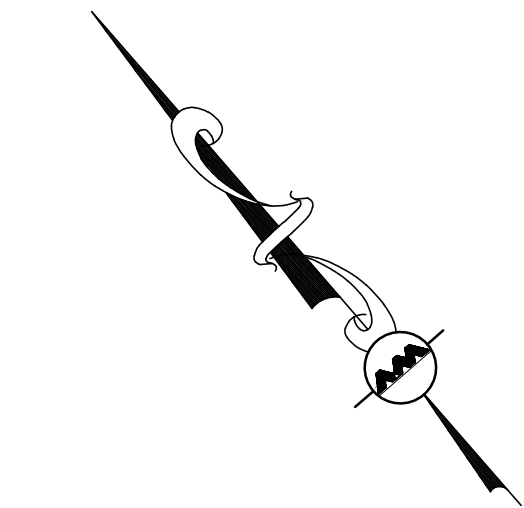
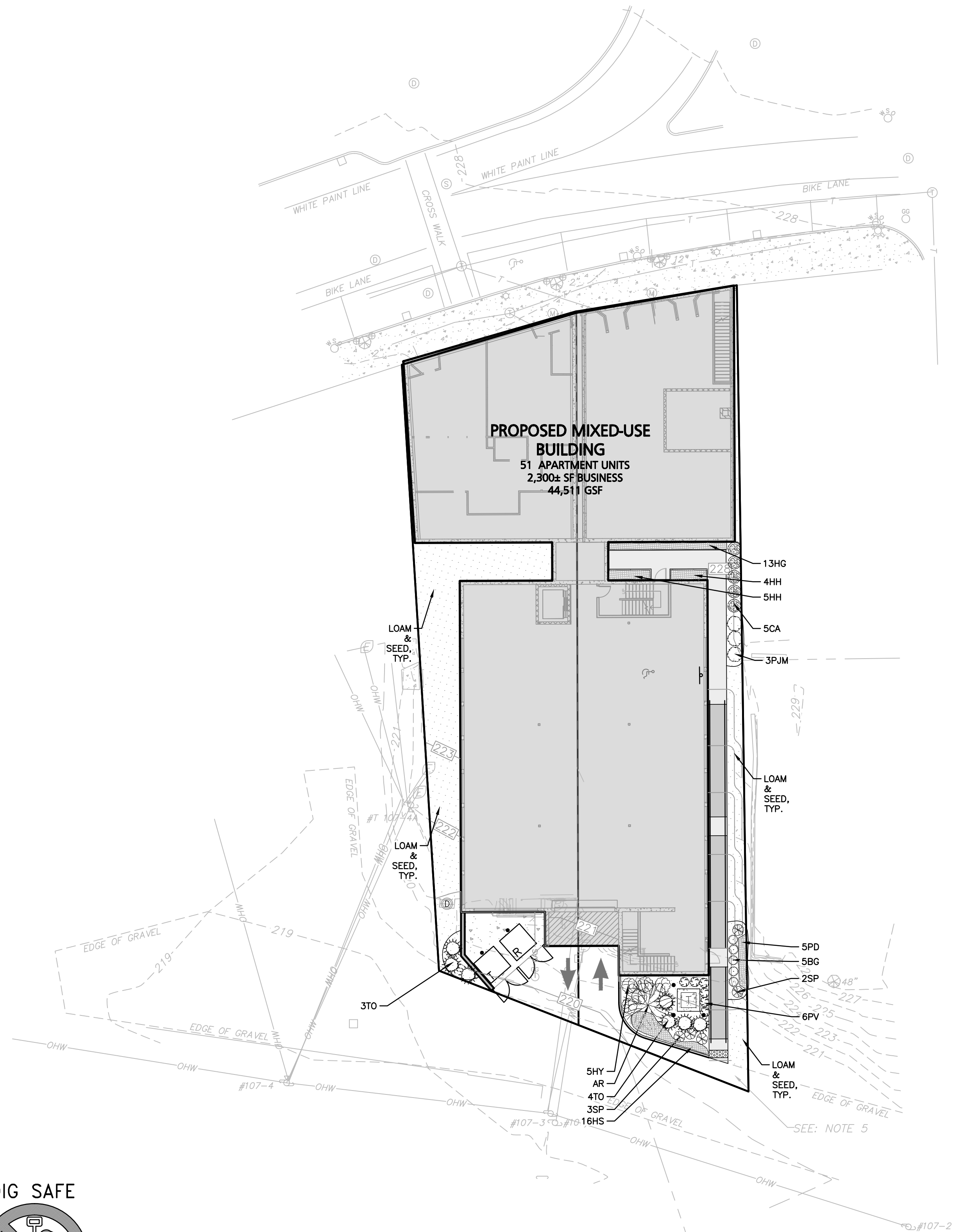
UTILITIES PLAN

SHEET No.

C-104

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LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER

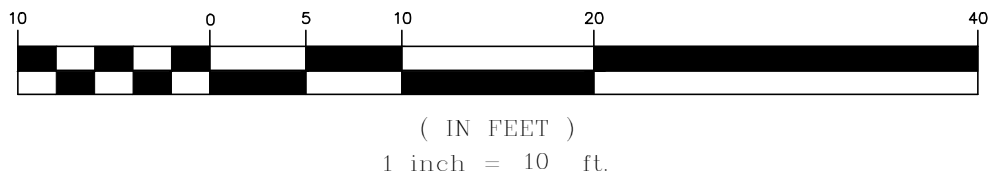
PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
TO	7	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	5-6' HT	AS SHOWN	B&B
TREES						
AR	2	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	3-3.5" CAL.	AS SHOWN	B&B
SHRUBS						
CA	5	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#3	AS SHOWN	POT
BG	5	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	#2	AS SHOWN	POT
HY	5	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	#5	AS SHOWN	POT
PJM	3	RHODODENDRON 'PJM COMPACT CLONE'	COMPACT PJM RHODODENDRON	#5	AS SHOWN	B&B
SP	5	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5	AS SHOWN	POT
PERENNIALS						
HG	13	HOSTA 'GOLD STANDARD'	GOLD STANDARD HOSTA	#1	24" O.C.	STAGGERED
HH	9	HOSTA 'KROSSA REGAL'	KROSSA REGAL HOSTA	#1	30" O.C.	STAGGERED
HS	16	HEMEROCALLIS 'ORANGE SMOOTHIE'	ORANGE SMOOTHIE DAYLILY	#1	24" O.C.	STAGGERED
PD	5	PEONIA 'DUTCHESS DE NEMOURS'	'DUTCHESS DE NEMOURS' PEONY	#1	24" O.C.	STAGGERED
PV	6	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	#1	24" O.C.	STAGGERED

NOTES

1. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
2. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES. (603) 627-5500.
3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



REGISTERED LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: 1" = 10' DWG. NAME: C2748-01

DESIGNED BY: BCD CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.

civil engineering • land surveying
environmental consulting • landscape architecture
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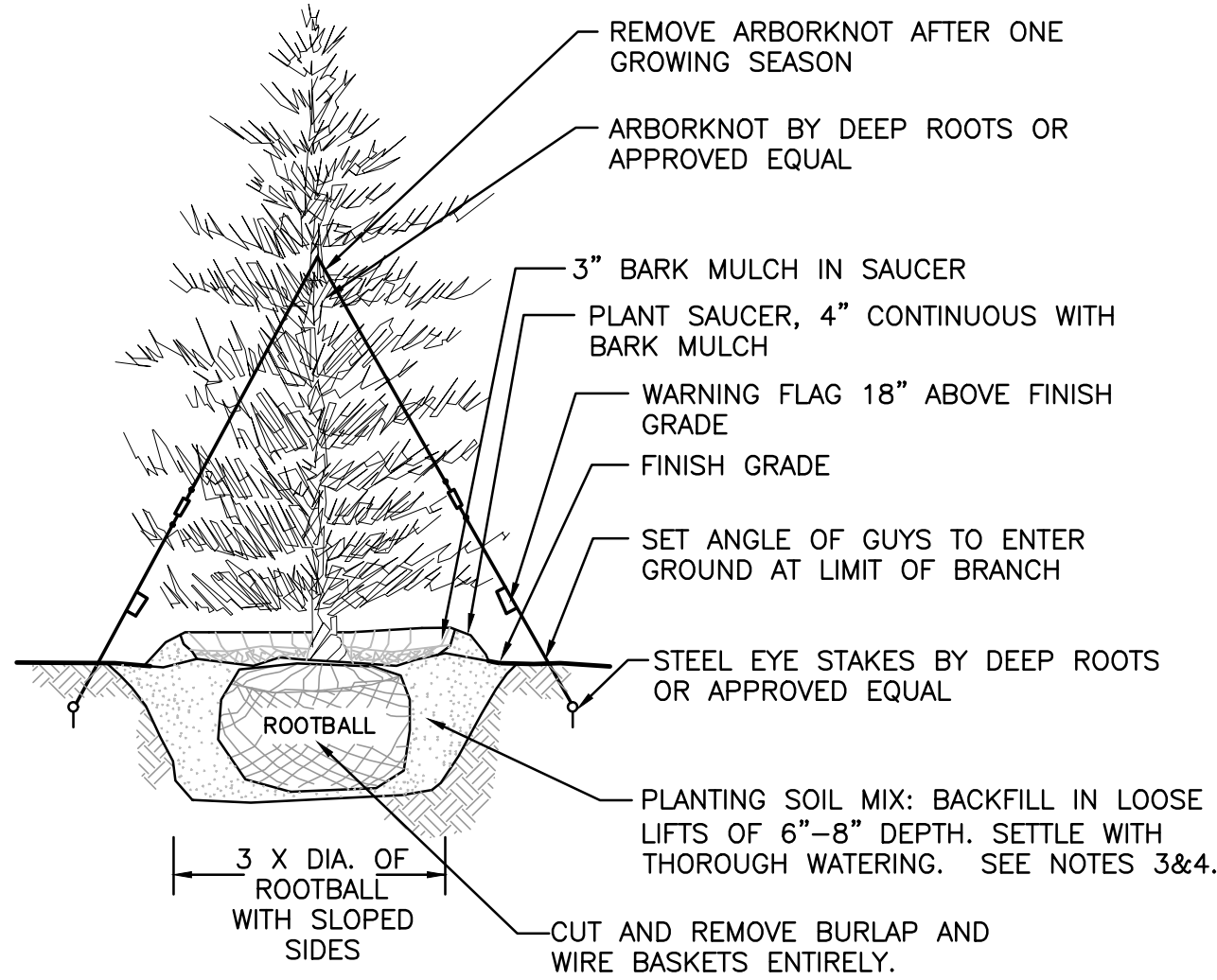
LANDSCAPE PLAN

SHEET No.

L-101

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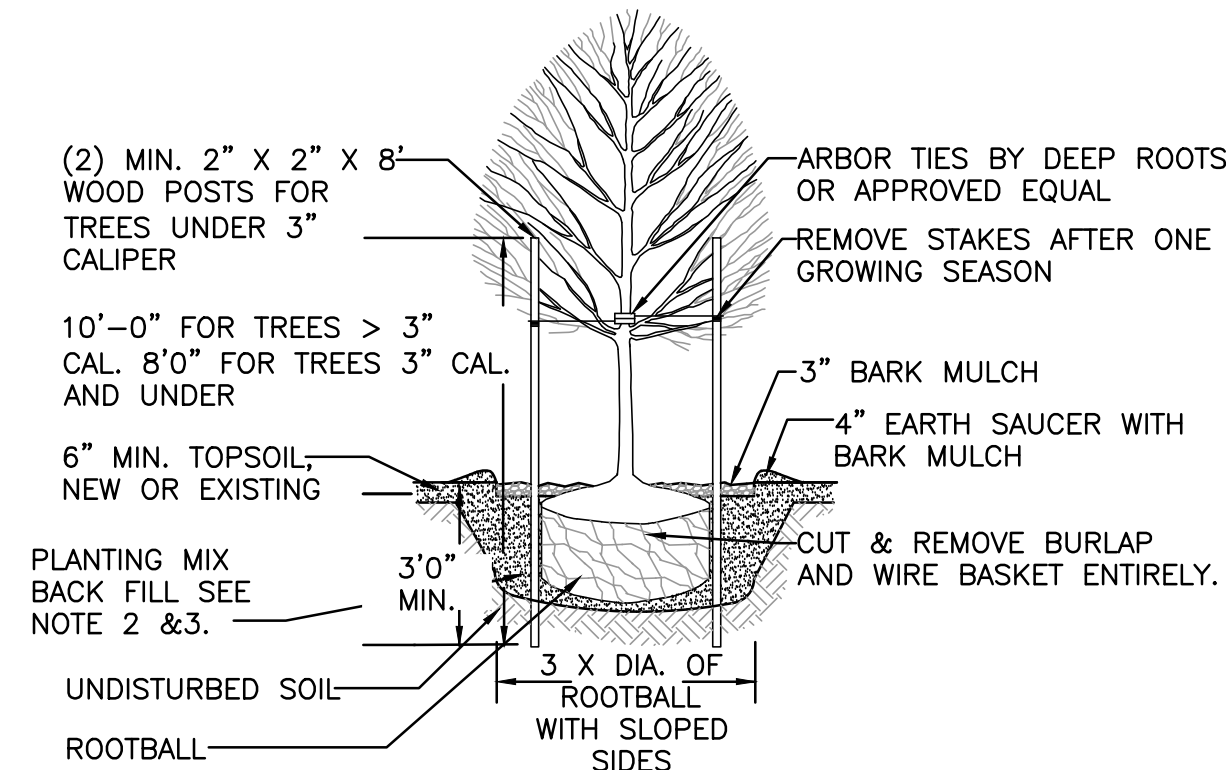


NOTES:

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

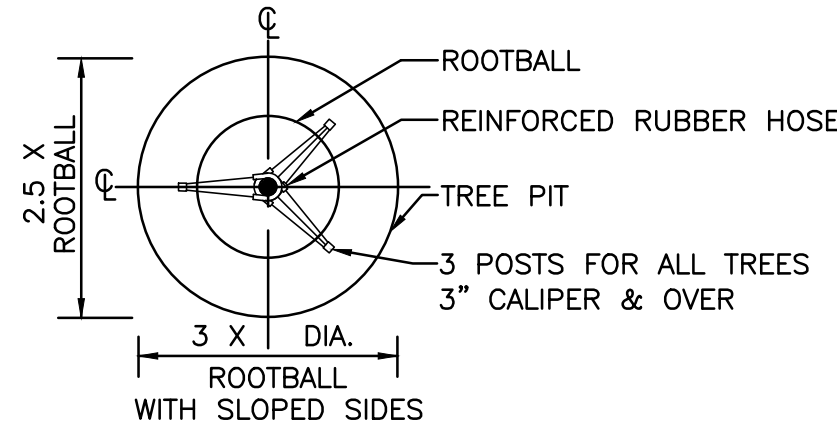
EVERGREEN TREE DETAIL
NOT TO SCALE

1



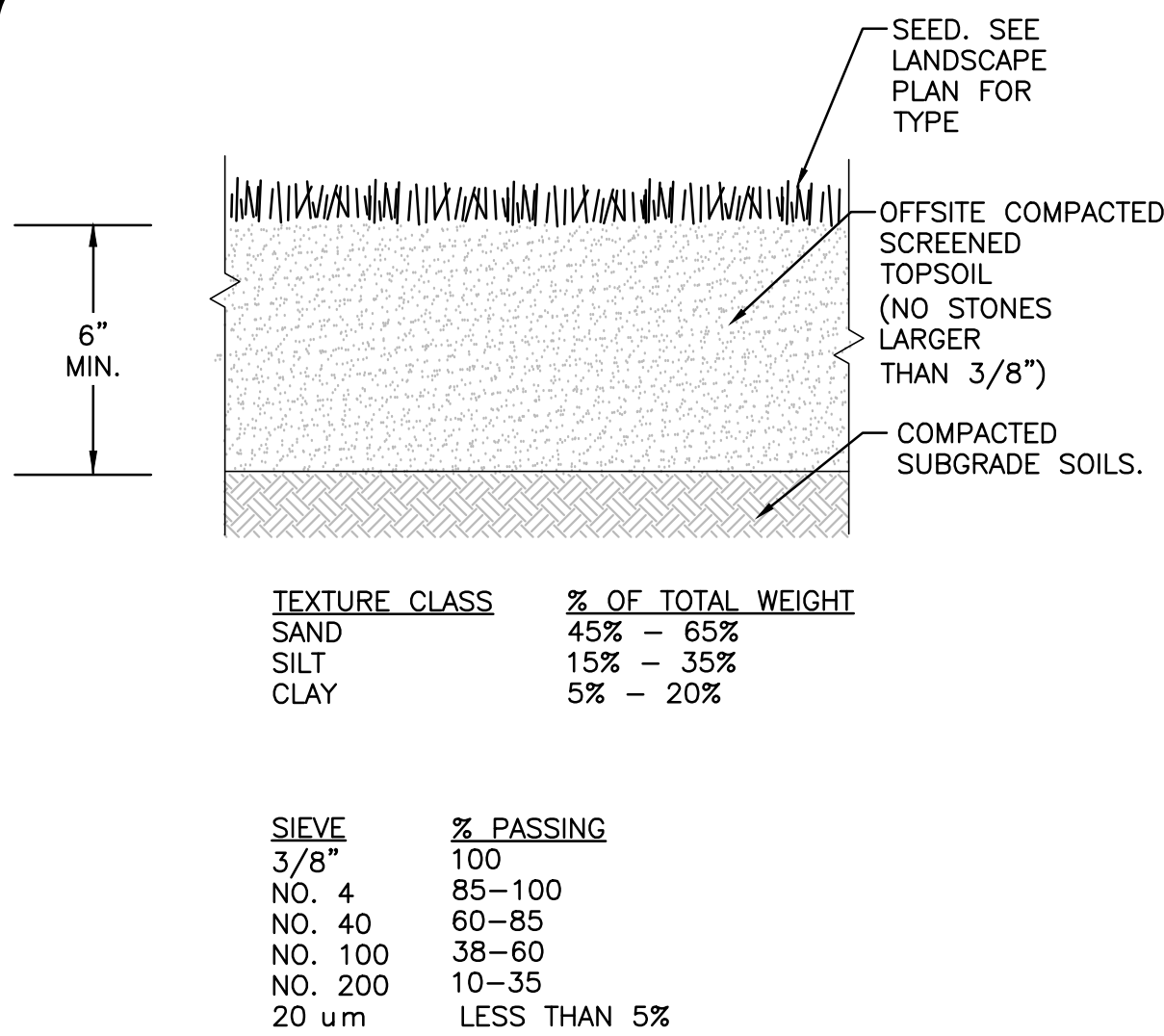
NOTES:

1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

2



NOTES:

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLOUDS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

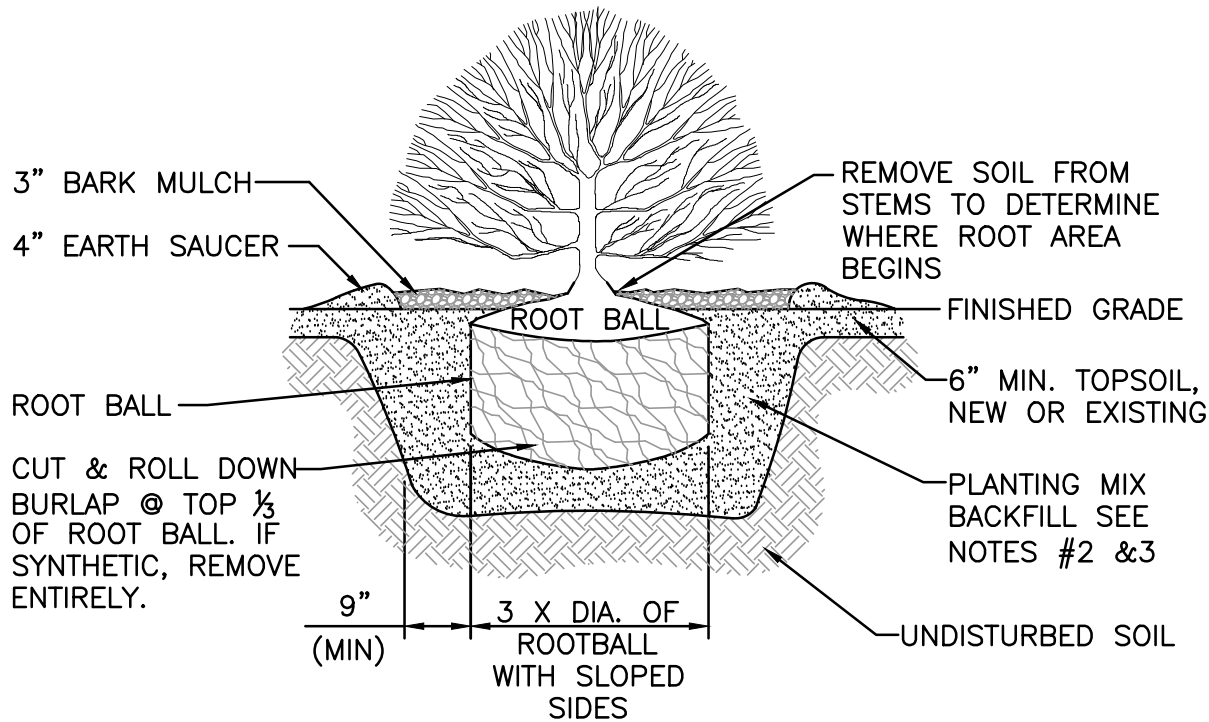
TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS

NOT TO SCALE

3

NOTES:

1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL
NOT TO SCALE

4

LANDSCAPE NOTES

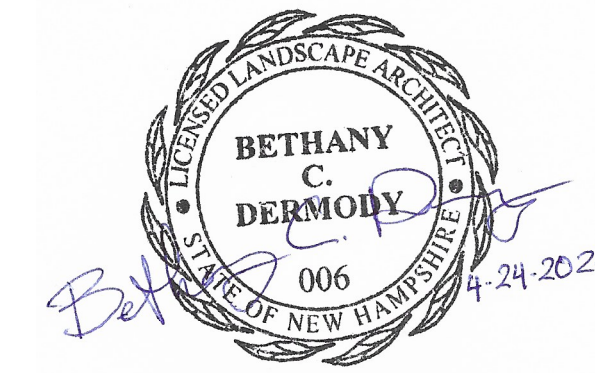
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ROCHESTER, NH, SPECIFICATIONS.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE"(1-888-DIG-SAFE)AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER OF AS NOTED ON THE PLANTING PLAN ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
16. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
17. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
18. AS THERE IS NO PROPOSED IRRIGATION SYSTEM, AFTER PLANTINGS & LAWNS & SEEDED AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEEDED AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.

APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



REGISTERED LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: NTS DWG. NAME: C2748-01

DESIGNED BY: BCD CHECKED BY: BDJ

PREPARED BY:



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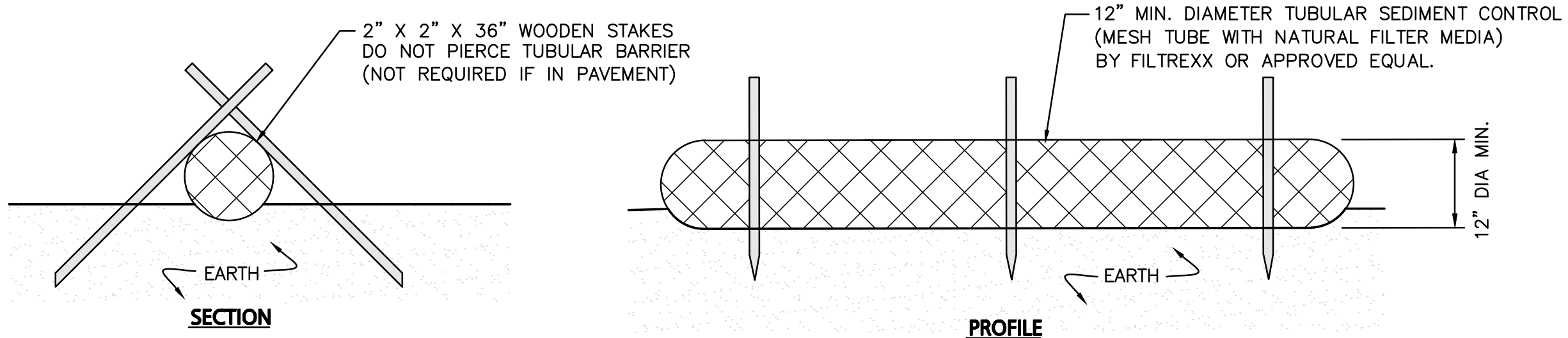
LANDSCAPE DETAILS

SHEET No.

L-501

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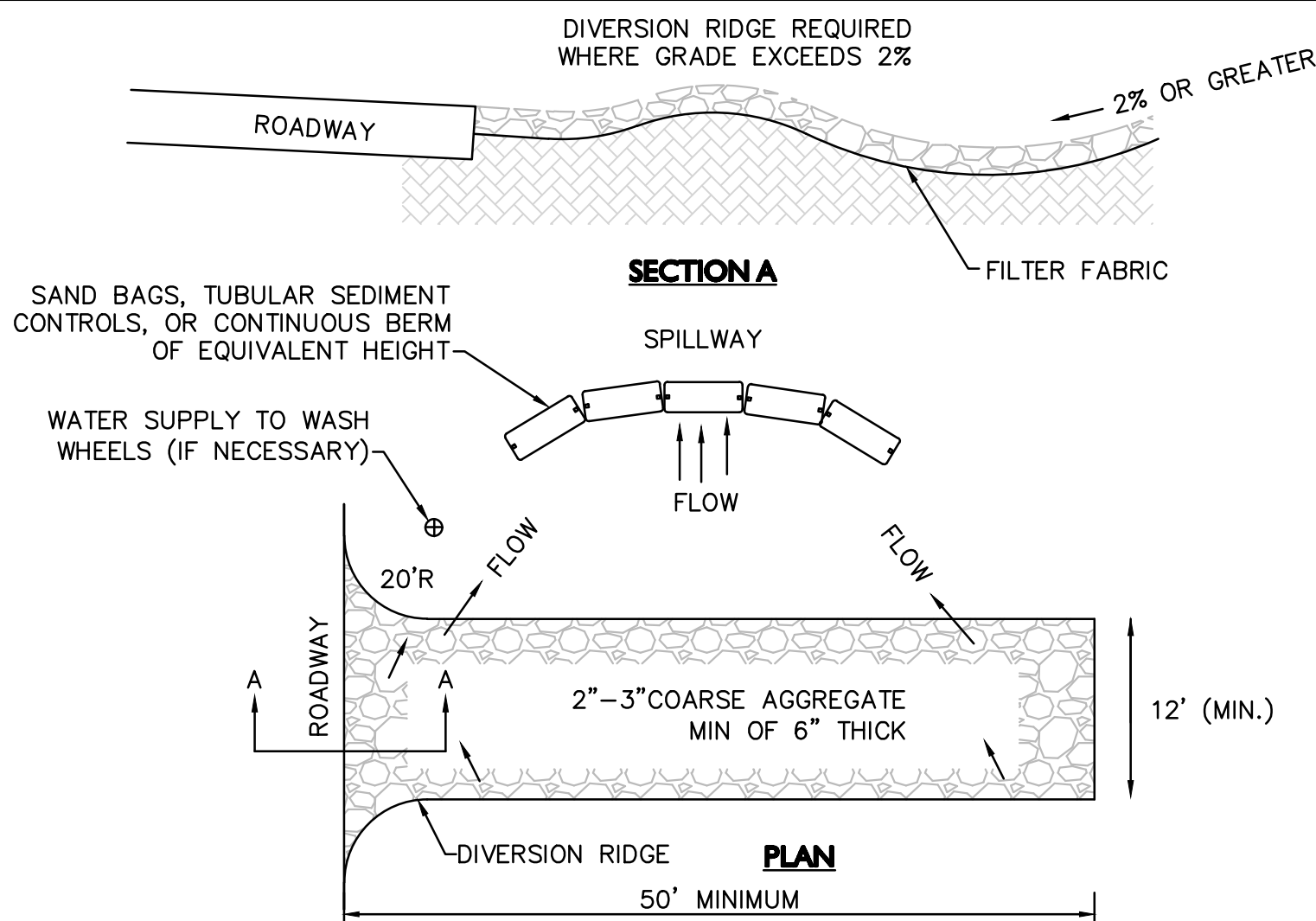


- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 12" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
 2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 3. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER
 4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE

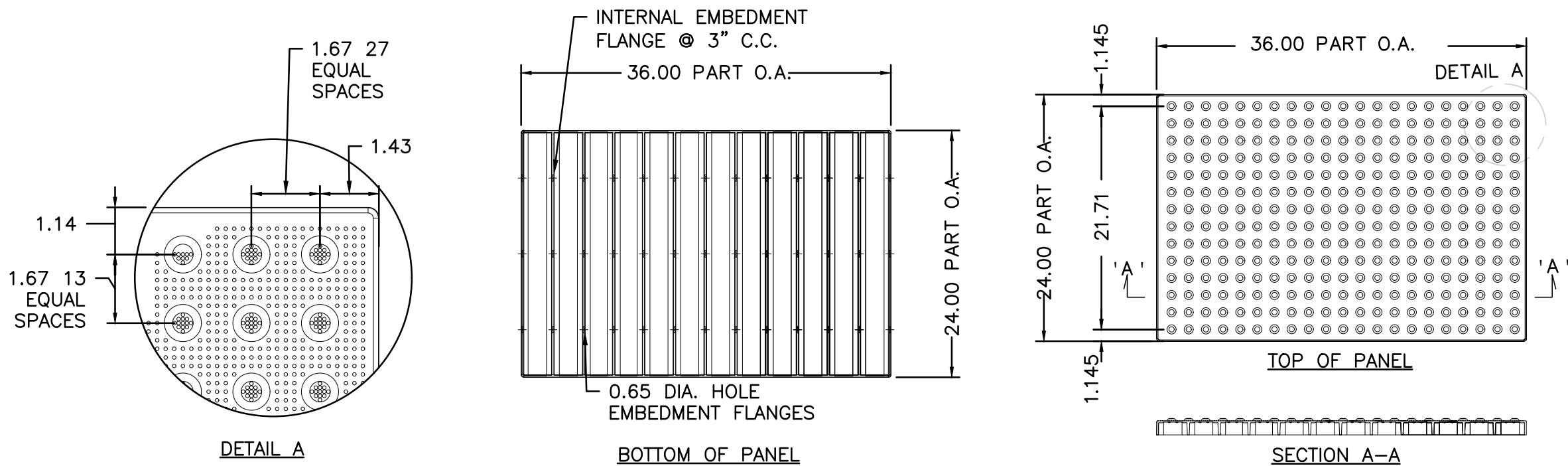
1

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, TUBULAR SEDIMENT CONTROLS, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.



TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE

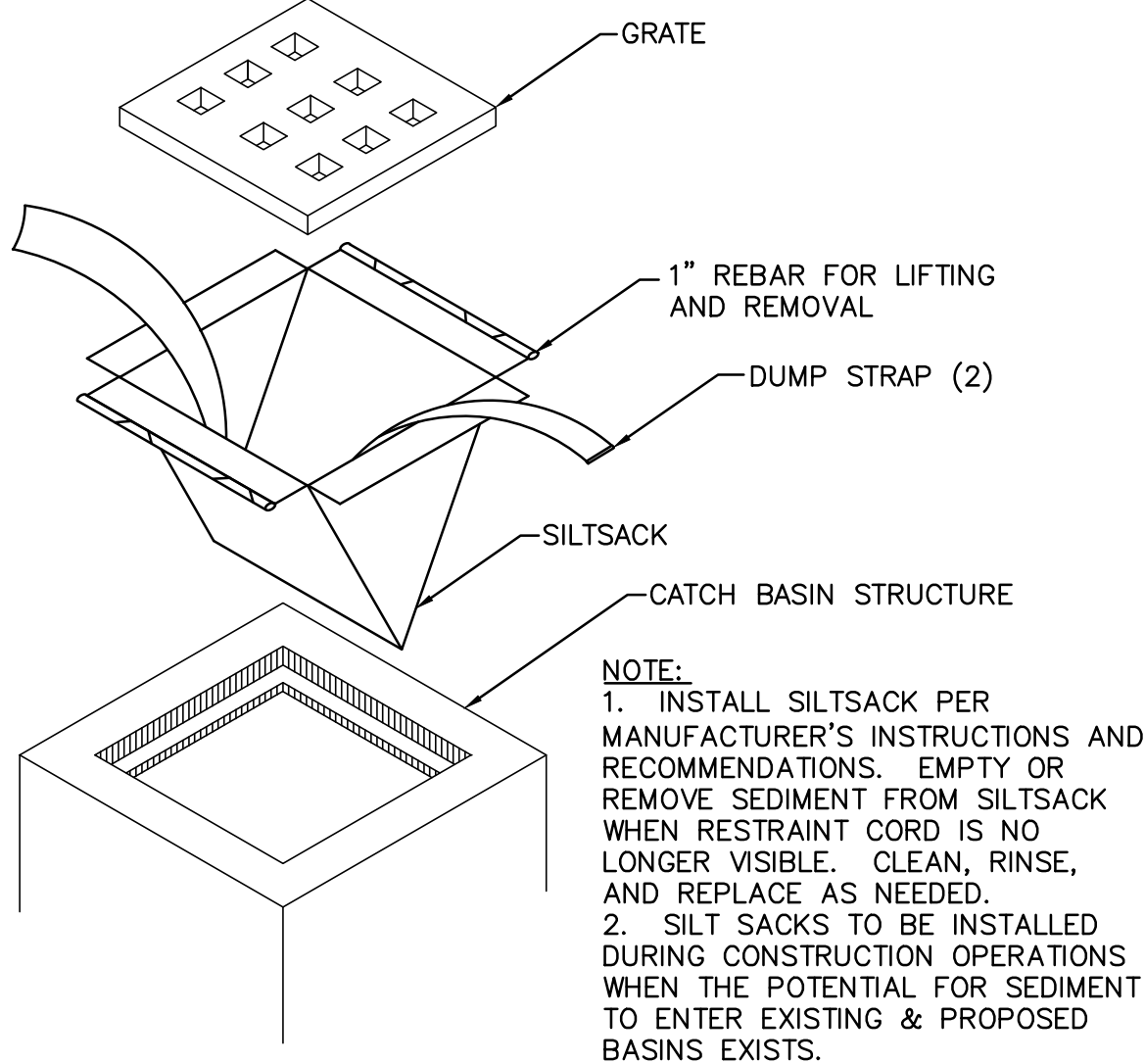
4



- NOTES:
1. CONCRETE SLAB SHALL BE SLOPED 1.5% CROSS PITCH MAX TO PROVIDE COMPLETE SURFACE DRAINAGE. SEE GRADING PLAN & HANDICAP CURB CUT / CURB TRANSITION DETAIL.
 2. SET TILES FLUSH WITH ADJACENT MATERIALS. SUBMIT SHOP DRAWINGS OF TILES.
 3. INSTALL DETECTABLE WARNING PAVERS PER MANUFACTURER'S RECOMMENDATIONS.
 4. COLOR SHALL BE BRICK RED PER CITY REQUIREMENTS.
 5. PANELS SHOULD BE ADA SOLUTIONS, INC. PART NO.2436IDPAV1_, DRAWING NO.ADA-CIP 2436_1, OR APPROVED EQUAL.

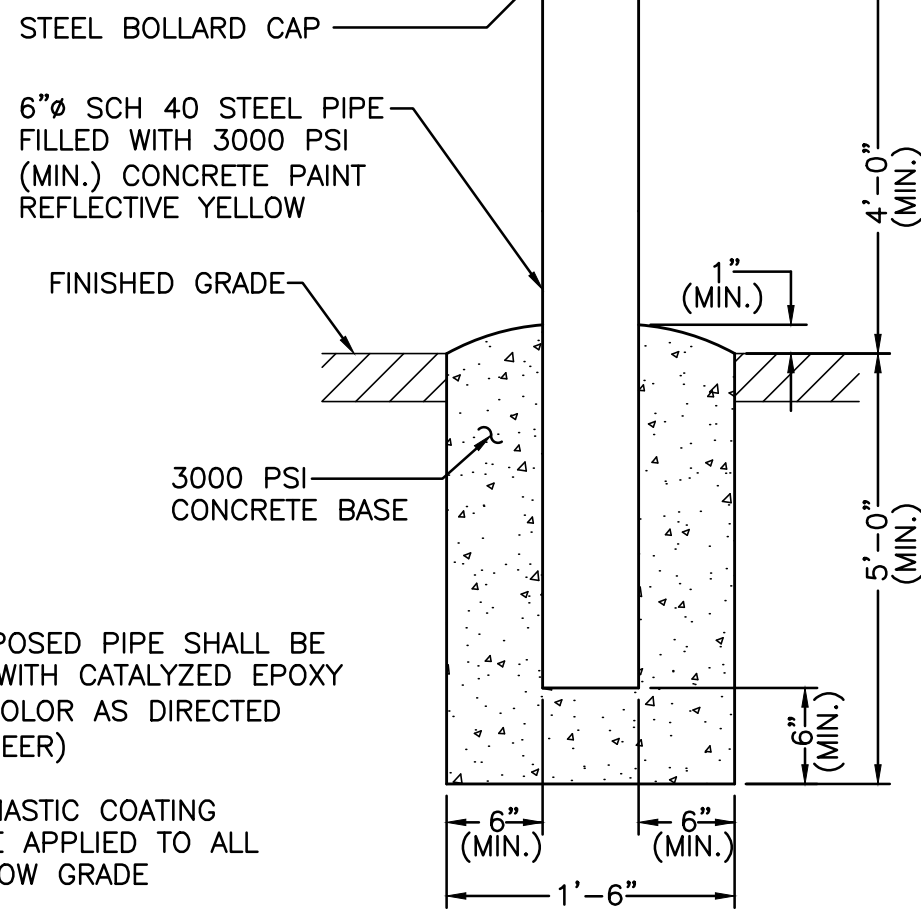
CAST-IN-PLACE TACTILE WARNING PANELS
NOT TO SCALE

7



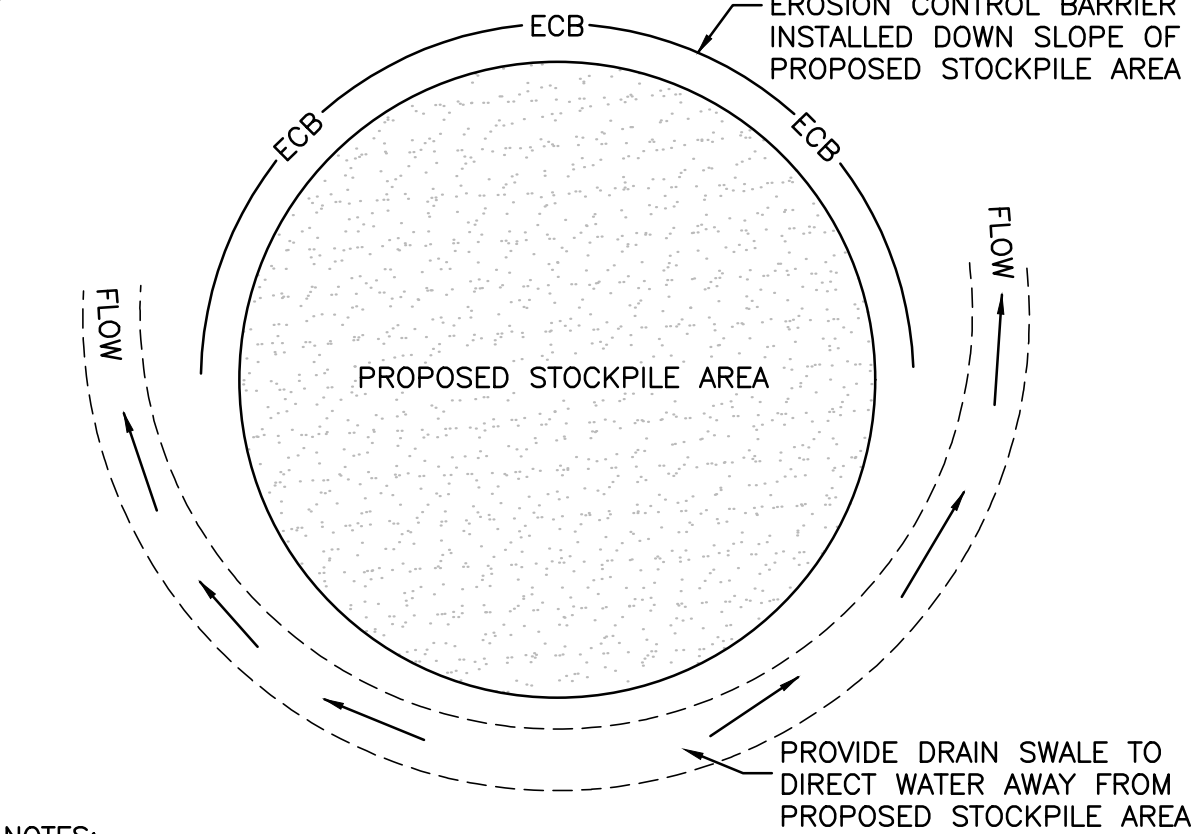
SILTSACK INLET DETAIL
NOT TO SCALE

2



FIXED PIPE BOLLARD
NOT TO SCALE

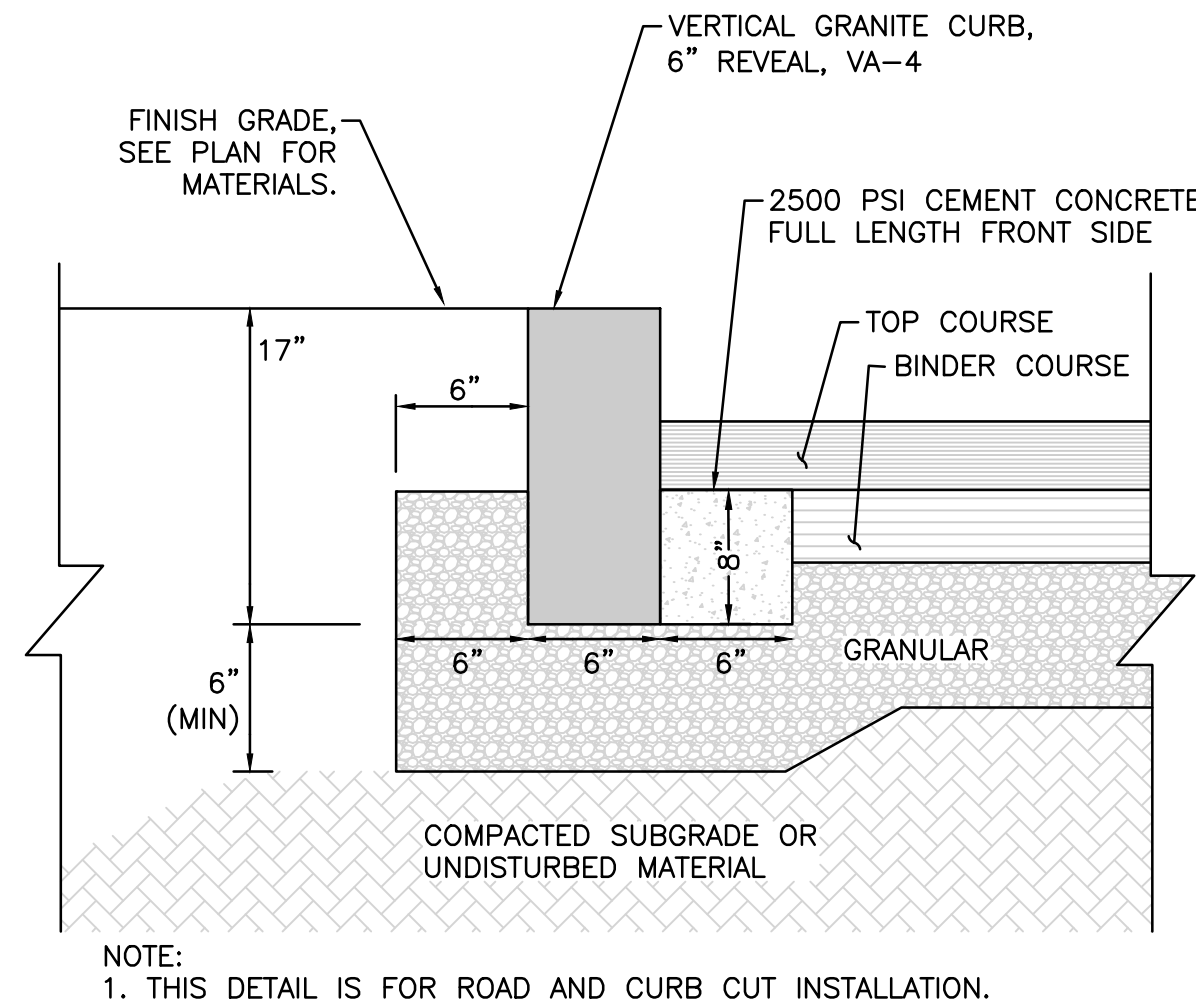
5



- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LB/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

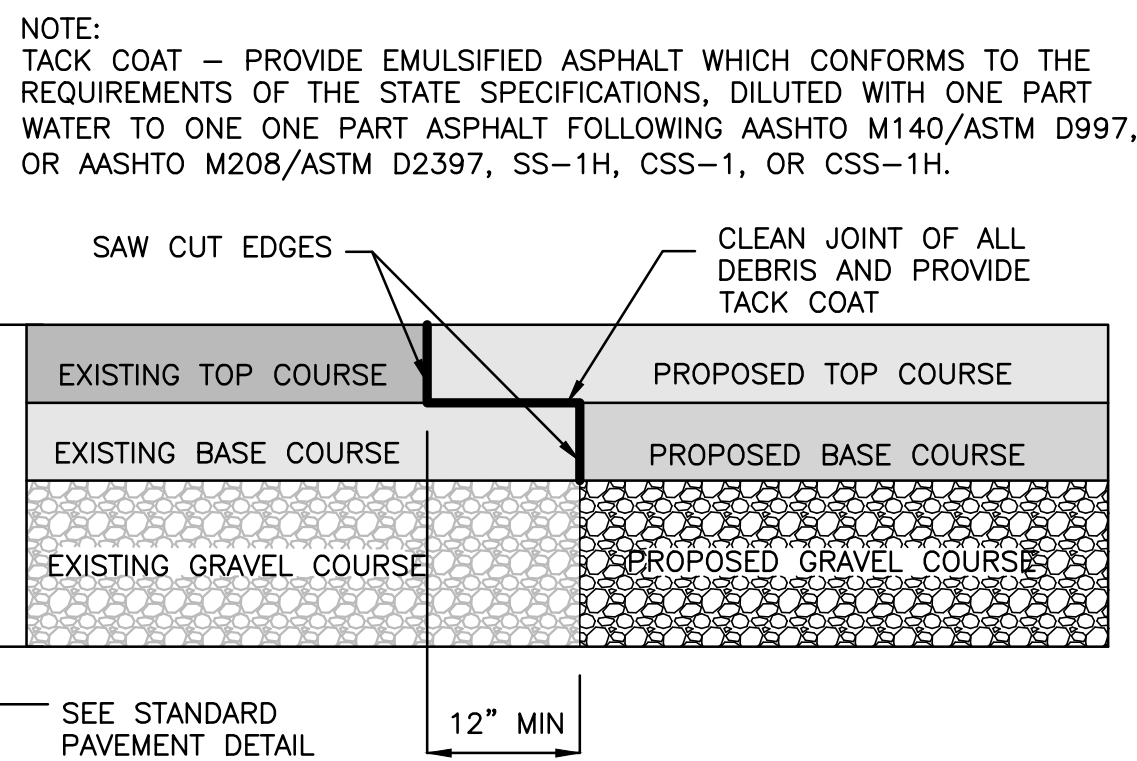
STOCKPILE PROTECTION DETAIL
NOT TO SCALE

3



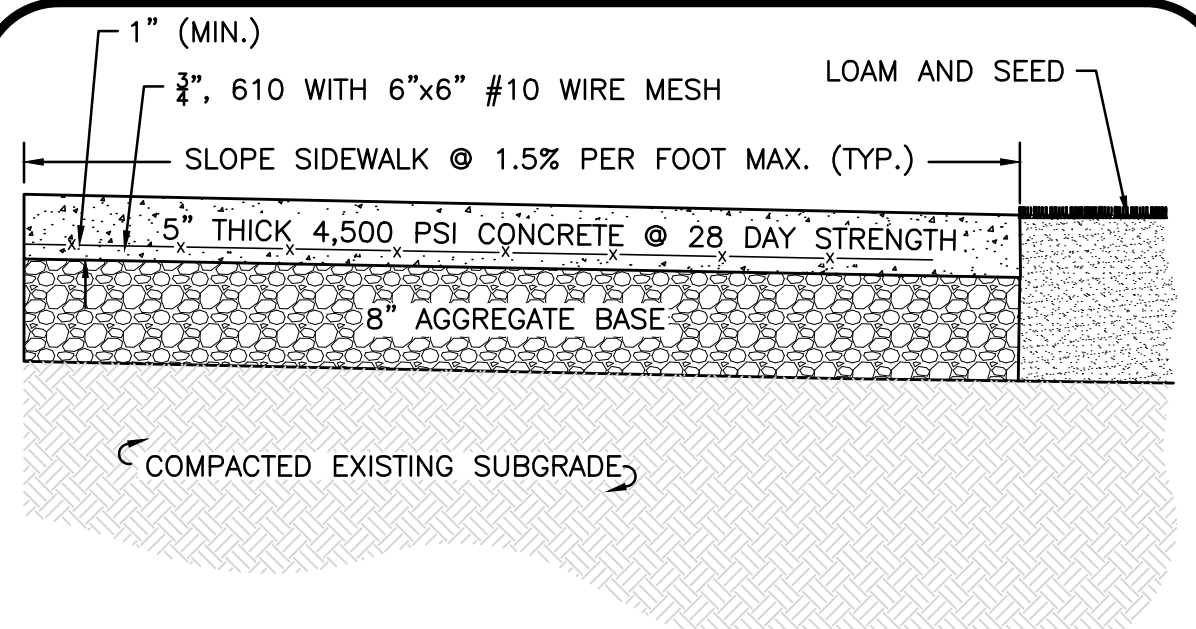
VERTICAL GRANITE CURB
NOT TO SCALE

6



PAVEMENT KEY CUT DETAIL
NOT TO SCALE

8



- NOTES:
1. SIDEWALK TO HAVE TOOLED JOINTS IN A 5' x 5' (TYP.) GRID WITH EXPANSION JOINTS 15' ON CENTER AND PRE-MOLDED FILLER.
 2. TOOLED JOINT 6" FROM FACE OF CURB.
 3. SEE PLAN FOR ELEVATIONS AT CURB
 4. SIDEWALK CROSS SLOPE TO BE 1.5% MAX & SIDEWALK LONGITUDINAL RUNNING SLOPE TO BE 4.5% MAX, TYP.
 5. THE SURFACE SHALL BE FINISHED WITH A SOFT BRISTLED PUSH BROOM ACROSS THE ENTIRE SIDEWALK WIDTH, PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN. "PICTURE FRAME" FINISHES SHOULD NOT BE PROVIDED.

CONCRETE SIDEWALK
NOT TO SCALE

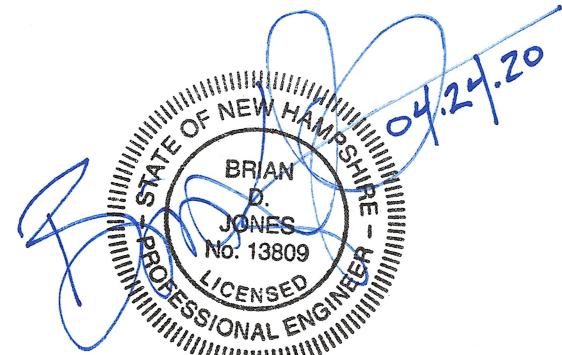
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APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
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PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: AS SHOWN DWG. NAME: C2748-01

DESIGNED BY: ARM CHECKED BY: BDJ

PREPARED BY:



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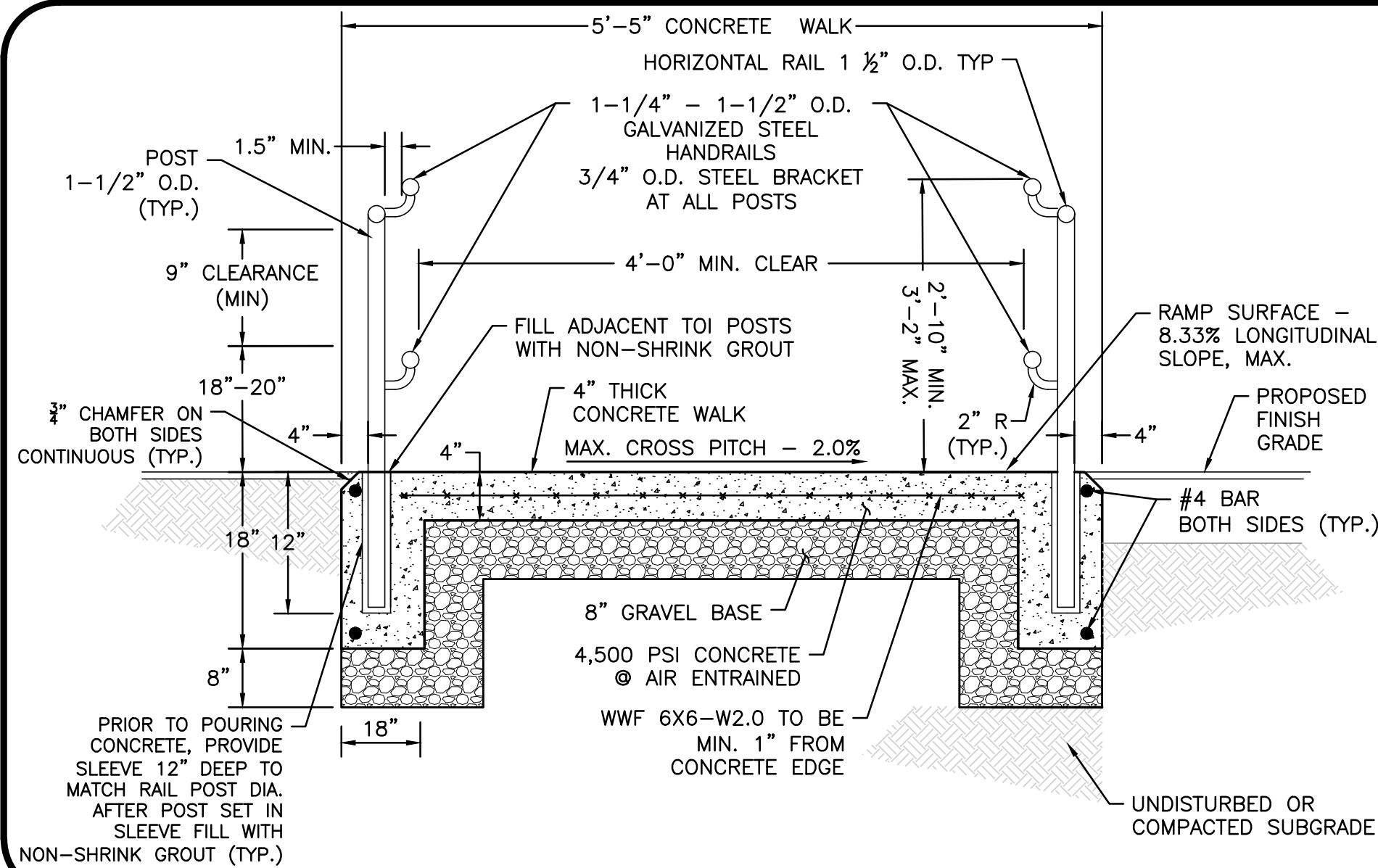
DETAILS

SHEET No.

C-501

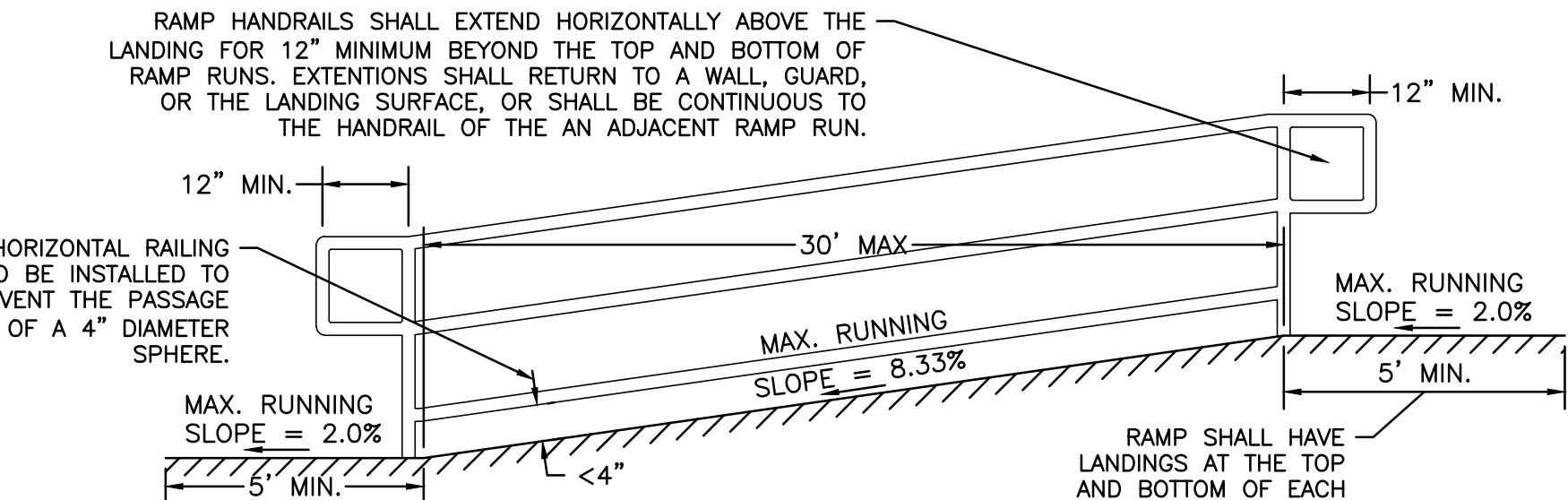
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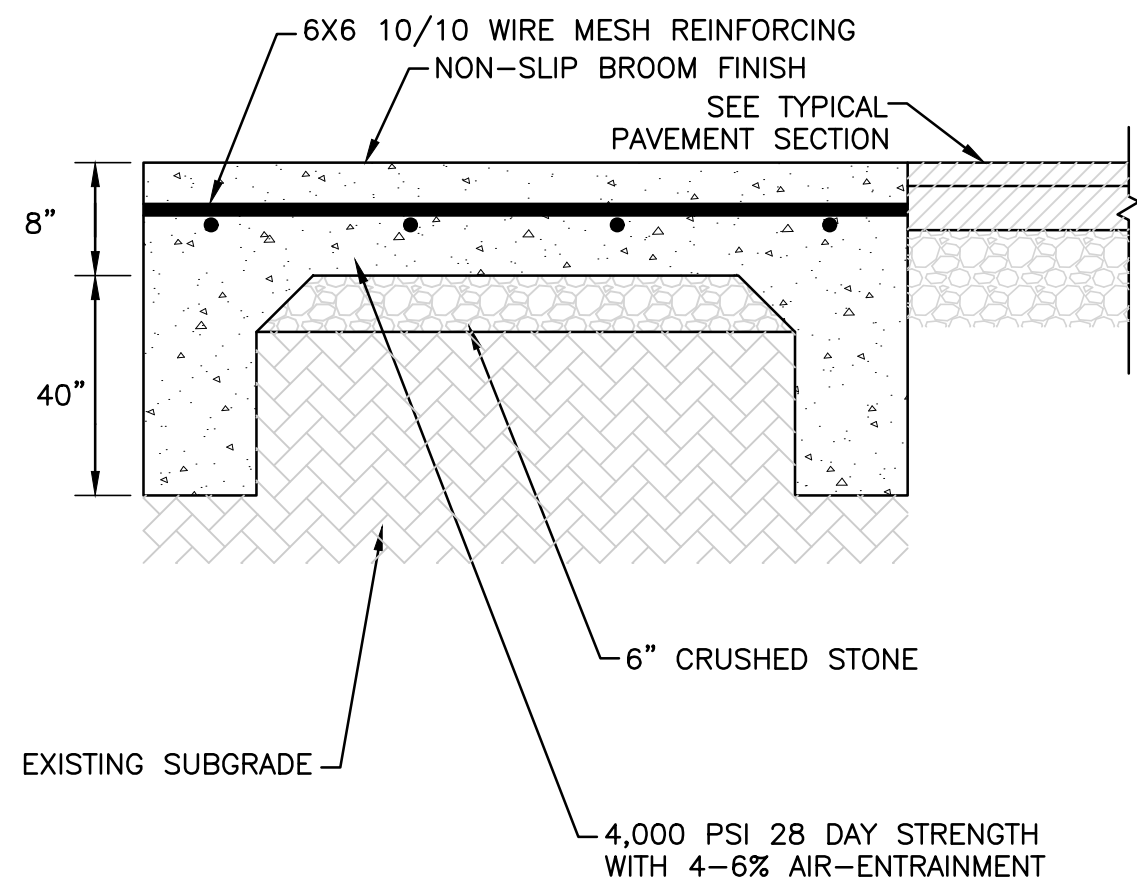
NOTES:

- HANDRAILS SHALL BE AT A CONSISTENT HEIGHT ABOVE WALKING SURFACES, STAIR NOSINGS AND RAMP SURFACES.
- HANDRAIL SURFACES SHALL BE CONTINUOUS ALONG THEIR LENGTH AND SHALL NOT BE OBSTRUCTED ALONG THEIR TOPS OR SIDES. THE BOTTOMS OF HANDRAIL GRIPPING SURFACES SHALL NOT BE OBSTRUCTED FOR MORE THAN 20% OF THEIR LENGTH.
- UPPER AND LOWER HANDRAIL ENDS TO JOIN SMOOTHLY AT ENDS WITH 6" RADI & EXTEND 12" BEYOND TOP AND BOTTOM OF EACH RAMP SECTION.
- MAINTAIN 8.33% MAX RUNNING SLOPE ON RAMP SEGMENTS AND 2.0% MAX. RUNNING SLOPE IN ALL DIRECTIONS ON LEVEL LANDINGS. MAINTAIN 2.0% MAX CROSS SLOPE ON ALL RAMPING SECTIONS.
- ALL RAILINGS, HANDRAILS, POSTS, HANDRAILS TO BE PAINTED METAL.
- SIDEWALK TO HAVE TOOLED JOINTS EVENLY SPACED NO MORE THAN 5' APART WITH EXPANSION JOINTS NO MORE THAN 15' ON APART AND PREMOLDED FILLER.



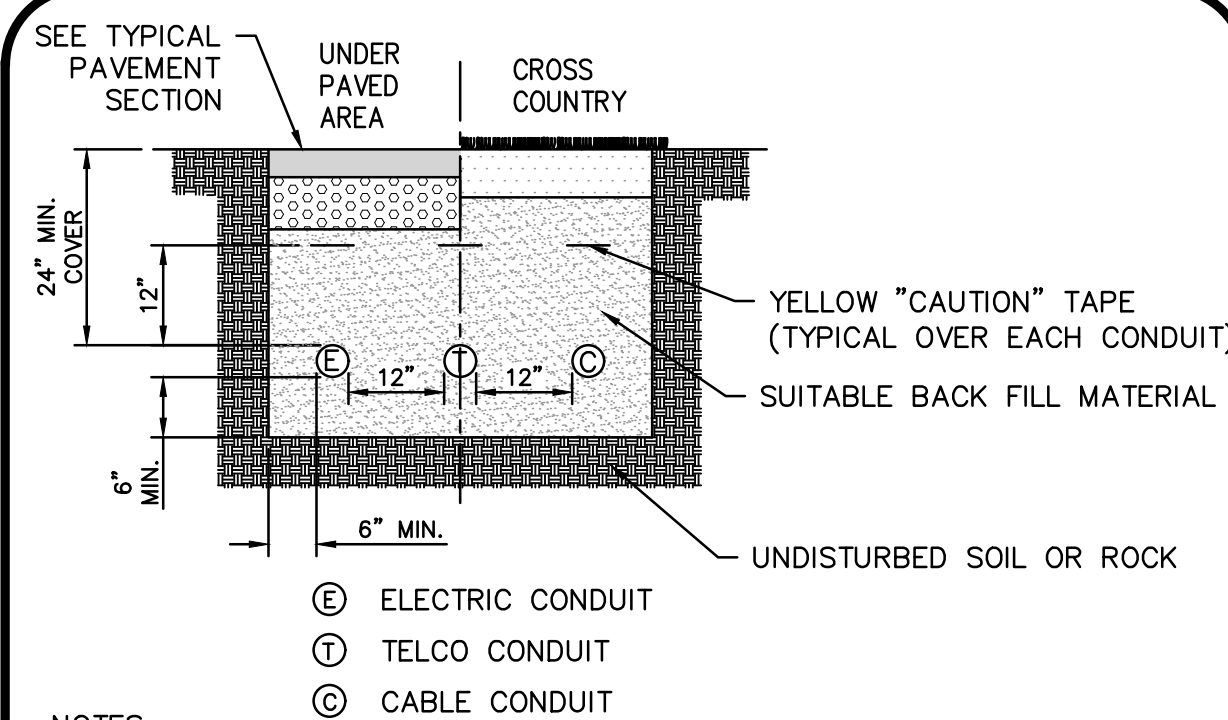
CONCRETE ADA RAMP WITH HANDRAILS
NOT TO SCALE

1



HEAVY DUTY CONCRETE PAD
NOT TO SCALE

2

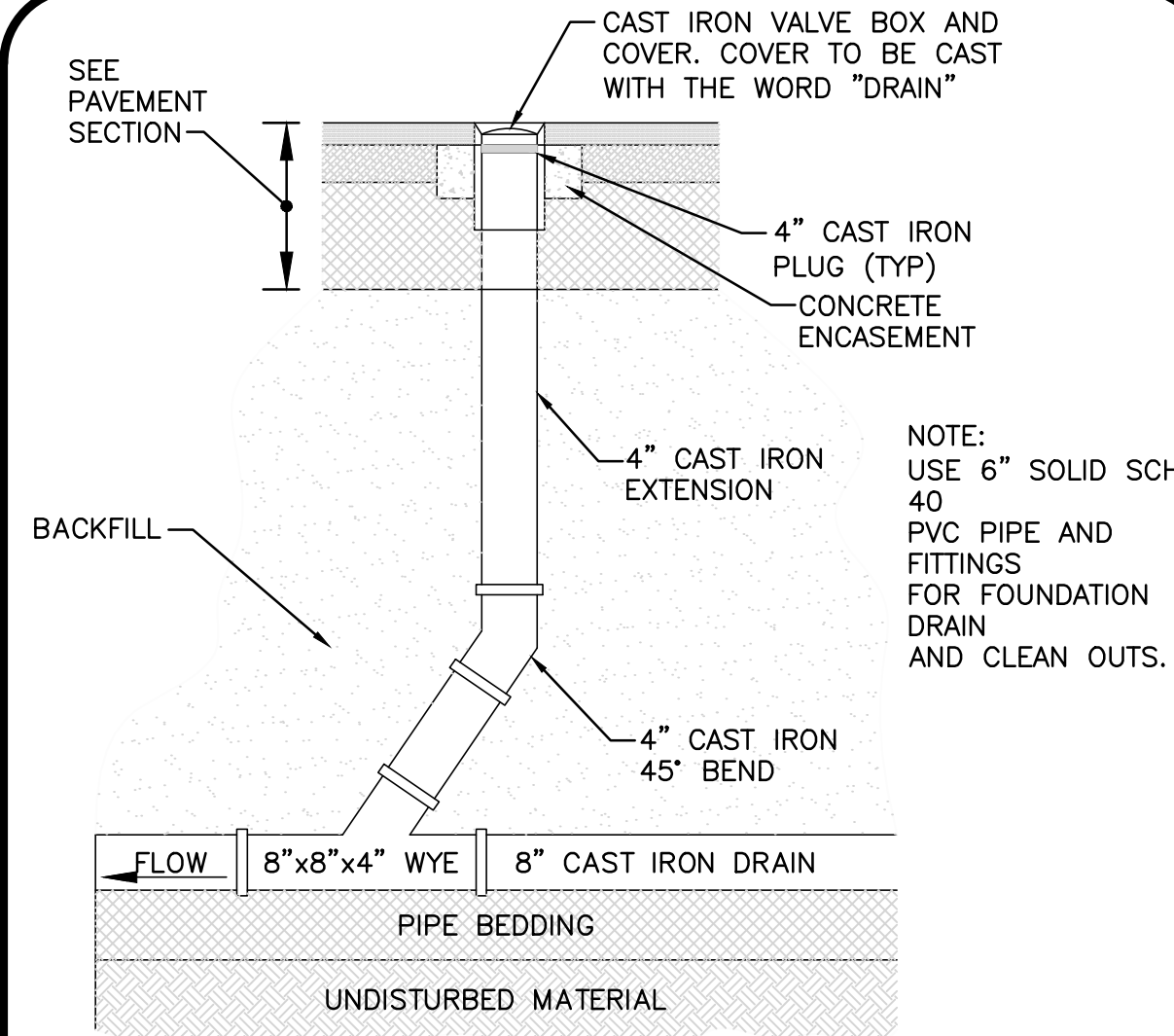


NOTES:

- SCHEDULE 80 PVC CONDUIT REQUIRED UNDER ROAD AND DRIVEWAY SURFACES.
- ALL UTILITY INSTALLATION REQUIREMENTS, SEPARATIONS, AND CONDUIT SIZES TO BE VERIFIED WITH EACH UTILITY COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND UTILITY CONDUIT.
- SEE SITE ELECTRICAL PLAN FOR SPECIFIC DETAILS

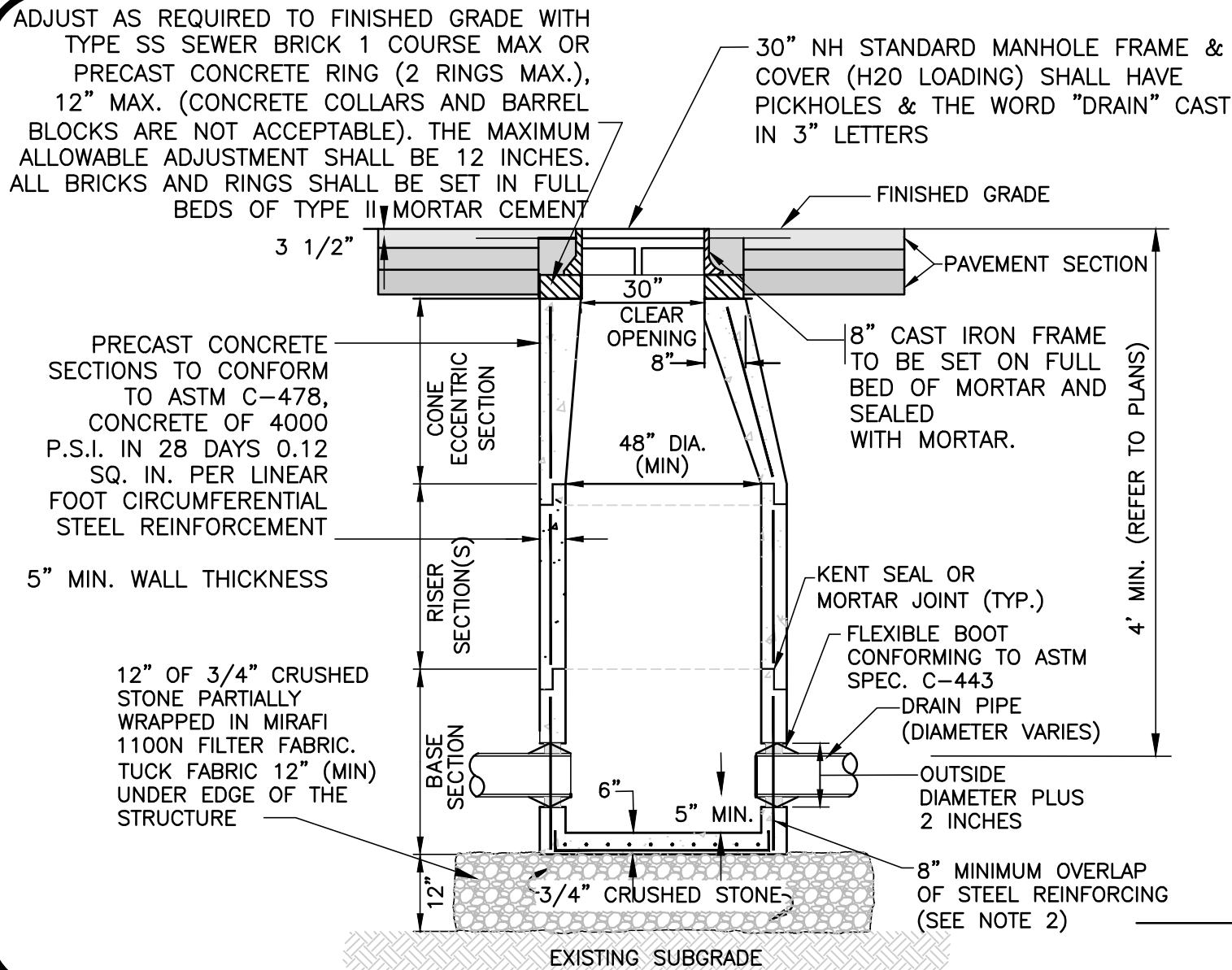
BURIED CONDUIT DETAIL
NOT TO SCALE

3



CLEAN OUT
NOT TO SCALE

4



NOTES:

- MANHOLE TO BE CAPABLE OF AASHTO H-20 LOADING WITHOUT FAILURE.
- STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
- BASE SECTION SHALL BE MONOLITHIC
- ANY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW CUTTING AND/OR CORING. THE USE OF JACKHAMMERS, HAMMERS, AND CHISELS WILL NOT BE ALLOWED.

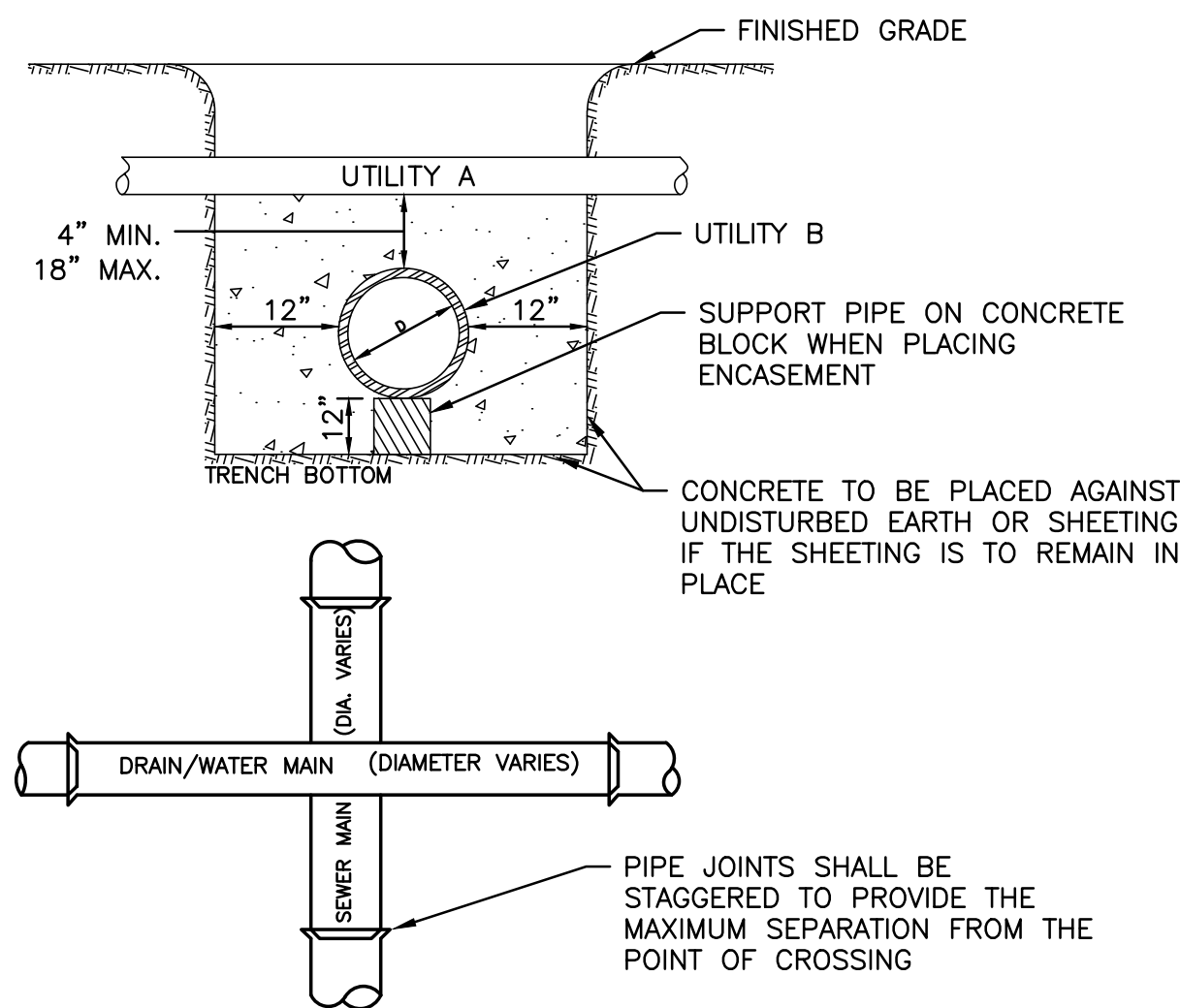
DRAIN MANHOLE
NOT TO SCALE

5

NOTES:

WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:

- THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
- THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
- THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
- THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
- UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
- WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
- ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
- PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.



SEWER, WATER/RAIN CROSSING DETAIL
NOT TO SCALE

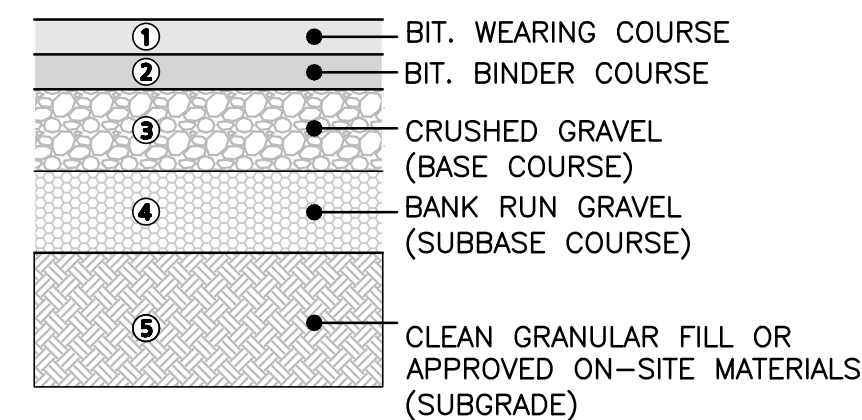
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STANDARD DUTY FLEXIBLE PAVEMENT DESIGN SECTION

LAYER NUMBER	LAYER DESCRIPTION	LAYER THICKNESS (INCHES)
1	BITUMINOUS WEARING COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
2	BITUMINOUS BINDER COURSE (3" AGGREGATE - NHDOT PRE-APPROVED MIX DESIGN)	1.5"
3	CRUSHED GRAVEL (BASE COURSE) (NHDOT ITEM 304.3)	6.0"
4	GRAVEL BORROW (SUBBASE COURSE) (NHDOT ITEM 304.2)	12"
5	CLEAN GRANULAR FILL MATERIAL OR APPROVED ON-SITE MATERIALS (SUBGRADE)	AS NECESSARY

NHDOT GRADATION SPECIFICATION

SIEVE SIZE	PERCENT PASSING BY WEIGHT		
	CLEAN GRANULAR FILL	BASE COURSE	SELECT GRANULAR FILL
8"	100	100	100
3"	70-100	100	70-100
1 1/2"	40-100	40-80	40-90
No. 4	25-100	30-70	25-80
No. 10	15-95	20-60	15-70
No. 40	10-70	10-30	5-40
No. 200	0-15	3-10	0-12



NOTES:

- IF A GEOTECHNICAL REPORT IS PREPARED THE RECOMMENDATIONS WITHIN THAT REPORT SHALL SUPERCEDE RECOMMENDATIONS HEREIN. THE CONTRACTOR SHALL HAVE AND REVIEW A COPY OF THE GEOTECHNICAL REPORT AND COMPLY WITH THE RECOMMENDATIONS THEREIN.
- TOPSOIL SHALL BE REMOVED BENEATH ALL PAVEMENT AREAS TO EXPOSE THE NATURALLY-OCCURRING SOILS OR ACCEPTABLE ON-SITE FILL MATERIALS.
- THE SUBGRADE SHOULD BE PROOFROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER USING AT LEAST 4 PASSES OF A 10-TON VIBRATORY ROLLER. AREAS OF THE SUBGRADE THAT WEAVE OR ROLL EXCESSIVELY SHOULD BE OVEREXCAVATED AND REPLACED WITH DRIER CLEAN GRANULAR FILL MATERIAL.
- THE PAVEMENT SUBGRADE CONSISTING OF THE SPECIFIED CLEAN GRANULAR FILL SHALL BE PLACED IN 12" MAXIMUM LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM DESIGNATION D-1557.

PAVEMENT SECTIONS
NOT TO SCALE

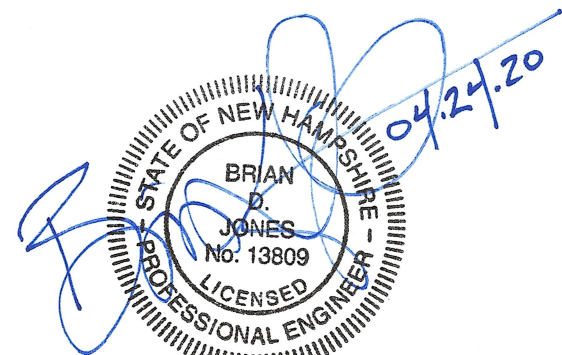
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APPROVED - CITY PLANNING STAFF

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

DATE OF APPROVAL _____



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
3		
2		

APPLICANT/OWNER:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT
10-12 NORTH MAIN STREET
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	AS SHOWN	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:



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environmental consulting • landscape architecture
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DRAWING TITLE: SHEET No.

DETAILS

C-502



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