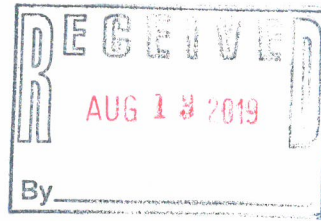




August 13, 2019

Seth Creighton, Chief Planner  
Department of Planning & Community Development  
City of Rochester  
35 Wakefield Street  
Rochester, NH 03867



**RE: Site Plan Application – TRG Response to Comments  
400 North Main Street, LLC – 400 North Main Street, – Tax Map 114 Lot 2  
TFMoran, Inc. Project # 47159.01**

Dear Mr. Creighton:

On behalf of our client, **400 North Main Street, LLC**, TF Moran, Inc. (TFM) respectfully submits the following letter in response to the comments made by the City of Rochester. The following materials have been revised and are included in this submission:

- **Drainage Analysis (2 copies); and**
- **Site Development Plans entitled “Site Development Plans, Tax Map 114 Lot 2, Proposed Auto Dealership, 400 North Main Street, Rochester, New Hampshire”, prepared by MSC a division of TFMoran, Inc., dated Month August 13, 2019 (3 copies at 22”x34, 4 copies at 11”x17”).**

Based on our review of the City of Rochester’s Site Plan Review Regulations, we have updated our request for relief in the form of waivers from the following sections as part of this submission.

**Waiver Request #1**

*Requirement: Site Plan Checklist: Existing Topographic Features: Soil types and boundaries*

*Reason for Waiver: The soil types and boundaries are included on the Soil Boundary Plan, Grading & Drainage Plan, and Pre- and Post- Development Plans.*

**Waiver Request #2**

*Requirement: Site Plan Checklist: Existing Topographic Features: Soil test pit locations*

*Reason for Waiver: The soil test pit locations are included on the Grading & Drainage Plan and Pre- and Post- Development Plans.*

**Waiver Request #3**

*Requirement: Site Plan Checklist: Existing Topographic Features: Percolation test locations*

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48 Constitution Drive, Bedford, NH 03110  
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**Site Plan Submittal**  
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*Reason for Waiver: The percolation test locations are included on the Grading & Drainage Plan and Pre- and Post- Development Plans.*

**Waiver Request #4**

*Requirement: Land Development Regulations Article III Section 10(A) - Number of Required Parking Spaces.*

*Reason for Waiver: The proposed project is a car dealership and the required parking spaces are 99 spaces. Customers of car dealerships do not frequently show up on site on a regular basis, some customers drive around the lot to view. Most customers are relatively quick when visiting car dealerships. The total provided customer spaces is 65. There a 46 proposed customer parking spaces provided around the building to easily separate customer spaces from vehicle inventory. The remaining 19 customer spaces are provided along the rear of the building, intended primarily to store cars requiring maintenance within the service station.*

**Waiver Request #5**

*Requirement: Article III Section 5(D)(8b): At least one broad-leaved shade tree shall be planted in the front buffer for every 40 linear feet (or portion thereof) of the front buffer (not including the area where the driveway(s) penetrate the buffer).*

*Reason for Waiver: Shade trees have been provided every 75 linear feet. Shade trees spaced too closely within the front portion of the proposed lot would prevent potential customers from “window shopping” inventory from the road. Existing auto dealerships in Rochester, including Poulin Chrysler Dodge Jeep Ram dealership across the street from the proposed development, do not have landscaping (other than grassed areas) in the front buffer. Dealerships just a mile north of the site (i.e. Rochester Ford, Rochester Toyota, and Volkswagen of Rochester) also do not have landscaping within the front buffer. The development also proposes flowers and shrubs along North Main Street to improve aesthetics and meet the intent of the regulation.*

**Waiver Request #6**

*Requirement: Article III Section 5(E)(7): There shall be no more than four continuous parallel parking rows on the interior of the parking lot (i.e. parking rows along the perimeter of the parking lot are not situated on the interior) without installation of a landscaped median separating those parking rows from any additional parking rows. The landscaped median shall be at least 6 feet wide and shall be parallel to and run the same length as the adjacent parking rows. See the diagram.*

*Reason for Waiver: This requirement throughout the site is met with 10' to 14'-wide landscape medians except for one instance, a 5<sup>th</sup> row of vehicle inventory located along the North Main Street Frontage. The additional row of vehicle inventory is provided along the frontage to offer potential customers “window shopping”.*

We appreciate your consideration of these matters and look forward to presenting this project to you in the near future.

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To facilitate your review, we have provided your comments along with our responses, which are shown in ***bold italics***.

**STAFF'S REVIEW COMMENTS:**

**(A) General Comments:**

1. Please check/correct the north arrow on sheets A1.1, A1.2, A1.3.

***Comment addressed.***

2. Please include a scale bar on sheet C-07.

***Comment addressed.***

3. Site data on sheet C-04 includes a reference to a state-owned portion of the lot that City records indicate is part of Map 114 Lot 2. What is the status of this review? How does this impact the project?

***The client is coordinating the land transfer with the State of New Hampshire. The land transfer process is pending Planning Board approval. Once approved, the State of New Hampshire will proceed with the land transfer.***

4. Sheet C-04 indicates a future access driveway to abutting property. The lot cover calculations provided in the application are based on the entire lot size. No development is currently proposed on the southern portion of the lot. Please be aware that the maximum impervious area for a lot in the Highway Commercial District is 85%.

***Comment noted.***

5. A portion of the lot is located within FEMA Zone AE. The floodplain should be shown on a sheet with the proposed development.

***The floodplain is shown on the existing conditions plan. The nearest flood zone from the limit of grading is approximately 170 feet away.***

6. Wetlands and wetland buffers should be shown on a sheet with the proposed development site plan. Wetlands are shown on the GIS data layer in the northern portion of the lot. Has a wetland scientist verified the location of wetlands?

***Wetlands have been delineated by a CWS and there are no wetlands in the northern portion of the lot.***

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7. Page 1 of the Traffic Memorandum states that the site is approximately 11 acres. Page 1 of the Site Plan Application Submittal Narrative states that the lot is approximately 13.3 acres. Please explain and correct.

***Please reference Comment #3. The State of New Hampshire owns the difference of the two values. Upon Planning Board approval, the State of New Hampshire will transfer said portion so that the entire lot totals 13.3 acres***

8. This site was required to actively monitor several ground water wells. Please submit status of these wells and quality of groundwater.

***The site underwent monitoring and remediation under review and jurisdiction of NHDES Waste Management Division. See the attached Groundwater Management Permit (GMP) monitoring event report and narrative.***

**SITE PLAN REGULATION ARTICLE III:**

**(B) Section 2- Architecture**

1. Please explain what energy/water conservation measures are proposed. Compliance with LEED standards is encouraged.

***This project will meet the requirements of the New Hampshire State Building code. Currently there is no plan to achieve a LEED standard.***

**(C) Section 5 – Landscaping**

1. Regarding the request to waive street tree requirements, staff will not be supporting this request because street trees are placed 200' apart. However, we would support a waiver request if two more street trees, equally spaced from the trees shown, were added to the "loam and seed" area south of the proposed entrance, AND, if flowers and low growing shrubs were planted along the entire length of the pavement in the loam and seed areas north and south of the proposed entrance. This will also address the 15' front landscaping buffer requirement, which you hadn't addressed.

***Trees spaced 75' and flowers and low growing shrubs have been proposed along the right of way between the proposed off-street parking. Please refer to the updated Landscape Plan.***

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2. Regarding the waiver request to plant less trees around the parking lot, the southern half of the west (*Seth Creighton's response for clarification: "Regarding the waiver request to plant less trees around the parking lot, the southern half of the western property line and southern property line proposed tree count is supportable, but the northern property line and northern half of the western property line need tree proposed (these areas show existing vegetation, but the reality is that the existing vegetation is scrubby, won't mesh well with the new construction, and likely won't last when the site is built)."*)

***Comment addressed. Please refer to the updated Landscape Plan.***

3. A four-foot foundation planting buffer is recommended to improve aesthetics of development. Plantings within this buffer can also help reduce heating and cooling costs. Please address.

***Due to the commercial use of the building and numerous garage and door entrances/exits, landscaping around the building is proposed to maximum extent practicable.***

4. Did a landscape architect design the landscaping? If so, please include their stamp and signature on the final plan set. If not, why not?

***A landscape architect designed the landscaping plan. A stamp is now provided.***

5. The title of the Landscape Legend is difficult to read, please correct.

***Comment addressed.***

6. Please call for the remainder of the lot to be loamed and seeded.

***Comment addressed.***

#### **(D) Section 6 – Lighting**

1. What lighting is proposed at the front entrance?

***The front entrance lighting design and detail has been updated and specified on the "Light Plan, Schedules and Specifications".***

2. Please provide a detail of the wall mounted exterior lighting.

***Comment addressed.***

#### **(E) Section 9 – Operational Issues**

1. What are the hours of operation? Please note this on the plan.

***Comment addressed in "Site Data" on Site Layout Plan.***

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2. Where will snow be stored? The one area shown is too small for the entire site, and will be unavailable upon development of the lower portion of the lot.

***Please refer to the Site Plan Layout for snow storage locations. Snow will be stored either within the grassed area at the end of the drive aisle south of the development or in display parking areas throughout the site. Excess snow shall be transported off site for disposal in accordance with NHDES regulations.***

3. Please explain where vehicles will be washed, how wash water will be treated, and where wash water will be drained to.

***A wash bay is located on the northwest corner of the proposed building. The wash water will enter an oil-water separator, where it will be treated, and release into the sanitary sewer system.***

#### **(F) Section 10 – Parking and Circulation**

1. The plan shows 65 spaces for employees, visitors, and vehicles left for service. This includes 3 accessible spaces, which is the number required for a 65 space parking lot. Plan note on C-04 regarding the number of spaces should be corrected to read 4 accessible spaces required for 99 parking spaces. Recommend that four accessible spaces are provided.

***The plan, notes, and calculations have been corrected to reflect 4 accessible spaces required for 99 parking spaces.***

2. Typical parking layout on Sheet C-11 indicates that 18' length is provided and 19' is required. Please correct this note. 18 feet is required.

***Comment addressed.***

3. What is proposed for the existing curb cuts that won't be used for this development? Please proposed to close them.

***A proposed development for the remainder is being proposed in the near future to revitalize the commercial corridor and foster economic development and business opportunities for the community. Because there are major plans to enhance this portion of the lot, in the meantime these existing curb cuts will be restricted from vehicle access with jersey barriers and the portion of the lot that is not being developed at this time will be loamed and seeded.***

#### **(G) Section 12 – Public Health and Safety**

1. Applicant must provide information on storage of hazardous fluids.

***The applicant will supplement this information prior to the TRG Hearing.***

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2. Please submit a Spill Prevention Plan

*The applicant will supplement this information prior to the TRG Hearing.*

**(H) Section 13 – Stormwater Management**

1. Is there an approved SWPPP? Note 1 on Sheet C-09 references a SWPPP.

*A SWPPP will be completed prior an NOI and construction begins.*

2. Soil boundaries are difficult to determine, please clarify.

*A “Soil Boundary Plan” has been added to the Site Development for clarity.*

3. Stormwater management calculations were submitted late and are still under review, and maintenance plan not provided.

*Comment noted. An Operation & Maintenance Plan was provided and can be found within the Drainage Analysis Report under Section 6: Operation & Maintenance Manual.*

4. Suggest that parking lot medians be used as rain gardens.

*Although this is a thoughtful idea to provide Low Impact Design, the project is under the jurisdiction of NHDES Alteration of Terrain and regulations prevent bioretention areas (aka rain gardens) from being located in areas that have contaminants in soil above site specific soil standards.*

5. Test pit/perc test/groundwater information needs to be submitted.

*Comment noted. This information was provided and can be found within the Drainage Analysis Report under Section 3.*

**(I) Other**

1. Sidewalk. This lot is within the City’s Urban area, which is planned to have sidewalk on all streets within this area, per Site Plan Regulation Article III Section 11. Please propose sidewalk along the entire lot frontage.

*Comment addressed on Site Layout Plan.*

2. Zoning Ordinance 275.6.f.8.C states that parking lots shall be interconnected between sites. A note is on the plan stating “future access driveway to abutting property”, however, this driveway deadends in the middle of the lot. Please broaden this note/show that a connection will be made to the existing abutting lot (306 No. Main St), any abutting lot, or any future development.

*Comment addressed on Site Layout Plan.*

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3. The existing sign (including the base) must be removed.

*Comment addressed on Site Preparation & Demolition Plan.*

**(J) Proposed General and Subsequent Conditions of Approval**

1. Prior to site work beginning please submit a letter from a NH licensed surveyor stating the lot corners are pinned.

*The applicant agrees to address this as a condition of approval.*

2. An as-built survey stamped by a NH licensed surveyor must be submitted prior to Certificate of Occupancy of this use.

*The applicant agrees to address this as a condition of approval.*

3. Secondary spill containment is required for all hazardous materials (oils/antifreeze/etc...), as well as spill kits. At the time of Building Permit application, please submit narrative explaining how these will be met.

*The applicant agrees to submit this with the Building Permit Application.*

4. Exterior storage of materials/parts is prohibited.

*The applicant agrees not to store materials and parts outside.*

5. Clear address identification is be required; at the Building Permit stage this is to be discussed with the Fire Dept., and implemented prior to certificate of occupancy.

*The applicant agrees to coordinate with the City to identify an address for the development.*

**DEPARTMENT OF PUBLIC WORKS COMMENTS:**

**General Comments**

1. Designer needs to finalize plans on drainage and final grading. There may be additional comments after these are reviewed

*Revised Grading and Drainage Plans have been finalized.*

2. Determine from NHDES (or others) is site is completely clean and if monitoring wells shall be abandoned or maintained in place. If wells stay provide notes on well protection

*Remedial activities were conducted from March to July 2013, in accordance with the NHDES. The Remedial Action Implementation Report was submitted to NHDES on August 1, 2013. Subsequent to the completion of remedial activities and post-*

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***remedial groundwater monitoring, a Groundwater Management Permit (GMP) was issued for the Property on August 29, 2017. Periodic groundwater monitoring is ongoing and includes the collection of groundwater samples from selected monitoring wells at two-year intervals (i.e., once every two years). The groundwater samples are analyzed for dissolved concentrations of arsenic (five wells) and 1,4- dioxane (one well). Redevelopment activities at the property will be required to maintain the integrity of the monitoring wells. See the attached Groundwater Management Permit (GMP) monitoring event report and narrative.***

**Drainage Comments**

3. Designer needs to finalize plans on drainage design including stormwater infiltration systems

***Drainage plans have been finalized, which include stormwater infiltration systems.***

4. Catch basin covers shall be 24"x24" or 24" diameter

***Comment addressed on Details.***

**Sewer Comments**

5. Add sewer pipe/MH detail

***Comment addressed on Details.***

6. Add note on how the connection at existing SMH in street will occur

***Comment addressed on Utility Plan.***

7. Add details to sediment/oil separator including, inverts, elevations, access risers

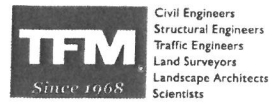
***Comment addressed on Details.***

8. Make sure sewer MHs frames and covers are as specified in City standards

***Comment addressed on Details.***

9. Provide anticipated sewer flows and complete a commercial sewer flow survey (see DPW)

***Sewer flows will be provided.***



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**Water Comments**

10. Water main in street is 20", not 6".

***Comment addressed on Utility Plan.***

11. To ensure proper fire protection water pressure is available, provide required pressure from fire protection designer

***We will coordinate with a Fire Protection Engineer to ensure proper fire protection water pressure is available.***

12. Hydrant along North Main St, is currently bagged and not in use. The City will require that developer repair the hydrant. DPW will determine what needs to be done.

***A note has been added to the plan to indicate that the hydrant will need to be repaired after DPW determines issue(s).***

13. For the fire suppression connection provide a utility room with the following:

- o Back flow prevention with dual check valve assembly
- o Reduced pressure detector assembly
- o Check valve located before the sprinkler system

***Comment noted. The building Fire Suppression system will be designed as required by code. Plans and documents indicating such design will be submitted to the City building department prior to issuance of permit required to perform such work. The design and specification of such system has not yet begun at this early stage of the project.***

**ASSESSING DEPT. COMMENTS:**

1. Our office will need to assign an address to this parcel.

***Comment noted.***

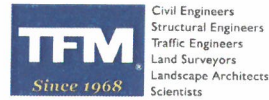
**FIRE DEPT. COMMENTS:**

1. Request a truck turning plan.

***Truck movement plans have been added to the Site Development Plan set for both a tractor-trailer as well as Rochester Fire Department ladder truck.***

2. Building features will be reviewed upon application for building permit.

***Comment noted.***



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**POLICE DEPT. COMMENTS:**

1. Overall I think this is a good plan my only issue is with concerning the entrance/exit to the project. While the use does not generate high volume this can be a difficult roadway to enter when turning left across multiple lanes of traffic.

In looking at the big picture for parcel with potential for development on the southern portion I would like to see the majority of exiting traffic flow through a signalized intersection to reduce the chances of traffic accidents. We currently have issues with traffic accidents along this route at various locations. The southern entrance to the parcel which aligns with Poulin Chrysler would be ideal for a signalized intersection.

The current design is appropriate for this use, but I would like to see as conditions of approval as the second part of the property is developed and a signalized intersection being likely the exiting traffic from the dealership be routed through the shown access way on to the southern part of the property. The current exit as shown now would be converted into a left turn only exit from the property. This will cut down on the potential for accidents of vehicle trying to cross multiple lanes to head north on Farmington Rd.

***The applicant has coordinated with New Hampshire Department of Transportation about a signalized intersection, which is planned for future development of the site's Southern portion.***

**ECONOMIC DEVELOPMENT DEPT. COMMENTS:**

1. No concerns.

We trust that the above responses satisfy the concerns expressed in the City of Rochester's comments. Should you wish to further discuss any of the above please contact us so that we may meet and resolve any outstanding concerns.

Respectfully,  
**MSC a division of TFMoran, Inc.**

Hannah Giovannucci, PE  
Project Manager

HEG/rck

GENERAL INFORMATION

FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT:

OWNER

400 NORTH MAIN STREET, LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

APPLICANT

400 NORTH MAIN STREET, LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

PREPARED FOR

400 NORTH MAIN STREET, LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

RESOURCE LIST

PLANNING/ ZONING DEPARTMENT

31 WAKEFIELD STREET  
ROCHESTER, NH 03867  
(603) 335-1338  
MARK SULLIVAN, PLANNING AND ZONING  
CITY MANAGER DESIGNEE

BUILDING DEPARTMENT

31 WAKEFIELD STREET  
ROCHESTER, NH 03867  
(603) 332-3508  
JIM GRANT, DIRECTOR

PUBLIC WORKS

45 OLD DOVER ROAD  
ROCHESTER, NH 03867  
(603) 332-4096  
PETER NOURSE, P.E., DIRECTOR

POLICE DEPARTMENT

23 WAKEFIELD STREET  
ROCHESTER, NH 03867  
(603) 330-7127  
PAUL TOUSSAINT, CHIEF

FIRE DEPARTMENT

37 WAKEFIELD STREET  
ROCHESTER, NH 03867  
(603) 335-7545  
MARK KLOSE, CHIEF

ASSOCIATED WITH

ARCHITECT

TW DESIGNS, LLC  
254 DRAKE HILL ROAD  
STRAFFORD, NH 03884  
(603) 664-2181

GEOTECHNICAL ENGINEER

S.W. COLE ENGINEERING, INC.  
10 CENTRE ROAD  
SOMERSWORTH, NH 03878  
(603) 692-0088

LIGHTING DESIGN

SK & ASSOCIATES, INC.  
20 CARVER CIRCLE  
CANTON, MA 02021  
(781) 821-1700

SOIL SCIENTIST

WHITESTONE ASSOCIATES, INC.  
352 TURNPIKE ROAD, SUITE 320  
SOUTHBOROUGH, MA 01772  
(508) 485-0755

SURVEYOR

DOUCET SURVEY, INC.  
102 KENT PLACE  
NEWMARKET, NH 03857  
(603) 659-6560

TRAFFIC ENGINEER

TFMORAN, INC.  
48 CONSTITUTION DRIVE  
BEDFORD, NH 03110  
(603) 472-4488  
JENNIFER PORTER, PE

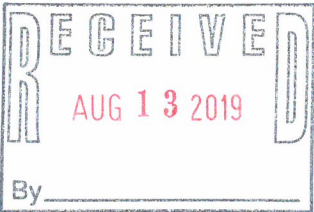
WETLAND SCIENTIST

GOVE ENVIRONMENTAL SERVICES  
8 CONTINENTAL DRIVE  
EXETER, NH 03833  
(603) 778-0644

PROPOSED AUTO  
DEALERSHIP

400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

JULY 9, 2019  
(REVISED AUGUST 13, 2019)



INDEX OF SHEETS

SHEET	SHEET TITLE
C-01	COVER
C-02	NOTES & LEGEND
C-03	SOIL BOUNDARY PLAN
C-04	SITE PREPARATION & DEMOLITION PLAN
C-05	SITE LAYOUT PLAN
C-06	GRADING & DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	LANDSCAPE PLAN
C-09	LANDSCAPE DETAILS
C-10	EROSION CONTROL PLAN
C-11	EROSION CONTROL NOTES
C-12	WB-67 TRUCK MOVEMENT PLAN
C-13	FIRE TRUCK MOVEMENT PLAN
C-14 TO C-17	DETAILS

REFERENCE BY ASSOCIATED PROFESSIONALS

1 TO 2	EXISTING CONDITIONS (DOUCET SURVEY)
A1.1 TO A1.3	PROPOSED FLOOR & ROOF PLANS (TW DESIGNS, INC.)
A3.1 TO A3.2	PROPOSED EXTERIOR ELEVATIONS (TW DESIGNS, INC.)
-	EXTERIOR ELEVATION RENDERING (TW DESIGNS, INC.)
SL1	LIGHTING PLAN, SCHEDULES, AND SPECIFICATIONS (SK & ASSOCIATES, INC.)

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
TOWN SITE PLAN	PENDING	PENDING	PENDING
NHDES ALT. OF TERRAIN	PENDING	PENDING	PENDING
NHDES SEWER	PENDING	PENDING	PENDING

WAIVERS

- THE FOLLOWING WAIVERS FROM THE CITY OF ROCHESTER'S LAND DEVELOPMENT REGULATIONS ARE BEING REQUESTED FROM THE PLANNING BOARD:
1. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TYPES AND BOUNDARIES
  2. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TEST PIT LOCATIONS
  3. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: PERCOLATION TEST LOCATIONS
  4. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 10(A): NUMBER OF REQUIRED PARKING SPACES
  5. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5(D)(8B): SHADE TREE PER 40 LINEAR FEET ALONG FRONT BUFFER
  6. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5(E)(7): LANDSCAPE MEDIAN PER FOUR CONTINUOUS PARKING ROWS

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE  
NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

COVER

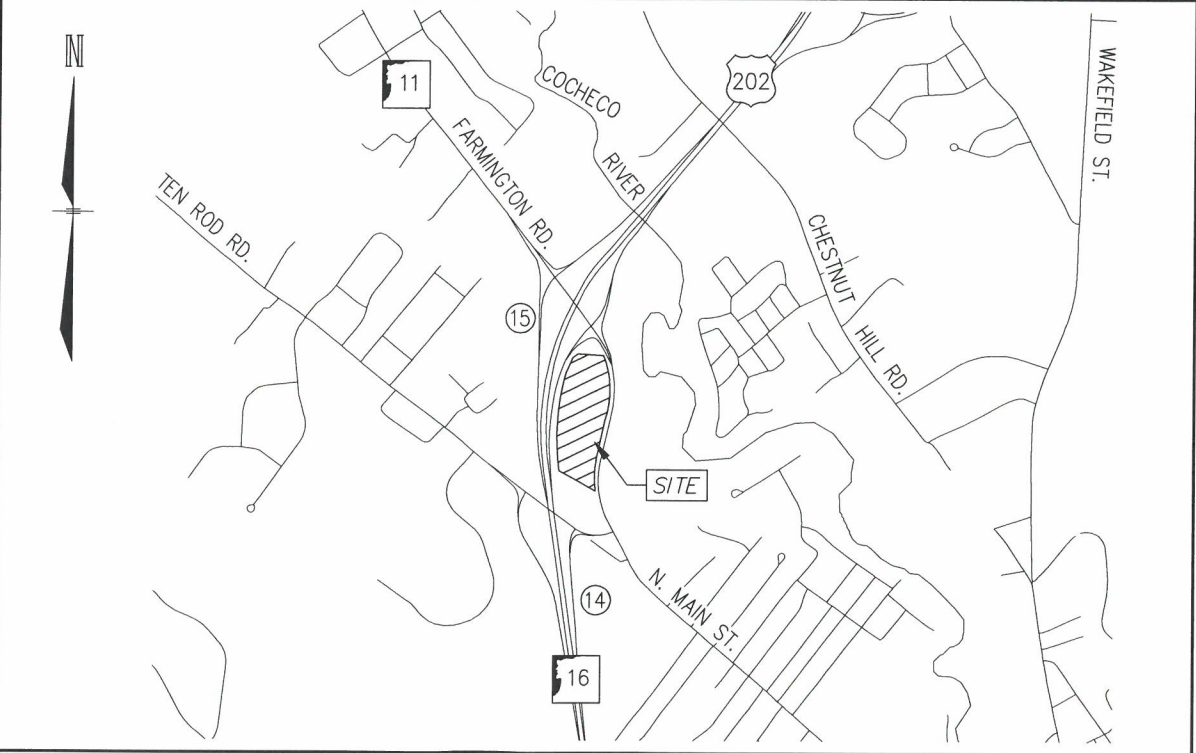
PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

JULY 9, 2019

TFM	MSC	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com
FILE	47159.01	DR RCK FB CK HEG CADFILE	47159-01_Cover.dwg C-01

VICINITY PLAN



SCALE: 1"=1000'



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com



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This plan is not effective unless signed by a duly authorized officer of  
Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION

REV.	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19			DR	CK

PROPOSED

PROPERTY LINE

ZONING LINE

EASEMENT

BASELINE

FLOODPLAIN

EDGE OF WATERBODY

EDGE OF WETLAND

SETBACK (WETLAND)

SETBACK (STRUCTURE)

SETBACK (PARKING)

SETBACK (LANDSCAPE)

EQP

VGC

SGC

CC

ICC

BIT

Gravel Road

EDGE OF PAVEMENT

VERTICAL GRANITE CURB

SLOPED GRANITE CURB

CONCRETE CURB

INTEGRATED CONCRETE CURB

BUTIMINOUS ASPHALT CURB

SAWCUT

BUILDING

BUILDING ROOF OVERHANG

BUILDING FOUNDATION

BUILDING ENTRANCE

OVERHEAD DOOR

Tree Line

FENCE (CHAIN LINK)

FENCE (WIRE)

FENCE (STOCKADE)

GUARDRAIL

RETAINING WALL

SILT FENCE

SILT SOCK

SOIL BOUNDARY

LIMIT OF GRADING

CONTOUR

SPOT GRADE

PARKING SPACE COUNT

DISPLAY PARKING SPACE COUNT

YELLOW DOUBLE SOLID LINE

YELLOW SINGLE SOLID LINE

WHITE SINGLE SOLID LINE

WHITE SINGLE BROKEN LINE

STOP BAR

CROSSWALK

ACCESSIBLE PARKING SYMBOL

PAVEMENT ARROW

TRAFFIC FLOW ARROW (NOT PAINTED)

SIGN (SINGLE POST)

SIGN (DOUBLE POST)

SIGN (PYLON)

SIGN (MONUMENT)

BOLLARD

DUMPSTER PAD

PROPOSED

CONCRETE

GRAVEL

HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE

RIPRAP

INLET PROTECTION

DRAIN LINE

DRAINAGE SWALE

STORMWATER BMP

SEWER LINE

SEWER FORCE MAIN LINE

WATER LINE

GAS LINE

OVERHEAD UTILITY LINE

UNDERGROUND UTILITY LINE

CATCH BASIN

DRAIN INLET

OUTLET CONTROL STRUCTURE

ROOF DRAIN

DRAIN CLEANOUT

DRAIN MANHOLE

FARED END SECTION

SEWER CLEAN OUT

SEWER MANHOLE

SEWER VENT

DRAIN/SEWER/WATER PLUG OR CAP

HYDRANT

WATER GATE VALVE

WATER SHUTOFF

THRUST BLOCK

WATER METER

WATER MANHOLE

WELL

GAS GATE VALVE

GAS SHUT OFF

GAS METER

TELEPHONE MANHOLE

ELECTRIC MANHOLE

TRAFFIC CONTROL CABINET

ELECTRIC HANDHOLE

ELECTRIC PULL BOX

ELECTRIC METER

FLOOD LIGHT

LIGHT POLE

UTILITY POLE

GUY POLE

TRANSFORMER PAD

BORING LOCATION

TEST PIT LOCATION

INFILTRATION TEST LOCATION

MONITORING WELL

ABBREVIATIONS

GENERAL

ABAN

AC

ADJ

APPROX

BC

BIT

BK/PG

BLDG

BS

BW

CONC

COORD

DIA

ELEV

EP

EXIST

FFE

FND

HP

INV

IT

L

LF

LSA

MAX

MIN

N/F

NTS

OC

PERF

PROP

R

R&D

R&R

REM

RET

RIM

S

SF

SW

TBM

TC

TP

TW

TYP

UG

WCR

W/

ABANDON

ACRES

ADJUST

APPROXIMATE

BOTTOM OF CURB

BUTIMINOUS

BOOK & PAGE

BUILDING

BOTTOM OF SLOPE

BOTTOM OF WALL

CONCRETE

COORDINATE

DIAMETER

ELEVATION

EDGE OF PAVEMENT

EXISTING

FINISHED FLOOR ELEVATION

FOUNDATION

HIGH POINT

INVERT ELEVATION

INFILTRATION TEST

LENGTH

LINEAR FEET

LANDSCAPE AREA

MAXIMUM

MINIMUM

NOW OR FORMERLY

NOT TO SCALE

ON CENTER

PERFORATED

PROPOSED

RADIUS

REMOVE AND DISPOSE

REMOVE AND RESET

REMOVE

RETAIN

RIM ELEVATION

SLOPE

SQUARE FEET

SIDEWALK

TEMPORARY BENCHMARK

TOP OF CURB

TEST PIT

TOP OF WALL

TYPICAL

UNDERGROUND

ACCESSIBLE WHEELCHAIR RAMP

WITH

UTILITIES

CB

CIP

CMP

CO

COND

DCB

DIP

DMH

F&C

F&G

FES

GT

HOPE

HH

HW

HYD

LP

OCS

OWS

PVC

RCP

RD

SMH

TSV

UP

CATCH BASIN

CAST IRON PIPE

CORRUGATED METAL PIPE

CLEANOUT

CONDUIT

DOUBLE CATCH BASIN

DUCTILE IRON PIPE

DRAIN MANHOLE

FRAME AND COVER

FRAME AND GRATE

FLARED END SECTION

GREASE TRAP

HIGH DENSITY POLYETHYLENE PIPE

HANDHOLE

HEADWALL

HYDRANT

LIGHT POLE

OUTLET CONTROL STRUCTURE

OIL WATER SEPARATOR

POLYVINYL CHLORIDE PIPE

REINFORCED CONCRETE PIPE

ROOF DRAIN

SEWER MANHOLE

TAPPING SLEEVE, VALVE, AND BOX

UTILITY POLE

## GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE PLAN SHALL BE RECORDED IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING DIRECTOR.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- AN ALTERATION OF TERRAIN PERMIT IS REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.
- SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
  - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
  - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
  - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
  - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7 AM AND 6 PM, MONDAY THROUGH FRIDAY AND 8 AM AND 6 PM ON SATURDAY IN ACCORDANCE WITH "STANDARD OF INFRASTRUCTURE DESIGN, ROCHESTER, NEW HAMPSHIRE".
  - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
  - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
  - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
  - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
  - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
  - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
  - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
  - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.

## GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

## CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

## UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF ROCHESTER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNITIL
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS
CABLE	ATLANTIC BROADBAND

## APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

### NOTES & LEGEND

**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

**JULY 9, 2019**

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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REV	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19				

47159-01	DR	RCK	FB	--	
	CK	HEG	CADFILE	47159-01_Notes	C-02



SOIL LEGEND					
SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HISS SYMBOL	SOIL GROUP
400B/abaaa	UDORTHERTS, SANDY	0-8%	EXCESSIVELY	161BH	A
400C/abaaa	UDORTHERTS, SANDY	8-15%	EXCESSIVELY	161CH	A
400D/abaaa	UDORTHERTS, SANDY	15-25%	EXCESSIVELY	161DH	A
400E/abaaa	UDORTHERTS, SANDY	25%+	EXCESSIVELY	161EH	A
400B/abaaa	UDORTHERTS, SANDY	0-8%	MODERATELY WELL	361BH	B
400B/tbaaa	UDORTHERTS, SANDY	0-8%	POORLY	561BH	C
400Bhbhaa	UDORTHERTS, SANDY	0-8%	UNDETERMINABLE	761BH	A*
400C/hbhaa	UDORTHERTS, SANDY	8-15%	UNDETERMINABLE	761CH	A*

**APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD**

ON \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_ AND \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

### SOIL BOUNDARY PLAN

**PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

JULY 9, 2019



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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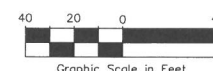
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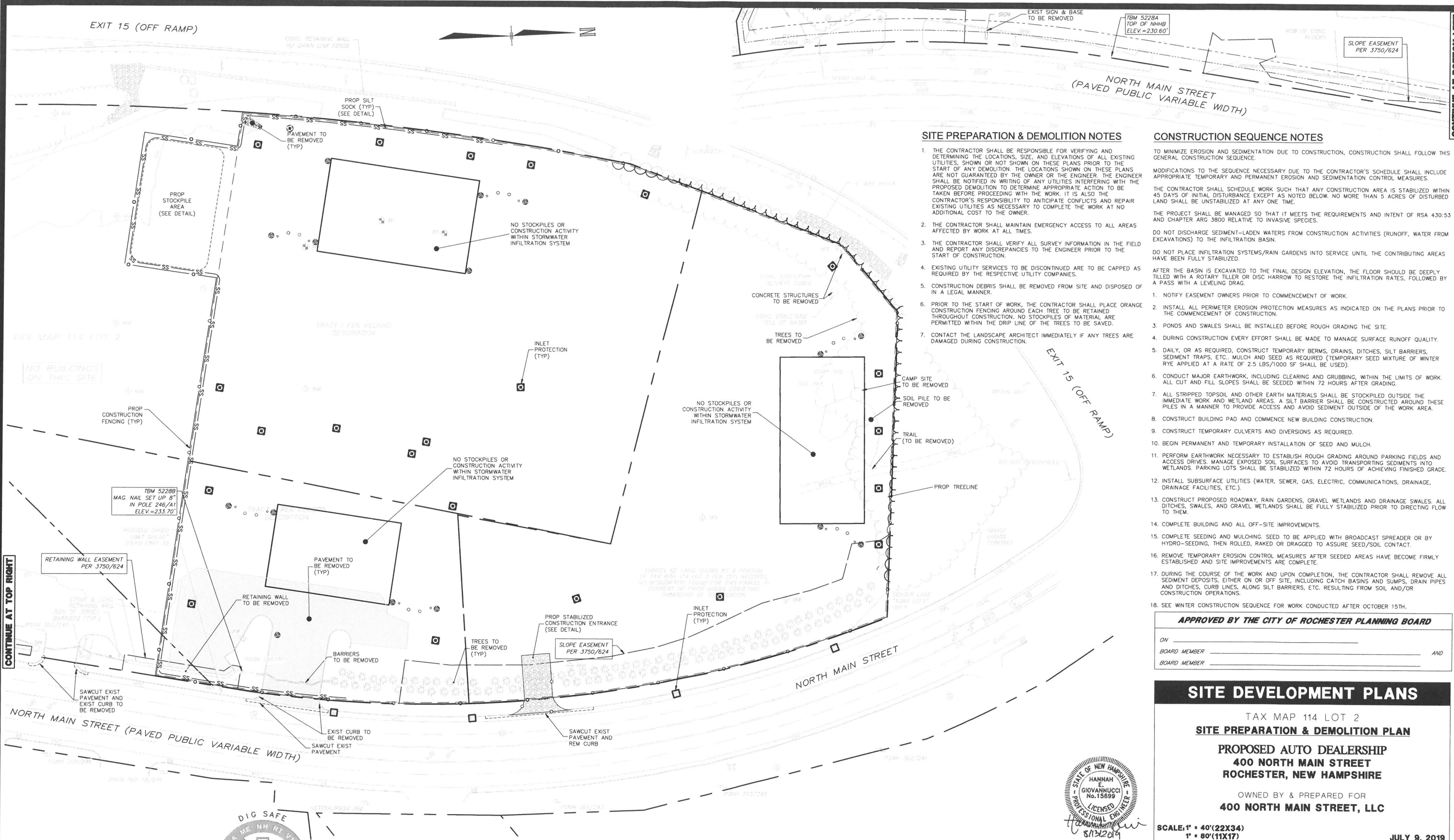
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CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION

[illegible]

Aug 13 2019 - 9:59am  
F:\MISC Projects\47159 - North Main St - Rochester\47159-01\_Site-Prep.dwg



**SITE PREPARATION & DEMOLITION NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

**CONSTRUCTION SEQUENCE NOTES**

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT PLACE INFILTRATION SYSTEMS/RAIN GARDENS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
  2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
  4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
  5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC.. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
  6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
  7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
  8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
  9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
  10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
  11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
  12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
  13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
  14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
  15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
  16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
  17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
  18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

**APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD**

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

**SITE DEVELOPMENT PLANS**

TAX MAP 114 LOT 2  
**SITE PREPARATION & DEMOLITION PLAN**  
**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

**JULY 9, 2019**



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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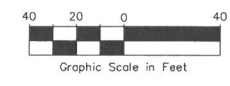
**CONSTRUCTION SEQUENCE NOTES (FOR A0T)**

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
2. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

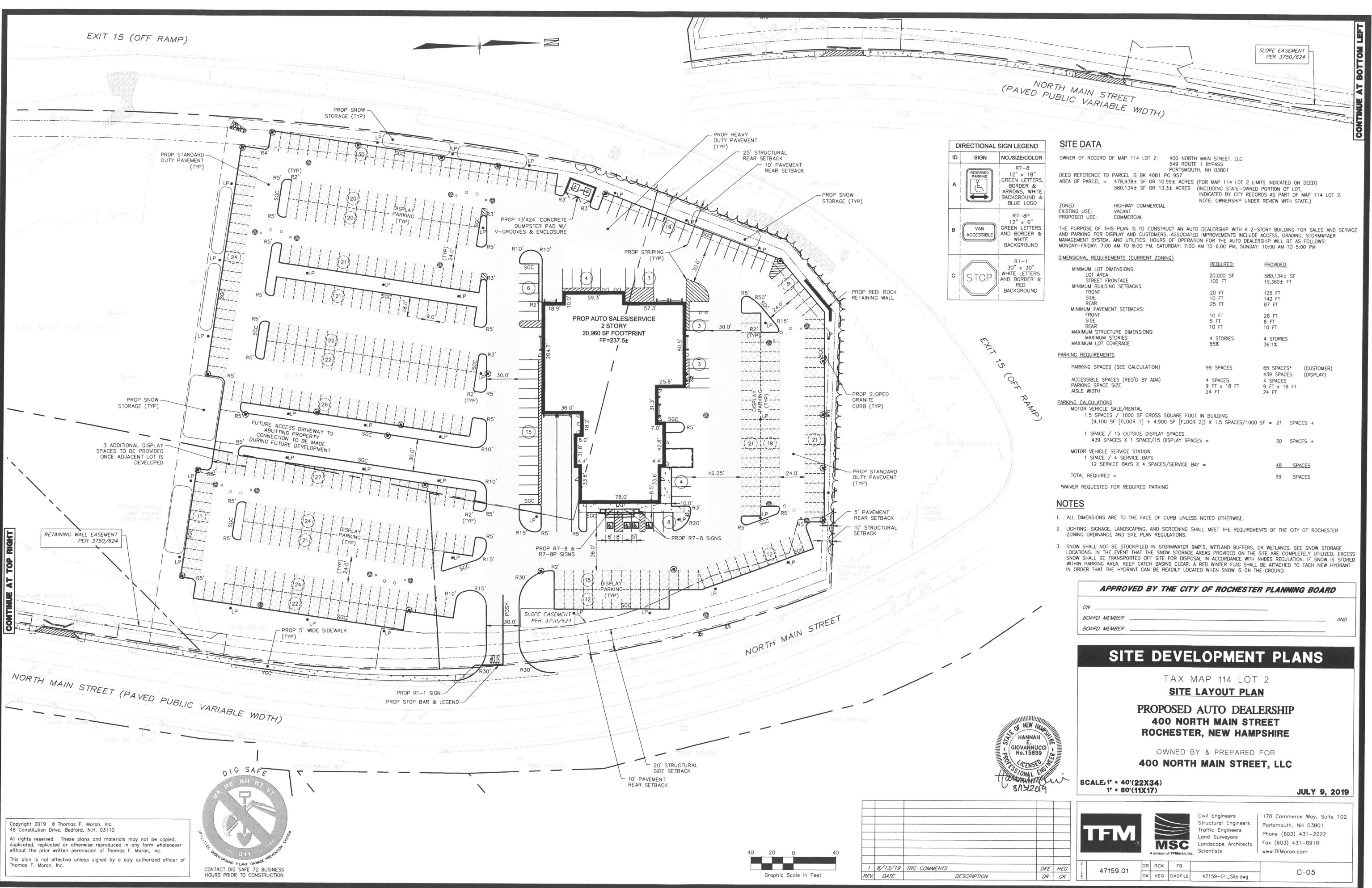


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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DKE	HEG
1	8/13/19	TRG COMMENTS		



DIRECTIONAL SIGN LEGEND		
ID	SIGN	NO./SIZE/COLOR
A		R7-8 12" x 18" GREEN LETTERS, BORDER & ARROWS, WHITE BACKGROUND & BLUE LOGO
B		R7-8P 12" x 6" GREEN LETTERS AND BORDER & WHITE BACKGROUND
C		R1-1 30" x 30" WHITE LETTERS AND BORDER & RED BACKGROUND

**SITE DATA**

OWNER OF RECORD OF MAP 114 LOT 2: 400 NORTH MAIN STREET, LLC  
549 ROUTE 1 BYPASS  
PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL 15 BK 4081 PG 957  
AREA OF PARCEL = 478,938± SF OR 10.99± ACRES (FOR MAP 114 LOT 2 LIMITS INDICATED ON DEED)  
580,134± SF OR 13.3± ACRES (INCLUDING STATE-OWNED PORTION OF LOT, INDICATED BY CITY RECORDS AS PART OF MAP 114 LOT 2. NOTE: OWNERSHIP UNDER REVIEW WITH STATE.)

ZONED: HIGHWAY COMMERCIAL  
EXISTING USE: VACANT  
PROPOSED USE: COMMERCIAL

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT AN AUTO DEALERSHIP WITH A 2-STORY BUILDING FOR SALES AND SERVICE AND PARKING FOR DISPLAY AND CUSTOMERS. ASSOCIATED IMPROVEMENTS INCLUDE ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEM, AND UTILITIES. HOURS OF OPERATION FOR THE AUTO DEALERSHIP WILL BE AS FOLLOWS:  
MONDAY-FRIDAY: 7:00 AM TO 8:00 PM, SATURDAY: 7:00 AM TO 6:00 PM, SUNDAY: 10:00 AM TO 5:00 PM

**DIMENSIONAL REQUIREMENTS (CURRENT ZONING)**

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	20,000 SF	580,134± SF
STREET FRONTAGE	100 FT	19,380± FT
MINIMUM BUILDING SETBACKS:		
FRONT	20 FT	125 FT
SIDE	10 FT	142 FT
REAR	25 FT	87 FT
MINIMUM PAVEMENT SETBACKS:		
FRONT	10 FT	26 FT
SIDE	5 FT	8 FT
REAR	10 FT	10 FT
MAXIMUM STRUCTURE DIMENSIONS:		
MAXIMUM STORIES	4 STORIES	4 STORIES
MAXIMUM LOT COVERAGE	85%	36.1%

**PARKING REQUIREMENTS**

	99 SPACES	65 SPACES* (CUSTOMER)
PARKING SPACES (SEE CALCULATION)		439 SPACES (DISPLAY)
ACCESSIBLE SPACES (REQ'D BY ADA)	4 SPACES	4 SPACES
PARKING SPACE SIZE	9 FT x 18 FT	9 FT x 18 FT
ASILE WIDTH	24 FT	24 FT

**PARKING CALCULATIONS**

MOTOR VEHICLE SALE/RENTAL  
1.5 SPACES / 1000 SF GROSS SQUARE FOOT IN BUILDING  
(9,100 SF [FLOOR 1] + 4,900 SF [FLOOR 2]) X 1.5 SPACES/1000 SF = 21 SPACES +

1 SPACE / 15 OUTSIDE DISPLAY SPACES  
439 SPACES X 1 SPACE/15 DISPLAY SPACES = 30 SPACES +

MOTOR VEHICLE SERVICE STATION  
1 SPACE / 4 SERVICE BAYS  
12 SERVICE BAYS X 4 SPACES/SERVICE BAY = 48 SPACES

TOTAL REQUIRED = 99 SPACES

\*WAIVER REQUESTED FOR REQUIRED PARKING

- NOTES**
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
  - LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER ZONING ORDINANCE AND SITE PLAN REGULATIONS.
  - SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR. A RED WINTER FLAG SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND.

**APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD**

ON \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_ AND \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_

**SITE DEVELOPMENT PLANS**

TAX MAP 114 LOT 2  
**SITE LAYOUT PLAN**  
**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**  
  
OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

SCALE: 1" = 40'(22X34)  
1" = 80'(11X17)

**JULY 9, 2019**

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com
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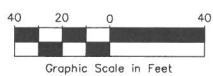
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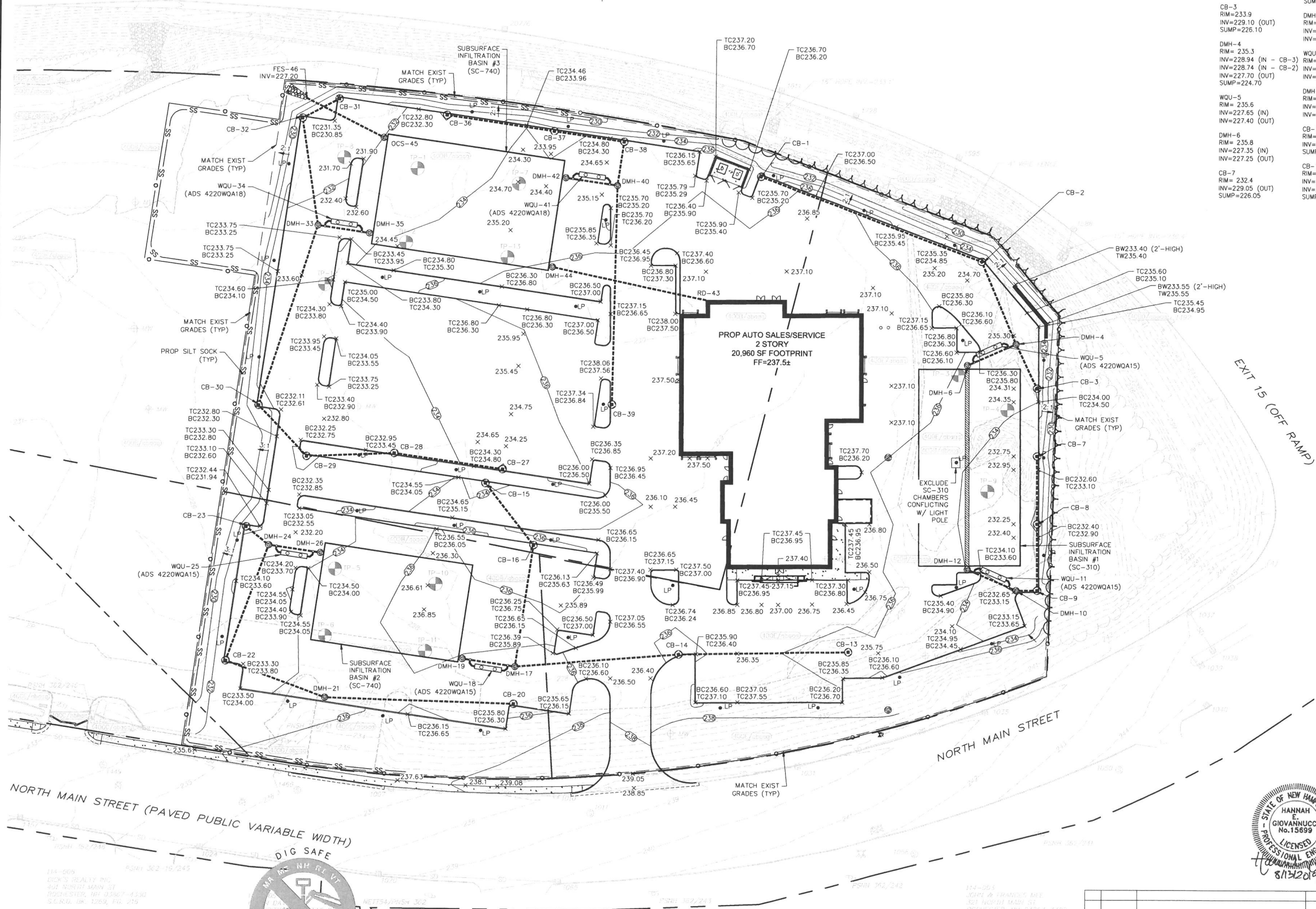


CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19	TRG COMMENTS		DR	CK

EXIT 15 (OFF RAMP)



DRAINAGE STRUCTURE TABLE

CB-1 RIM=234.8 INV=230.85 (OUT) SUMP=227.85	CB-8 RIM=231.9 INV=228.60 (IN) INV=228.50 (OUT) SUMP=225.50	CB-15 RIM=233.6 INV=229.15 (OUT) SUMP=226.15	CB-22 RIM=233.0 INV=228.75 (IN) INV=228.65 (OUT) SUMP=225.65	CB-29 RIM=231.8 INV=227.90 (IN) INV=227.50 (OUT) SUMP=224.80	CB-37 RIM=233.5 INV=227.60 (IN) INV=227.50 (OUT) SUMP=224.50
CB-2 RIM=234.3 INV=229.15 (IN) INV=229.05 (OUT) SUMP=226.05	CB-9 RIM=232.2 INV=227.51 (IN) INV=227.41 (OUT) SUMP=224.41	CB-16 RIM=235.0 INV=228.60 (IN) INV=228.50 (OUT) SUMP=225.50	CB-23 RIM=231.7 INV=227.70 (OUT) SUMP=224.70	CB-30 RIM=231.7 INV=227.35 (IN) INV=227.25 (OUT) SUMP=224.25	CB-38 RIM=234.0 INV=226.90 (IN) INV=226.90 (OUT) SUMP=223.90
CB-3 RIM=233.9 INV=229.10 (OUT) SUMP=226.10	DMH-10 RIM=232.6 INV=227.35 (IN) INV=227.25 (OUT)	DMH-17 RIM=235.6 INV=226.55 (IN - CB-14) INV=226.55 (IN - CB-16) INV=226.45 (OUT)	DMH-24 RIM=232.6 INV=226.55 (IN - CB-22) INV=226.55 (IN - CB-23) INV=226.45 (OUT)	CB-31 RIM=230.4 INV=227.15 (OUT) SUMP=224.15	CB-39 RIM=236.0 INV=232.0 (OUT) SUMP=229.0
DMH-4 RIM=235.3 INV=228.94 (IN - CB-3) INV=228.74 (IN - CB-2) INV=227.70 (OUT) SUMP=224.70	WQU-11 RIM=233.2 INV=227.20 (IN) INV=226.95 (OUT) SUMP=224.70	WQU-18 RIM=235.7 INV=226.40 (IN) INV=226.15 (OUT)	WQU-25 RIM=233.8 INV=226.40 (IN) INV=226.15 (OUT)	CB-32 RIM=230.2 INV=227.00 (IN) INV=226.90 (OUT) SUMP=223.90	DMH-40 RIM=235.0 INV=231.0 (IN - CB-39) INV=226.60 (IN - CB-38) INV=225.55 (OUT)
WQU-5 RIM=235.6 INV=227.65 (IN) INV=227.40 (OUT)	DMH-12 RIM=233.2 INV=226.90 (IN) INV=226.80 (OUT)	DMH-19 RIM=235.7 INV=226.10 (IN) INV=226.00 (OUT)	DMH-26 RIM=233.8 INV=226.10 (IN) INV=226.00 (OUT)	DMH-33 RIM=233.9 INV=226.50 (IN - CB-30) INV=226.50 (IN - CB-32) INV=225.45 (OUT)	WQU-41 RIM=234.9 INV=225.50 (IN) INV=225.25 (OUT)
DMH-6 RIM=235.8 INV=227.35 (IN) INV=227.25 (OUT)	CB-13 RIM=235.5 INV=231.00 (OUT) SUMP=226.80	CB-20 RIM=235.0 INV=226.00 (OUT) SUMP=228.0	CB-27 RIM=233.9 INV=229.65 (OUT) SUMP=226.65	WQU-34 RIM=233.0 INV=225.40 (IN) INV=225.15 (OUT)	DMH-42 RIM=234.3 INV=225.20 (IN) INV=225.10 (OUT)
CB-7 RIM=232.4 INV=229.05 (OUT) SUMP=226.05	CB-14 RIM=235.7 INV=229.80 (IN) INV=229.70 (OUT) SUMP=226.70	DMH-21 RIM=234.7 INV=230.32 (IN) INV=230.22 (OUT)	CB-28 RIM=232.5 INV=228.90 (IN) INV=228.80 (OUT) SUMP=225.80	DMH-35 RIM=233.6 INV=225.10 (IN) INV=225.00 (OUT)	RD-43 RIM=236.1 INV=232.0 (IN) INV=225.00 (OUT)
				CB-36 RIM=231.9 INV=228.35 (OUT) SUMP=225.35	OCS-45 RIM=232.0 INV=227.50 (OUT)

NOTES

1. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.

SOIL LEGEND

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HISS SYMBOL	SOIL GROUP
400B/abaaa	UDORTHENTS, SANDY	0-8%	EXCESSIVELY	161BH	A
400C/abaaa	UDORTHENTS, SANDY	8-15%	EXCESSIVELY	161CH	A
400D/abaaa	UDORTHENTS, SANDY	15-25%	EXCESSIVELY	161DH	A
400E/abaaa	UDORTHENTS, SANDY	25%+	EXCESSIVELY	161EH	A
400B/dbaaa	UDORTHENTS, SANDY	0-8%	MODERATELY WELL	361BH	B
400B/fbaaa	UDORTHENTS, SANDY	0-8%	POORLY	561BH	C
400Bhbhaa	UDORTHENTS, SANDY	0-8%	UNDETERMINABLE	761BH	A*
400C/hbhaa	UDORTHENTS, SANDY	8-15%	UNDETERMINABLE	761CH	A*

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

GRADING & DRAINAGE PLAN

PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40'(22X34)  
1" = 80'(11X17)

JULY 9, 2019



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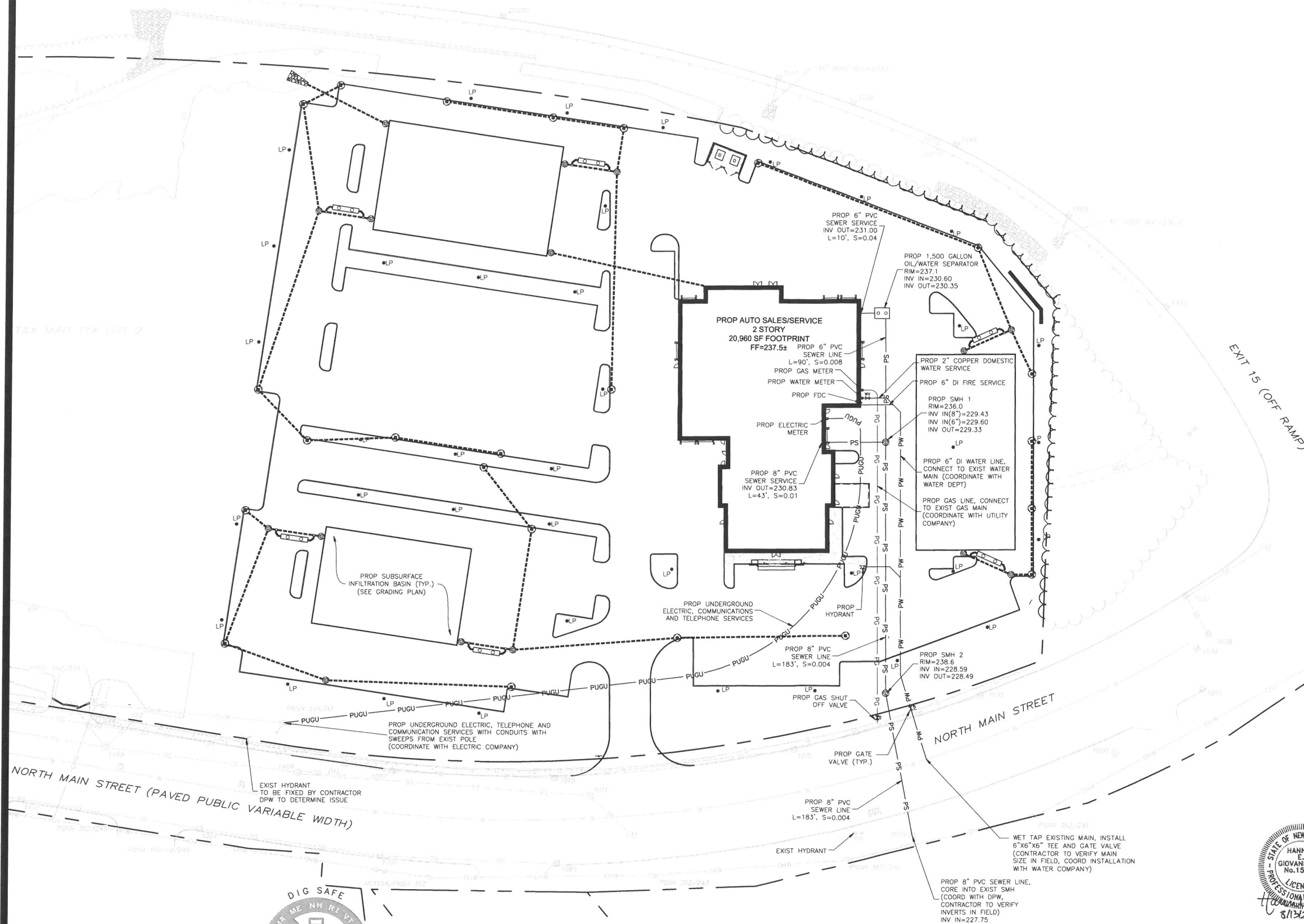
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

114-1004  
GLENN CARLOS INTEGRITY AUTOMOTIVE INC  
415 NORTH MAIN ST  
ROCHESTER, NH 03607-4350  
S.C.R.D. BK 4121, PG. 514



REV	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19	TRG COMMENTS		DR	CK

1. A RED WINTER FLAG SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND, PER CITY OF ROCHESTER SITE PLAN REGULATIONS.



ON \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_ AND \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_

## JULY 9, 2019

[illegible]

- Civil Engineers
- Structural Engineers
- Traffic Engineers
- Land Surveyors
- Landscape Architects
- Scientists

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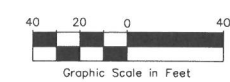
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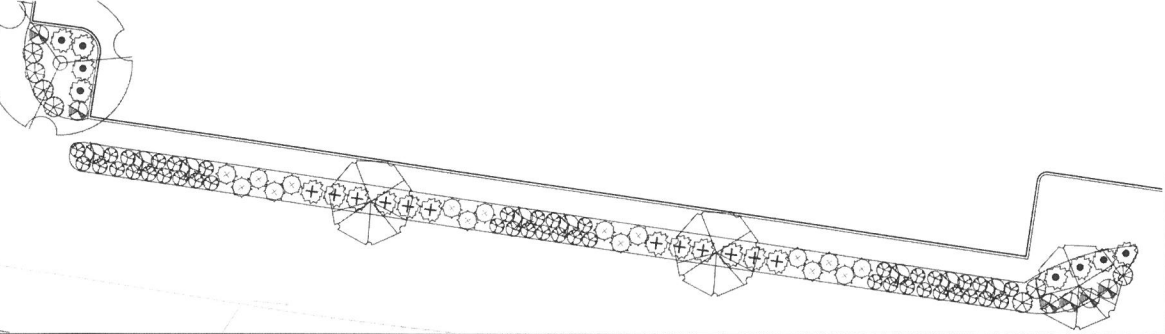
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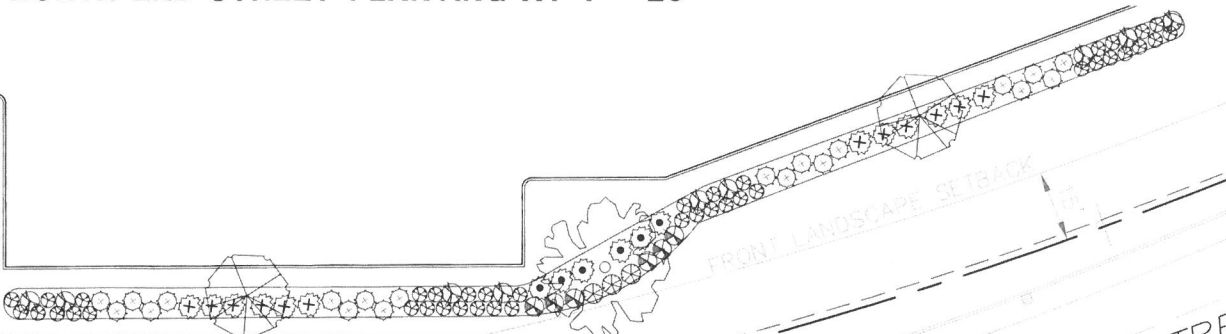
CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



## SOUTH END STREET PLANTING AT 1" = 20'



## NORTH END STREET PLANTING AT 1" = 20'



## LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	6	ACER RUBRUM 'REDPOINTE' REDPOINTE RED MAPLE	3" TO 3 1/2" CAL.	B&B
	9	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	3" TO 3 1/2" CAL.	B&B
	29	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	3" TO 3 1/2" CAL.	B&B
	3	CORNUS KOUSA KOUSA DOGWOOD	2" TO 2 1/2" CAL.	B&B
	8	OXYDENDRUM ARBOREUM SOURWOOD	2" TO 2 1/2" CAL.	B&B
	2	PICEA PUNGENS BLUE SPRUCE	7' TO 8'	B&B
	5	PLATANUS ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	3" TO 3 1/2" CAL.	B&B
	11	PLATANUS ACERIFOLIA 'EXCLAMATION' EXCLAMATION PLANETREE	3" TO 3 1/2" CAL.	B&B
	11	PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	3" TO 3 1/2" CAL.	B&B
	4	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	3" TO 3 1/2" CAL.	B&B
	19	AZALEA 'PLEASANT WHITE' PLEASANT WHITE AZALEA	7 GAL.	CONT.
	74	CORNUS BAILEYI RED TWIG DOGWOOD	3 GAL.	CONT.
	81	DEUTZIA 'YUKI SNOWFLAKE' YUKI SNOWFLAKE DEUTZIA	3 GAL.	CONT.
	17	HYDRANGEA M. 'BLOOMSTRUCK' BLOOMSTRUCK HYDRANGEA	6 GAL.	CONT.
	30	HYDRANGEA PANICULATA 'BOMSHELL' BOMSHELL PANICLE HYDRANGEA	7 GAL.	CONT.
	10	PHYSOCARPUS OPULIFOLIUS 'COPPERTINA' COPPERTINA NINEBARK	2' TO 2 1/2'	B&B
	77	TAXUS M. 'GREENWAVE' GREENWAVE YEW	5 GAL.	CONT.
	52	CHAMAECYPARIS PISIFERA 'FILIFERA MOPS' MOPS THREAD-LEAF FALSECYPRESS	5 GAL.	CONT.
	47	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY	7 GAL.	CONT.
	101	JUNIPERUS CHINENSIS 'SARGENTII' GREEN SERGEANT JUNIPER	18" TO 24"	B&B
	10	RHODODENDRON 'PJM' PJM RHODODENDRON	18" TO 24"	B&B
	12	THUJA O. 'TECHNY' MISSION ARBORVITAE	5' TO 6'	B&B
	51	PENNISETUM ALOPECUROIDES 'HADELN' HADELN FOUNTAIN GRASS	7 GAL.	CONT.
	20	HELICOTRICHON S. 'SAPPHIRE' SAPPHIRE OAT GRASS	2 GAL.	CONT.

SEE DETAIL SHEET FOR  
LANDSCAPE NOTES

## APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

## LANDSCAPE PLAN

PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

JULY 9, 2019



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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47159.01

DR ARJ FB  
CK MSK CADFILE

47159-01\_Landscape.dwg

C-08

## LANDSCAPE CALCULATIONS

FRONT &amp; SIDE BUFFER PLANTING REQUIREMENTS: ARTICLE III SEC. 5(D)

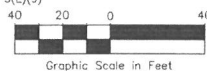
- ONE BROAD-LEAFED SHADE TREE PER 40 LINEAR FEET OF FRONT BUFFER  
REQUIRED: 606' / 40' = 15 TREES  
PROVIDED: 8 TREES, 1 TREE PER 75'  
\*WAIVER NEEDED, ARTICLE III SEC. 5(D)(8b)
- TWO SHADE TREES, SPACED AT LEAST 40' APART, SHALL BE LOCATED WITHIN THE FRONT 50' OF EACH SIDE BUFFER.  
REQUIRED: 818' / 40' = 20 TREES  
PROVIDED: 20 SHADE TREES AND 2 EVERGREEN TREES  
ARTICLE III SEC. 5(D)(8c)

THE FRONT BUFFER AND FRONT 50 FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT, AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF THE AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES/CROWNS OF THE TREES AND SHRUBS.

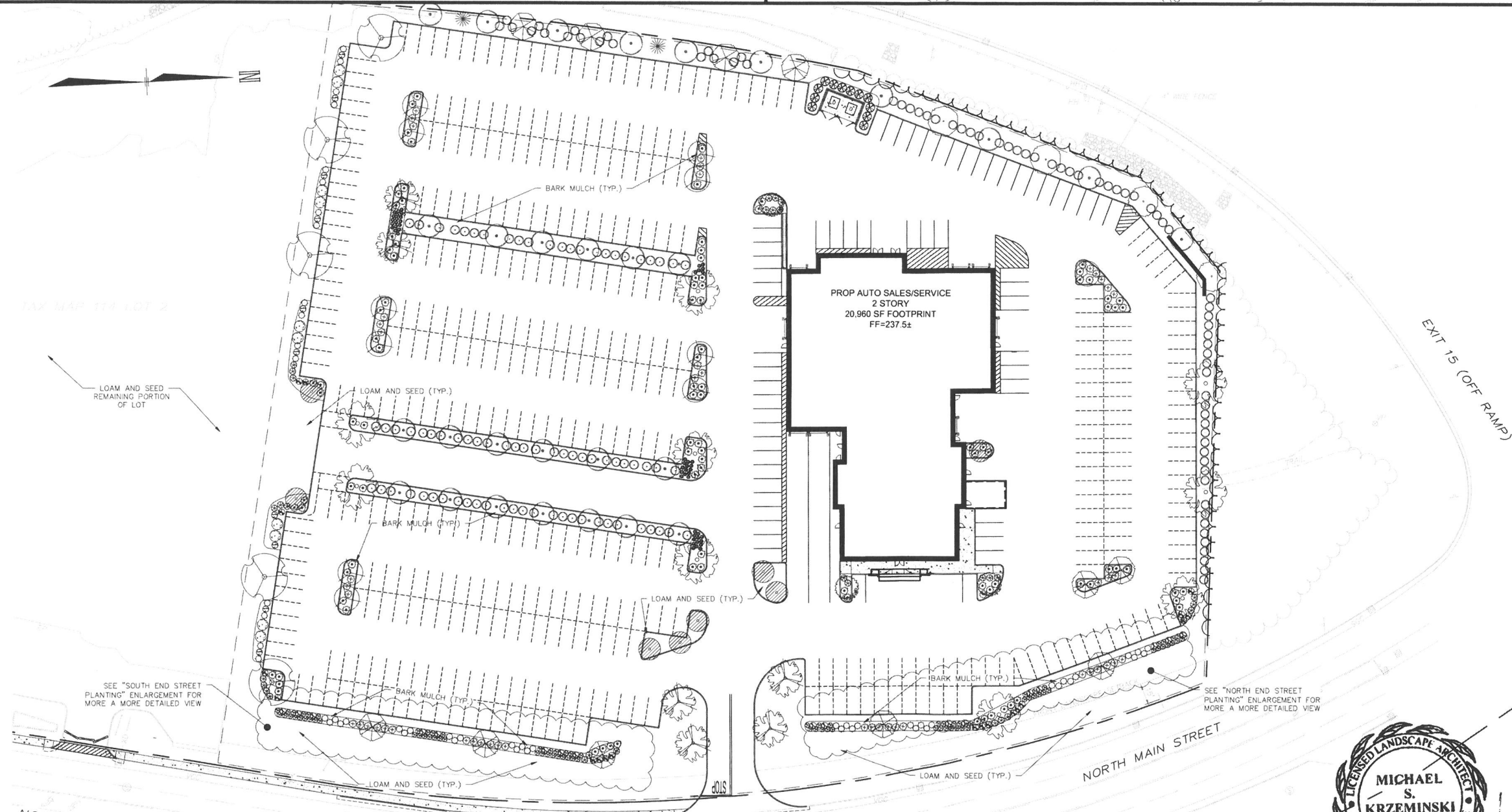
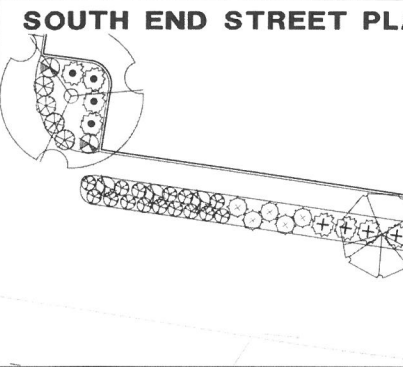
\*WAIVER NEEDED, ARTICLE III SEC. 5(D)(8f)

PARKING LOT PLANTING REQUIREMENTS: ARTICLE III SEC. 5(E)

- OFF-STREET PARKING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY TO PROVIDE AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE, EXCLUDING SIGHT TRIANGLES AT VEHICULAR ENTRANCES AND EXITS. A MODERATELY DENSE HEDGE COMPOSED OF EVERGREEN SHRUBS SHALL BE PLANTED WHICH IS REASONABLY EXPECTED TO REACH THIS OPACITY AND HEIGHT WITHIN ONE YEAR. ARTICLE III SEC. 5(E)(2)
- THE LANDSCAPED MEDIAN SHALL BE PLANTED WITH EVERGREEN SHRUBBERY AND AT LEAST ONE ORNAMENTAL OR SHADE TREE FOR EVERY 30 LINEAR FEET OF THE MEDIAN.  
REQUIRED: 21 TREES BETWEEN THE THREE LANDSCAPED MEDIANS  
PROPOSED: 21 TREES AND EVERGREEN SHRUBS  
ARTICLE III SEC. 5(E)(8)
- SHADE AND/OR ORNAMENTAL TREES SHALL BE PLANTED IN AND AROUND THE PARKING LOT IN ORDER THAT NO SPOT ON THE PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM THE CENTER OF THE TRUNK OF A SHADE OR ORNAMENTAL TREE. ARTICLE III SEC. 5(E)(9)



REV.	DATE	TRG COMMENTS	DKE	HEC
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CK				

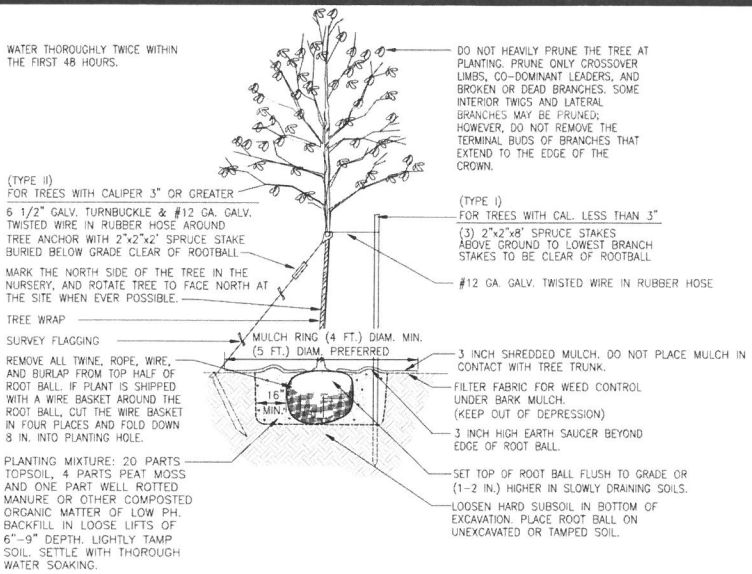


CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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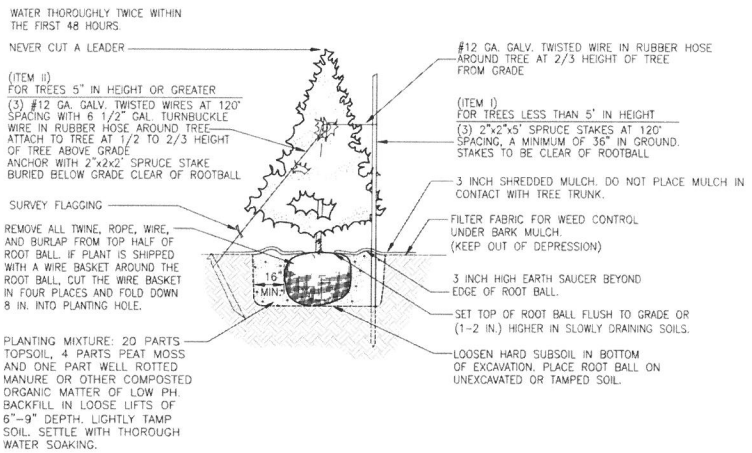
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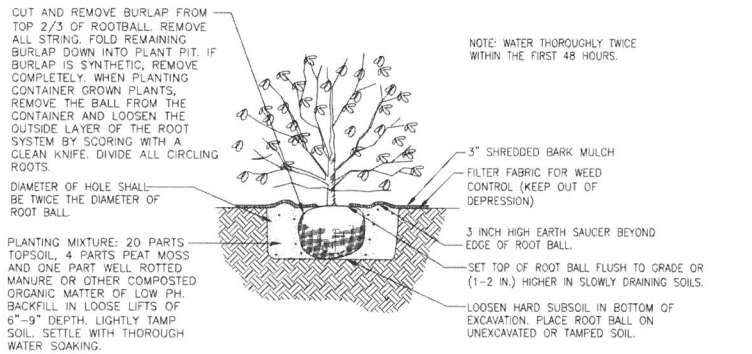
## DECIDUOUS TREE PLANTING

NOT TO SCALE



## EVERGREEN PLANTING

NOT TO SCALE



## SHRUB PLANTING

NOT TO SCALE

## LANDSCAPE NOTES

1. CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
2. CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
3. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
6. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
7. ALL PLANTS WILL BE NURSERY GROWN.
8. PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
9. TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
10. PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
11. ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
12. NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
13. PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
14. MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
15. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
16. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
17. TREE STAKES AND WRAP WILL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR. CONTRACTOR WILL REMOVE.
18. ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
19. ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
20. ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

## LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
2. CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 48 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
3. WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
4. ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
5. THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
6. ALL ORNAMENTAL GRASSES WILL BE CUT BACK EVERY FALL OR EARLY SPRING.
7. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
8. EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

## HYDROSEEDING NOTES

1. HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED, MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

## INVASIVE PLANT NOTES

1. EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS".

## PRICING & CONSTRUCTION DOCUMENT NOTES

1. CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
2. CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
3. PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
4. EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
5. CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
7. CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

## SEEDING NOTES

1. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDDED OR SODDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
2. SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
3. SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
4. GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

## IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE/LANDSCAPE ARCHITECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
4. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
5. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
6. REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.

## APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

LANDSCAPE DETAILS

PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

SCALE, AS SHOWN  
AS SHOWN

JULY 9, 2019



REV.	DATE	DESCRIPTION	DR	CK
1	7/1/19	REVISED PER TRC COMMENTS	DKE	HEG

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		CK	MSK	CADFILE		



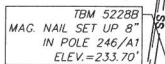
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



PROP AUTO SALES/SERVICE  
2 STORY  
20,960 SF FOOTPRINT  
FF=237.5±

PROP LIMIT OF  
GRADING (TYP)

PROP SILT SOCK  
(TYP)

EXIT 15 (OFF RAMP)

NORTH MAIN STREET

NORTH MAIN STREET (PAVED PUBLIC VARIABLE WIDTH)

— PROP CATCH BASIN  
INLET PROTECTION  
(TYP)

— PROP STABILIZED  
CONSTRUCTION  
ENTRANCE (TYP)



CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION

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1. SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
2. INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
3. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
4. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
5. THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN ANOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
6. SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
7. CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
8. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
9. PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
10. ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
11. ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
12. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
13. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
15. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

ON \_\_\_\_\_

BOARD MEMBER \_\_\_\_\_ AND

BOARD MEMBER \_\_\_\_\_

TAX MAP 114 LOT 2  
**EROSION CONTROL PLAN**  
**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**  
  
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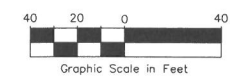
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JULY 9, 2019



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Portsmouth, NH 03801  
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[illegible]

SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF GLOUCESTER FINE SANDY LOAM AND HINCKLEY LOAMY SAND, THE MAJORITY OF THE SOIL IS HSG TYPE A.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 266,454 SQUARE FEET (6.12 ACRES).

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SWPPP IF REQUIRED.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. COMPLETE MAJOR GRADING OF SITE.
4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
5. CONSTRUCT PARKING LOT.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
7. CONSULT APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10 INCHES OR GREATER.
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

1. SILT SOCKS
  - A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE 3/8" SIEVE
MOISTURE CONTENT	STND TESTING	< 60%

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS
  - B. MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.
  - C. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
  - D. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.
2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
3. MAINTENANCE
  - A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
  - B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
  - D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF FOUR INCHES. THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER ONE INCH IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK, IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
  - A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
  - B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 300 POUNDS PER ACRE.MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.
- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:

GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)  
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)
- D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.
- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

1. WASTE MATERIALS  
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE  
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE  
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:

- GOOD HOUSEKEEPING:  
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
- A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
  - B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
  - C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
  - D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
  - E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
  - F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS:  
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
- C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

2. PRODUCT SPECIFICATION PRACTICES  
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:

ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

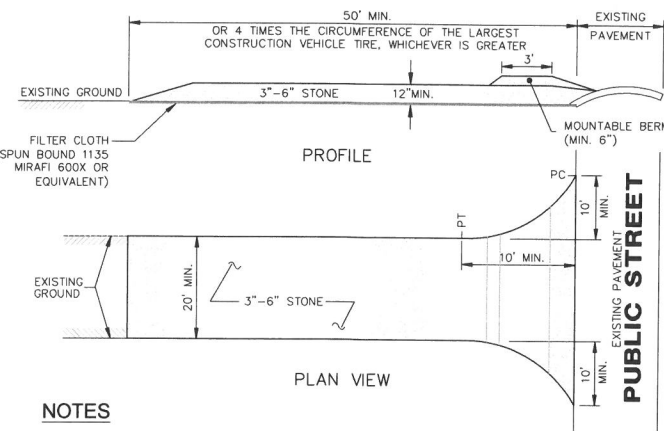
SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.



NOTES

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

EROSION CONTROL NOTES

PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

JULY 9, 2019

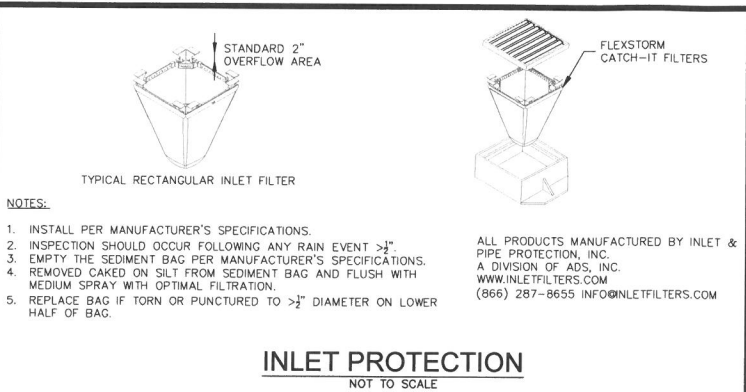
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CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



NOTES:

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT >1/8\"/>
3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
4. REMOVED CAGED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
5. REPLACE BAG IF TORN OR PUNCTURED TO >1/2\"/>

ALL PRODUCTS MANUFACTURED BY INLET &  
PIPE PROTECTION, INC.  
A DIVISION OF ADS, INC.  
WWW.INLETFILTERS.COM  
(866) 287-8655 INFO@INLETFILTERS.COM

INLET PROTECTION

NOT TO SCALE



REV.	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19				



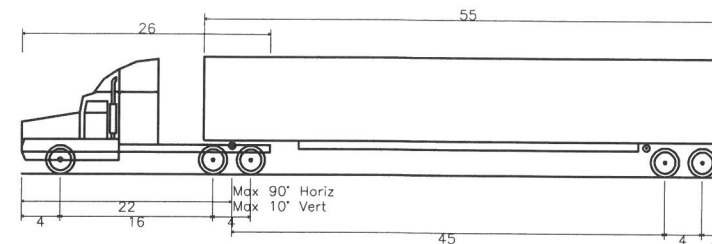
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

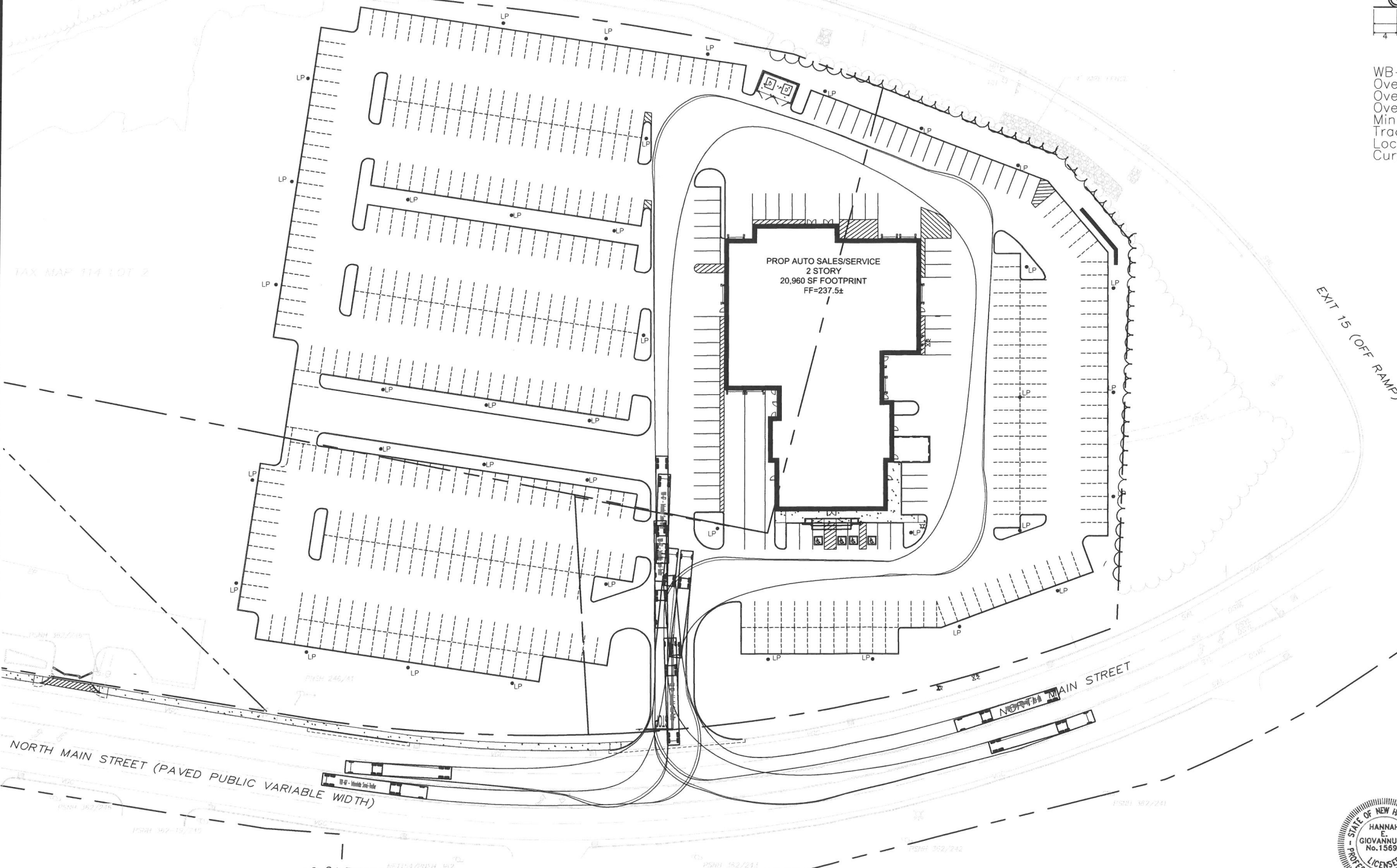
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C-11

EXIT 15 (OFF RAMP)



WB-67 - Interstate Semi-Trailer  
Overall Length 74.000ft  
Overall Width 8.500ft  
Overall Body Height 12.227ft  
Min Body Ground Clearance 1.422ft  
Track Width 8.500ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 45.000ft



APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2  
**WB-67 TRUCK MOVEMENT PLAN**  
**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**  
OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

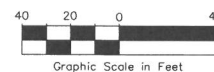
SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

JULY 9, 2019



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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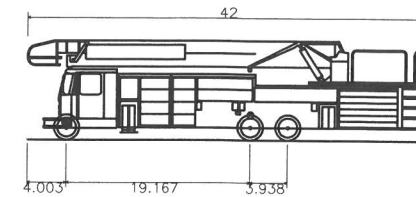
REV.	DATE	TRG COMMENTS	DESCRIPTION	DKE	HEG
1	8/13/19	TRG COMMENTS		DR	CK



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists  
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

47159.01	DR	RCK	FB			C-12
	CK	HEG	CADFILE	47159-01_Truck.dwg		

EXIT 15 (OFF RAMP)



Rochester Fire  
Overall Length 42.000ft  
Overall Width 8.000ft  
Overall Body Height 10.344ft  
Min Body Ground Clearance 0.775ft  
Track Width 7.500ft  
Lock-to-lock time 6.00s  
Max Steering Angle (Virtual) 45.00°

TAX MAP 114 LOT 2

EXIT 15 (OFF RAMP)

PROP AUTO SALES/SERVICE  
2 STORY  
20,960 SF FOOTPRINT  
FF=237.5±

NORTH MAIN STREET

NORTH MAIN STREET (PAVED PUBLIC VARIABLE WIDTH)

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2  
**FIRE TRUCK MOVEMENT PLAN**  
**PROPOSED AUTO DEALERSHIP**  
**400 NORTH MAIN STREET**  
**ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

SCALE: 1" = 40'(22X34)  
1" = 80'(11X17)

JULY 9, 2019



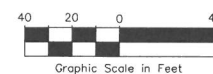
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FILE	47159.01	DR	RCK	FB	CK	HEG	CADFILE	47159-01_Truck.dwg	C-13
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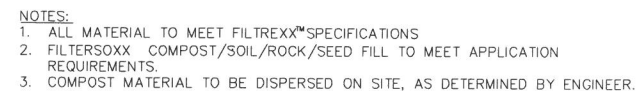
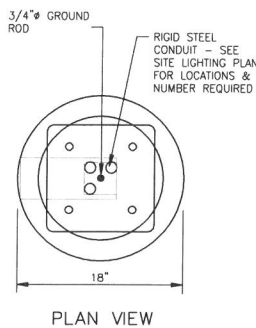
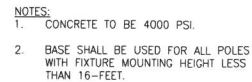
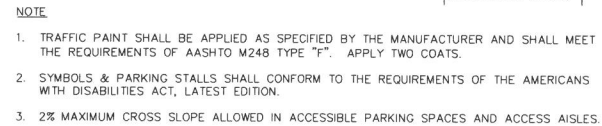
CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



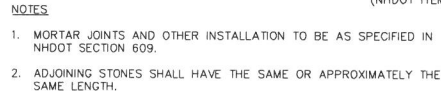
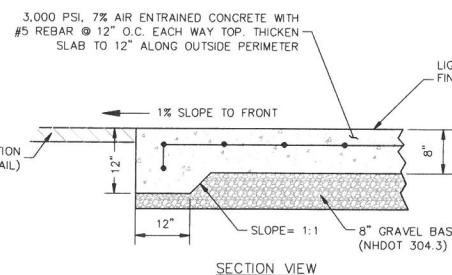
REV	DATE	TRG COMMENTS	DR	CK
1	8/13/19	TRG COMMENTS	DKE	HEG

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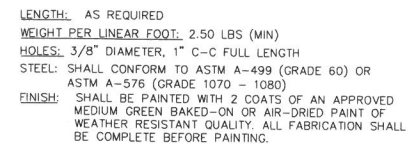
Aug 13, 2019 - 10:01am  
F:\MSC Projects\47159-01 - North Main St - Rochester\47159-01\_Truck.dwg



NOT TO SCALE



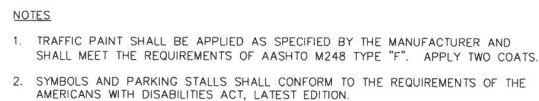
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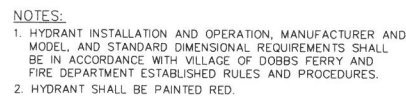
**NOTE:**

1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2'.
2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

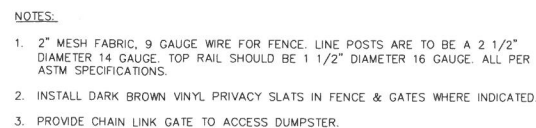
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NOT TO SCALE



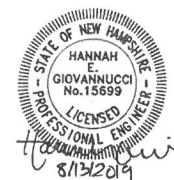
NOT TO SCALE





NOT TO SCALE



NOT TO SCALE

[illegible]

				Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 <a href="http://www.TFMoran.com">www.TFMoran.com</a>
47159.01	DR RCK CK HEG CADFILE	FB 47159-01_Details.dwg	C-14		

TAX MAP 114 LOT 2

## DETAILS

**PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR  
**400 NORTH MAIN STREET, LLC**

JULY 9, 2019



- Civil Engineers
- Structural Engineers
- Traffic Engineers
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- Scientists

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CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION

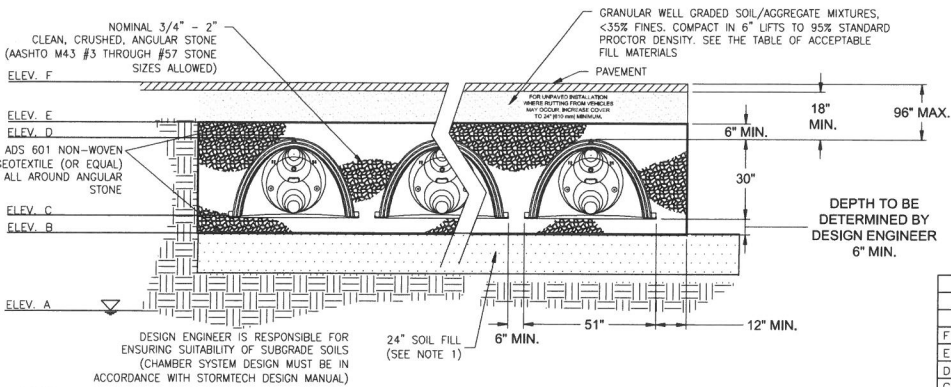


ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION <sup>(1)</sup>	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUB-BASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUB-BASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY (2). ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs. DYNAMIC FORCE NOT TO EXCEED 20,000 lbs.
③ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2" INCH	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2" INCH	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY(2).

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".

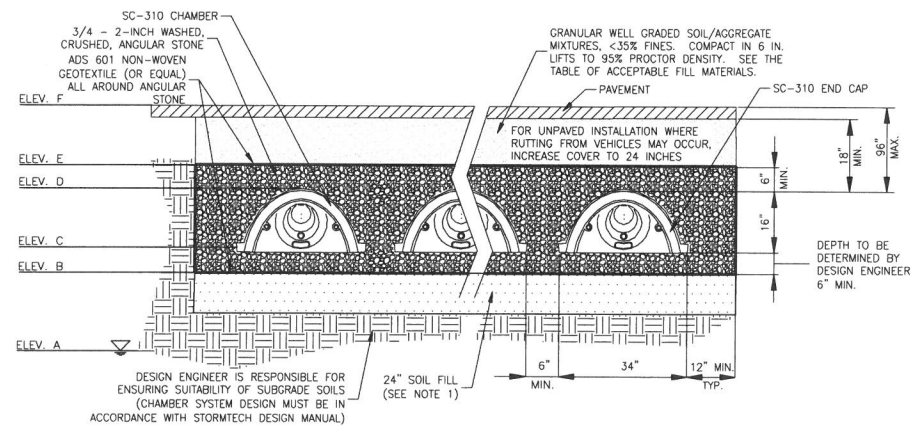
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



- NOTES:  
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).  
2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

### STORMTECH SC-740 UNDERGROUND INFILTRATION BASIN

NOT TO SCALE



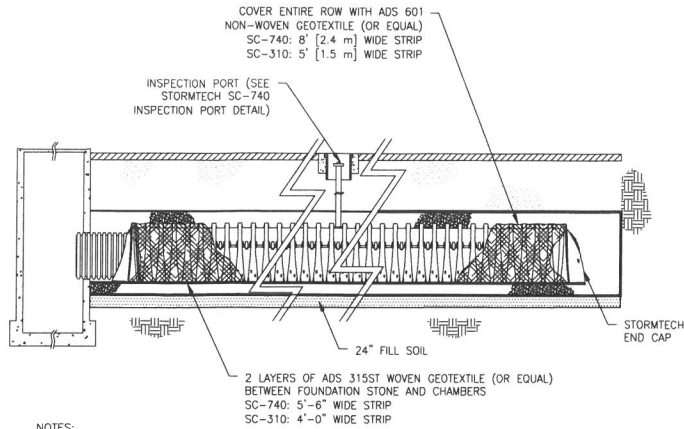
- NOTES:  
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).  
2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

### STORMTECH SC-310 UNDERGROUND INFILTRATION BASIN

NOT TO SCALE



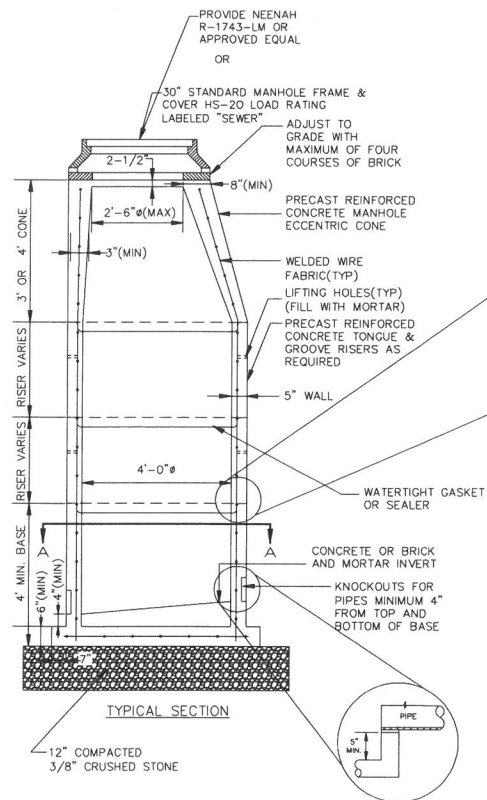
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



- NOTES:  
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).

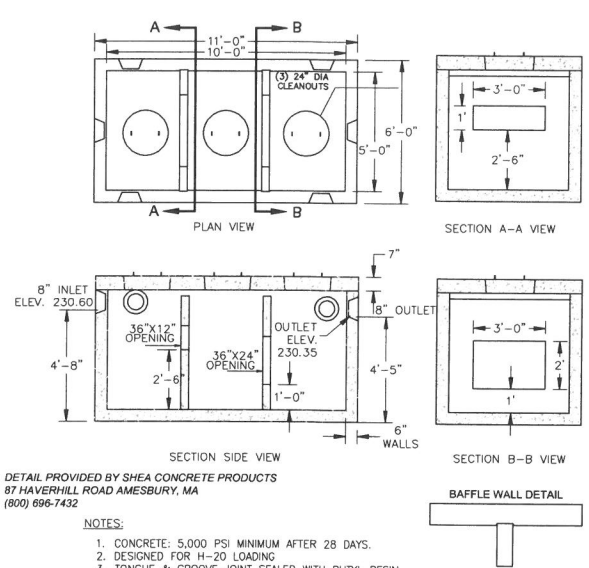
### ISOLATOR ROW PROFILE

NOT TO SCALE



### SEWER MANHOLE

REV. 10/28/2016  
NOT TO SCALE



### 1,500 GALLON SEDIMENT & OIL SEPARATOR

NOT TO SCALE

- NOTES:  
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
2. DESIGNED FOR H-20 LOADING  
3. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.

- NOTES:  
1. INVERT AND SHELVE TO BE PLACED AFTER EACH LEAKAGE TEST.  
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.  
3. INVERT BRICKS SHALL BE LAID ON EDGE.  
4. MANHOLE FRAME AND COVERS SHALL BE OF HEAVY DUTY DESIGN, GRAY IRON CASTING, AND SHALL HAVE THE WORD "SEWER" PLAINLY CAST INTO THE CENTER OF EACH COVER IN 3-INCH (MIN. HEIGHT) LETTERS.  
5. PRECAST CONCRETE MANHOLES SHALL MEET AASHTO M199-93/ASTM C478-90B, RATED FOR HS-20 LOADING WITH CONCRETE STRENGTH OF 4000 PSI OR GREATER.  
6. ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.

### SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

#### DETAILS

PROPOSED AUTO DEALERSHIP  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR  
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
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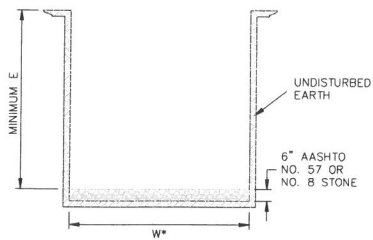
47159.01

DR RCK  
CK HEG

FB  
CADFILE

47159-01\_Details.dwg

C-16

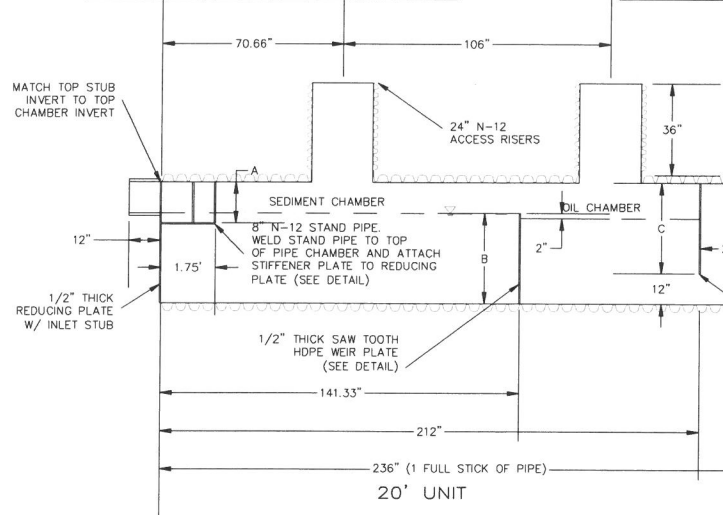


1. AVOID EXCESSIVE GROUND WATER IN THE TRENCH DE-WATER AS NECESSARY.
2. PROVIDE SHEETING OR SHORING AS REQUIRED.
3. MAXIMUM COVER HEIGHT MEASURED FROM THE TOP OF THE UNIT TO FINAL GRADE SHALL NOT EXCEED 8 FEET.

ADS UNIT SIZE	MINIMUM E	MINIMUM W
36"	4.5'	6.5'
42"	5.0'	7.0'
48"	5.5'	7.5'
60"	7.5'	8.5'

\* TRENCH WIDTH DOES NOT ACCOUNT FOR BY-PASS PIPE. THIS ESTIMATE IS FOR THE MAIN UNIT ONLY.

#### TRENCH AND BEDDING PREPARATION FOR UNIT



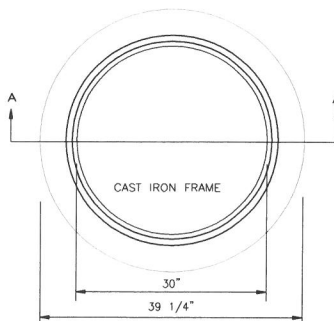
#### PLACING UNIT AND INITIAL BACKFILL

1. UTILIZE CARE WHEN LOWERING UNIT INTO THE TRENCH. HANDLE USING NYLON SLINGS AND TWO PICK POINTS.
2. PLACE BACKFILL AROUND THE UNIT IN UNIFORM 8"-12" LIFTS, COMPACTED TO 95% SPD.
3. WHEN THE UNIT CONSISTS OF 2 SECTIONS, PLACE THE DOWNSTREAM SECTION FIRST. PROPERLY LUBE THE BELL AND SPIGOT, CONNECT AND HOME THE REMAINING SECTIONS.

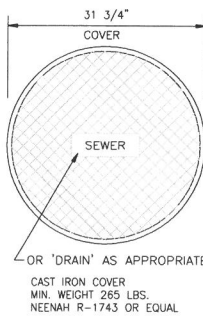
#### NOTES

1. ALL DIMENSIONS ARE NOMINAL.
2. ALL FITTING CONNECTIONS WILL BE MADE USING A STANDARD BELL/BELL OR SPLIT COUPLER.

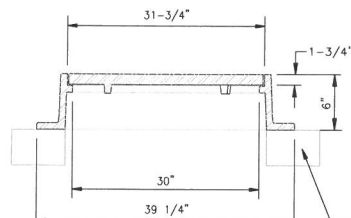
20' UNIT



#### PLAN VIEW



#### COVER



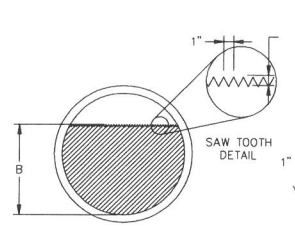
#### SECTION A-A

### MANHOLE FRAME AND COVER-TYPE A

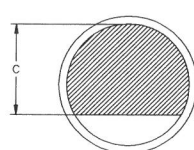
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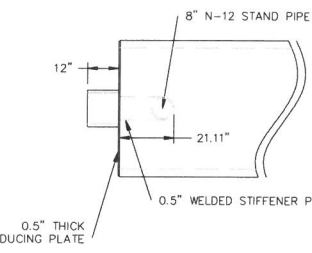
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



1/2" THICK SAW TOOTH HDPE WEIR PLATE IN SEDIMENT CHAMBER



1/2" THICK HDPE INVERTED WEIR PLATE FOR OIL CHAMBER



#### DISPERSION BAFFLE DETAIL (TOP VIEW)

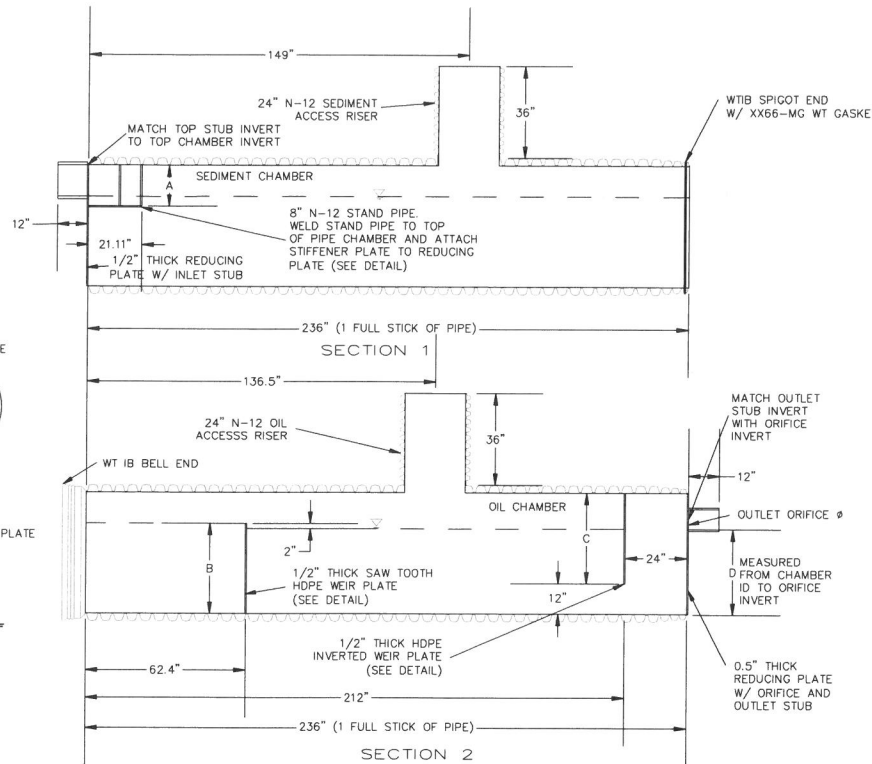
BY-PASS FITTINGS \*

### ADS WATER QUALITY UNIT

NOT TO SCALE

#### WATER QUALITY UNITS ON SITE

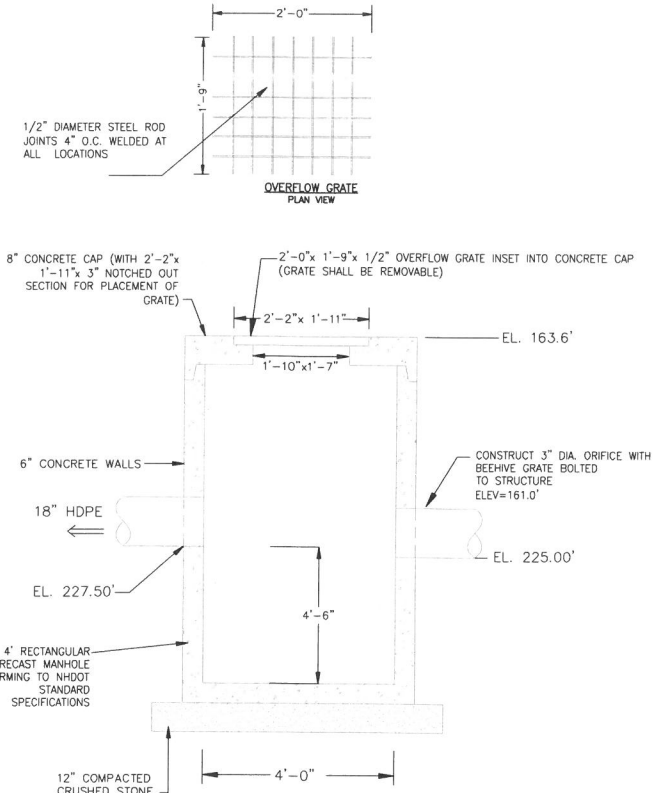
	PRODUCT NUMBER
WQU 5	4220WQUA15
WQU 11	4220WQUA15
WQU 18	4220WQUA15
WQU 25	4220WQUA15
WQU 34	4220WQUA18
WQU 41	4220WQUA18



#### 40' STANDARD FAB DETAIL

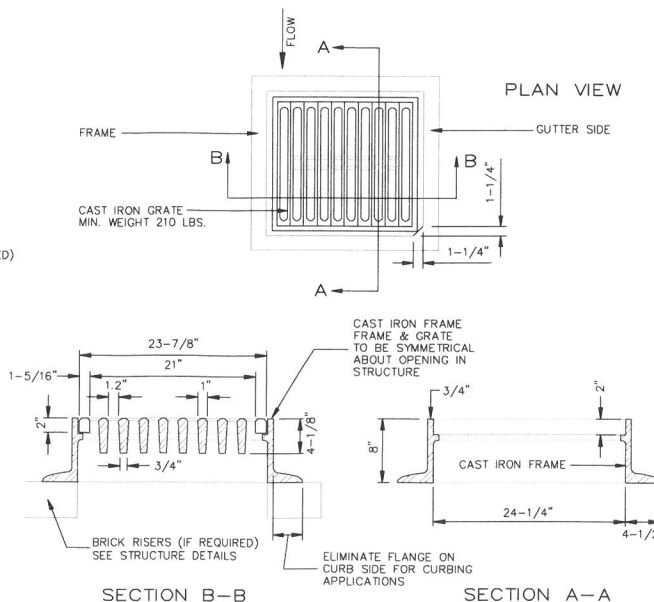
#### NOTES

1. THE UNIT WILL BE SHIPPED AS 2 PIECES SECTION 1 AND SECTION 2 WILL BE FIELD CONNECTED.
2. ALL DIMENSIONS ARE NOMINAL.
3. ALL FITTING CONNECTIONS WILL BE MADE USING A STANDARD BELL/BELL OR SPLIT COUPLER.



### OUTLET CONTROL STRUCTURE

NOT TO SCALE



#### SECTION B-B

#### SECTION A-A

### FRAME AND GRATE-TYPE A

NOT TO SCALE



### SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

#### DETAILS

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JULY 9, 2019



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REV.	DATE	DESCRIPTION	DKE	HEG
1	8/13/19	TRG COMMENTS		
			DR	CK

47159.01	DR	RCK	FB		
	CK	HEG	CADFILE	47159-01_Details.dwg	C-17

ABUTTERS WEST OF SPAULDING TURNPIKE

221-153  
HOWARD MCPHERSON  
23 TEN ROD RD  
ROCHESTER, NH 03867-4243  
S.C.R.D. BK. 1705, PG. 325

221-152  
TRUE MEMORIAL BAPTIST CHURCH  
PO BOX 1001  
ROCHESTER, NH 03866-1001

221-151  
TEN PINES AT TEN ROD ROAD CONDO  
C/O EVERGREEN MANAGEMENT  
PO BOX 4579 DEPT 355  
HOUSTON, TX 77210-4579  
S.C.R.D. BK. 2992, PG. 672

221-169  
STATE OF NEW HAMPSHIRE  
STATE BUREAU OF TURNPIKE  
PO BOX 2950  
CONCORD, NH 03302-2950  
S.C.R.D. 667-175

114-001  
R.E.L. COMMONS, LLC  
1 CATE ST SUITE 520  
PORTSMOUTH, NH 03801  
S.C.R.D. BK. 3152, PG. 596

114-008  
MAINLY ROCHESTER PIZZA LLC  
4 MILK ST SUITE 103  
PORTLAND, ME 04101-4164  
S.C.R.D. BK. 3699, PG. 744

114-007  
OPPORTUNITY REALTY  
OF ROCHESTER LLC  
401 NORTH MAIN ST  
ROCHESTER, NH 03867-4350  
S.C.R.D. BK. 2252, PG. 150

114-006  
DICK'S REALTY INC  
401 NORTH MAIN ST  
ROCHESTER, NH 03867-4350  
S.C.R.D. BK. 1269, PG. 216

114-005  
CLEW DAVIDS  
INTEGRITY AUTOMOTIVE INC  
415 NORTH MAIN ST  
ROCHESTER, NH 03867-4350  
S.C.R.D. BK. 4526, PG. 348

PURSUANT TO RSA 676:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

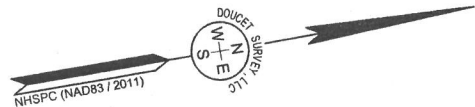
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #37

DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS' RECORDS.

SCALE: 1 INCH = 40 FT.



SPAULDING TURNPIKE  
(NH ROUTE 16/US ROUTE 202)

EXIT 15 (OFF RAMP)

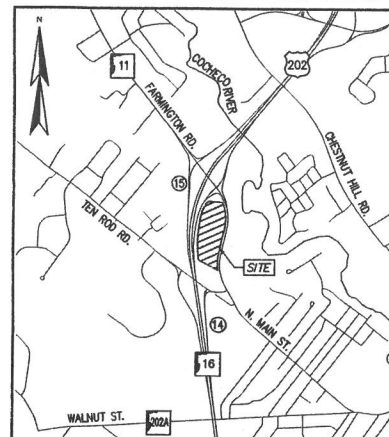
CONC. RETAINING WALL  
W/ CHAIN LINK FENCE

TRACT I PER RECORD  
DESCRIPTION

TRACT II PER RECORD  
DESCRIPTION

TRACT III PER RECORD  
DESCRIPTION

NORTH MAIN STREET (PAVED PUBLIC VARIABLE WIDTH)



LOCATION MAP (n.t.s.)

LEGEND

- LOT LINE
- APPROXIMATE LOT LINE
- EASEMENT LINE
- APPROXIMATE ABUTTERS LOT LINE
- WIRE FENCE
- CHAIN LINK FENCE
- OVERHEAD WIRE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- DRAIN LINE PER REF. PLAN 5
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE LINE
- SHRUB LINE
- EDGE OF WETLAND
- APPROXIMATE WATER LINE
- CONCRETE
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- GUY POLE
- LIGHT POLE (ONE ARM)
- SIGN
- SIGN (TWO POSTS)
- BOUND FOUND
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- WATER GATE VALVE
- GAS GATE VALVE
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- WETLAND AREA
- CONIFEROUS TREE
- DECIDUOUS TREE
- MONITORING WELL
- DRAINAGE FLOW DIRECTION ARROW
- TYPICAL
- CONC.
- NH&B FND.
- D.H.
- VCC
- SBB
- SWL
- SYL
- DYL
- DSYL
- DSWL

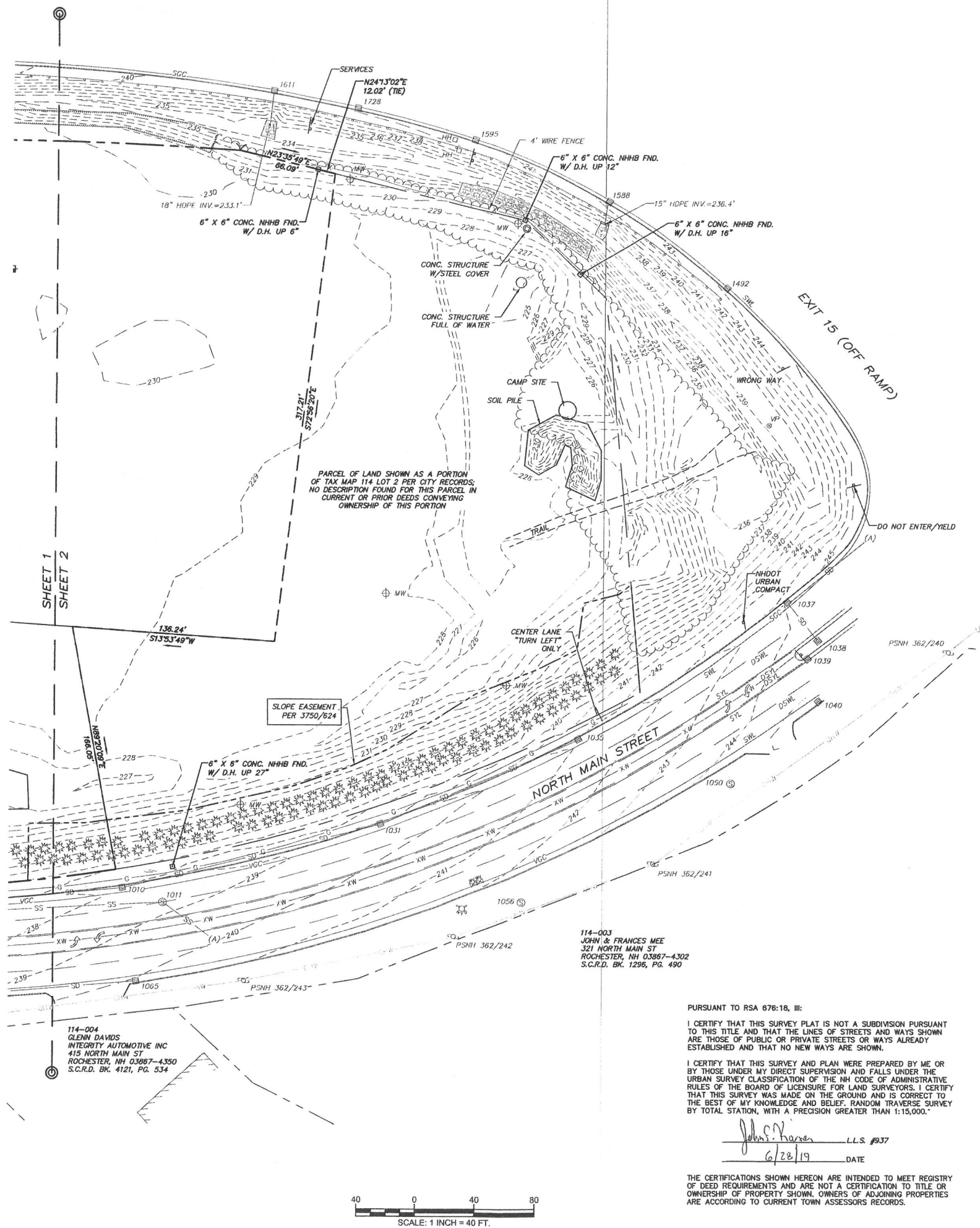
EXISTING CONDITIONS PLAN  
FOR  
MSC CIVIL ENGINEERS  
OF  
TAX MAP 114 LOT 2  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

NO.	DATE	ADD PARCEL LABELS	M.T.L.
1	06/27/19		
		DESCRIPTION	BY

DRAWN BY:	M.T.L.	DATE:	MARCH 26, 2019
CHECKED BY:	J.F.K.	DRAWING NO.:	5228A
JOB NO.:	5228	SHEET	1 OF 2



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10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005  
<http://www.doucetsurvey.com>



- REFERENCE PLANS:
1. "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, NH PROJECT NO. 10620-D SPAULDING TURNPIKE NH ROUTE 16." DATED JANUARY 11, 2011.
  2. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED LS 1827(I) NH NO. P-2692-V." DATED FEBRUARY 28, 1985.
  3. "ALTA/ACSM LAND TITLE SURVEY, TAX MAP 114 LOT 1, PROPERTY OF REL COMMONS, LLC, 306 NORTH MAIN STREET, ROCHESTER, NEW HAMPSHIRE, COUNTY OF STRAFFORD" DATED FEBRUARY 12, 2015 BY MSC NOT RECORDED.
  4. "PLAN OF LAND OF FIRST DEVELOPMENT CORPORATION GLOBE DEPARTMENT STORES ROUTE 11 ROCHESTER, NH" DATED NOV. 27, 1990 BY BERRY SURVEYING & ENGINEERING S.C.R.D. PLAN 38A-41.
  5. 400 NORTH MAIN STREET DIGITAL CAD FILE FURNISHED BY NORWAY PLANS ASSOCIATES.

EXISTING CONDITIONS PLAN  
FOR  
MSC CIVIL ENGINEERS  
OF  
TAX MAP 114 LOT 2  
400 NORTH MAIN STREET  
ROCHESTER, NEW HAMPSHIRE

1	06/27/19	ADD PARCEL LABELS	M.T.
NO.	DATE	DESCRIPTION	B'

DRAWN BY: M.T.L.	DATE: MARCH 26, 2019
CHECKED BY: J.F.K.	DRAWING NO.: 5228A
JOB NO.: 5228	SHEET 2 OF 2



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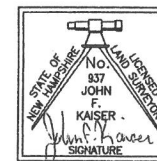
PURSUANT TO RSA 676:18, III:

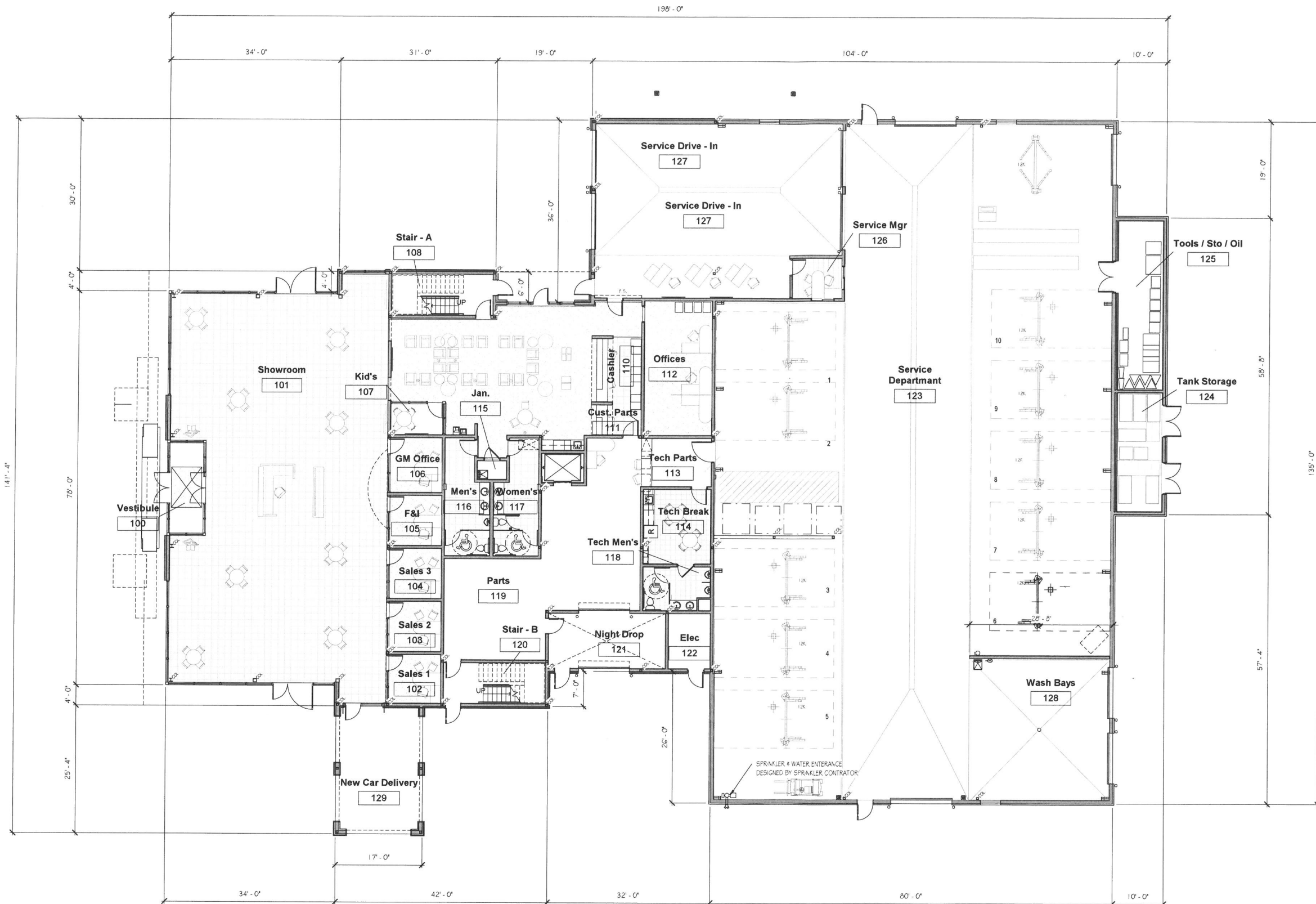
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000."

John S. Karen L.L.S. #937  
6/28/19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.





<b>1 FIRST FLOOR PLAN</b>		
3/32" = 1'-0"		
First Floor S.F.	=	20,785
Second Floor S.F.	=	4,874
Total	=	25,659

No.	Description	Date
Revision Schedule		

Project Info:  
**Rochester  
Buick GMC**

400 North Main St  
Rochester NH

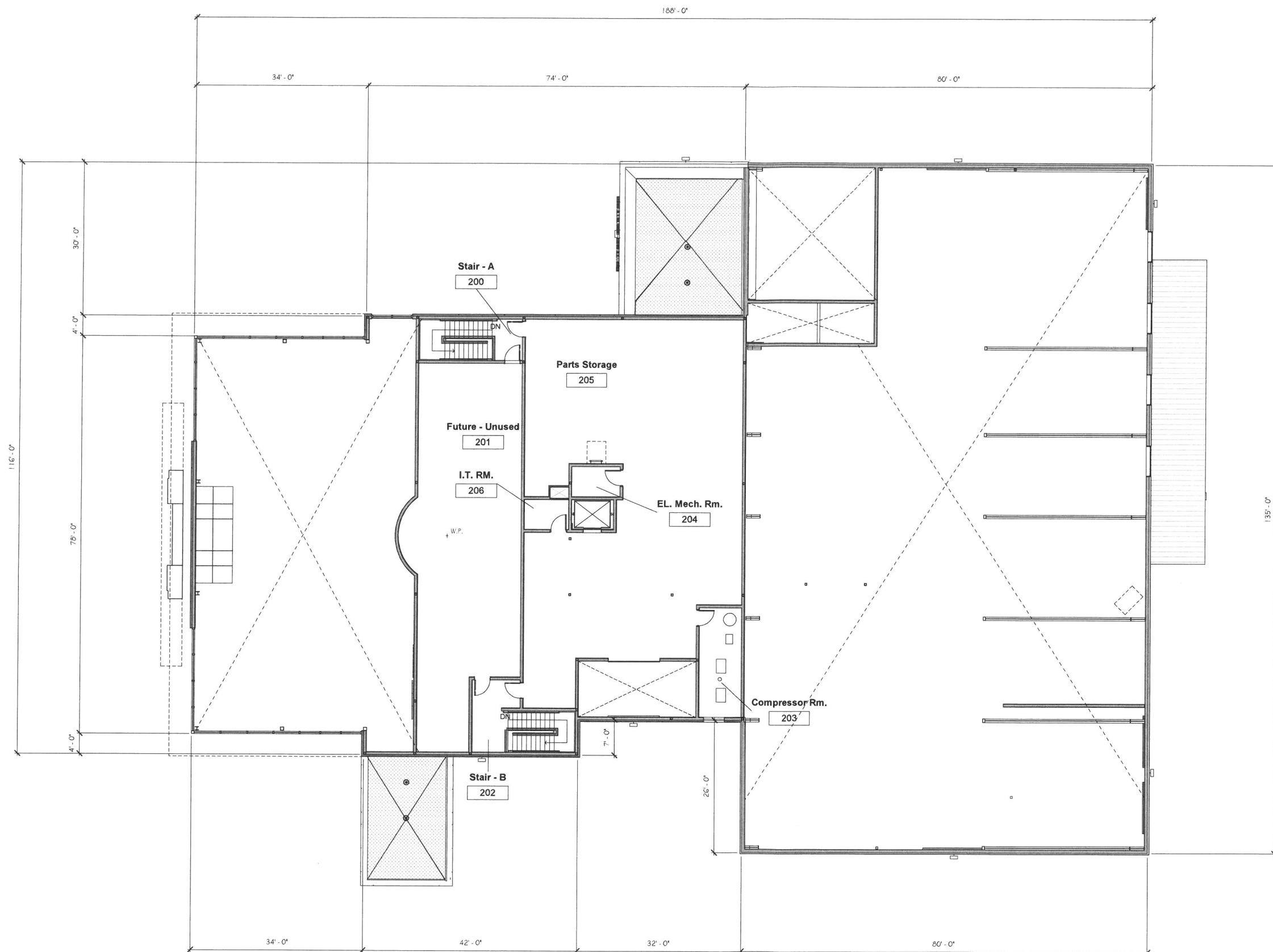
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Latest Release:  
Issued For: **Planning Board Set**  
Org. Issue Date: **N.F.C.**  
JOB NO: **19010**  
DRAFTED: **MLN**  
CHECKED: **JMT**  
SCALE: **3/32" = 1'-0"**

Sheet Title:  
**First Floor Plan**

Sheet Number:  
**A1.1**



PLANNING BOARD SET  
8/9/2019



① SECOND FLOOR PLAN  
3/32" = 1'-0"

First Floor S.F. = 20,785  
Second Floor S.F. = 4,874  
Total = 25,659

No. Description Date  
Revision Schedule

Project Info:  
**Rochester  
Buick GMC**

400 North Main St  
Rochester NH

Sheet Status:  
Latest Release:  
Issued For: Planning Board Set  
Org. Issue Date: N.F.C.  
JOB NO: 19010  
DRAFTED: MLN  
CHECKED: JMT  
SCALE: 3/32" = 1'-0"

Sheet Title:  
**Second Floor  
Plan**

Sheet Number:  
**A1.2**

8/9/2019

PLANNING BOARD SET  
8/9/2019



GENERAL ROOF PLAN NOTES:

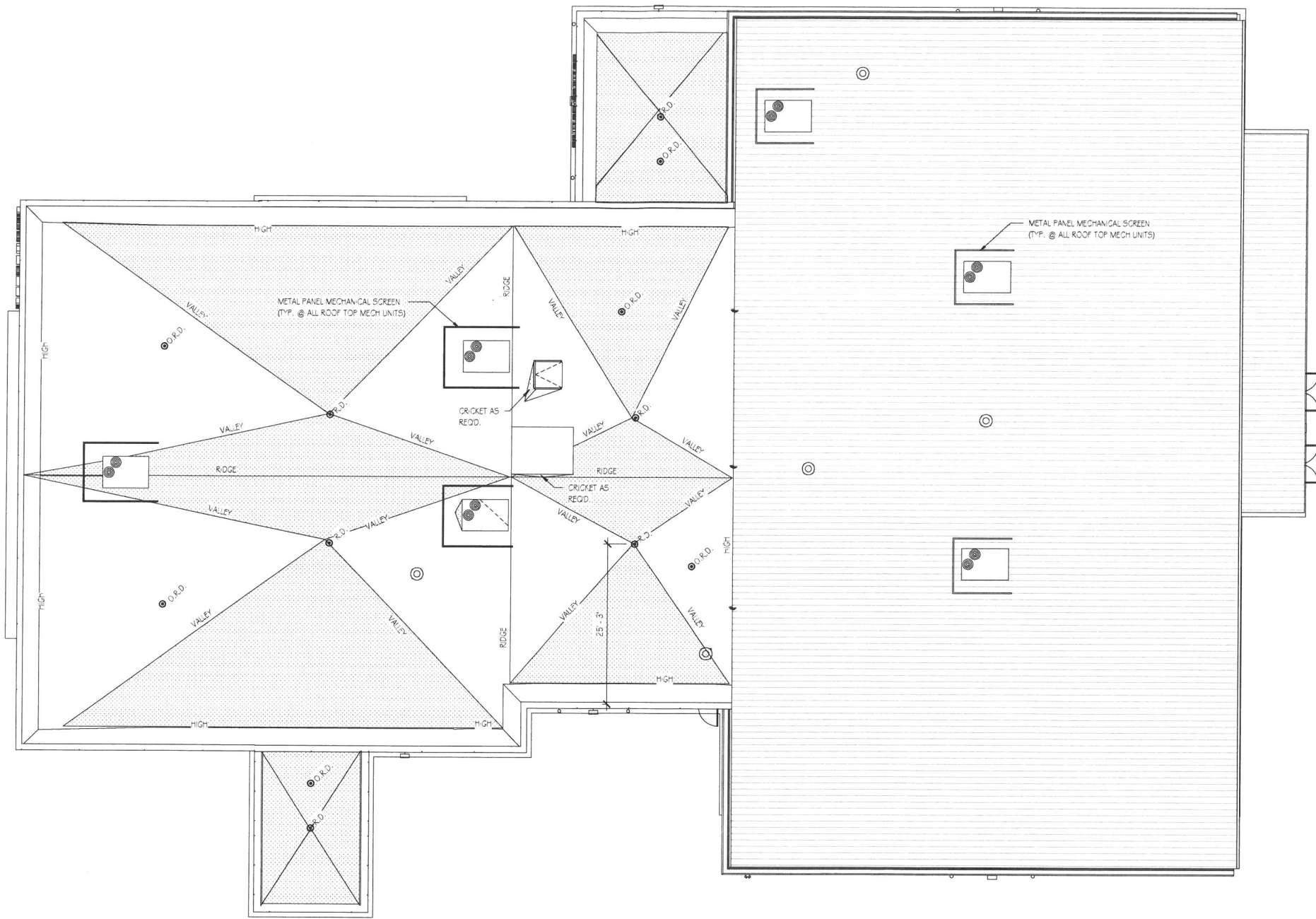
- 1) ALL ROOF SLOPES ARE 1/4" PER FOOT MIN.
- 2) PITCH STEEL AS REQD. TO ACHIEVE ROOF SLOPES INDICATED ON DWGS.
- 3) HATCH INDICATES EXTENT OF SLOPED ROOF INSULATION.
- 4) ALL RUBBER ROOFS TO BE 60 MIL FULLY ADHERED E.P.D.M.
- 5) MIN. ROOF INSULATION THICKNESS SHALL BE 3"
- 6) BRACE TOP OF ALL PARAPET WALLS WITH METAL STUD KICKER. WALL SLOPED 10/12. REFER TO SECTIONS FOR MORE DETAILS.

TEXT LEGEND:

R.D. = ROOF DRAIN  
O.R.D. = OVER FLOW ROOF DRAIN

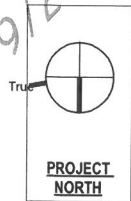
[Hatched Box] = INDICATES TAPERED INSULATION

[Double Line Box] = STANDING SEAM METL. ROOF @ P.E.B.



1 ROOF PLAN  
3/32" = 1'-0"

PLANNING BOARD SET  
8/9/2019



No.	Description	Date
Revision Schedule		

Project Info:

**Rochester  
Buick GMC**

400 North Main St  
Rochester NH

Sheet Status:

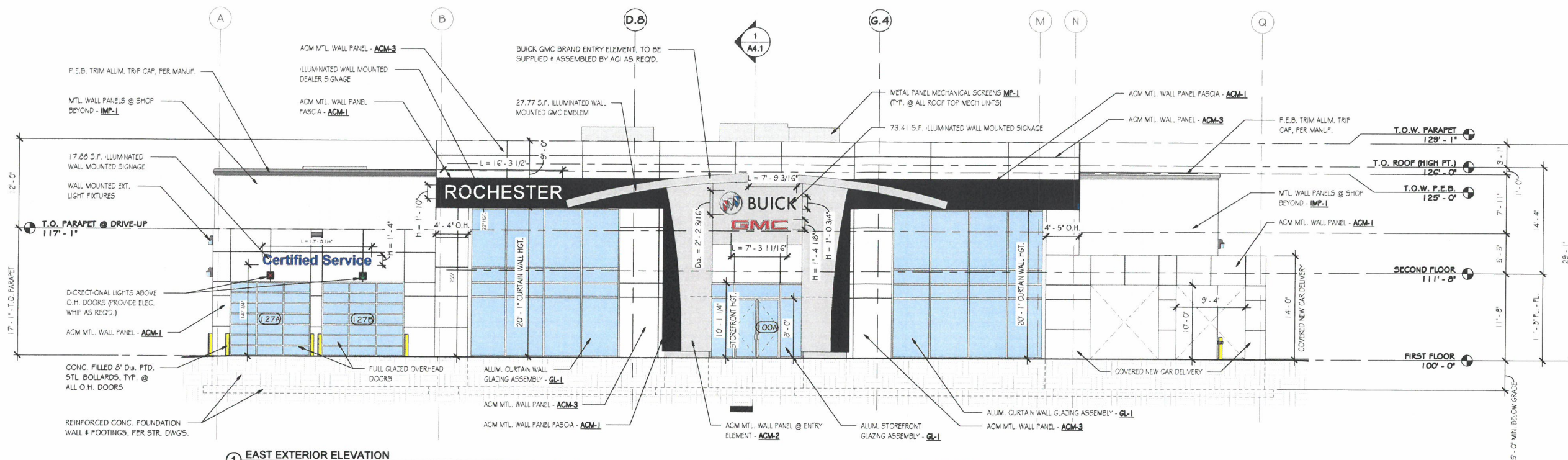
Latest Release:  
Issued For: **Planning Board Set**  
Org. Issue Date: **N.F.C.**

JOB NO: **19010**  
DRAFTED: **MLN**  
CHECKED: **JMT**

SCALE: **3/32" = 1'-0"**

Sheet Title:  
**Roof Plan**

Sheet Number:  
**A1.3**



**1 EAST EXTERIOR ELEVATION**  
1/8" = 1'-0"

Building Sign s.f. totals  
18.25 (Certified Service)  
28.4 (Dealer Name)  
4.76 (Fineline)  
8.25 (Buick Letters)  
8.82 (GMC Letters)  
70.48 s.f. total

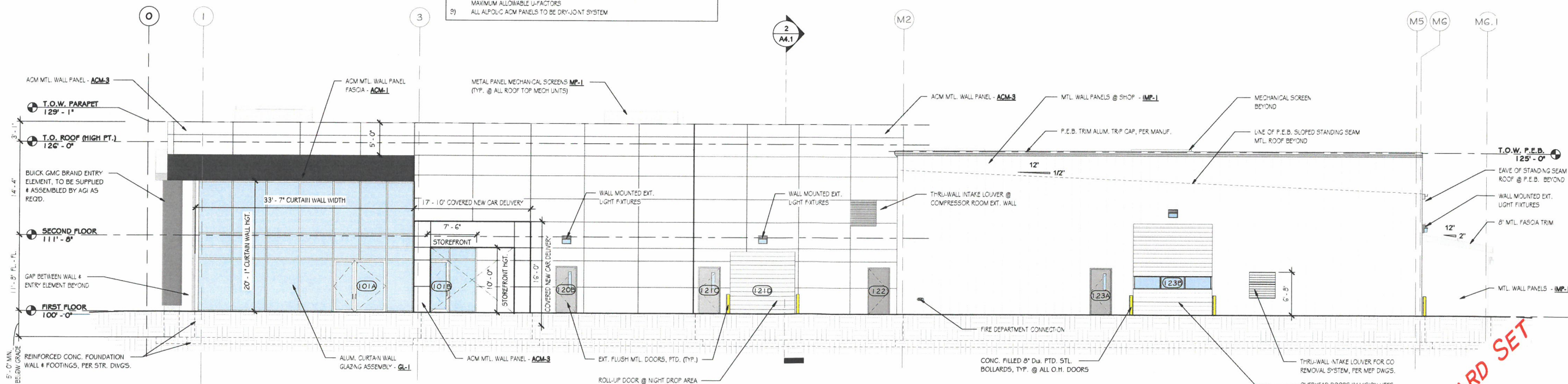
**ELEVATION NOTES:**

- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
- 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
- 3) REFER TO SHEET AG.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
- 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
- 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
- 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
- 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
- 8) REFER TO TABLE 2702.4 ON CODE REVIEW SHEET OR.1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
- 9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

**EXTERIOR FINISH SCHEDULE**

1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
2. ACM-2 = ALPOLIC HLA BRUSHED HAIRLINE ALUMINUM
3. ACM-3 = ALPOLIC RWL WHITE - WHITE
4. MP-1 = ATAS SOLAREN VL MICRO-BEAD - BONE WHITE
5. GL-1 = SOLARBAND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN

⊙ = SPANDREL GLAZE STOREFRONT PANEL



**2 NORTH EXTERIOR ELEVATION**  
1/8" = 1'-0"

No.	Description	Date
	Revision Schedule	

Project Info:  
**Rochester Buick GMC**

400 North Main St  
Rochester NH

Sheet Status:  
Latest Release:  
Issued For:  
Org. Issue Date:  
Job No.: 19010  
Drafted: JMT  
Checked: -  
Scale: 1/8" = 1'-0"

Sheet Title:  
**Exterior Elevations**

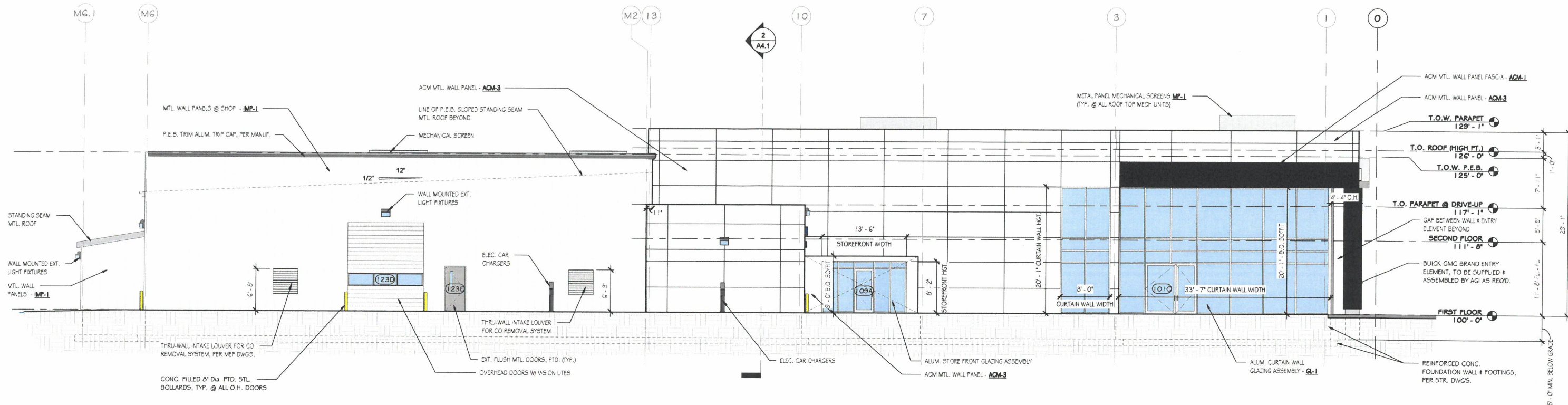
Sheet Number:

**A3.1**

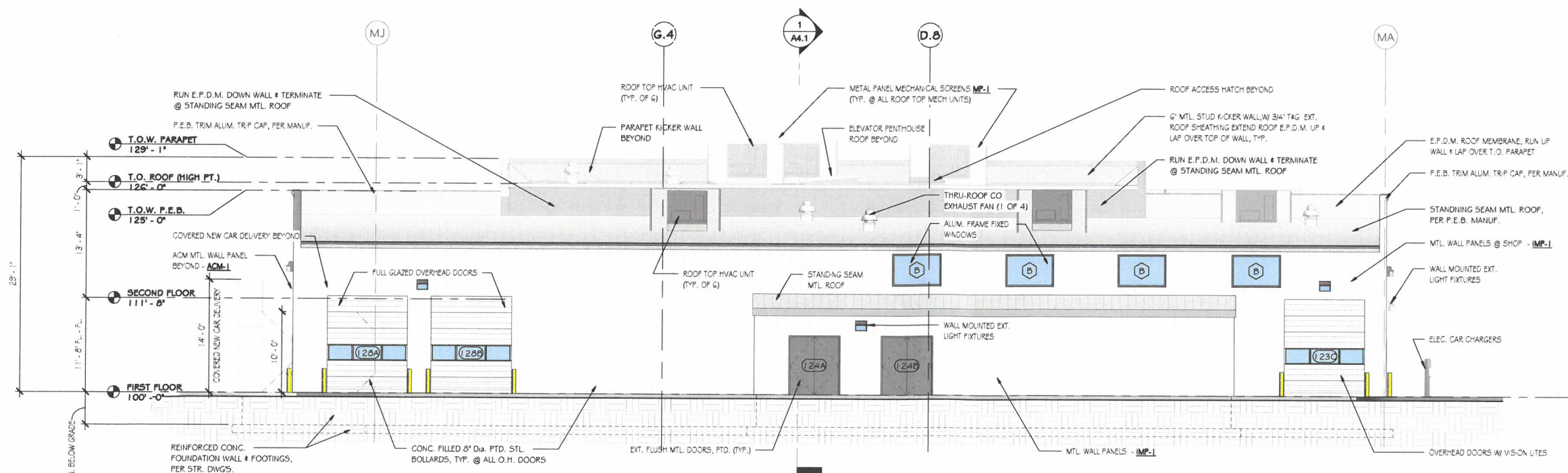
**PLANNING BOARD SET**  
8/9/2019

- ELEVATION NOTES:
- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
  - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
  - 3) REFER TO SHEET A6.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
  - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
  - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
  - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
  - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
  - 8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET CR.1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
  - 9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
  2. ACM-2 = ALPOLIC HLA BRUSHED HAIRLINE ALUMINUM
  3. ACM-3 = ALPOLIC R/W WHITE - WHITE
  4. MP-1 = ATAS ISOLAREN VL MICRO-BEAD - BONE WHITE
  5. GL-1 = SOLARBOND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
  6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN



2 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



1 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"

No.	Description	Date
	Revision Schedule	

Project Info:  
**Rochester Buick GMC**

400 North Main St  
Rochester NH

Sheet Status:  
Latest Release:  
Issued For: Planning Board Set  
Org. Issue Date: N.F.C.  
JOB NO: 19010  
DRAFTED: MLN  
CHECKED: JMT  
SCALE: 1/8" = 1'-0"

Sheet Title:  
**Exterior Elevations**

Sheet Number:  
**A3.2**

PLANNING BOARD SET  
8/9/2019



## BUICK GMC of ROCHESTER



**ABBREVIATIONS:**

Avg= Average  
AFG= Above Finished Grade  
CF = Compact Fluorescent  
CV= Coefficient of variation  
fc = Footcandles  
HPS = High Pressure Sodium  
LLF= Light Loss Factor  
MH = Mounting Height  
NTS = Not to Scale  
PSMH = Pulse Start Metal Halide  
SF = Square foot  
W = Watts

**NOTES:**

- A. CALCULATION POINTS INDICATED ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURE. REFER TO SCHEDULES FOR LLF AND LUMEN INFORMATION.
- B. REFER TO PLAN FOR FIXTURE MOUNTING HEIGHTS.
- C. CALCULATION POINTS TAKEN AT GRADE.

[illegible][illegible][illegible]

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<b>REVISIONS</b>		
<b>No.</b>	<b>Description</b>	<b>Date</b>
5.		
4.		
3.		
2.		
1.	<b>T&amp;G Comments</b>	<b>08/13/19</b>
<b>Issue Date:</b> July 3, 2019 <b>Project #:</b> 19143 <b>Drawn:</b> AD <b>Checked:</b> TJ <b>Approved:</b> MC <b>Scale:</b> 1"=40'-0"		
<b>DRAWING NAME</b> <h2 style="margin: 0;">Lighting Plan, Schedules and Specifications</h2>		