

**LOCUS MAP**  
SCALE: 1" = 1000'

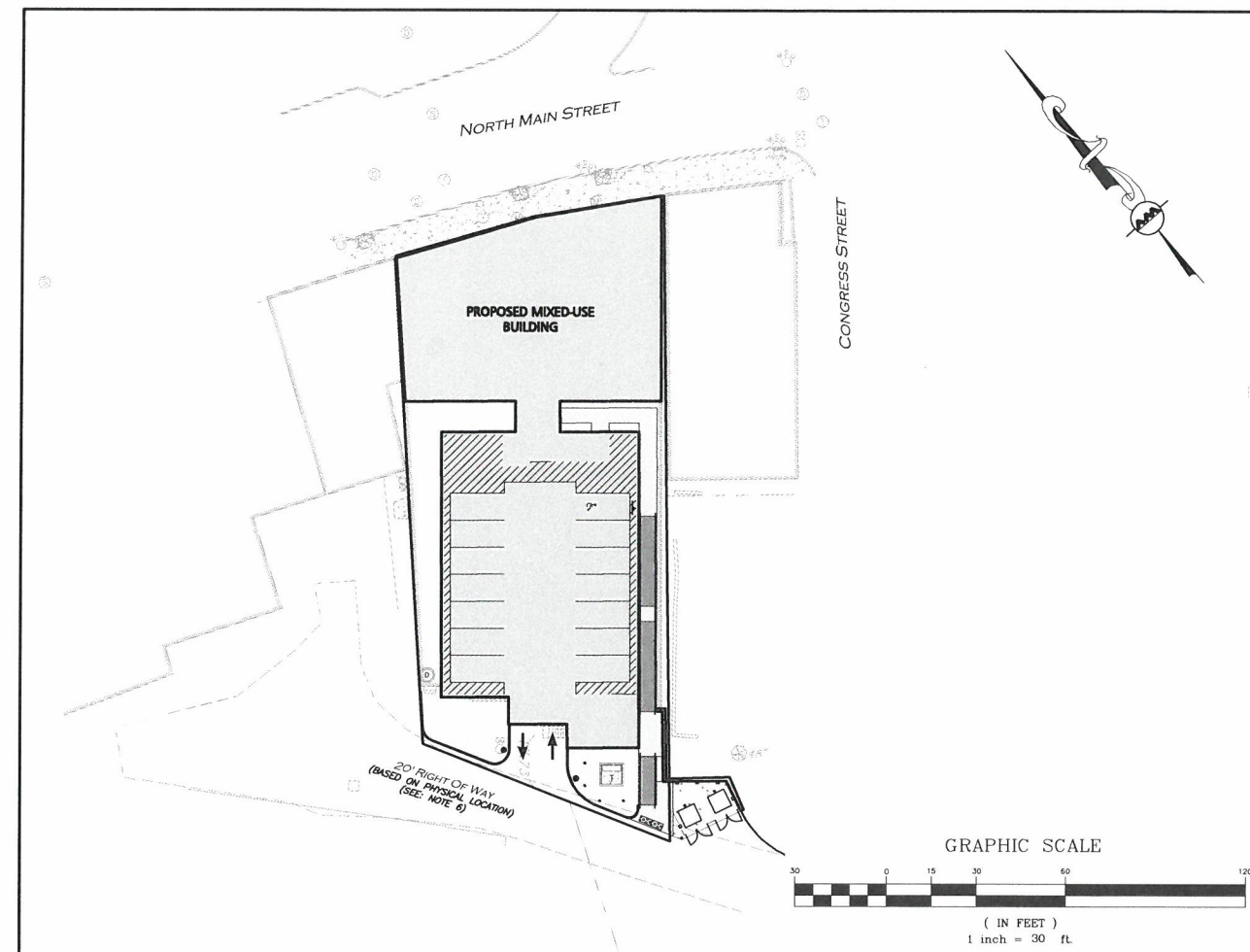
**APPLICANT/ARCHITECT:**  
CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857  
(603) 868-5995

**CIVIL ENGINEER/ LAND SURVEYOR:**  
ALLEN & MAJOR ASSOCIATES, INC.  
400 HARVEY ROAD  
MANCHESTER, NH 03103  
(603) 627-5500

# SITE DEVELOPMENT PLAN SET

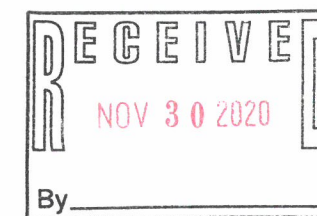
## MIXED-USE DEVELOPMENT

### 10-14 NORTH MAIN STREET ROCHESTER, NH 03867

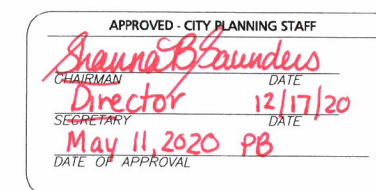
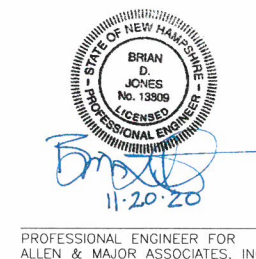


#### LIST OF DRAWINGS

DRAWING TITLE	SHEET	ISSUED	REVISION 1	REVISION 2
EXISTING CONDITIONS	V-101	4/03/2020	-	-
SITE PREPARATION PLAN	C-101	4/03/2020	4/24/2020	11/20/20
LAYOUT & MATERIALS PLAN	C-102	4/03/2020	4/24/2020	11/20/20
GRADING & DRAINAGE PLAN	C-103	4/03/2020	4/24/2020	11/20/20
UTILITIES PLAN	C-104	4/03/2020	4/24/2020	11/20/20
LANDSCAPE PLAN	L-101	-	4/24/2020	11/20/20
LANDSCAPE DETAILS	L-501	-	4/24/2020	11/20/20
DETAILS	C-501	4/03/2020	-	11/20/20
DETAILS	C-502	4/03/2020	-	11/20/20
DETAILS	C-503	4/03/2020	4/24/2020	11/20/20
LIGHTING PLAN	I of I	11/17/20	-	-



PREPARED BY:  
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consulting • landscape architecture  
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ISSUED FOR PLANNING REVIEW: APRIL 3, 2020  
PLANNING SUBMISSION REVISION 1: APRIL 24, 2020  
**ISSUED FOR PLANNING BOARD SIGNATURE: NOVEMBER 20, 2020**



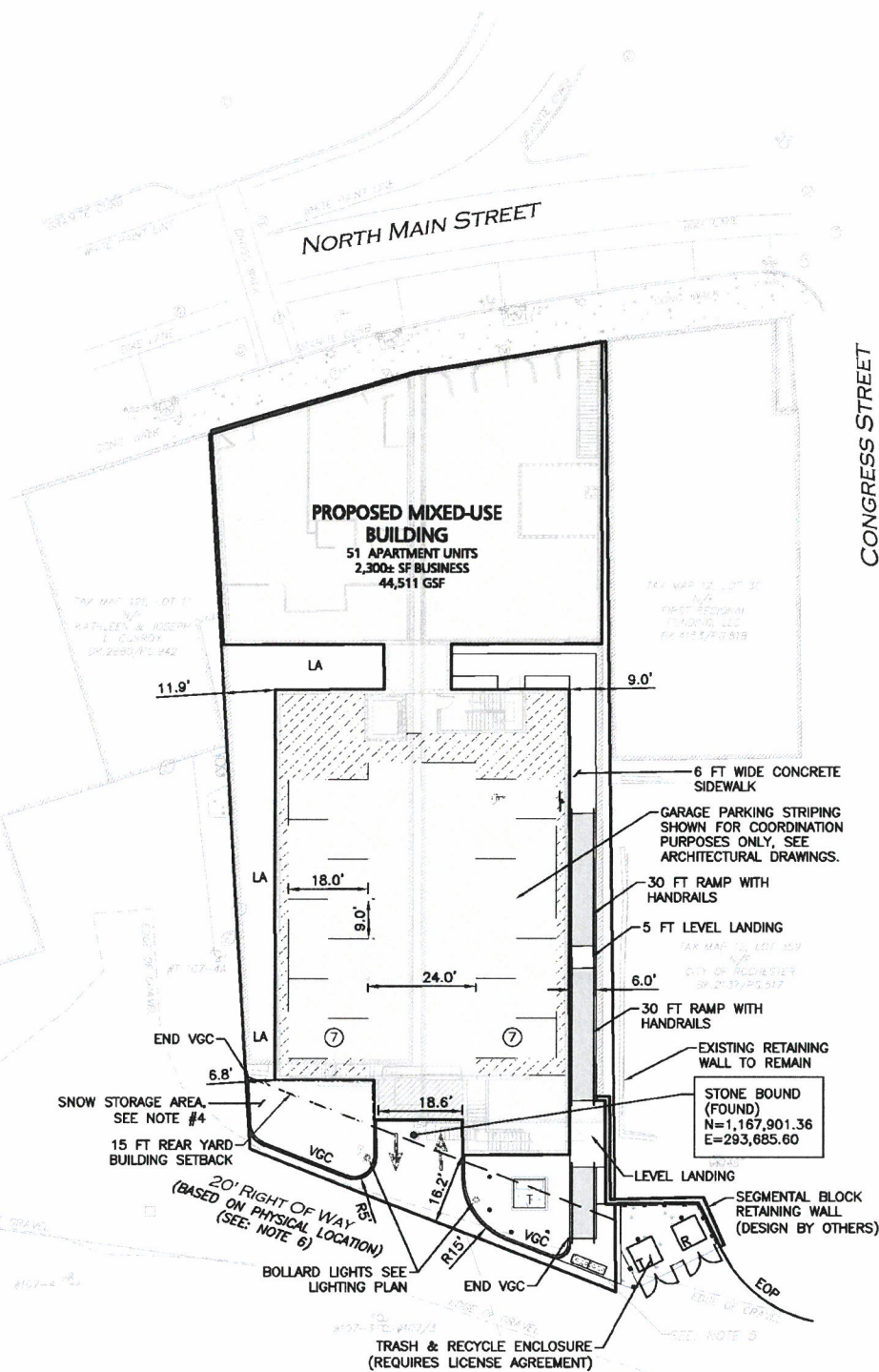




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### ZONING SUMMARY TABLE DOWNTOWN COMMERCIAL (DC), SPECIAL DOWNTOWN OVERLAY DISTRICT (SDOD)

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 SF	16,248 SF	16,248 SF
MINIMUM FRONTAGE	40 FT	91.9± FT	91.9± FT
MINIMUM LOT AREA PER DWELLING UNIT	0 SF <sup>(2)</sup>	N/A	318 SF <sup>(2)</sup>
MAXIMUM IMPERVIOUS LOT COVERAGE	--	85.8%	83.9%
MINIMUM FRONT YARD SETBACK	NONE	0 FT	0 FT
MINIMUM SIDE YARD SETBACK	NONE	0 FT	0 FT
MINIMUM REAR YARD SETBACK	15 FEET	19.7 FT	16.2 FT
MAXIMUM NUMBER OF STORIES	5	5	5
MINIMUM NUMBER OF STORIES	2	5	5
MAXIMUM HEIGHT	--	TBD	TBD
MINIMUM HEIGHT	20 FT	>20 FT	>20 FT

#### ZONING TABLE NOTES:

- TABLE 18-A RESIDENTIAL USES, DWELLING, APARTMENTS (APARTMENT/MIXED-USE BUILDING), IS PERMITTED (P) WITHIN THE DOWNTOWN COMMERCIAL ZONE (DC).
- ARTICLE 19. DIMENSIONAL REGULATIONS, 275-19.2 DIMENSIONAL PROVISIONS, E. (1), THERE IS NO MINIMUM LOT AREA PER DWELLING UNIT WITHIN THE DOWNTOWN COMMERCIAL (DC) ZONE DISTRICT...
- AMENDMENT TO CHAPTER 275 OF THE GENERAL ORDINANCES OF THE CITY OF ROCHESTER REGARDING RESIDENTIAL USES WITHIN THE DOWNTOWN COMMERCIAL DISTRICT 4) DOWNTOWN COMMERCIAL DISTRICT. WITHIN THE DOWNTOWN COMMERCIAL (DC) DISTRICT, MULTIFAMILY IS ALLOWED WITH THE FOLLOWING RESTRICTIONS: A) FOR PARCELS FRONTING ON THE STREETS NOTED BELOW, GROUND FLOOR SPACE OF 30' MULTIPLIED BY THE BUILDING FRONTAGE, OR (700 SQ. FT.), WHICHEVER IS GREATER, SHALL BE RESERVED FOR NON-RESIDENTIAL USES AS PERMITTED IN THE DC DISTRICT, UNLESS OTHERWISE REQUIRED TO COMPLY WITH STATE BUILDING CODE AND/OR FIRE CODE. ANY AREA EXCLUDED DUE TO BUILDING CODE AND/OR FIRE CODE SHALL NOT COUNT TOWARD THE MINIMUM. THIS APPLIES TO THE ENTIRE PORTION OF THE BUILDING FRONTING ON THE STREET. THE REMAINING AREA OF THE FIRST FLOOR MAY CONTAIN RESIDENTIAL UNITS AS A CONDITIONAL USE.
- THE PARCELS ARE LOCATED WITHIN THE HISTORIC OVERLAY, SPECIAL DOWNTOWN OVERLAY, AND THE DOWNTOWN COMMERCIAL DISTRICT.

### PARKING SUMMARY TABLE

USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	1.0 SPACE PER BEDROOM	47	14
	47 X 1 = 47 REQUIRED		
	0.75 SPACE PER STUDIO UNIT		
BUSINESS USE	7 X 0.75 = 5.25 REQUIRED	N/A	N/A
	NO MINIMUM		
	2,300± SF		
		52	14

#### ADA SPACES REQUIRED:

(15-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.

PROVIDED 1 ADA SPACE

#### PARKING TABLE NOTES:

- SECTION 10 - PARKING AND CIRCULATION, (E) PARKING LOT DESIGN, (A) STANDARD PARKING STALL SHALL BE 9'X18', AND THE DRIVE AISLE FOR 90 DEGREE PARKING SHALL BE 24 FEET FOR TWO-WAY CIRCULATION.
- ADDITIONAL OFF-STREET PARKING ADDRESSED WITHIN THE DEVELOPMENT AGREEMENT WITH THE CITY OF ROCHESTER.

### LEGEND

PROP. PROPERTY LINE

SIGN

BOLLARD

BUILDING

BUILDING ARCHITECTURE

BUILDING INTERIOR WALLS

CURB

RETAINING WALL

PARKING STRIPING

ROADWAY STRIPING

SIDEWALK

ADA ACCESSIBLE RAMP

ADA DET. WARNING SURFACE

SNOW STORAGE

SETBACK LINE

SAW-CUT LINE

HEAVY DUTY CONCRETE

TRANSFORMER

PARKING COUNT

### NOTES

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
- FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES. (603) 627-5500.
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- SNOW IS TO BE REMOVED FROM THE SITE WHEN THERE IS NOT SUFFICIENT SPACE ON SITE OR WHEN THERE WILL NOT BE SUFFICIENT SPACE IN THE EVENT OF EXCESSIVE SNOW FALL.
- BICYCLE PARKING AREA WILL BE PROVIDED WITHIN THE PARKING GARAGE, SEE ARCHITECTURAL DRAWINGS.

GRAPHIC SCALE



( IN FEET )

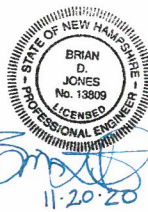
1 inch = 20 ft

APPROVED - CITY PLANNING STAFF

CHAIRMAN DATE

SECRETARY DATE

DATE OF APPROVAL



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
1	11-20-20	ISSUED FOR PB SIGNATURE
1	04-24-20	REVISED PER CITY REVIEW

APPLICANT/OWNER:

CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT  
10-12 NORTH MAIN STREET  
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	1" = 20'	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:



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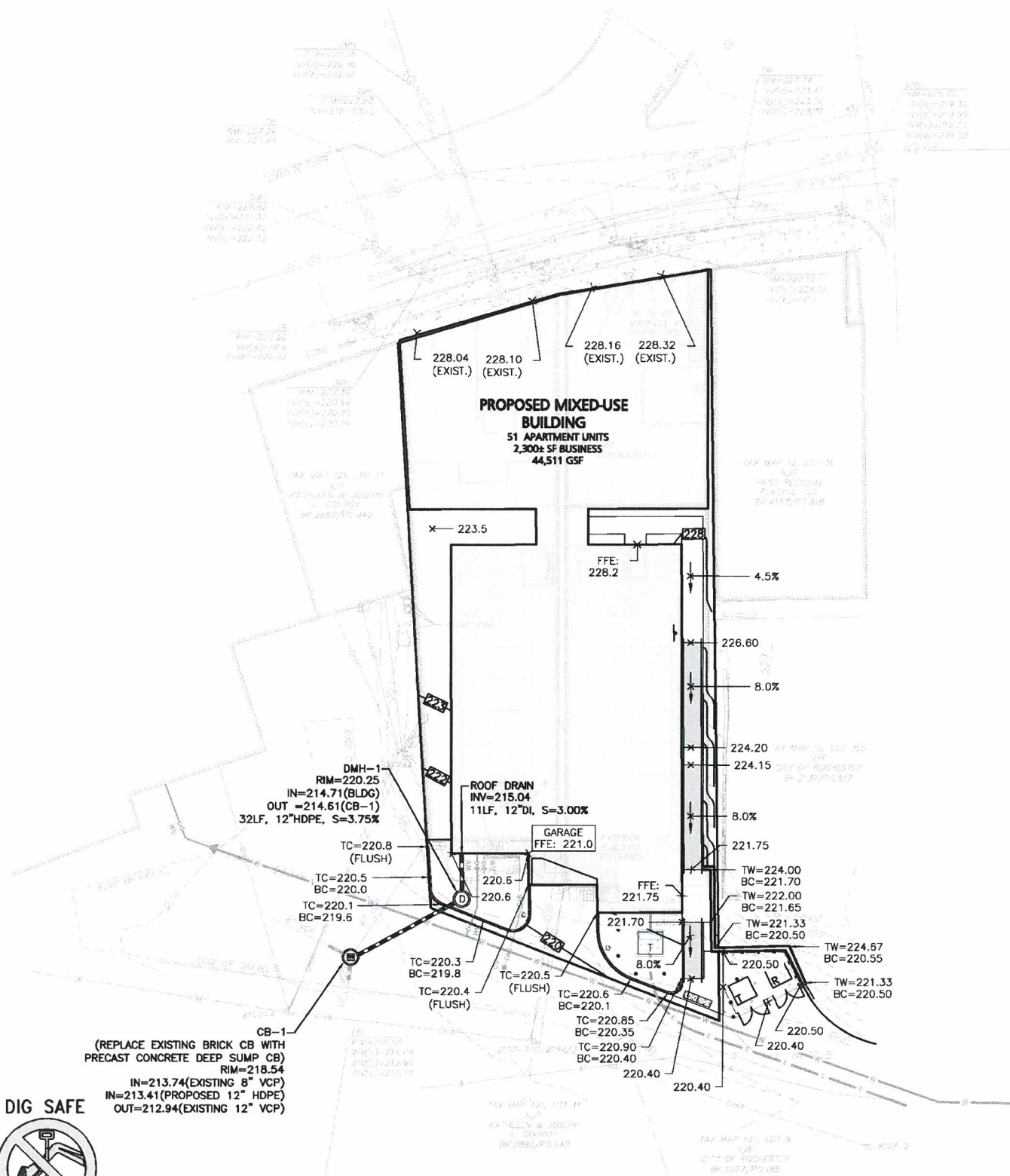
DRAWING TITLE:	SHEET No.
LAYOUT & MATERIALS PLAN	C-102

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R:\PROJECTS\2748-01\CIVIL\DRAWINGS\CURRENT\2748-01 GRADING & DRAINAGE.DWG

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- PLAN NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  - CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
  - EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
  - THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.
  - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
  - ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
  - ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
  - ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
  - CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF ROCHESTER, NHDOT, NHDES, MUTCD, AND AASHTO.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
  - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

APPROVED - CITY PLANNING STAFF

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_

**PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.**

**CHINBURG PROPERTIES**  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

**PROJECT:**  
MIXED-USE DEVELOPMENT  
10-12 NORTH MAIN STREET  
ROCHESTER, NH

**PROJECT NO.** 2748-01 **DATE:** 4/03/2020

**SCALE:** 1" = 20' **DWG. NAME:** C2748-01

**DESIGNED BY:** ARM **CHECKED BY:** BDJ

**APPLICANT/OWNER:**  
CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

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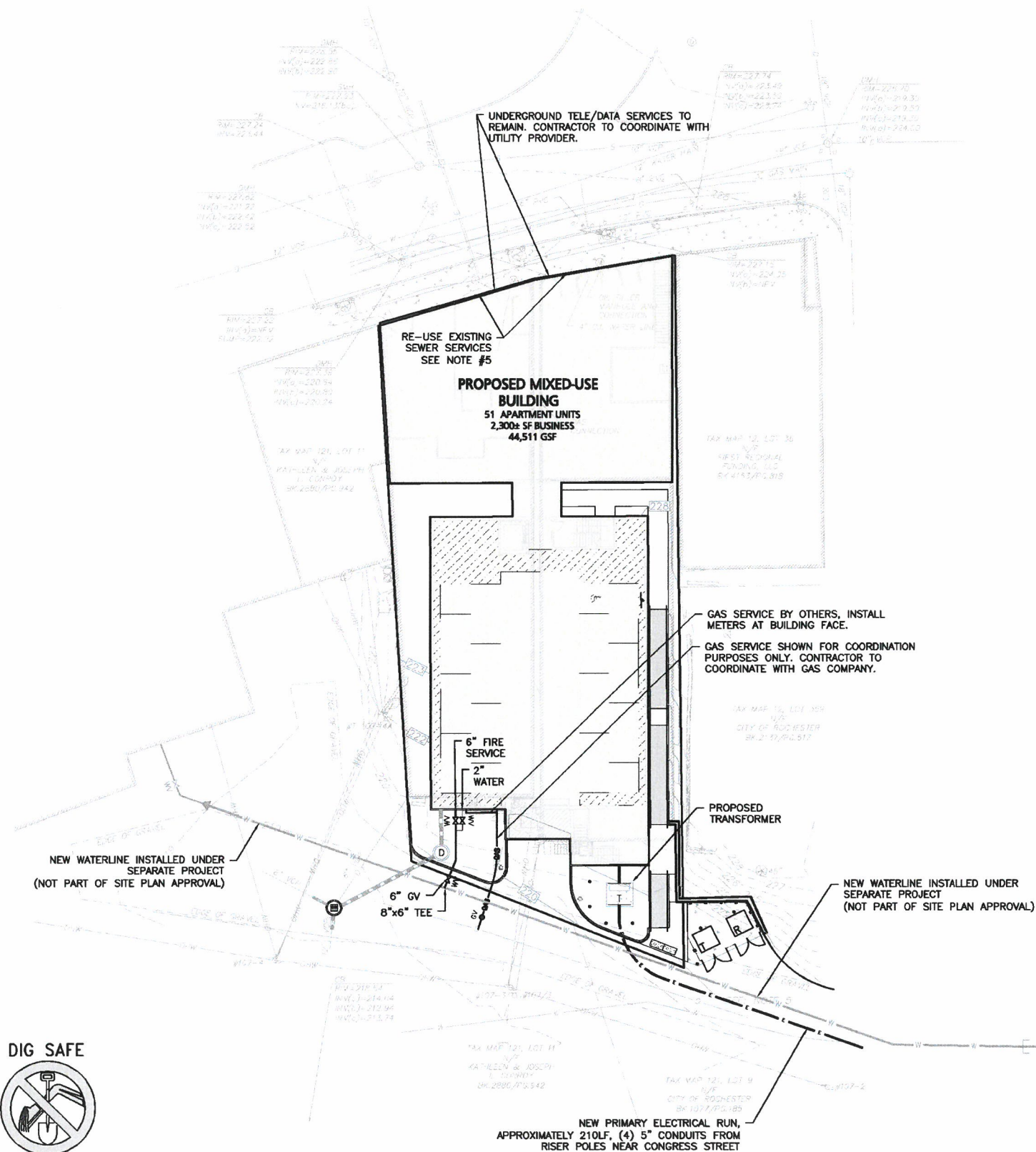
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MANCHESTER, NH 03103  
TEL: (603) 627-5500  
FAX: (603) 627-5501

**DRAWING TITLE:** GRADING & DRAINAGE PLAN **SHEET No.:** C-103

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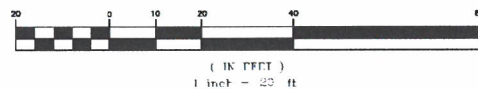
### LEGEND

SEWER MANHOLE	⊕
SEWER CLEANOUT	⊙
SEWER VENT	⊙
SEWER LINE	—
SEWER FORCEMAIN	— FM —
WATER LINE	— W —
WATER (FIRE SERVICE)	— W-F —
WATER (DOMESTIC SERVICE)	— W-D —
WATER VALVE	WV
GAS LINE	— GAS —
GAS VALVE	GV
ELECTRICAL CONDUIT	— E —
TELE/CABLE CONDUIT	— T/C —

### UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN AND SEWER LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN AND SEWER LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF EIGHT FEET CENTERED ON THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. THE APPLICANT HAS PERFORMED CLEANING AND CCTV INSPECTION OF THE EXISTING BUILDING SEWER SERVICES TO NORTH MAIN STREET. THE EXISTING SEWER SERVICES ARE ACCEPTABLE AND WILL BE RE-HABILITATED USING A PVC SLIP-LINE.
6. DOMESTIC WATER SERVICE AND FIRE SERVICES REQUIRE CITY OF ROCHESTER APPROVED BACKFLOW PREVENTION DEVICES.
7. PRIOR TO ANY DISTURBANCE WITHIN NORTH MAIN STREET APPROVALS FROM PUBLIC WORKS, BUILDING COMMISSION, AND CITY COUNCIL SHALL BE REQUIRED.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

### GRAPHIC SCALE



### APPROVED - CITY PLANNING STAFF

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
DATE OF APPROVAL \_\_\_\_\_



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	11-20-20	ISSUED FOR PB SIGNATURE
1	04-24-20	REVISED PER CITY REVIEW

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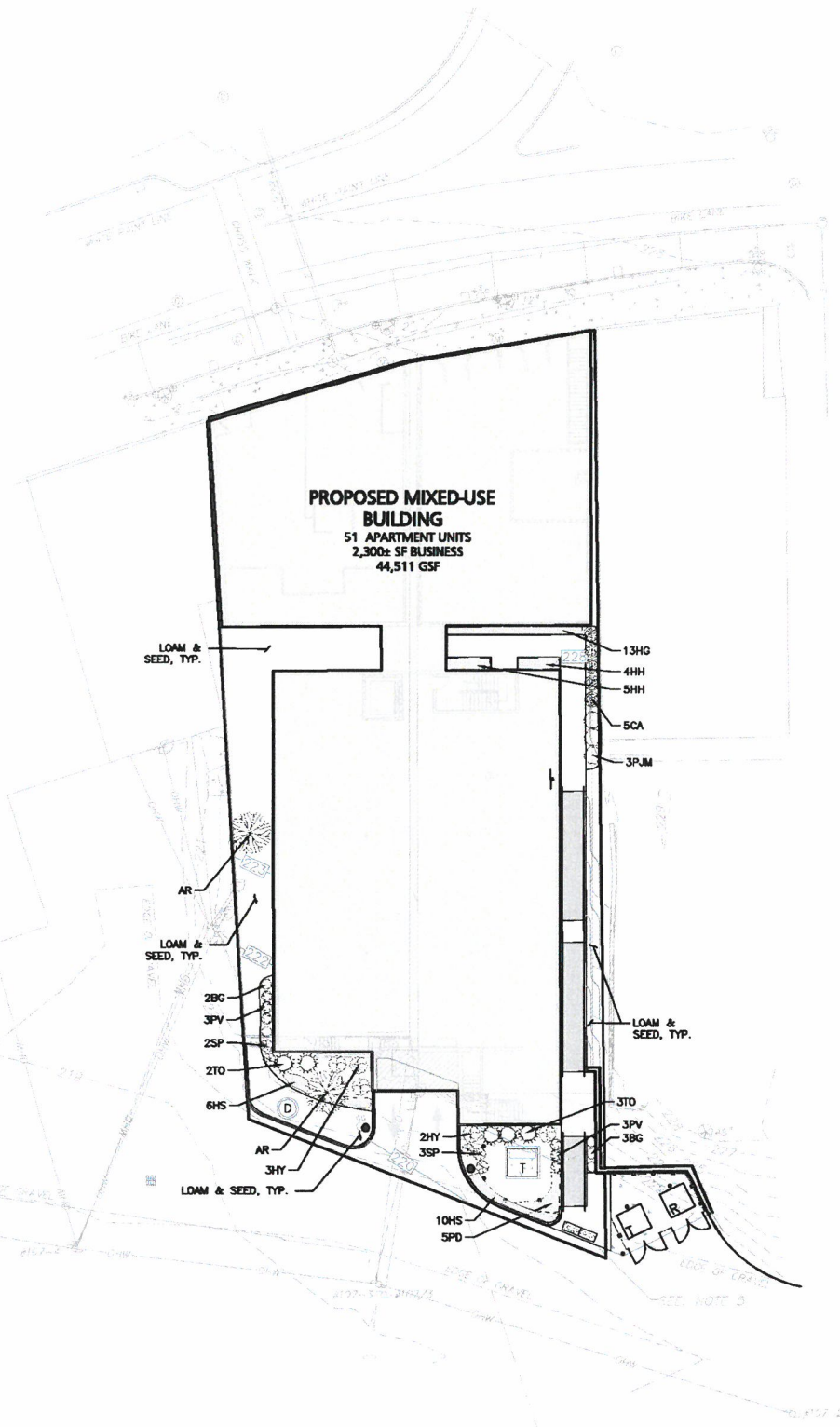
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DRAWING TITLE:	SHEET No.
UTILITIES PLAN	C-104

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### LEGEND

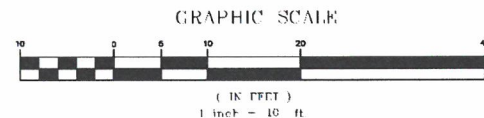
DECIDUOUS TREE	
EVERGREEN TREE	
SHRUBS	
MULCH BED	
PERENNIALS/GROUNDCOVER	

### PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
TO	5	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	5-6' HT	AS SHOWN	B&B
TREES						
AR	2	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	3-3.5" CAL.	AS SHOWN	B&B
SHRUBS						
CA	5	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#3	AS SHOWN	POT
BG	5	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	#2	AS SHOWN	POT
HY	5	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL HYDRANGEA	#5	AS SHOWN	POT
PJM	3	RHODODENDRON 'PJM COMPACT CLONE'	COMPACT PJM RHODODENDRON	#5	AS SHOWN	B&B
SP	5	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	#5	AS SHOWN	POT
PERENNIALS						
HG	13	HOSTA 'GOLD STANDARD'	GOLD STANDARD HOSTA	#1	24" O.C	STAGGERED
HH	9	HOSTA 'KROSSA REGAL'	KROSSA REGAL HOSTA	#1	30" O.C	STAGGERED
HS	16	HEMEROCALLIS 'ORANGE SMOOTHIE'	ORANGE SMOOTHIE DAYLILY	#1	24" O.C.	STAGGERED
PD	5	PEONIA 'DUTCHESS DE NEMOURS'	'DUTCHESS DE NEMOURS' PEONY	#1	24" O.C.	STAGGERED
PV	6	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	#1	24" O.C.	STAGGERED

### NOTES

1. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
2. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT BRIAN JONES AT ALLEN & MAJOR ASSOCIATES. (603) 627-5500.
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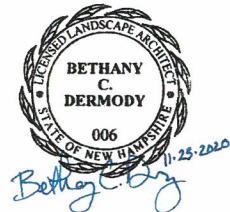


APPROVED - CITY PLANNING STAFF

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_



REGISTERED LANDSCAPE ARCHITECT FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	11-20-20	ISSUED FOR PB SIGNATURE
1	04-24-20	REVISED PER CITY REVIEW

APPLICANT/OWNER:

CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT  
10-12 NORTH MAIN STREET  
ROCHESTER, NH

PROJECT NO. 2748-01 DATE: 4/03/2020

SCALE: 1" = 10' DWG. NAME: C2748-01

DESIGNED BY: BCD CHECKED BY: BDJ

PREPARED BY:



**ALLEN & MAJOR ASSOCIATES, INC.**

civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com

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DRAWING TITLE:

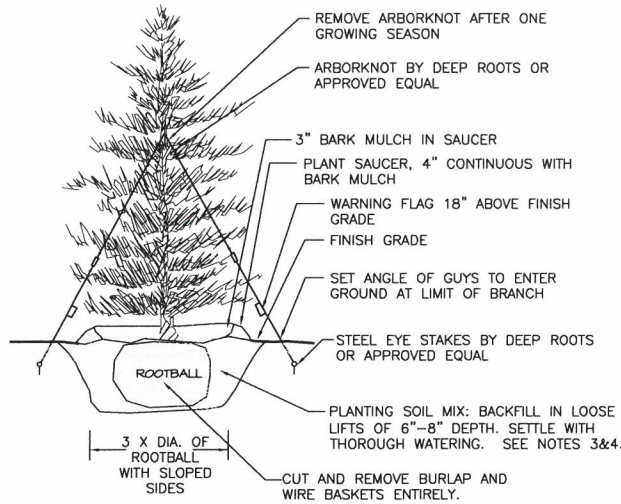
LANDSCAPE PLAN

SHEET No.

L-101

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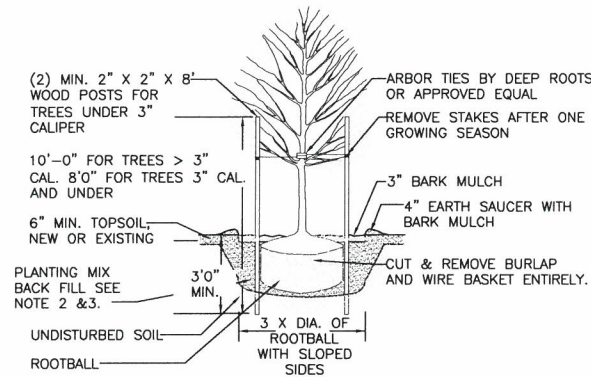


#### NOTES

1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

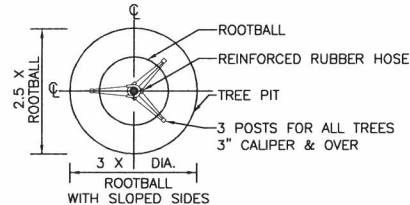
EVERGREEN TREE DETAIL  
NOT TO SCALE

1



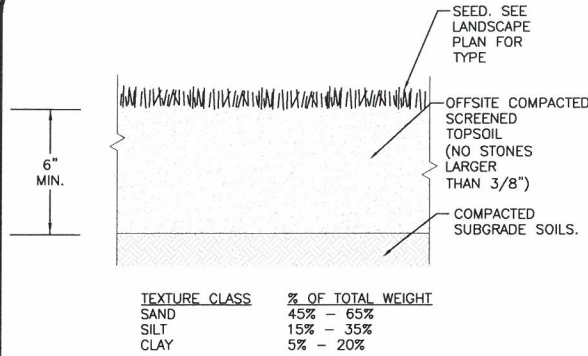
#### NOTES:

1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

2



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

#### NOTES:

1. TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
2. ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
3. THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
4. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS  
NOT TO SCALE

3

#### LOAM AND SEEDING NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE), AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING AT NO ADDITIONAL COST TO OWNER.
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
4. LAWN AREAS TO BE SEEDDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

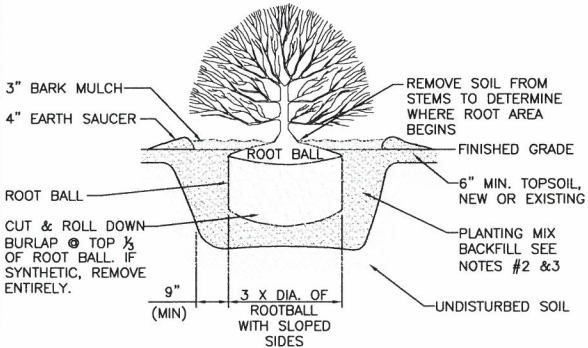
#### DIG SAFE



BEFORE YOU DIG  
CALL 811 OR  
1-888-DIG-SAFE  
1-888-344-7233

#### NOTES:

1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL  
NOT TO SCALE

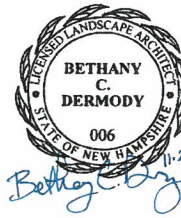
4

#### LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ROCHESTER, NH, SPECIFICATIONS.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE"(1-888-DIG-SAFE) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 4" OF LOAM AND SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER OF AS NOTED ON THE PLANTING PLAN ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
16. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
17. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER.
18. AS THERE IS NO PROPOSED IRRIGATION SYSTEM, AFTER PLANTINGS & LAWNS & SEEDD AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEEDD AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.

APPROVED - CITY PLANNING STAFF

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
DATE OF APPROVAL \_\_\_\_\_



REGISTERED LANDSCAPE ARCHITECT FOR  
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	11-20-20	ISSUED FOR PB SIGNATURE
1	04-24-20	REVISED PER CITY REVIEW

#### APPLICANT/OWNER:

CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

#### PROJECT:

MIXED-USE DEVELOPMENT  
10-12 NORTH MAIN STREET  
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	NTS	DWG. NAME:	C2748-01
DESIGNED BY:	BCD	CHECKED BY:	BDJ

#### PREPARED BY:

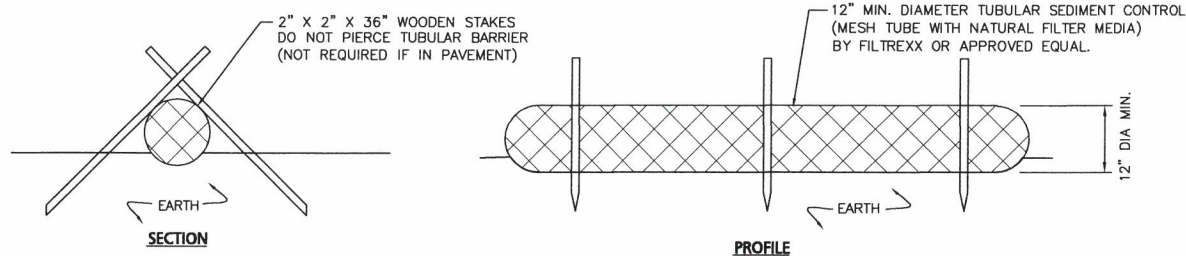
**ALLEN & MAJOR ASSOCIATES, INC.**  
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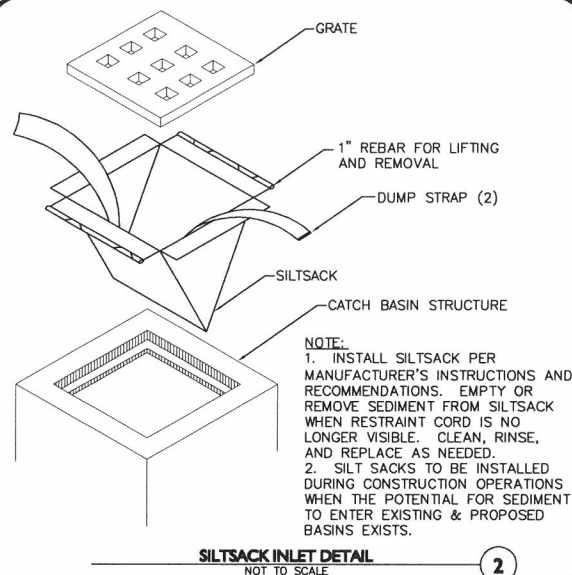




- NOTES:
1. TUBULAR SEDIMENT CONTROL SHALL BE 12" MIN. DIAMETER MESH TUBE WITH NATURAL FILTER MEDIA BY FILTREXX OR APPROVED EQUAL.
  2. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
  3. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER
  4. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
  5. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
  6. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
  7. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

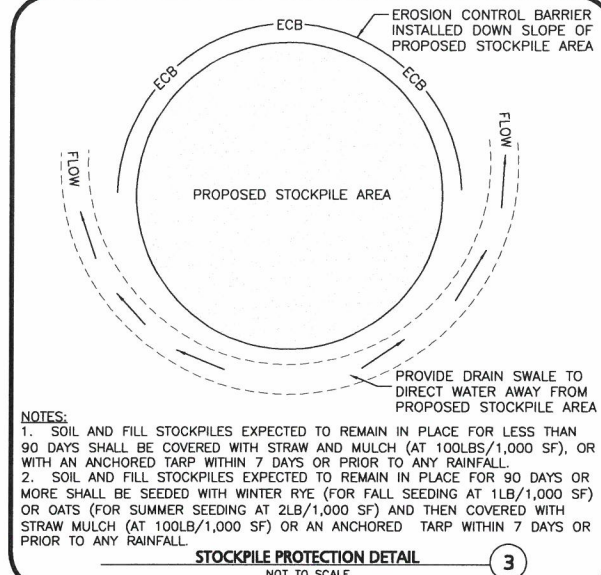
**TUBULAR SEDIMENT BARRIER**  
NOT TO SCALE

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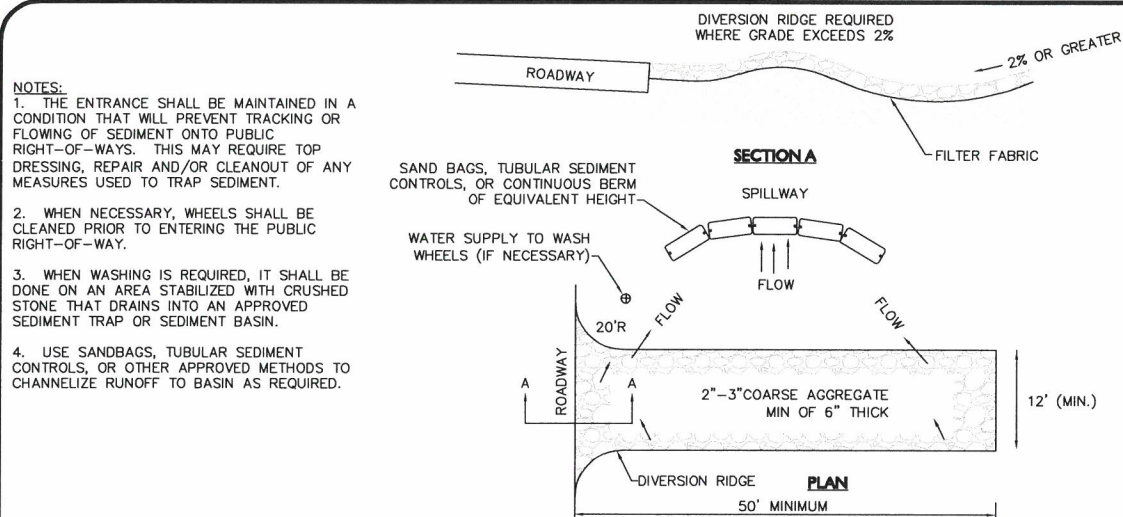
**SILTSACK INLET DETAIL**  
NOT TO SCALE

2



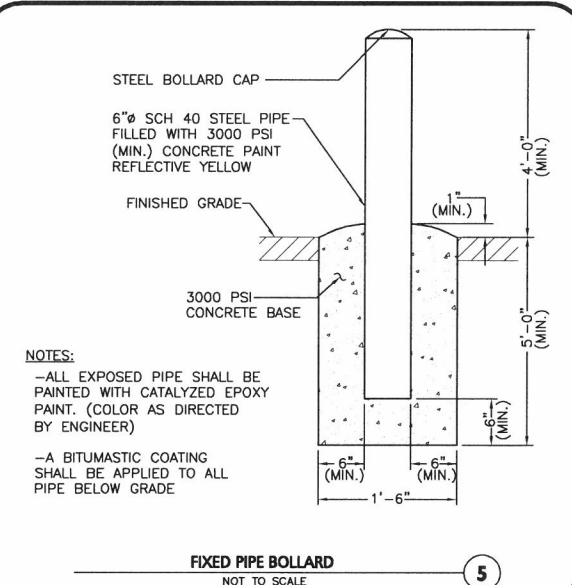
**STOCKPILE PROTECTION DETAIL**  
NOT TO SCALE

3



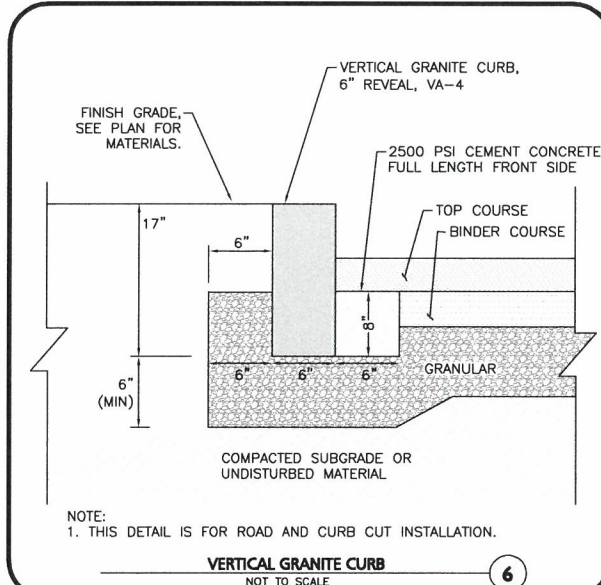
**TEMPORARY CONSTRUCTION ENTRANCE/EXIT**  
NOT TO SCALE

4



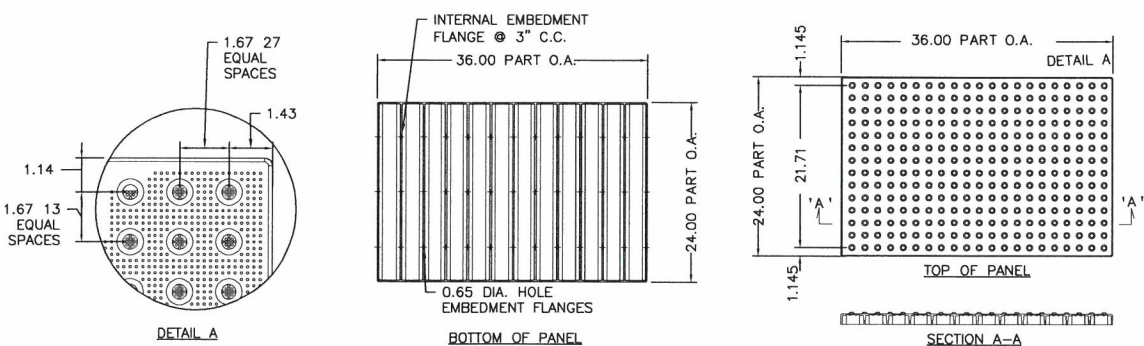
**FIXED PIPE BOLLARD**  
NOT TO SCALE

5



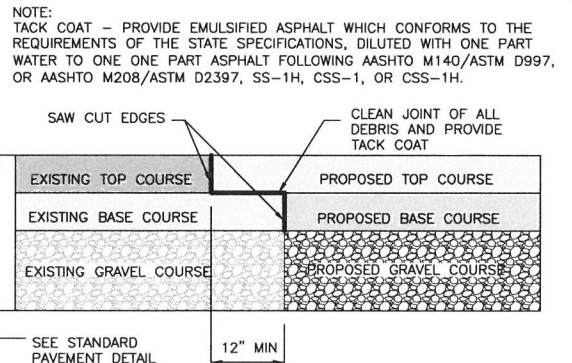
**VERTICAL GRANITE CURB**  
NOT TO SCALE

6



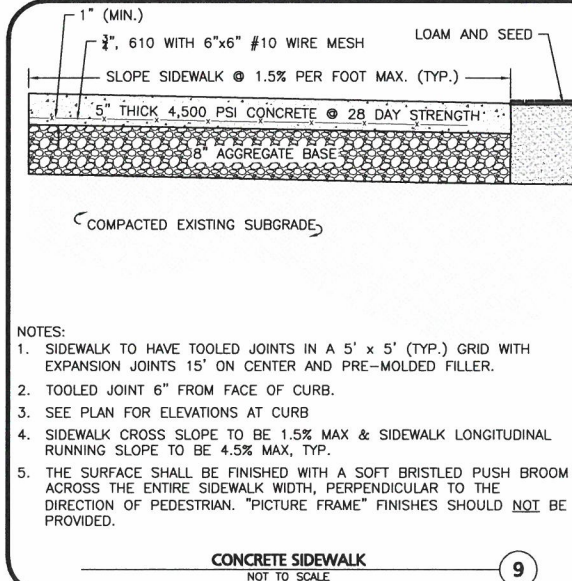
**CAST-IN-PLACE TACTILE WARNING PANELS**  
NOT TO SCALE

7



**PAVEMENT KEY CUT DETAIL**  
NOT TO SCALE

8



**CONCRETE SIDEWALK**  
NOT TO SCALE

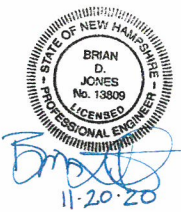
9

APPROVED - CITY PLANNING STAFF

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

DATE OF APPROVAL \_\_\_\_\_



PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

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PREPARED BY:  
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environmental consulting • landscape architecture  
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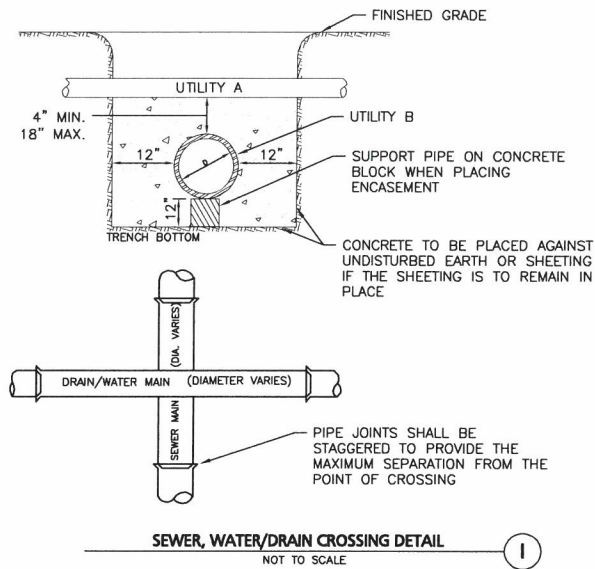




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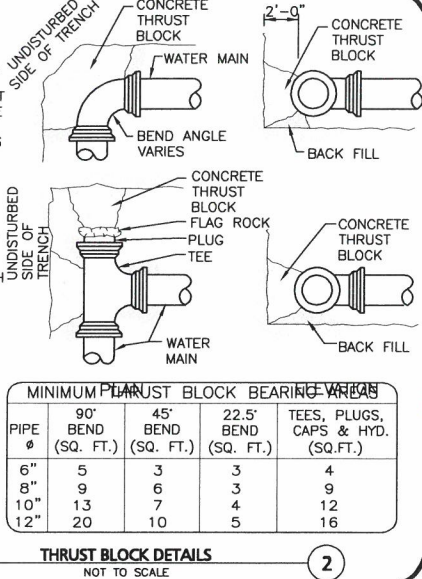
WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET BETWEEN A SEWER MAIN AND A WATER/RAIN MAIN:

1. THE WATER/RAIN MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER/RAIN MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. THE PIPE CROSSING SHALL OCCUR AS CLOSE TO 90° AS PRACTICABLE.
3. THE PIPE JOINTS SHALL BE STAGGERED TO PROVIDE THE MAXIMUM SEPARATION FROM THE POINT OF CROSSING.
4. THE CROSSING SHALL BE ENCASED IN CONCRETE FOR THE ENTIRE WIDTH OF THE TRENCH AND FOR A DISTANCE OF 10 LINEAR FEET CENTERED ON THE CROSSING.
5. UTILITIES A AND B CAN BE EITHER NEW OR EXISTING.
6. WHEN ONE UTILITY IS A SANITARY SEWER, IT IS PREFERABLE TO BE POSITIONED AS SHOWN FOR UTILITY B.
7. ENCASEMENT EXTENDS 10'-0" ON EACH SIDE OF THE CENTERLINE OF UTILITY A.
8. PIPE MUST BE BRACED VERTICALLY AND HORIZONTALLY TO PREVENT FLOATATION DURING PLACEMENT OF CONCRETE.

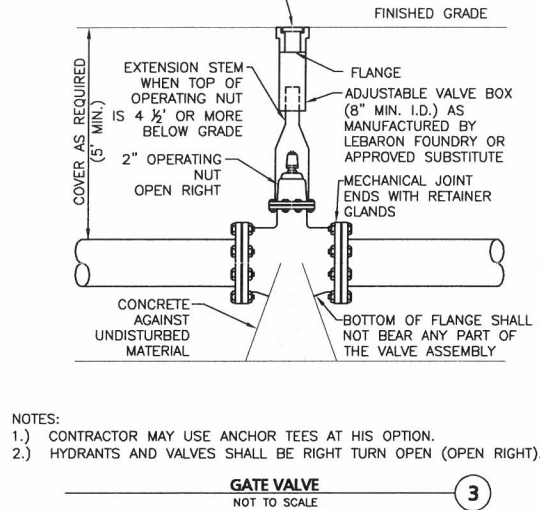


NOTES:

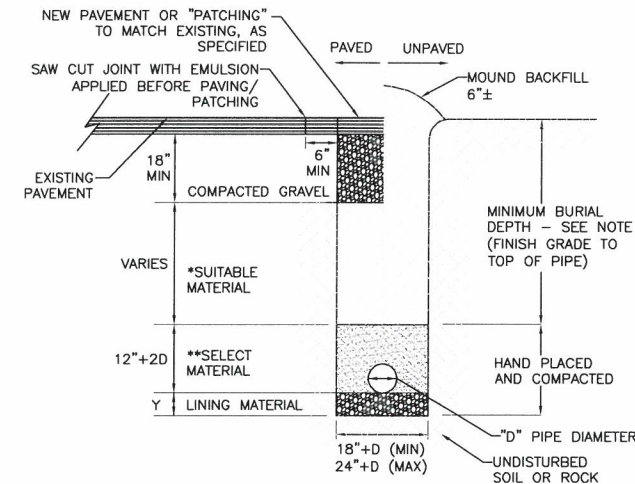
1. ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
2. ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
3. SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
4. MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
5. KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
6. THE BELOW PREPARED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE ABOVE TABLE SHALL BE MULTIPLIED BY:



COVER TO BE LETTERED "WATER" IN LETTERS THAT ARE 1" TALL WITH 2 NOTCH OPENINGS



- NOTES:
- 1.) CONTRACTOR MAY USE ANCHOR TEES AT HIS OPTION.
  - 2.) HYDRANTS AND VALVES SHALL BE RIGHT TURN OPEN (OPEN RIGHT).

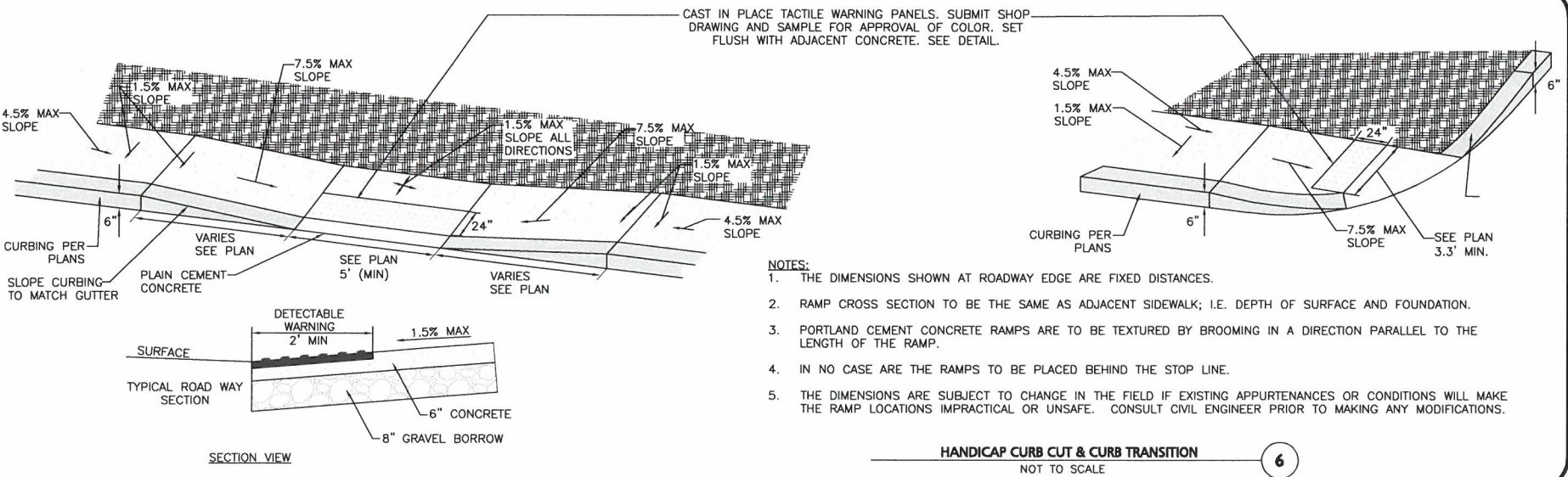
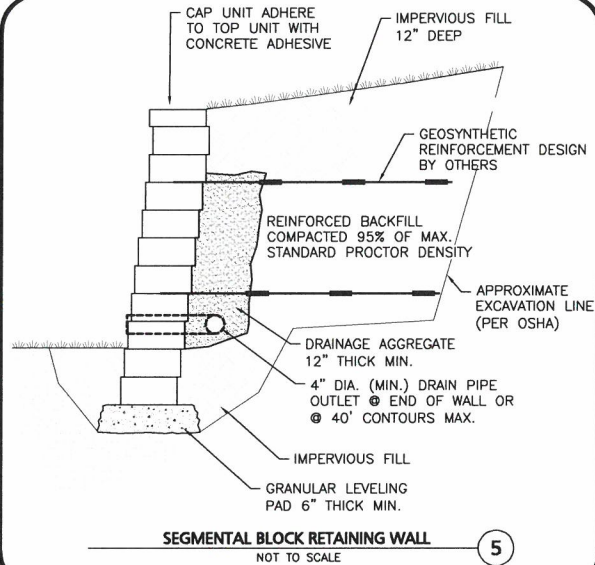


CONDITION & PIPE	**SELECT MATERIAL	LINING MATERIAL	Y-DIMENSION
DUCTILE IRON "ORDINARY SOIL"	TYPE I, II, OR III	SAND OR TYPE III	3"
RCP "ORDINARY SOIL"	TYPE II OR III	SAND OR TYPE III	3"
ALL PIPE OVER BEDROCK OR LEDGE	TYPE II OR III	SAND OR TYPE III	8"
DUCTILE IRON IN CLAY OR MUCK	TYPE II OR III	SAND	4"
RCP IN CLAY	TYPE II OR III	SAND	8"
ALL PLASTICS	TYPE III	SAND OR TYPE III	6"

- \* SUITABLE MATERIAL SHALL CONTAIN NO STONE GREATER THAN 4" IN DIAMETER, NO FROZEN LUMPS, AND ONLY MINOR AMOUNTS OF CLAY OR ORGANIC MATERIAL. ALL MATERIAL TO BE PLACED IN MAX 6" LIFTS AND COMPACTED BEFORE PLACING NEXT LIFT.
- \*\*TYPE I MATERIAL SHALL BE EITHER GRAVEL OR EXCAVATED MATERIAL CONTAINING NO STONES GREATER THAN 1.5" DIAMETER, NO FROZEN LUMPS, CLAY OR ORGANIC MATERIAL.
- \*\*TYPE II MATERIAL SHALL BE CLEAN, HARD, CRUSHED OR NATURAL STONE WITH A GRADATION BY WEIGHT OF 100% PASSING A 1.5" SQUARE OPENING, NOT MORE THAN 25% PASSING A 3/4" OPENING, AND NOT MORE THAN 5% PASSING A 1/2" SQUARE OPENING.
- \*\*TYPE III MATERIAL SHALL BE CLEAN, HARD, CRUSHED STONE FREE FROM COATINGS AND THOROUGHLY WASHED WITH A GRADATION BY WEIGHT OF 100% PASSING A 1" SQUARE OPENING, AND 0 TO 5% PASSING A 3/4" SQUARE OPENING.

NOTES:

1. MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)  
GRAVITY PIPE - SEE PLAN OR PROFILE  
PRESSURE PIPE UNDER PAVING - 4'  
PRESSURE PIPE BENEATH UNPAVED - 3'
2. WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR, AASHTO T-99, ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
3. FOR ALL TRENCHES WITH A GRADE GREATER THAN 4% AND/OR WHERE GROUNDWATER IS APPARENT, INSTALL CLAY DAMS AROUND THE PIPE AT 100' INTERVALS.
4. BACKFILL AS PER DCED-R100 AND REFERENCED AS STANDARD DRAWING.



NOTES:

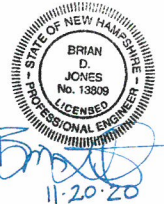
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
2. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
3. PORTLAND CEMENT CONCRETE RAMPS ARE TO BE TEXTURED BY BROOMING IN A DIRECTION PARALLEL TO THE LENGTH OF THE RAMP.
4. IN NO CASE ARE THE RAMPS TO BE PLACED BEHIND THE STOP LINE.
5. THE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE. CONSULT CIVIL ENGINEER PRIOR TO MAKING ANY MODIFICATIONS.

APPROVED - CITY PLANNING STAFF

CHAIRMAN DATE

SECRETARY DATE

DATE OF APPROVAL



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	11-20-20	ISSUED FOR PB SIGNATURE
1	04-24-08	REVISED PER TOWN

APPLICANT/OWNER:

CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

PROJECT:

MIXED-USE DEVELOPMENT  
10-12 NORTH MAIN STREET  
ROCHESTER, NH

PROJECT NO.	2748-01	DATE:	4/03/2020
SCALE:	AS SHOWN	DWG. NAME:	C2748-01
DESIGNED BY:	ARM	CHECKED BY:	BDJ

PREPARED BY:



ALLEN & MAJOR  
ASSOCIATES, INC.

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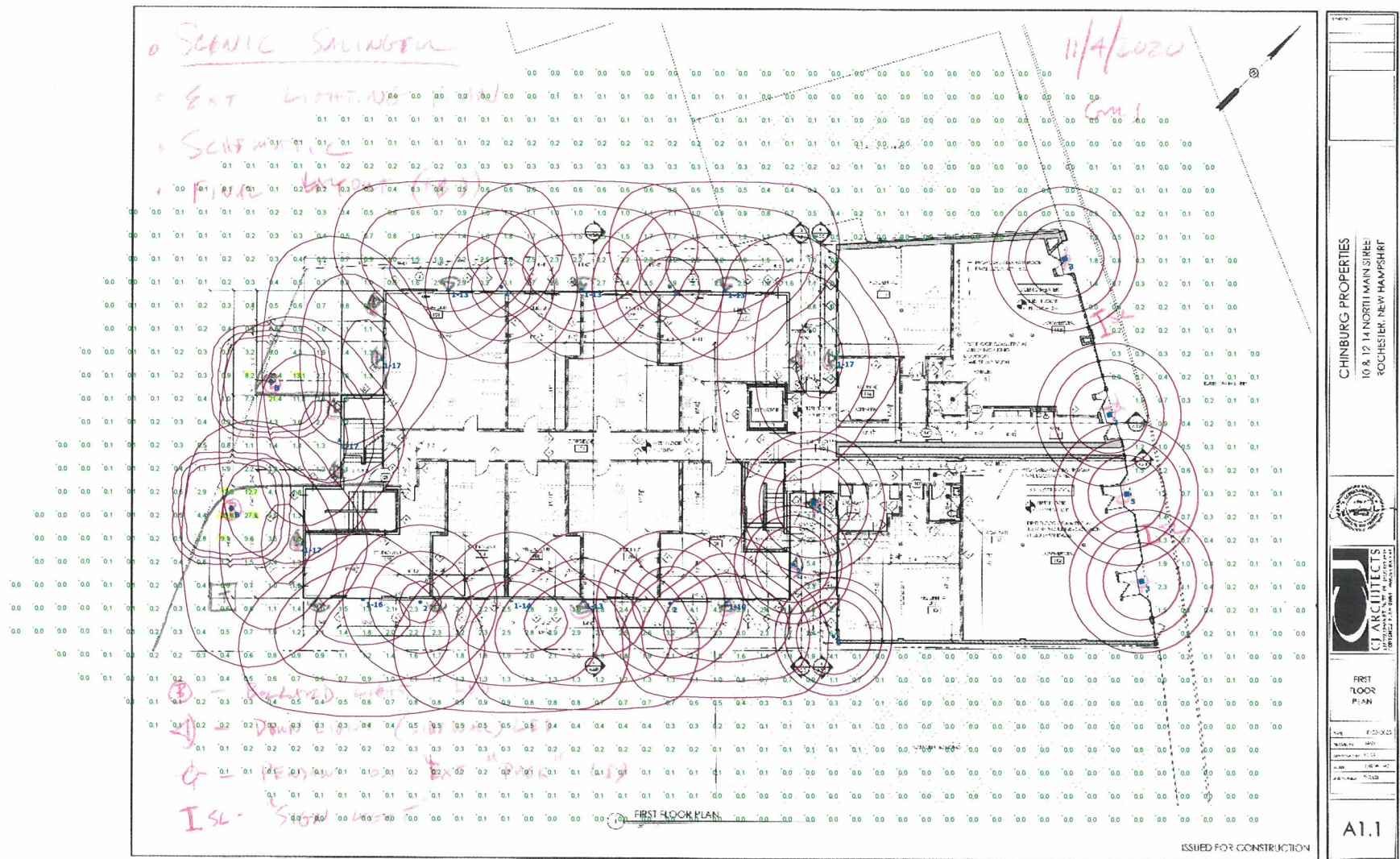
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DRAWING TITLE:	SHEET No.
DETAILS	C-503

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Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	1-10	1	Lithonia Lighting	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts; mounted at 10ft	LED	1	WPX1_LED_P1_40K_Mvolt.ies	1568	0.9	11.47
	1-13	4	Lithonia Lighting	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts; mounted at 13ft	LED	1	WPX1_LED_P1_40K_Mvolt.ies	1568	0.9	11.47
	1-14	1	Lithonia Lighting	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts; mounted at 14ft	LED	1	WPX1_LED_P1_40K_Mvolt.ies	1568	0.9	11.47
	1-16	1	Lithonia Lighting	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts; mounted at 16ft	LED	1	WPX1_LED_P1_40K_Mvolt.ies	1568	0.9	11.47
	1-17	4	Lithonia Lighting	WPX1 LED P1 40K Mvolt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts; mounted at 17ft	LED	1	WPX1_LED_P1_40K_Mvolt.ies	1568	0.9	11.47
	2	6	Baselite Corp	HW1 E17 12WLED CL4 CG 21	Baselite Vapor Jar; mounted next to unit doors	LED	1	11328494-1260983.ies	1019	0.75	12
	3	5	Norwell Lighting	1184 MB CL	Capture Ceiling Mount Fixture; mounted at 10ft	LED	1	7162-C17-35K.ies	1411	0.75	12
	B	2	Lithonia Lighting	DSXB LED 16C 700 40K SYM	D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 700mA AND SYMMETRIC DISTRIBUTION; mounted at 3ft	LED	1	DSXB_LED_16C_700_40K_SYM.ies	3009	0.9	39



## SCENIC THEATER Site Lighting Layout

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
11/23/2020  
Scale  
1"=16'  
Drawing No.  
Summary