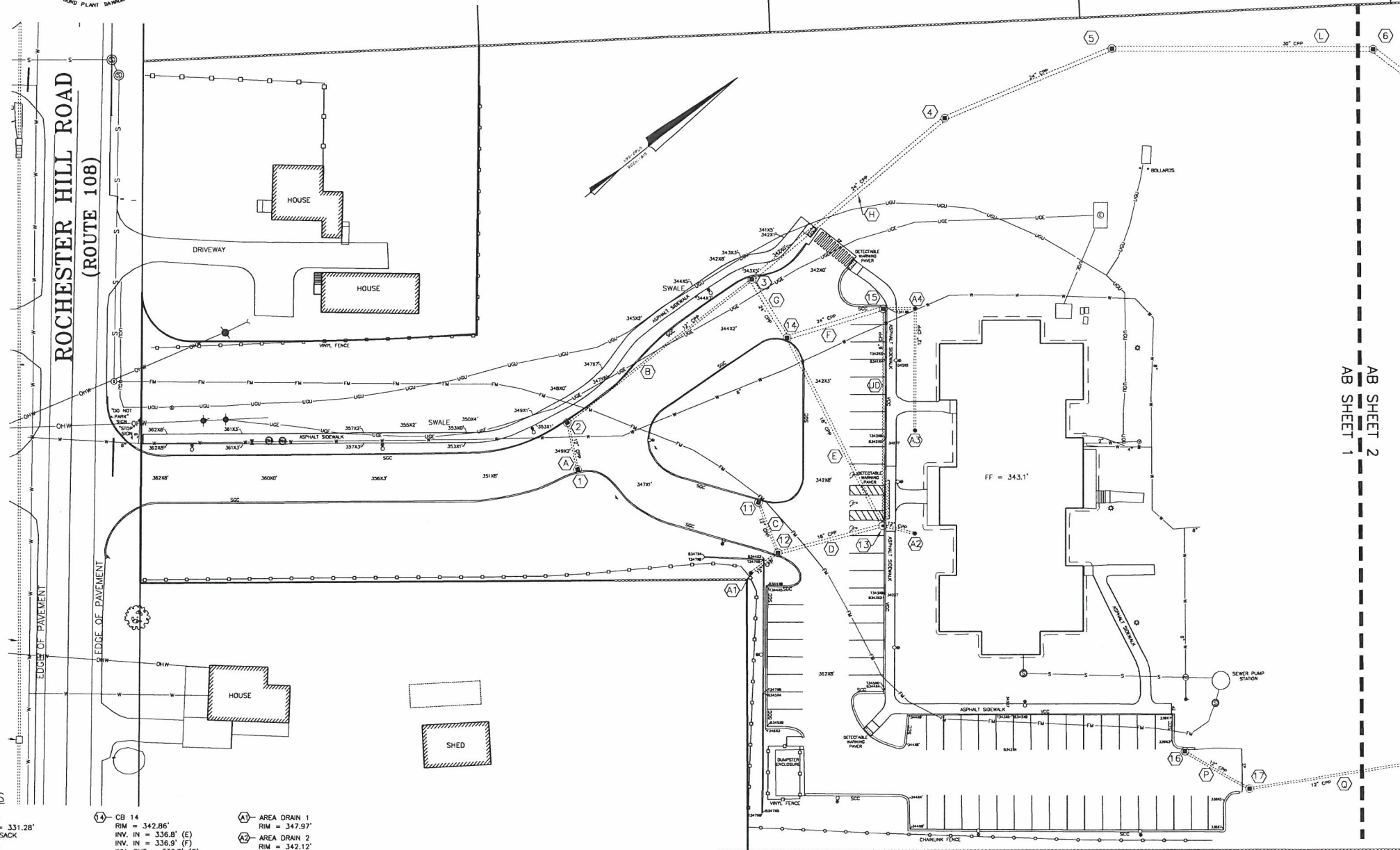


## LEGEND

---	PROPERTY LINE
---	JURISDICTIONAL WETLANDS
---	EXISTING OVERHEAD WIRES
---	BUILDING
---	PAVEMENT
---	PAVEMENT WITH CURBING
---	UNDERGROUND ELECTRIC
---	UNDERGROUND UTILITIES
---	FORCE MAIN
---	STONEWALL
---	DRAINAGE PIPE
---	HYDRANT
---	WATER GATE OR SHUT-OFF VALVE
---	UTILITY POLE
---	SEWER MAN HOLE
---	CATCH BASIN
---	LIGHT POLES
---	SCC SLOPED CONCRETE CURB
---	VCC VERTICAL CONCRETE CURB
---	SGC SLOPED GRANITE CURB

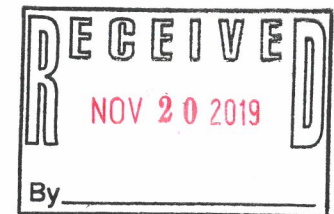


## GENERAL PLAN NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT SITE FEATURES THAT WERE DEPICTED ON REFERENCE PLAN 1.
2. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE.
3. THIS PARCEL IS LOCATED IN THE RESIDENTIAL-2 (R2) ZONE.
4. TOTAL PARCEL AREA IS 1,078,277 SQUARE FEET OR 24.75 ACRES.
5. ORIENTATION: HORIZONTAL DATUM IS BASED ON CITY OF ROCHESTER GIS AND VERTICAL DATUM IS NGVD1929.
6. JURISDICTIONAL WETLANDS DELINEATED BY GARY FLAHERTY, CWS IN MAY OF 2016.
7. NORWAY PLAINS ASSOCIATES, INC. CONFIRMS ACCURACY OF ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY (AUGUST 27, 2019 TO NOVEMBER 12, 2019).
8. THIS AS-BUILT DRAWING SUBSTANTIALLY CONFORMS WITH THE FINAL PLANS APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD AND CERTIFIED BY THE PLANNING AND DEVELOPMENT DEPARTMENT EXCEPT FOR THE FOLLOWING MODIFICATIONS: NONE.
9. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603)335-1338

## REFERENCE PLAN

1) APPLE RIDGE APARTMENTS, 114 ROCHESTER HILL ROAD, ROCHESTER, NH DATED: JUNE 22, 2018; BY NORWAY PLAINS ASSOCIATES, INC.



## DRAINAGE STRUCTURES

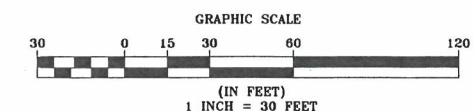
<p>①- CB 1 RIM = 348.75' INV. IN = 344.8' (10" UD) INV. OUT = 342.4' (A) SUMP = 339.6'</p> <p>②- CB 2 RIM = 348.52' INV. IN = 341.5' (A) INV. IN = 345.1' (8" UD) INV. OUT = 341.4' (B) SUMP = 338.9'</p> <p>③- CB 3 RIM = 342.82' INV. IN = 336.7' (B) INV. IN = 336.2' (G) INV. OUT = 336.2' (H) SUMP = 333.4'</p> <p>④- CB 4 RIM = 337.88' SILT SACK</p> <p>⑤- CB 5 RIM = 336.22' SILT SACK</p>	<p>⑥- CB 6 RIM = 331.28' SILT SACK</p> <p>⑦- CB 7 RIM = 327.06' INV. IN = 322.0' (W) INV. OUT = 321.9' (N) SUMP = 319.0'</p> <p>⑧- CB 8 RIM = 323.08' SILT SACK</p> <p>⑨- CB 11 RIM = 343.97' INV. OUT = 339.4' (C) SUMP = 336.8'</p> <p>⑩- CB 12 RIM = 343.34' INV. IN = 339.8' (6" UD) INV. IN = 338.6' (12" AD) INV. IN = 338.5' (C) INV. OUT = 338.4' (D) SUMP = 335.7'</p> <p>⑪- CB 13 RIM = 342.40' INV. IN = 337.7' (D) INV. IN = 338.9' (8" AD) INV. IN = 339.1' (6" UD) INV. OUT = 337.6' (E) SUMP = 335.0'</p>	<p>⑫- CB 14 RIM = 342.86' INV. IN = 336.8' (E) INV. IN = 336.9' (F) INV. OUT = 336.8' (G) SUMP = 334.0'</p> <p>⑬- CB 15 RIM = 341.15' INV. IN = 337.2' (12" AD) INV. IN = 338.2' (6" UD) INV. OUT = 336.9' (F) SUMP = 334.9'</p> <p>⑭- CB 16 RIM = 338.96' INV. OUT = 334.8' (P) SUMP = 331.9'</p> <p>⑮- CB 17 RIM = 338.02' SILT SACK</p> <p>⑯- CB 18 RIM = 329.91' SILT SACK</p> <p>⑰- PROP. FES #1 INV. = 307.7' (U)</p> <p>⑱- PROP. FES #2 INV. = 305.2' (V)</p>	<p>A1- AREA DRAIN 1 RIM = 347.97'</p> <p>A2- AREA DRAIN 2 RIM = 342.12'</p> <p>A3- AREA DRAIN 3 RIM = 342.27'</p> <p>A4- AREA DRAIN 4 RIM = 341.06'</p>
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FILE NO. 104  
PLAN NO. C-2780/AB  
DWG. NO. 15225/SP-2  
F.B. NO.

31 Mooney Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

**AS-BUILT PLAN**  
**TAX MAP 134, LOT 5**  
**114 ROCHESTER HILL RD**  
**ROCHESTER, NH**  
PREPARED FOR:  
**D.R. LEMIEUX BUILDERS, INC.**  
NOVEMBER 2019



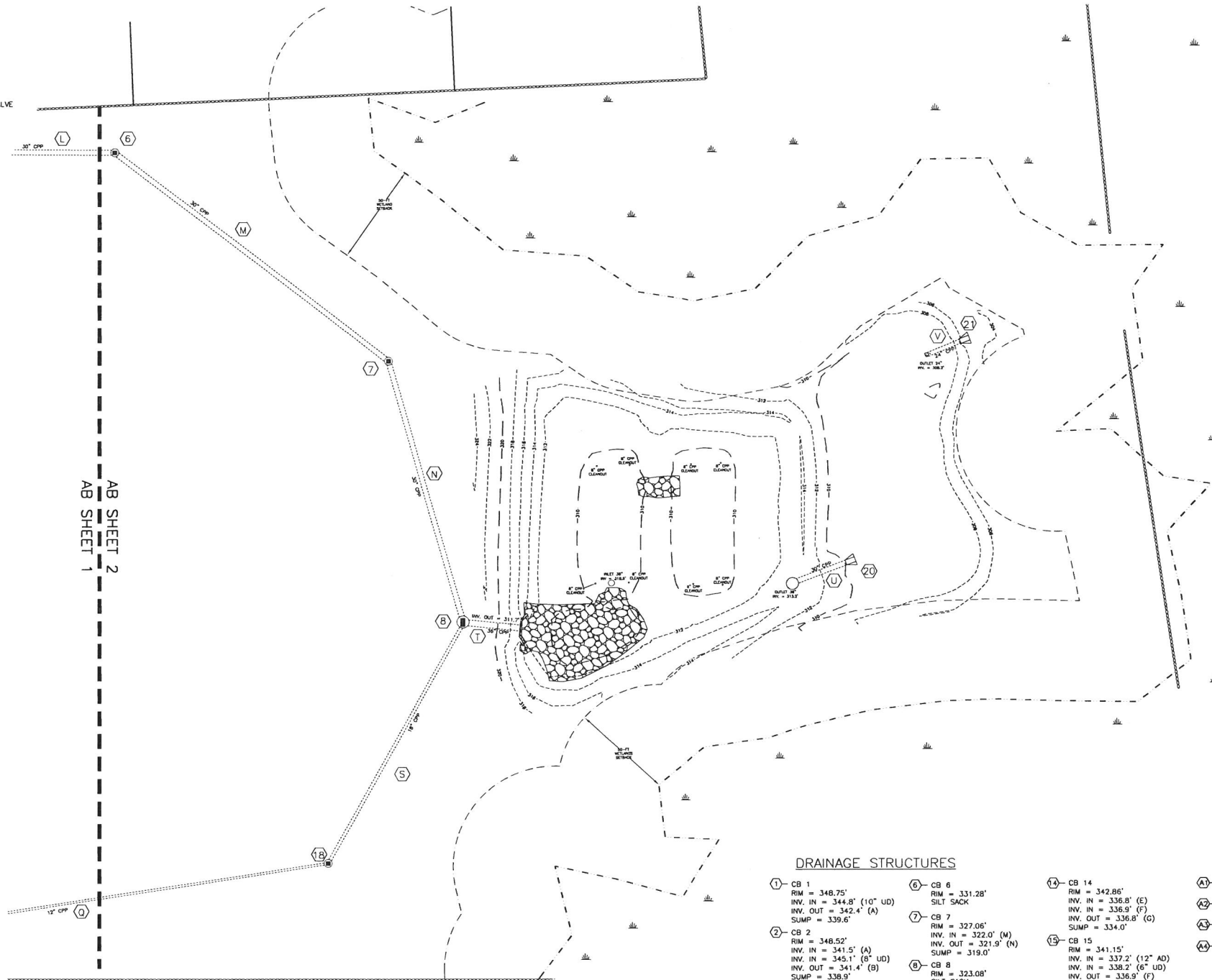
2 Continental Blvd., Rochester, N.H. 603-335-3948

AB-1



LEGEND

- PROPERTY LINE
- - - JURISDICTIONAL WETLANDS
- - - EXISTING OVERHEAD WRES
- BUILDING
- PAVEMENT
- PAVEMENT WITH CURBING
- UGE UNDERGROUND ELECTRIC
- UGU UNDERGROUND UTILITIES
- FM FORCE MAIN
- STONEWALL
- DRAINAGE PIPE
- HYDRANT
- WATER GATE OR SHUT-OFF VALVE
- UTILITY POLE
- SEWER MAN HOLE
- CATCH BASIN
- LIGHT POLES
- SCC SLOPED CONCRETE CURB
- VCC VERTICAL CONCRETE CURB
- SGC SLOPED GRANITE CURB



GENERAL PLAN NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE AS-BUILT SITE FEATURES THAT WERE DEPICTED ON REFERENCE PLAN 1.
2. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE.
3. THIS PARCEL IS LOCATED IN THE RESIDENTIAL-2 (R2) ZONE.
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9. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603)335-1338.

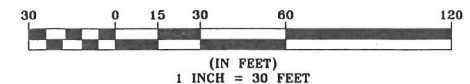
REFERENCE PLAN

- 1) APPLE RIDGE APARTMENTS, 114 ROCHESTER HILL ROAD, ROCHESTER, NH DATED: JUNE 22, 2018; BY NORWAY PLAINS ASSOCIATES, INC.

DRAINAGE STRUCTURES

- |  |  |  |                                  |
|--|--|--|----------------------------------|
| ①- CB 1<br>RIM = 348.75'<br>INV. IN = 344.8' (10" UD)<br>INV. OUT = 342.4' (A)<br>SUMP = 339.6'                        | ⑥- CB 6<br>RIM = 331.28'<br>SILT SACK  | ⑭- CB 14<br>RIM = 342.86'<br>INV. IN = 336.8' (E)<br>INV. IN = 336.9' (F)<br>INV. OUT = 336.8' (C)<br>SUMP = 334.0'          | ①- AREA DRAIN 1<br>RIM = 347.97' |
| ②- CB 2<br>RIM = 348.52'<br>INV. IN = 341.5' (A)<br>INV. IN = 345.1' (8" UD)<br>INV. OUT = 341.4' (B)<br>SUMP = 338.9' | ⑦- CB 7<br>RIM = 327.06'<br>INV. IN = 322.0' (H)<br>INV. OUT = 321.9' (N)<br>SUMP = 319.0'   | ⑮- CB 15<br>RIM = 341.15'<br>INV. IN = 337.2' (12" AD)<br>INV. IN = 338.2' (6" UD)<br>INV. OUT = 336.9' (F)<br>SUMP = 334.9' | ②- AREA DRAIN 2<br>RIM = 342.12' |
| ③- CB 3<br>RIM = 342.82'<br>INV. IN = 336.7' (B)<br>INV. IN = 336.2' (C)<br>INV. OUT = 336.2' (H)<br>SUMP = 333.4'     | ⑧- CB 8<br>RIM = 323.08'<br>SILT SACK  | ⑯- CB 16<br>RIM = 338.96'<br>INV. OUT = 334.8' (P)<br>SUMP = 331.9'  | ③- AREA DRAIN 3<br>RIM = 342.27' |
| ④- CB 4<br>RIM = 337.88'<br>SILT SACK  | ⑪- CB 11<br>RIM = 343.97'<br>INV. OUT = 339.4' (C)<br>SUMP = 336.8'  | ⑰- CB 17<br>RIM = 338.02'<br>SILT SACK   | ④- AREA DRAIN 4<br>RIM = 341.06' |
| ⑤- CB 5<br>RIM = 336.22'<br>SILT SACK  | ⑫- CB 12<br>RIM = 343.34'<br>INV. IN = 339.8' (8" UD)<br>INV. IN = 338.6' (12" AD)<br>INV. IN = 338.5' (C)<br>INV. OUT = 338.4' (D)<br>SUMP = 335.7' | ⑱- CB 18<br>RIM = 329.91'<br>SILT SACK   |                                  |
|  | ⑬- CB 13<br>RIM = 342.40'<br>INV. IN = 337.7' (D)<br>INV. IN = 338.8' (8" AD)<br>INV. IN = 339.1' (6" UD)<br>INV. OUT = 337.6' (E)<br>SUMP = 335.0'  | ⑳- PROP. FES #1<br>INV. = 307.7' (U)   |                                  |
|  |  | ㉑- PROP. FES #2<br>INV. = 305.2' (V)   |                                  |

AS-BUILT PLAN  
TAX MAP 134, LOT 5  
114 ROCHESTER HILL RD  
ROCHESTER, NH  
PREPARED FOR:  
D.R. LEMIEUX BUILDERS, INC.  
NOVEMBER 2019  
GRAPHIC SCALE



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PLAN NO. C-2780/AB  
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