

NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: 3/1/2019 Is a conditional use needed? Yes: _____ No: X Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 209; Lot #(s): 31; Zoning district: A

Property address/location: 209 Chestnut Hill Road, Rochester, NH 03867

Name of project (if applicable): City of Rochester, NH Public Works Facility

Size of site: 21.3 acres; overlay zoning district(s)? N/A

Property owner

Name (include name of individual): City of Rochester, Peter Nourse, P.E.

Mailing address: 45 Old Dover Road, Rochester, NH 03867

Telephone #: 603-332-4096 Email: peter.nourse@rochesternh.net

Applicant/developer (if different from property owner)

Name (include name of individual): See property owner information

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Weston & Sampson, Michael Roether

Mailing address: 100 International Drive, Suite 152 Portsmouth, NH 03801

Telephone #: 603-570-6313 Fax #: _____

Email address: roetherm@wseinc.com Professional license #: 10542

Proposed activity (check all that apply)

New building(s): X Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: X

(Continued Nonresidential Site Plan application Tax Map: 209 Lot: 31 Zone A)

Describe proposed activity/use: Design and construction of a new Public Works facility.

Describe existing conditions/use (vacant land?): Vacant land

Utility information

City water? yes X no ; How far is City water from the site? Adjacent to property in right-of-way

City sewer? yes no X; How far is City sewer from the site? N/A

If City water, what are the estimated total daily needs? TBD gallons per day

If City water, is it proposed for anything other than domestic purposes? yes X no

If City sewer, do you plan to discharge anything other than domestic waste? yes no

Where will stormwater be discharged? There are two proposed stormwater infiltration basins on site.

Building information

Type of building(s): Public Works Facility, Salt Shed

Building height: 29'-7", 39'-7" Finished floor elevation: 250', 249'

Other information

parking spaces: existing: N/A total proposed: 70; Are there pertinent covenants? Yes

Number of cubic yards of earth being removed from the site 9,690 cy

Number of existing employees: N/A; number of proposed employees total: 60 (full-time), 6 (part-time)

Check any that are proposed: variance X; special exception ; conditional use

Wetlands: Is any fill proposed? No; area to be filled: N/A; buffer impact? No

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	59,704 square feet	6.45%
Parking and vehicle circulation	247,978 square feet	26.77%
Planted/landscaped areas (excluding drainage)	173,690 square feet	18.75%
Natural/undisturbed areas (excluding wetlands)	384,224 square feet	41.48%
Wetlands	18,812 square feet	2.03%
Other – drainage structures, outside storage, etc.	41,830 square feet	4.52%

(Continued Nonresidential Site Plan application Tax Map: 209 Lot: 31 Zone A)

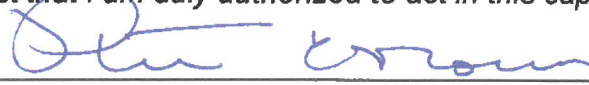
Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: 

Date: 3/1/19

Signature of applicant/developer: 

Date: 3/1/19

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

City of Rochester
New Department of Public Works Facility
Project Description

209 Chestnut Hill Road, Rochester, NH 03867

Introduction

The City of Rochester is proposing to construct a new +/- 54,200 square foot public works facility with a +/- 3,800 square foot salt storage structure. The proposed development project is located on Chestnut Hill Road, abutted by the Roger Allen Park and the Mobile Home Park. The overall site consists of approximately 21.3 acres of land as identified on Assessors Map Sheet 209, lot 31. The proposed development includes the construction of a building to include vehicle storage, vehicle maintenance, wash bay, administrative and workshop facilities, a detached salt storage structure and a fueling island. The site development will include grading, drainage, utilities, landscaping, and parking. It is anticipated that the duration of construction will be approximately 16 months.

Existing Conditions

The site is located between residential areas to the north and Roger Allen Park to the east and south off Chestnut Hill Road on a single parcel. The ground surface throughout the site is currently undeveloped, composed primarily of trees and brush. A residential property was formerly located within the western portion of the site, along Chestnut Hill Road. A metal storage building is located to the northeastern portion of the site.

The ground surface elevations at the site generally slope upwards from the southwest section of the site, towards the northeast. Based on a survey completed by Berry Survey and Engineering, site elevations range from approximately El. 230 ft. southwest to approximately El. 253 ft. towards the northeast. The survey is reportedly referenced to the North American Vertical Datum of 1988 (NAVD88).

Stoney Ridge Environmental, LLC performed wetland delineations and a site-specific soil survey for the Chestnut Hill Road site. The area of the site is located in the glacial outwash plains that

consist of parent materials, including sand, coarse sand, and gravel. There are two forested wetlands located on the site; one small pocket, as well as a larger system in the southern portion of the site.

The southern portion of the parcel is located within a flood hazard area as identified by the FEMA National Flood Hazard Layer FIRMette Map, 33017C0203D, effective 5/17/2015. This site does not currently connect to any sanitary sewer system. However, there is public water accessible to the site.

Proposed Conditions

The proposed development will include the construction of two new buildings and a proposed fuel facility, described as follows:

- Building 1 Administrative Facilities, Vehicle Storage, Vehicle Maintenance, Storage Canopy, Wash Bay & Shops
- Building 2 Salt Shed
- Fuel Facility with Canopy and two above ground fuel tanks

Building 1 will house DPW administrative offices, engineering offices, and employee facilities (locker/shower/toilet facilities, lunch/training room), vehicle and equipment storage, vehicle maintenance operations, workshops and a vehicle wash bay. Building construction will consist of a pre-engineered metal building and slab-on-grade supported on standard spread footings for Building 1. The Building envelope will consist of a combination of masonry and factory foam insulated metal panel system. The roof will be a sloped standing seam metal roof system.

Building 2 is the proposed salt storage structure. This building will consist of a timber framed structure with 10' tall push walls. The exterior of the structure will be wood construction with an asphalt shingle roof. The structure will be supported by isolated reinforced concrete spread footings.

The site improvements will include two stormwater infiltration basins located at the western portion of the site adjacent to Chestnut Hill Road, as well as at the eastern portion of the site abutting Roger Allen Park.

Dimensional Regulations

The parcel at 209 Chestnut Hill Road is located in the Agricultural Zoning District as identified on the zoning map. According to the City of Rochester Zoning Ordinance dimensional regulations are as follows:

Description	Required	Proposed
Minimum Lot Area ¹	45,000 sf	926,168 sf
Minimum Lot Frontage ²	150 ft	465.96 ft
Maximum Lot Coverage ³	40%	33%
Minimum Front Setback	20 ft	366.00 ft
Minimum Side Setback	10 ft	125.51 ft**
Minimum Rear Setback	20 ft	31.1 ft*
Maximum Building Height (see Section 2)		
DPW	35 ft	29.58 ft
Salt Shed	35 ft	39.58 ft***

*Measured from existing shed
**Measured from proposed storage canopy
***Height of salt shed requires a variance from ZBA

Signs

Signage will be in accordance with the parameters contained in the City of Rochester Zoning Ordinance.

Parking Requirements

Parking requirement were calculated in accordance with City of Rochester Site Plan Regulations, Article III, Section 10. According to Table of Parking Requirements, the larger of 1 parking

spaces per 600 square feet of the building floor area or 1 parking space per the number of employees on maximum shift is required for Industrial Use. This requirement results in 90 required parking spaces for the proposed facility as summarized below, while 70 parking spaces are currently proposed.

Use	Calculation	Required	Proposed
Industrial Use	1 per 600 sq. ft of building area = $54,169/600 = 90$ Or 1 per employee * 66 employees = 66	90	70

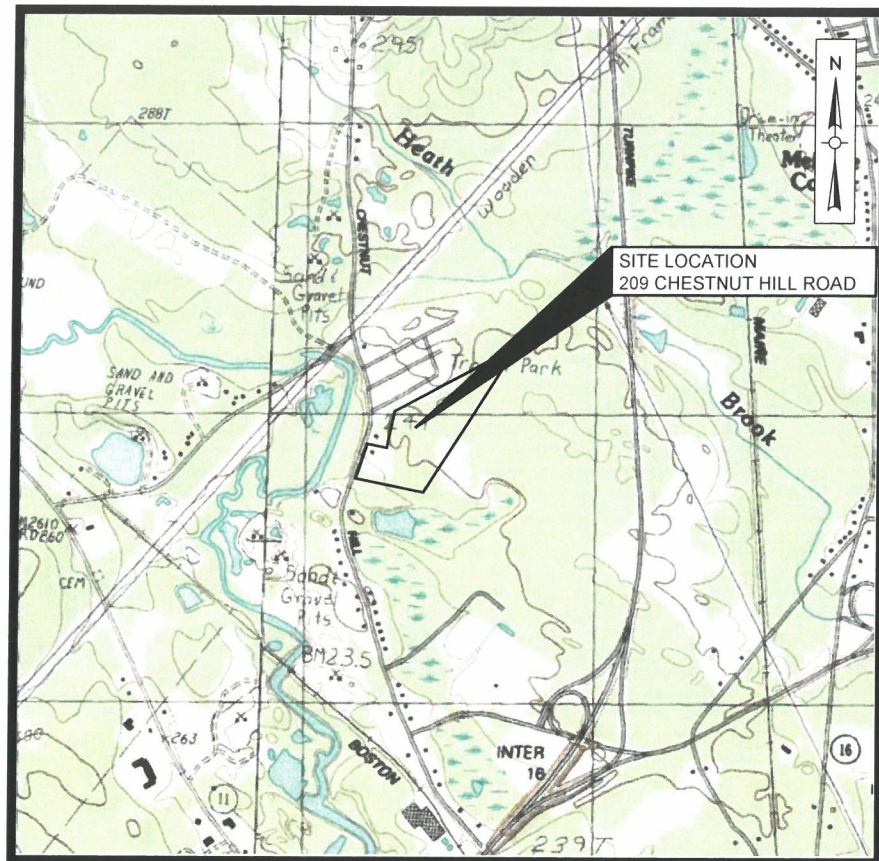
The Applicant is asking a waiver to allow less parking spaces than required. Based on the number of employees and the expected number of visitors, the proposed number of parking spaces will meet the parking demand of the proposed facility.

Environmental Controls

Trash and other waste shall be confined to the DPW yard, where it will be fully enclosed and screened from abutting properties by a 6 feet fence.

Lighting

Site lighting will be provided in accordance with City of Rochester Site Plan requirements. All lights will be LED, with no light spillage over the property line.



LOCUS MAP
SCALE: 1"=1000'

Lot Coverage Calculations		
Area Type	Total Area (SQFT)	Percent of Lot
209 Chestnut Hill Rd, Tax Map 209, Lot 31	926,168	100%
Buildings	59,704	6.45%
Pavement	247,978	26.77%
Open Space/ Landscaped	618,486	66.78%

DRAWING INDEX

SHEET	TITLE
C-0.00	GENERAL NOTES AND LEGEND
C-1.01	EXISTING CONDITIONS, SHEET 1
C-1.02	EXISTING CONDITIONS, SHEET 2
C-2.01	SITE PREPARATION AND EROSION CONTROL
C-3.01	LAYOUT AND MATERIALS PLAN (OVERALL)
C-3.02	LAYOUT AND MATERIALS PLAN (WEST)
C-3.03	LAYOUT AND MATERIALS PLAN (EAST)
C-4.01	UTILITY PLAN
C-5.01	GRADING AND DRAINAGE PLAN (OVERALL)
C-5.02	GRADING AND DRAINAGE PLAN (WEST)
C-5.03	GRADING AND DRAINAGE PLAN (EAST)
C-6.01	DETAILS
C-6.02	DETAILS
C-6.03	DETAILS
C-6.04	DETAILS
C-6.05	DETAILS
C-6.06	DETAILS
L-1.01	LANDSCAPING PLAN
LT-1.01	SITE LIGHTING PLAN
A3.01	OVERALL ELEVATIONS
A10.01	SALT SHED BUILDING ELEVATIONS

Parking Calculations			
Use	# of Employees on maximum shift or 1 per 600 SF of area, whichever is larger	Required Parking spots	Proposed Parking Spots
Industrial use	54,169 sf/600sf = 90	90	70*
	1 per employee x 66 employees = 66		
* Approval from Planning Board is required for reduced number of parking spaces			

Rochester, NH Zoning Requirements Table			
Agricultural	Required	Existing	Proposed
Minimum Lot Area	45,000 sf	926,168 sf	926,168 sf
Minimum Frontage	150 ft	466.0 ft	466.0 ft
Minimum Front Setback	-	910.9 ft*	366.0 ft
Minimum Side Setback	10 ft	408.9 ft*	125.5 ft**
Minimum Rear Setback	20 ft	31.1 ft*	31.1 ft*
Maximum Building Height	35 ft	<35 ft	DPW-29.6 ft Salt Shed-39.6 ft***
Maximum Lot Coverage	40%	2.3%	33%
* Measured from existing shed			
** Measured from proposed storage canopy			
*** Height of salt shed requires a variance from ZBA			

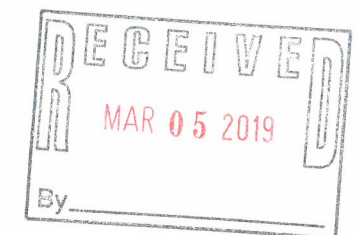
ROCHESTER, NH

DEPARTMENT OF PUBLIC WORKS

FACILITY

209 CHESTNUT HILL ROAD, ROCHESTER NH
TAX MAP # 209, LOT # 31

SITE PLAN REVIEW



APPLICANT:

CITY OF ROCHESTER
45 OLD DOVER ROAD
ROCHESTER, NH 03867

CONTACT: PETER NOURSE, PE.E
PETER.NOURSE@ROCHESTERNH.NET
603-332-4096

ENGINEER/ARCHITECT:

WESTON & SAMPSON ENGINEERS, INC.
100 INTERNATIONAL DRIVE, SUITE 152
PORTSMOUTH, NH 03801

FOR MORE INFORMATION ABOUT THIS PLAN CONTACT:

ELENA COMPTER, PE - ENGINEER
COMPTERE@WSEINC.COM
508-203-4214

JP PARNAS, RA - ARCHITECT
PARNASJ@WSEINC.COM
857-415-3889

PLANNING BOARD APPROVAL

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

MARCH 2019
Weston & SampsonSM

Weston & Sampson Engineers, Inc.
100 International Drive, Suite 152, Portsmouth, NH 03801

GENERAL NOTES

1. TOPOGRAPHICAL INFORMATION BASED UPON SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN FEBRUARY OF 2016. THE VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83.
2. REFER TO EXISTING CONDITIONS FOR SURVEY LEGEND. ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
3. LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE CITY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
7. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
8. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
9. ALL AREAS OUTSIDE OF THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
10. ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED" (PROV) INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS (IDENTIFIED AS "REMOVE AND RESET (RAR)", OR REMOVE, RELOCATE, RESET, (RRAR)).
11. ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.
12. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
13. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
14. FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
15. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN, NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS REQUIRED BY THE ENGINEER, THE CONTRACTOR SHALL ERRECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
16. TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE PLANS.
17. THE CONTRACTOR SHALL CALL DIGSAFE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
18. NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER REPRESENTATIVE.
19. THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE STOCKPILED ON SITE FOR DISPOSAL BY THE CITY. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, STRAW MATS, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE PROJECT.
20. ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY. REMOVAL ACTIVITIES SHALL BE ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE CITY. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS SPECIFIED IN EARTHWORK SPECIFICATIONS. ON-SITE FILL MATERIALS, WHICH DO NOT CONFORM TO EARTHWORK SPECIFICATIONS, SHALL NOT BE USED BELOW ANY STRUCTURES. IF THE CONTRACTOR PROPOSES TO USE THE EXISTING FILL ON SITE BELOW PAVEMENT AREAS, HE MUST DEMONSTRATE THAT THE FILL MEETS THE REQUIREMENTS PER EARTHWORK SPECIFICATIONS. ALL EXCAVATED FILL MATERIAL WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE CITY.
21. CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER.
22. NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
23. ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
24. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
25. CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
27. THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
28. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
29. CONTRACTOR SHALL DEWATER AS NECESSARY TO PERFORM THE PROPOSED WORK. SEE SPECIFICATION SECTION 00320 SUBSURFACE DATA TO UNDERSTAND SUBSURFACE CONDITIONS.
30. THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
31. DEEP SLUMP CATCH BASINS AND STORMWATER BASIN SHALL BE CLEANED FOLLOWING CONSTRUCTION AND SHALL FOLLOW THE OPERATION AND MAINTENANCE PLAN THEREAFTER.
32. HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
33. ANY BOULDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE CITY.
34. WORK ON SATURDAYS SHALL ONLY BE CONDUCTED IF PRIOR WRITTEN PERMISSION IS PROVIDED BY THE CITY.

5. THE TERM "AS DIRECTED" AS USED IN THE CONTRACT DRAWINGS SHALL BE REPLACED WITH "AS REQUIRED".

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLAN FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL MEET ALL OF THE STATE OF NEW HAMPSHIRE AND THE CITY OF ROCHESTER WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
6. EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE SITE PREPARATION PLAN, NOTES, DETAILS AND SPECIFICATIONS.
7. ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
9. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/Private ROADS.

DEMOLITION & SITE PREPARATION NOTES

1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
3. UNLESS SPECIFICALLY NOTED TO BE SAVED (STOCKPILED (R&S), REMOVED/RESET (RAR) OR REMOVE, RELOCATE AND RESET (R & R) ALL SITE FEATURES CALLED FOR REMOVAL (REM) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE TOWN.
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
6. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.
7. CLEAR AND GRUB VEGETATION SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH; REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
8. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
12. LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

LAYOUT & MATERIALS NOTES

1. REFER TO EXISTING CONDITIONS PLANS FOR SURVEY INFORMATION (SHEET C1 01).
2. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
3. ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY CITY".
4. TO FACILITATE LAYOUT OF PROPOSED SITE FEATURES AND FACILITIES, LAYOUT INFORMATION FOR CERTAIN FUTURE WORK, WHICH IS NOT INCLUDED WITHIN THE SCOPE OF THIS CONTRACT HAS BEEN PROVIDED ON THE LAYOUT AND MATERIALS PLAN FOR INFORMATION ONLY. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SOME ITEMS ARE "NOT IN CONTRACT" (NIC) AND SHOWN FOR REFERENCE ONLY.
5. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. THE LAYOUT OF ALL NEW PATHWAYS / WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA), TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
7. ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
8. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
9. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
12. THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 4" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
13. ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN.
14. REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.

GRADING, UTILITIES & DRAINAGE NOTES

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCHESTER.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
3. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED GRAVEL SURFACE MEETS EXISTING SURFACE, BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
5. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
6. ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS. WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF PERCENT (1.5%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 5% MAX.
7. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
8. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
9. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/Private STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
10. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
11. WHERE NEW EARTH-WORK MEETS EXISTING EARTH-WORK, CONTRACTOR SHALL BLEND NEW EARTH-WORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
12. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
13. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
14. SEE EARTHWORK SECTION OF SPECIFICATIONS FOR SPECIFIC EXCAVATION AND FILLING PROCEDURES.

ABBREVIATIONS

GENERAL

PROP	PROPOSED
ADJ	ADJUST
BT CONC.	BITUMINOUS CONCRETE
CEM. CONC.	CEMENT CONCRETE
B	BASLINE
N.T.S.	NOT TO SCALE
B.M.	BENCH MARK
ABAN	ABANDON
MB	MAIL BOX
GRAN. CURB	GRANITE CURB
EXIST	EXISTING
(OR EX.)	FOUNDATION
FDN	FOUNDATION
F.L.	FLOW LINE
(OR F)	PROPERTY LINE
P	PAVEMENT
PVMT	PAVED WATERWAY
P.W.W.	REINFORCED CONCRETE
RC	MASSACHUSETTS HIGHWAY BOUND
M.H.B.	REMOVED
REM	REMOVAL
REMOD	REMODEL
RET	RETAIN
R.O.W.	RIGHT-OF-WAY
RAR	REMOVE AND RESET
R,RAR	REMOVE, RELOCATE AND RESET
RAS	REMOVE AND STOCKPILE
R&D	REMOVE AND DISPOSE
SB	STONE BOUND
NIC	NOT IN CONTRACT
H.C.	HANDICAP
WCR	WHEELCHAIR RAMP
FF	FINISHED FLOOR
HMA	HOT MIX ASPHALT
G.C.	GENERAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
SWEL	SOLID WHITE EDGE LINE
BWLL	BROKEN WHITE LANE LINE
SYEL	SOLID YELLOW EDGE LINE
SB/DH	STONE BOUND/DRILL HOLE
CLF	CHAIN LINK FENCE
TEMP	TEMPORARY
TYP.	TYPICAL
EQ	EQUIPMENT
H.C.	HANDICAP
EOP	EDGE OF PAVEMENT
PROT	PROTECT
CITE	CONNECT TO EXISTING
RL	ROOF LEADER
L.O.W.	LIMIT OF WORK
VF	VERIFY IN FIELD
TBM	TEMPORARY BENCHMARK

UTILITIES

GICI	GUTTER INLET W/ CURB INLET
OBICI	CATCH BASIN W/ CURB INLET
CB	CATCH BASIN
C.I.T.	CHANGE IN TYPE
F&G	FRAME AND GRATE
CMF	CORRUGATED METAL COVER
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
DI	DUCTILE IRON PIPE
GI	GUTTER INLET
ACOM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
HYD	HYDRANT
INV. ELEV	INVERT ELEVATION
UP	UTILITY POLE
SMH	SEWER MANHOLE
WG	WATER GATE
DS	DOWN SPOUT
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
DMH	DRAIN MANHOLE
LG	LEACHING GALLEY
CI	CAST IRON
OCS	OUTLET CONTROL STRUCTURE
OGT	OIL AND GRIT TRAP
VC	VITRIFIED CLAY PIPE
LP	LIGHT POLE
OHW	OVERHEAD WIRE
UPL	UTILITY POLE WITH LIGHT
SWTU	STORM WATER TREATMENT UNIT
HH	HANDHOLE
GW	GARAGE WASTE
CO	CLEANOUT
LC	LEACHING CHAMBER
GV	GATE VALVE

ALIGNMENT/GRADING

BW	BOTTOM OF WALL
BC	BOTTOM OF CURB
PI	POINT OF INTERSECTION
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
PCD	POINT OF COMPOUND CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
ELEV	ELEVATION
CC	CENTER OF CURVE
H.P.	HIGH POINT
L.P.	LOW POINT
R	RADIUS OF CURVATURE
STA	STATION
S.S.D.	STOPPING SIGHT DISTANCE
TC	TOP OF CURB
TW	TOP OF WALL

EXISTING

HH	HANDHOLE (NUMBER AS NOTED)
EMH	ELECTRIC MANHOLE
TMH	TELEPHONE MANHOLE
SMH	SEWER MANHOLE
DMH	DRAINAGE MANHOLE
GG	GAS GATE
WG	WATER GATE VALVE
LP	LIGHTPOLE
D	DRAIN PIPE
S	SEWER MAIN
S	SEWER MAIN BY P.C.
E	ELECTRIC DUCT
T	TELEPHONE/COMMUNICATIONS/FIRE ALARM
GW	GARAGE WASTE LINE
GW	GARAGE WASTE LINE BY P.C.
V	VENTS BY P.C.
GAS	GAS MAIN
W	WATER MAIN
OH-W	OVERHEAD WIRES
OR	GUARD RAIL (SIZE AND TYPE NOTED)
WCR	WHEELCHAIR RAMP (WCR)
CLF	TREE (SIZE AND TYPE NOTED)
OR	FENCE (SIZE AND TYPE NOTED)
WOOD FENCE	EASEMENT LINE/ FUTURE CITY PROPERTY LINE
TP-2	TEST PIT
TP1	MONITORING WELL
MON WELL (TYP)	UTILITY POLE
UP 8	GUY POLE
FLAG POLE	FLAG POLE
W	SIGN
W	TREE LINE
W	BOLLARD
W	BIKE RACK
W	SAWCUT
W	EROSION CONTROL (SPECIFIED ON PLANS)
W	OBSERVATION WELL
W	LIMIT OF WORK
W	WETLAND FLAG & NUMBER
W	WETLAND BUFFER
W	TEMPORARY FENCE
W	CONCRETE BOUND FOUND
W	TEMPORARY BENCH-MARK (TBM)
W	POST
W	ROOF DRAIN
W	METER
W	BOX

PROPOSED

CB	CATCH BASIN
DB	DOUBLE CATCH BASIN
LG	LEACHING GALLEY
CB	CURB (OR BERM)-TYPE NOTED
ED	EDGE OF ROAD
HH	HANDHOLE (NUMBER AS NOTED)
EMH	ELECTRIC MANHOLE
TMH	TELEPHONE MANHOLE
SMH	SEWER MANHOLE
DMH	DRAINAGE MANHOLE
GG	GAS GATE
WG	WATER GATE VALVE
LP	LIGHTPOLE
D	DRAIN PIPE
S	SEWER MAIN
S	SEWER MAIN BY P.C.
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Project:

CITY OF ROCHESTER, NH



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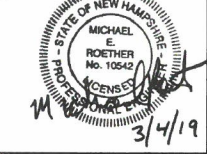
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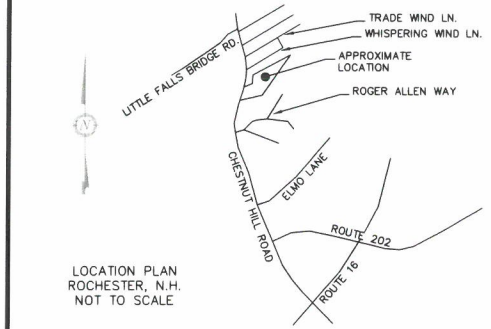
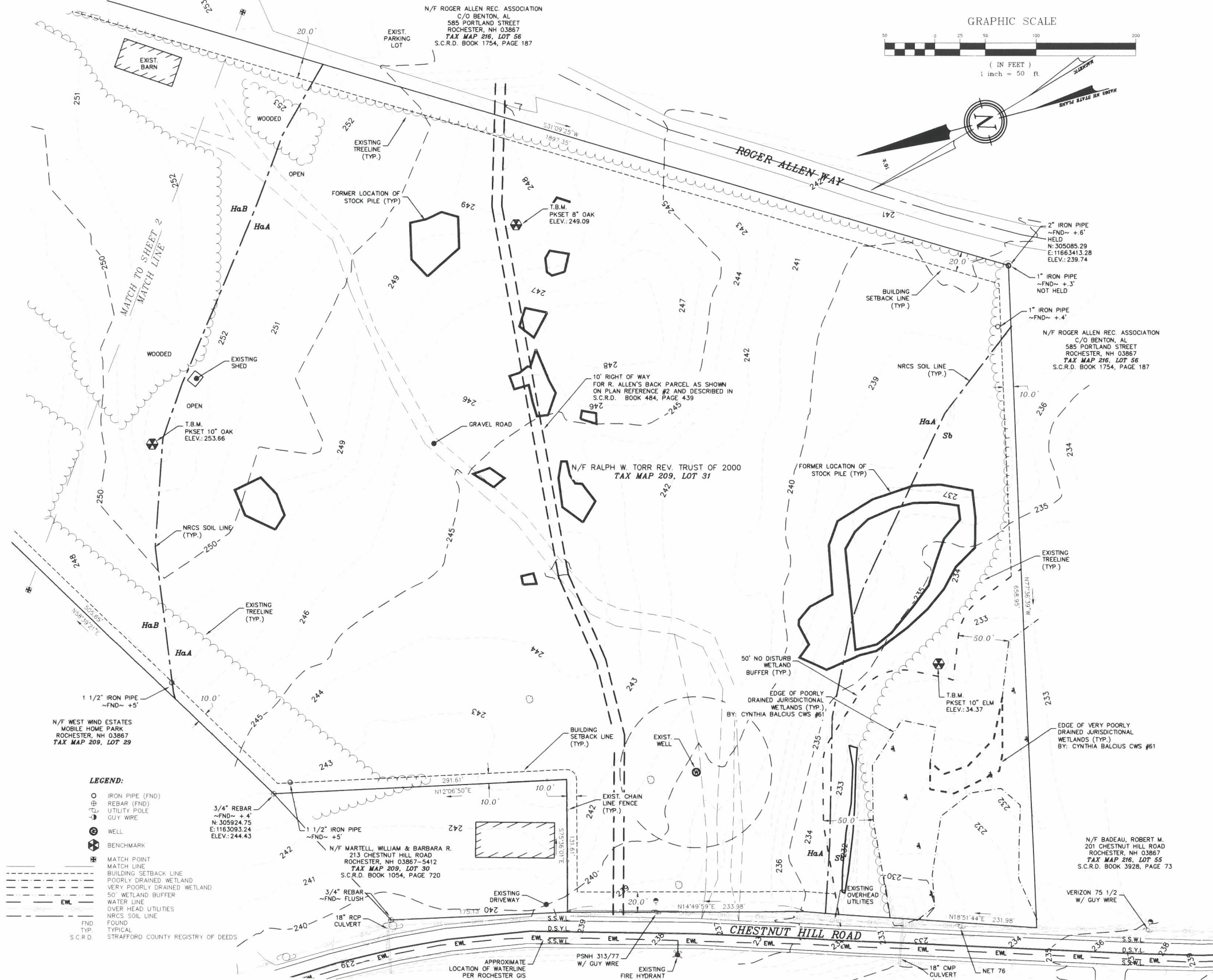
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GENERAL NOTES AND LEGEND

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- PLAN REFERENCES:**
- 1.) "BOUNDARY LINE SURVEY FOR RALPH & PAULINE TORR IN ROCHESTER, N.H." BY: BRUCE POKORNY DATED: FEBRUARY 15, 1983 S.C.R.D. PLAN #24-9
 - 2.) "BOUNDARY SURVEY FOR EDWARD DUHAIME IN ROCHESTER, N.H." BY: BRUCE POKORNY DATED: JANUARY 25, 1982 FILE NO. 287-800 S.C.R.D. PLAN #22-23
 - 3.) "TOPOGRAPHIC PLAN OF LAND, ROCHESTER, N.H. FOR ROGER N. ALLEN TRUST" BY: NORWAY PLAINS ASSOCIATES, INC. DATED: JANUARY 1993 S.C.R.D. PLAN #44-35
 - 4.) "SUBDIVISION OF LAND, ROCHESTER, N.H. FOR ROGER N. ALLEN" BY: NORWAY PLAINS ASSOCIATES, INC. DATED: APRIL 1989 S.C.R.D. PLAN #36-64

- NOTES:**
- 1.) OWNER: CITY OF ROCHESTER, 31 WAKEFIELD STREET, ROCHESTER, NH 03867
 - 2.) TAX MAP 209, LOT 31
 - 3.) LOT AREA: 926,168 Sq. Ft., 21.26 Ac.
 - 4.) S.C.R.D. BOOK 4158, PAGE 892
 - 5.) TOPOGRAPHICAL INFORMATION BASED UPON SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN FEBRUARY OF 2016. THE VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83.
 - 6.) A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330150, MAP# -3301700203D, DATED: MAY 17, 2005
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN FEBRUARY OF 2016, WITH AN ERROR OF CLOSURE OF 1 PART IN 23,176.
 - 9.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 209, LOT 31 AS OF THE DATE OF THIS PLAN.

SOIL DATA:

HaA ~ HINCKLEY LOAMY SAND, 0 TO 3% SLOPES
HoB ~ HINCKLEY LOAMY SAND, 3 TO 8% SLOPES
Sb ~ SAUGATUCK LOAMY SAND

SEE WEBSOIL

JURISDICTIONAL WETLANDS WERE DELINEATED BY CYNTHIA BALCIUS OF STONEY RIDGE ENVIRONMENTAL LLC IN SEPTEMBER OF 2018 UTILIZING THE FOLLOWING STANDARDS:

- 1.) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS
- 2.) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPPC WETLANDS WORKGROUP. WILMINGTON, MA 01887
- 3.) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL
- 4.) STATE OF NEW HAMPSHIRE 2014 WETLAND PLANT LIST. LICHVAR, R.W., M. BITTERWICH, N.C. MELVIN, AND W.N. KIRCHNER. 2014. THE NATIONAL WETLAND PLANT LIST. 2014 UPDATE OF WETLAND RATINGS. PHYTOECONOMY 2014-41:1-42
- 5.) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1
- 6.) REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTERN AND NORTHEAST REGION, JANUARY 2012, VERSION 2. U.S. ARMY CORPS OF ENGINEERS. ENVIRONMENTAL LABORATORY ERDC/EL TR-12-1
- 7.) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COWARDIN, V. CARTER, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR. FISH AND WILDLIFE SERVICE. FWS/OBS-79/31

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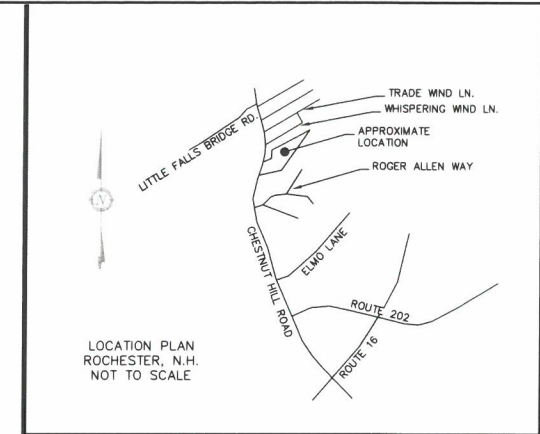
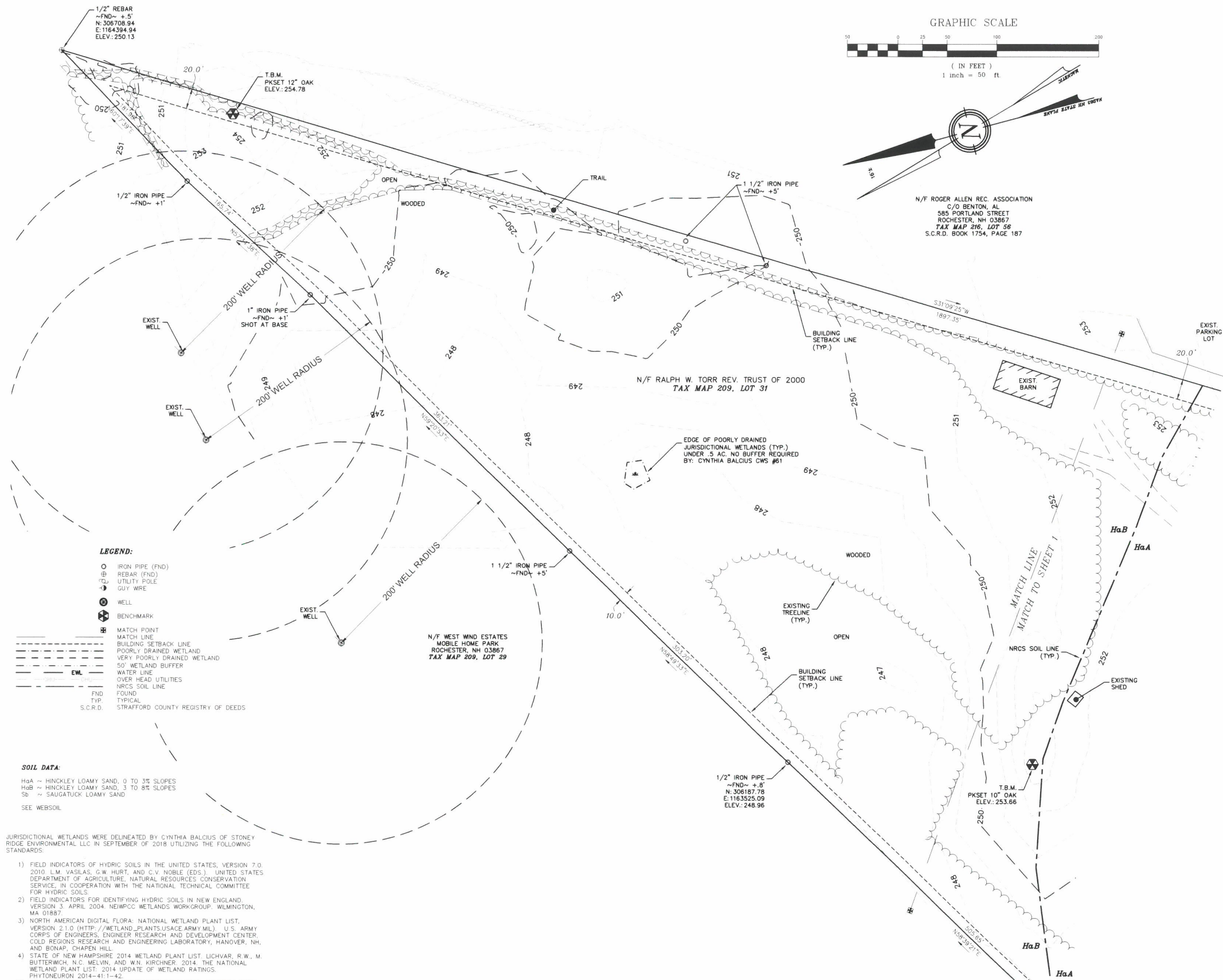
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PLAN
(SHEET 2 OF 2)

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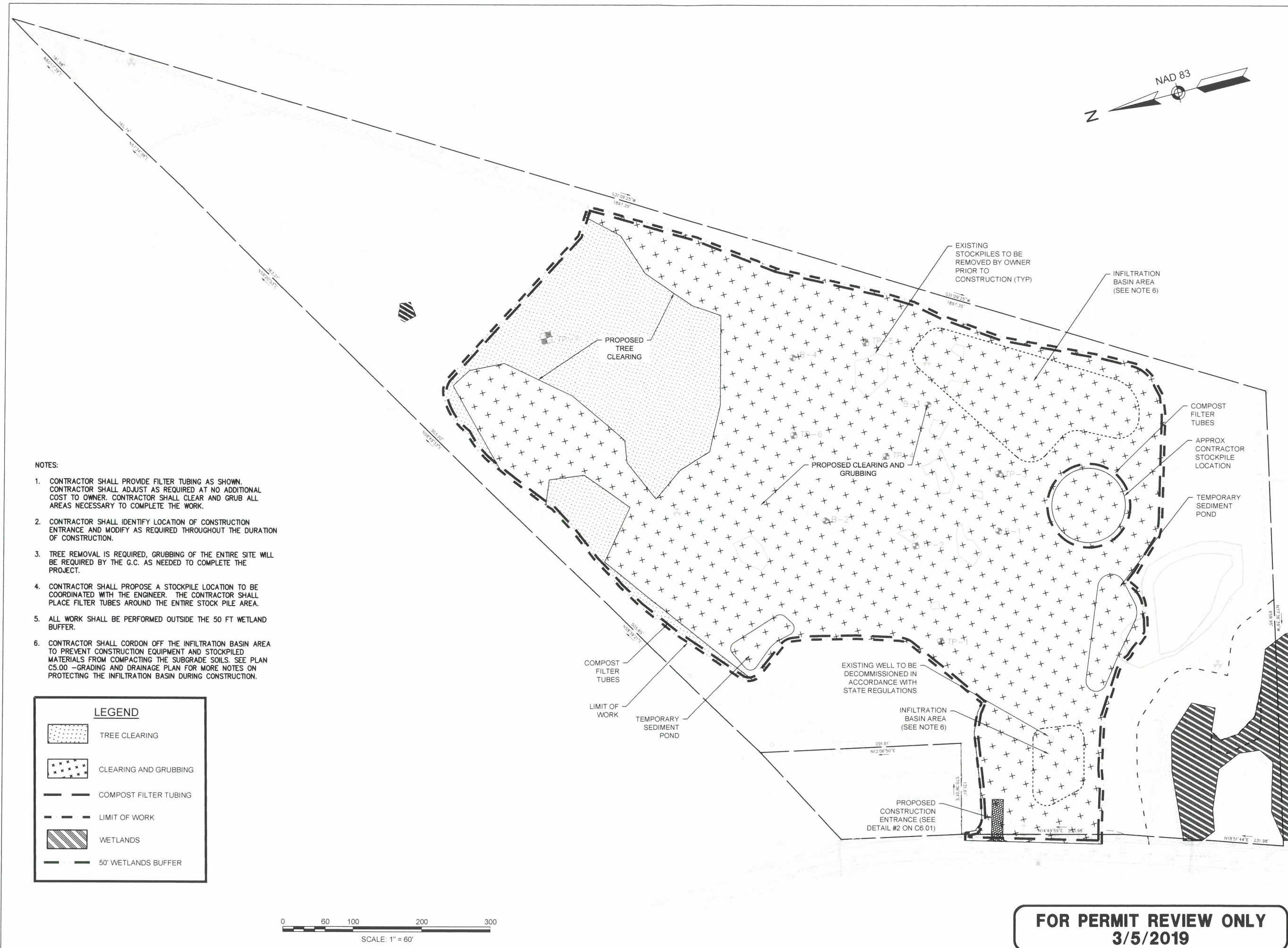
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- NOTES:
1. CONTRACTOR SHALL PROVIDE FILTER TUBING AS SHOWN. CONTRACTOR SHALL ADJUST AS REQUIRED AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS NECESSARY TO COMPLETE THE WORK.
 2. CONTRACTOR SHALL IDENTIFY LOCATION OF CONSTRUCTION ENTRANCE AND MODIFY AS REQUIRED THROUGHOUT THE DURATION OF CONSTRUCTION.
 3. TREE REMOVAL IS REQUIRED, GRUBBING OF THE ENTIRE SITE WILL BE REQUIRED BY THE G.C. AS NEEDED TO COMPLETE THE PROJECT.
 4. CONTRACTOR SHALL PROPOSE A STOCKPILE LOCATION TO BE COORDINATED WITH THE ENGINEER. THE CONTRACTOR SHALL PLACE FILTER TUBES AROUND THE ENTIRE STOCK PILE AREA.
 5. ALL WORK SHALL BE PERFORMED OUTSIDE THE 50 FT WETLAND BUFFER.
 6. CONTRACTOR SHALL CORDON OFF THE INFILTRATION BASIN AREA TO PREVENT CONSTRUCTION EQUIPMENT AND STOCKPILED MATERIALS FROM COMPACTING THE SUBGRADE SOILS. SEE PLAN C5.00 - GRADING AND DRAINAGE PLAN FOR MORE NOTES ON PROTECTING THE INFILTRATION BASIN DURING CONSTRUCTION.

LEGEND

TREE CLEARING

CLEARING AND GRUBBING

COMPOST FILTER TUBING

LIMIT OF WORK

WETLANDS

50' WETLANDS BUFFER



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Project:

CITY OF ROCHESTER, NH

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Revisions:

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Reviewed By: MER

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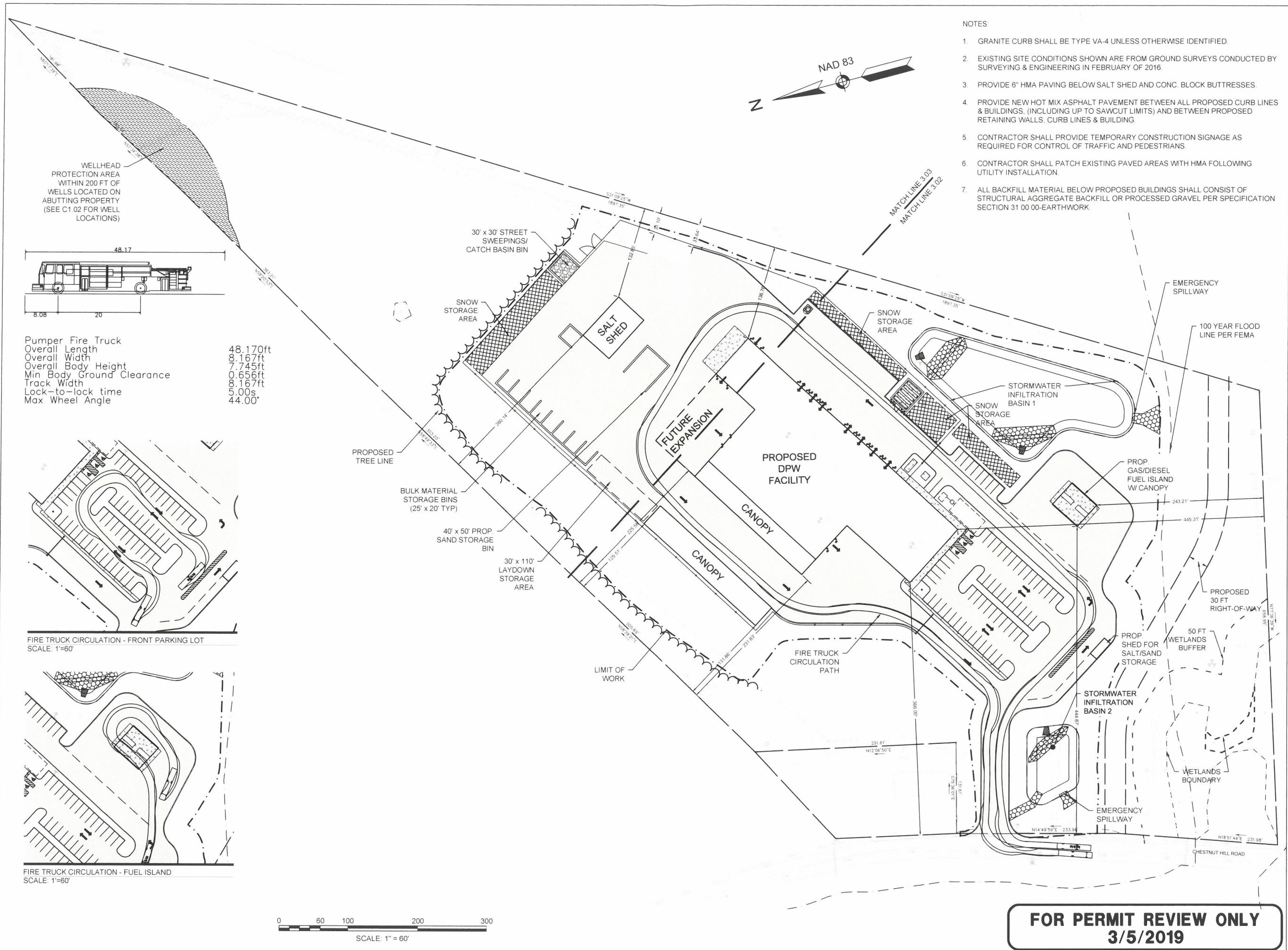
W&S Project No: 2180771

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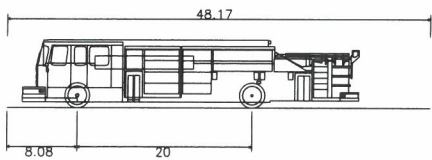
SITE PREPARATION AND EROSION CONTROL PLAN

Sheet Number:

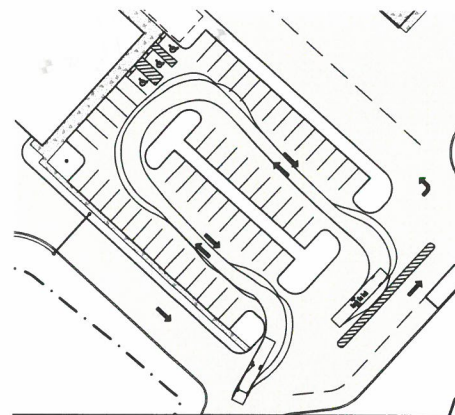
C2.01



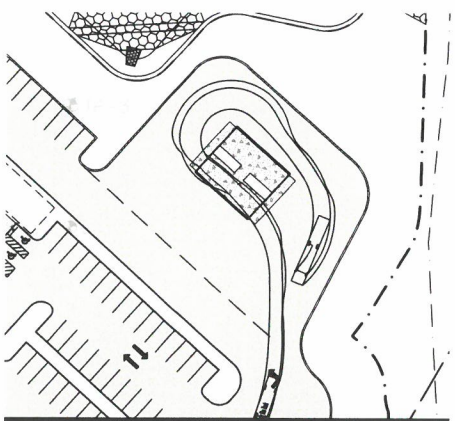
WELLHEAD
PROTECTION AREA
WITHIN 200 FT OF
WELLS LOCATED ON
ABUTTING PROPERTY
(SEE C1.02 FOR WELL
LOCATIONS)



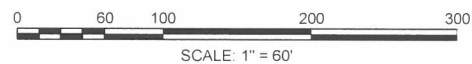
Pumper Fire Truck
Overall Length 48.170ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 44.00°



FIRE TRUCK CIRCULATION - FRONT PARKING LOT
SCALE: 1"=60'



FIRE TRUCK CIRCULATION - FUEL ISLAND
SCALE: 1"=60'



NOTES:

1. GRANITE CURB SHALL BE TYPE VA-4 UNLESS OTHERWISE IDENTIFIED
2. EXISTING SITE CONDITIONS SHOWN ARE FROM GROUND SURVEYS CONDUCTED BY SURVEYING & ENGINEERING IN FEBRUARY OF 2016.
3. PROVIDE 6" HMA PAVING BELOW SALT SHED AND CONC. BLOCK BUTTRESSES.
4. PROVIDE NEW HOT MIX ASPHALT PAVEMENT BETWEEN ALL PROPOSED CURB LINES & BUILDINGS, (INCLUDING UP TO SAWCUT LIMITS) AND BETWEEN PROPOSED RETAINING WALLS, CURB LINES & BUILDING.
5. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION SIGNAGE AS REQUIRED FOR CONTROL OF TRAFFIC AND PEDESTRIANS.
6. CONTRACTOR SHALL PATCH EXISTING PAVED AREAS WITH HMA FOLLOWING UTILITY INSTALLATION.
7. ALL BACKFILL MATERIAL BELOW PROPOSED BUILDINGS SHALL CONSIST OF STRUCTURAL AGGREGATE BACKFILL OR PROCESSED GRAVEL PER SPECIFICATION SECTION 31 00 00-EARTHWORK.

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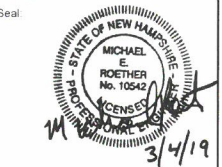


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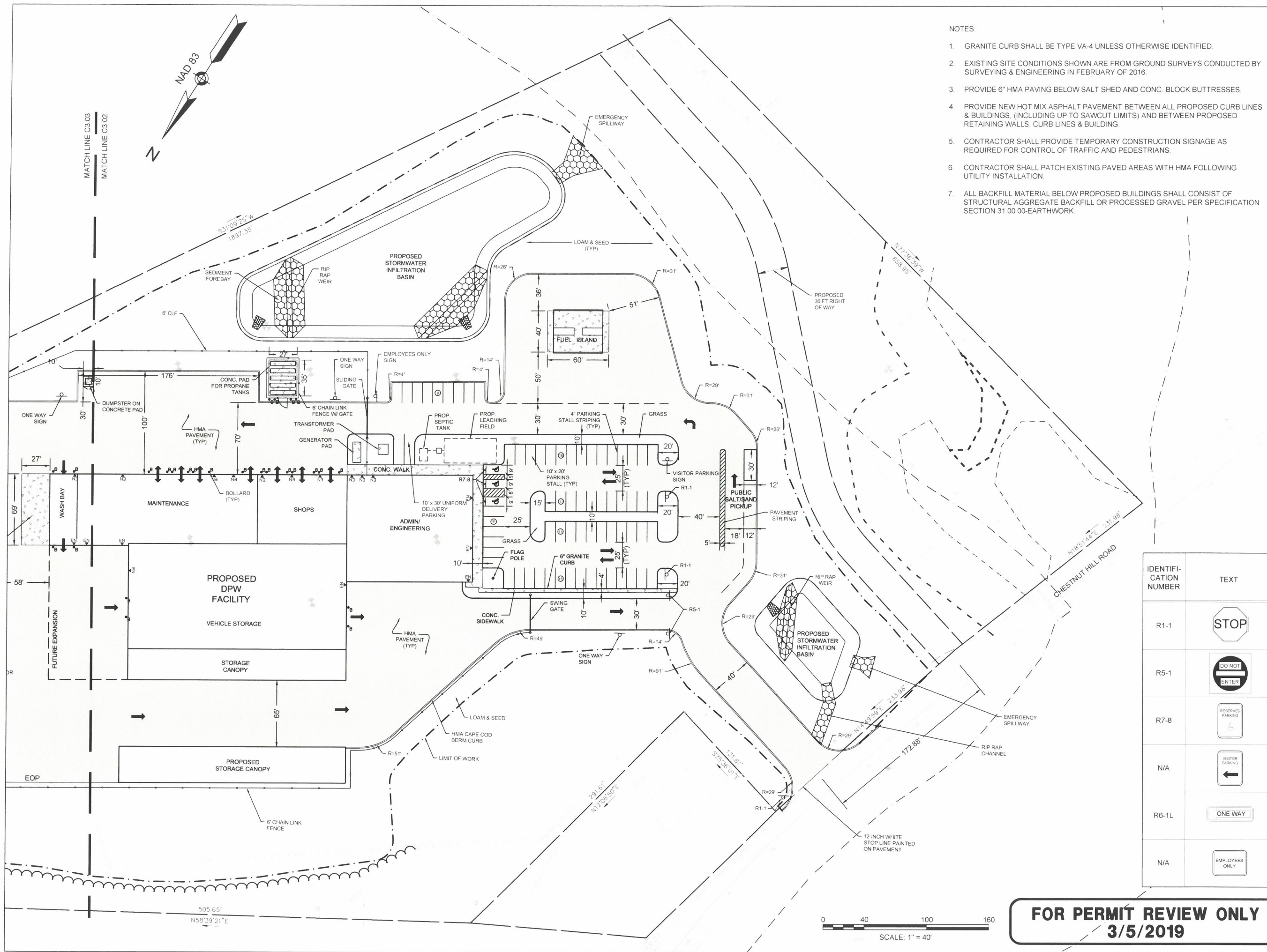
W&S Project No: 2180771

Drawing Title:

**LAYOUT AND
MATERIALS
(OVERALL)**

Sheet Number:

C3.01




- NOTES:
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IDENTIFI- CATION NUMBER	TEXT
R1-1	STOP
R5-1	DO NOT ENTER
R7-8	RESERVED PARKING
N/A	VISITOR PARKING
R6-1L	ONE WAY
N/A	EMPLOYEES ONLY



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W&S Project No: 2180771

Drawing Title

**LAYOUT AND
MATERIALS PLAN -
WEST**

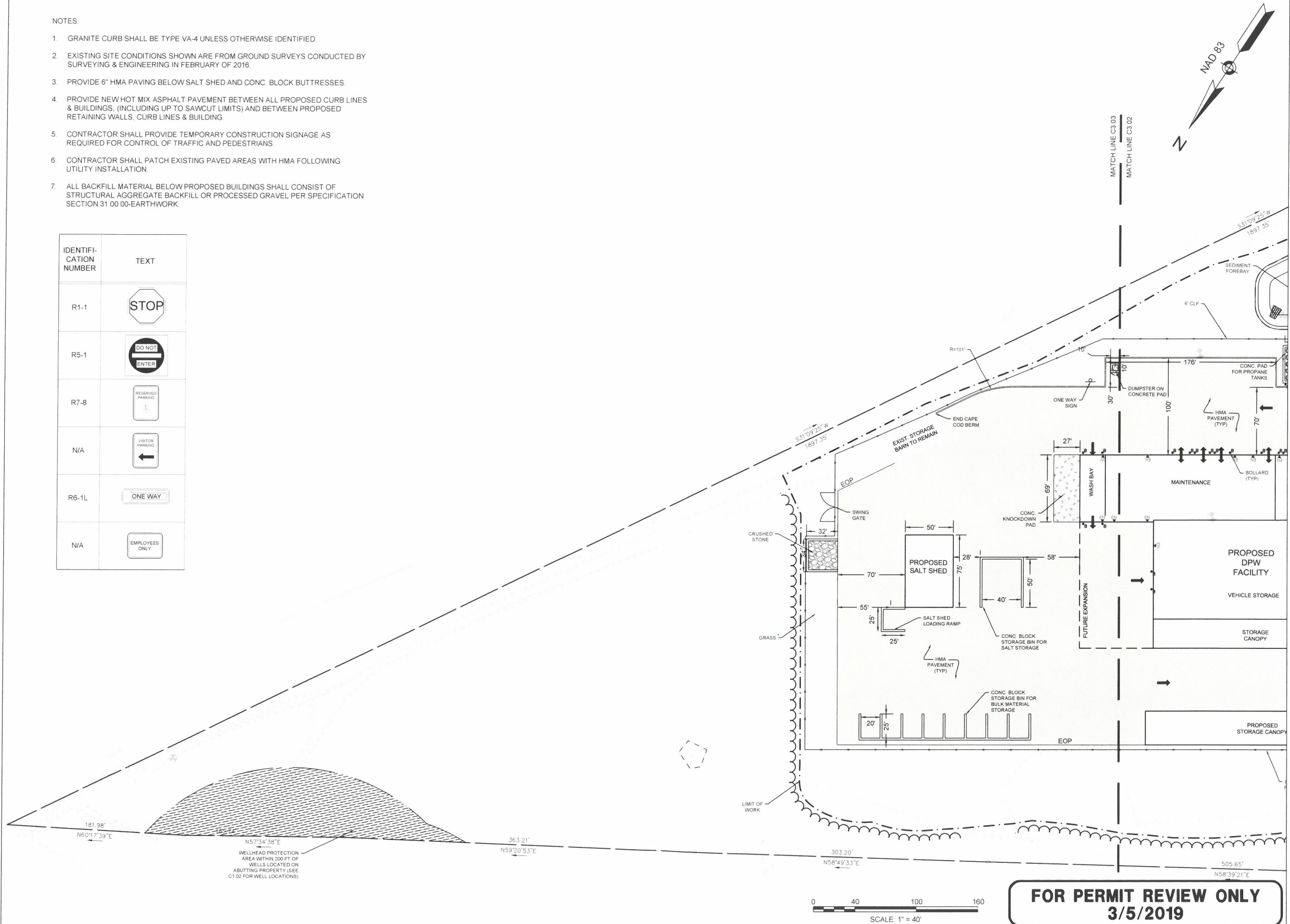
Sheet Number:

C3.02

NOTES:

1. GRANITE CURB SHALL BE TYPE VA-4 UNLESS OTHERWISE IDENTIFIED.
2. EXISTING SITE CONDITIONS SHOWN ARE FROM GROUND SURVEYS CONDUCTED BY SURVEYING & ENGINEERING IN FEBRUARY OF 2016.
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5. CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION SIGNAGE AS REQUIRED FOR CONTROL OF TRAFFIC AND PEDESTRIANS.
6. CONTRACTOR SHALL PATCH EXISTING PAVED AREAS WITH HMA FOLLOWING UTILITY INSTALLATION.
7. ALL BACKFILL MATERIAL BELOW PROPOSED BUILDINGS SHALL CONSIST OF STRUCTURAL AGGREGATE BACKFILL OR PROCESSED GRAVEL PER SPECIFICATION SECTION 31 00 00-EARTHWORK.

IDENTIFI- CATION NUMBER	TEXT
R1-1	STOP
R5-1	DO NOT ENTER
R7-8	RESERVED PARKING
N/A	VISITOR PARKING
R6-1L	ONE WAY
N/A	EMPLOYEES ONLY



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CITY CHARTER 1991

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Seal:

MICHAEL E. ROETHER
No. 10542
3/4/19

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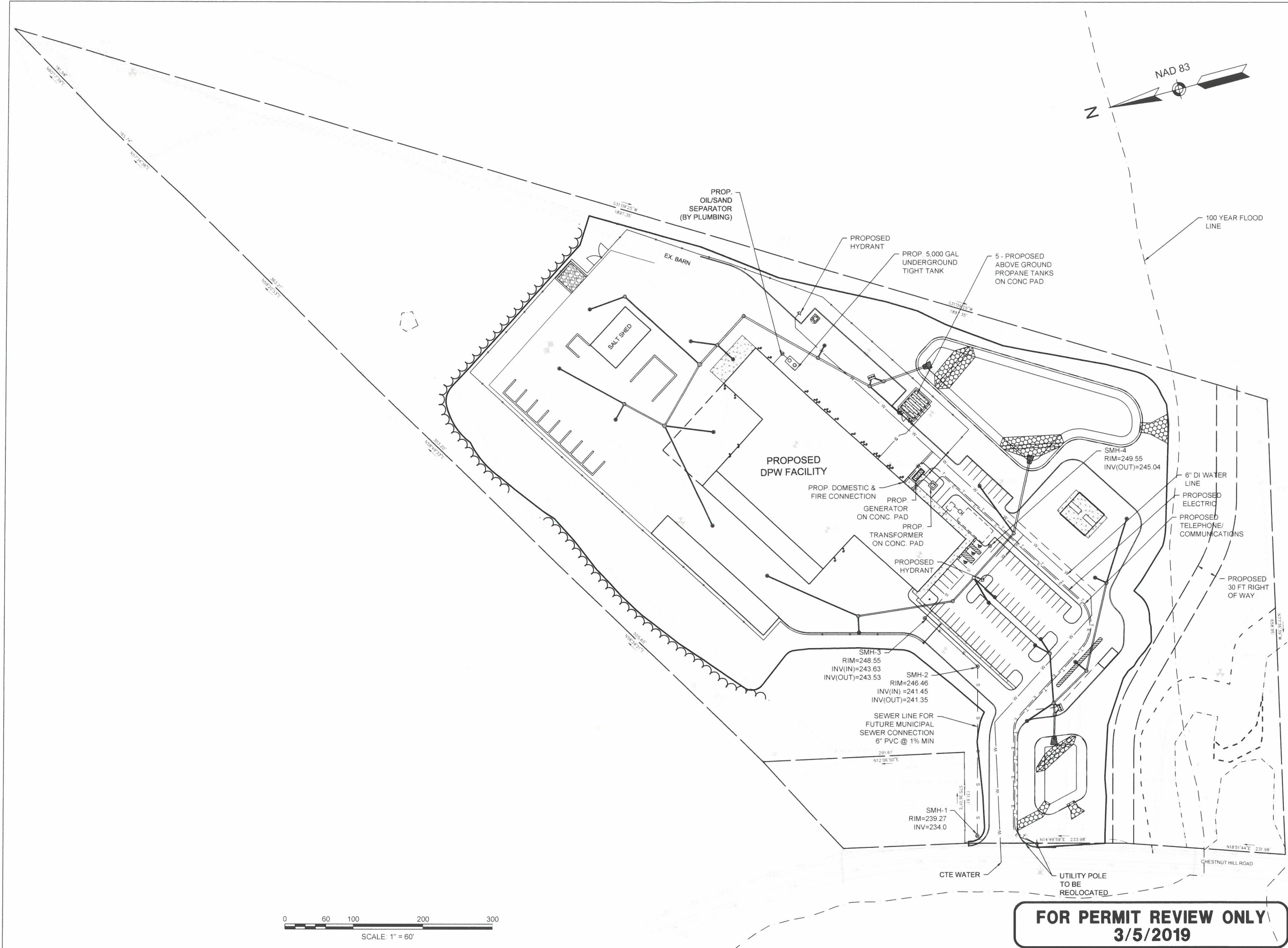
Date: MARCH 5, 2019
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Drawing Title:


**LAYOUT AND
MATERIALS PLAN
- EAST**

Sheet Number:

C3.03



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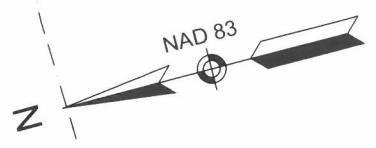
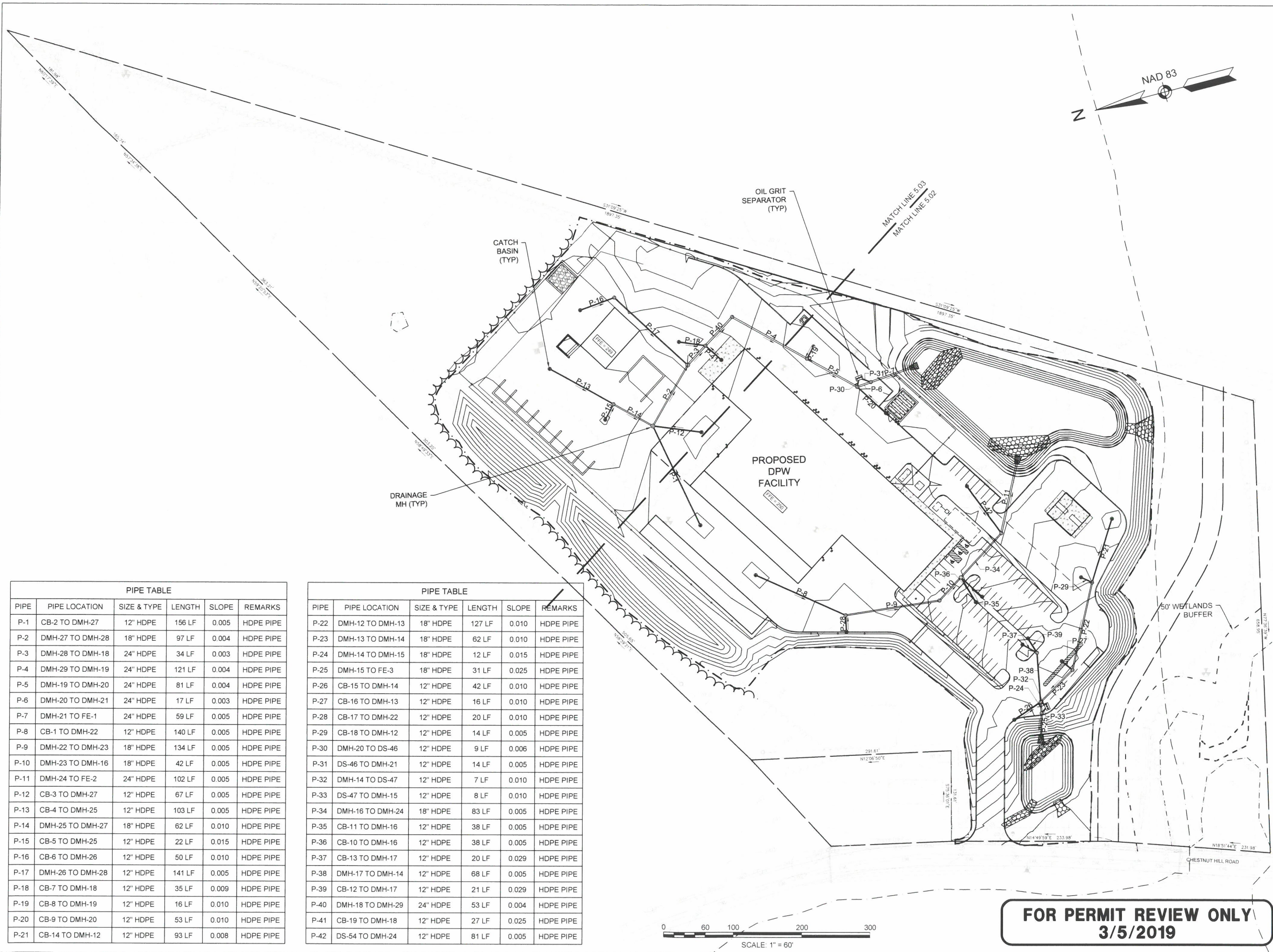
SCALE: AS NOTED

Date: MARCH 5, 2019
Drawn By: EC
Reviewed By: MER
Approved By: JPP
W&S Project No: 2180771

Drawing Title:
UTILITY PLAN

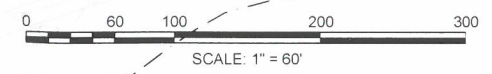
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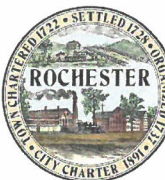
PIPE TABLE					
PIPE	PIPE LOCATION	SIZE & TYPE	LENGTH	SLOPE	REMARKS
P-1	CB-2 TO DMH-27	12" HDPE	156 LF	0.005	HDPE PIPE
P-2	DMH-27 TO DMH-28	18" HDPE	97 LF	0.004	HDPE PIPE
P-3	DMH-28 TO DMH-18	24" HDPE	34 LF	0.003	HDPE PIPE
P-4	DMH-29 TO DMH-19	24" HDPE	121 LF	0.004	HDPE PIPE
P-5	DMH-19 TO DMH-20	24" HDPE	81 LF	0.004	HDPE PIPE
P-6	DMH-20 TO DMH-21	24" HDPE	17 LF	0.003	HDPE PIPE
P-7	DMH-21 TO FE-1	24" HDPE	59 LF	0.005	HDPE PIPE
P-8	CB-1 TO DMH-22	12" HDPE	140 LF	0.005	HDPE PIPE
P-9	DMH-22 TO DMH-23	18" HDPE	134 LF	0.005	HDPE PIPE
P-10	DMH-23 TO DMH-16	18" HDPE	42 LF	0.005	HDPE PIPE
P-11	DMH-24 TO FE-2	24" HDPE	102 LF	0.005	HDPE PIPE
P-12	CB-3 TO DMH-27	12" HDPE	67 LF	0.005	HDPE PIPE
P-13	CB-4 TO DMH-25	12" HDPE	103 LF	0.005	HDPE PIPE
P-14	DMH-25 TO DMH-27	18" HDPE	62 LF	0.010	HDPE PIPE
P-15	CB-5 TO DMH-25	12" HDPE	22 LF	0.015	HDPE PIPE
P-16	CB-6 TO DMH-26	12" HDPE	50 LF	0.010	HDPE PIPE
P-17	DMH-26 TO DMH-28	12" HDPE	141 LF	0.005	HDPE PIPE
P-18	CB-7 TO DMH-18	12" HDPE	35 LF	0.009	HDPE PIPE
P-19	CB-8 TO DMH-19	12" HDPE	16 LF	0.010	HDPE PIPE
P-20	CB-9 TO DMH-20	12" HDPE	53 LF	0.010	HDPE PIPE
P-21	CB-14 TO DMH-12	12" HDPE	93 LF	0.008	HDPE PIPE

PIPE TABLE					
PIPE	PIPE LOCATION	SIZE & TYPE	LENGTH	SLOPE	REMARKS
P-22	DMH-12 TO DMH-13	18" HDPE	127 LF	0.010	HDPE PIPE
P-23	DMH-13 TO DMH-14	18" HDPE	62 LF	0.010	HDPE PIPE
P-24	DMH-14 TO DMH-15	18" HDPE	12 LF	0.015	HDPE PIPE
P-25	DMH-15 TO FE-3	18" HDPE	31 LF	0.025	HDPE PIPE
P-26	CB-15 TO DMH-14	12" HDPE	42 LF	0.010	HDPE PIPE
P-27	CB-16 TO DMH-13	12" HDPE	16 LF	0.010	HDPE PIPE
P-28	CB-17 TO DMH-22	12" HDPE	20 LF	0.010	HDPE PIPE
P-29	CB-18 TO DMH-12	12" HDPE	14 LF	0.005	HDPE PIPE
P-30	DMH-20 TO DS-46	12" HDPE	9 LF	0.006	HDPE PIPE
P-31	DS-46 TO DMH-21	12" HDPE	14 LF	0.005	HDPE PIPE
P-32	DMH-14 TO DS-47	12" HDPE	7 LF	0.010	HDPE PIPE
P-33	DS-47 TO DMH-15	12" HDPE	8 LF	0.010	HDPE PIPE
P-34	DMH-16 TO DMH-24	18" HDPE	83 LF	0.005	HDPE PIPE
P-35	CB-11 TO DMH-16	12" HDPE	38 LF	0.005	HDPE PIPE
P-36	CB-10 TO DMH-16	12" HDPE	38 LF	0.005	HDPE PIPE
P-37	CB-13 TO DMH-17	12" HDPE	20 LF	0.029	HDPE PIPE
P-38	DMH-17 TO DMH-14	12" HDPE	68 LF	0.005	HDPE PIPE
P-39	CB-12 TO DMH-17	12" HDPE	21 LF	0.029	HDPE PIPE
P-40	DMH-18 TO DMH-29	24" HDPE	53 LF	0.004	HDPE PIPE
P-41	CB-19 TO DMH-18	12" HDPE	27 LF	0.025	HDPE PIPE
P-42	DS-54 TO DMH-24	12" HDPE	81 LF	0.005	HDPE PIPE



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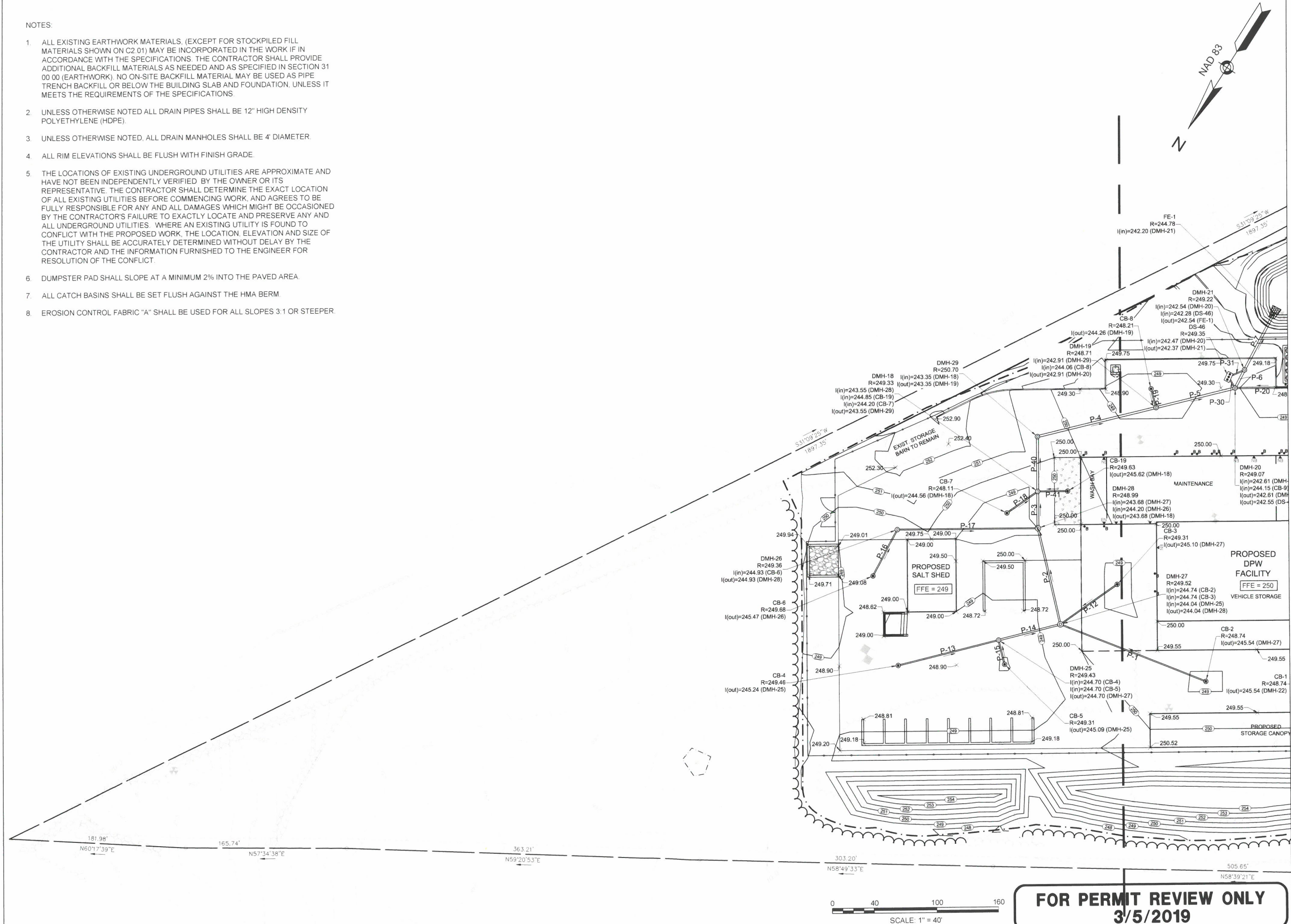
Date: MARCH 5, 2019
Drawn By: EC
Reviewed By: MER
Approved By: JPP
W&S Project No: 2180771

Drawing Title:
GRADING AND DRAINAGE (OVERALL)

Sheet Number:
C5.01


NOTES:

1. ALL EXISTING EARTHWORK MATERIALS, (EXCEPT FOR STOCKPILED FILL MATERIALS SHOWN ON C2 01) MAY BE INCORPORATED IN THE WORK IF IN ACCORDANCE WITH THE SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL MATERIALS AS NEEDED AND AS SPECIFIED IN SECTION 31 00 00 (EARTHWORK). NO ON-SITE BACKFILL MATERIAL MAY BE USED AS PIPE TRENCH BACKFILL OR BELOW THE BUILDING SLAB AND FOUNDATION, UNLESS IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS.
2. UNLESS OTHERWISE NOTED ALL DRAIN PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE (HDPE).
3. UNLESS OTHERWISE NOTED, ALL DRAIN MANHOLES SHALL BE 4' DIAMETER.
4. ALL RIM ELEVATIONS SHALL BE FLUSH WITH FINISH GRADE.
5. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
6. DUMPSTER PAD SHALL SLOPE AT A MINIMUM 2% INTO THE PAVED AREA.
7. ALL CATCH BASINS SHALL BE SET FLUSH AGAINST THE HMA BERM.
8. EROSION CONTROL FABRIC "A" SHALL BE USED FOR ALL SLOPES 3:1 OR STEEPER.



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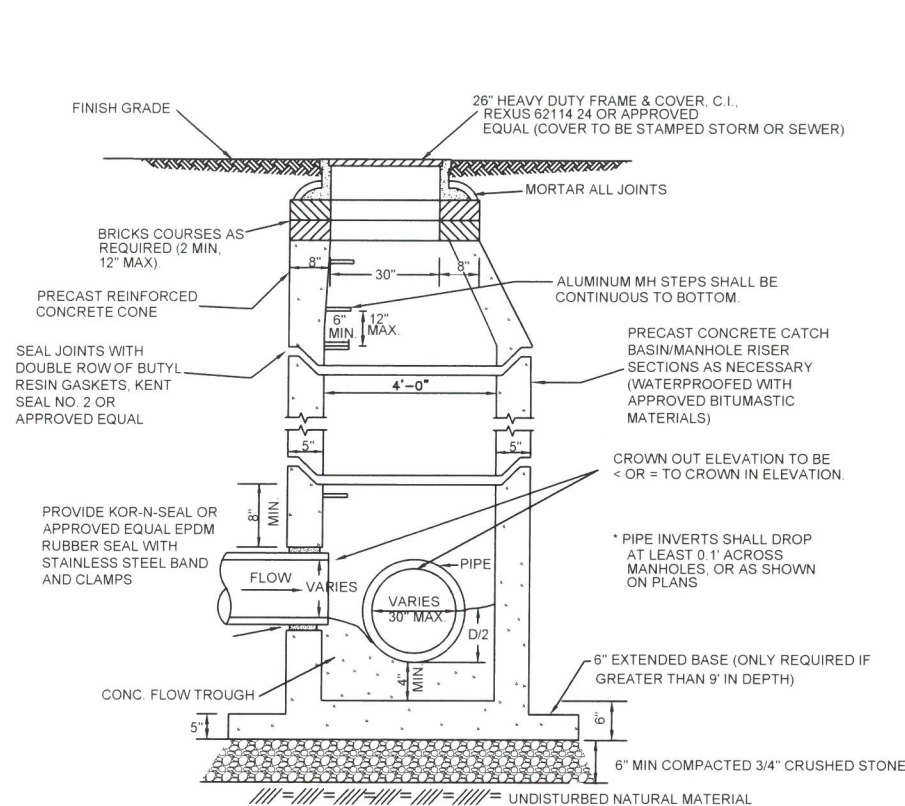
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GRADING AND DRAINAGE PLAN - EAST

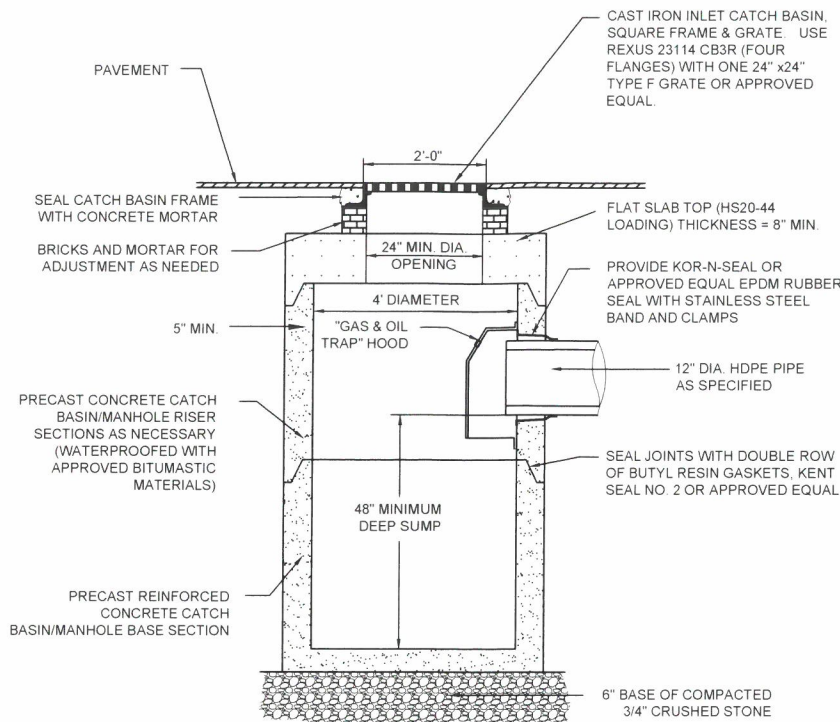
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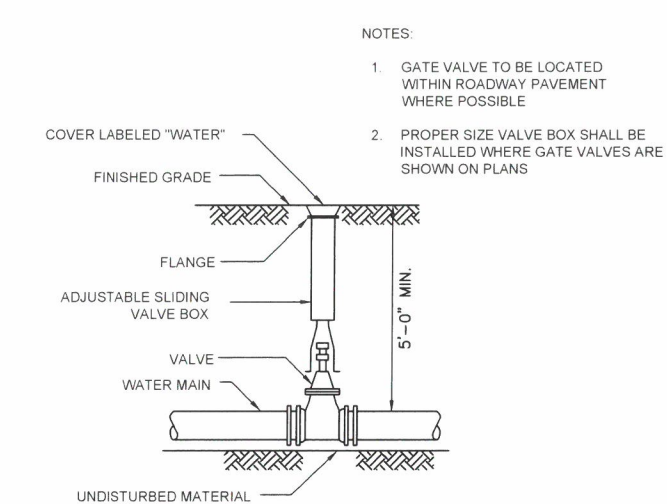




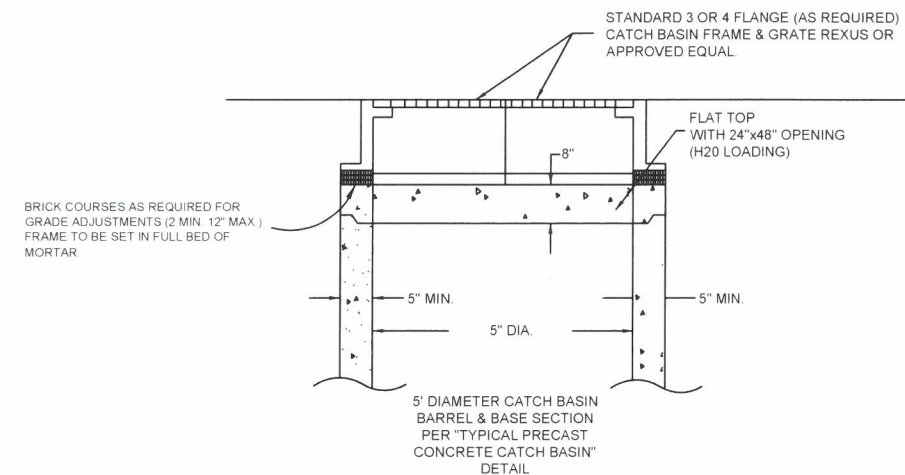
1 TYPICAL PRECAST CONCRETE MANHOLE
SCALE: N.T.S.



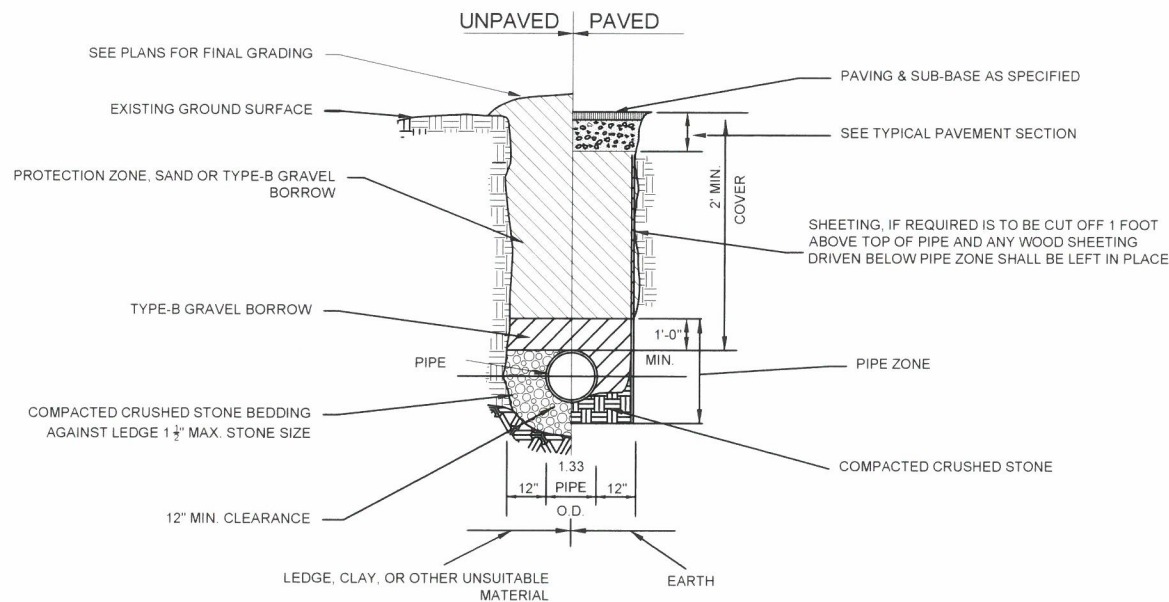
2 STANDARD CATCH BASIN
SCALE: N.T.S.



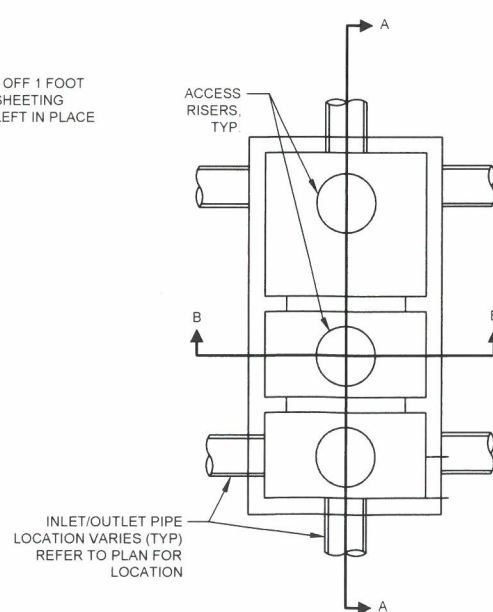
3 VALVE AND BOX DETAIL
SCALE: N.T.S.



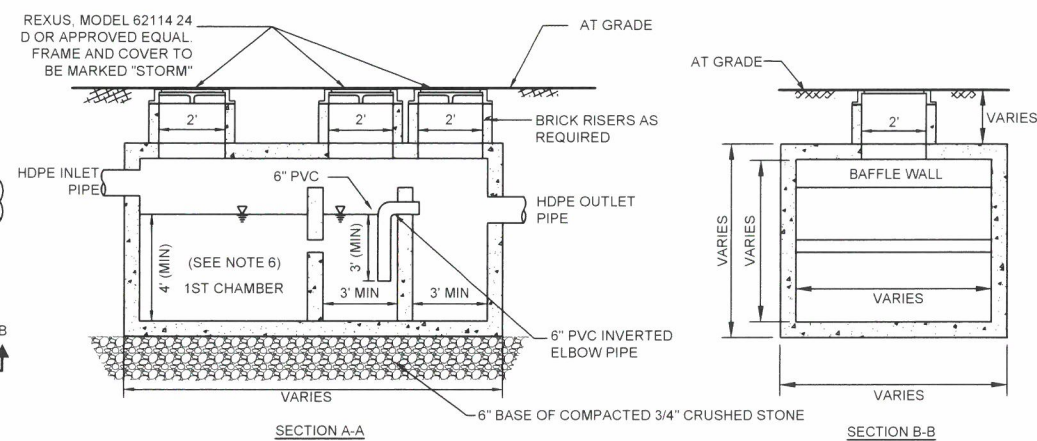
4 DOUBLE GRATE CATCH BASIN
SCALE: N.T.S.



5 TYPICAL HDPE DRAIN TRENCH DETAIL
SCALE: N.T.S.

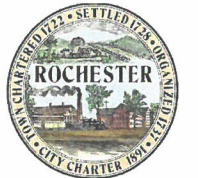


6 OIL GRIT SEPARATOR
SCALE: N.T.S.



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Drawing Title:

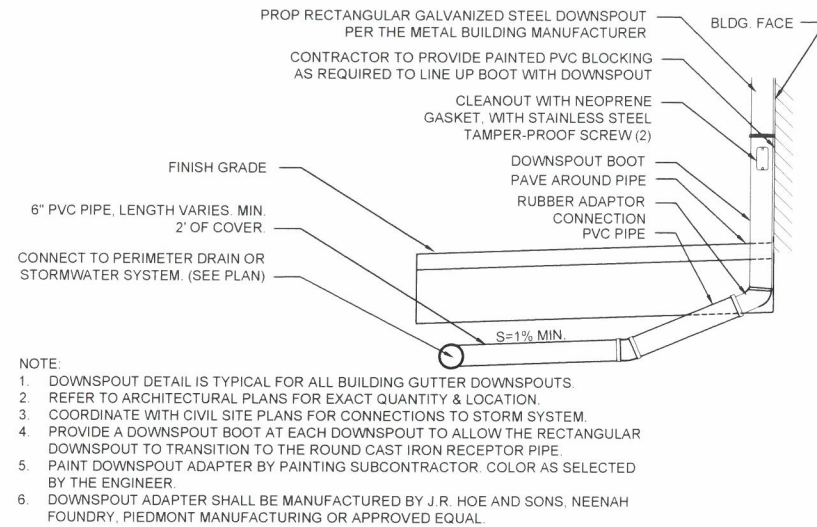
DETAILS

Sheet Number:

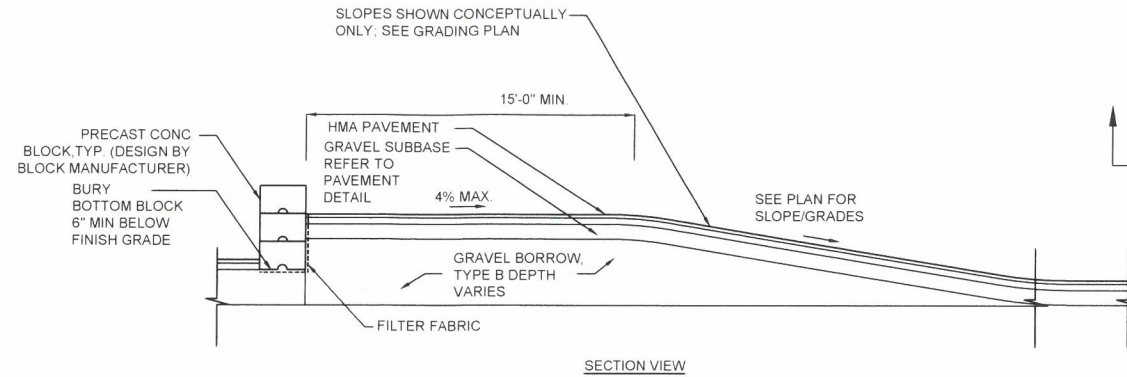
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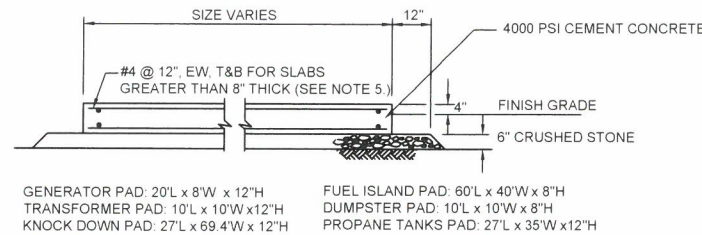
Rev	Date	Description



1 GUTTER DOWNSPOUT CONNECTION DETAIL (EXTERNAL)
SCALE: N.T.S.

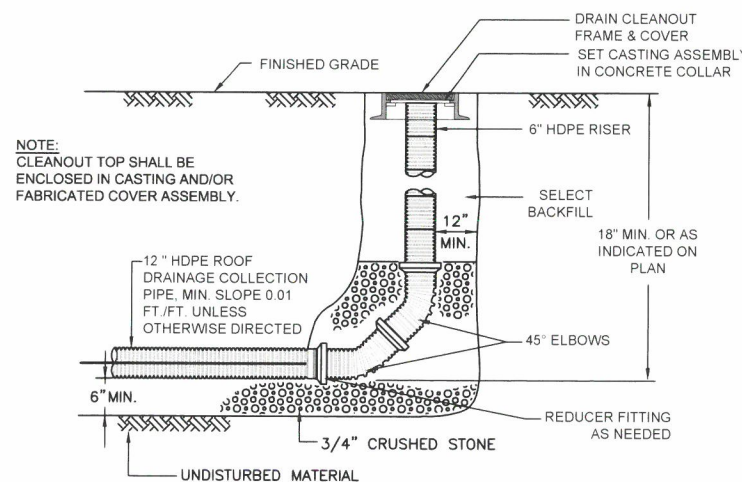


2 SALT SHED CONCRETE BLOCK LOADING RAMP
SCALE: N.T.S.

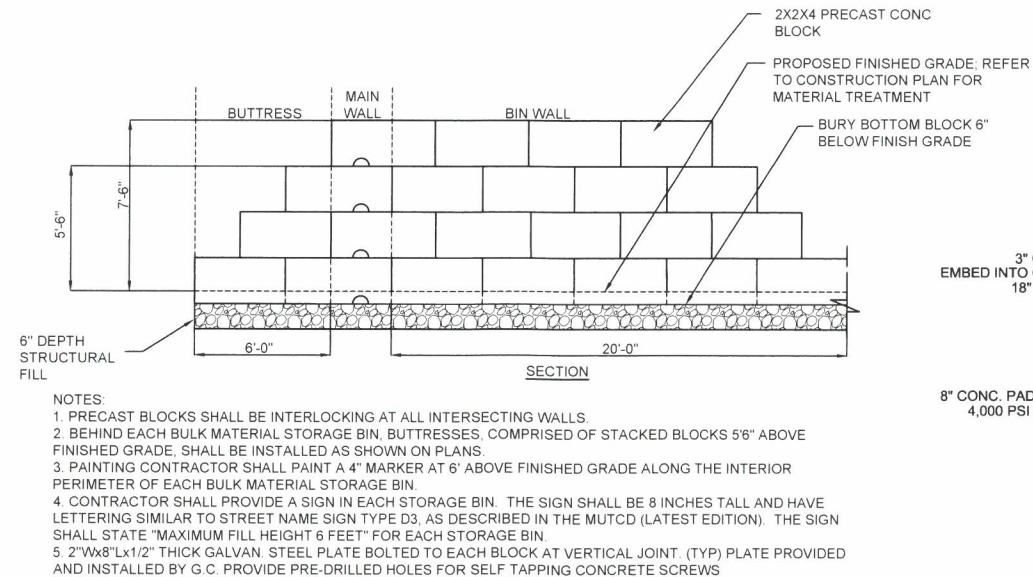


3 CONCRETE PAD
SCALE: N.T.S.

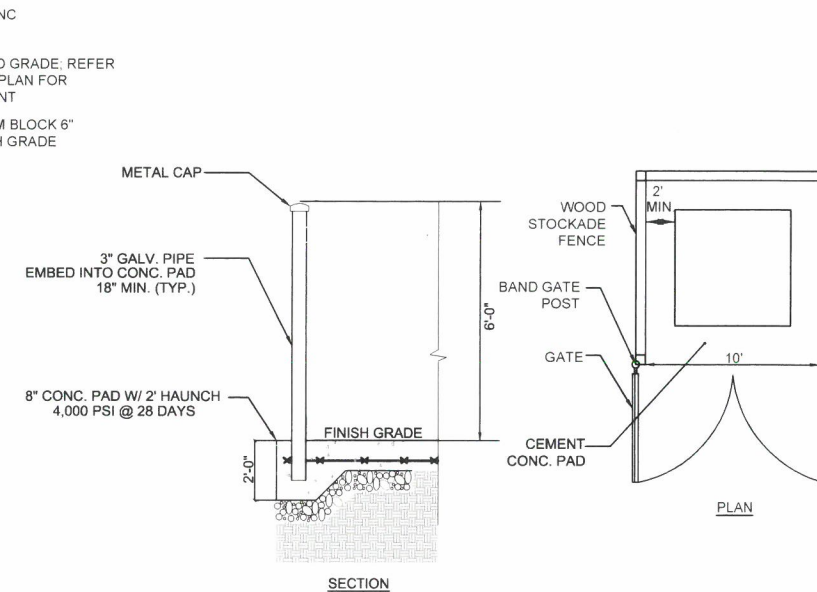
- NOTES:
- GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF ALL CONCRETE PADS.
 - SEE LAYOUT AND GRADING PLANS FOR FINISH GRADE
 - COORDINATE WITH ALL CONTRACTORS AND ADJUST PAD LOCATIONS AND DIMENSIONS IN FIELD
 - SLABS 8" OR LESS IN THICKNESS SHALL HAVE ONE LAYER OF REINFORCING PLACED IN THE TOP ONE THIRD OF THE SLAB.
 - CONTRACTOR TO PROVIDE TRANSFORMER FOUNDATION IN CONFORMANCE WITH ELECTRICAL PROVIDER SPECIFICATIONS



4 CLEANOUT
SCALE: N.T.S.

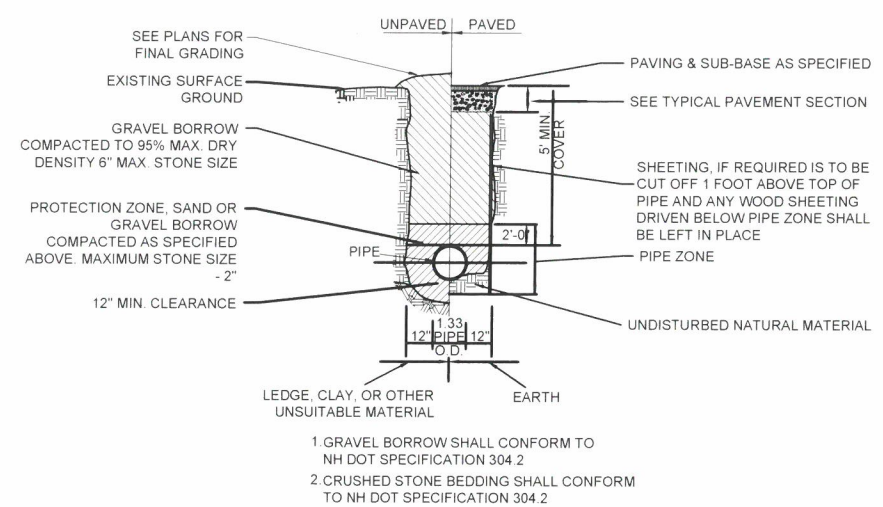


5 PRECAST CONCRETE BLOCK STORAGE BIN WALL DETAIL WITH BUTTRESSES
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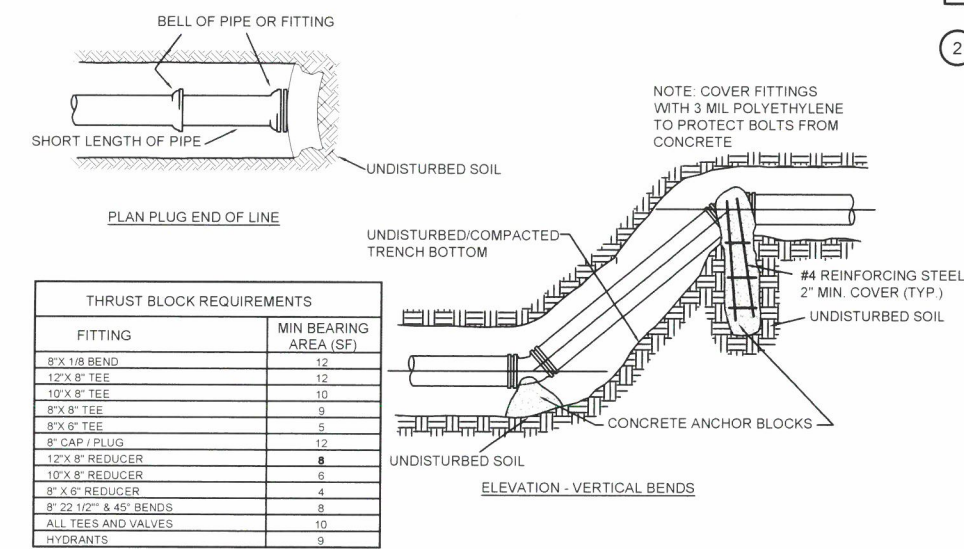


6 DUMPSTER AND ENCLOSURE
SCALE: N.T.S.

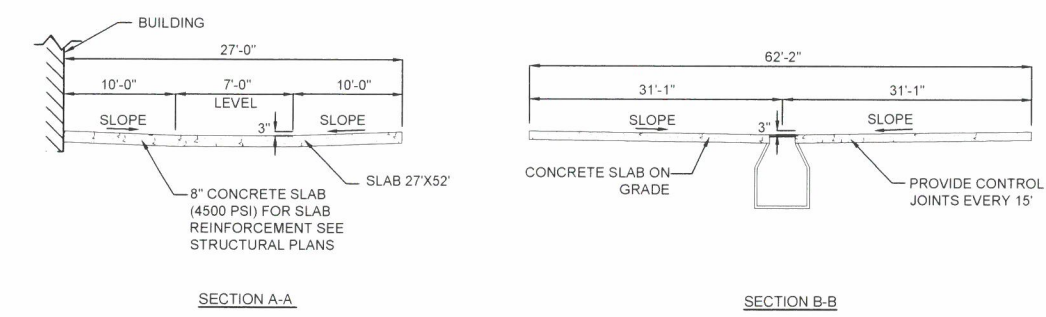
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

1 TYPICAL WATER TRENCH DETAIL
SCALE: N.T.S.



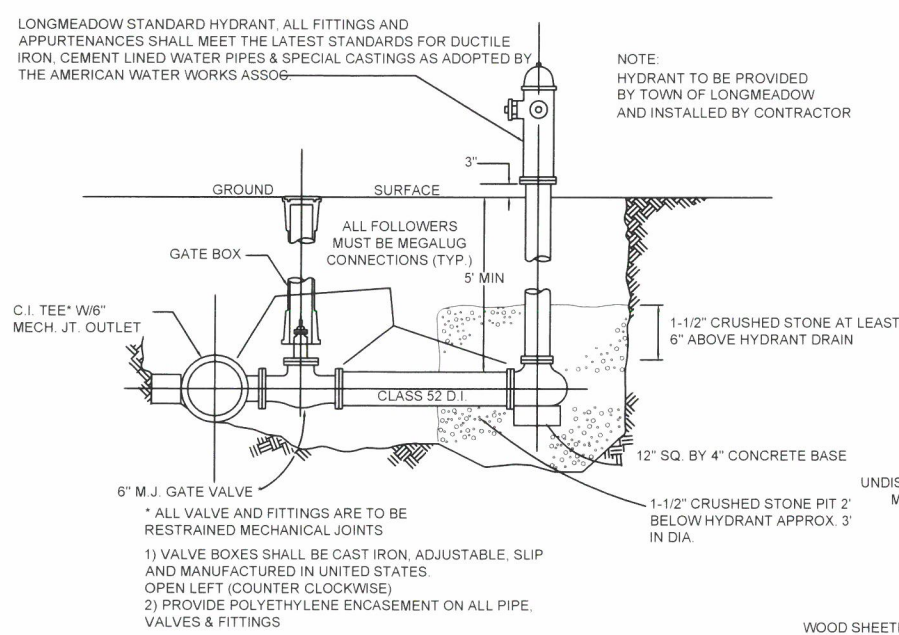
3 ANCHORAGE DETAILS
SCALE: N.T.S.



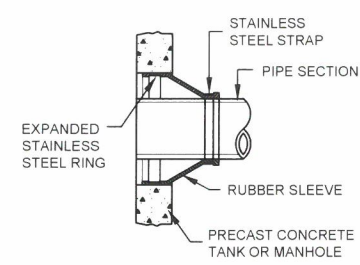
6 CONCRETE PREWASH/KNOCKDOWN PAD
SCALE: N.T.S.

IDENTIFICATION NUMBER	TEXT	PANEL SIZE					NUMERALS & LETTERS				COLOR COMB.	NUMBER OF SIGNS REQUIRED	TOTAL AREA SQ. FT.	POST SIZE AND NUMBER REQUIRED
		WIDTH	HEIGHT	CORNER RADII	BORDER WIDTH	MARGIN WIDTH	NUM. IN.	UPPER CASE	LOWER CASE	SERIES				
R1-1		30"	30"								WHITE ON RED	4	12.50	P5-1 1
R5-1		36"	36"								WHITE ON RED	2	18.00	P5-1 2
R7-8		12"	18"								WHITE ON BLUE	3	4.50	P5-1 1
N/A		12"	18"								BLACK ON WHITE	1	4.50	P5-1 2
R6-1L		36"	12"								BLACK ON WHITE	2	5.00	P5-1 2
N/A		18"	12"								BLACK ON WHITE	1	4.50	P5-1 2
SEE MUTCD, INCLUDING STANDARD HIGHWAY SIGNS, LATEST EDITION														

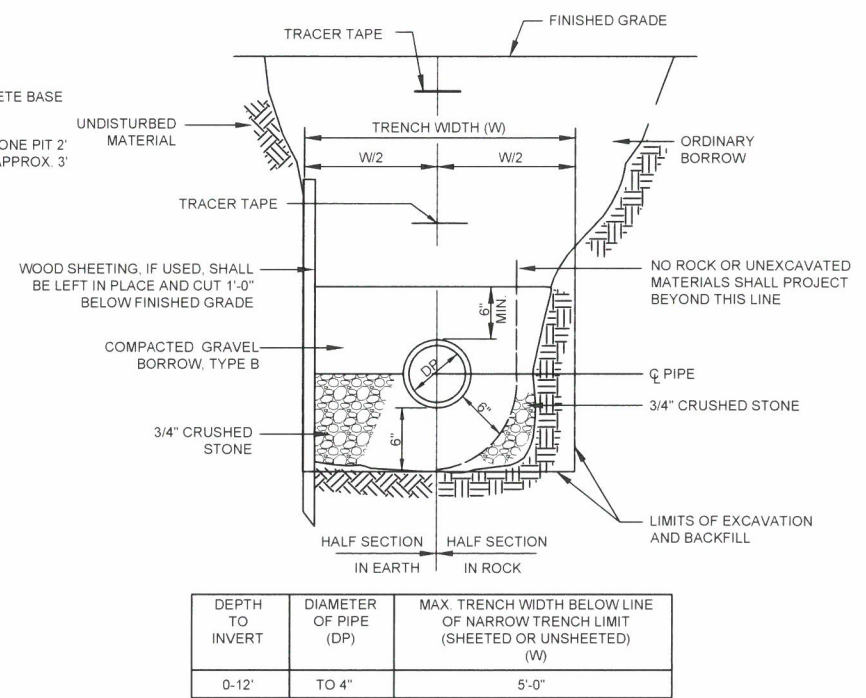
2 PERMANENT TRAFFIC SIGN SUMMARY
SCALE: N.T.S.



4 STANDARD HYDRANT DETAIL
SCALE: N.T.S.



5 PIPE SEAL DETAIL
SCALE: N.T.S.



7 SEWER TRENCH DETAIL
SCALE: N.T.S.

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Project:
CITY OF ROCHESTER, NH

NEW DEPARTMENT OF PUBLIC WORKS FACILITY
288 CHESTNUT HILL RD
ROCHESTER, NH

Weston & Sampson
Weston & Sampson Engineers, Inc.
100 International Drive, Suite 152
Portsmouth, NH 03801
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Consultants:

Seal
MICHAEL E. ROETHER
No. 10542
3/4/19

Revisions:

Rev	Date	Description

Issued For: PERMITTING

SCALE: AS NOTED

Date: MARCH 5, 2019
Drawn By: EC
Reviewed By: MER
Approved By: JPP
W&S Project No: 2180771

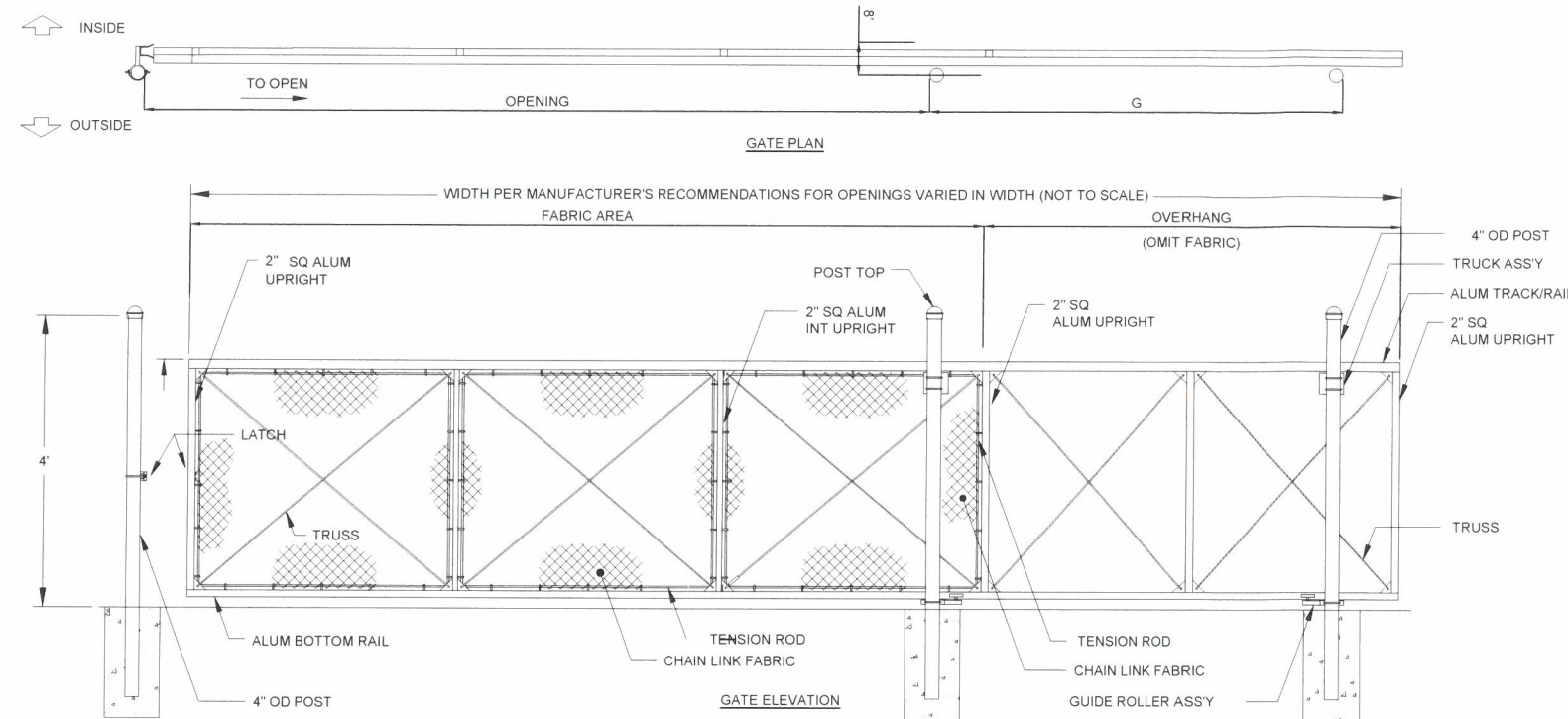
Drawing Title:
DETAILS

Sheet Number:
C6.04

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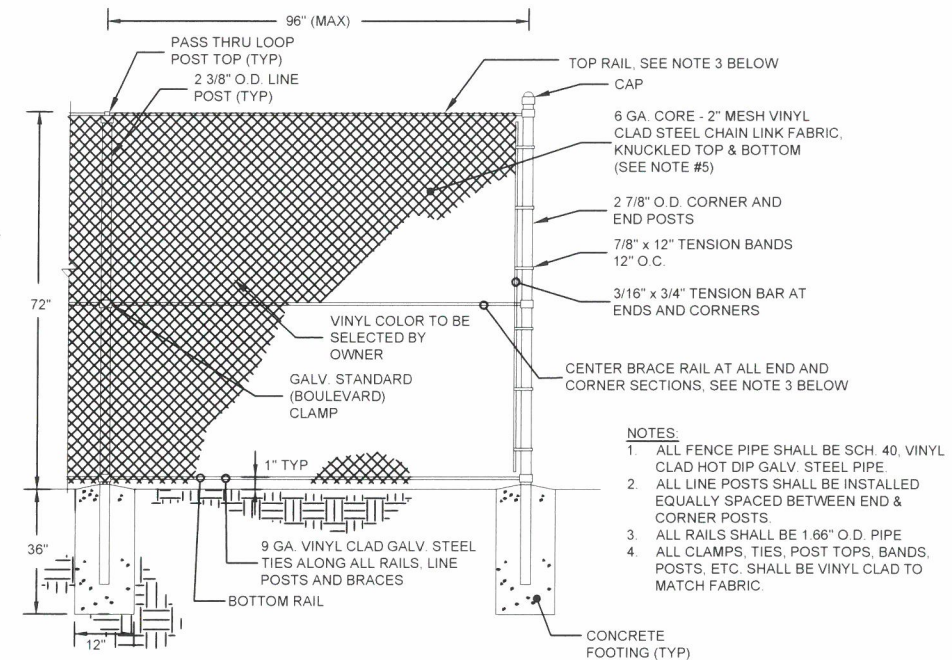


Rev	Date	Description



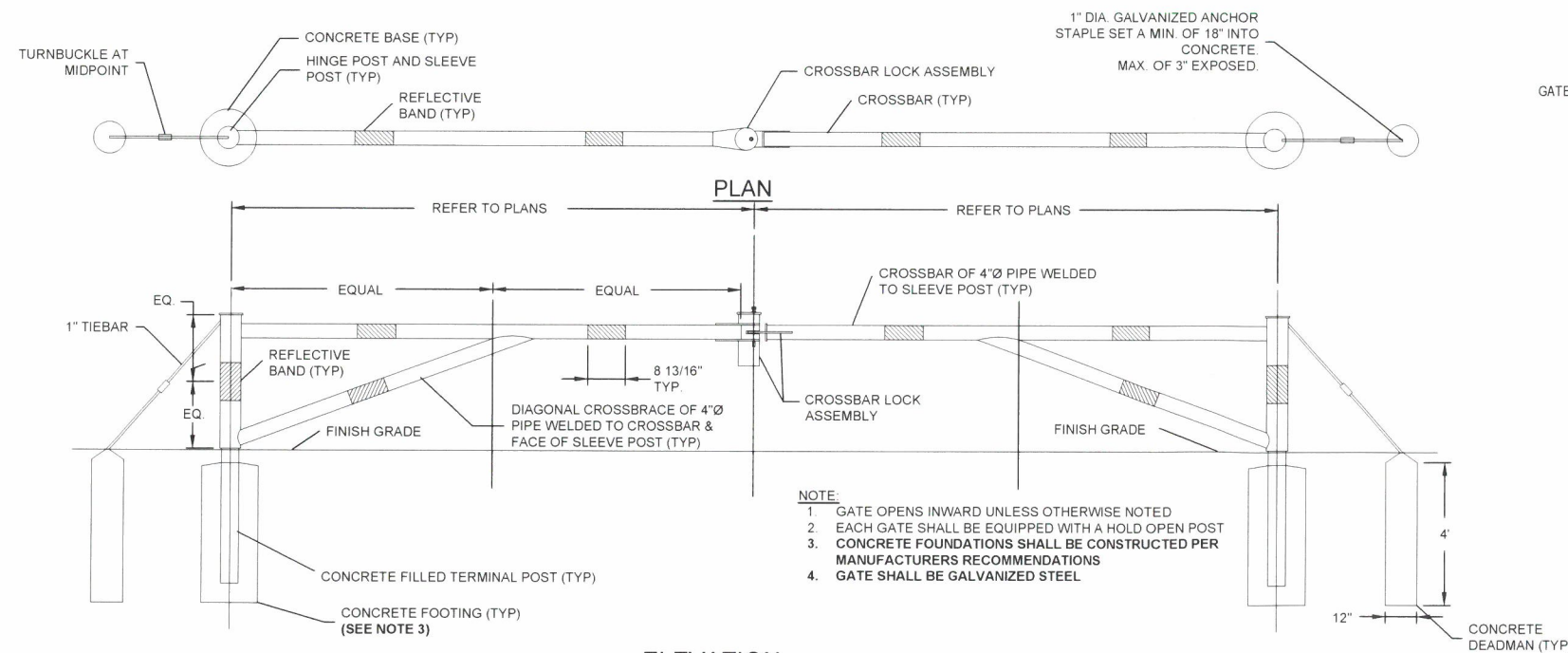
- NOTES:
1. CONCRETE FOOTING SIZE SHALL BE DESIGNED BY MANUFACTURER.
 2. GATE OPENING WIDTHS SHALL BE AS SHOWN ON PLANS.

2 CHAIN LINK FENCE
SCALE: N.T.S.

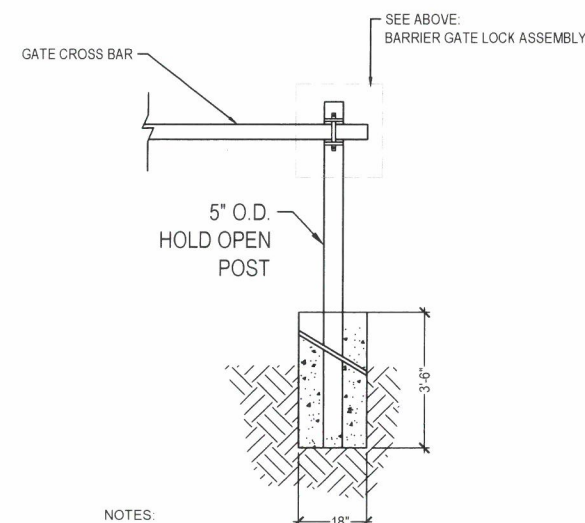


- NOTES:
1. ALL FENCE PIPE SHALL BE SCH. 40, VINYL CLAD HOT DIP GALV. STEEL PIPE.
 2. ALL LINE POSTS SHALL BE INSTALLED EQUALLY SPACED BETWEEN END & CORNER POSTS.
 3. ALL RAILS SHALL BE 1 66" O.D. PIPE.
 4. ALL CLAMPS, TIES, POST TOPS, BANDS, POSTS, ETC. SHALL BE VINYL CLAD TO MATCH FABRIC.

1 SINGLE CANTILEVERED SLIDING GATE DETAIL (BLACK VINYL)
SCALE: N.T.S.



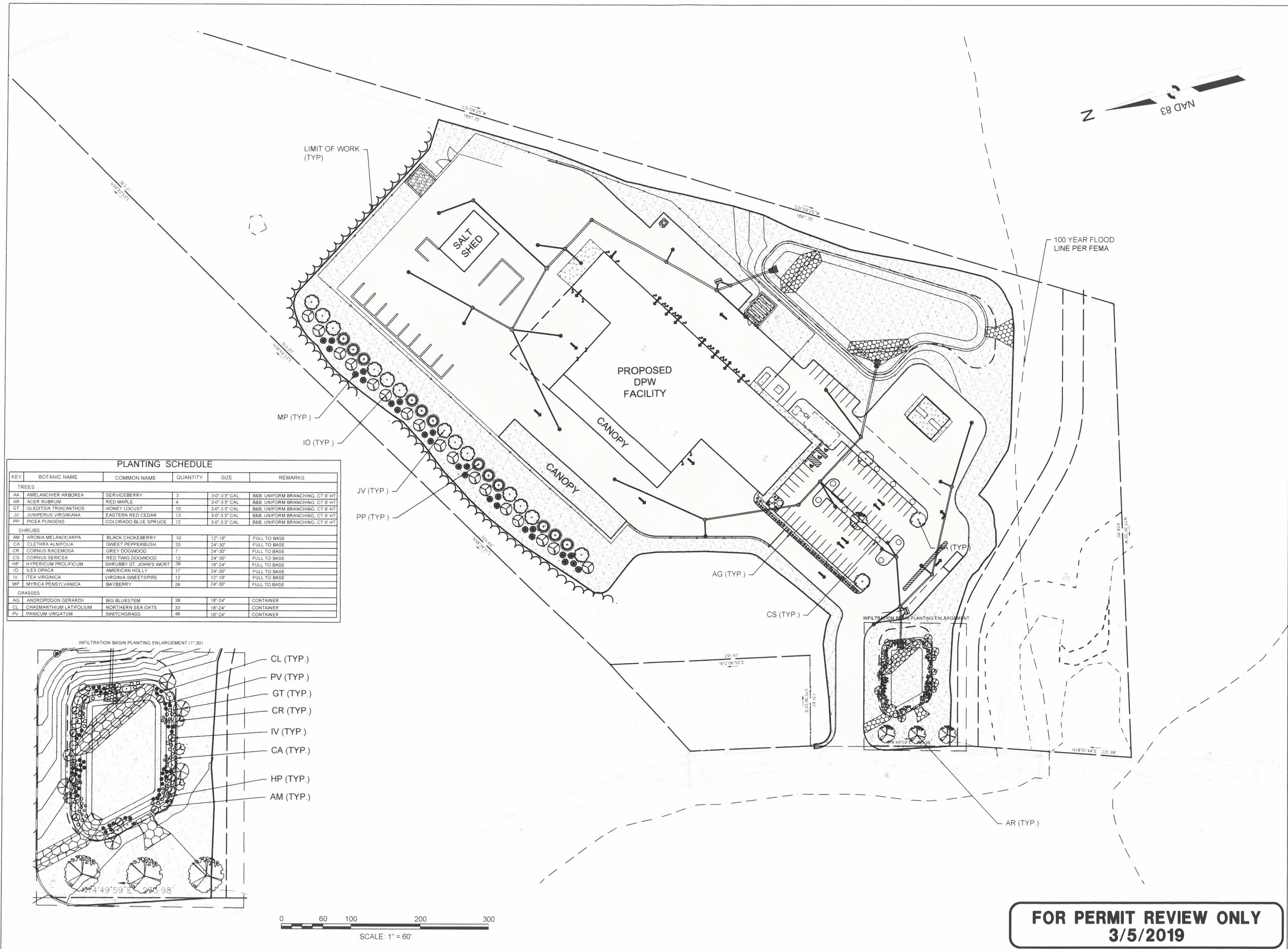
- NOTE:
1. GATE OPENS INWARD UNLESS OTHERWISE NOTED
 2. EACH GATE SHALL BE EQUIPPED WITH A HOLD OPEN POST
 3. CONCRETE FOUNDATIONS SHALL BE CONSTRUCTED PER MANUFACTURERS RECOMMENDATIONS
 4. GATE SHALL BE GALVANIZED STEEL



- NOTES:
1. SEE C3.00 SERIES FOR HOLD OPEN POST LOCATIONS.
 2. FOUNDATION CONCRETE TO BE 3000 PSI MIN.
 3. EXACT LOCATION TO BE DETERMINED IN THE FIELD AND APPROVED BY TOWN BEFORE INSTALLATION.
 4. 5" GALVANIZED PIPE PROVIDED BY MISC. METALS CONTRACTOR. INSTALLATION AND CONCRETE BY GENERAL CONTRACTOR.

3 DOUBLE LEAF SWING GATE
SCALE: N.T.S.

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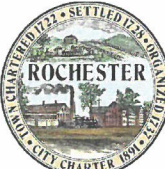


PLANTING SCHEDULE

KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
TREES					
AA	AMELANCHIER ARBOREA	SERVICEBERRY	3	3'-0" x 3'-5" CAL	B&B, UNIFORM BRANCHING, CT 6' HT
AR	ACER RUBRUM	RED MAPLE	4	3'-0" x 3'-5" CAL	B&B, UNIFORM BRANCHING, CT 6' HT
GT	GLEDTISIA TRIACANTHOS	HONEY LOCUST	10	3'-0" x 3'-5" CAL	B&B, UNIFORM BRANCHING, CT 6' HT
JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	13	3'-0" x 3'-5" CAL	B&B, UNIFORM BRANCHING, CT 6' HT
PP	PICEA PLUNGENS	COLORADO BLUE SPRUCE	12	3'-0" x 3'-5" CAL	B&B, UNIFORM BRANCHING, CT 6' HT
SHRUBS					
AM	ARONIA MELANOCARPA	BLACK CHOKEBERRY	10	12"-18"	FULL TO BASE
CA	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	33	24"-30"	FULL TO BASE
CR	CORNUS RACEMOSA	GREY DOGWOOD	7	24"-30"	FULL TO BASE
CS	CORNUS SERICEA	RED TWIG DOGWOOD	12	24"-30"	FULL TO BASE
HP	HYPERICUM PROLIFICUM	SHRUBBY ST. JOHN'S WORT	39	18"-24"	FULL TO BASE
IO	ILEX OPACA	AMERICAN HOLLY	17	24"-30"	FULL TO BASE
IV	ITEA VIRGINICA	VIRGINIA SWEETSPICE	12	12"-18"	FULL TO BASE
MP	MYRICA PENNSYLVANICA	BAYBERRY	26	24"-30"	FULL TO BASE
GRASSES					
AG	ANDROPOGON GERARDII	BIG BLUESTEM	26	18"-24"	CONTAINER
CL	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	33	18"-24"	CONTAINER
PV	PANICUM VIRGATUM	SWITCHGRASS	48	18"-24"	CONTAINER

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Consultants:

Seal:

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Reviewed By: MER

Approved By: JPP

W&S Project No: 2180771

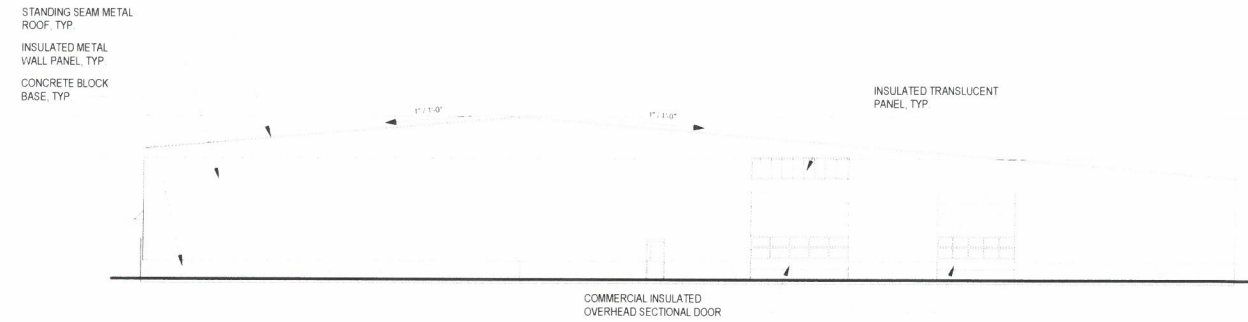
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PLANTING PLAN

Sheet Number:

L1.01

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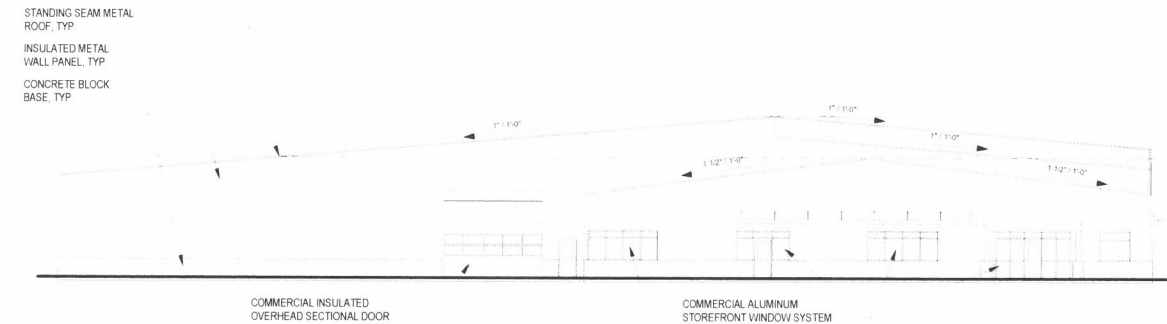


HIGH ROOF
29' - 7"

LOW ROOF
22' - 0"

GRADE
0' - 0"

1 BUILDING ELEVATION - EAST
1/16" = 1'-0"

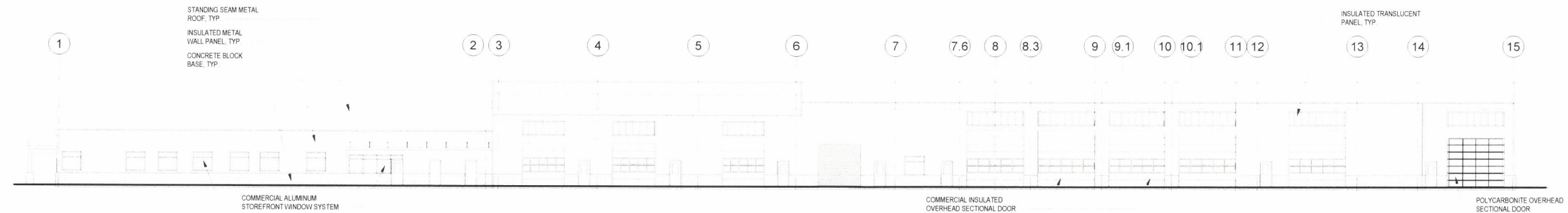


HIGH ROOF
29' - 7"

LOW ROOF
22' - 0"

GRADE
0' - 0"

2 BUILDING ELEVATION - WEST
1/16" = 1'-0"



HIGH ROOF
29' - 7"

LOW ROOF
22' - 0"

GRADE
0' - 0"

3 BUILDING ELEVATION - SOUTH
1/16" = 1'-0"



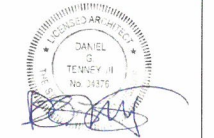
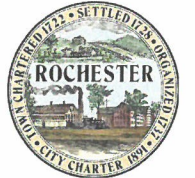
HIGH ROOF
29' - 7"

LOW ROOF
22' - 0"

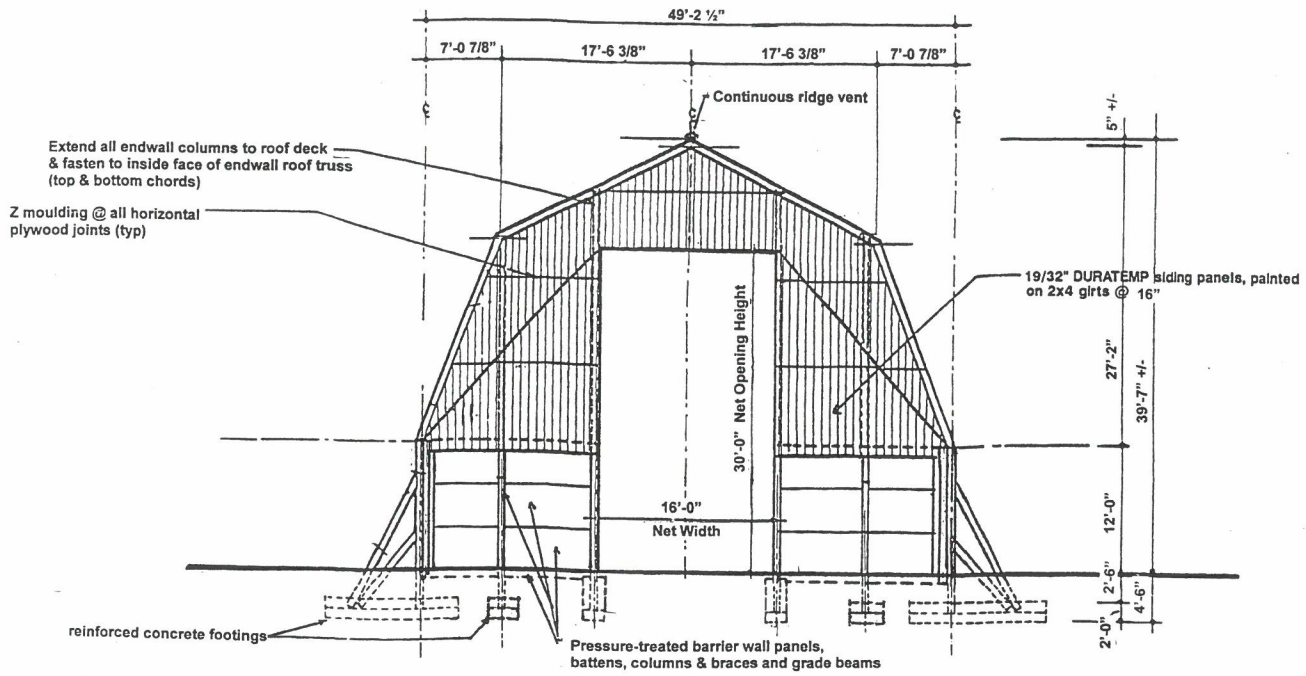
GRADE
0' - 0"

4 BUILDING ELEVATION - NORTH
1/16" = 1'-0"

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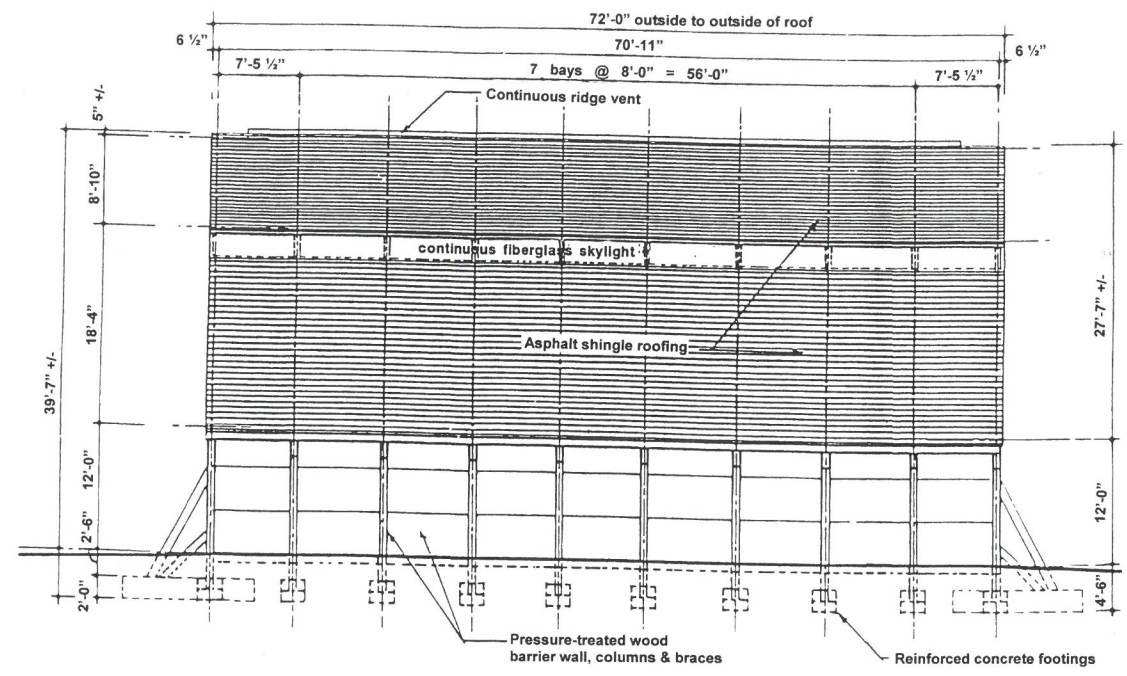


Rev	Date	Description

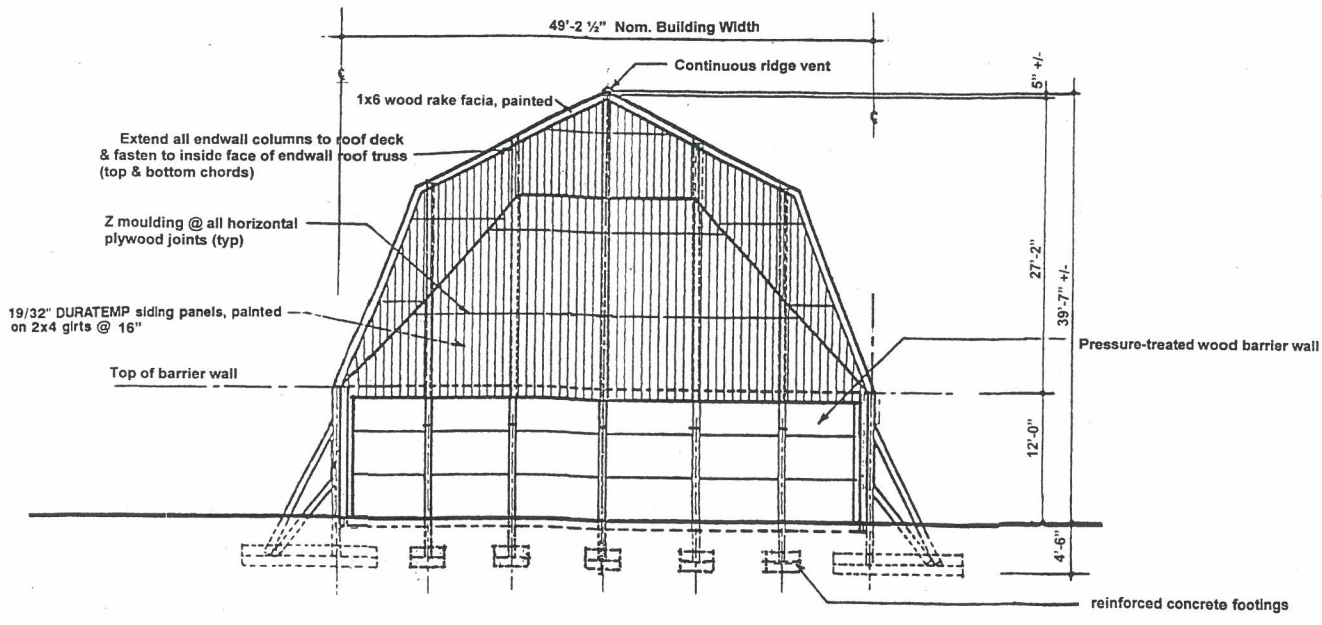


FRONT ELEVATION
SCALE 1/8" = 1'-0"

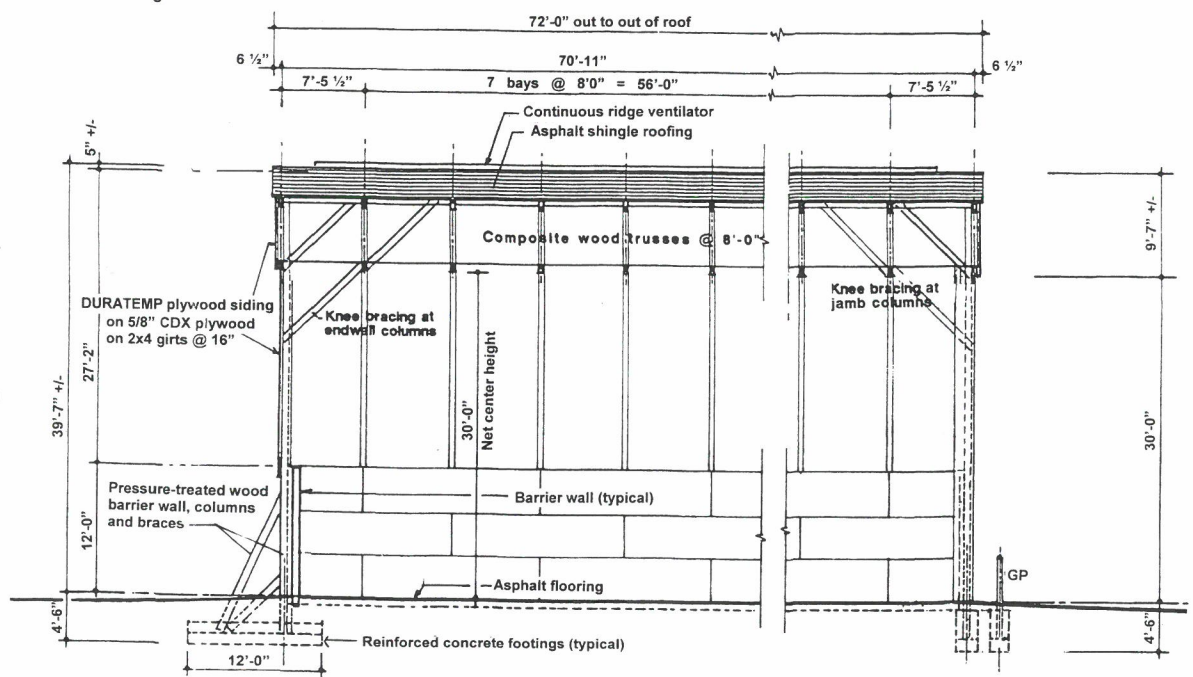
NOTE:
Roofing and Flashing filed sub-bid shall include all roofing and flashing items, including asphalt shingles, ridge ventilator, fiberglass skylights, felt underlayment, rubber closure strips, flashing, drip edges, facias, and associated fastening and painting of items.



TYPICAL SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"



LONGITUDINAL BLDG. SECTION
SCALE 1/8" = 1'-0"

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