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* INDICATES A PLAN IS TO BE RECORDED

OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: STONEY RIDGE ENVIRONMENTAL
CYNTHIA M. BALCIUS, CSS, CWS, CPESC
233 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 776-5825

APPLICANT: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

SOIL SCIENTIST: STONEY RIDGE ENVIRONMENTAL
CYNTHIA M. BALCIUS, CSS, CWS, CPESC
233 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 776-5825

"HIGHLAND OAKS"

ALTERATION OF TERRAIN PERMIT

FOR

KEL-MAR INVESTMENTS, LLC

KELMAR DRIVE & FRESIAN DRIVE

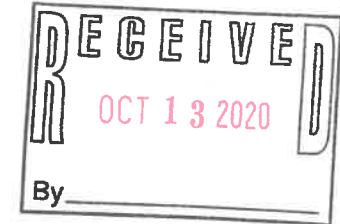
ROCHESTER, N.H.

TAX MAP 203

LOTS 25-10 THROUGH 25-15 & 25-18 THROUGH 25-24

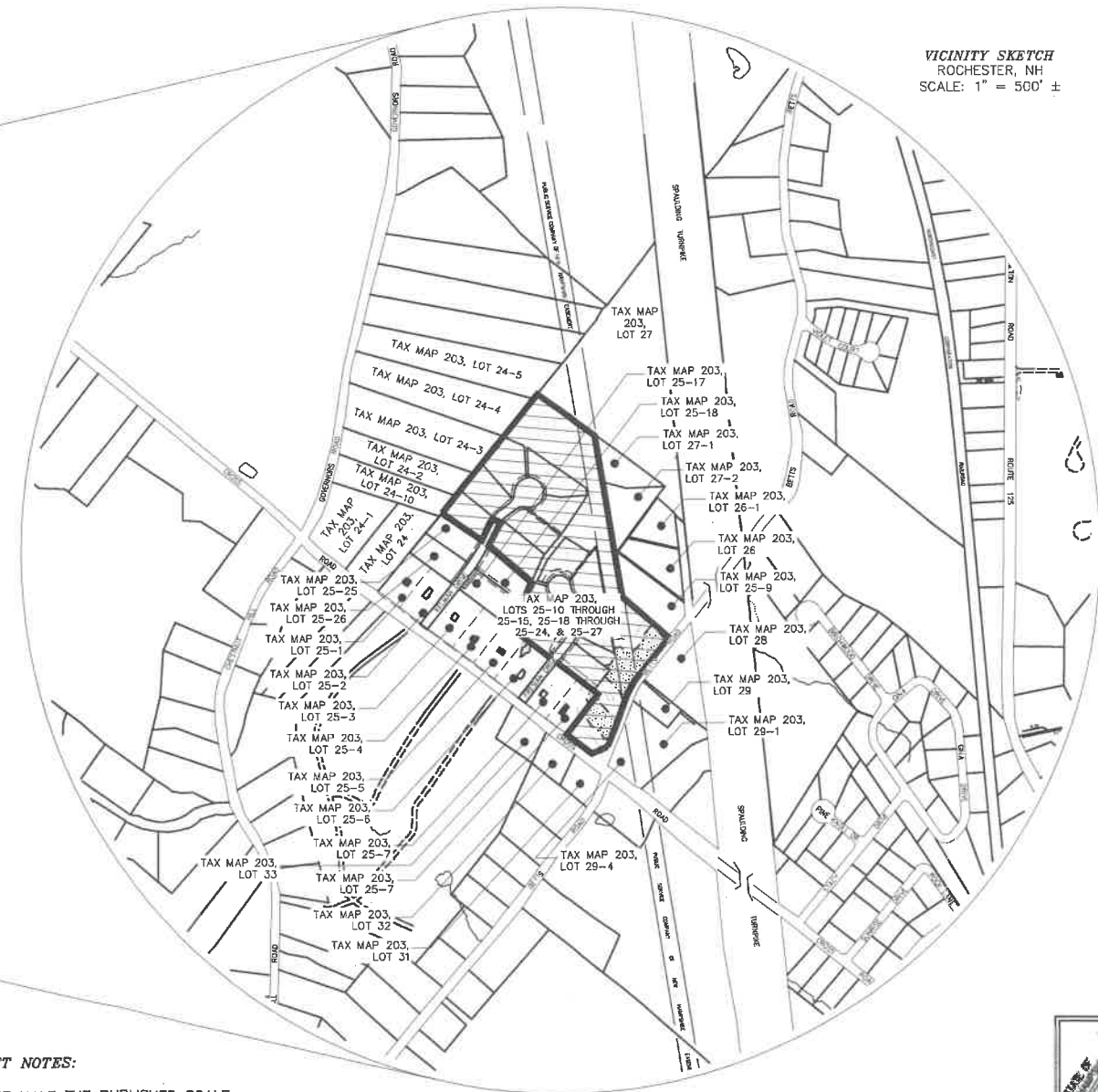
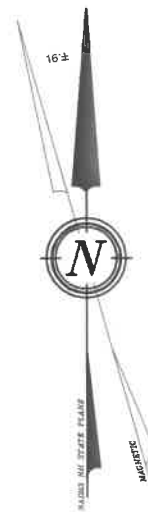
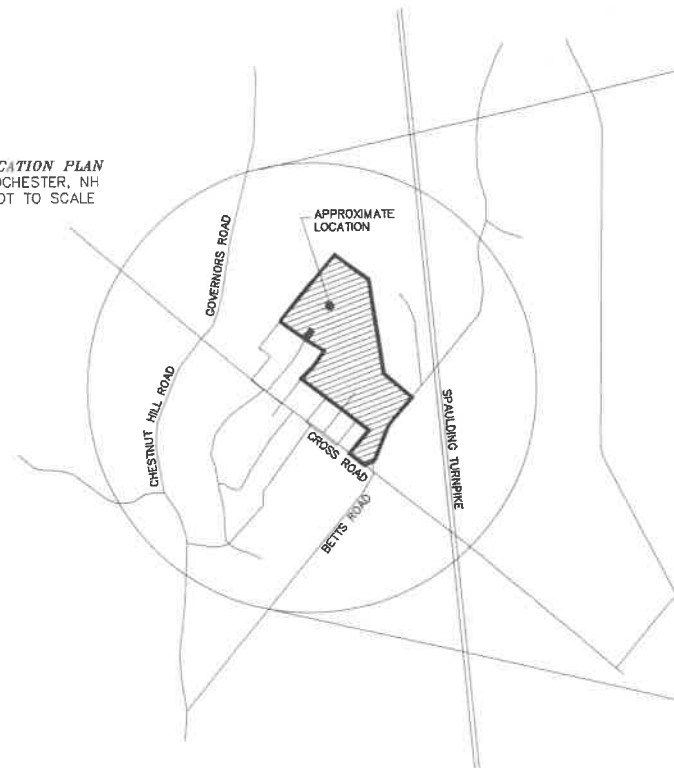
NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECTS DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CITY OF ROCHESTER COMMUNITY SERVICES DEPARTMENT.



VICINITY SKETCH
ROCHESTER, NH
SCALE: 1" = 500' ±

LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



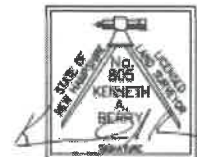
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

REQUIRED PERMITS:

- 1.) NHDES ALTERATION OF TERRAIN (PENDING)
- 2.) CONDITIONAL USE PERMIT: (PENDING)
- 3.) NATURAL HERITAGE BUREAU: NHB 19-2945 (9/12/2019)
- 4.) DIVISION OF HISTORICAL RESOURCES: 9945 (8/13/2018)

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.



REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	10-9-20	REVISED PER CITY APPLICATION
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ALTERATION OF TERRAIN PERMIT
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : AS SHOWN
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100



Certified 10/24/2020 by: Seth Craghton, Chief Planner

ABBREVIATION LEGEND:

E.O.P. EDGE OF PAVEMENT
E.S.H.W.T. ESTIMATE SEASONAL HIGH WATER TABLE
TYP. TYPICAL
CONC. CONCRETE
U.G.E. UNDER GROUND ELECTRIC / UTILITY
U.D. UNDER DRAIN
F.E.S. FLARED END SECTION
HDPE HIGH DENSITY POLYETHYLENE
RCP REINFORCED CONCRETE PIPE
F FINISHED GRADE
E EXISTING GRADE
E.T.W. EDGE OF TRAVELED WAY
T.B.R. TO BE REMOVED
'/ FEET / FEET

SSL () ~ [SIZE] SINGLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
DSL () ~ [SIZE] DOUBLE SOLID LINE (COLOR W=WHITE, Y=YELLOW)
SSB () ~ [SIZE] SINGLE SOLID W/ BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
SBL () ~ [SIZE] SINGLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)
DBL () ~ [SIZE] DOUBLE BROKEN LINE (COLOR W=WHITE, Y=YELLOW)

EXISTING LEGEND:

IRON BOUND ~TBS~
IRON BOUND ~FND~
GRANITE BOUND ~TBS~
DRILL HOLE ~FND~
UTILITY POLE
GUY WIRE
CATCH BASIN
SINGLE POST SIGN
TEST PIT
BENCHMARK
TREE
BUILDING SETBACK LINE
WETLAND
50' WETLAND BUFFER
SUBDIVISION BOUNDARY LINE
EASEMENT LINE
OVERHEAD UTILITIES
HIGHWAY FENCE
SOILS LINE
EXISTING CONTOUR MINOR
EXISTING CONTOUR MAJOR
EXISTING CULVERT PIPE

PROPOSED LEGEND:

UTILITY POLE
UTILITY PAD
DRAIN MANHOLE
SIGNAGE
LAMP
CONTOUR MINOR
CONTOUR MAJOR
SPOT GRADE
CULVERT W/ FLARED END SECTION (F.E.S.)
DETAIL SHEET / DETAIL
TREE LINE
CENTER LINE
UNDERGROUND UTILITY
TRANSFORMER / J.BOX
UNDER DRAIN
SILT FENCE / EROSION MIX BERM
FILTREX 8" OR 12" SILT SOXX
ORANGE CONSTRUCTION PERIMETER FENCE

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R2-1	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN	GREEN	SQUARE (2)
W14-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	YELLOW	BLACK	BLACK	SQUARE (0)
R6-1R	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (2)
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)

DIRECT ADJUTERS:

N/F BARTLETT, WADE D. & CONNIE D.
179 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 24
S.C.R.D. BOOK 3500, PAGE 894
N/F MADEE, JOSEPH D. & KAREN A.
19 GOVERNORS ROAD
ROCHESTER, NH 03867-5179
TAX MAP 203, LOT 24-5
S.C.R.D. BOOK 4389, PAGE 627
N/F JAMES, TIMOTHY & ALLISON, CHRISTINA
7 KEMAR DRIVE
ROCHESTER, NH 03867
TAX MAP 203, LOT 24-8
S.C.R.D. BOOK 4706, PAGE 355
N/F SUTTON, DAVID A. & LAURA A.
P.O. BOX 154
ROCHESTER, NH 03866-0154
TAX MAP 203, LOT 24-4
S.C.R.D. BOOK 2956, PAGE 205
N/F KRAUSS, RICHARD & AMEE
47 GOVERNORS ROAD
ROCHESTER, NH 03867-5179
TAX MAP 203, LOT 24-9
S.C.R.D. BOOK 4501, PAGE 911
N/F COOPER, CECIL RED 2017
REVOCABLE TRUST & COOPER DIANE I.
2017 REVOCABLE TRUST
17 GOVERNORS ROAD
ROCHESTER, NH 03867-5179
TAX MAP 203, LOT 24-10
S.C.R.D. BOOK 4523, PAGE 787

DIRECT ADJUTERS:

N/F RYDER, RANDY W.
173 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 25-1
S.C.R.D. BOOK 3476, PAGE 40
N/F EMRICH, JOHN A. SR. & PAMELA J.
8 KEMAR DRIVE
ROCHESTER, NH 03867
TAX MAP 203, LOT 25-2
S.C.R.D. BOOK 3566, PAGE 141
N/F MAGUIRE, MATTHEW L. & DAVEY MAGUIRE, LYNN A.
181 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 25-3
S.C.R.D. BOOK 4625, PAGE 181
N/F JACKSON, JEFFREY M. & KACIE
145 CROSS ROAD
ROCHESTER, NH 03867-5115
TAX MAP 203, LOT 25-4
S.C.R.D. BOOK 4557, PAGE 484
N/F DEMERATH, CALVIN J.
145 CROSS ROAD
ROCHESTER, NH 03867-5115
TAX MAP 203, LOT 25-6
S.C.R.D. BOOK 4215, PAGE 217
N/F BECTON, HOLLY & TIMOTHY
17 GOVERNORS ROAD
ROCHESTER, NH 03867-4487
TAX MAP 203, LOT 25-8
S.C.R.D. BOOK 4682, PAGE 791

DIRECT ADJUTERS:

N/F MCLAUGHLIN, TYLER G.
5 FRESIAN LANE
ROCHESTER, NH 03867
TAX MAP 203, LOT 25-7
S.C.R.D. BOOK 3550, PAGE 238
N/F BOND, RICHARD A. SR. & UPSHAW, OLYMPIA J.
125 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 25-8
S.C.R.D. BOOK 3530, PAGE 505
N/F STODOLY, ROBERT P. III
80 BETTS ROAD
ROCHESTER, NH 03867-5177
TAX MAP 203, LOT 25-9
S.C.R.D. BOOK 4625, PAGE 553
N/F BAILEY, MARTHA
145 CROSS ROAD
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 28
S.C.R.D. BOOK 4707, PAGE 288
N/F SMILEY, GRACE R. & JEREMY M.
57 BETTS ROAD
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 29
S.C.R.D. BOOK 4314, PAGE 2
N/F GREEN, TIMOTHY D. & ELIZABETH K.
8 FRESIAN LANE
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 29-1
S.C.R.D. BOOK 4108, PAGE 313

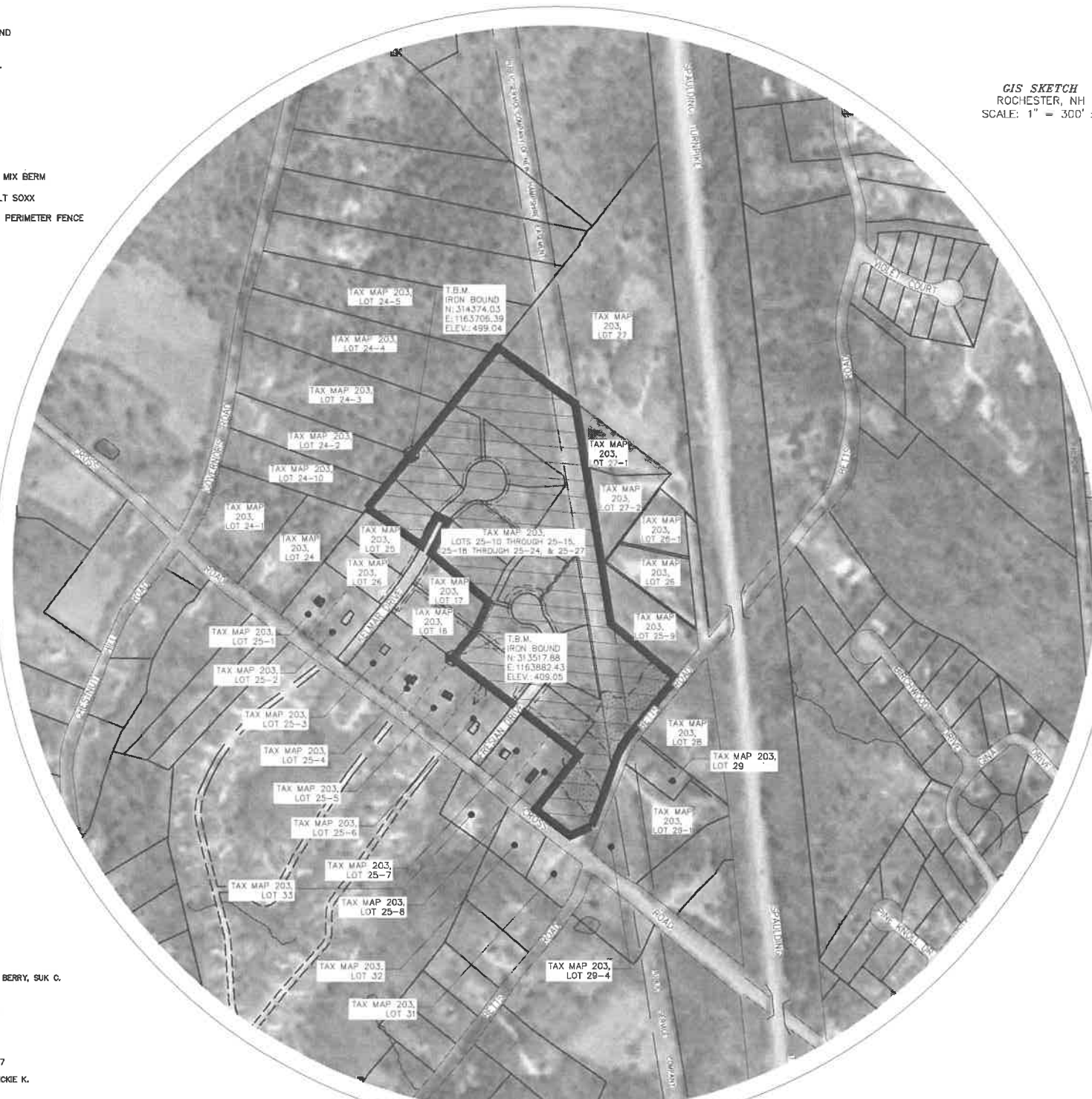
DIRECT ADJUTERS:

N/F CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03867
TAX MAP 203, LOT 29-4
S.C.R.D. BOOK 3706, PAGE 961
N/F FEVERADA, JASON
80 CROSS ROAD
ROCHESTER, NH 03867-5153
TAX MAP 203, LOT 31
S.C.R.D. BOOK 4717, PAGE 248
N/F FAULKNER, DONALD F. & BERRY, SUK C.
84 CROSS ROAD
ROCHESTER, NH 03867-5153
TAX MAP 203, LOT 32
S.C.R.D. BOOK 1947, PAGE 26
N/F SMARD, PETER R.
88 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 33
S.C.R.D. BOOK 3233, PAGE 797
N/F FAULKNER, DONALD F. & BERRY, SUK C.
84 CROSS ROAD
ROCHESTER, NH 03867-5140
TAX MAP 203, LOT 34
S.C.R.D. BOOK 4254, PAGE 223

DIRECT ADJUTERS:

N/F FAULKNER, DONALD F. & BERRY, SUK C.
84 CROSS ROAD
ROCHESTER, NH 03867-5153
TAX MAP 203, LOT 38
S.C.R.D. BOOK 1947, PAGE 26
N/F SMARD, PETER R.
88 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 38
S.C.R.D. BOOK 3233, PAGE 797
N/F FAULKNER, DONALD F. & BERRY, SUK C.
84 CROSS ROAD
ROCHESTER, NH 03867-5140
TAX MAP 203, LOT 34
S.C.R.D. BOOK 4254, PAGE 223
N/F AUBERT, THOMAS R. & DIANNE C.
5 GARY DRIVE
ROCHESTER, NH 03867
TAX MAP 203, LOT 28
S.C.R.D. BOOK 3710, PAGE 288
N/F NORMAND, PAUL H. & SUE C.
52 POND VIEW LANE
ROCHESTER, NH 03867
TAX MAP 203, LOT 27-1 & 27-2
S.C.R.D. BOOK 3604, PAGE 67

GIS SKETCH
ROCHESTER, NH
SCALE: 1" = 300' ±



REVISION	DATE	DESCRIPTION
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#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

NEIGHBORHOOD PLAN	LAND OF
KEL-MAR INVESTMENTS, LLC	KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH	TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27	

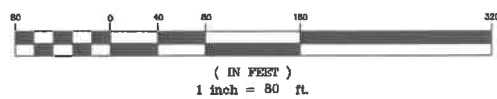
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : AS SHOWN
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

N/F KRAUSS, RICHARD & AIMEE
47 GOVERNORS ROAD
ROCHESTER, NH 03867-5179
TAX MAP 203, LOT 24-5
S.C.R.D. BOOK 4501, PAGE 911

N/F REGAN, JOSEPH L. & CANDIS
52 PONDVIEW LANE ROCHESTER, NH 03867
TAX MAP 203, LOT 27
S.C.R.D. BOOK 4621, PAGE 538

GRAPHIC SCALE



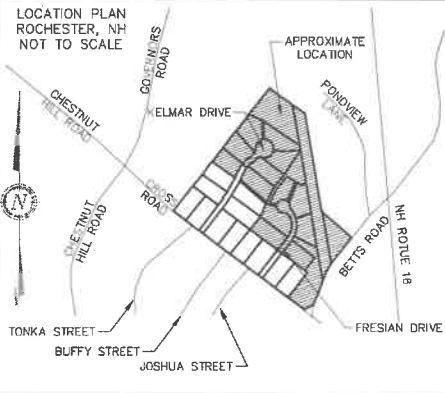
STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN SEPTEMBER OF 2018 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEWPPCC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAY, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST: 2014 UPDATE OF WETLAND RATINGS. PHYTONEURON 2014-41:1-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. CONARDIN, V. CARTER, F. GOLET, AND E. LAROE. US DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

SOILS:

- HgB - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
HgC - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
GcC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
SEE WEBSOIL USDA-NRCS



NOTES:

- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
- 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27
- 3.) LOT AREA: 1,345,411 SQ. FT., 30.88 AC.
- 4.) S.C.R.D. BOOK 3483, PAGE 521
- 5.) ZONING: A-1 AGRICULTURAL
SETBACKS:
FRONTAGE: 150 FEET, MINIMUM
MIN. LOT AREA: 40,000 SQUARE FEET
FRONT SETBACK: 35 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
WETLANDS SETBACK: 50 FEET
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, PART OF THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330150, MAP# - 33017002010, DATED: MAY 17, 2005.
- 7.) VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES ARE BASED ON THE CITY OF ROCHESTER GIS SYSTEM AND GPS CONTROL POINT NETWORK AS OF 2007.
- 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN FEBRUARY OF 2007, WITH AN ERROR OF CLOSURE OF NO GREATER THAN 1 PART IN 10,000.
- 9.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 203, LOTS 25-10 THROUGH 25-15 & 25-18 THROUGH 25-24 AS OF THE SUMMER OF 2018. THE LOT LINES REPRESENTED ARE THOSE OF CURRENTLY RECORDED APPROVED SUBDIVISION PLANS REF. #2 & #3.
- 10.) THE EXISTING IMPERVIOUS AREA ON LOT = 38,761 Sq.Ft. (2.88% OF LOT).
- 11.) THE AREA & TITLE LISTED FOR THE REMAINING LAND OF KEL-MAR ARE BASED ON 2008 LAND HOLDINGS OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 & 25-26 HAVE SUBSEQUENTLY BEEN SOLD AND THE TITLE REFERENCE AND AREAS ARE LISTED OVER THE FOUR LOTS.

LEGEND:

- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- UTILITY POLE/GUY WIRE
- TEST PIT (TP)
- BENCHMARK
- NRCS SOIL DELINEATION LINE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- SUBDIVISION BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYP. FOUND
- TO BE ABANDONED

ABUTTERS ACROSS THE ROAD, CROSS ROAD:

N/F PEVERADA, JASON
80 CROSS ROAD
ROCHESTER, NH 03867-5153
TAX MAP 203, LOT 31
S.C.R.D. BOOK 4717, PAGE 248

N/F FAULKNER, DONALD F. & BERRY, SUK C.
84 CROSS ROAD
ROCHESTER, NH 03867-5153
TAX MAP 203, LOT 32
S.C.R.D. BOOK 1947, PAGE 26

N/F SMARD, PETER R.
88 CROSS ROAD
ROCHESTER, NH 03867
TAX MAP 203, LOT 33
S.C.R.D. BOOK 3233, PAGE 797

ABUTTERS ACROSS THE ROAD, BETTS ROAD:

N/F BAILEY, MARTHA
61 BETTS ROAD
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 28
S.C.R.D. BOOK 4707, PAGE 288

N/F SMILEY, GRACE R. & JEREMY M.
57 BETTS ROAD
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 29
S.C.R.D. BOOK 4314, PAGE 2

N/F GREEN, TIMOTHY D. & ELIZABETH K.
59 BETTS ROAD
ROCHESTER, NH 03867-5178
TAX MAP 203, LOT 29-1
S.C.R.D. BOOK 4108, PAGE 313

PLAN REFERENCES:

- 1.) "SUBDIVISION OF LAND ROSE REALTY LLC" BY: NORWAY PLAINS ASSOCIATES
DATED: MARCH 2002
S.C.R.D. PLAN #67-63
- 2.) "PROPOSED MAJOR SUBDIVISION FOR KEL-MAR LLC, BETTS ROAD & CROSS ROAD, ROCHESTER, N.H., TAX MAP 203, LOT 25" BY: BERRY SURVEY & ENGINEERING
DATED: AUGUST 24, 2007
S.C.R.D. PLAN #67-44
ON FILE AT THIS OFFICE
- 3.) "PROPOSED MAJOR SUBDIVISION FOR KEL-MAR LLC, BETTS ROAD & CROSS ROAD, ROCHESTER, N.H., TAX MAP 203, LOT 25" BY: BERRY SURVEY & ENGINEERING
DATED: JUNE 20, 2008
S.C.R.D. PLAN #67-43
ON FILE AT THIS OFFICE

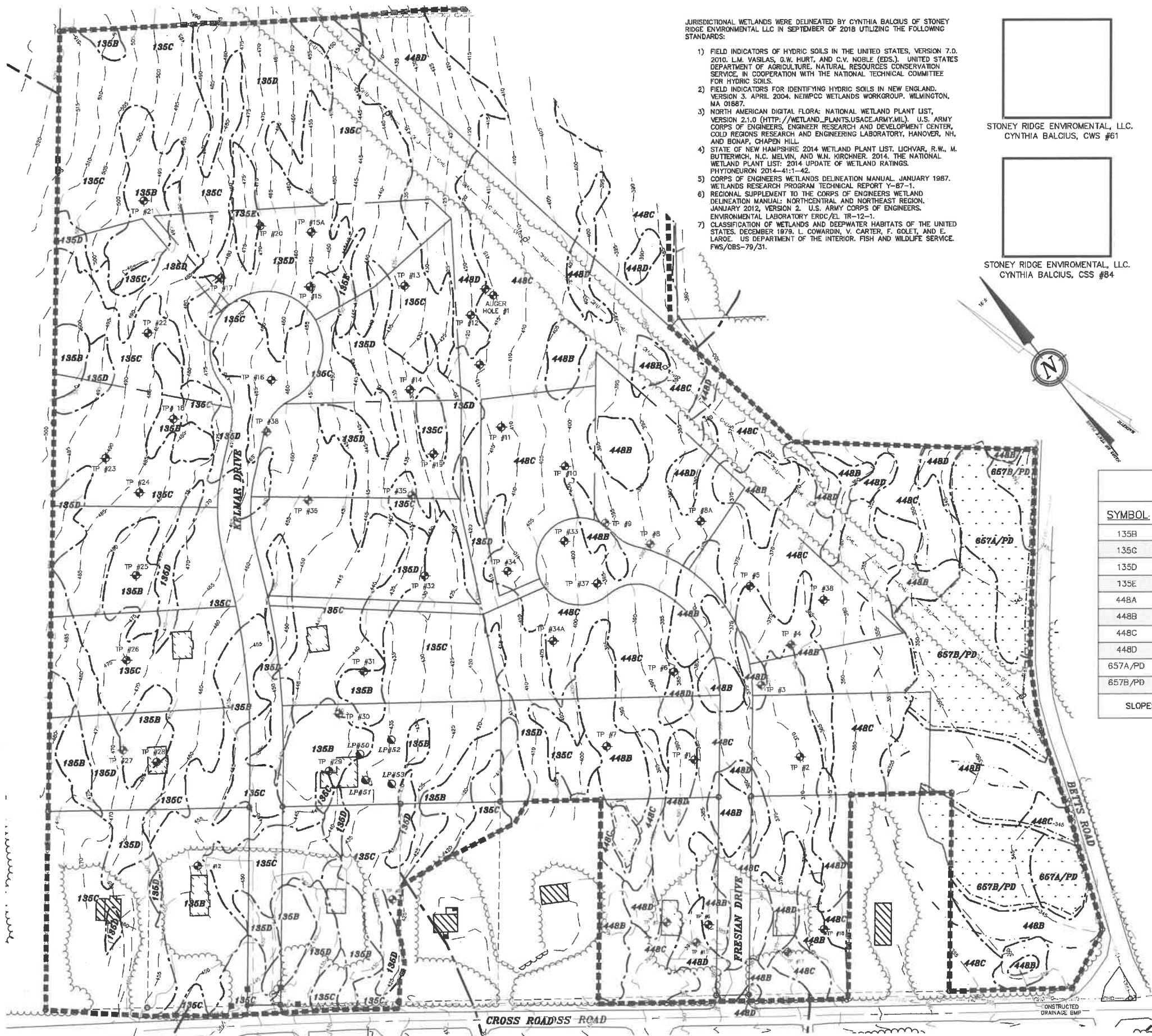
I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE TOWN OF ROCHESTER, N.H. - 1:10,000 -
KENNETH A. BERRY LLS 805 DATE 10-9-20

REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER ACT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

EXISTING CONDITIONS PLAN
OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY & SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

SHEET 3 OF 29



JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN SEPTEMBER OF 2018 UTILIZING THE FOLLOWING STANDARDS:

- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004. NEIWPCC WETLANDS WORKGROUP, WILMINGTON, MA 01867.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND_PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. UCHVAR, R.W., M. BUTTERWICH, N.C. MELVIN, AND W.N. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST, 2014 UPDATE OF WETLAND RATINGS. PHYTOFLORA 2014-41:1-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTRAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31.

STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CSS #84

NOTES:

- 1.) OWNER & APPLICANT: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
- 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27
- 3.) AREA: 1,305,411 Sq. Ft., 30.88 Ac.
- 4.) TITLE REFERENCE FOR THE PROJECT PARCEL IS THE STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK NO. 3483, PAGE NO. 517.
- 5.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 & 25-26 HAVE SUBSEQUENTLY BEEN SOLD.
- 6.) ZONING: ~A~ AGRICULTURAL
SETBACKS:
FRONTAGE: 150 FEET, MINIMUM
MIN. LOT AREA: 40,000 Sq. Ft.
FRONT SETBACK: 35 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
WETLANDS SETBACK: 50 FEET
- 7.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY #330150, MAP #33017C0216D, DATED: MAY 17, 2005
- 8.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES ARE BASED ON THE CITY OF ROCHESTER GIS SYSTEM AND GPS CONTROL POINT NETWORK AS OF 2007.
- 9.) THE INTENT OF THIS PLAN IS TO REPRESENT THE SITE SPECIFIC SOILS ON TAX MAP 203, LOTS 25-10 THROUGH 25-15 & 25-18 THROUGH 25-24 AS DETERMINED BY CYNTHIA BALCIUS, CSS #84.

SOILS LEGEND

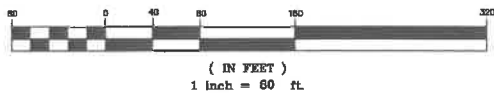
SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
135B	CHATFIELD VARIANT/NEWFIELDS COMPLEX (60-40)	B
135C	CHATFIELD VARIANT/NEWFIELDS COMPLEX (60-40)	B
135D	CHATFIELD VARIANT/NEWFIELDS COMPLEX (60-40)	B
135E	CHATFIELD VARIANT/NEWFIELDS COMPLEX (60-40)	B
448A	SCITUATE FINE SANDY LOAM	C
448B	SCITUATE FINE SANDY LOAM	C
448C	SCITUATE FINE SANDY LOAM	C
448D	SCITUATE FINE SANDY LOAM	C
657A/PD	RIDGEBURY FINE SANDY LOAM	C
657B/PD	RIDGEBURY FINE SANDY LOAM	C

SLOPES: 0-3% A 3-8% B 8-15% C 15-25% D 25%-50% E

LEGEND:

- IRON BOUND (FND)
- DRILL HOLE (FND)
- UTILITY POLE/GUY WIRE
- TEST HOLE
- BENCHMARK
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- SUBDIVISION BOUNDARY LINE
- BUILDING SETBACK LINE
- OVERHEAD UTILITIES LINE
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- SOIL LINE
- LIMIT OF SOIL SURVEY
- SOIL SERIES
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TYPICAL
- FND
- TBA

GRAPHIC SCALE



SITE SPECIFIC SOILS MAP (SSM)

LAND OF

KEL-MAR INVESTMENTS, LLC

KELMAR DRIVE & FRESIAN DRIVE

ROCHESTER, NH

TAX MAP 203

LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

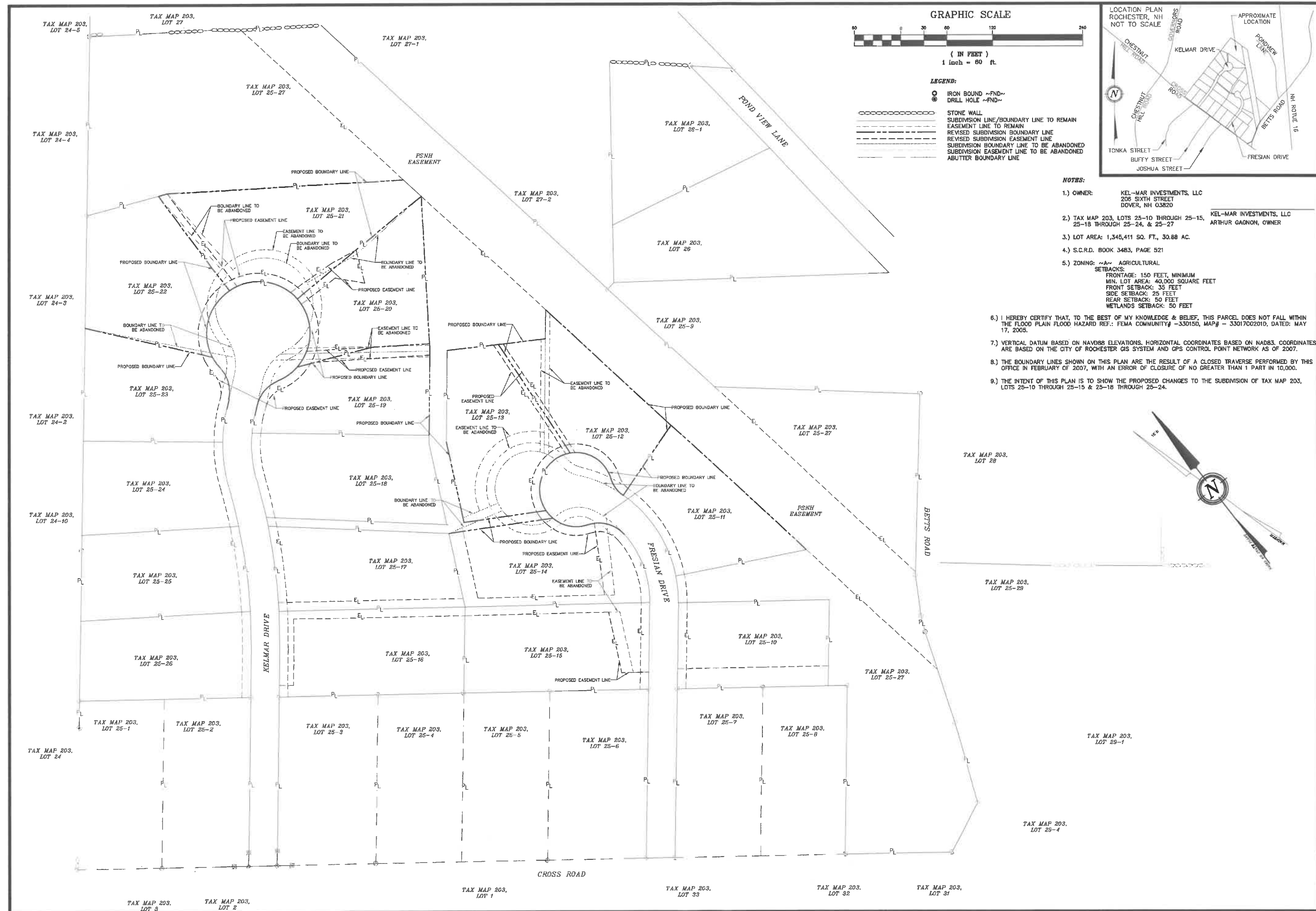
BARRINGTON, NH 03825 (603)352-2863

SCALE : 1 IN. EQUALS 80 FT.

DATE : MARCH 10, 2020

FILE NO. : DB 2018 - 100





REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	10-9-20	REVISED PER NOTICE OF DECISION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

SUBDIVISION & EASEMENT LINE CHANGE OVERVIEW

LAND OF
 KEL-MAR INVESTMENTS, LLC
 KELMAR DRIVE & FRESIAN DRIVE
 ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-26

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2865

SCALE : 1 IN. EQUALS 80 FT.

DATE : MARCH 10, 2020

FILE NO. : DB 2018 - 100



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: [Signature]
DATE: 10/24/2020

I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER, N.H. - 1:10,000 -
10-9-20
KENNETH A. BERRY LLS 805 DATE

STONEY RIDGE ENVIRONMENTAL, LLC
CYNTHIA BALOUS, CWS #81

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALOUS OF
STONEY RIDGE ENVIRONMENTAL, LLC IN SEPTEMBER OF 2018 UTILIZING
THE FOLLOWING STANDARDS:

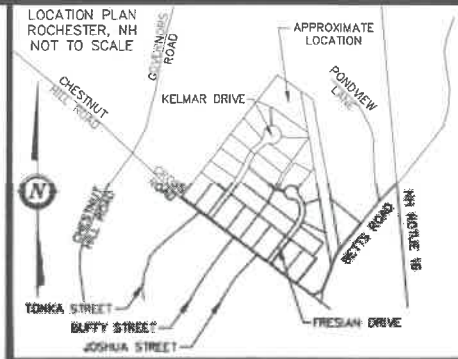
- 1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0, 2010, L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.), UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
- 2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004, NEWPPC WETLANDS WORKGROUP, WILMINGTON, MA 01887.
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 21.0 (NITPL) (WETLAND PLANTS USAGE ARMY), U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.
- 4) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST, UGHVAR, R.W., M. BUTTERWORTH, N.C. MELVIN, AND M.N. KIRCHNER, 2014, THE NATIONAL WETLAND PLANT LIST, 2014 UPDATE OF WETLAND RATINGS, PHYTOFLORA 2014-41:1-42.
- 5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987, WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
- 6) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION, JANUARY 2012, VERSION 2, U.S. ARMY CORPS OF ENGINEERS, ENVIRONMENTAL LABORATORY BRD/EL TR-12-1.
- 7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979, L. EDWARD, M. CARTER, F. GILLET, AND E. LARDE, U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE, FWS/OBS-79/31.

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS
SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED
IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY
THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS,
CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY
OF ROCHESTER LAND SUBDIVISION REGULATIONS AS
AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON
THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS
EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW, NON -
ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL.
ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE
A RESUBMISSION FOR SUBDIVISION APPROVAL.

- LEGEND:
- IRON BOUND - FND -
 - DRILL HOLE - FND -
 - 3/4" REBAR W/ ID CAP - TBS -
 - GRANITE BOUND - TBS -
 - UTILITY POLE/DUTY WIRE
- STONE WALL
WETLAND LINE
SUBDIVISION LINE/BOUNDARY LINE TO REMAIN
POWER LINE EASEMENT
REVISED SUBDIVISION BOUNDARY LINE
ADJUTER BOUNDARY LINE
BUILDING SETBACK LINE
STRAFFORD COUNTY REGISTRY OF DEEDS
TYPICAL
FO-80
TO BE SET

REVISED ROAD FRONTAGE

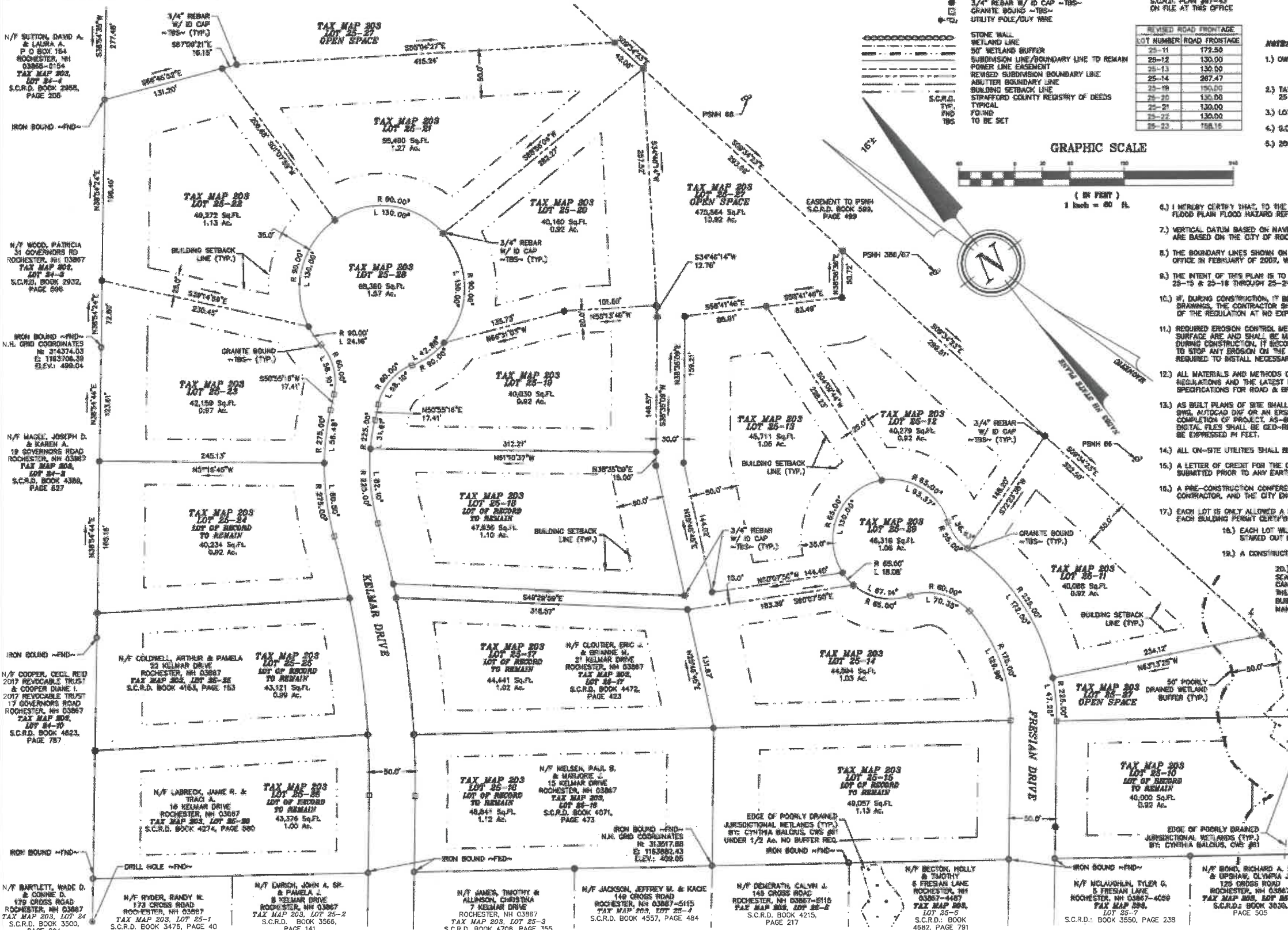
LOT NUMBER/ROAD FRONTAGE	
25-11	179.50
25-12	130.00
25-13	130.00
25-14	267.47
25-19	150.00
25-20	130.00
25-21	130.00
25-22	130.00
25-23	158.15



- NOTES:
- 1) OWNER: KEL-MAR INVESTMENTS, LLC
206 8TH STREET
DOVER, NH 03820
 - 2) TAX MAP 303, LOTS 25-10 THROUGH 25-15,
25-18 THROUGH 25-24, & 25-27
 - 3) LOT AREA: 1,345,411 SQ. FT., 30.88 AC.
 - 4) S.C.R.D. BOOK 3463, PAGE 521
 - 5) ZONING: -A- AGRICULTURAL
SETBACKS:
FRONTAGE: 150 FEET, MINIMUM
MIN. LOT AREA: 40,000 SQUARE FEET
FRONT SETBACK: 35 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
WETLANDS SETBACK: 50 FEET

- 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE
FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY - 330180, MAP - 33017002010, DATED: MAY 17, 2005.
- 7) VERTICAL DATUM BASED ON HAYDOCK ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES
ARE BASED ON THE CITY OF ROCHESTER GIS SYSTEM AND GPS CONTROL POINT NETWORK AS OF 2007.
- 8) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS
OFFICE IN FEBRUARY OF 2009, WITH AN ERROR OF CLOSURE OF NO GREATER THAN 1 PART IN 10,000.
- 9) THE INTENT OF THIS PLAN IS TO SHOW THE REVISED SUBDIVISION OF TAX MAP 303, LOTS 25-10 THROUGH
25-15 & 25-18 THROUGH 25-24, THERE ARE NO CHANGES TO LOTS PREVIOUSLY SOLD.
- 10) IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN
DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS
OF THE REGULATION AT NO EXPENSE TO THE CITY.
- 11) REQUIRED EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE
SURFACE ARE AND SHALL BE MAINTAINED THROUGH THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES. IF,
DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED
TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE
REQUIRED TO INSTALL NECESSARY EROSION PROTECTIONS AT NO EXPENSE TO THE CITY.
- 12) ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCHESTER SUBDIVISION
REGULATIONS AND THE LATEST EDITION OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD
SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- 13) AS BUILT PLANS OF THE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN A PDF AND AUTOCAD
DWG. AUTOCAD DWG OR IN ENDS FORMATS. THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS UPON
COMPLETION OF PROJECT, AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.
DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 & SHALL
BE EXPRESSED IN FEET.
- 14) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF ONE DROP POLE.
- 15) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE
SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.
- 16) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK
CONTRACTOR, AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 17) EACH LOT IS ONLY ALLOWED A MAXIMUM OF 30% IMPERVIOUS SURFACES. A PLOT PLAN WILL BE REQUIRED FOR
EACH BUILDING PERMIT CERTIFYING THE PROPOSED COVERAGE.
- 18) EACH LOT WILL REQUIRE A FOUNDATION CERTIFICATION. IT IS ADVISED THAT EACH HOUSE BE
SETBACK OUT BY A L.L.S. PRIOR TO CONSTRUCTION.
- 19) A CONSTRUCTION ZONE SIGN MUST BE ERECTED PER SUBDIVISION, REGULATION 6.2.3.4

- 20) TEST PITTING ON SOME OF THE LOTS WITHIN THIS SUBDIVISION REVEALED
SEASONAL HIGH WATER TABLES WITHIN THE SURFACE. TEST HOLE DATA
CAN BE FOUND AT THE CITY OF ROCHESTER PLANNING OFFICE AND LOCATIONS ON
THE ENCLOSED PLAN SET. IT IS INCUMBENT ON THE FUTURE OWNERS /
BUILDERS TO REVIEW THIS INFORMATION AND BUILD / DEVELOP USING KNOWN BEST
MANAGEMENT PRACTICES FOR THESE CONDITIONS. (FILL / FOUNDATION DRAINAGE)
- 21) CONTRACTOR IS TO AVOID COMPACTION IN THE RAIN GARDEN AREAS
DURING CONSTRUCTION.
- 22) EACH INDIVIDUAL LOT WILL HAVE APPROPRIATE EROSION CONTROL.
DURING CONSTRUCTION PURSUANT TO CHAPTER 218, IRON BOUNDS ARE TO
BE SET AT THE CORNER OF EACH LOT, EASEMENTS, AND GRANITE BOUNDS
ARE TO BE SET ALONG AT POTS AND PITS AS APPLICABLE. ALL
BOUNDARY MARKERS MUST BE SET BEFORE THE ROAD CAN BE CONSIDERED
FOR CITY ACCEPTANCE, AND ALL LOT LINES AND POTS FOR EASEMENTS ON
LOTS TO BE SET BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED FOR
SAID LOT. A LETTER FROM A NH LICENSED LAND SURVEYOR STATING
PHYS/MONUMENTS HAVE BEEN SET MUST BE SUBMITTED TO THE PLANNING
DEPARTMENT ON A LOT BY LOT BASIS. A CERTIFICATE OF OCCUPANCY
(COO) WILL NOT BE ISSUED FOR THE LOT REQUESTING A COO WITHOUT SAID
LETTER. A SIMILAR LETTER IS REQUIRED BEFORE ASKING FOR STREET
ACCEPTANCE AND/OR CLOSE-OUT OF PROJECT/SURVEY.
- 23) EACH LOT CONTAINS AT LEAST 3,000 SQ. FT. OF BUILDABLE AREA.
- 24) THE AREA & YIELD LISTED ARE BASED ON 2008 LAND HOLDINGS OF
KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-12, 25-23 & 25-26 HAVE
SUBSEQUENTLY BEEN SOLD.
- 25) THIS PLAN SUPERSEDES PLAN FOR LOTS 25-11 - 25-14, 25-19 -
25-23, & 25-27 - 25-29 RECORDED AT THE STRAFFORD COUNTY
REGISTRY OF DEEDS DATED JULY 21, 2009 AS PLAN 1097-043.
- 26) NO BUILDING, ON-LOT SEWAGE SYSTEM OR LEACHING AREA SHALL BE
ERECTED WITHIN AN EASEMENT PER SUBDIVISION REGULATION 5.7.3.
- 27) ALL UTILITY LINES FOR ELECTRICITY, TELEPHONE, AND CABLE TV
SERVICE SHALL BE PLACED UNDERGROUND AND INSTALLED ACCORDING TO
SPECIFICATIONS SET BY THE APPROPRIATE UTILITY COMPANY PER
SUBDIVISION REGULATION 5.12.
- 28) A SMALL INFORMATIONAL SIGN IS TO BE INSTALLED AT
EACH RAIN GARDEN NOTING IT IS A RAIN GARDEN AND IS TO BE
MAINTAINED BUT NOT DISTURBED.
- 29) OPEN SPACE LOTS ARE NOT TO BE OWNED BY THE CITY OF
ROCHESTER.



REVISION	DATE	DESCRIPTION
1	10-9-20	RECEIVED PER NOTICE OF DECISION
2	8-31-20	RECEIVED PER NOT APPLICATION
3	8-19-20	RECEIVED PER CITY OF ROCHESTER TRO COMMENT

DETAIL SUBDIVISION PLAN
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRIESIAN DRIVE
ROCHESTER, NH
TAX MAP 303
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1" = 60' EQUALS 60' F.T.
DATE: MARCH 10, 2020
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STONEY RIDGE ENVIRONMENTAL, LLC.
CYNTHIA BALCIUS, CWS #61

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN SEPTEMBER OF 2018 UTILIZING THE FOLLOWING STANDARDS:

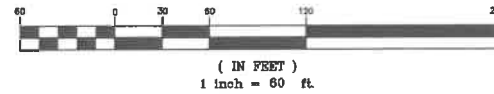
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- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (<http://wetland.plants.usace.army.mil>). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.

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SOILS:

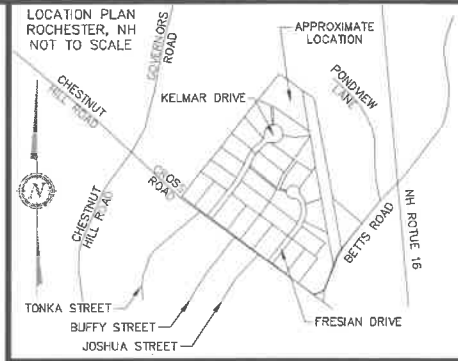
HgB - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
HgC - HOLLIS-GLOUCESTER VERY ROCKY FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES
CsC - GLOUCESTER VERY STONY FINE SANDY LOAM, 8 TO 15 PERCENT SLOPES
SEE WEBSOIL USDA-NRCS

GRAPHIC SCALE



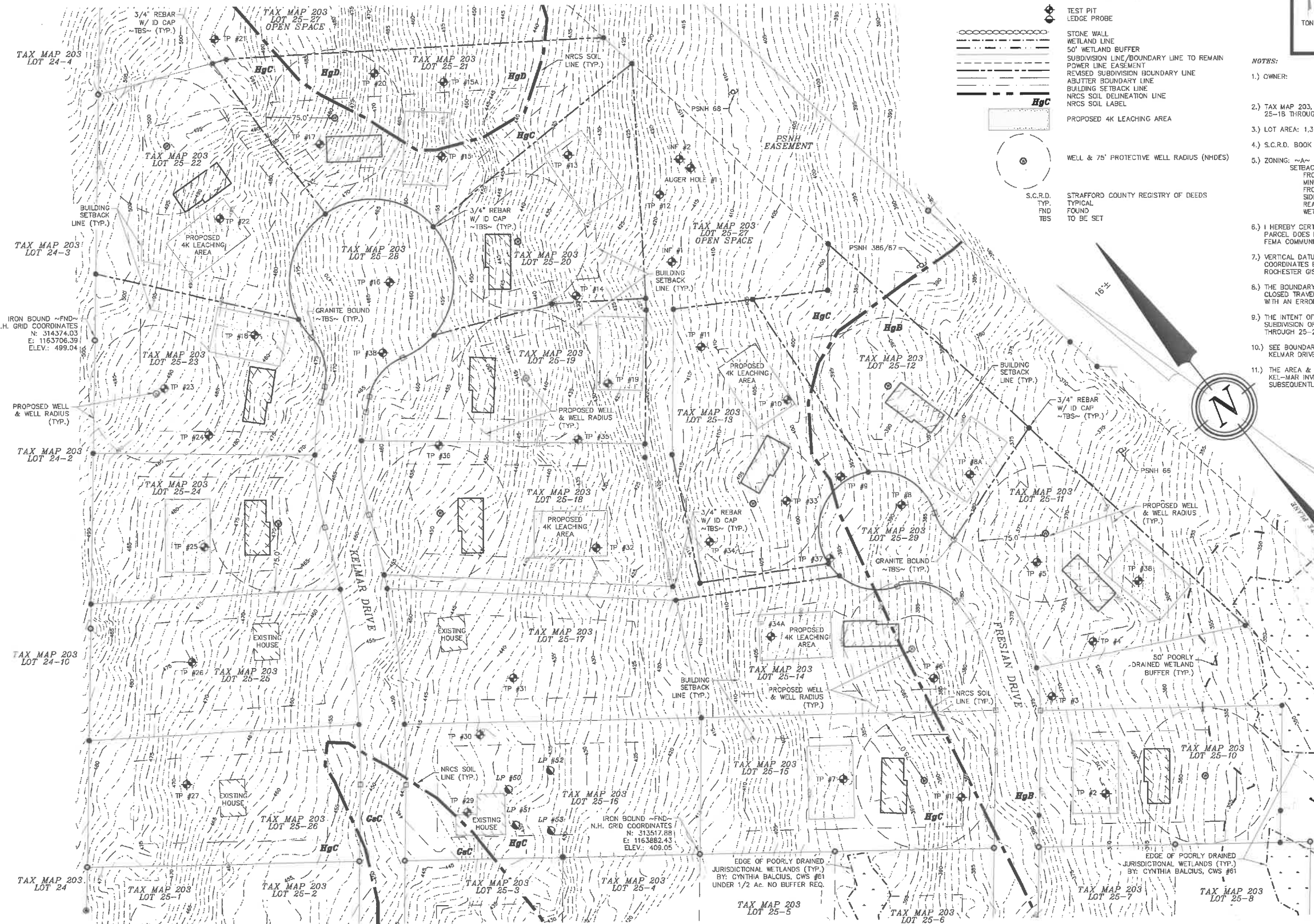
LEGEND:

- IRON BOUND ~FND~
- DRILL HOLE ~FND~
- 3/4" REBAR W/ ID CAP ~TBS~
- GRANITE BOUND ~TBS~
- UTILITY POLE/GUY WIRE
- TEST PIT
- LEDGE PROBE
- STONE WALL
- WETLAND LINE
- 50' WETLAND BUFFER
- SUBDIVISION LINE/BOUNDARY LINE TO REMAIN
- POWER LINE EASEMENT
- REMOVED SUBDIVISION BOUNDARY LINE
- ABUTTER BOUNDARY LINE
- BUILDING SETBACK LINE
- NRCS SOIL DELINEATION LINE
- NRCS SOIL LABEL
- PROPOSED 4K LEACHING AREA
- WELL & 75' PROTECTIVE WELL RADIUS (NHDES)
- S.C.R.D. TYP. FND TBS
- STRAFFORD COUNTY REGISTRY OF DEEDS
- TO BE SET



NOTES:

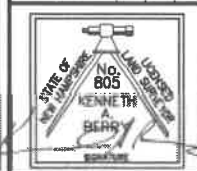
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DOVER NH 03820
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KEL-MAR INVESTMENTS, LLC
ARTHUR GAGNON, OWNER
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- 4) S.C.R.D. BOOK 3483, PAGE 521
- 5) ZONING: ~A~ AGRICULTURAL
SETBACKS:
FRONTAGE: 150 FEET, MINIMUM
MIN. LOT AREA: 40,000 SQUARE FEET
FRONT SETBACK: 35 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
WETLANDS SETBACK: 50 FEET
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- 7) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES ARE BASED ON THE CITY OF ROCHESTER GIS SYSTEM AND GPS CONTROL POINT NETWORK AS OF 2007.
- 8) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN FEBRUARY OF 2007, WITH AN ERROR OF CLOSURE OF NO GREATER THAN 1 PART IN 10,000.
- 9) THE INTENT OF THIS PLAN IS TO SHOW THE TOPOGRAPHY FOR THE REVISED SUBDIVISION OF TAX MAP 203, LOTS 25-10 THROUGH 25-15 & 25-18 THROUGH 25-24.
- 10) SEE BOUNDARY AND SUBDIVISION SHEET FOR MEETS & BOUNDS ON KELMAR DRIVE, FRESIAN DRIVE, AND LOTS.
- 11) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 & 25-26 HAVE SUBSEQUENTLY BEEN SOLD.

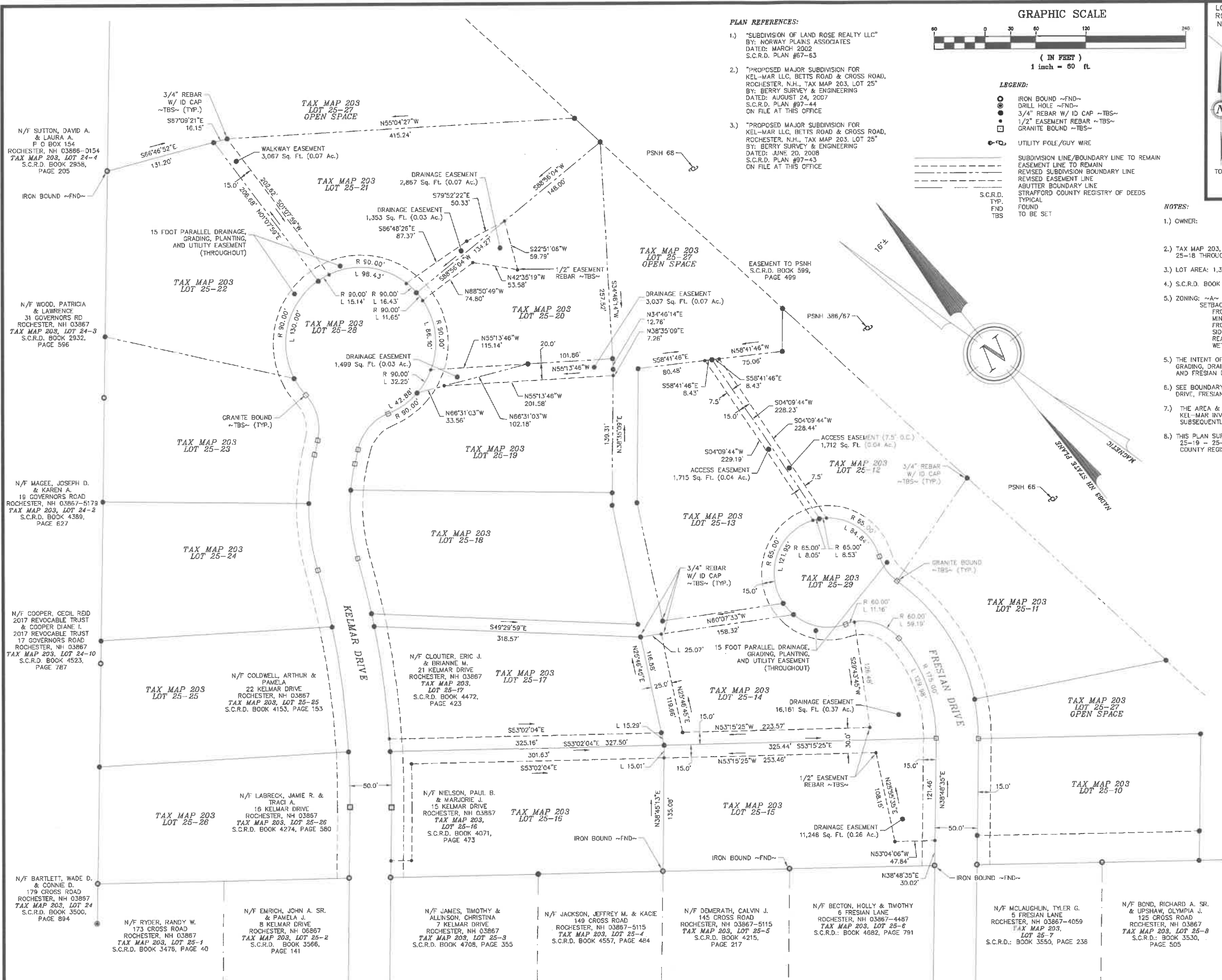


FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

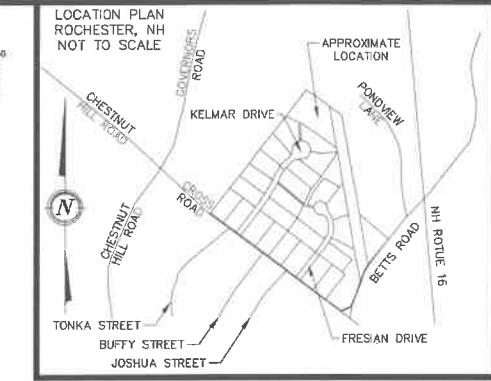
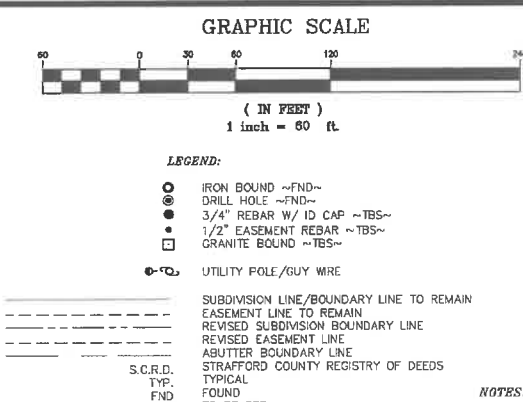
I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER, N.H. - 1:10,000 -
10-9-20
KENNETH A. BERRY LLS 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 60 FT.
DATE: MARCH 10, 2020
FILE NO.: DB 2018 - 100





- PLAN REFERENCES:**
- 1.) "SUBDIVISION OF LAND ROSE REALTY LLC"
BY: NORWAY PLAINS ASSOCIATES
DATED: MARCH 2002
S.C.R.D. PLAN #57-63
 - 2.) "PROPOSED MAJOR SUBDIVISION FOR
KEL-MAR LLC, BETTS ROAD & CROSS ROAD,
ROCHESTER, N.H., TAX MAP 203, LOT 25"
BY: BERRY SURVEY & ENGINEERING
DATED: AUGUST 24, 2007
S.C.R.D. PLAN #97-44
ON FILE AT THIS OFFICE
 - 3.) "PROPOSED MAJOR SUBDIVISION FOR
KEL-MAR LLC, BETTS ROAD & CROSS ROAD,
ROCHESTER, N.H., TAX MAP 203, LOT 25"
BY: BERRY SURVEY & ENGINEERING
DATED: JUNE 20, 2008
S.C.R.D. PLAN #97-43
ON FILE AT THIS OFFICE



- NOTES:**
- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-18 THROUGH 25-24, & 25-27
 - 3.) LOT AREA: 1,345,411 SQ. FT., 30.88 AC.
 - 4.) S.C.R.D. BOOK 3483, PAGE 521
 - 5.) ZONING: ~A~ AGRICULTURAL
SETBACKS:
FRONTAGE: 150 FEET, MINIMUM
MIN. LOT AREA: 40,000 SQUARE FEET
FRONT SETBACK: 35 FEET
SIDE SETBACK: 25 FEET
REAR SETBACK: 50 FEET
WETLANDS SETBACK: 50 FEET
 - 6.) THE INTENT OF THIS PLAN IS TO SHOW EASEMENTS ASSOCIATED WITH THE
GRADING, DRAINAGE, ACCESS, UTILITIES, AND PLANTING OF KELMAR DRIVE
AND FRESIAN DRIVE THIS SHEET WILL BE RECORDED.
 - 7.) SEE BOUNDARY AND SUBDIVISION SHEET FOR MEETS & BOUNDS ON KELMAR
DRIVE, FRESIAN DRIVE, AND LOTS.
 - 8.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS OF
KEL-MAR INVESTMENTS, LLC. LOTS 25-18, 25-17, 25-25 & 25-26 HAVE
SUBSEQUENTLY BEEN SOLD.
 - 9.) THIS PLAN SUPERSEDES PLAN DR07-044 FOR LOTS 25-12 ~ 25-15,
25-19 ~ 25-23, & 25-27 ~ 25-29 RECORDED AT THE STRAFFORD
COUNTY REGISTRY OF DEEDS DATED JULY 21, 2008.

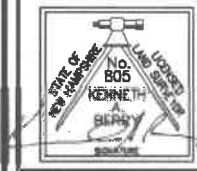
FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY :
DATE :

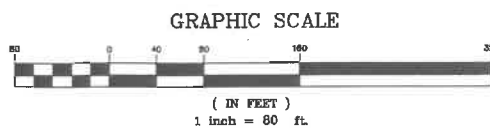
I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE TOWN OF ROCHESTER, N.H. ~ 1:10,000 ~
KENNETH A. BERRY LLS 805 DATE 10-9-20

REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER AGT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

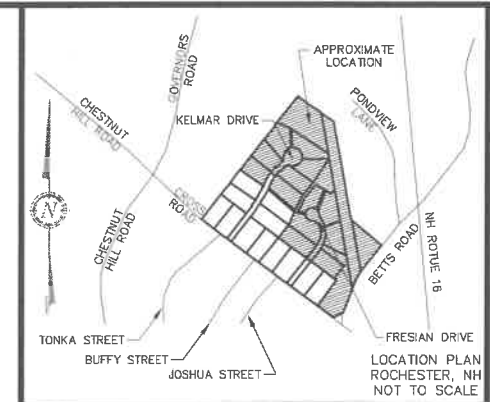
EASEMENT PLAN
OF
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100





- LEGEND:**
- BOUNDARY LINE
 - SUBDIVISION BOUNDARY LINE
 - EASEMENT LINE
 - WETLAND LINE
 - STONE WALL
 - PHASE LINE
 - PRE 2006 BUILD
 - BUILT UNDER 2009 AOT PERMIT
 - PROPOSED TO BE BUILT UNDER NEW AOT PERMIT
 - OPEN SPACE
 - PROPOSED STORMWATER BMP



- NOTES:**
- THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE CONSTRUCTION SEQUENCING PLAN FOR KELMAR DRIVE AND FRIESIAN DRIVE WITH RESPECT TO AOT PERMITTING.
 - OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - APPLICANT: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - THE PROJECT PARCEL IS SHOWN AS TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
 - PROJECT PLAN REFERENCES:
S.C.R.D. BOOK 3483, PAGE 521
 - THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 & 25-26 HAVE SUBSEQUENTLY BEEN SOLD.
 - THE APPROXIMATE CALCULATED DISTURBANCES ARE DETERMINED FROM ROAD CONSTRUCTION, RAIN GARDEN CONSTRUCTION, AND LOT CONSTRUCTION.
 - LIMIT OF ALLOWED DISTURBANCE:
THE LIMIT OF ALLOWED DISTURBANCE IS DETERMINED BY THE PROPOSED TREE LINES SHOWN. SEE CONSTRUCTION EROSION & SEDIMENT CONTROL PLANS FOR EROSION & SEDIMENT CONTROL MEASURES IN THE AREA ALLOWED TO BE DISTURBED. THE HOUSE LOCATIONS AND DRIVEWAY LOCATIONS SHOWN ARE NOT EXCLUSIVE. HOWEVER, TREES ARE TO NOT BE CUT BEYOND THE LIMITS SHOWN DURING ROAD CONSTRUCTION.
 - THE PROPOSED DISTURBANCE FROM NEW CONSTRUCTION IS 356,280 Sq. Ft. (8.18 Ac.) AND OCCURS AS FOLLOWS:

DURING ANY PHASE, NO MORE THAN 217,800 Sq. Ft. (5 Ac.) IS TO BE DISTURBED. DURING ANY PHASE, IF PREVIOUSLY DISTURBED LAND IS STABILIZED, ADDITIONAL LOTS ARE ALLOWED TO BE DISTURBED, PENDING TOTAL DISTURBED LAND REMAINS UNDER 217,800 Sq. Ft. (5 Ac.). SEE SHEET E-101 FOR THE DEFINITION OF STABLE.

PHASE 1 DISTURBANCE:
KELMAR DRIVE 8+00 - END & LOTS 25-18 - 25-24:
132,249 Sq. Ft. (3.04 Ac.)
RAIN GARDEN #101 & LEVEL SPREADERS (REQUIRED):
22,759 Sq. Ft. (0.52 Ac.)
RAIN GARDEN #102 & CONVEYANCE SWALE (REQUIRED):
32,779 Sq. Ft. (0.75 Ac.)

PHASE 1 TOTAL DISTURBANCE: 187,823 Sq. Ft. (4.31 Ac.)

PHASE 2 DISTURBANCE:
FRIESIAN DRIVE 2+00 - END & LOTS 25-10 - 25-25:
153,030 Sq. Ft. (3.51 Ac.)
RAIN GARDEN #103 & LEVEL SPREADER (REQUIRED):
15,427 Sq. Ft. (0.35 Ac.)

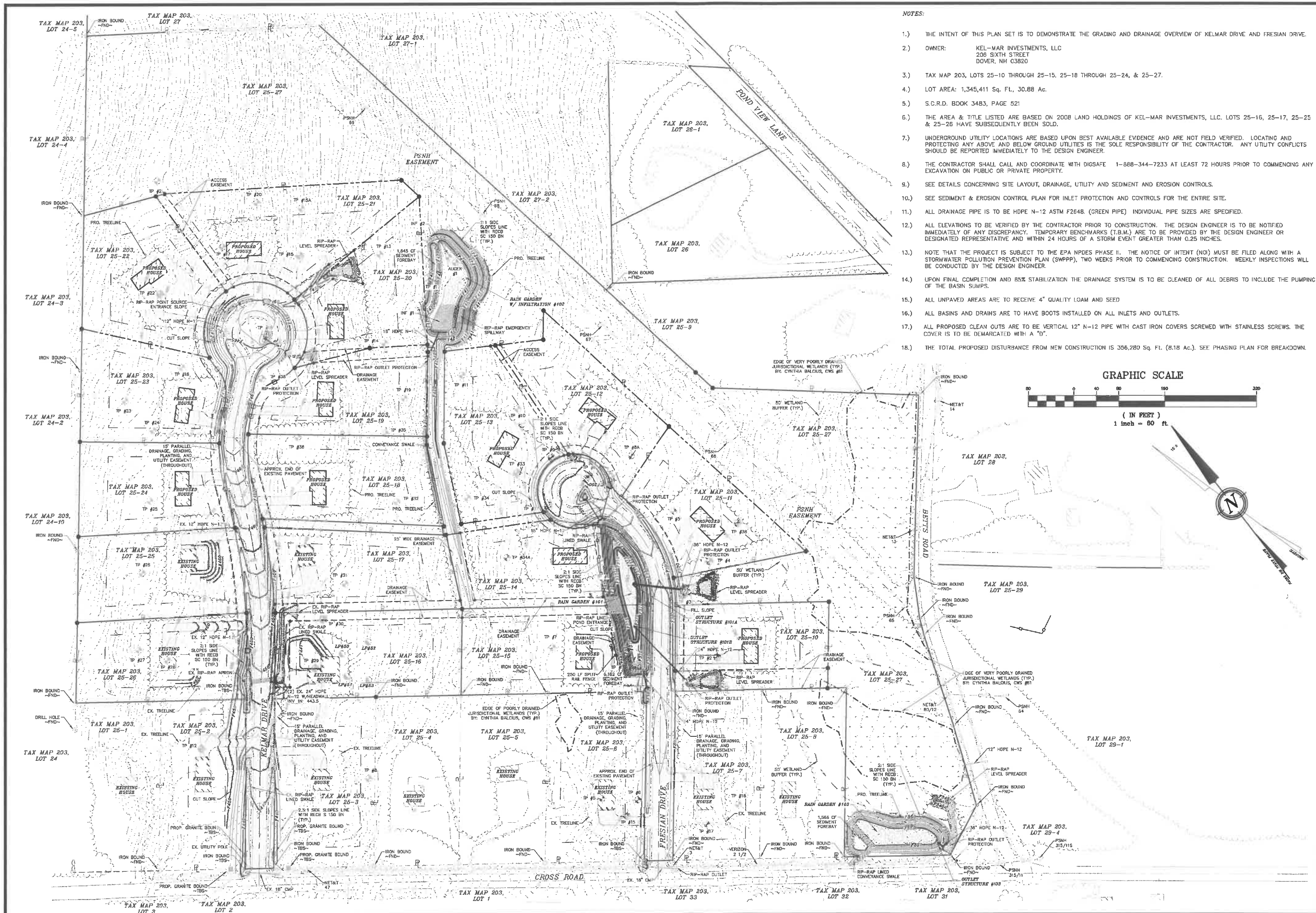
PHASE 2 TOTAL DISTURBANCE: 168,457 Sq. Ft. (3.87 Ac.)
 - IT IS A CONDITION OF THIS ALTERATION OF TERRAIN PERMIT THAT WORK MUST BE DONE IN ACCORDANCE WITH THESE DESCRIBED PHASES OR AN ENVIRONMENTAL MONITOR WILL BE REQUIRED.

		REVISED PER NOTICE OF DECISION		REVISION	DATE	DESCRIPTION
		REVISED PER AOT APPLICATION				
		REVISED PER CITY OF ROCHESTER TRG COMMENT				
		#3	10-9-20			
		#2	8-31-20			
		#1	5-19-20			

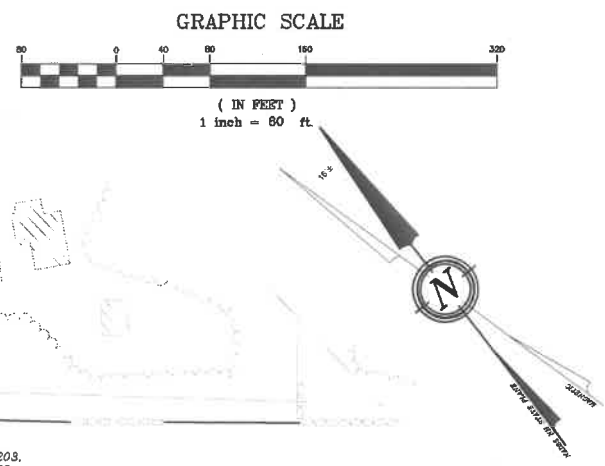
AOT SEQUENCE PLAN	
LAND OF	
KEL-MAR INVESTMENTS, LLC	
KELMAR DRIVE & FRIESIAN DRIVE	
ROCHESTER, NH	
TAX MAP 203	
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27	

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. = 80 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

SHEET 9 OF 29



- NOTES:
- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE GRADING AND DRAINAGE OVERVIEW OF KELMAR DRIVE AND FRESIAN DRIVE.
 - 2.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - 3.) TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27.
 - 4.) LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
 - 5.) S.C.R.D. BOOK 3483, PAGE 521
 - 6.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 & 25-26 HAVE SUBSEQUENTLY BEEN SOLD.
 - 7.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 8.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 9.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.
 - 10.) SEE SEDIMENT & EROSION CONTROL PLAN FOR INLET PROTECTION AND CONTROLS FOR THE ENTIRE SITE.
 - 11.) ALL DRAINAGE PIPE IS TO BE HDPE N-12 ASTM F2648. (GREEN PIPE) INDIVIDUAL PIPE SIZES ARE SPECIFIED.
 - 12.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER OR DESIGNATED REPRESENTATIVE AND WITHIN 24 HOURS OF A STORM EVENT GREATER THAN 0.25 INCHES.
 - 13.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), TWO WEEKS PRIOR TO COMMENCING CONSTRUCTION. WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
 - 14.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
 - 15.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED
 - 16.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS.
 - 17.) ALL PROPOSED CLEAN OUTS ARE TO BE VERTICAL 12" N-12 PIPE WITH CAST IRON COVERS SCREWED WITH STAINLESS SCREWS. THE COVER IS TO BE DEMARCATED WITH A "D".
 - 18.) THE TOTAL PROPOSED DISTURBANCE FROM NEW CONSTRUCTION IS 356,280 Sq. Ft. (8.18 Ac.). SEE PHASING PLAN FOR BREAKDOWN.



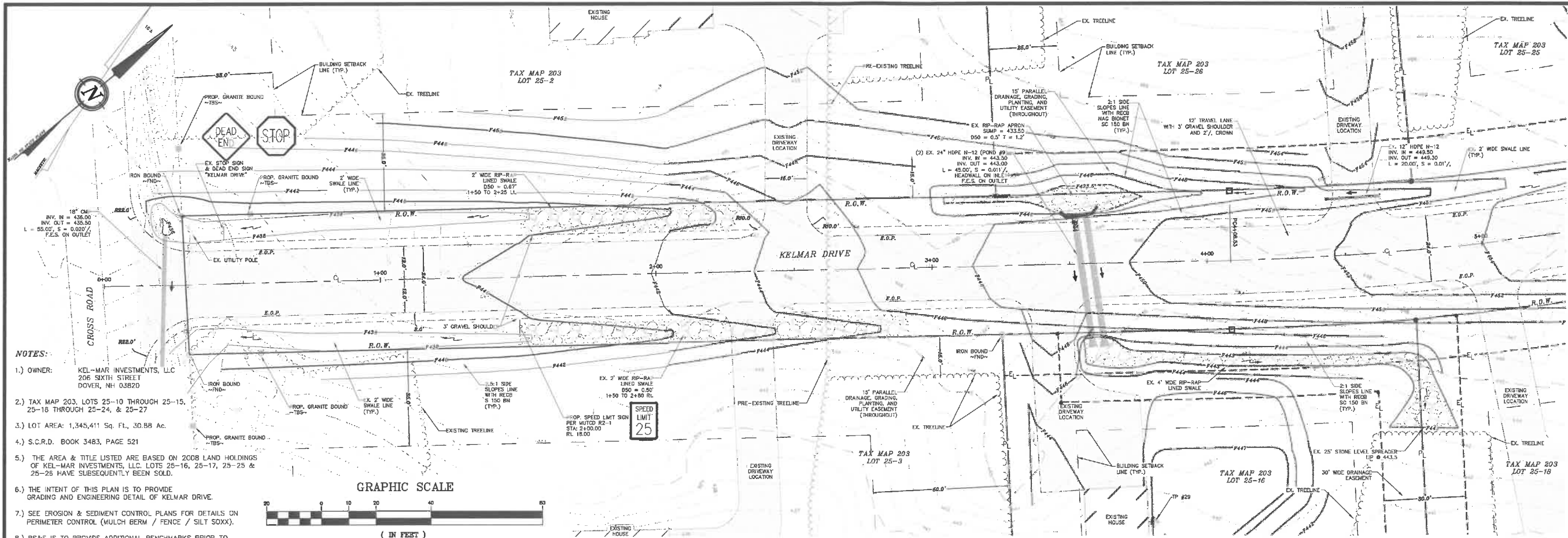
		REVISED PER NOTICE OF DECISION REVISED PER AGT APPLICATION REVISED PER CITY OF ROCHESTER TRG COMMENT	

OVERVIEW GRADING PLAN KELMAR DRIVE & FRESIAN LANE
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

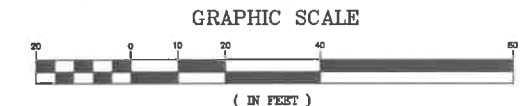
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 10810
Exp. 12/31/2024

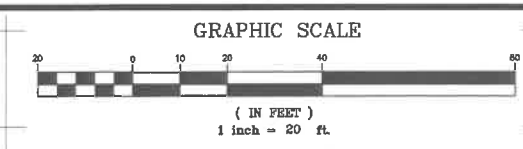
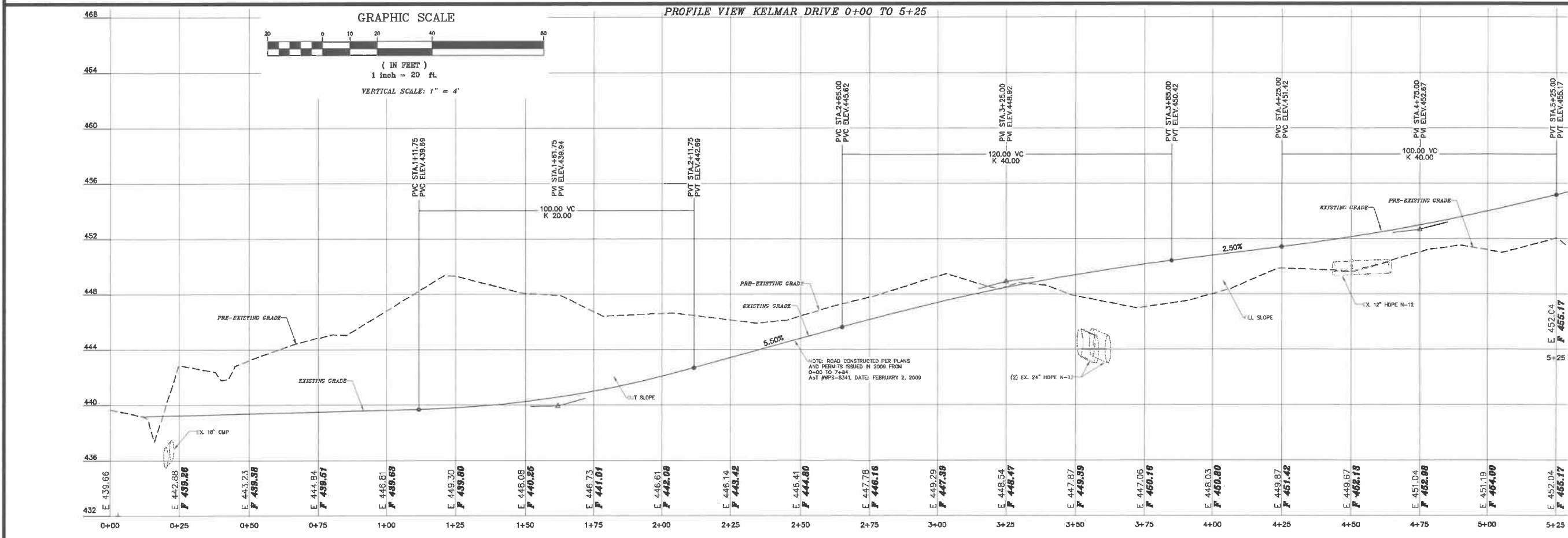
SHEET 10 OF 29



- NOTES:
- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-16 THROUGH 25-24, & 25-27
 - 3.) LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
 - 4.) S.C.R.D. BOOK 3483, PAGE 521
 - 5.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS
OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 &
25-26 HAVE SUBSEQUENTLY BEEN SOLD.
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE
GRADING AND ENGINEERING DETAIL OF KELMAR DRIVE.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON
PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO
CONSTRUCTION.



PLAN VIEW KELMAR DRIVE 0+00 TO 5+25
PROFILE VIEW KELMAR DRIVE 0+00 TO 5+25



REVISION		DATE	DESCRIPTION
#3	#2	10-9-20	REVISED PER NOTICE OF DECISION
#1	#1	8-31-20	REVISED PER A&T APPLICATION
		5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

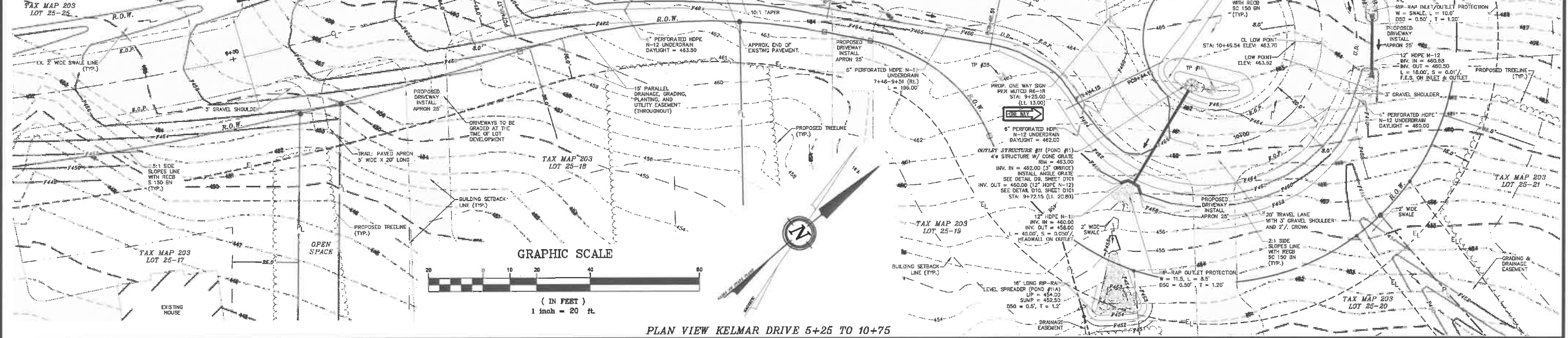
PLAN & PROFILE KELMAR DRIVE 0+00 - 5+25
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

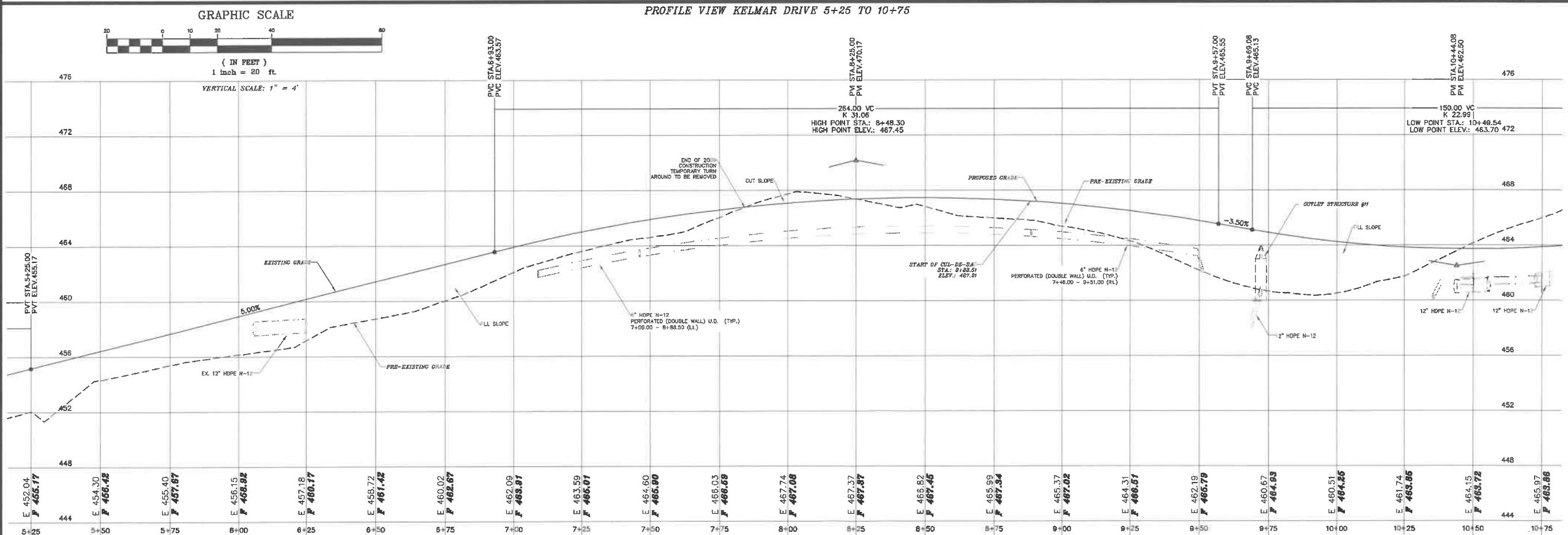
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer
No. 35104, Exp. 12/31/2021

NOTES:

- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
- 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-16 THROUGH 25-24, & 25-27
- 3.) LOT AREA: 1,345,411 Sq. Ft., 30.89 Ac.
- 4.) S.C.R.D. BOOK 3483, PAGE 521
- 5.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS
OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 &
25-26 HAVE SUBSEQUENTLY BEEN SOLD.
- 6.) THE INTENT OF THIS PLAN IS TO PROVIDE
GRADING AND ENGINEERING DETAIL OF KELMAR DRIVE.
- 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON
PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO
CONSTRUCTION.



PLAN VIEW KELMAR DRIVE 5+25 TO 10+75
PROFILE VIEW KELMAR DRIVE 5+25 TO 10+75



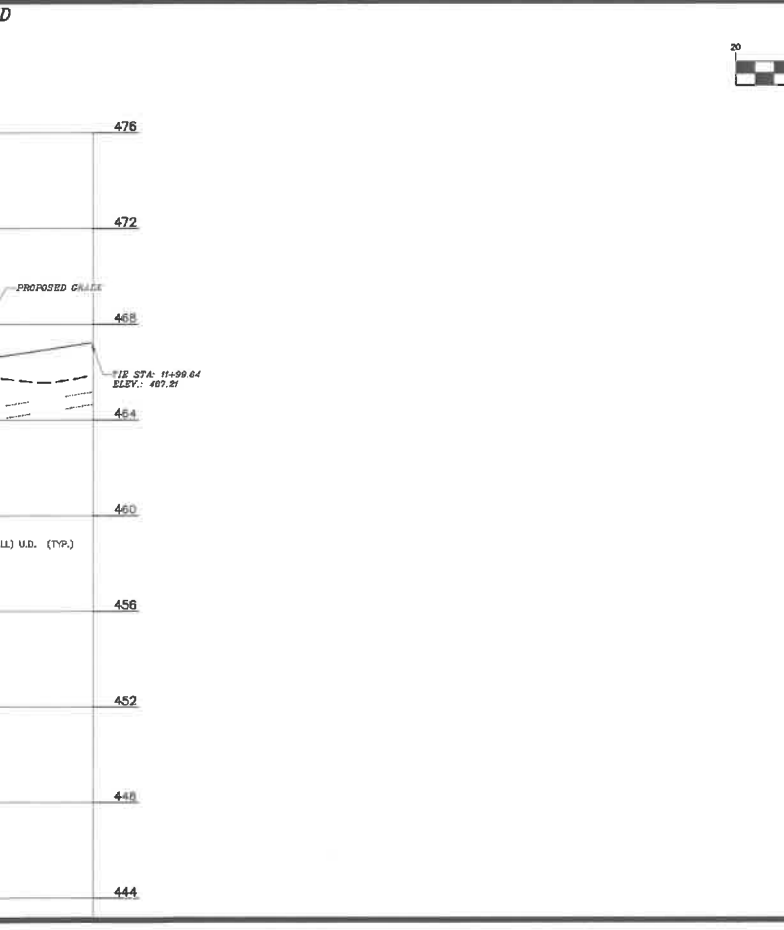
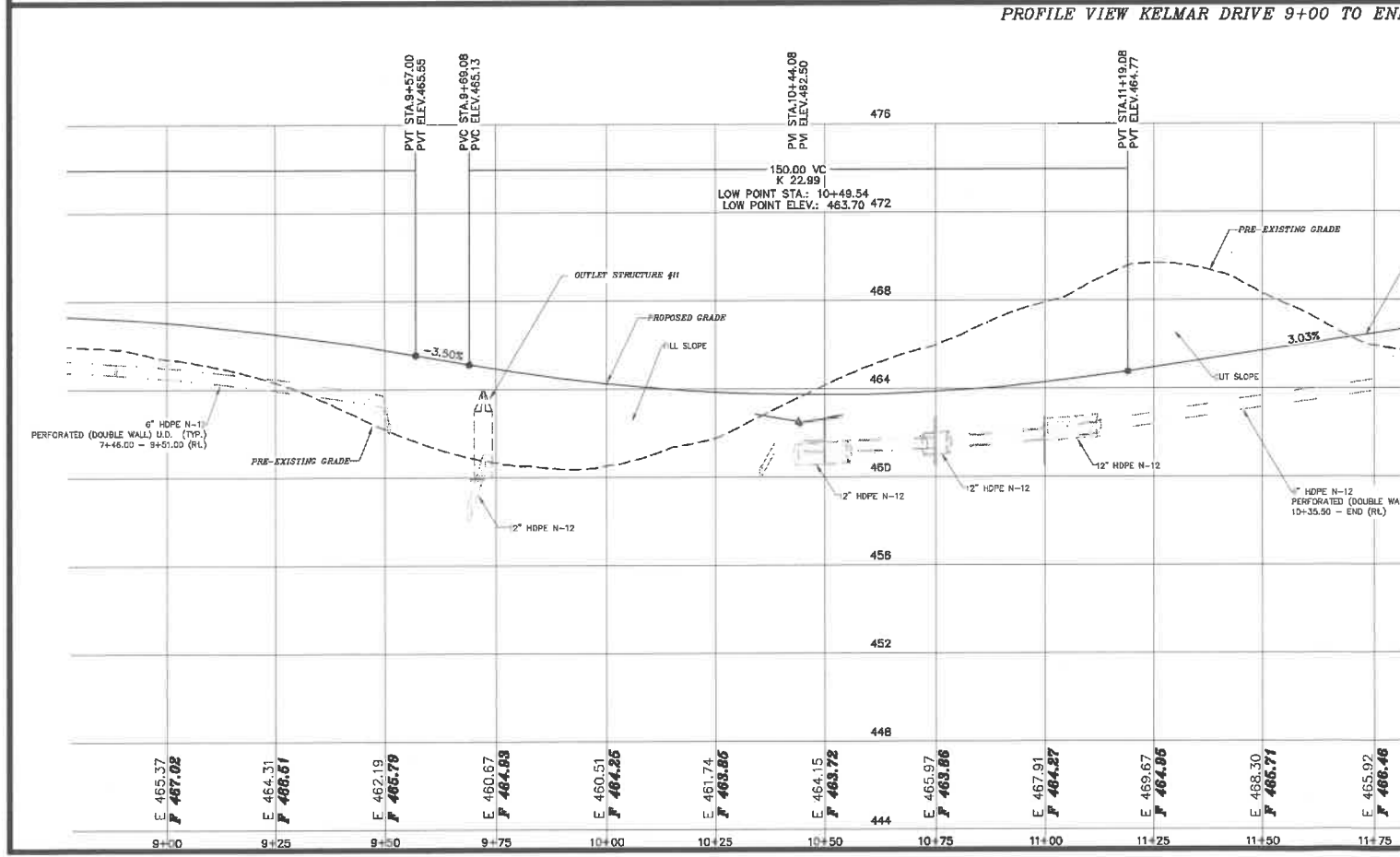
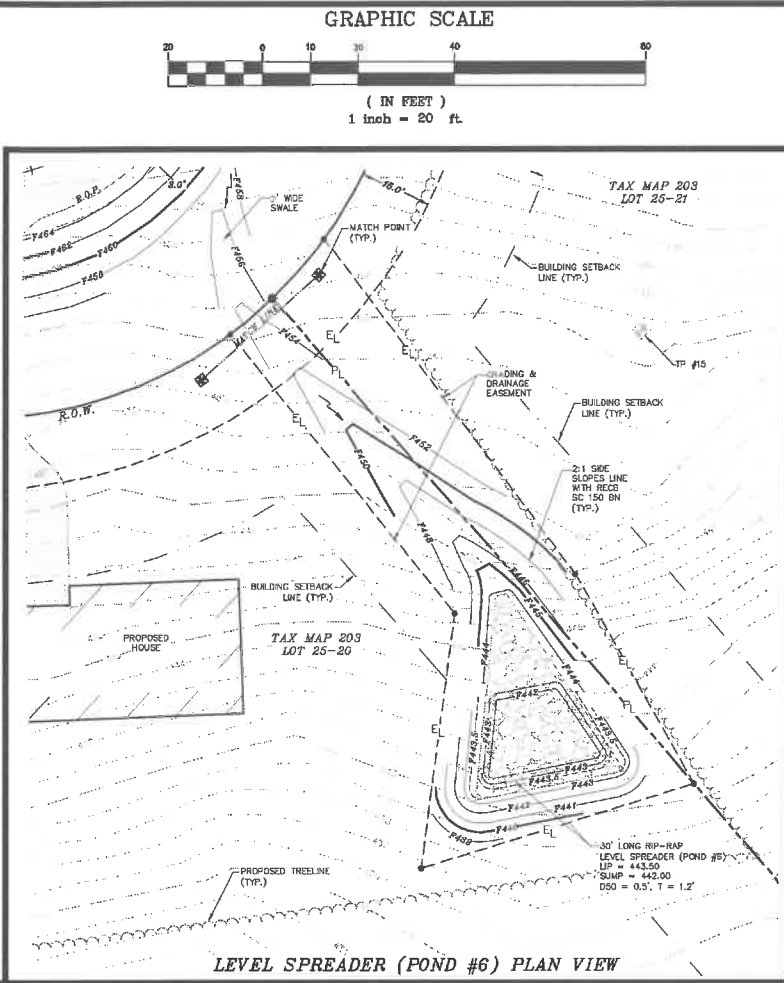
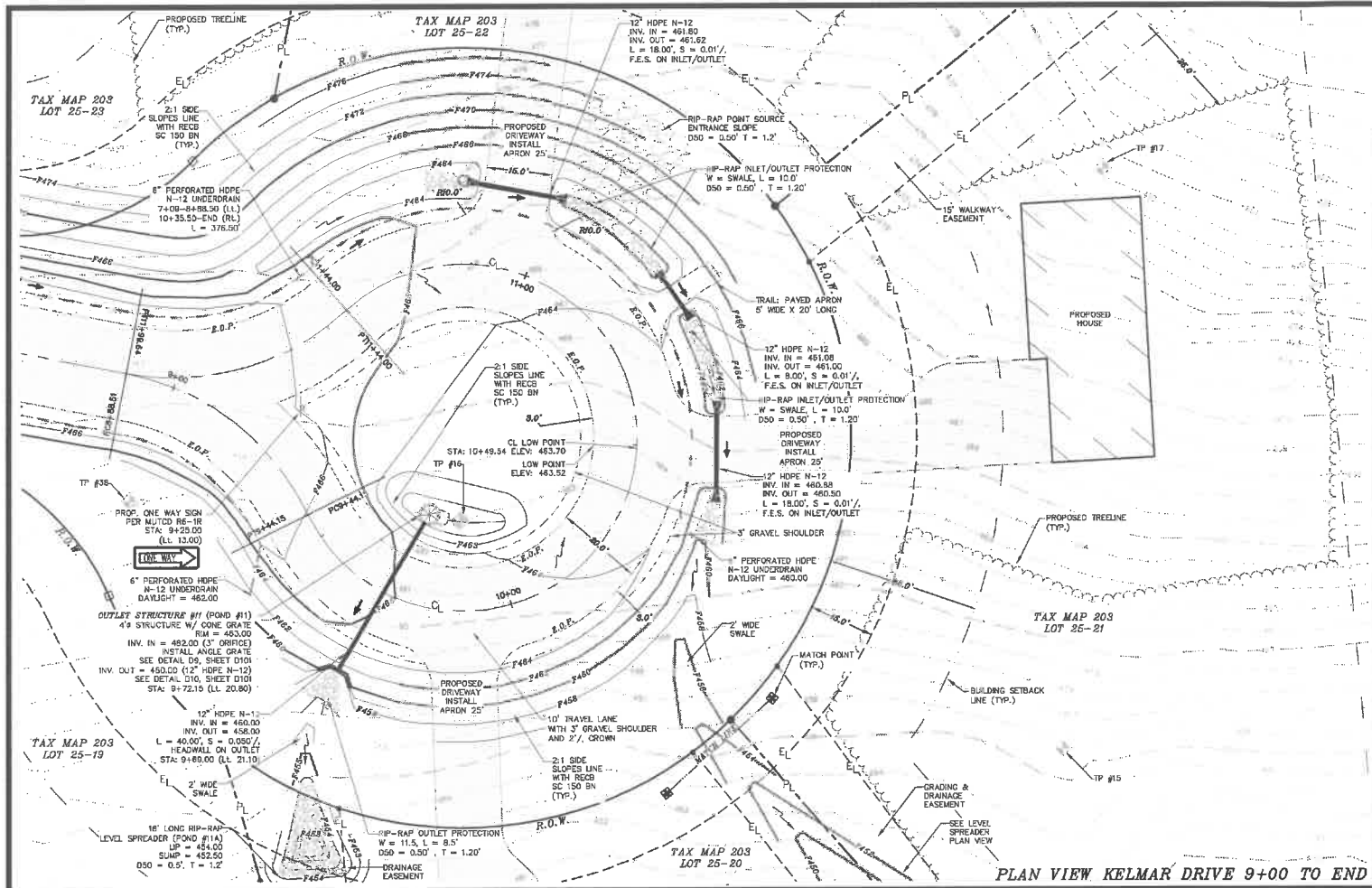
REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

PLAN & PROFILE KELMAR DRIVE 5+25 - 10+75
LAND OF KEL-MAR INVESTMENTS, LLC KELMAR DRIVE & FRESIAN DRIVE ROCHESTER, NH TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

SHEET 12 OF 29



NOTES:

- OWNER: KEL-MAR INVESTMENTS, LLC
208 SIXTH STREET
DOVER, NH 03820
- TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-16 THROUGH 25-24, & 25-27
- LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
- S.C.R.D. BOOK 3483, PAGE 521
- THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS
OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 &
25-26 HAVE SUBSEQUENTLY BEEN SOLD.
- THE INTENT OF THIS PLAN IS TO PROVIDE
GRADING AND ENGINEERING DETAIL OF KELMAR DRIVE.
- SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON
PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO
CONSTRUCTION.

REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER ACT OF APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRC COMMENT

PLAN & PROFILE KELMAR DRIVE 9+00 - END
OF
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESHMAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

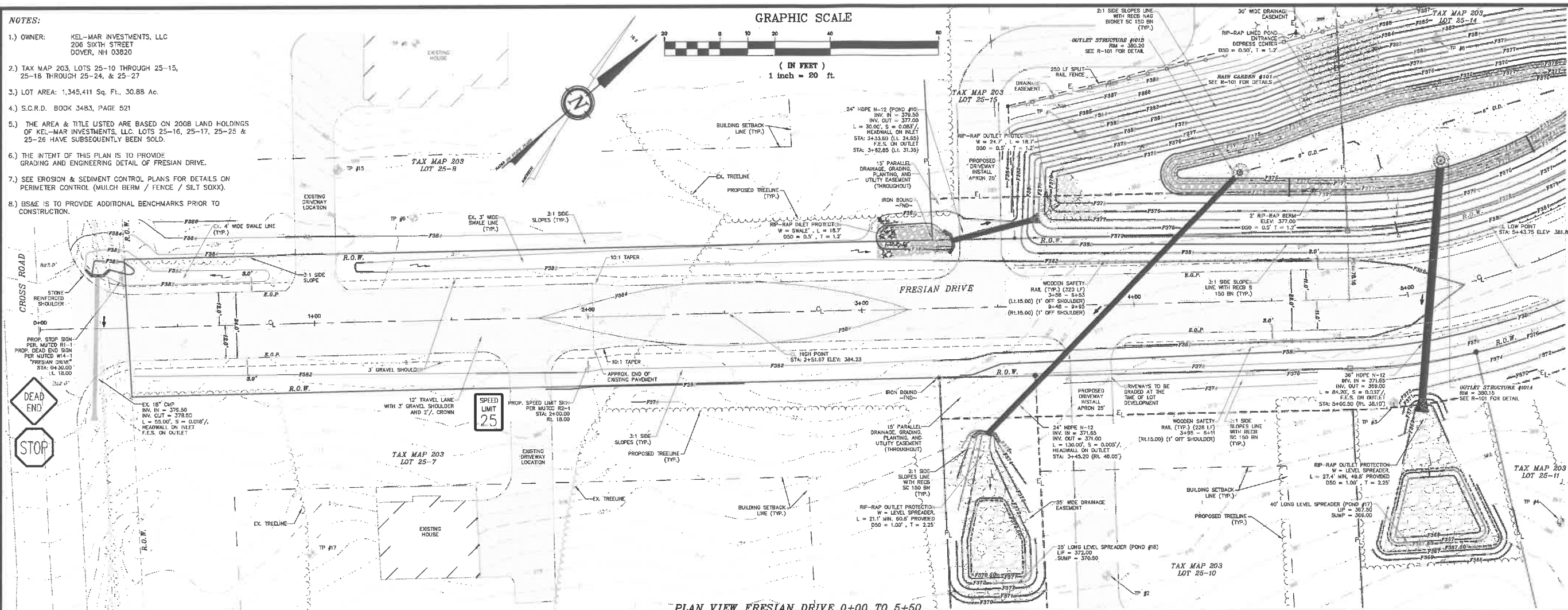
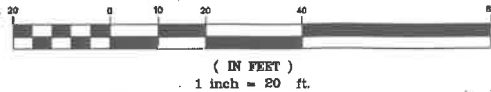
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
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SHEET 13 OF 29

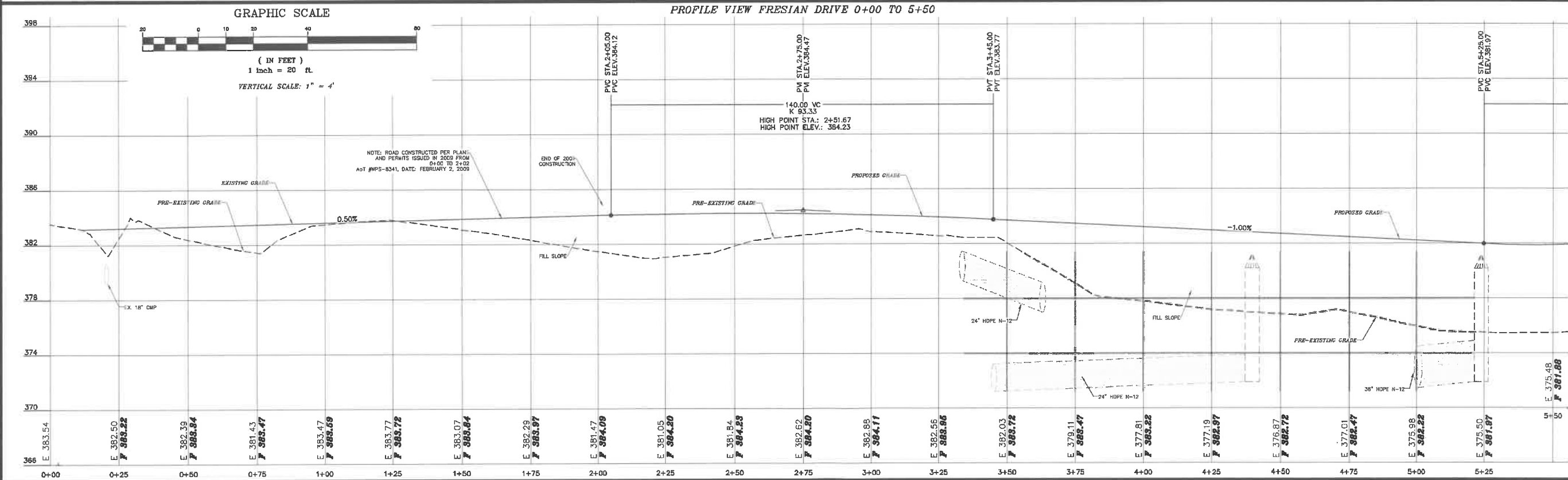
NOTES:

- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
- 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-18 THROUGH 25-24, & 25-27
- 3.) LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
- 4.) S.C.R.D. BOOK 3483, PAGE 521
- 5.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS
OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 &
25-26 HAVE SUBSEQUENTLY BEEN SOLD.
- 6.) THE INTENT OF THIS PLAN IS TO PROVIDE
GRADING AND ENGINEERING DETAIL OF FRESIAN DRIVE.
- 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON
PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
- 8.) BSA&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO
CONSTRUCTION.

GRAPHIC SCALE



PLAN VIEW FRESIAN DRIVE 0+00 TO 5+50
PROFILE VIEW FRESIAN DRIVE 0+00 TO 5+50

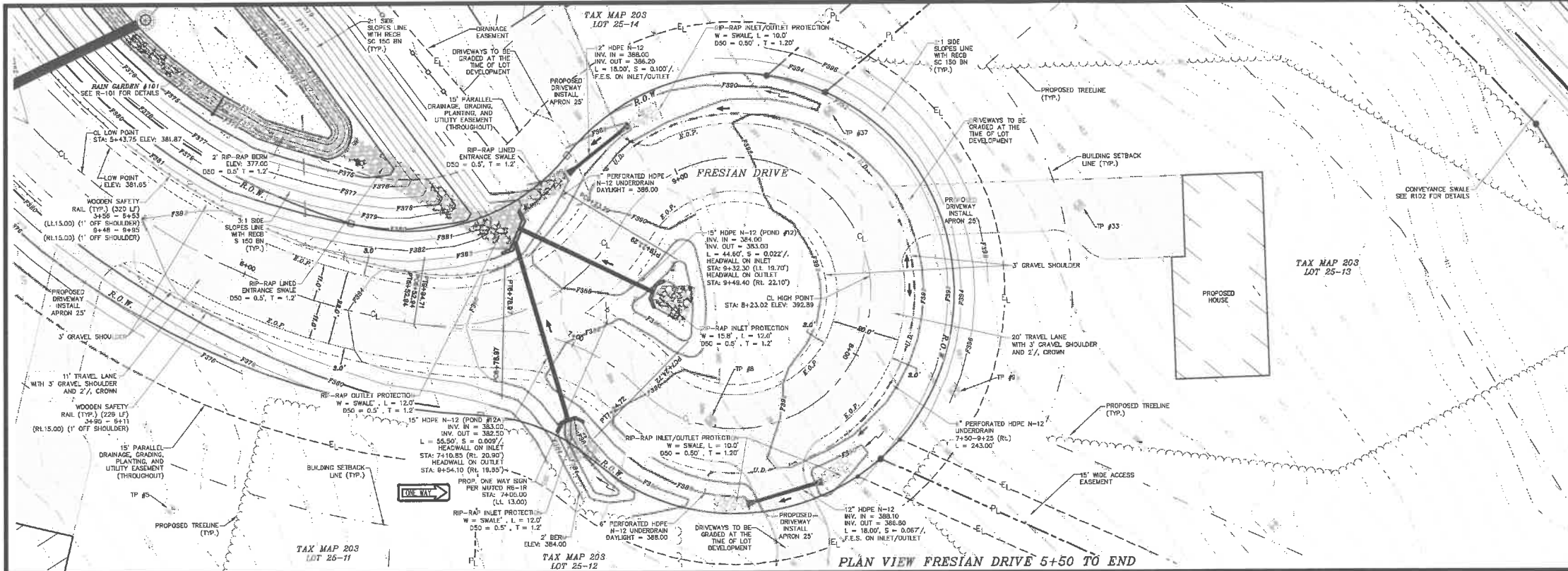


REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER ACT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

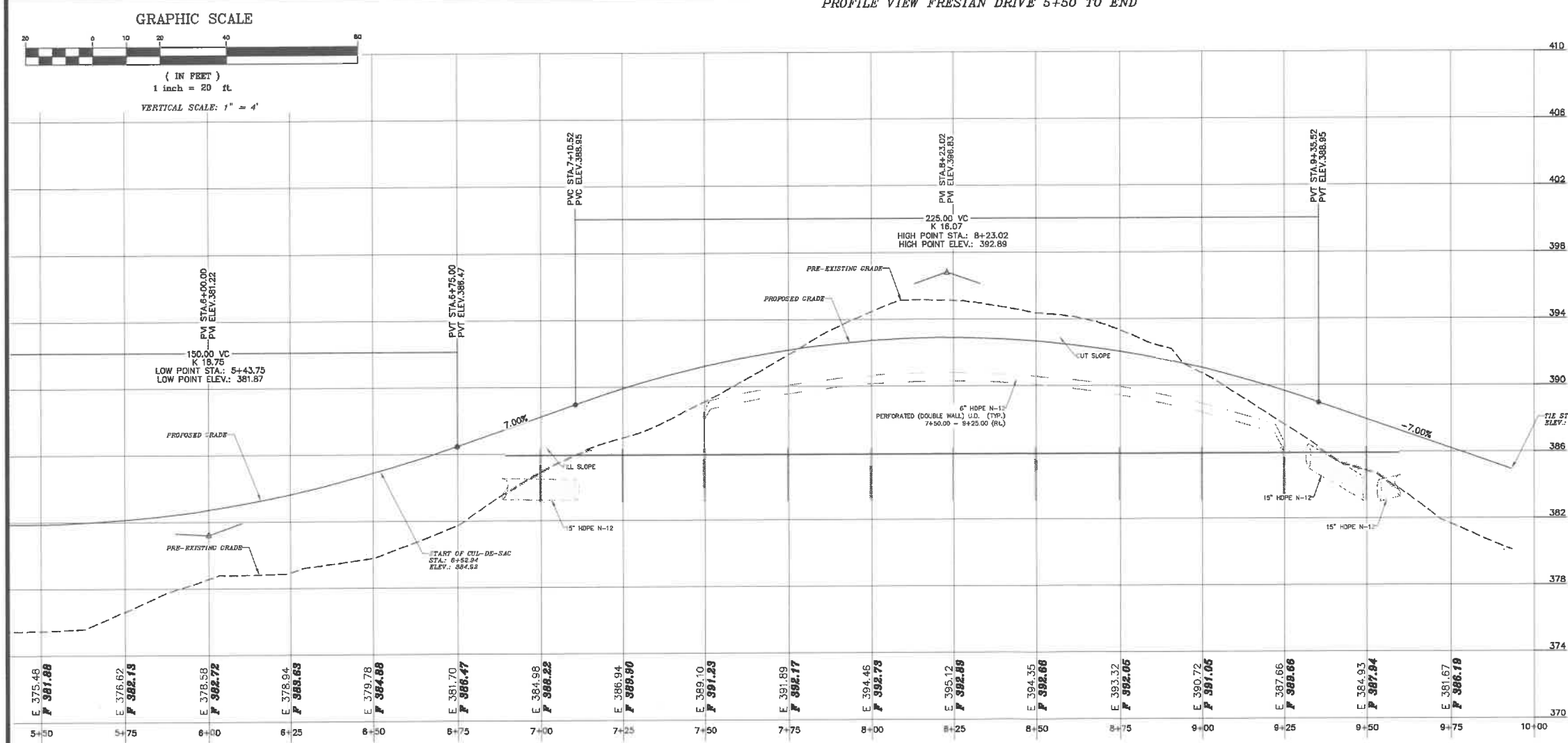
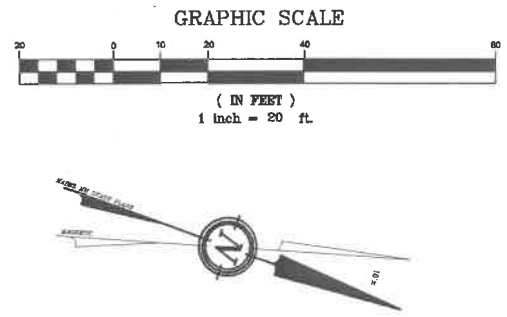
PLAN & PROFILE FRESIAN DRIVE 0+00 - 5+50
LAND OF KEL-MAR INVESTMENTS, LLC KELMAR DRIVE & FRESIAN DRIVE ROCHESTER, NH TAX MAP 203 LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

SHEET 14 OF 29



- NOTES:
- 1.) OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 - 2.) TAX MAP 203, LOTS 25-10 THROUGH 25-15,
25-18 THROUGH 25-24, & 25-27
 - 3.) LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
 - 4.) S.C.R.D. BOOK 3483, PAGE 521
 - 5.) THE AREA & TITLE LISTED ARE BASED ON 2008 LAND HOLDINGS
OF KEL-MAR INVESTMENTS, LLC. LOTS 25-16, 25-17, 25-25 &
25-26 HAVE SUBSEQUENTLY BEEN SOLD.
 - 6.) THE INTENT OF THIS PLAN IS TO PROVIDE
GRADING AND ENGINEERING DETAIL OF FRESIAN DRIVE.
 - 7.) SEE EROSION & SEDIMENT CONTROL PLANS FOR DETAILS ON
PERIMETER CONTROL (MULCH BERM / FENCE / SILT SOXX).
 - 8.) BS&E IS TO PROVIDE ADDITIONAL BENCHMARKS PRIOR TO
CONSTRUCTION.



REVISION		DATE	DESCRIPTION
#3	10-9-20		
#2	8-31-20		
#1	5-19-20		

PLAN & PROFILE FRESIAN DRIVE 5+50 - END
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY
&
ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
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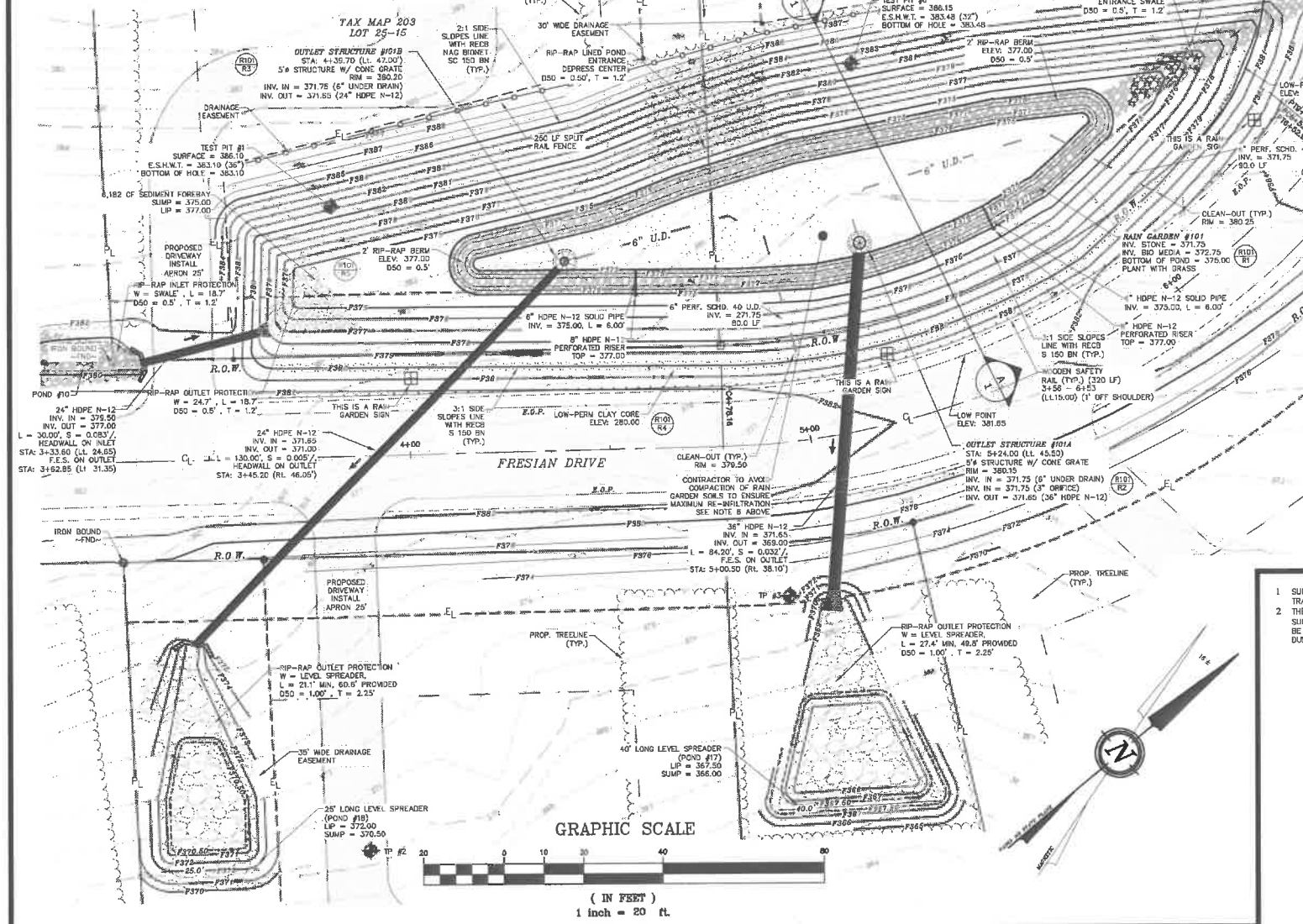
STATE OF NEW HAMPSHIRE
KENNETH
BERRY
REGISTERED PROFESSIONAL ENGINEER

SHEET 15 OF 29

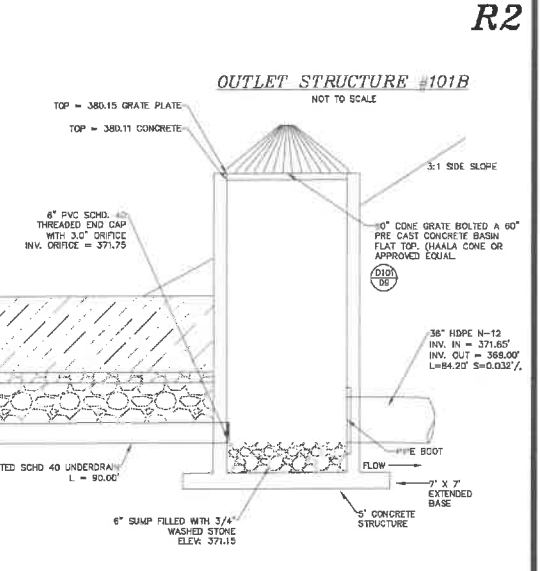
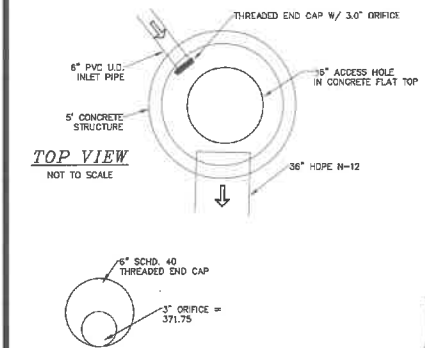
BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100	1"	100
3/8"	95 - 100	3/4"	90 - 100
# 4	22 - 55	1/2"	15 - 55
# 8	0 - 10	# 10	0 - 5
* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS		* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS	

- NOTES**
1. WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
 2. SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
 3. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 4. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- MAINTENANCE REQUIREMENTS**
1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
 2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
 3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
 4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- DESIGN REFERENCES**
1. UNH STORMWATER CENTER
 2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.
- RAIN GARDEN MIX**
- THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (25 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ENVIST CONSERVATION SEEDS; OR APPROVED EQUAL.

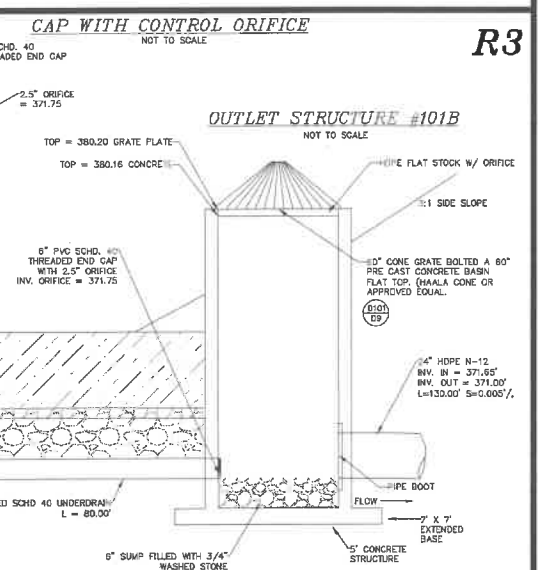
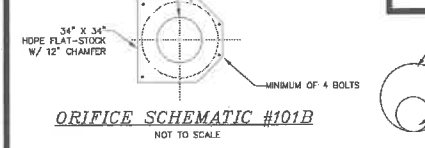
PLAN VIEW RAIN GARDEN #101



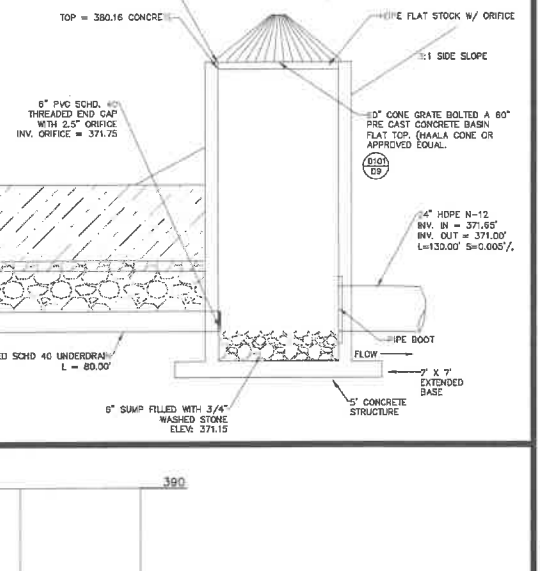
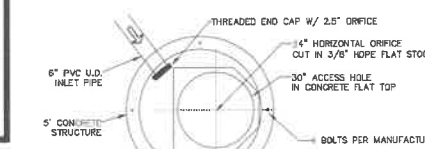
R1



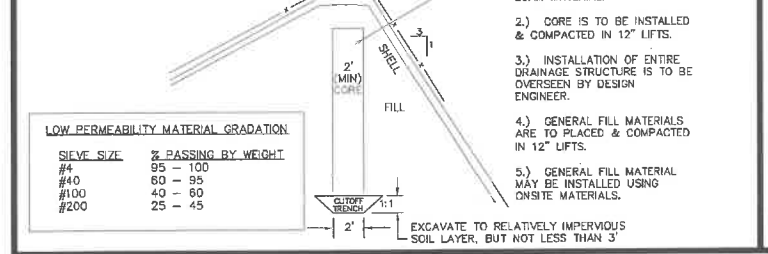
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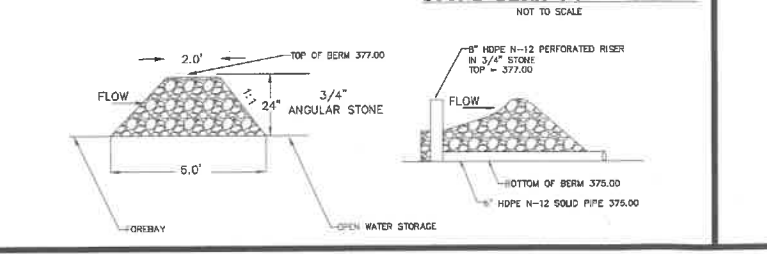
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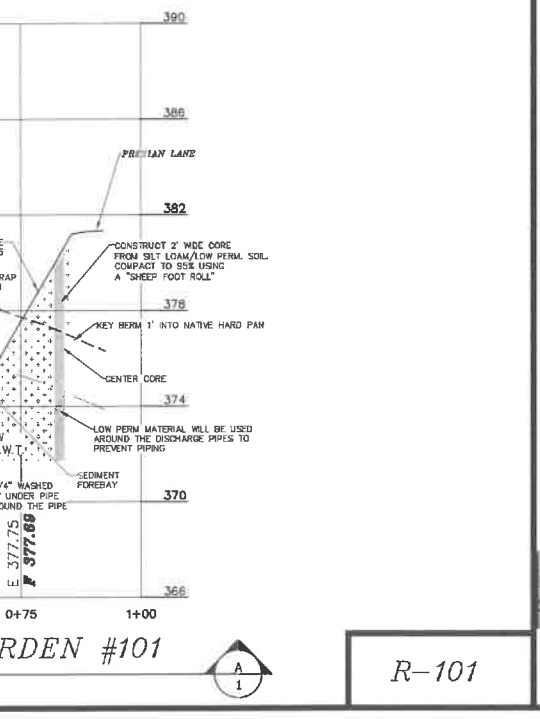
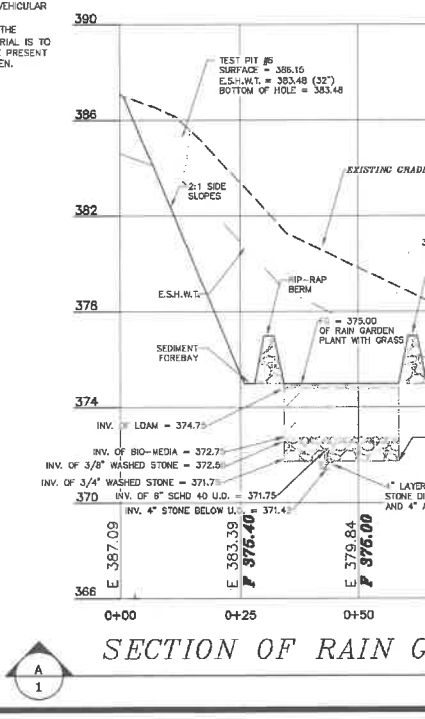
R4



R5



R1



REVISED PER NOTICE OF DECISION 8-31-20 REVISED PER ACT OF APPLICATION 5-19-20		DATE
#3 #2 #1		REVISION
RAIN GARDEN #101 LAND OF KEL-MAR INVESTMENTS, LLC KELMAR DRIVE & FRESIAN DRIVE ROCHESTER, NH TAX MAP 203 LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27		DESCRIPTION

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

STATE OF NEW HAMPSHIRE
KENNETH
PROFESSIONAL ENGINEER

SHEET 16 OF 29

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
#4	22 - 55
#8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT NHDOT STANDARD SPECIFICATIONS

3/4" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
1/2"	15 - 55
#10	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT NHDOT STANDARD SPECIFICATIONS

RAIN GARDEN MIX
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PIT'S MIX 1 (WARM SEASON GRASSES) (10 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 160 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS; OR APPROVED EQUAL.

NOTES

- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
- SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
- DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.6 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEARED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

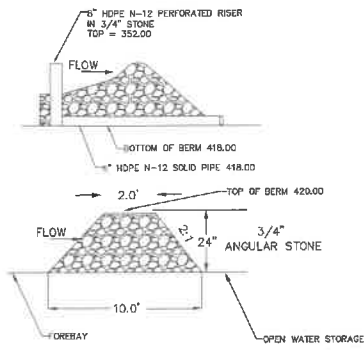
- UNH STORMWATER CENTER
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

R1

R2

STONE BERM FOR FOREBAY

NOT TO SCALE

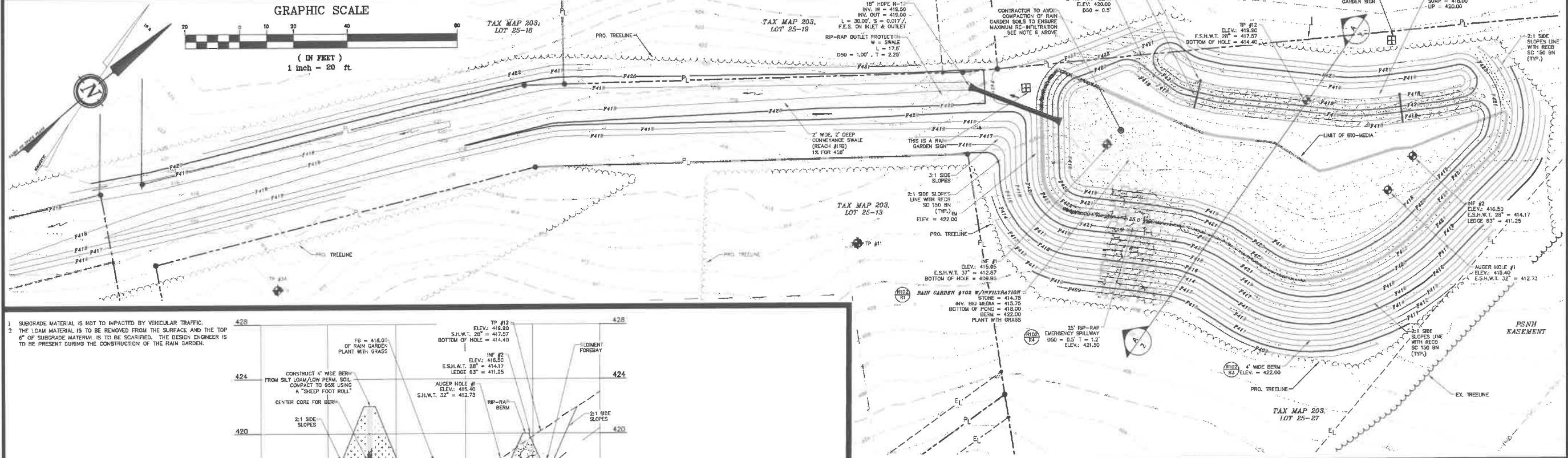
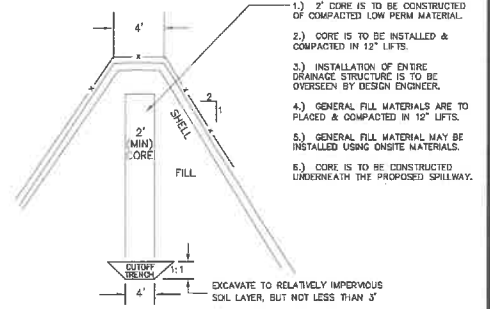


R3

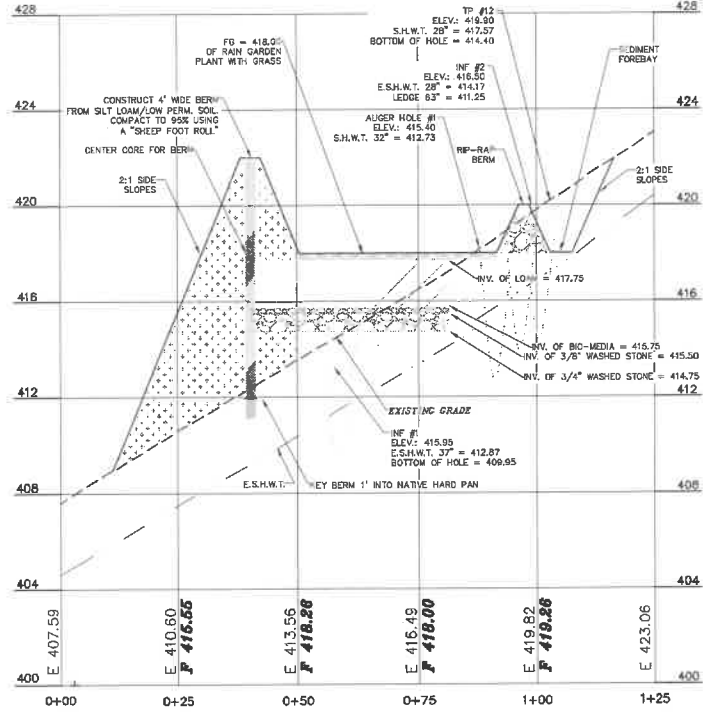
BERM CONSTRUCTION

NOT TO SCALE

LOW PERMEABILITY MATERIAL GRADATION	
SIEVE SIZE	% PASSING BY WEIGHT
#4	95 - 100
#40	80 - 95
#100	40 - 60
#200	25 - 45



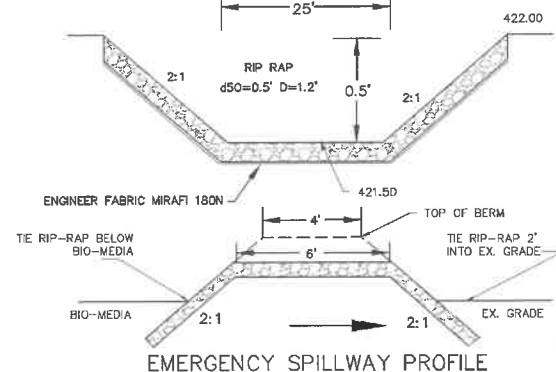
- SUBGRADE MATERIAL IS NOT TO BE IMPACTED BY VEHICULAR TRAFFIC.
- THE LOAM MATERIAL IS TO BE REMOVED FROM THE SURFACE AND THE TOP 6" OF SUBGRADE MATERIAL IS TO BE SCARIFIED. THE DESIGN ENGINEER IS TO BE PRESENT DURING THE CONSTRUCTION OF THE RAIN GARDEN.



R4

SPILLWAY DETAILS

NOT TO SCALE



REVISION		DATE		DESCRIPTION	
#3	10-9-20	#2	8-31-20	#1	5-19-20
REMOVED PER NOTICE OF DECISION		REMOVED PER AGT APPLICATION		REMOVED PER CITY OF ROCHESTER TRG COMMENT	

RAIN GARDEN #102 W/INFILTRATION		KEL-MAR INVESTMENTS, LLC		KELMAR DRIVE & FRESIAN DRIVE		ROCHESTER, NH		TAX MAP 203		LOTS 25-10 THROUGH 26-15, 26-18 THROUGH 26-24, & 26-27	
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BERRY SURVEYING & ENGINEERING		335 SECOND CROWN POINT ROAD		BARRINGTON, NH 03825 (603)332-2863		SCALE : 1 IN. EQUALS 20 FT.		DATE : MARCH 10, 2020		FILE NO. : DB 2018 - 100	
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R-102

BIORETENTION FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Bioretention Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

3/8" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

3/4" WASHED CRUSHED STONE*

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
1/2"	15 - 55
# 10	0 - 5

* EQUIVALENT TO STANDARD WASHED STONE - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

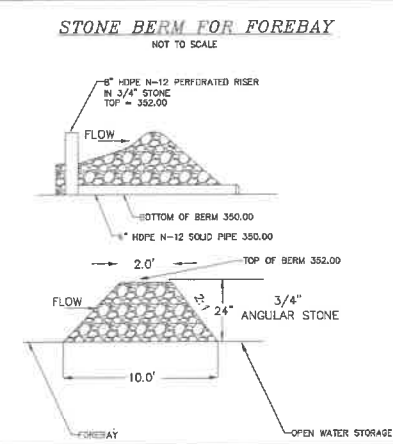
- NOTES**
- WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
 - SOL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO MEDIA" MEANS BIORETENTION FILTER MEDIA. COMPACTION IS NOT TO OCCUR IN THE RAIN GARDEN AREAS PRIOR TO CONSTRUCTION. SCARIFICATION REQUIRED IN THE EVENT COMPACTION TAKES PLACE.
 - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BNP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
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 - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
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- DESIGN REFERENCES**
- UNH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

RAIN GARDEN MIX

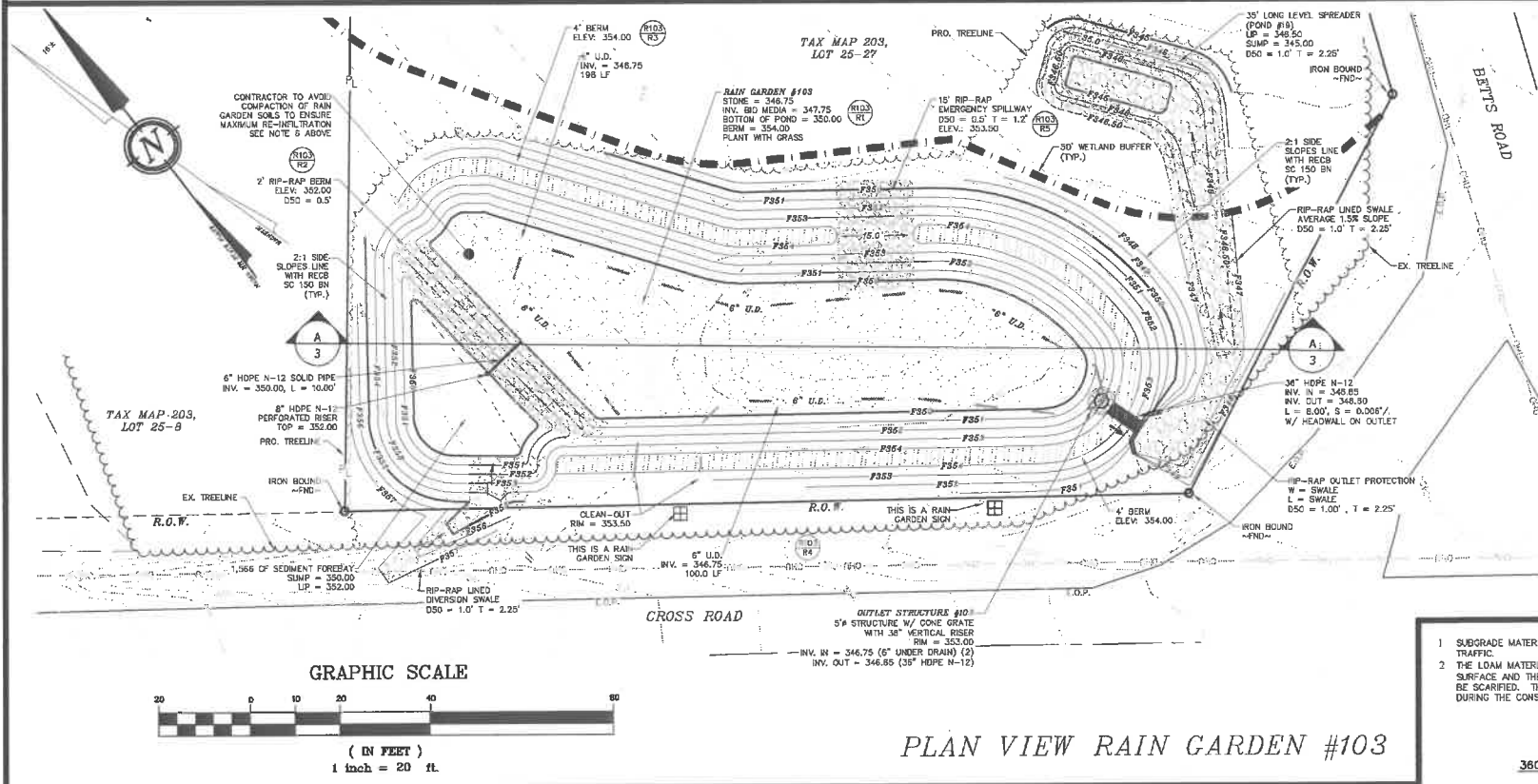
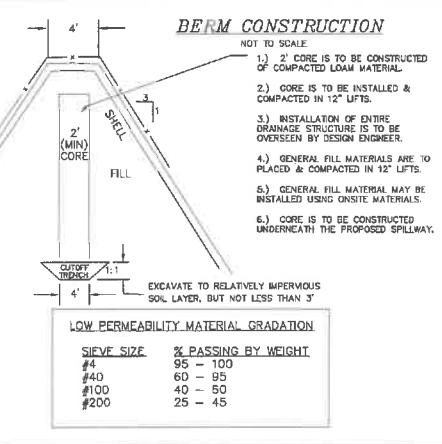
THE GRASS THAT IS PLANTED WITHIN A RAIN GARDEN BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET THE REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL MIX" (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC); THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (25 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE) / RAIN GARDEN GRASS MIX 180-1 (20 LBS/AC & 10 LBS/AC OF RYE) BY ENVIST CONSERVATION SEEDS; OR APPROVED EQUAL.

R1

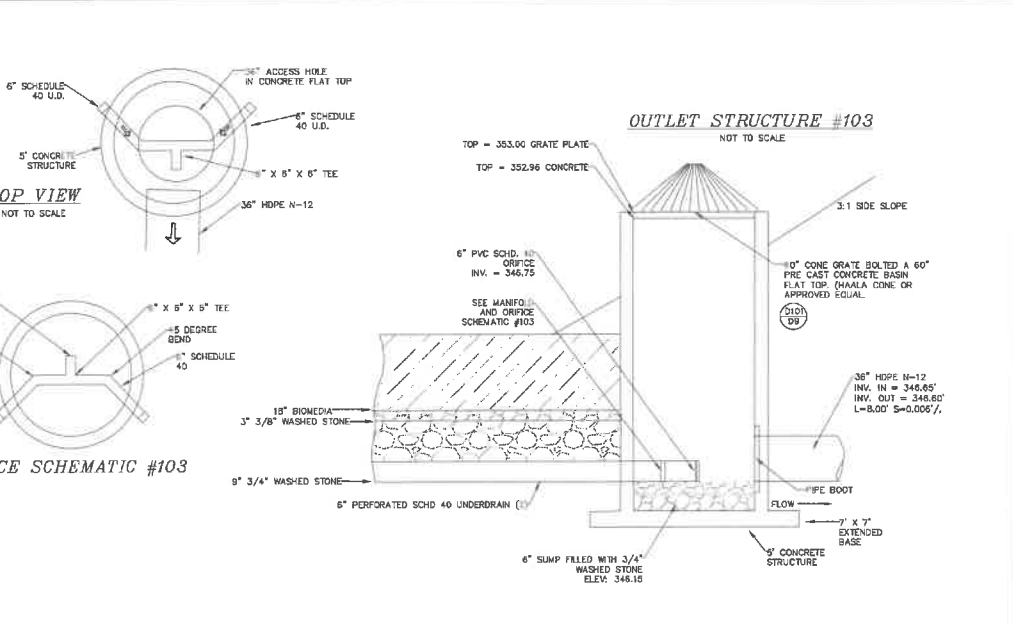
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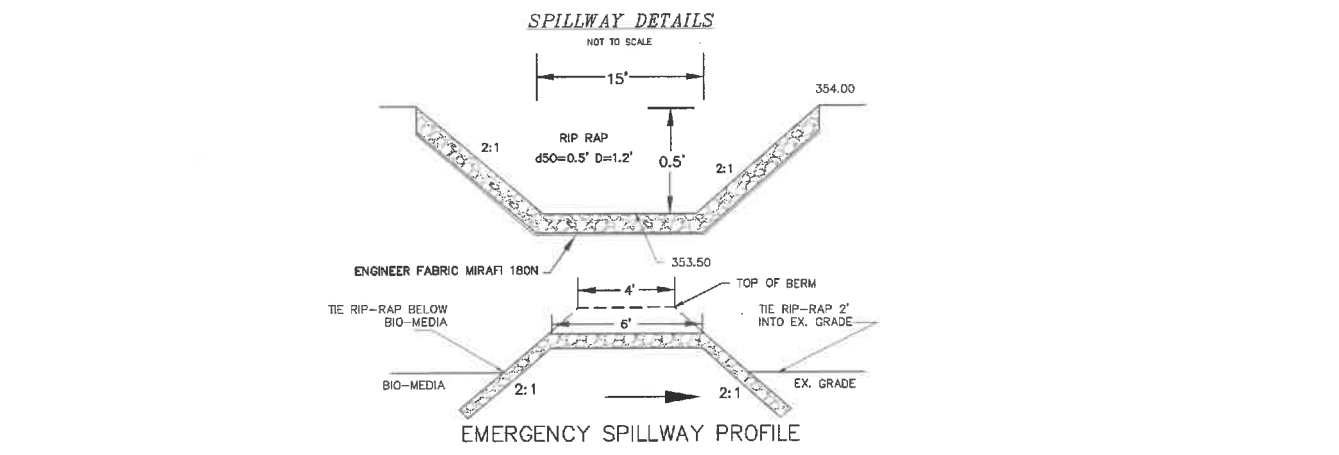
R3



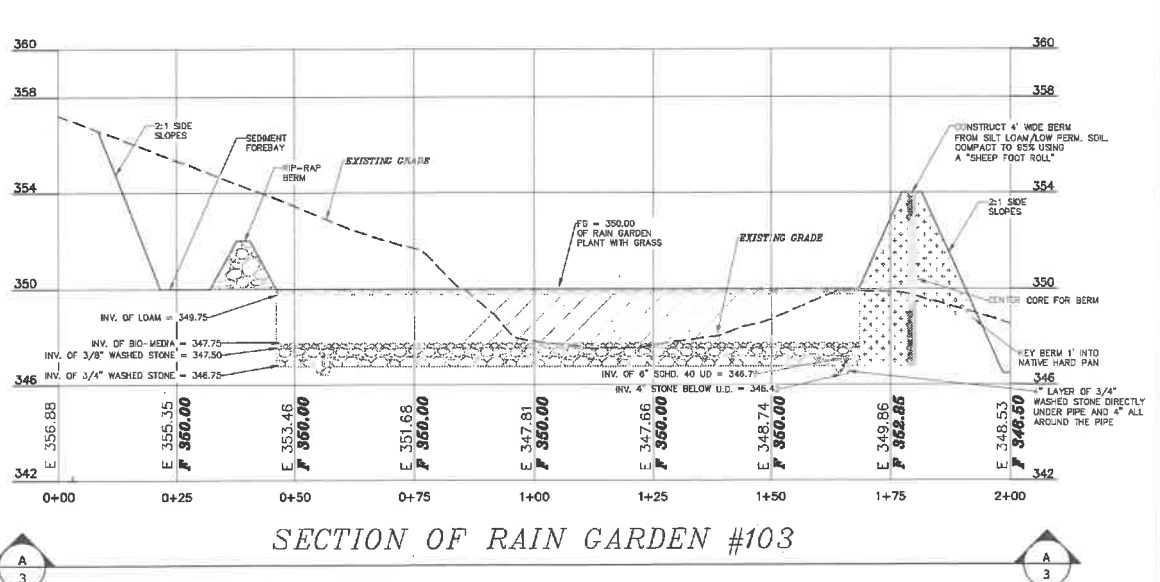
R4



R5



- SUBGRADE MATERIAL IS NOT TO BE IMPACTED BY VEHICULAR TRAFFIC.
- THE LOAM MATERIAL IS TO BE REMOVED FROM THE SURFACE AND THE TOP 6" OF SUBGRADE MATERIAL IS TO BE SCARIFIED. THE DESIGN ENGINEER IS TO BE PRESENT DURING THE CONSTRUCTION OF THE RAIN GARDEN.



REMOVED PER NOTICE OF DECISION REVISED PER AOT APPLICATION REVISED PER CITY OF ROCHESTER TRG COMMENT	DESCRIPTION
10-9-20 8-31-20 5-19-20	DATE
#3 #2 #1	REVISION

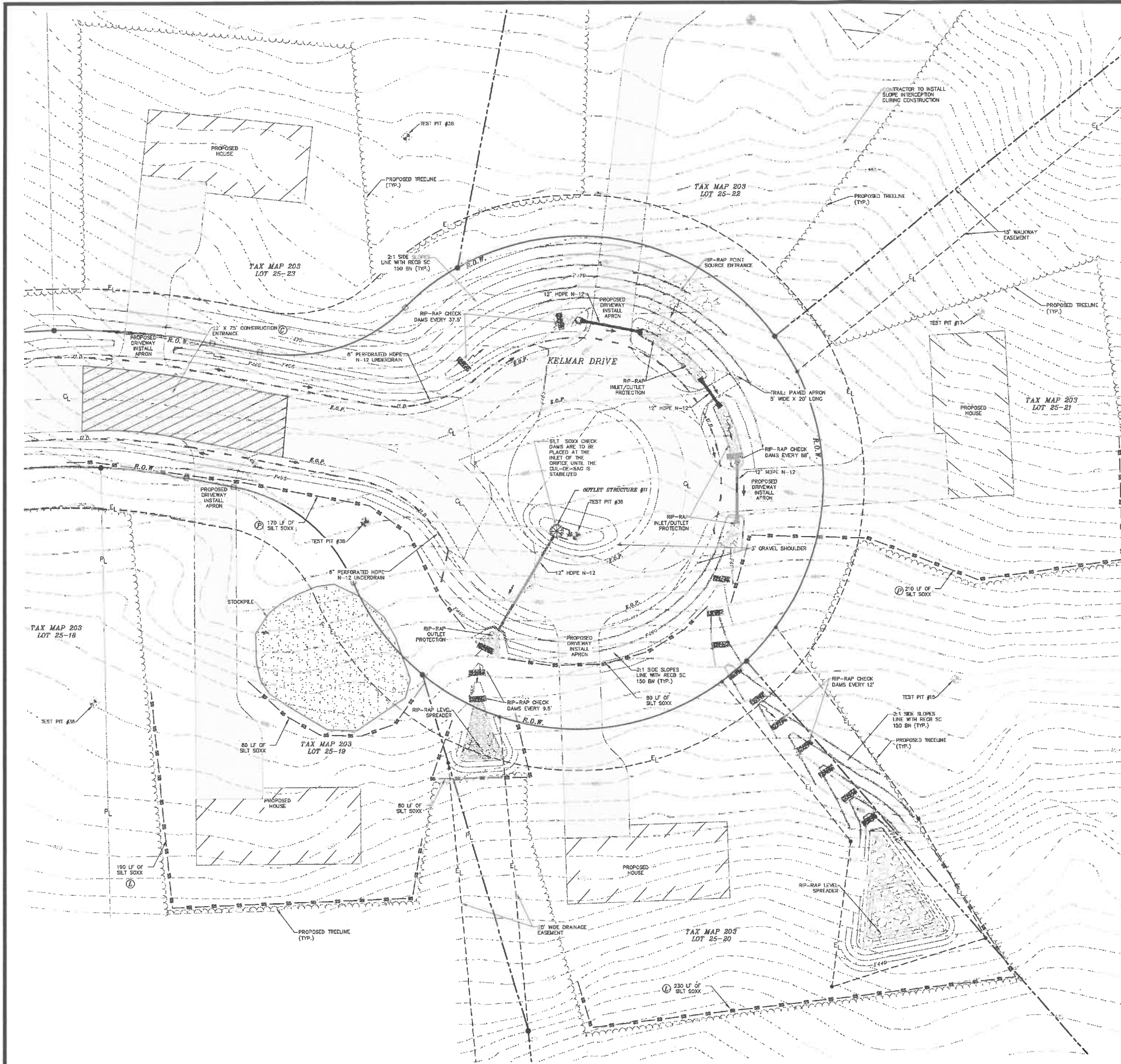
RAIN GARDEN #103
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EX-1594

SHEET 18 OF 29

R-103



- NOTES:
1. THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EROSION AND SEDIMENT CONTROL PLAN FOR KELMAR DRIVE.
 2. OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
 3. TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27.
 4. LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
 5. S.C.R.D. BOOK 3483, PAGE 521
 6. UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 7. THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 8. ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 9. UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBR'S. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES.
 10. EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE CITY OF ROCHESTER, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE NOTICE OF TERMINATION (NOT) IS SUBMITTED. SEE ALSO CITY OF ROCHESTER ADDITIONAL INSPECTION REQUIREMENTS BELOW.
 11. SILT FENCE MAY BE SUBSTITUTED WITH FILTREXX SILT SOXX OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTE FOR FILTREXX SILT SOXX OR APPROVED EQUAL. HOWEVER, CONTRACTOR MAY SUBSTITUTE ORANGE SAFETY SILT FENCE FOR THE PERIMETER PROTECTION.
 12. PER EPA CGP 2.1.2.2 (INSTALL PERIMETER CONTROL), "YOU MUST INSTALL SEDIMENT CONTROLS ALONG THOSE PERIMETER AREAS OF YOUR SITE THAT WILL RECEIVE STORMWATER FROM EARTH DISTURBING ACTIVITIES." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE E&SC PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
 13. DURING LOT DEVELOPMENT, THE BUILDERS ARE TO ENSURE NO TRACKING TAKES PLACES WITHIN EVELYN DRIVE. THAT RESIDENTIAL WASTE IS TAKEN CARE OF, AND GENERAL CLEAN UP & HOUSE KEEPING ITEMS FOUND WITHIN THE CHAPTER 50 DOCUMENT ARE ADHERED TO.

SOILS & DEWATERING:

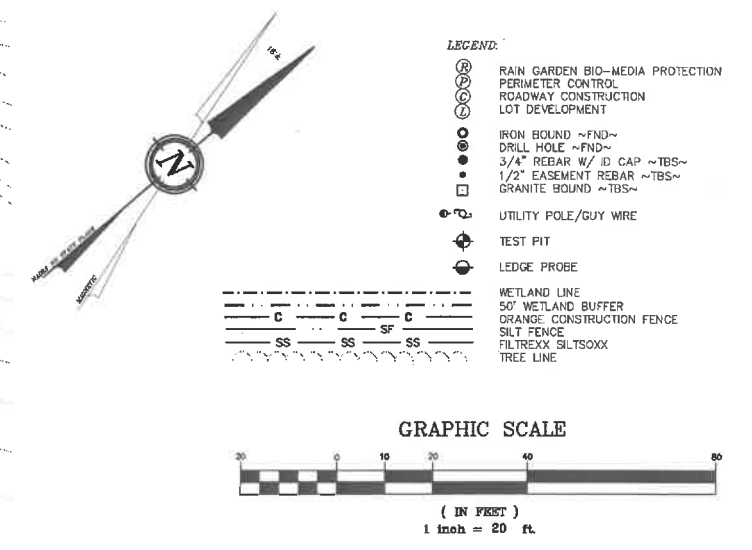
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28B	WOODBIDGE	FINE SANDY LOAM	K= 0.43
28C	WOODBIDGE	FINE SANDY LOAM	K= 0.43
28D	WOODBIDGE	FINE SANDY LOAM	K= 0.43
28E	WOODBIDGE	FINE SANDY LOAM	K= 0.43
656A	RIDGEBURY	FINE SANDY LOAM	K= 0.24

SEE SITE SPECIFIC SOILS MAP (SSSM)
SEE WEBSOIL USDA-NRCS
ERODIBILITY FACTOR - K, CPSC MANUAL, ENVROCERT INTERNATIONAL INC. & ROCKINGHAM COUNTY SOIL SURVEY, ROCKWEB SOIL ATTRIBUTES

THE SOIL ERODIBILITY FACTOR (K) OF THE SOILS VARIES FROM MEDIUM (0.24) TO RELATIVELY HIGH (0.43). CONTRACTOR TO BE AWARE THAT SOILS ON THIS SITE ARE VERY ERODIBLE. CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP) DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

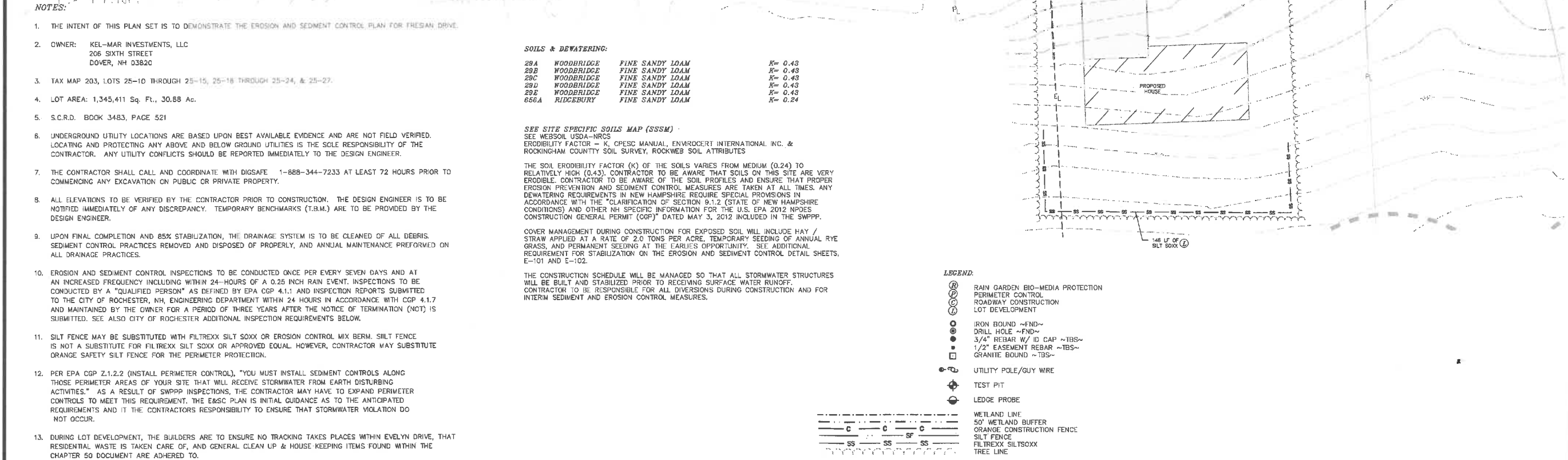


E & SC PLAN KELMAR DRIVE
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

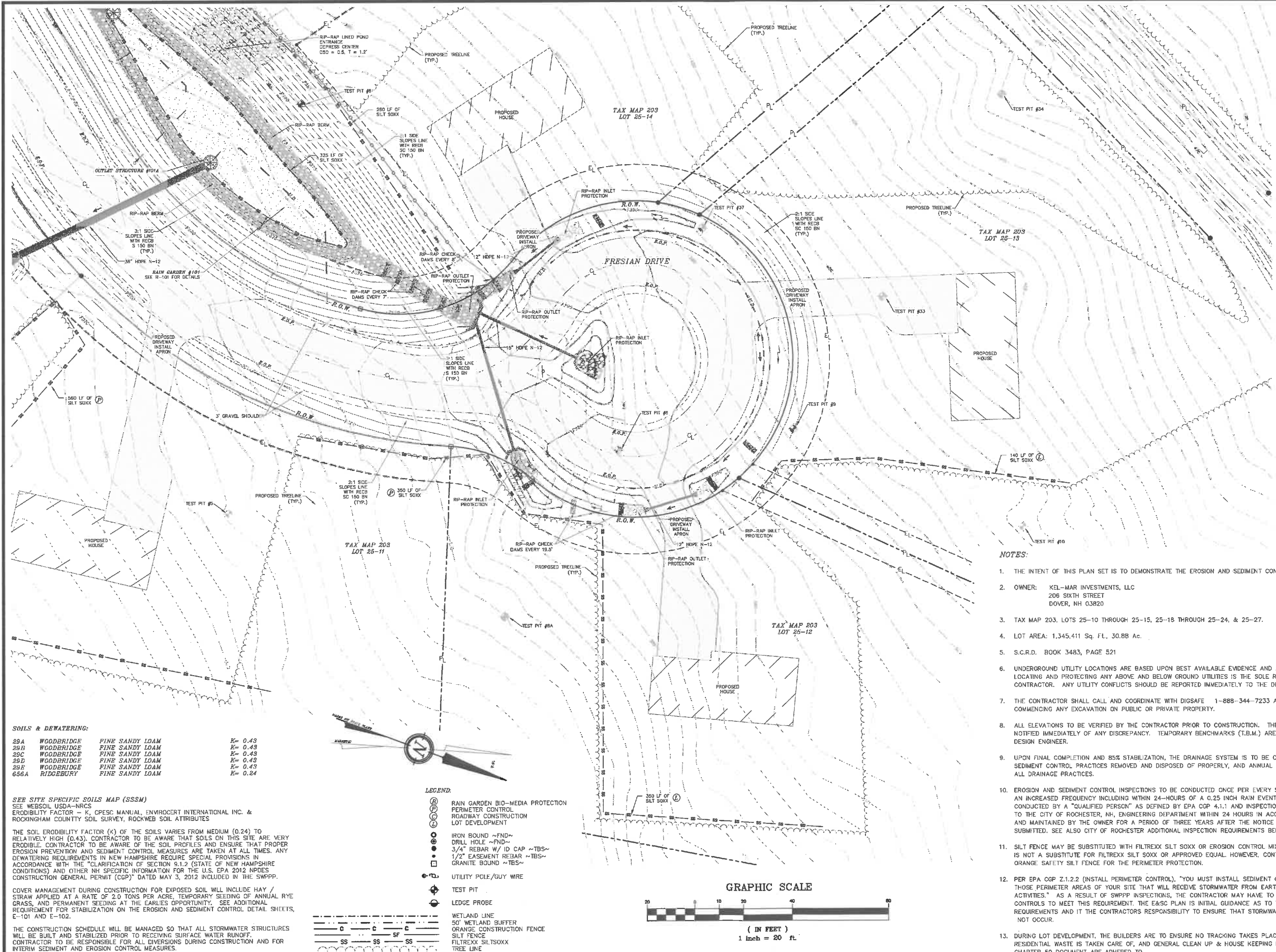
REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER ACT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

SHEET 19 OF 29



E & SC PLAN FRESIAN DRIVE 0+00 - 5+50
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR FRESIAN DRIVE
ROCHESTER, MN
TAX MAP #08
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

SHEET 20 OF 29



NOTES:

- THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EROSION AND SEDIMENT CONTROL PLAN FOR FRESIAN DRIVE.
- OWNER: KEL-MAR INVESTMENTS, LLC
206 SIXTH STREET
DOVER, NH 03820
- TAX MAP 203, LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27.
- LOT AREA: 1,345,411 Sq. Ft., 30.88 Ac.
- S.C.R.D. BOOK 3483, PAGE 521
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
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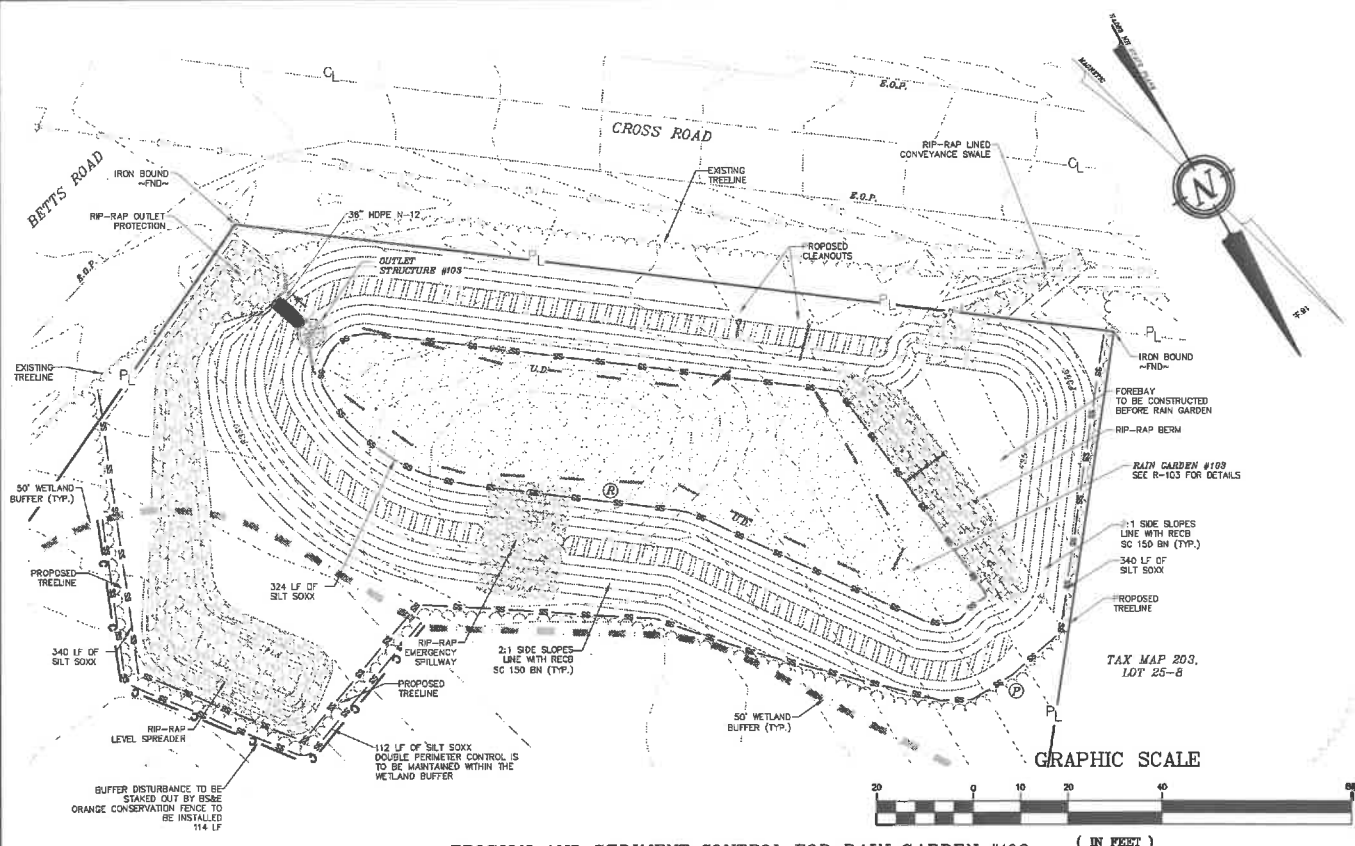
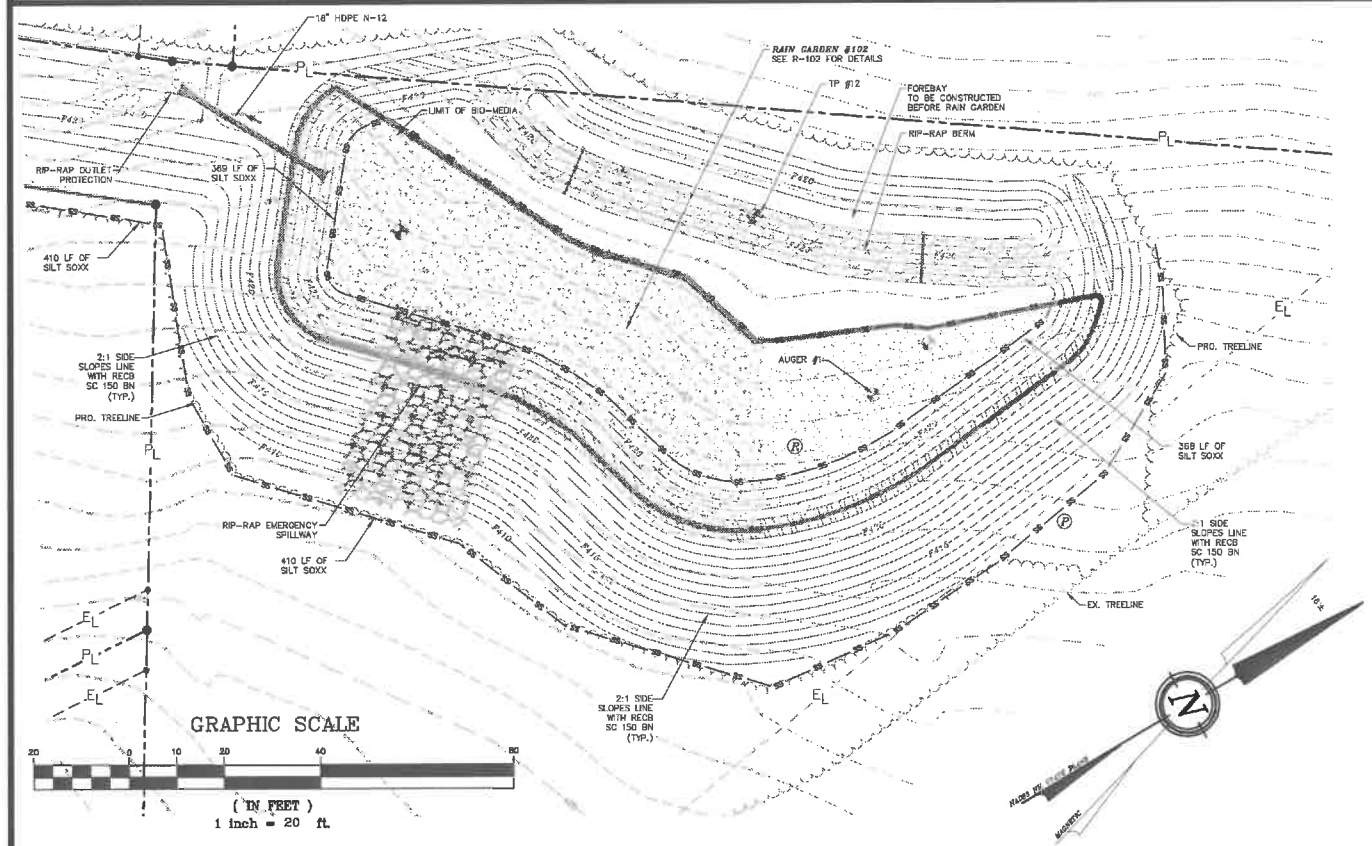
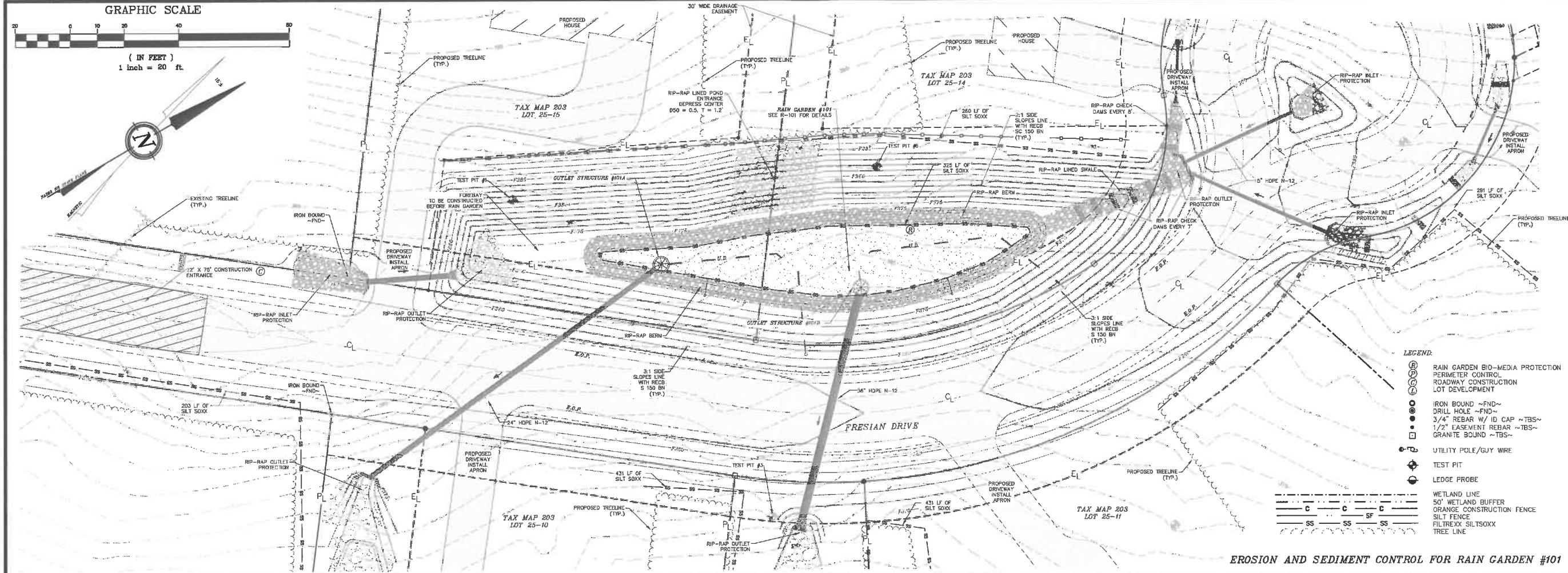
REVISION		DATE	DESCRIPTION
#3	10-9-20		REVISED PER NOTICE OF DECISION
#2	9-31-20		REVISED PER AOT APPLICATION
#1	5-19-20		REVISED PER CITY OF ROCHESTER TRG COMMENT

E & SC PLAN FRESIAN DRIVE 5+50 - END
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)352-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EX-00000000

SHEET 21 OF 29

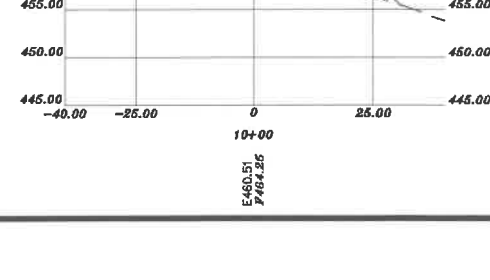
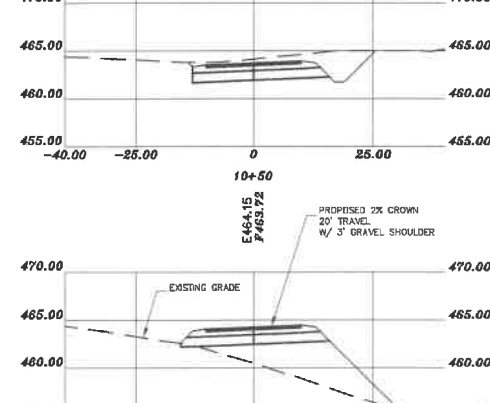
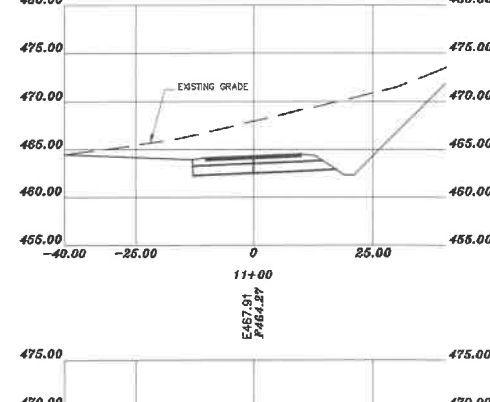
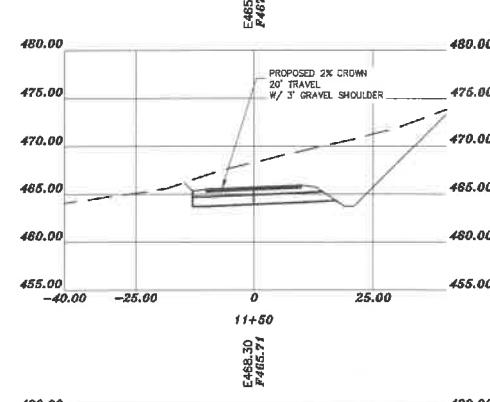
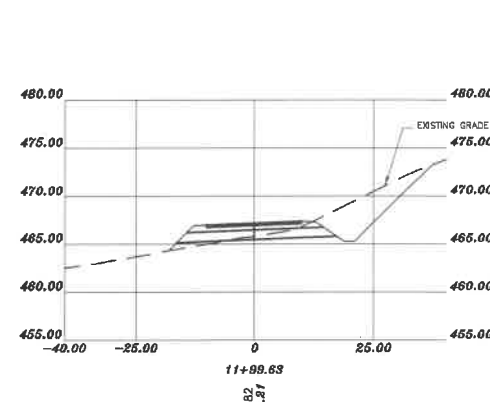
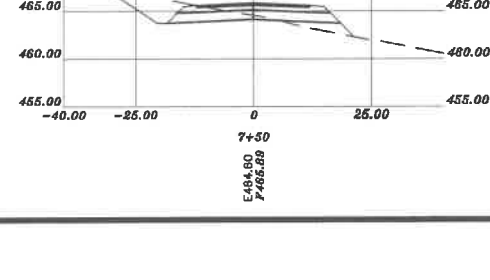
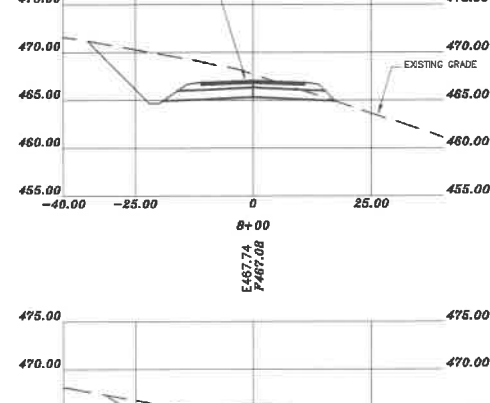
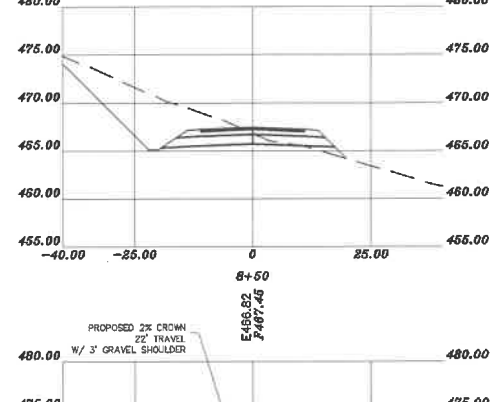
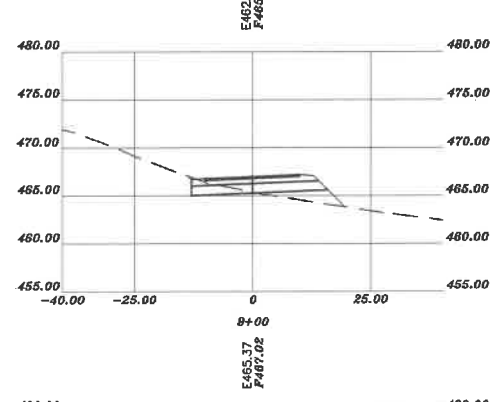
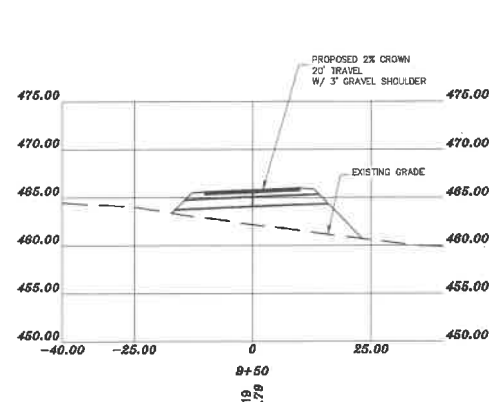
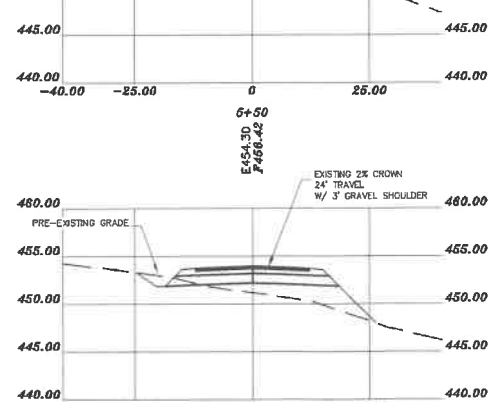
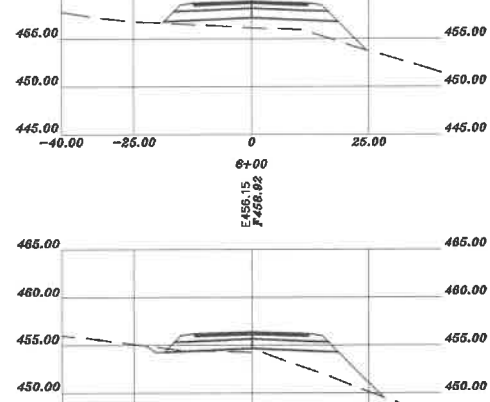
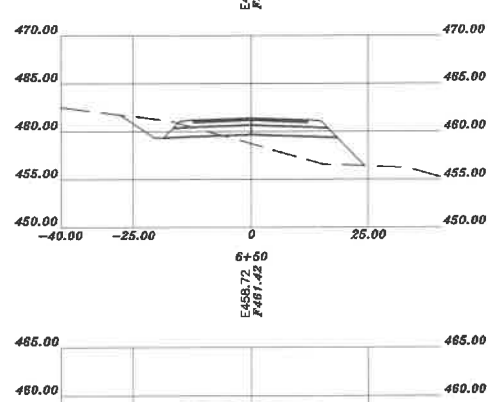
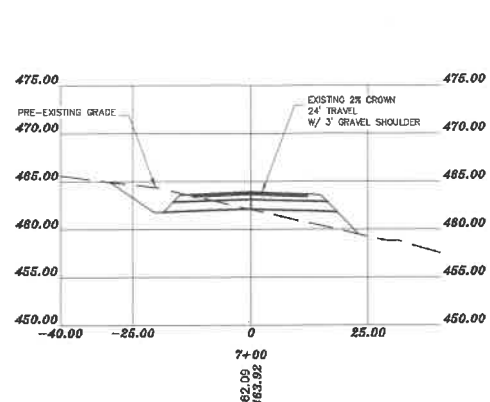
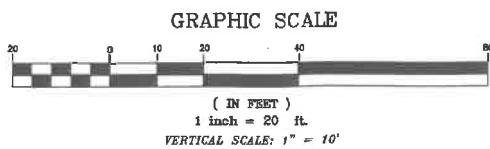
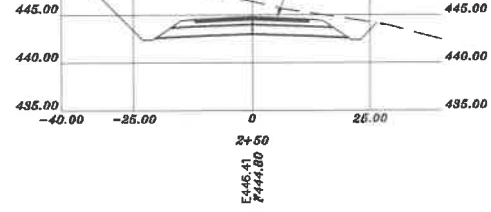
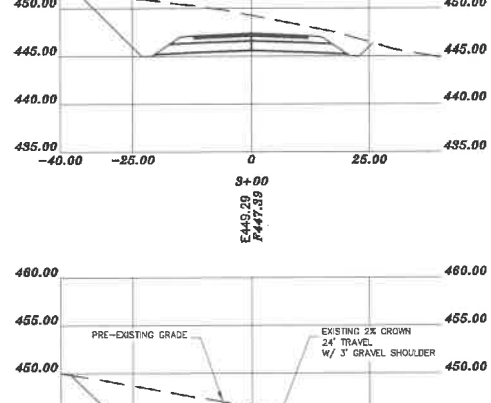
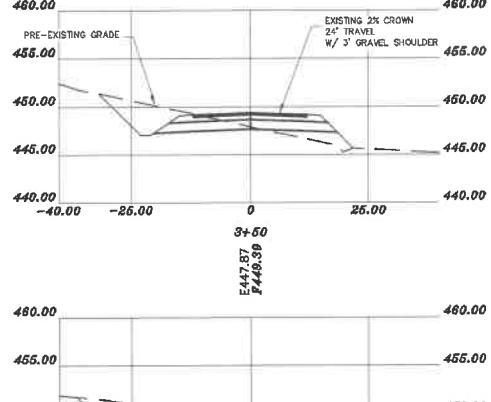
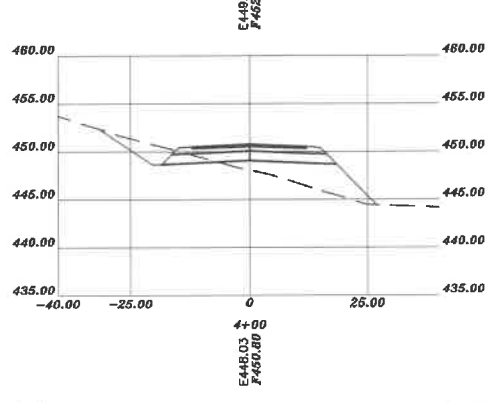
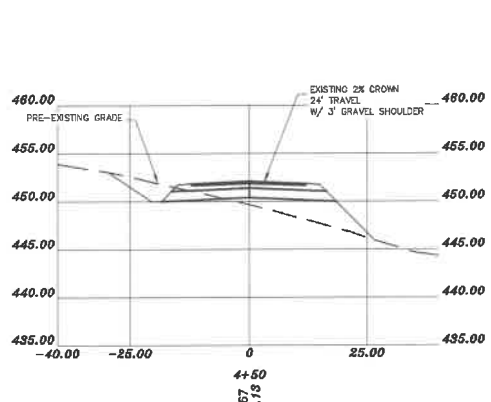
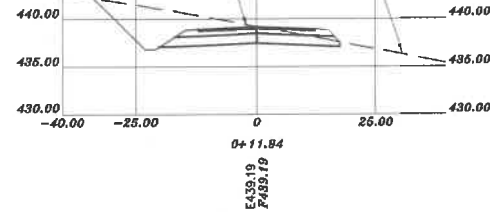
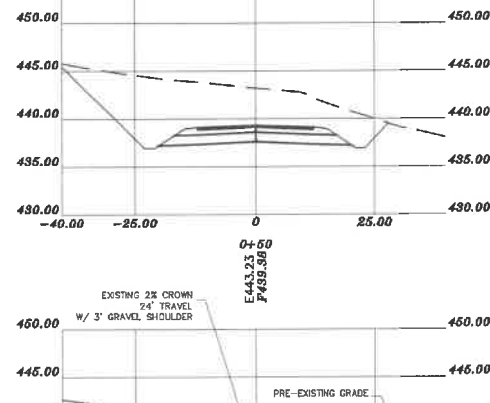
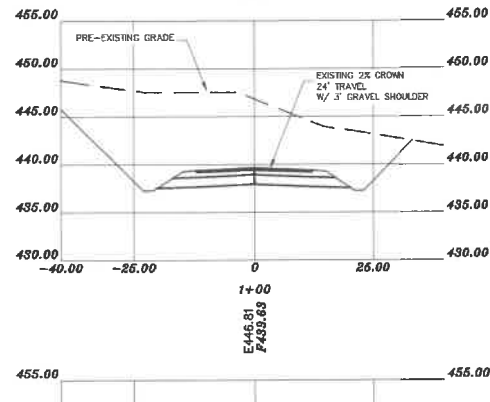
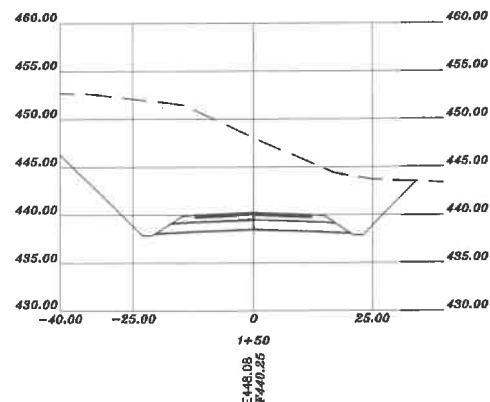
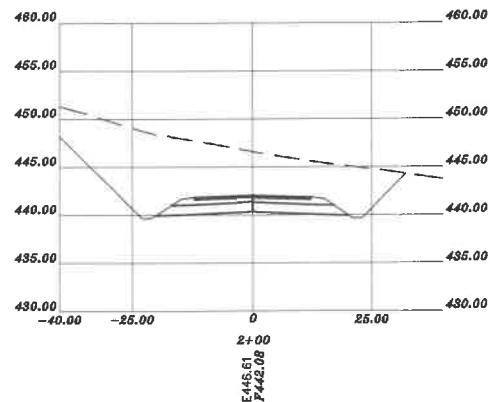


REVISION	DATE	DESCRIPTION
43	10-9-20	REVISED PER NOTICE OF DECISION
42	8-31-20	REVISED PER ACT APPLICATION
41	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

EROSION AND SEDIMENT CONTROL FOR RAIN GARDENS	LAND OF
KEL-MAR INVESTMENTS, LLC	DRIVE & FRESIAN DRIVE
KELMAR	ROCHESTER, NH
TAX MAP 203	LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
FILE NO. : DB 2018 - 100

SHEET 22 OF 29

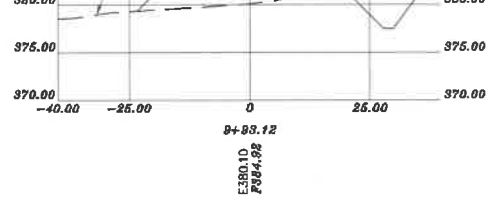
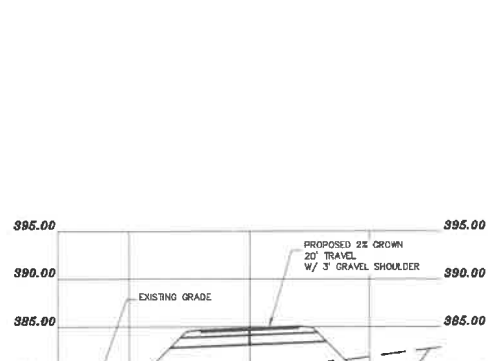
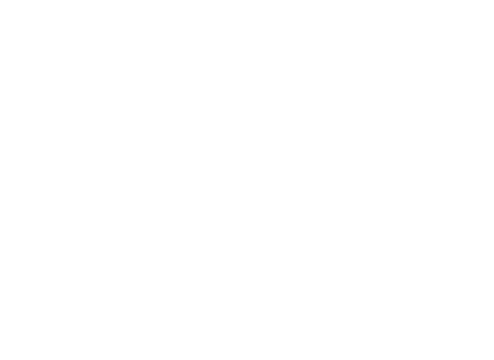
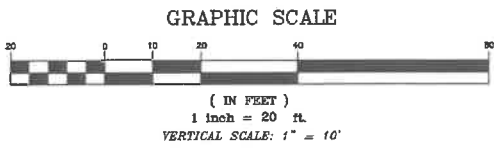
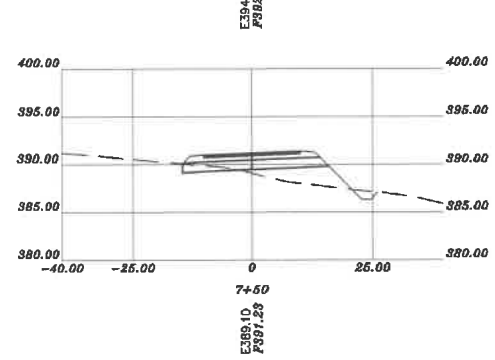
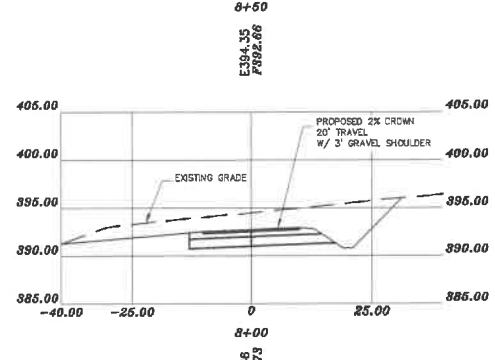
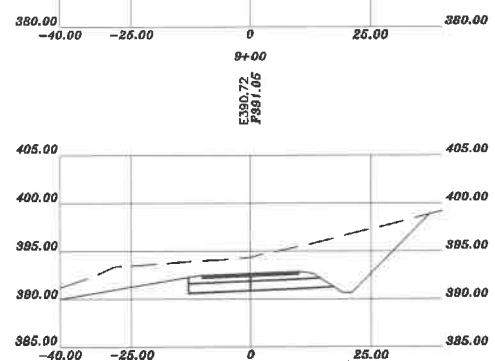
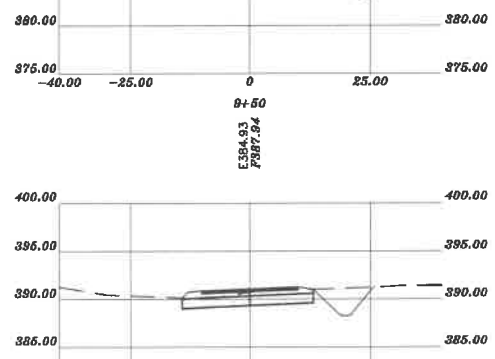
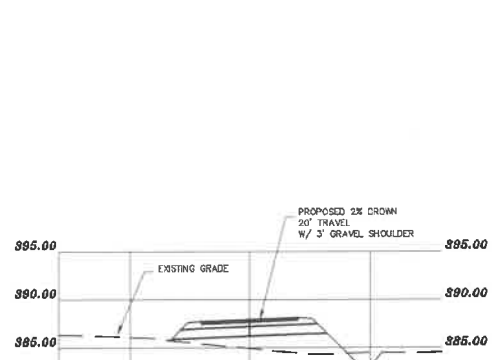
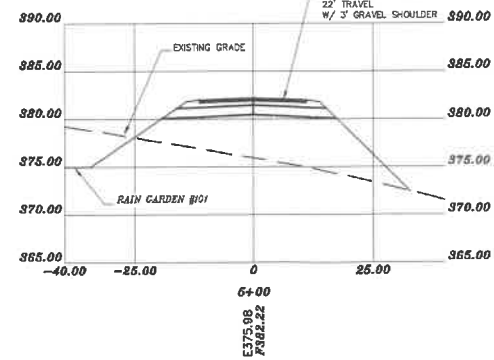
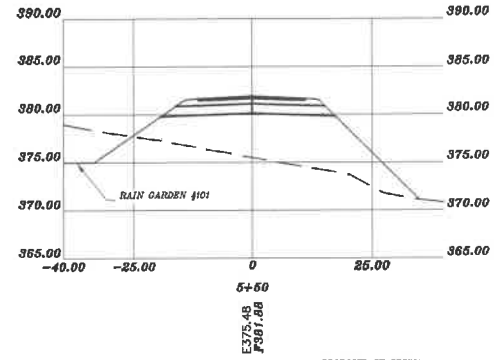
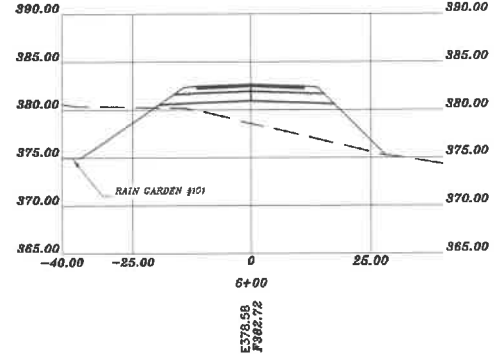
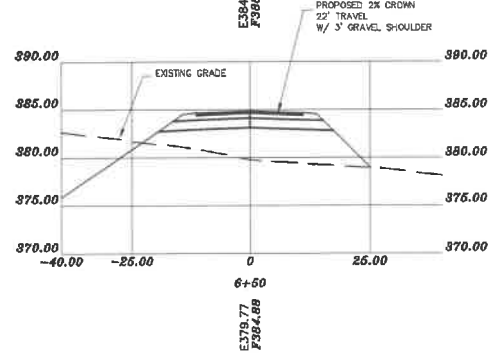
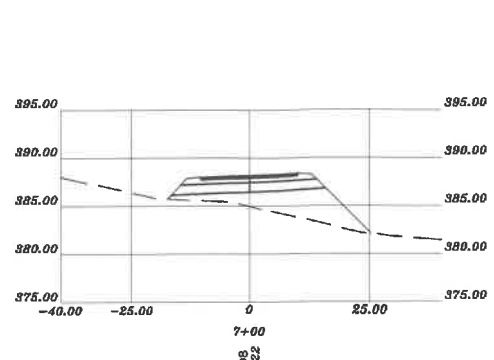
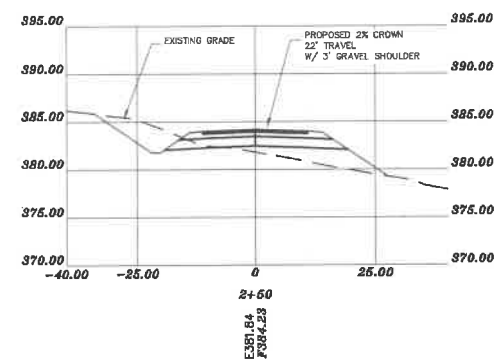
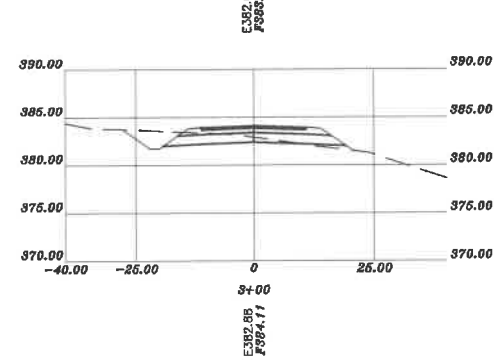
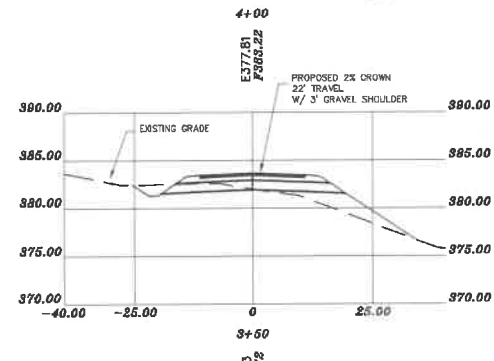
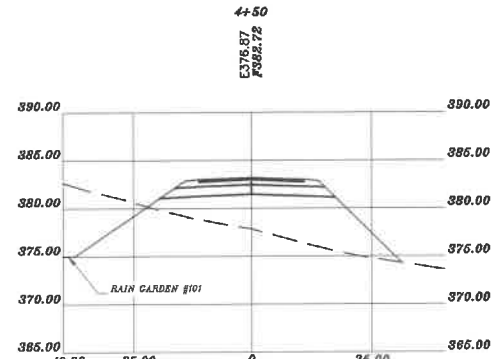
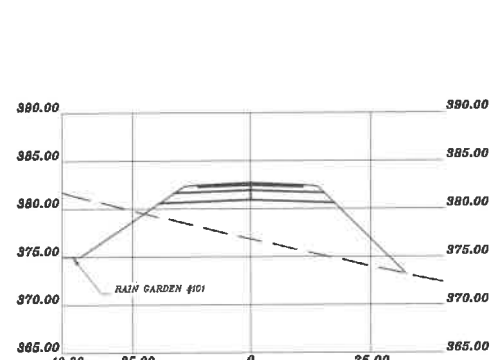
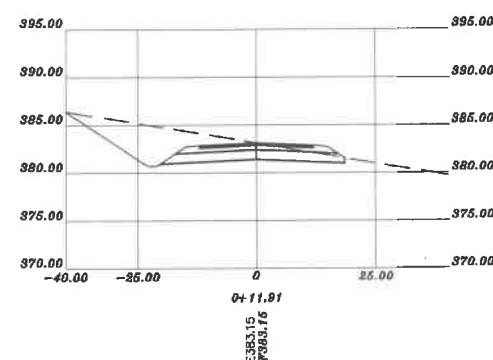
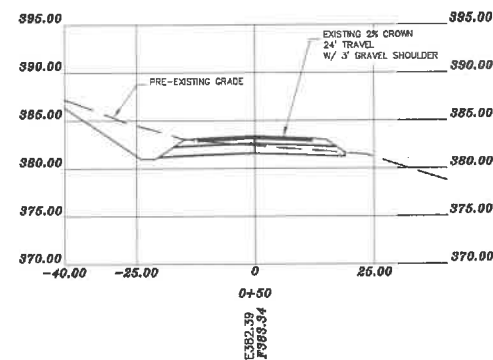
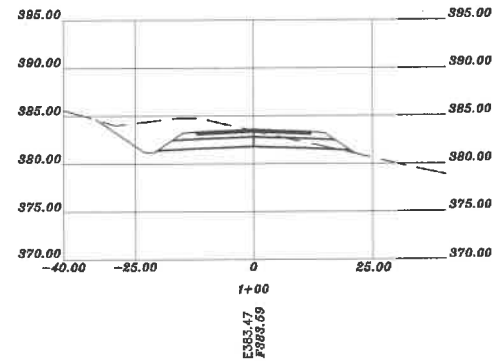
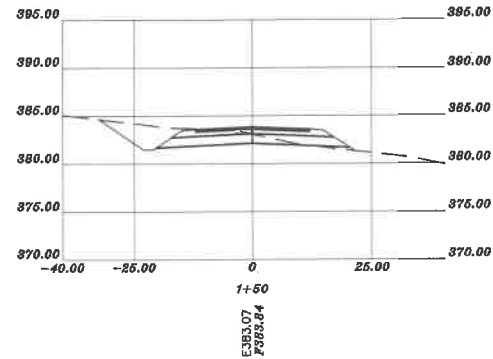
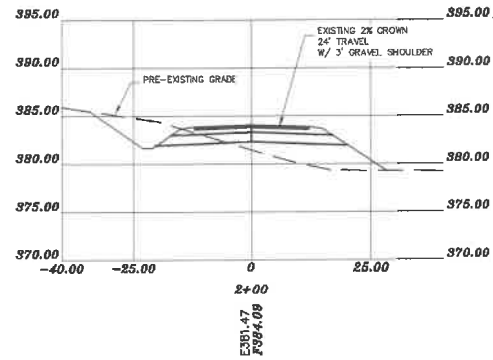


REVISION		DATE	DESCRIPTION
#3	10-9-20		
#2	9-31-20		
#1	5-19-20		

CROSS SECTIONS KELMAR DRIVE
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
TAX MAP 203
LOTS 25-10 THROUGH 25-15, 25-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
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SCALE : 1 IN. EQUALS 20 FT.
DATE : MARCH 10, 2020
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STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EX-1001

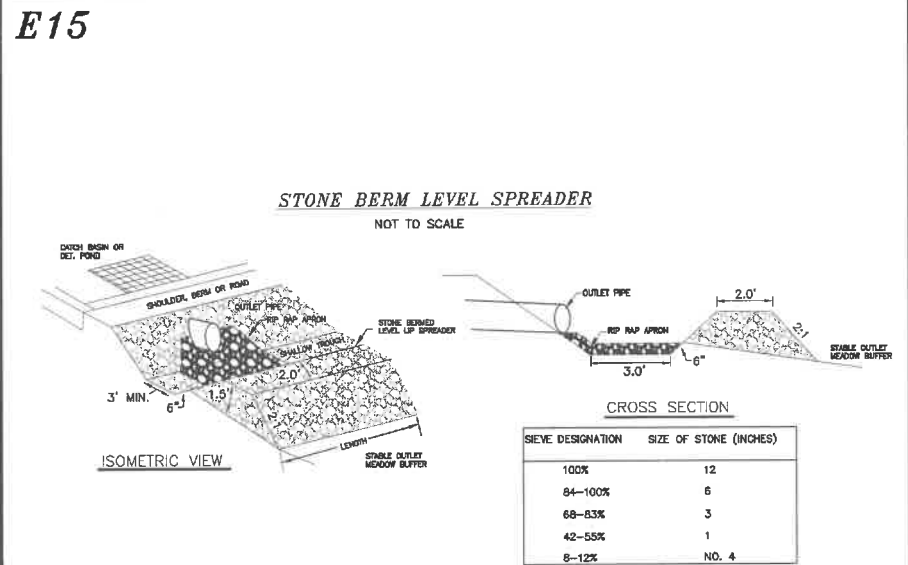
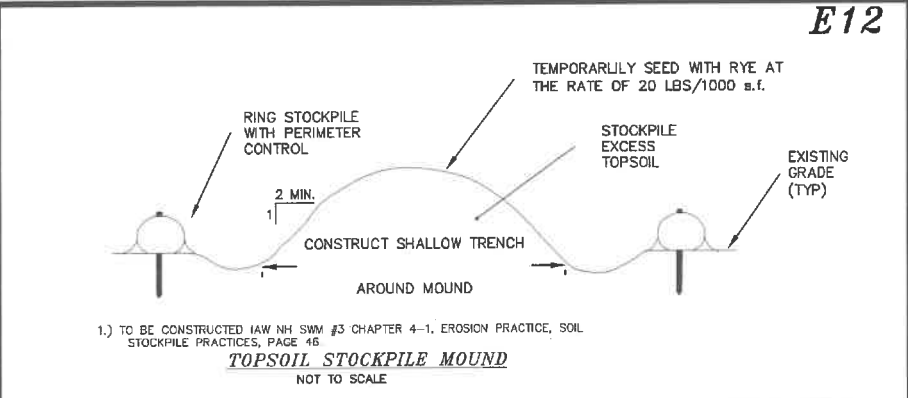


REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER AOT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER TRG COMMENT

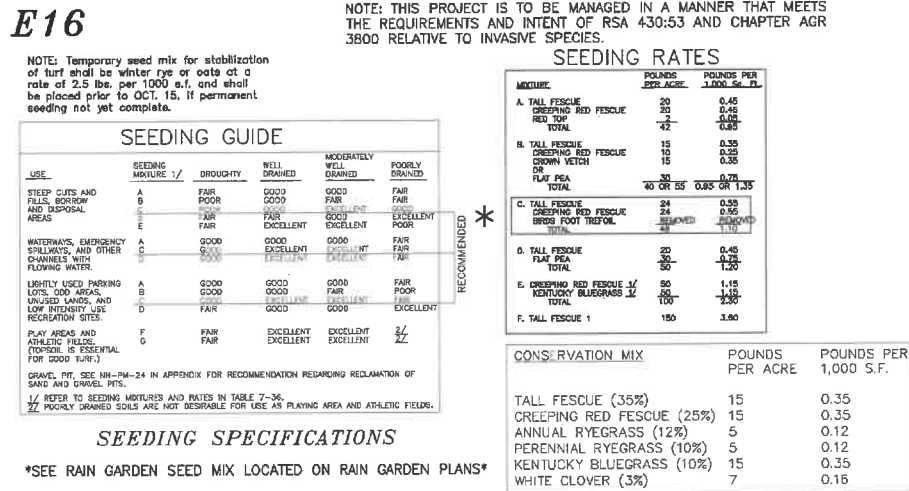
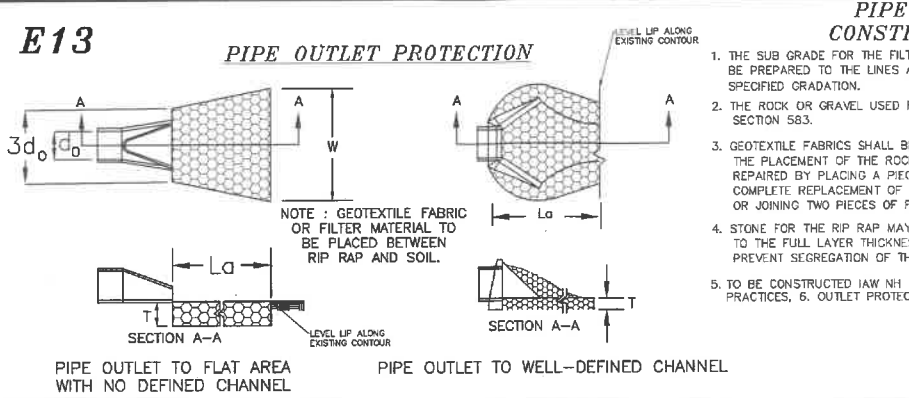
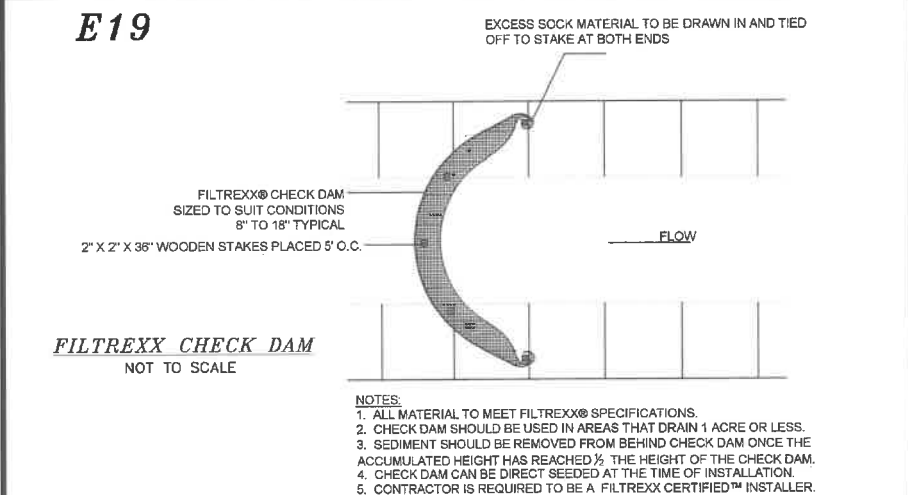
CROSS SECTIONS FRESIAN DRIVE
LAND OF
KEL-MAR INVESTMENTS, LLC
KELMAR DRIVE & FRESIAN DRIVE
ROCHESTER, NH
74X MAP 203
LOTS 25-10 THROUGH 25-16, 26-18 THROUGH 25-24, & 25-27

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: MARCH 10, 2020
FILE NO.: DB 2018 - 100

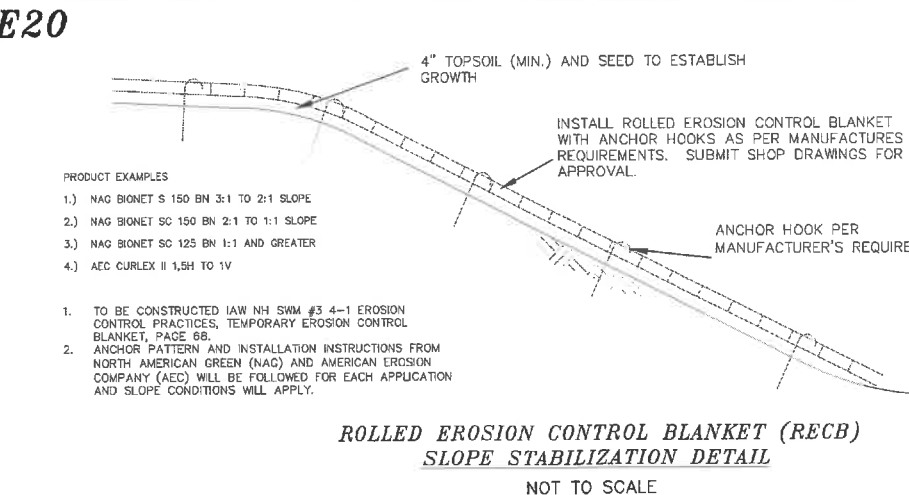
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
PROFESSIONAL ENGINEER



1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.
6. REFERENCE IS MADE TO NHDES SWM VOL. 2, 4-6, STONE BERM LEVEL SPREADERS, PAGE 162



1. GRADING AND SHAPING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1. 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDING PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEED BED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDING OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED: AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100LBS. PER 1,000 SQ.FT. NITROGEN(N), 50LBS. PER ACRE OR 1.1LBS. PER 1,000 SQ.FT. PHOSPHATE(P2O5), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT. POTASH(K2O), 100LBS. PER ACRE OR 2.2LBS. PER 1,000 SQ.FT. (NOTE: THIS IS THE EQUIVALENT OF 500LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000LBS. PER ACRE OF 5-10-10.)



PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO NHDOT SECTION 583.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. TO BE CONSTRUCTED IAW NH SWM #2 4-6 CONVEYANCE PRACTICES, 6. OUTLET PROTECTION, PAGE 172.

TABLE 7-24---RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

TABLE 7-24---RECOMMENDED RIP RAP GRADATION RANGES

d50 SIZE=	1.0 FEET	12 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	18	24
85%	16	22
50%	12	18
15%	4	6

- SEEDING RATES**
- | MIXTURE | POUNDS PER ACRE | POUNDS PER 1,000 S.F. |
|------------------------|-----------------|-----------------------|
| A. TALL FESCUE | 20 | 0.45 |
| B. CREEPING RED FESCUE | 20 | 0.45 |
| C. RED TOP | 20 | 0.45 |
| D. TALL FESCUE | 15 | 0.35 |
| E. CREEPING RED FESCUE | 15 | 0.35 |
| F. CROWN VETCH | 15 | 0.35 |
| G. FLAT PEA | 20 OR 25 | 0.45 OR 0.55 |
| H. TALL FESCUE | 24 | 0.55 |
| I. CREEPING RED FESCUE | 24 | 0.55 |
| J. RED TOP TREFOL | 24 | 0.55 |
| K. TALL FESCUE | 24 | 0.55 |
| L. CREEPING RED FESCUE | 24 | 0.55 |
| M. CROWN VETCH | 24 | 0.55 |
| N. FLAT PEA | 24 | 0.55 |
| O. TALL FESCUE | 24 | 0.55 |
| P. CREEPING RED FESCUE | 24 | 0.55 |
| Q. CROWN VETCH | 24 | 0.55 |
| R. FLAT PEA | 24 | 0.55 |
| S. TALL FESCUE | 24 | 0.55 |
| T. CREEPING RED FESCUE | 24 | 0.55 |
| U. CROWN VETCH | 24 | 0.55 |
| V. FLAT PEA | 24 | 0.55 |
| W. TALL FESCUE | 24 | 0.55 |
| X. CREEPING RED FESCUE | 24 | 0.55 |
| Y. CROWN VETCH | 24 | 0.55 |
| Z. FLAT PEA | 24 | 0.55 |
- WINTER STABILIZATION NOTES**
1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CUREX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
 2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
 3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
 4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDING BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

- E18 DEFINITION OF STABLE:**
- PER ENV-WQ 1500 ALTERATION OF TERRAIN
1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- ADDITION STABILIZATION NOTES:
5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDING AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
 6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

- E21 CONSTRUCTION SEQUENCE:**
- 1.) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED, RELOCATE ANY PROJECT T.B.M.
 - 2.) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS SPECIFIED, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SOIL LAND DISTURBANCE AND MUST BE REVIEWED AND APPROVED BY THE COMMUNITY SERVICES DEPARTMENT.
 - 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. TEMPORARY DIVERSIONS MAY BE REQUIRED. POST CONSTRUCTION STORM WATER MANAGEMENT PRACTICES MUST BE INITIATED AND STABILIZED EARLY IN THE PROCESS.
 - 4.) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
 - 5.) CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
 - 6.) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY
 - 7.) START BUILDING CONSTRUCTION
 - 8.) INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. INSTALL RAIN GARDENS. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
 - 9.) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDING OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED, DAILY, OR AS REQUIRED. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADES.
 - 10.) CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
 - 11.) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL SWPPP INSPECTIONS MUST BE CONDUCTED BY A QUALIFIED PROFESSIONAL SUCH AS A PROFESSIONAL ENGINEER (PE), A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC), A CERTIFIED EROSION SEDIMENT AND STORM WATER INSPECTOR (CESSWI), OR A CERTIFIED PROFESSIONAL IN STORM WATER QUALITY (CPSQW). INSPECTION REPORTS SHALL BE SUBMITTED TO THE COMMUNITY SERVICES DEPARTMENT.
 - 12.) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 - 13.) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
 - 14.) SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
 - 15.) FINISH PAVING ALL ROADWAYS.

REVISION		DATE	DESCRIPTION
#3	10-9-20		
#2	8-31-20		
#1	8-19-20		

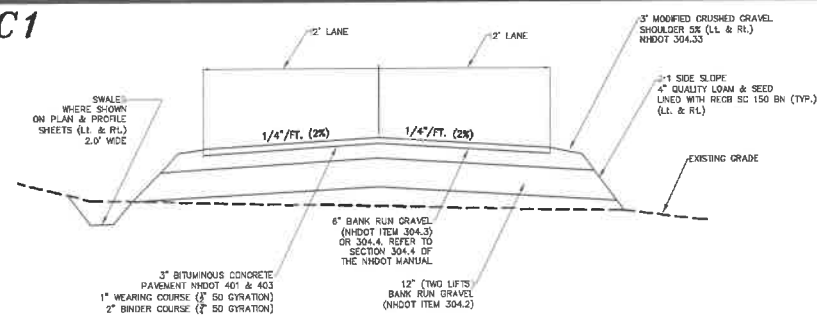
REVISED PER NOTICE OF DECISION
REVISED PER AOT APPLICATION
REVISED PER CITY OF ROCHESTER TRC COMMENT

EROSION & SEDIMENT CONTROL DETAILS	
LAND OF	
KEL-MAR INVESTMENTS, LLC	
DRIVE & FRESIAN DRIVE	
KELMAR	
ROCHESTER, NH	
774X MAP 203	
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27	

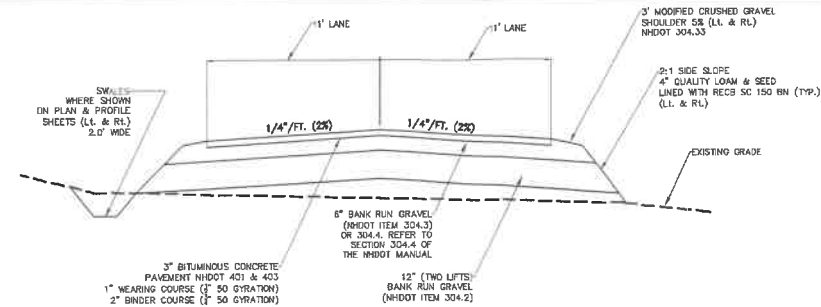
BERRY SURVEYING & ENGINEERING	
335 SECOND CROWN POINT ROAD	
BARRINGTON, NH 03825 (603) 332-2863	
SCALE : AS SHOWN	
DATE : MARCH 10, 2020	
FILE NO. : DB 2018 - 100	

STATE OF NEW HAMPSHIRE
KATHLEEN A. BERRY
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION 06/30/2024

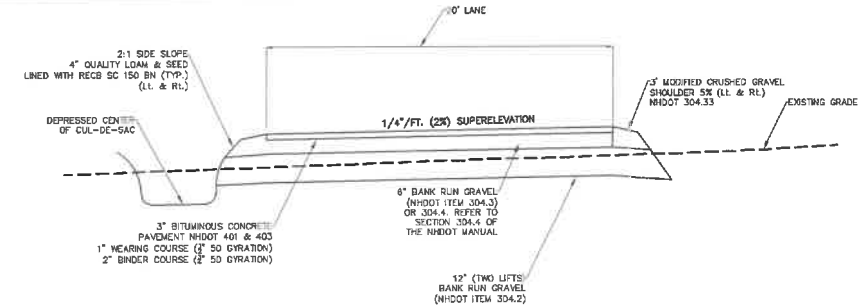
C1



TYPICAL ROADWAY SECTION KELMAR DRIVE 0+00 - 7+85
NOT TO SCALE

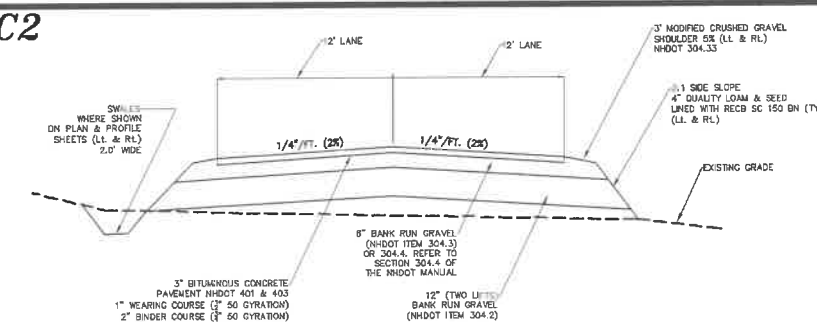


TYPICAL ROADWAY SECTION KELMAR DRIVE 7+85 - 8+88
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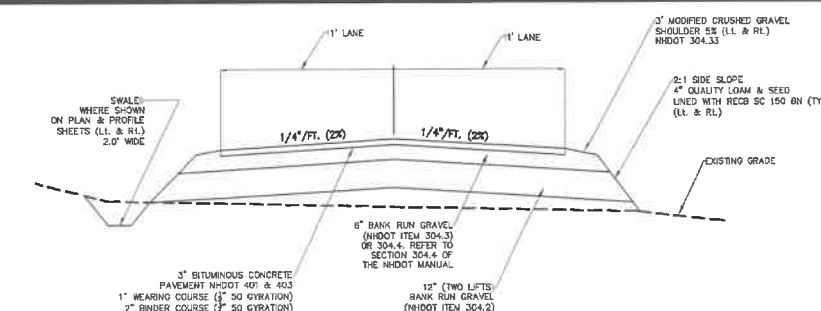


TYPICAL ROADWAY SECTION KELMAR DRIVE 8+88 - 12+00
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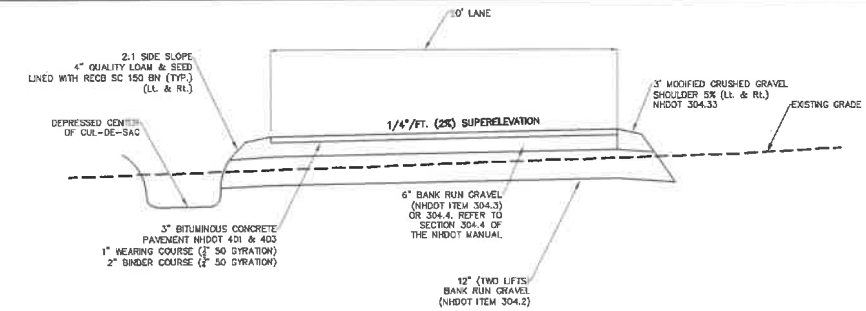
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TYPICAL ROADWAY SECTION FRESIAN DRIVE 0+00 - 2+02
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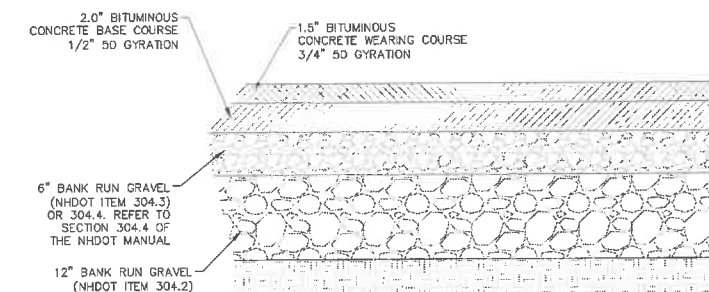


TYPICAL ROADWAY SECTION FRESIAN DRIVE 2+02 - 6+53
NOT TO SCALE



TYPICAL ROADWAY SECTION FRESIAN DRIVE 8+88 - 12+00
NOT TO SCALE

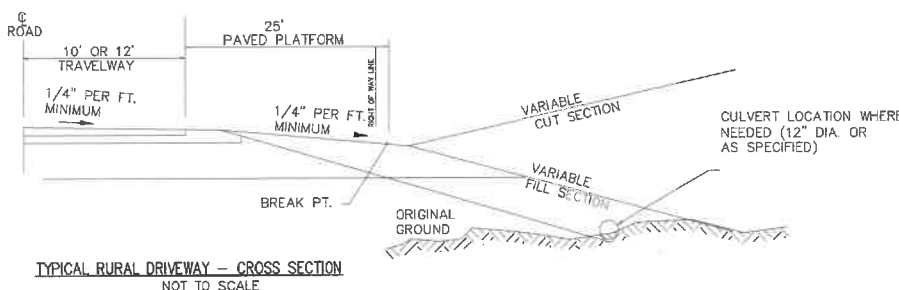
C3



- NOTES:
1. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SUBSECTION 401.3.6.
 2. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 3. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOFROLLED AND COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY. FOR NEW CONSTRUCTION AREAS ONLY. IN EXISTING PAVEMENT AREAS THE CONTRACTOR IS TO ENSURE THE BASE MATERIAL IS SUITABLE TO THE OWNER FOR RE-PAVING.

BITUMINOUS CONCRETE PAVEMENT SECTION
NOT TO SCALE

C4



TYPICAL RURAL DRIVEWAY - CROSS SECTION
NOT TO SCALE

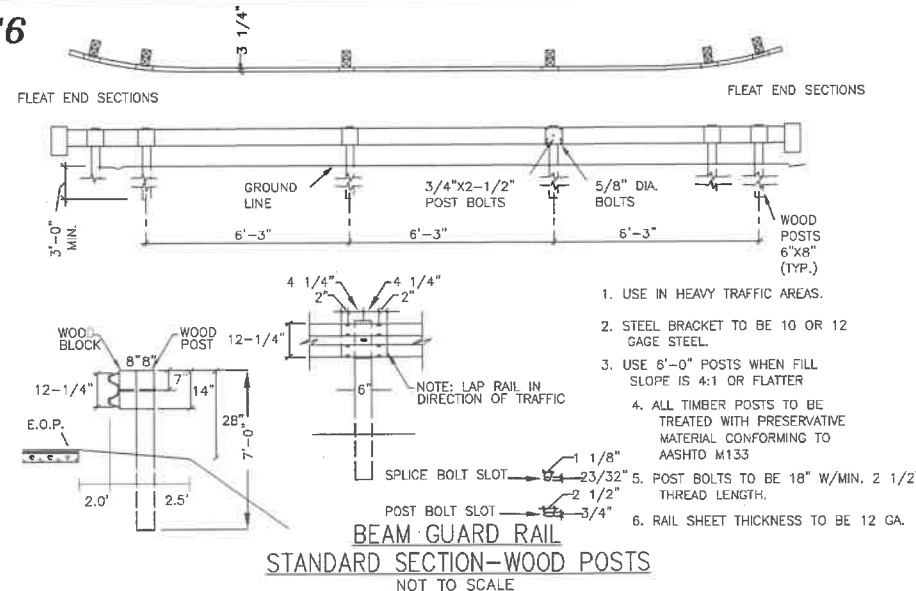
C5

CROSS SECTION NOTES

1. ALL ROADWAY FILL TO BRING ROAD TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
2. ALL FILL SHALL BE COMPACTED TO 95% MINIMUM. COMPACTION TESTS TO BE CONDUCTED AT THE START OF THE PROJECT AND NO FURTHER THAN 100 FEET APART.
3. GUARD RAIL REQUIRED AS NOTED ON PLAN & PROFILE SHEETS.
4. CONTRACTOR TO COORDINATE WITH DESIGN ENGINEER ON THE INSTALLATION OF UNDER DRAIN AS IT MAY BE REQUIRED IN CERTAIN AREAS.

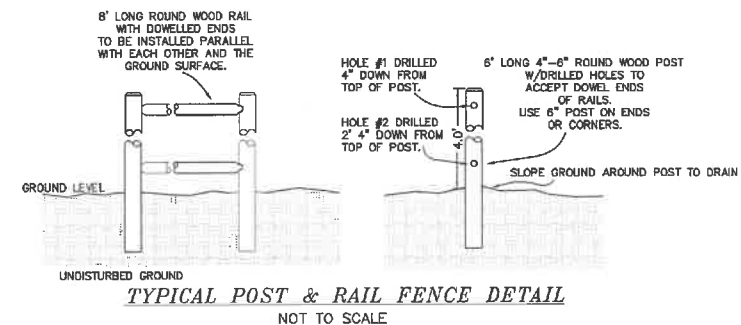
COMPACTED SUBGRADE - CONTRACTOR SHALL SCARIFY SUBGRADE TO A DEPTH OF 30 INCHES BELOW F-GRADE. ALL STONES GREATER THAN 6" IN DIAMETER SHALL BE REMOVED FROM THE SCARIFIED LAYER. ANY IMPORTED FILL SHALL BE FREE OF ORGANICS AND FROST AND SHALL HAVE NO ROCKS LARGER THAN 6" IN DIAMETER. FILL MATERIAL SHALL BE APPROVED BY THE TOWNS AGENT AND/OR THE TOWNS ENGINEER.

C6



BEAM GUARD RAIL
STANDARD SECTION-WOOD POSTS
NOT TO SCALE

C7



TYPICAL POST & RAIL FENCE DETAIL
NOT TO SCALE

C8

- BEST MANAGEMENT PRACTICES FOR BLASTING
- ENV-NO 151003 LADING PRACTICES. THE FOLLOWING BLAST HOLE LADING PRACTICES SHALL BE IMPLEMENTED:
- (A) THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
 - (1) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - (2) THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - (B) THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
 - (C) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
 - (1) USED IN THE BOREHOLE;
 - (2) RETURNED TO THE DELIVERY VEHICLE; OR
 - (3) PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
 - (D) SPILLAGE AROUND THE BOREHOLE SHALL BE:
 - (1) PLACED IN THE BOREHOLE; OR
 - (2) CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
 - (E) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY INDICATE THAT DETONATION SHOULD BE POSTPONED;
 - (F) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
 - (G) EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEWING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION.
- PRE-BLAST SURVEY WILL INCLUDE ALL ADJUTING PROPERTIES AND FOLLOW ALL STATE AND LOCAL REQUIREMENTS.

C-101

CONSTRUCTION DETAILS		REVISION		DATE	
LAND OF KEL-MAR INVESTMENTS, LLC KELMAR DRIVE & FRESIAN DRIVE ROCHESTER, NH TAX MAP 203		#3		10-9-20	
		#2		8-31-20	
		#1		5-19-20	
LOTS 25-10 THROUGH 26-16, 26-18 THROUGH 26-24, & 26-27		DESCRIPTION		REVISED PER NOTICE OF DECISION REVISED PER ACT APPLICATION REVISED PER CITY OF ROCHESTER TRG COMMENT	

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863		SCALE : AS SHOWN	
DATE : MARCH 10, 2020		FILE NO. : DB 2018 - 100	
		SHEET 27 OF 29	

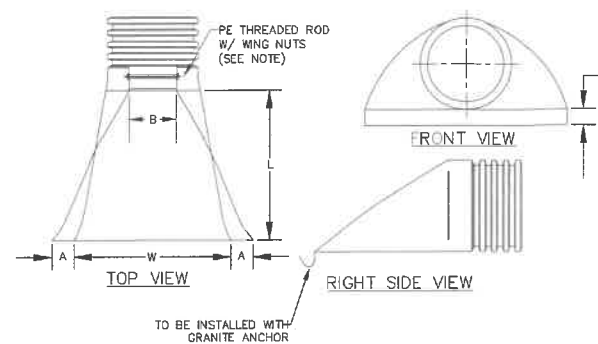
D1

PART No.	PIPE SIZE	A	B(MAX)	H	L	W
1510-NP	15"	6.5"	10"	6.5"	25"	29"
	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
	750 mm	266 mm	N/A	178 mm	1345 mm	1725 mm
3610-NP	36"	10.5"	N/A	7.0"	53"	68"
	900 mm	266 mm	N/A	178 mm	1345 mm	1725 mm

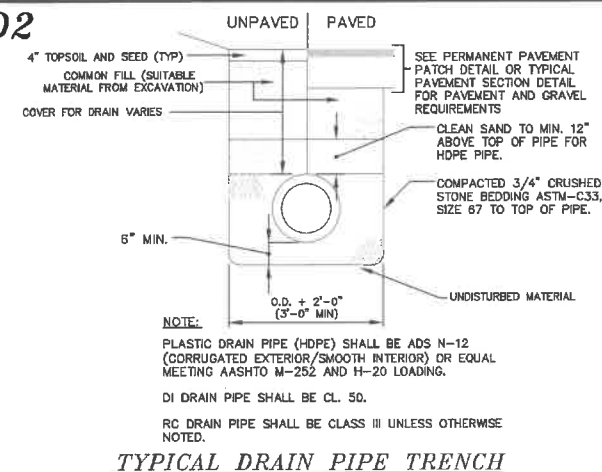
NOTE: PE THREADED ROD W/ WING NUTS PROVIDED FOR END SECTIONS 15"-24", 30" & 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.

ADS N-12 FLARED END SECTIONS

NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)

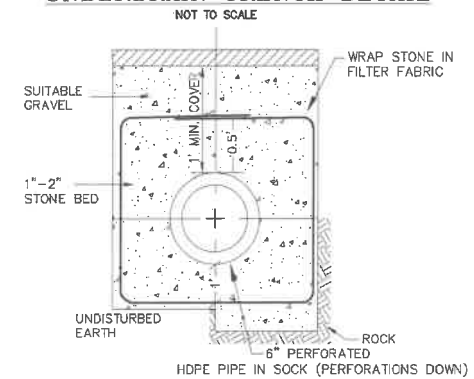


D2



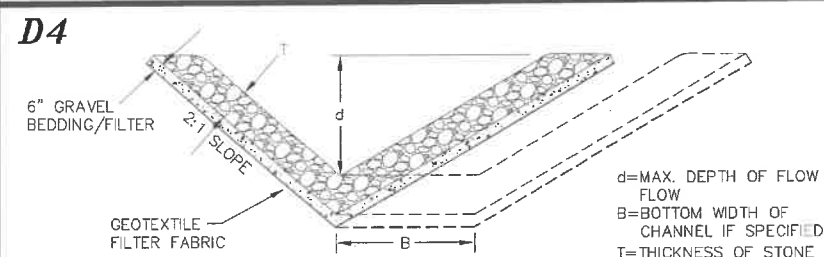
D3

UNDERDRAIN TRENCH DETAIL



NOTE: 1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.

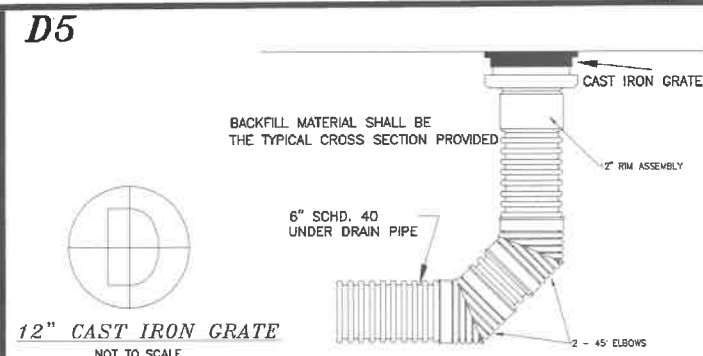
D4



TYPICAL SECTION FOR A RIPRAP LINED CHANNEL

NOT TO SCALE

D5

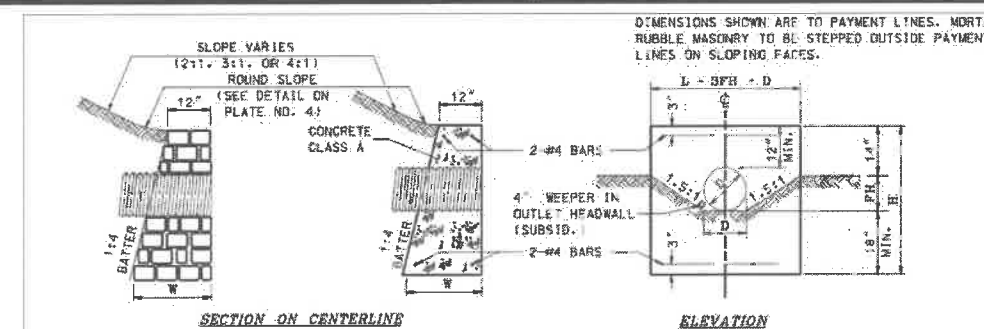


12" CAST IRON GRATE

NOT TO SCALE

CASTINGS ARE RATED FOR H20 WHEEL LOAD TRAFFIC
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

D6



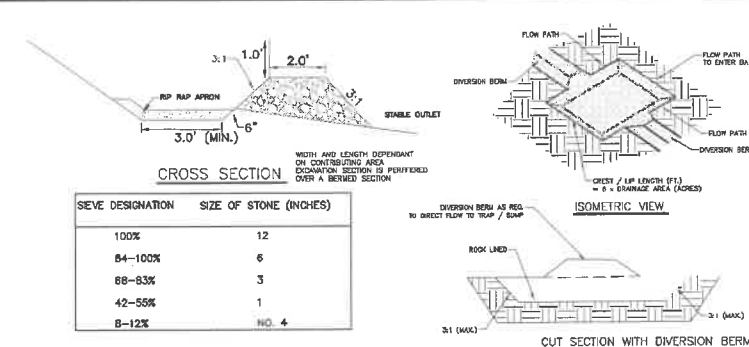
HEADWALLS (MASONRY & CONCRETE)

NOT TO SCALE

DIAMETER	12"	15"	18"	24"	30"	36"
LENGTH	3'-2"	3'-10"	5'-2"	7'-2"	9'-2"	11'-2"
CONC. (Cu.Yd.)	0.81	0.85	1.13	1.78	2.58	3.53
STEEL (Lbs.)	9	11	14	20	25	31

ALL STEEL SHALL BE #5 REINFORCING STEEL, SPACED @ 12" ON CENTER SEE NHDOT DETAIL HW-1

D7

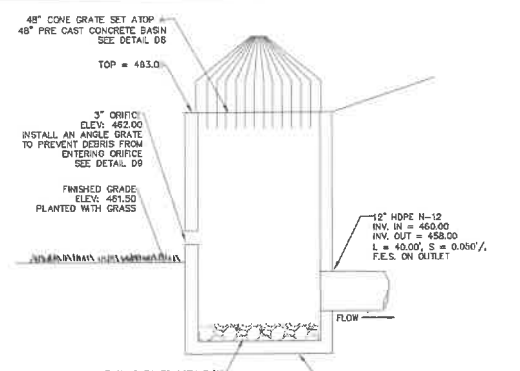


STONE LINED SEDIMENT TRAP

NOT TO SCALE

1. TRAP TO BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

D10



OUTLET STRUCTURE #1 (KELMAR DRIVE CUL-DE-SAC)

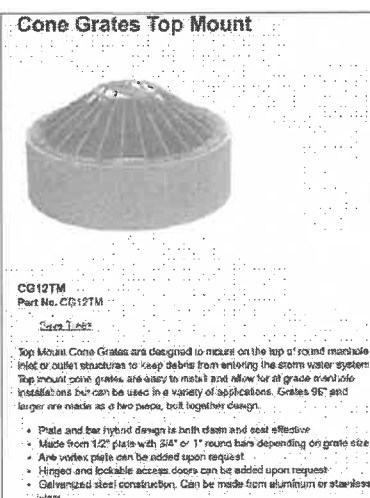
NOT TO SCALE

D8

CONE GRATE

NOT TO SCALE

NOTE: MUST BE HAALA INDUSTRIES INC. OR EQUAL



D9

ANGLE GRATE

NOT TO SCALE

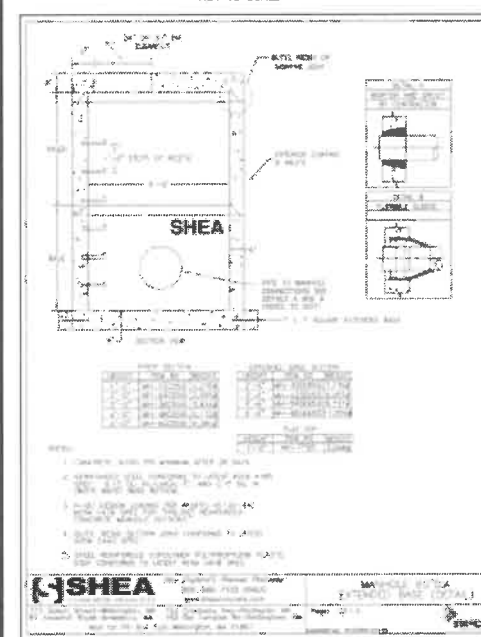
NOTE: MUST BE HAALA INDUSTRIES INC. OR EQUAL



D10

60" MANHOLE RECTANGLE EXTENDED BASE

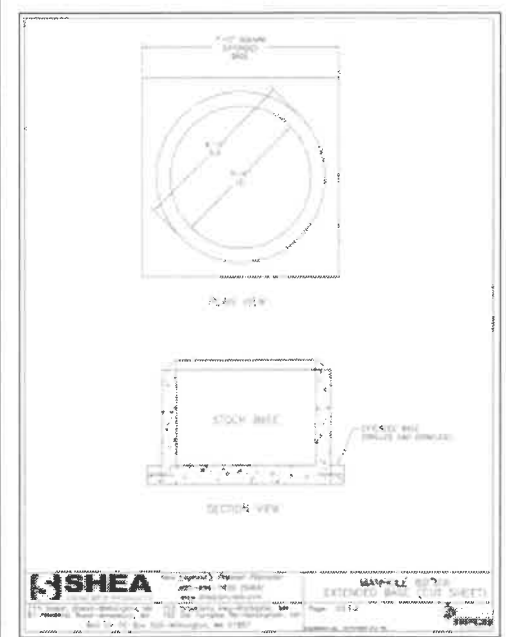
NOT TO SCALE



D11

60" MANHOLE RECTANGLE EXTENDED BASE

NOT TO SCALE



REVISION	DATE	DESCRIPTION
#3	10-9-20	REVISED PER NOTICE OF DECISION
#2	8-31-20	REVISED PER AOT APPLICATION
#1	5-19-20	REVISED PER CITY OF ROCHESTER IRG COMMENT

DRAINAGE DETAILS	REVISION	DATE	DESCRIPTION
LAND OF	#3	10-9-20	REVISED PER NOTICE OF DECISION
KEL-MAR INVESTMENTS, LLC	#2	8-31-20	REVISED PER AOT APPLICATION
KELMAR DRIVE & FRESIAN DRIVE	#1	5-19-20	REVISED PER CITY OF ROCHESTER IRG COMMENT
ROCHESTER, NH			
FLY MAP 209			
LOTS 25-10 THROUGH 25-16, 25-18 THROUGH 25-24, & 25-27			

BERRY SURVEYING & ENGINEERING	SCALE : AS SHOWN	DATE : MARCH 10, 2020	FILE NO. : DB 2018 - 100
335 SECOND CROWN POINT ROAD			
BARRINGTON, NH 03825 (603)332-2863			
STATE OF NEW HAMPSHIRE			
KENNETH A. BERRY			
PROFESSIONAL ENGINEER			

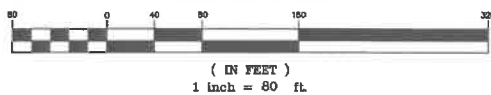
D-101

SHEET 28 OF 29



- NOTES :**
- 1.) OWNER : KEL-MAR LLC
18 NOBLE STREET
SOMERSWORTH, NH 03878
 - 2.) TAX MAP 203, LOT 25
 - 3.) TOTAL AREA : 1,467,516 Sq.Ft., 33.69 Ac
 - 4.) S.C.R.D. : BOOK 3483, PAGE 521

"HIGHLAND OAKS"
PROPOSED 17 LOT SUBDIVISION
FOR
KEL-MAR LLC
18 NOBLE STREET
SOMERSWORTH, N.H. 03878
GRAPHIC SCALE



I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER. - 1:10,000 -

DAVID A. BERRY RLS 328 DATE

2009 OVERVIEW GRADING PLAN

BERRY SURVEYING & ENGINEERING
148 SECOND CROWN POINT ROAD
BARRINGTON, N.H. 332-2863
SCALE : 1 IN. EQUALS 80 FT.
DATE : JUNE 20, 2008
FILE NO. : DB 2008-033

PROPOSED MAJOR SUBDIVISION FOR KEL-MAR LLC BETTS ROAD & CROSS ROAD ROCHESTER, N.H. TAX MAP 203, LOT 25		REVISED LOT 25-13	
#1	1-16-09	REVISION	DATE
		DESCRIPTION	