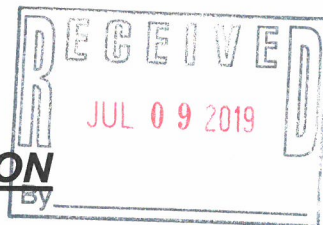




NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire



Date: July 9, 2019 Is a conditional use needed? Yes: _____ No: X Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 114; Lot #(s): 2; Zoning district: HC

Property address/location: 400 North Main Street, Rochester, NH 03867

Name of project (if applicable): 400 North Main Street, LLC

Size of site: 13.3 acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): 400 North Main Street, LLC

Mailing address: 549 Route 1 Bypass, Portsmouth, NH 03801

Telephone #: (603) 319-0440 Email: adilorenzo@keyauto.com

Applicant/developer (if different from property owner)

Name (include name of individual): Same

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Hannah E. Giovannucci at MSC a division of TFMoran, Inc.

Mailing address: 170 Commerce Way Suite 102, Portsmouth, NH 03801

Telephone #: (603) 431-2222 Fax #: (603) 431-0910

Email address: hgiovannucci@tfmoran.com Professional license #: 15699

Proposed activity (check all that apply)

New building(s): X Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): _____ Demolition: X Change of use: _____

Describe proposed activity/use: Motor vehicle sales, rental and service station

Describe existing conditions/use (vacant land?): Vacant land

Utility information

City water? yes X no ____; How far is City water from the site? In North Main Street R.O.W.

City sewer? yes X no ____; How far is City sewer from the site? In North Main Street R.O.W.

If City water, what are the estimated total daily needs? TBD gallons per day

If City water, is it proposed for anything other than domestic purposes? yes X no ____

If City sewer, do you plan to discharge anything other than domestic waste? yes ____ no X

Where will stormwater be discharged? On- site to existing drainage system which outlets to existing southern wetlands

Building information

Type of building(s): Auto dealership and service center

Building height: < 20' Finished floor elevation: 237.5+

Other information

parking spaces: existing: 0 total proposed: 65; Are there pertinent covenants? No

Number of cubic yards of earth being removed from the site None (proposed fill)

Number of existing employees: TBD; number of proposed employees total: TBD

Check any that are proposed: variance ____; special exception ____; conditional use ____

Wetlands: Is any fill proposed? No; area to be filled: ____; buffer impact? ____

| Proposed <i>post-development</i> disposition of site (should total 100%) | | |
|--------------------------------------------------------------------------|----------------|----------------|
| | Square footage | % overall site |
| Building footprint(s) – give for each building | 20,961 | 3.6% |
| Parking and vehicle circulation | 190,819 | 32.9% |
| Planted/landscaped areas (excluding drainage) | 59,255 | 10.2% |
| Natural/undisturbed areas (excluding wetlands) | 306,793 | 52.9% |
| Wetlands | 2,306 | .4% |
| Other – drainage structures, outside storage, etc. | | |

(Continued Nonresidential Site Plan application Tax Map: 114 Lot: 2 Zone HC)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Please reference the Site Plan submittal narrative for additional information and waivers.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: X 

Date: 7/8/19

Signature of applicant/developer: X 

Date: 7/8/19

Signature of agent: Hannah Giarrusso

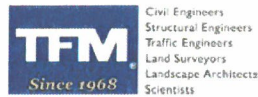
Date: 7/8/2019

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: X 

Date: 7/8/19



Technical Review Submittal
400 North Main Street– 400 North Main Street, LLC – Tax Map # 114 Lot # 2
MSC Project #47159.01

July 9, 2019

Chrysler, Dodge, Jeep, Ram. The development is proposed outside a southern 100' Wetland Buffer and northern 100' Prime Wetland Buffer.

The project proposes to construct an auto dealership, containing a 2-story building with a footprint of 20,960 sf. The building will include a sales and service department, along with associated display parking and customer parking. Improvements include access, grading, utilities, landscaping, lighting, and a stormwater management system. The proposed site will be accessible via a curb cut on North Main Street which is off of NH-Route 16.

The proposed project is to construct an auto dealership with a 2-story building for sales, service and vehicle display parking as well as customer parking. Associated improvements include access ways, grading, utilities, lighting, and a stormwater management system. The project proposes 20,960 sf building footprint.

Based on our review of the City of Rochester's Site Plan Review Regulations, we are requesting relief in the form of waivers from the following sections as part of this submission.

Waiver Request #1

Requirement: Site Plan Checklist: Existing Topographic Features: Soil types and boundaries

Reason for Waiver: The soil types and boundaries are included on the Grading & Drainage Plan and Pre- and Post- Development Plans.

Waiver Request #2

Requirement: Site Plan Checklist: Existing Topographic Features: Soil test pit locations

Reason for Waiver: The soil test pit locations are included on the Grading & Drainage Plan and Pre- and Post- Development Plans.

Waiver Request #3

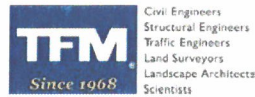
Requirement: Site Plan Checklist: Existing Topographic Features: Percolation test locations

Reason for Waiver: The percolation test locations are included on the Grading & Drainage Plan and Pre- and Post- Development Plans.

Waiver Request #4

Requirement: Land Development Regulations Article III Section 10(A) - Number of Required Parking Spaces.

Reason for Waiver: The proposed project is a car dealership and the required parking spaces are 99 spaces. Customers of car dealerships do not frequently show up on site on a regular basis, some customers drive around the lot to view. Most customers are relatively quick when visiting car dealerships. The total provided customer spaces is 65. There are 46 proposed customer parking spaces provided around the building to easily separate customer spaces from vehicle inventory. The remaining 19 customer spaces are provided along the rear of the building, intended primarily to store cars requiring maintenance within the service station.



Technical Review Submittal
400 North Main Street– 400 North Main Street, LLC – Tax Map # 114 Lot # 2
MSC Project #47159.01

July 9, 2019

Waiver Request #5

Requirement: Article III Section 5(D)(8b): At least one broad-leaved shade tree shall be planted in the front buffer for every 40 linear feet (or portion thereof) of the front buffer (not including the area where the driveway(s) penetrate the buffer).

Reason for Waiver: Landscaping within the front portion of the proposed lot would prevent potential customers from “window shopping” inventory from the road. Existing auto dealerships in Rochester, including Poulin Chrysler Dodge Jeep Ram dealership across the street from the proposed development, does not have landscaping (other than grassed areas) in the front buffer. Dealerships just a mile north of the site (i.e. Rochester Ford, Rochester Toyota, and Volkswagen of Rochester) also do not have landscaping within the front buffer.

Waiver Request #6

Requirement: Article III Section 5(E)(2): All off-street parking areas shall be screened from the public right-of-way to provide at least 50% vertical opacity on average up to a height of 3-1/2 feet above grade, excluding sight triangles at vehicular entrances and exits. A moderately dense hedge composed of evergreen shrubs shall be planted which is reasonably expected to reach this opacity and height within one year.

Reason for Waiver: Landscaping within the front portion of the proposed lot would prevent potential customers from “window shopping” inventory from the road. Existing auto dealerships in Rochester, including Poulin Chrysler Dodge Jeep Ram dealership across the street from the proposed development, does not have landscaping (other than grassed areas) in the front buffer. Dealerships just a mile north of the site (i.e. Rochester Ford, Rochester Toyota, and Volkswagen of Rochester) also do not have landscaping within the front buffer.

Waiver Request #7

Requirement: Article III Section 5(E)(7): There shall be no more than four continuous parallel parking rows on the interior of the parking lot (i.e. parking rows along the perimeter of the parking lot are not situated on the interior) without installation of a landscaped median separating those parking rows from any additional parking rows. The landscaped median shall be at least 6 feet wide and shall be parallel to and run the same length as the adjacent parking rows. See the diagram.

Reason for Waiver: This requirement throughout the site is met with 10' to 14'-wide landscape medians except for one instance, a 5th row of vehicle inventory located along the North Main Street Frontage. The additional row of vehicle inventory is provided along the frontage to offer potential customers “window shopping”.



Technical Review Submittal
400 North Main Street– 400 North Main Street, LLC – Tax Map # 114 Lot # 2
MSC Project #47159.01

July 9, 2019

Waiver Request #8

Requirement: Article III Section 5(E)(9): Shade and/or ornamental trees shall be planted in and around the parking lot in order that no spot on the parking lot is situated further than 75 feet from the center of the trunk of a shade or ornamental tree.

Reason for Waiver: The proposed auto dealership strives to meet the Rochester stormwater design criteria and NHDES Alteration of Terrain regulations to protect the stormwater water quality and recharge stormwater to the groundwater. Subsurface infiltration basins are located throughout the site to help achieve this goal. Tree planting will not be allowed over or within 10' of a subsurface infiltration basin. Due to this, there are instances which may not allow the trees to be planted exactly 75' apart due to the depth of the root systems. Shade trees have been planted throughout the parking lot in locations where the subsurface infiltration basins do not conflict.

We appreciate your consideration of these matters and look forward to presenting this project to you in the near future.

We respectfully request that we be placed on the upcoming agenda for the Technical Review Group meeting on July 18, 2019 in hopes for the Planning Board meeting on August 5, 2019.

If you have any questions or concerns, please do not hesitate to contact us.

Respectfully,
MSC a division of TFMoran, Inc.

Hannah Giovannucci, PE
Project Manager

HEG/crr

GENERAL INFORMATION

FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT:

OWNER
 400 NORTH MAIN STREET, LLC
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801

APPLICANT
 400 NORTH MAIN STREET, LLC
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801

PREPARED FOR
 400 NORTH MAIN STREET, LLC
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801

RESOURCE LIST

PLANNING/ ZONING DEPARTMENT
 31 WAKEFIELD STREET
 ROCHESTER, NH 03867
 (603) 335-1338
 MARK SULLIVAN, PLANNING AND ZONING
 CITY MANAGER DESIGNEE

BUILDING DEPARTMENT
 31 WAKEFIELD STREET
 ROCHESTER, NH 03867
 (603) 332-3508
 JIM GRANT, DIRECTOR

PUBLIC WORKS
 45 OLD DOVER ROAD
 ROCHESTER, NH 03867
 (603) 332-4096
 PETER NOURSE, P.E., DIRECTOR

POLICE DEPARTMENT
 23 WAKEFIELD STREET
 ROCHESTER, NH 03867
 (603) 330-7127
 PAUL TOUSSAINT, CHIEF

FIRE DEPARTMENT
 37 WAKEFIELD STREET
 ROCHESTER, NH 03867
 (603) 335-7545
 MARK KLOSE, CHIEF

ASSOCIATED WITH

ARCHITECT
 TW DESIGNS, LLC
 254 DRAKE HILL ROAD
 STRAFFORD, NH 03884
 (603) 664-2181

GEOTECHNICAL ENGINEER
 S.W. COLE ENGINEERING, INC.
 10 CENTRE ROAD
 SOMERSWORTH, NH 03878
 (603) 692-0088

LIGHTING DESIGN
 SK & ASSOCIATES
 20 CARVER CIRCLE
 CANTON, MA 02021
 (781) 821-1700

SOIL SCIENTIST
 WHITESTONE ASSOCIATES, INC.
 352 TURNPIKE ROAD, SUITE 320
 SOUTHBOROUGH, MA 01772
 (508) 485-0755

SURVEYOR
 DOUCET SURVEY, INC.
 102 KENT PLACE
 NEWMARKET, NH 03857
 (603) 659-6560

TRAFFIC ENGINEER
 TFMORAN, INC.
 48 CONSTITUTION DRIVE
 BEDFORD, NH 03110
 (603) 472-4488
 JENNIFER PORTER, PE

WETLAND SCIENTIST
 GOVE ENVIRONMENTAL SERVICES
 8 CONTINENTAL DRIVE
 EXETER, NH 03833
 (603) 778-0644

**400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE**

RECEIVED
JUL 09 2019
By _____

| INDEX OF SHEETS | |
|----------------------------------------------|-------------------------------------------------|
| SHEET | SHEET TITLE |
| C-01 | COVER |
| C-02 | NOTES & LEGEND |
| C-03 | SITE PREPARATION & DEMOLITION PLAN |
| C-04 | SITE LAYOUT PLAN |
| C-05 | GRADING & DRAINAGE PLAN |
| C-06 | UTILITY PLAN |
| C-07 | LANDSCAPE PLAN |
| C-08 | LANDSCAPE NOTES, DETAILS, AND SCHEDULES |
| C-09 | EROSION CONTROL PLAN |
| C-10 | EROSION CONTROL NOTES |
| C-11 TO C-13 | DETAILS |
| <u>REFERENCE BY ASSOCIATED PROFESSIONALS</u> | |
| 1 TO 2 | EXISTING CONDITIONS (DOUCET SURVEY) |
| A1.1 TO A1.3 | PROPOSED FLOOR & ROOF PLANS (TW DESIGNS, INC.) |
| A3.1 TO A3.2 | PROPOSED EXTERIOR ELEVATIONS (TW DESIGNS, INC.) |
| - | EXTERIOR ELEVATION RENDERING (TW DESIGNS, INC.) |
| SL1 | LIGHTING PLAN, SCHEDULES, AND SPECIFICATIONS |

| PERMITS/APPROVALS | | | |
|-----------------------|---------|----------|---------|
| | NUMBER | APPROVED | EXPIRES |
| TOWN SITE PLAN | PENDING | PENDING | PENDING |
| NHDES ALT. OF TERRAIN | PENDING | PENDING | PENDING |

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF ROCHESTER'S LAND DEVELOPMENT REGULATIONS ARE BEING REQUESTED FROM THE PLANNING BOARD:

1. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TYPES AND BOUNDARIES
2. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TEST PIT LOCATIONS
3. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: PERCOLATION TEST LOCATIONS
4. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 10(A): NUMBER OF REQUIRED PARKING SPACES
5. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5 (D)(8B): SHADE TREE PER 40 LINEAR FEET ALONG FRONT BUFFER
6. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5 (E)(2): SCREENED OFF-STREET PARKING FROM THE PUBLIC RIGHT-OF-WAY
7. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5 (E)(7): LANDSCAPE MEDIAN PER FOUR CONTINUOUS PARKING ROWS
8. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5 (E)(9): SHADE/ORNAMENTAL TREES SPACED AT A MAXIMUM OF 75 FEET

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2


COVER

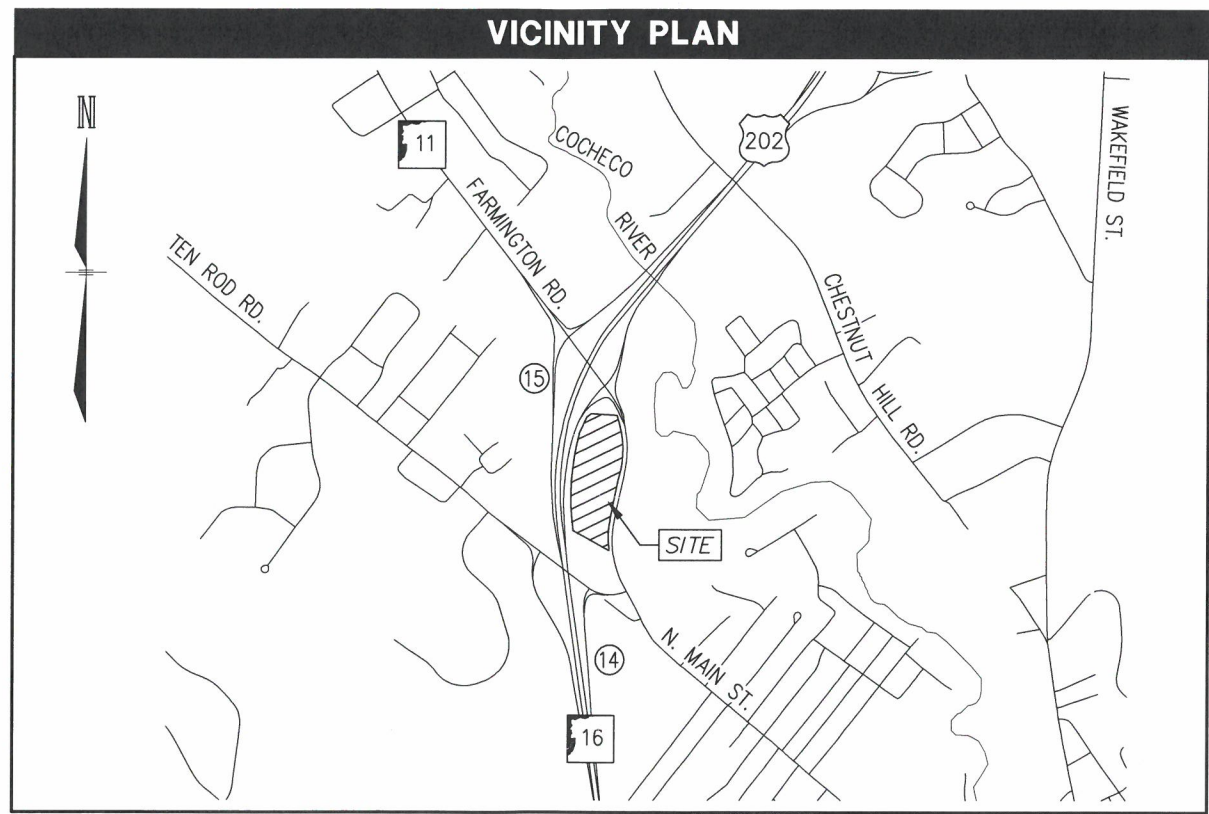
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019

JULY 9, 2019

| | | | | | | | |
|---------------------------------------------------------------------------------------|----------|---------------------------------------------------------------------------------------|-----|----------------------------------------------------------------------------------------------------------------------|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
|  | |  | | Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | | 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMorham.com | |
| FILE | 47159.01 | DR | RCK | CK | HEG | CADFILE | |
| | | | | | | | 47159-01_Cover.dwg |
| | | | | | | | C-01 |



SCALE: 1"=1000'



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com



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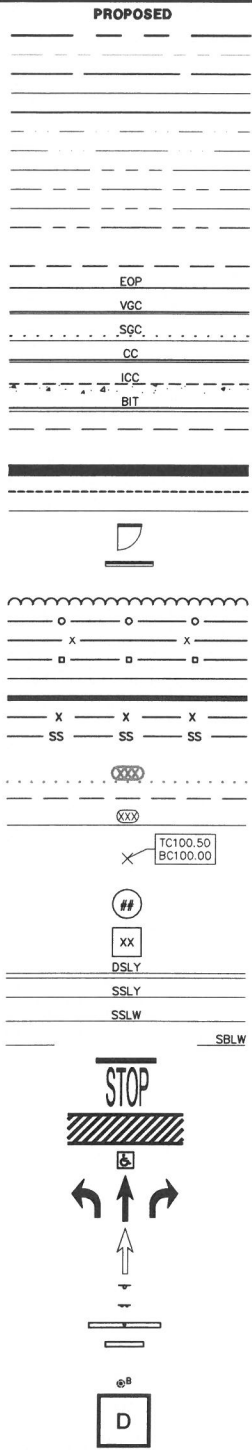
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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

[illegible]

LEGEND



PROPERTY LINE
ZONING LINE
EASEMENT
BASELINE
FLOODPLAIN
EDGE OF WATERBODY
EDGE OF WETLAND
SETBACK (WETLAND)
SETBACK (STRUCTURE)
SETBACK (PARKING)
SETBACK (LANDSCAPE)

EQP
VGC
SGC
CC
ICC
BIT

GRAVEL ROAD
EDGE OF PAVEMENT
VERTICAL GRANITE CURB
SLOPED GRANITE CURB
CONCRETE CURB
INTEGRATED CONCRETE CURB
BUTIMINOUS ASPHALT CURB
SAWCUT

BUILDING
BUILDING ROOF OVERHANG
BUILDING FOUNDATION
BUILDING ENTRANCE
OVERHEAD DOOR

TREE LINE
FENCE (CHAIN LINK)
FENCE (WIRE)
FENCE (STOCKADE)
GUARDRAIL
RETAINING WALL
SILT FENCE
SILT SOCK

SOIL BOUNDARY
LIMIT OF GRADING
CONTOUR
SPOT GRADE

PARKING SPACE COUNT
DISPLAY PARKING SPACE COUNT

YELLOW DOUBLE SOLID LINE
YELLOW SINGLE SOLID LINE
WHITE SINGLE SOLID LINE
WHITE SINGLE BROKEN LINE

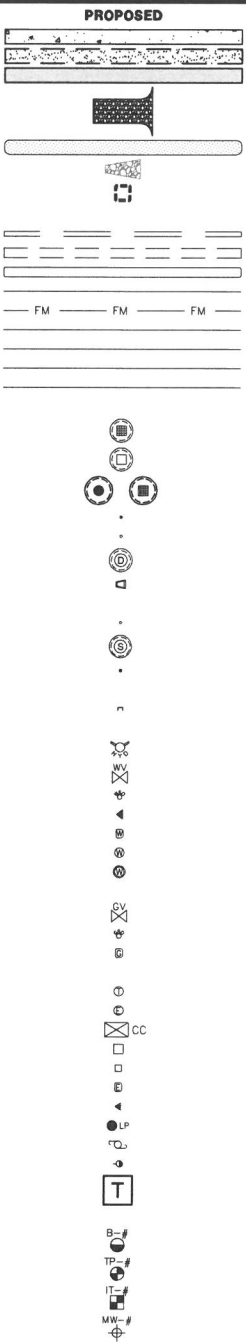
STOP BAR
CROSSWALK
ACCESSIBLE PARKING SYMBOL

PAVEMENT ARROW

TRAFFIC FLOW ARROW (NOT PAINTED)

SIGN (SINGLE POST)
SIGN (DOUBLE POST)
SIGN (PYLON)
SIGN (MONUMENT)

BOLLARD
DUMPSTER PAD



CONCRETE
GRAVEL
HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE
RIPRAP
INLET PROTECTION

DRAIN LINE
DRAINAGE SWALE
STORMWATER BMP
SEWER LINE
SEWER FORCE MAIN LINE
WATER LINE
GAS LINE
OVERHEAD UTILITY LINE
UNDERGROUND UTILITY LINE

CATCH BASIN
DRAIN INLET
OUTLET CONTROL STRUCTURE
ROOF DRAIN
DRAIN CLEANOUT
DRAIN MANHOLE
FARED END SECTION

SEWER CLEAN OUT
SEWER MANHOLE
SEWER VENT

DRAIN/SEWER/WATER PLUG OR CAP

HYDRANT
WATER GATE VALVE
WATER SHUTOFF
THRUST BLOCK
WATER METER
WATER MANHOLE
WELL

GAS GATE VALVE
GAS SHUT OFF
GAS METER

TELEPHONE MANHOLE
ELECTRIC MANHOLE
TRAFFIC CONTROL CABINET
ELECTRIC HANDHOLE
ELECTRIC PULL BOX
ELECTRIC METER
FLOOD LIGHT
LIGHT POLE
UTILITY POLE
GUY POLE

TRANSFORMER PAD

BORING LOCATION
TEST PIT LOCATION
INFILTRATION TEST LOCATION
MONITORING WELL

ABBREVIATIONS

| GENERAL | | | |
|---------|----------------------------|-------|--------------------------|
| ABAN | ABANDON | EXIST | EXISTING |
| AC | ACRES | FFE | FINISHED FLOOR ELEVATION |
| ADJ | ADJUST | FND | FOUNDATION |
| APPROX | APPROXIMATE | HP | HIGH POINT |
| BC | BOTTOM OF CURB | INV | INVERT ELEVATION |
| BIT | BUTIMINOUS | IT | INFILTRATION TEST |
| BK/PO | BOOK & PAGE | L | LENGTH |
| BLDG | BUILDING | LF | LINEAR FEET |
| BS | BOTTOM OF SLOPE | LSA | LANDSCAPE AREA |
| BW | BOTTOM OF WALL | MAX | MAXIMUM |
| CONC | CONCRETE | MIN | MINIMUM |
| COORD | COORDINATE | N/F | NOW OR FORMERLY |
| DIA | DIAMETER | NTS | NOT TO SCALE |
| ELEV | ELEVATION | OC | ON CENTER |
| EP | EDGE OF PAVEMENT | PERF | PERFORATED |
| PROP | PROPOSED | R | RADIUS |
| R&D | REMOVE AND DISPOSE | R&R | REMOVE AND RESET |
| REM | REMOVE | RET | RETAIN |
| RIM | RIM ELEVATION | S | SLOPE |
| SF | SQUARE FEET | SW | SIDEWALK |
| TBM | TEMPORARY BENCHMARK | TC | TOP OF CURB |
| TP | TEST PIT | TW | TOP OF WALL |
| TYP | TYPICAL | UG | UNDERGROUND |
| WCR | ACCESSIBLE WHEELCHAIR RAMP | W/ | WITH |

| UTILITIES | |
|-----------|--------------------------------|
| CB | CATCH BASIN |
| CIP | CAST IRON PIPE |
| CMP | CORRUGATED METAL PIPE |
| CO | CLEANOUT |
| COND | CONDUIT |
| DCB | DOUBLE CATCH BASIN |
| DIP | DUCTILE IRON PIPE |
| DWH | DRAIN MANHOLE |
| F&C | FRAME AND COVER |
| F&G | FRAME AND GRATE |
| FES | FLARED END SECTION |
| GT | GREASE TRAP |
| HDPE | HIGH DENSITY POLYETHYLENE PIPE |
| HH | HANDHOLE |
| HW | HEADWALL |
| HYD | HYDRANT |
| LP | LIGHT POLE |
| OCS | OUTLET CONTROL STRUCTURE |
| OWS | OIL WATER SEPARATOR |
| PVC | POLYVINYL CHLORIDE PIPE |
| RPC | REINFORCED CONCRETE PIPE |
| RD | ROOF DRAIN |
| SMH | SEWER MANHOLE |
| TSV | TAPPING SLEEVE, VALVE, AND BOX |
| UP | UTILITY POLE |

GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE PLAN SHALL BE RECORDED IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING DIRECTOR.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- AN ALTERATION OF TERRAIN PERMIT IS REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.
- SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- THE SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7 AM AND 6 PM, MONDAY THROUGH FRIDAY AND 8 AM AND 6 PM ON SATURDAY IN ACCORDANCE WITH "STANDARD OF INFRASTRUCTURE DESIGN, ROCHESTER, NEW HAMPSHIRE".
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
- PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
- IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:

| MINIMUM DENSITY* | LOCATION |
|------------------|---------------------------------------------------|
| 95% | BELOW PAVED OR CONCRETE AREAS |
| 90% | TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL |
| 90% | BELOW LOAM AND SEED AREAS |

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF ROCHESTER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

| DRAINAGE | PRIVATE |
|-----------|----------------------------------------------------------|
| SEWER | MUNICIPAL |
| WATER | MUNICIPAL |
| GAS | UNITIL |
| ELECTRIC | EVERSOURCE |
| TELEPHONE | CONSOLIDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS |
| CABLE | ATLANTIC BROADBAND |

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

NOTES & LEGEND

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019

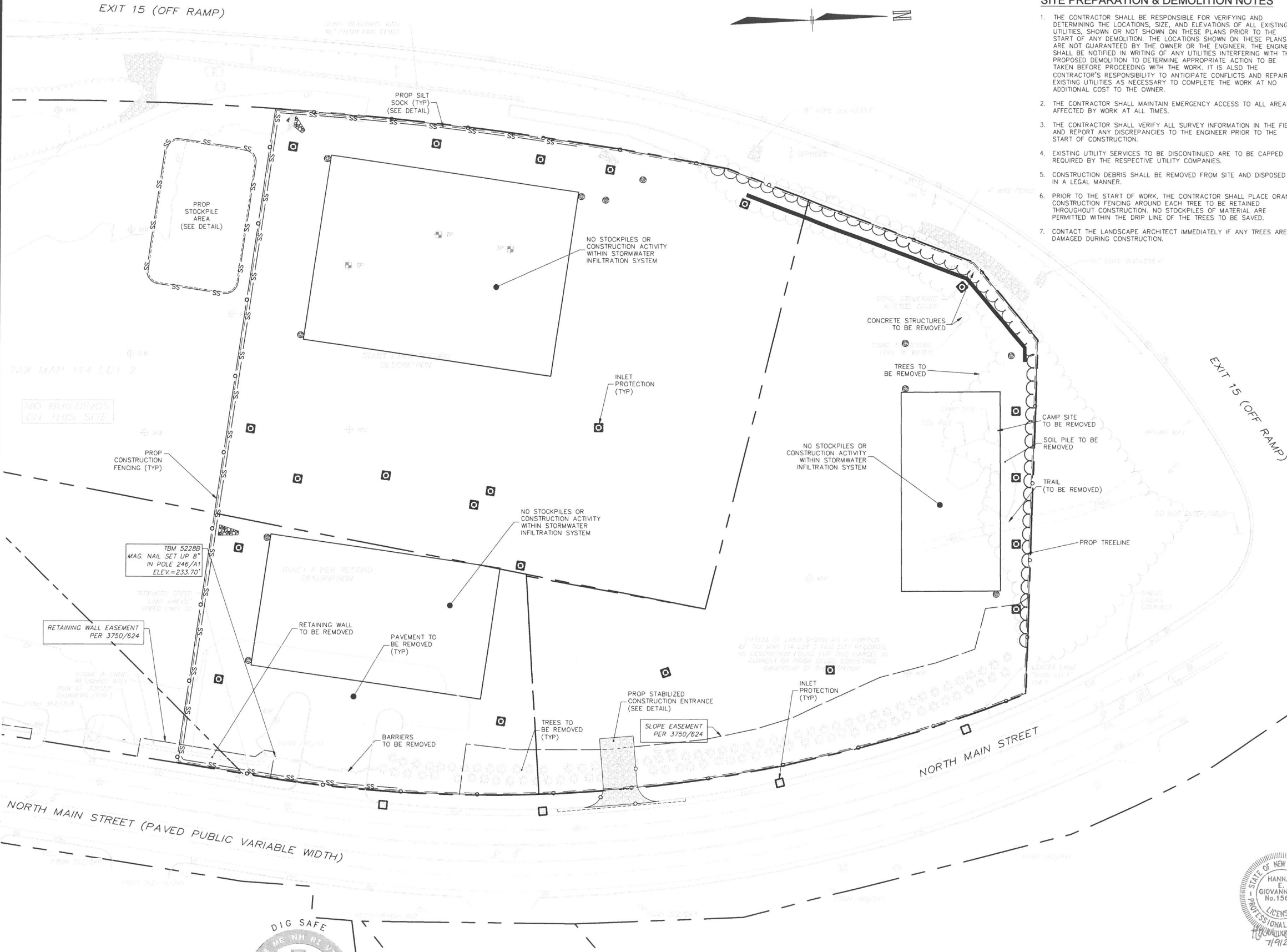


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SITE PREPARATION & DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.
- DO NOT PLACE INFILTRATION SYSTEMS/RAIN GARDENS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
 2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
 4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
 5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC.. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
 6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
 8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
 9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
 10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
 11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
 13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
 15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
 16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
 17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
 18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
SITE PREPARATION & DEMOLITION PLAN

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019

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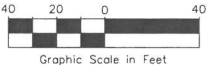
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CONSTRUCTION SEQUENCE NOTES (FOR Aot)

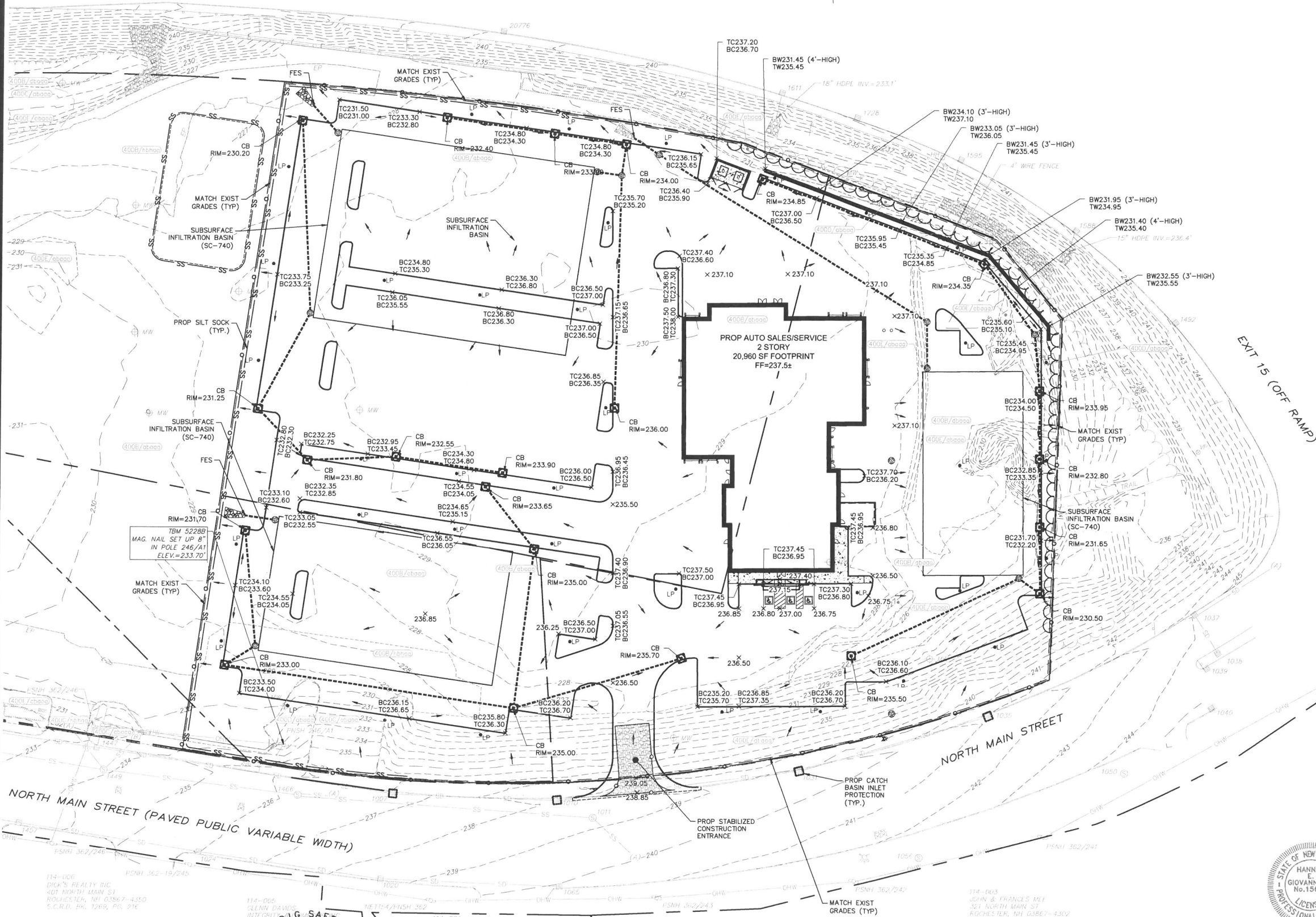
1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
2. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

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EXIT 15 (OFF RAMP)



NOTES

1. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.

SOIL LEGEND

| SYMBOL | MAP UNIT | SLOPE CLASS | DRAINAGE CLASS | HISS SYMBOL | SOIL GROUP |
|------------|-------------------|-------------|-----------------|-------------|------------|
| 400B/abaaa | UDORTHENTS, SANDY | 0-8% | EXCESSIVELY | 161BH | A |
| 400C/abaaa | UDORTHENTS, SANDY | 8-15% | EXCESSIVELY | 161CH | A |
| 400D/abaaa | UDORTHENTS, SANDY | 15-25% | EXCESSIVELY | 161DH | A |
| 400E/abaaa | UDORTHENTS, SANDY | 25%+ | EXCESSIVELY | 161EH | A |
| 400B/abaaa | UDORTHENTS, SANDY | 0-8% | MODERATELY WELL | 361BH | B |
| 400B/fbaaa | UDORTHENTS, SANDY | 0-8% | POORLY | 561BH | C |
| 400Bhbhaa | UDORTHENTS, SANDY | 0-8% | UNDETERMINABLE | 761BH | A* |
| 400C/hbhaa | UDORTHENTS, SANDY | 8-15% | UNDETERMINABLE | 761CH | A* |

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
GRADING & DRAINAGE PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
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SCALE: 1" = 40' (22X34)
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JULY 9, 2019

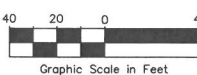


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EXIT 15 (OFF RAMP)

NOTES

1. A RED WINTER FLAG SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND, PER CITY OF ROCHESTER SITE PLAN REGULATIONS.

TAX MAP 114 LOT 2

TBM 5228B
MAG. NAIL SET UP 8"
IN POLE 246/A1
ELEV.=233.70'

PROP SUBSURFACE
INFILTRATION BASIN (TYP.)
(SEE GRADING PLAN)

PROP AUTO SALES/SERVICE
2 STORY
20,960 SF FOOTPRINT
FF=237.5±

PROP 6" PVC
SEWER LINE
L=90', S=0.008
PROP GAS METER
PROP WATER METER
PROP FDC

PROP ELECTRIC
METER
PROP 8" PVC
SEWER SERVICE
INV. OUT=230.83
L=43', S=0.01

PROP 1,500 GALLON
OIL/WATER SEPARATOR
RIM=237.1
INV IN=230.60
INV OUT=230.35

PROP 2" COPPER DOMESTIC
WATER SERVICE
PROP 6" DI FIRE SERVICE
PROP SMH 1
RIM=236.1
INV IN(8")=229.43
INV IN(6")=229.60
INV OUT=229.33

PROP 6" DI WATER LINE,
CONNECT TO EXIST WATER
MAIN (COORDINATE WITH
WATER DEPT)
PROP GAS LINE, CONNECT
TO EXIST GAS MAIN
(COORDINATE WITH UTILITY
COMPANY)

PROP UNDERGROUND
ELECTRIC, COMMUNICATIONS
AND TELEPHONE SERVICES

PROP 8" PVC
SEWER LINE
L=183', S=0.004
PROP HYDRANT
PROP GAS SHUT
OFF VALVE

PROP SMH 2
RIM=238.6
INV IN=228.59
INV OUT=228.49

PROP UNDERGROUND ELECTRIC, TELEPHONE AND
COMMUNICATION SERVICES WITH CONDUITS WITH
SWEEPS FROM EXIST POLE
(COORDINATE WITH ELECTRIC COMPANY)

PROP GATE
VALVE (TYP.)

PROP 8" PVC
SEWER LINE
L=183', S=0.004
EXIST HYDRANT

WET TAP EXISTING MAIN, INSTALL
6"x8"x8" TEE AND GATE VALVE
(CONTRACTOR TO VERIFY MAIN
SIZE IN FIELD, COORD INSTALLATION
WITH WATER COMPANY)

PROP 8" PVC SEWER LINE,
CONNECT TO EXIST SMH
(COORD WITH DPW,
CONTRACTOR TO VERIFY
INVERTS IN FIELD)
INV IN=227.75



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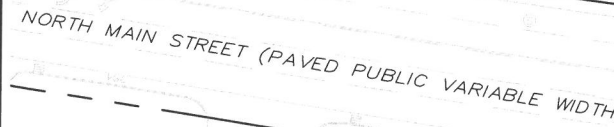


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APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD
ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS
TAX MAP 114 LOT 2
UTILITY PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC
SCALE: 1" = 40' (22X34)
1" = 80' (11X17) **JULY 9, 2019**

| | | | |
|-------------------------------------------|-------------------------------------------|---------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|
| TFM A division of TFMoran, Inc. | MSC A division of TFMoran, Inc. | Civil Engineers | 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com |
| | | Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | |
| 47159.01 | DR RCK FB CK HEG CADFILE | 47159-01_Utility.dwg | C-06 |



BUFFER PLANTING REQUIREMENTS:

1. ONE BROAD-LEAFED SHADE TREE PER 40 LINEAR FEET OF FRONT BUFFER
REQUIRED: $606' / 40' = 15$ TREES
PROVIDED:
*WAVEN NEEDED
2. TWO SHADE TREES, SPACED AT LEAST 40' APART, SHALL BE LOCATED WITHIN THE FRONT 50' OF EACH SIDE BUFFER.
*EXISTING LANDSCAPING SHALL MEET REQUIREMENT.
3. THE FRONT BUFFER AND FRONT 50 FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT, AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF THE AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES/CROWNS OF THE TREES AND SHRUBS.
*WAVEN NEEDED

1. OFF-STREET PARKING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY TO PROVIDE AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE, EXCLUDING RIGHT TRIANGLES AT VEHICULAR ENTRANCES AND EXITS. A MODERATELY DENSE HEDGE COMPOSED OF EVERGREEN SHRUBS SHALL BE PLANTED WHICH IS REASONABLY EXPECTED TO REACH THIS OPACITY AND HEIGHT WITHIN ONE YEAR.
*WAIVER NEEDED
2. THE LANDSCAPED MEDIAN SHALL BE PLANTED WITH EVERGREEN SHRUBBERY AND AT LEAST ONE ORNAMENTAL OR SHADE TREE FOR EVERY 30 LINEAR FEET OF THE MEDIAN.
REQUIRED: 23 EVERGREEN SHRUBS BETWEEN THE THREE LANDSCAPED MEDIANS PROPOSED
*WAIVER NEEDED
3. SHADE AND/OR ORNAMENTAL TREES SHALL BE PLANTED IN AND AROUND THE PARKING LOT IN ORDER THAT NO SPOT ON THE PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM THE CENTER OF THE TRUNK OF A SHADE OR ORNAMENTAL TREE.
*WAIVER NEEDED
























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CONTACT DIG SAFE 72 BUSINESS
HOURS PRIOR TO CONSTRUCTION

LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|---------------------------------------------------------------------------------------|-----|-------------------------------------------------------------------------|----------------------|---------|
|  | 4 | ACER RUBRUM 'REDPONTE' REDPONTE RED MAPLE | 3" TO 3 1/2" CAL. | B&B |
|  | 7 | ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE | 3" TO 3 1/2" CAL. | B&B |
|  | 2 | CORNUS KOUSA KOUSA DOGWOOD | 2' TO 2 1/2" CAL. | B&B |
|  | 8 | OXYDENDRUM ARBOREUM SOURWOOD | 2' TO 2 1/2" CAL. | B&B |
|  | 6 | PICEA PUNGENS BLUE SPRUCE | 7' TO 8' | B&B |
|  | 5 | PLATANUS ACREIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE | 3" TO 3 1/2" CAL. | B&B |
|  | 7 | PLATANUS ACREIFOLIA 'EXCLAMATION' EXCLAMATION PLANETREE | 3" TO 3 1/2" CAL. | B&B |
|  | 5 | PYRUS CALLERYANA 'ARISTOCRAT' ARISTOCRAT FLOWERING PEAR | 3" TO 3 1/2" CAL. | B&B |
|  | 11 | TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN | 3" TO 3 1/2" CAL. | B&B |
|  | 17 | AZALEA 'PLEASANT WHITE' PLEASANT WHITE AZALEA | 7 GAL. | CONT. |
|  | 53 | PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS | 7 GAL. | CONT. |
|  | 29 | HYDRANGEA PANICULATA 'BOMBSHELL' BOMBSHELL PANICLE HYDRANGEA | 7 GAL. | CONT. |
|  | 23 | ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY | 7 GAL. | CONT. |
|  | 73 | SPIRAEA BUMALDA 'GOLDFLAME' GOLDFLAME SPIREA | 7 GAL. | CONT. |
|  | 12 | THUJA O. 'TECHNY' MISSION ARBORVITAE | 5' TO 6' | B&B |
|  | 103 | JUNIPERUS CHINENSIS 'SARGENTII' GREEN SERGEANT JUNIPER | 18" TO 24" | CONT. |
|  | 20 | CHAMAECYPARIS PISIFERA 'FILIFERA MOPS' MOPS THREAD-LEAF FALSECYPRESS | 7 GAL. | CONT. |
|  | 16 | PHYSOCARPUS OPULIFOLIUS 'COPPERTINA' COPPERTINA NINEBARK | 2' TO 2 1/2' | B&B |
|  | 14 | RHODODENDRON 'BUBBLEGUM' BUBBLEGUM RHODODENDRON | 18" TO 24" | B&B |
|  | 777 | LYSIMACHIA NUMMULARIA 'AUREA' GOLDEN CREEPING JENNY | 1 GAL. | CONT. |
|  | 56 | HELICTOTRICHON S. 'SAPPHIRE' SAPPHIRE OAT GRASS | 2 GAL. | CONT. |

**SEE DETAIL SHEET FOR
LANDSCAPE NOTES**

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

LANDSCAPE PLAN

**PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR

400 NORTH MAIN STREET, LLC

SCALE, 1" = 40' (22X34)
1" = 80' (11X17)

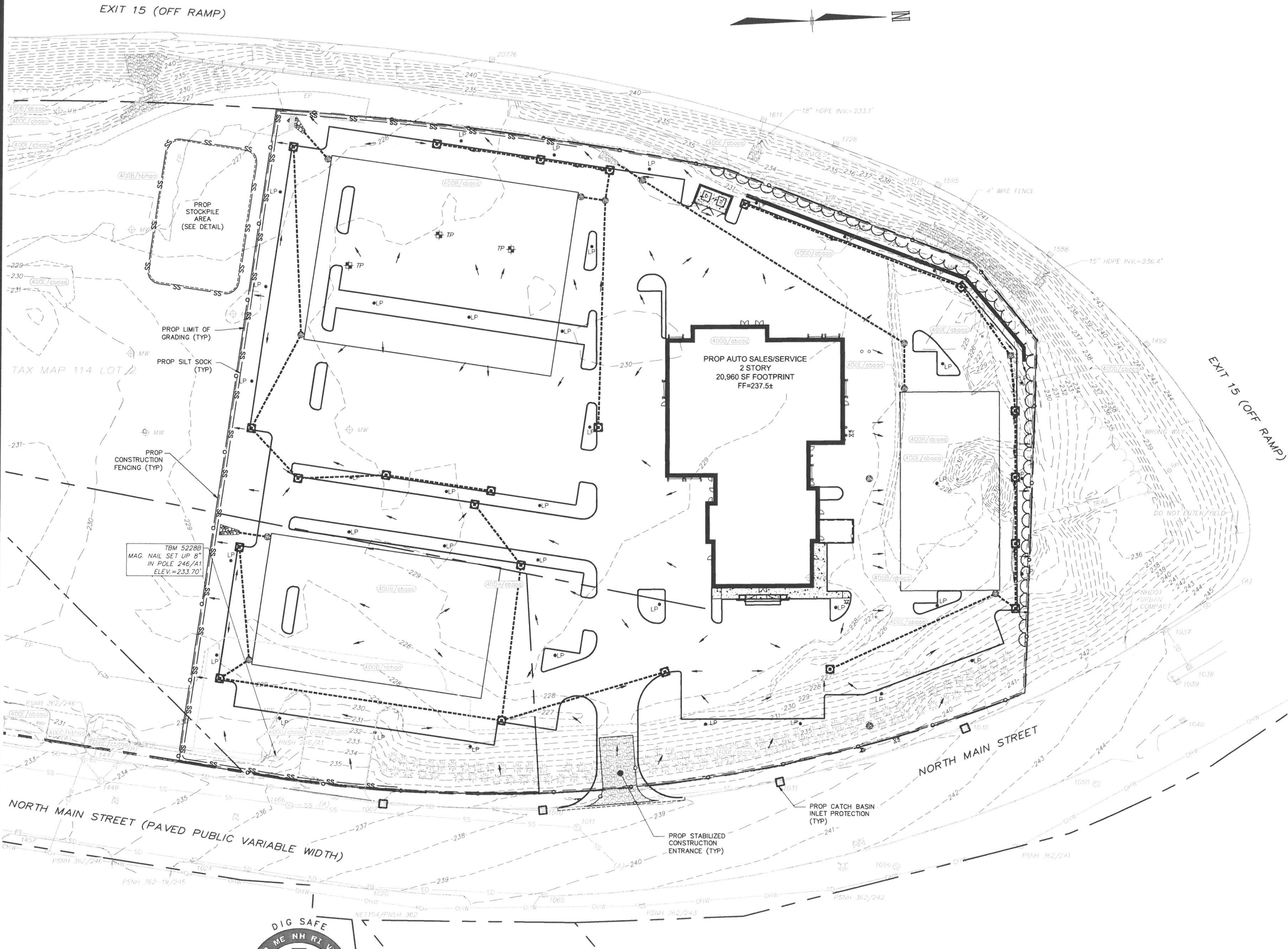
JULY 9, 2019



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Traffic Engineers
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| | | CK | MSK | CADFILE | |



- NOTES**
- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
 - INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
 - PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
 - DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
 - THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
 - SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
 - CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1. DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
 - PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
 - ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
 - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
 - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
EROSION CONTROL PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

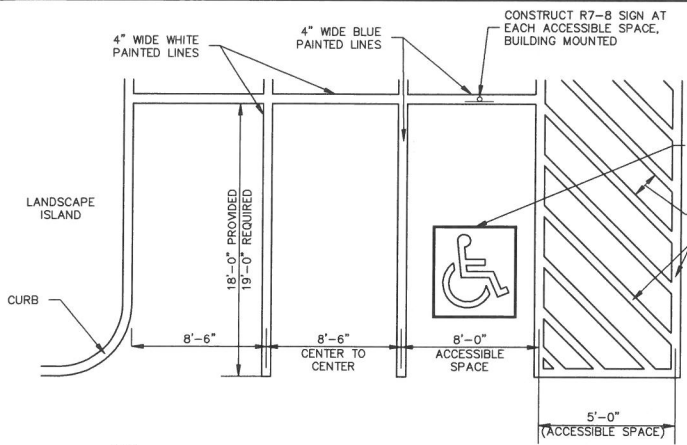
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17) JULY 9, 2019

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| | | Traffic Engineers | Phone (603) 431-2222 |
| | | Land Surveyors | Fax (603) 431-0910 |
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| | | Scientists | |
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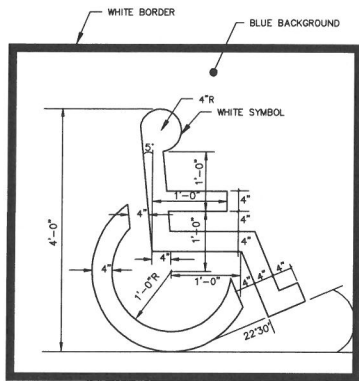




- NOTE:
1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
 3. 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

TYPICAL PARKING LAYOUT

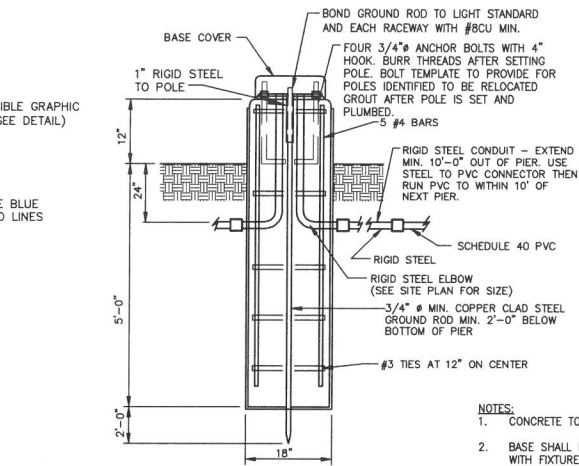
NOT TO SCALE



- NOTES:
1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 2. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

ACCESSIBLE GRAPHIC SYMBOL

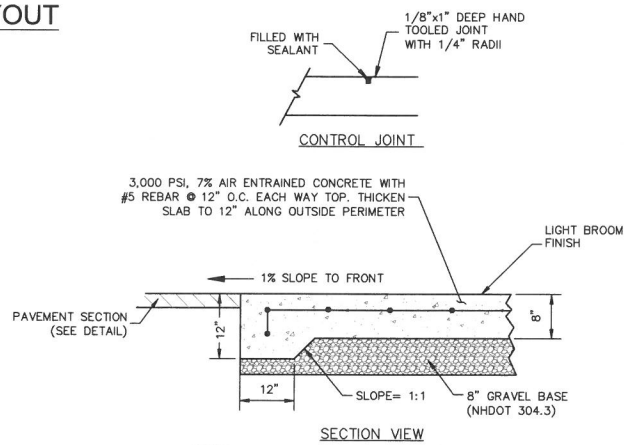
NOT TO SCALE



- NOTES:
1. CONCRETE TO BE 4000 PSI.
 2. BASE SHALL BE USED FOR ALL POLES WITH FIXTURE MOUNTING HEIGHT LESS THAN 16-FEET.

LIGHT POLE BASE (24" MOUNTING HEIGHT)

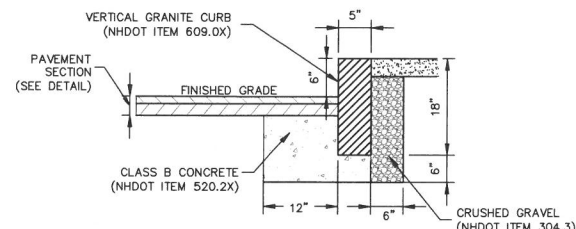
NOT TO SCALE



- NOTES:
1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT.

CONCRETE PAD

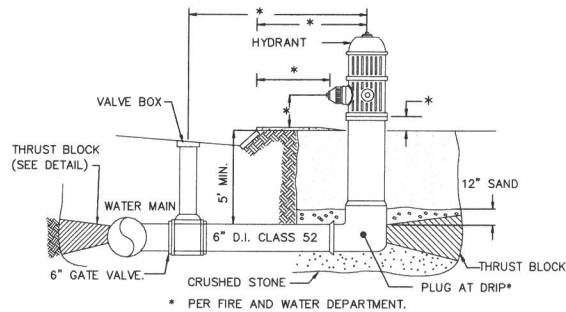
NOT TO SCALE



- NOTES:
1. MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

VERTICAL GRANITE CURB

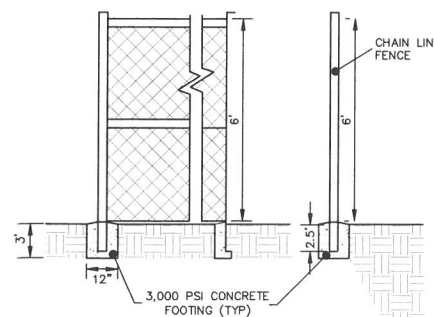
NOT TO SCALE



- NOTES:
1. HYDRANT INSTALLATION AND OPERATION, MANUFACTURER AND MODEL, AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH VILLAGE OF DOBBS FERRY AND FIRE DEPARTMENT ESTABLISHED RULES AND PROCEDURES.
 2. HYDRANT SHALL BE PAINTED RED.

FIRE HYDRANT

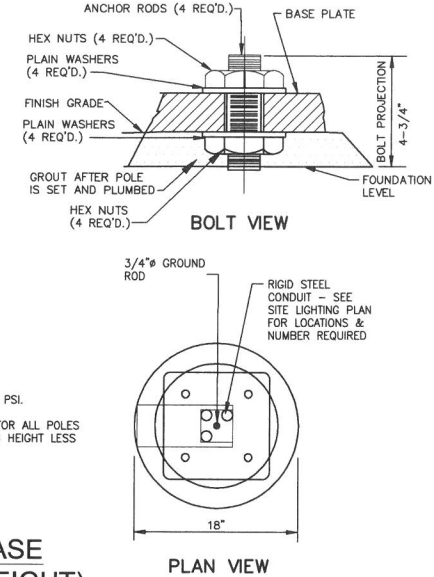
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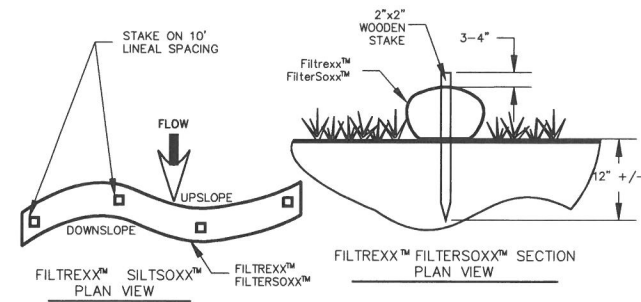
- NOTES:
1. 2" MESH FABRIC, 9 GAUGE WIRE FOR FENCE. LINE POSTS ARE TO BE A 2 1/2" DIAMETER 14 GAUGE. TOP RAIL SHOULD BE 1 1/2" DIAMETER 16 GAUGE. ALL PER ASTM SPECIFICATIONS.
 2. INSTALL DARK BROWN VINYL PRIVACY SLATS IN FENCE & GATES WHERE INDICATED.
 3. PROVIDE CHAIN LINK GATE TO ACCESS DUMPSTER.

CHAIN LINK FENCE

NOT TO SCALE



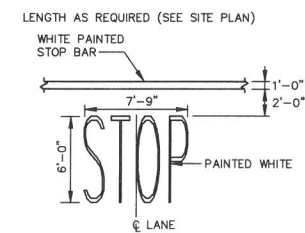
PLAN VIEW



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS
 2. FILTERSOXX™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX™ FILTERSOXX™ STAKING

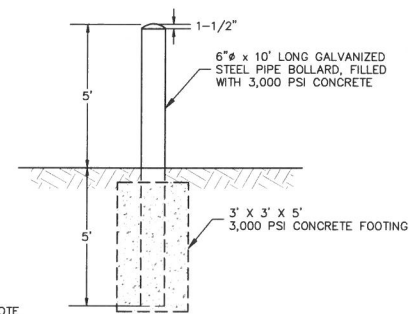
NOT TO SCALE



- NOTES:
1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.

STOP BAR & LEGEND

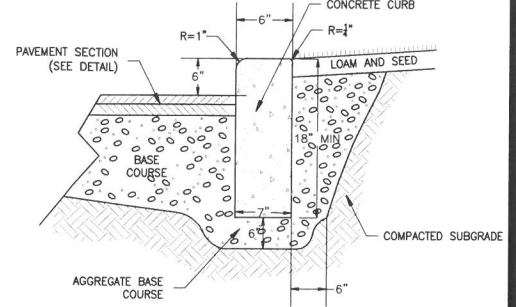
NOT TO SCALE



- NOTE:
1. BOLLARD SHALL BE PAINTED WITH PRIMER & 2 COATS OF SAFETY YELLOW PAINT.

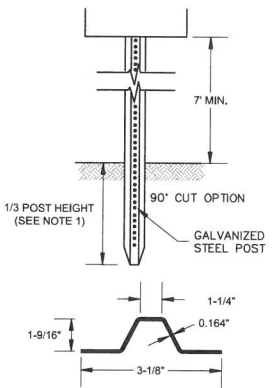
BOLLARD

NOT TO SCALE



CAST-IN-PLACE CONCRETE CURB

NOT TO SCALE



- LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRIED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- NOTE:
1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2'.
 2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

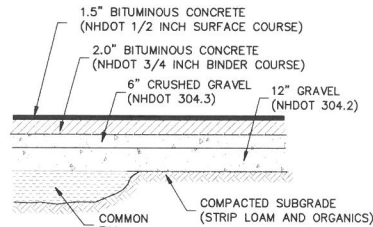
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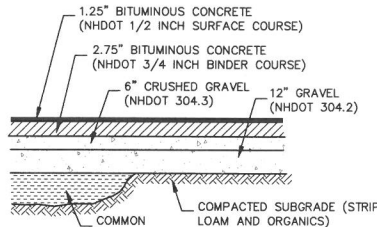
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



STANDARD DUTY PAVEMENT



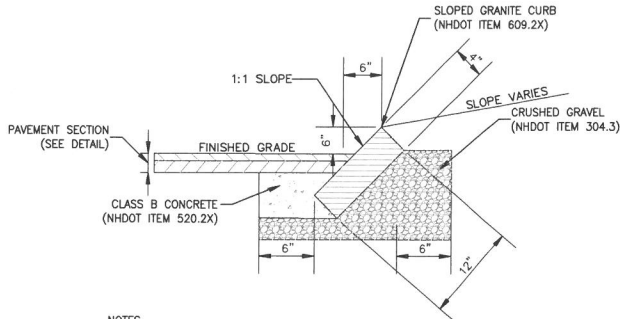
HEAVY DUTY PAVEMENT

NOTES

- SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
- REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
- BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
- BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
- PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557.
- PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% OF ASTM D-1557.
- THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
- LOCATION OF HEAVY DUTY PAVEMENT SHALL BE AS SHOWN ON THE LAYOUT PLAN. ALL OTHER LOCATIONS SHALL BE STANDARD DUTY PAVEMENT.
- EXACT AREAS TO RECEIVE FULL-DEPTH PAVEMENT SECTION BASE AND SUB-BASE SHALL BE DETERMINED IN FIELD AT THE TIME OF CONSTRUCTION.

PAVEMENT SECTION

NOT TO SCALE

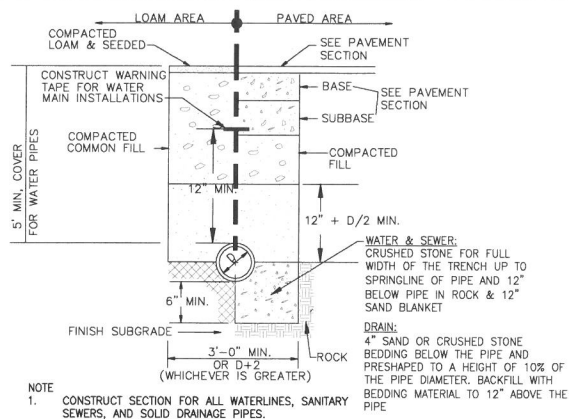


NOTES

- MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
- ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

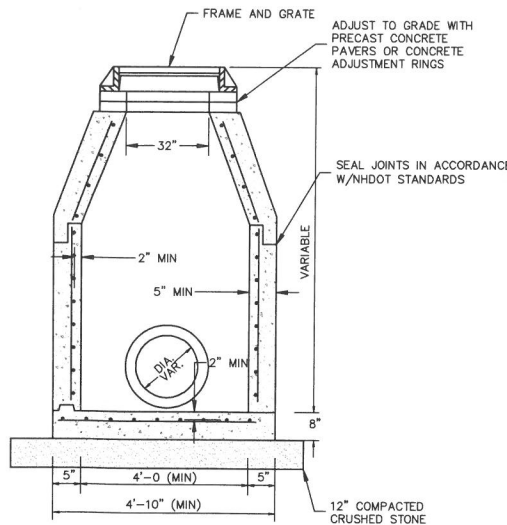
SLOPED GRANITE CURB

NOT TO SCALE



UTILITY TRENCH

NOT TO SCALE

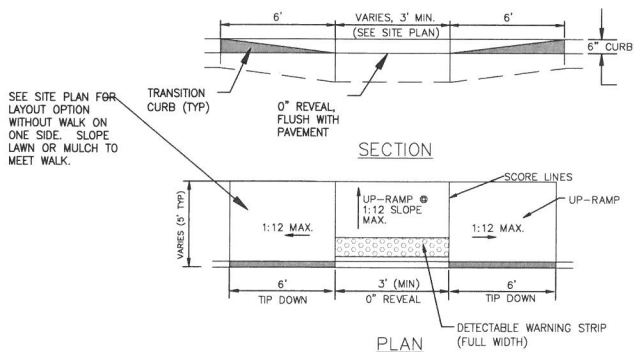


NOTES

- MANHOLE FRAME & COVER: SHALL BE NEENAH R-1653-A OR APPROVED EQUAL.
- MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

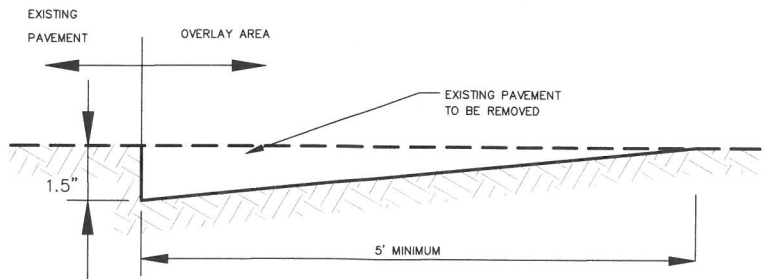
DRAIN MANHOLE

NOT TO SCALE



SIDEWALK TIP DOWN RAMP (TYPE D)

NOT TO SCALE

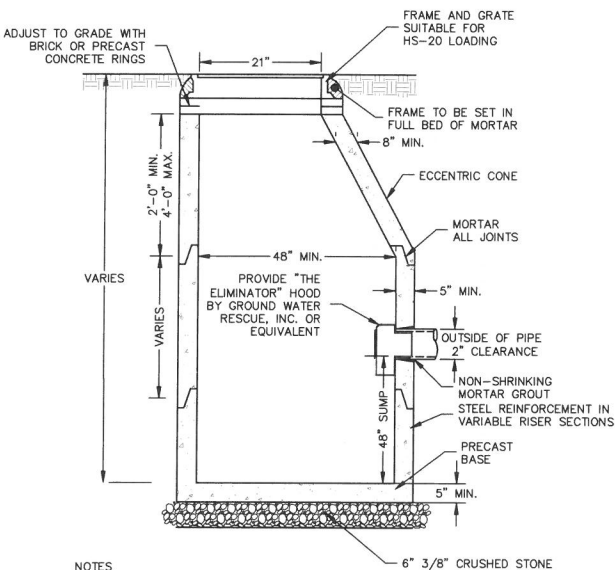


NOTES:

- USE KEY JOINT AT ALL LOCATIONS WHERE OVERLAY MEETS EXISTING PAVEMENT.
- NEW PAVEMENT SHALL BE FLUSH WITH EXISTING PAVEMENT AND SHALL MEET OVERLAY GRADE WHERE IT ABUTS EXISTING PAVEMENT TO BE OVERLAYED.

KEY JOINT DETAIL

NOT TO SCALE

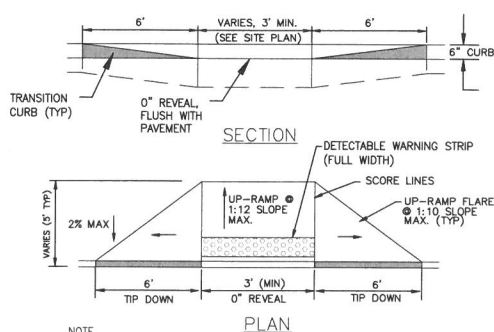


NOTES

- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
- CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

ECCENTRIC CATCH BASIN WITH SNOUT

NOT TO SCALE

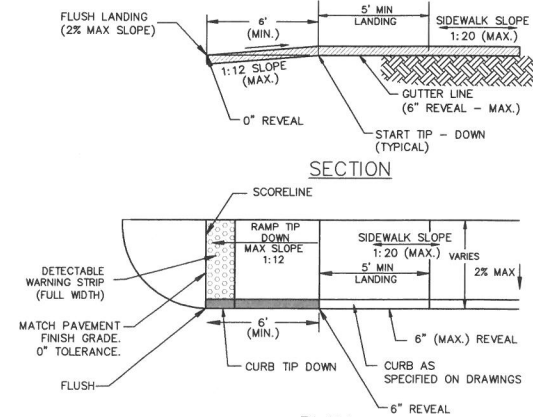


NOTE

- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

STANDARD ACCESSIBLE RAMP (TYPE A)

NOT TO SCALE



NOTE

- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

SIDEWALK TIP DOWN RAMP

NOT TO SCALE



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TF Moran.com

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

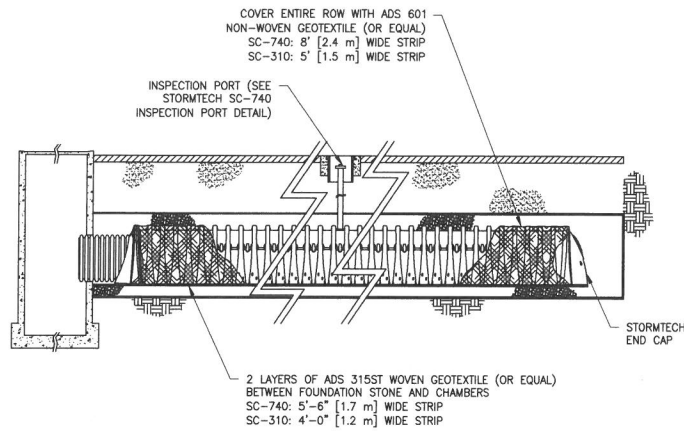
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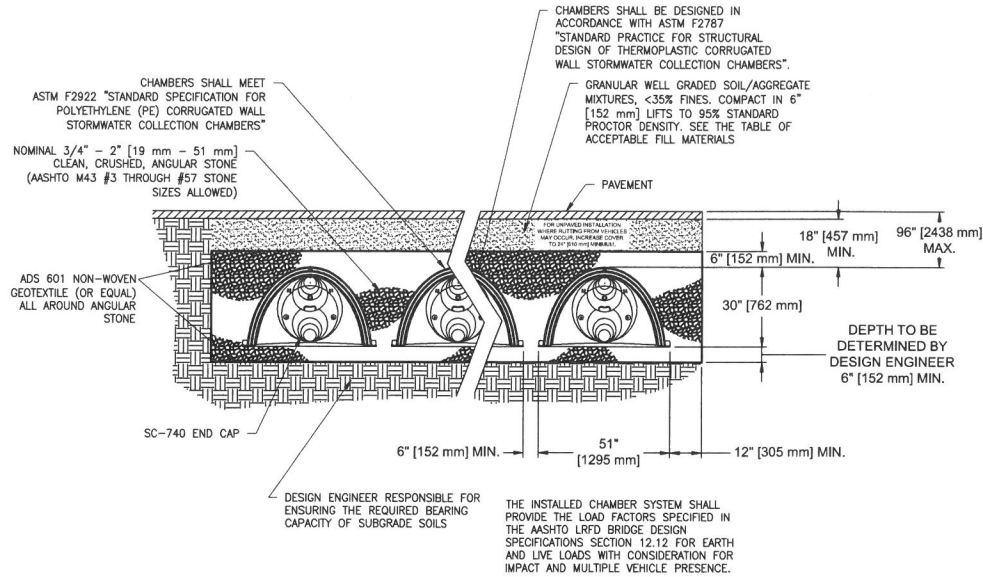
DR RCK FB
CK HEG CADFILE

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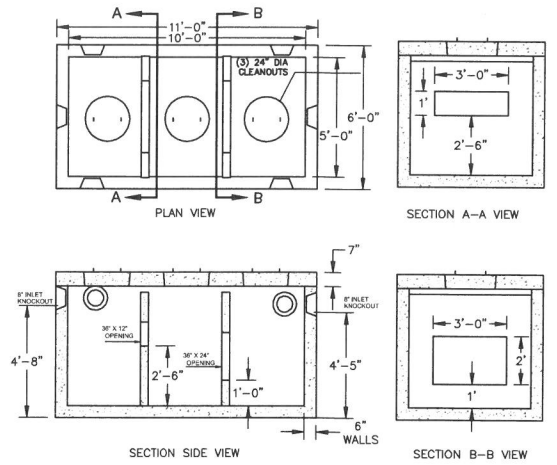
C-12



ISOLATOR ROW PROFILE
NOT TO SCALE



SC-740 TYPICAL CROSS-SECTION
NOT TO SCALE



DETAIL PROVIDED BY SHEA CONCRETE PRODUCTS
87 HAVERHILL ROAD AMESBURY, MA
(800) 696-7432

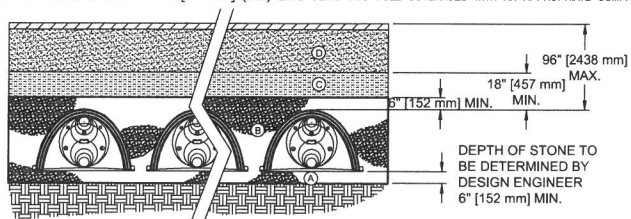
- NOTES:**
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING
 3. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.

1,500 GALLON SEDIMENT & OIL SEPARATOR
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION | AASHTO M43 DESIGNATION ⁽¹⁾ | COMPACTION/DENSITY REQUIREMENT |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ⑥ FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUB-BASE MAY BE PART OF THIS LAYER. | ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | N/A | PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| ⑦ FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" [457 mm] ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUB-BASE MAY BE A PART OF THIS LAYER. | GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER. | 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTION AFTER 12" [305 mm] OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" [152 mm] LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY (ρ). ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs [53 kN]. DYNAMIC FORCE NOT TO EXCEED 20,000 lbs [89 kN]. |
| ⑧ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE. | CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm] | 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| ⑨ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm] | 3, 35, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY (ρ). |

- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" [229 mm] (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



| REV. | DATE | DESCRIPTION | DR | CK |
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SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

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| | CK | HEG | CADFILE | | |

ABUTTERS WEST OF SPAULDING TURNPIKE

221-153
HOWARD MCPHERSON
23 TEN ROD RD
ROCHESTER, NH 03867-4243
S.C.R.D. BK. 1705, PG. 325

221-152
TRUE MEMORIAL BAPTIST CHURCH
PO BOX 1001
ROCHESTER, NH 03866-1001

221-151
TEN PINES AT TEN ROD ROAD CONDO
C/O EVERGREEN MANAGEMENT
PO BOX 4579 DEPT 355
HOUSTON, TX 77210-4579
S.C.R.D. BK. 2992, PG. 672

221-169
STATE OF NEW HAMPSHIRE
STATE BUREAU OF TURNPIKE
PO BOX 2950
CONCORD, NH 03302-2950
S.C.R.D. 667-175

114-001
R E L COMMONS, LLC
1 CATE ST SUITE 520
PORTSMOUTH, NH 03801
S.C.R.D. BK. 3152, PG. 596

114-008
MAINLY ROCHESTER PIZZA LLC
4 MILK ST SUITE 103
PORTLAND, ME 04101-4164
S.C.R.D. BK. 3699, PG. 744

114-007
OPPORTUNITY REALTY
OF ROCHESTER LLC
401 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 2252, PG. 150

114-006
DICK'S REALTY INC
401 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 1269, PG. 216

114-005
GLENN DAVIDS
INTEGRITY AUTOMOTIVE INC
415 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 4526, PG. 348

PURSUANT TO RSA 676:18, III:

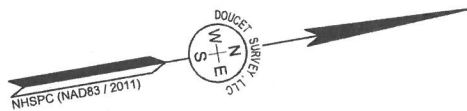
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John F. Kaiser L.L.S. #937
6/28/19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

SCALE: 1 INCH = 40 FT.



SPAULDING TURNPIKE
(NH ROUTE 16/US ROUTE 202)

EXIT 15 (OFF RAMP)

CONC. RETAINING WALL
W/ CHAIN LINK FENCE

TRACT I PER RECORD
DESCRIPTION

TAX MAP 114 LOT 2
478,851 Sq. Ft.
10.99 Acres

NO BUILDINGS
ON THIS SITE

TRACT III PER RECORD
DESCRIPTION

TRACT II PER RECORD
DESCRIPTION

NORTH MAIN STREET (PAVED PUBLIC VARIABLE WIDTH)



- LEGEND**
- LOT LINE
 - APPROXIMATE LOT LINE
 - EASEMENT LINE
 - APPROXIMATE ABUTTERS LOT LINE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - SEWER LINE
 - DRAIN LINE
 - GAS LINE
 - DRAIN LINE PER REF. PLAN 5
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - TREE LINE
 - SHRUB LINE
 - EDGE OF WETLAND
 - APPROXIMATE WATER LINE
 - CONCRETE
 - UTILITY POLE
 - UTILITY POLE & GUY WIRE
 - GUY POLE
 - LIGHT POLE (ONE ARM)
 - SIGN
 - SIGN (TWO POSTS)
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - FIRE HYDRANT
 - WATER GATE VALVE
 - GAS GATE VALVE
 - CATCH BASIN
 - DRAIN MANHOLE
 - WATER MANHOLE
 - SEWER MANHOLE
 - WETLAND AREA
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - MONITORING WELL
 - DRAINAGE FLOW DIRECTION ARROW
 - TYP. CONCRETE
 - NH HIGHWAY BOUND FOUND
 - DRILL HOLE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SLOPED BITUMINOUS BERM
 - SINGLE WHITE LINE
 - SINGLE YELLOW LINE
 - DOUBLE YELLOW LINE
 - DASHED SINGLE YELLOW LINE
 - DASHED SINGLE WHITE LINE

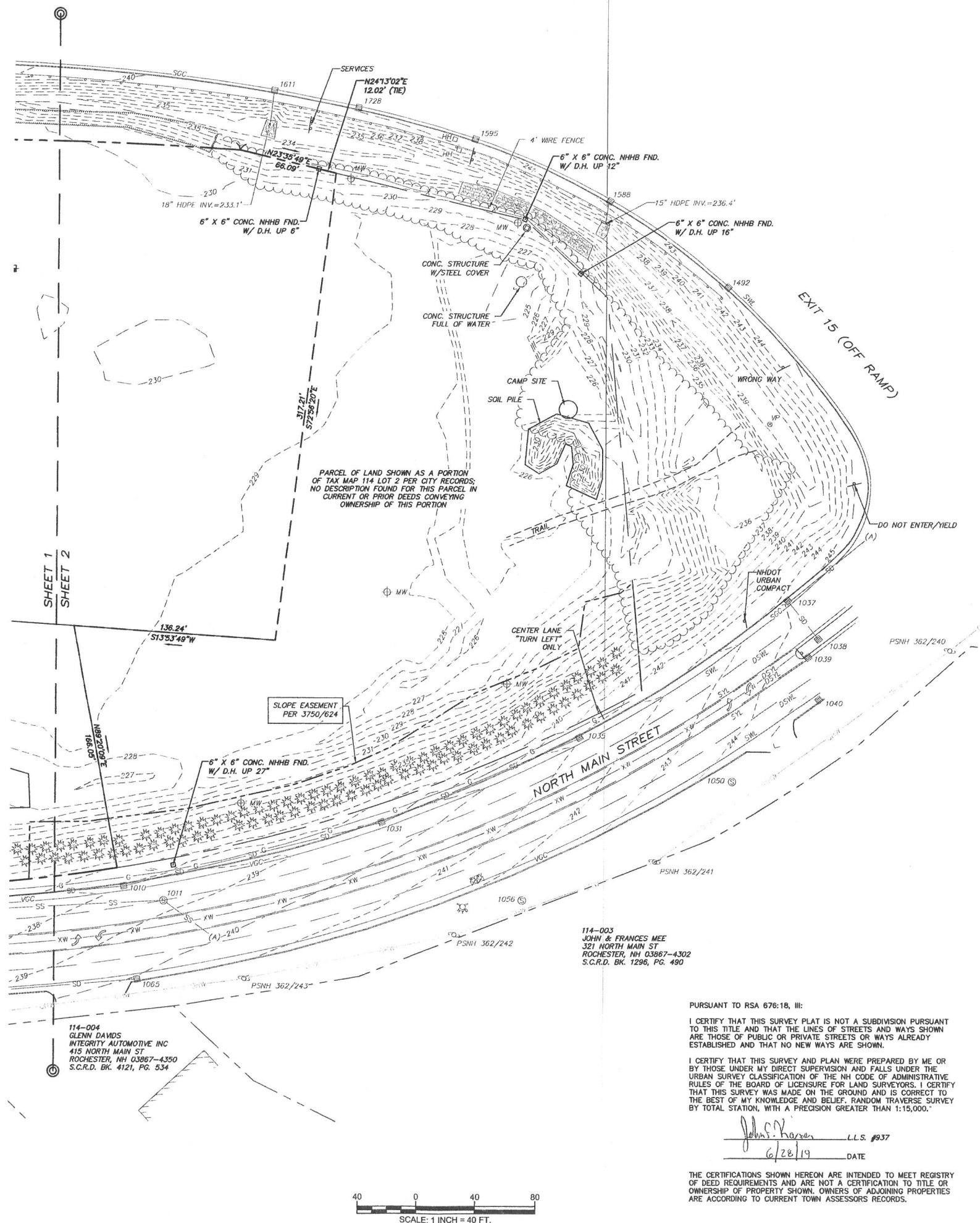
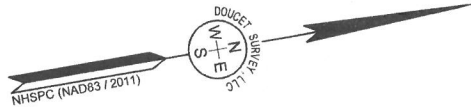
EXISTING CONDITIONS PLAN
FOR
MSC CIVIL ENGINEERS
OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

| NO. | DATE | ADD PARCEL LABELS | M.T.L. |
|-----|----------|-------------------|--------|
| 1 | 06/27/19 | | |

| | | | |
|-------------|--------|--------------|----------------|
| DRAWN BY: | M.T.L. | DATE: | MARCH 26, 2019 |
| CHECKED BY: | J.F.K. | DRAWING NO.: | 5228A |
| JOB NO.: | 5228 | SHEET | 1 OF 2 |



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2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storers Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>



- NOTES:
- REFERENCE: TAX MAP 114, LOT 002
 - TOTAL PARCEL AREA: 10.99 AC.
 - OWNER OF RECORD: 400 NORTH MAIN STREET, LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
S.C.R.D. BK 4081, PG 957
 - ZONE: HIGHWAY COMMERCIAL
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 20,000 sq.ft.
MIN. LOT AREA/DWELLING UNIT 5,000 sq.ft./7,500 sq.ft.
MIN. FRONTAGE 100 ft.
MIN. FRONT SETBACK 20 ft.
MIN. SIDE SETBACK 10 ft.
MIN. REAR SETBACK 25 ft.
MAX. LOT COVERAGE 85 %
MAX. BUILDING STORIES 3
WETLAND BUFFER 50 ft.
ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF ROCHESTER ZONING ORDINANCE DATED 02/02/17 AS AVAILABLE ON THE CITY WEBSITE ON 01/08/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
 - FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING DECEMBER 2017 & MARCH 2019 USING A TRIMBLE S8 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - ADDITIONAL FIELD SURVEY PERFORMED BY L.P.S. ON DECEMBER 10, 2017 USING A DJI PHANTOM PRO UAV WITH AN AVERAGE GROUND SAMPLING DISTANCE OF 1.04 CM/0.41 IN. DATA WAS PROCESSED USING PIX40 SOFTWARE.
 - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON SEPTEMBER 7, 2017 IN ACCORDANCE TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
 - FLOOD HAZARD ZONE: "X" & "AE", PER FIRM MAP 33017C02030, DATED 5/17/05.
 - HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK, CONSISTENT WITH CITY OF ROCHESTER GIS DATUM.
 - VERTICAL DATUM IS BASED ON NHDOT DISK H 52 1978 NAVD88 ELEVATION = 231.79'.
 - PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
 - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF (THE ROAD(S)) AS DEPICTED HEREON ARE BASED ON RESEARCH CONDUCTED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AND NH DEPARTMENT OF TRANSPORTATION.
 - ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

- REFERENCE PLANS:
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, NH PROJECT NO. 10620-D SPAULDING TURNPIKE NH ROUTE 16." DATED JANUARY 11, 2011.
 - STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED LS 1827(I) NH NO. P-2692-V." DATED FEBRUARY 28, 1985.
 - "ALTA/ACSM LAND TITLE SURVEY, TAX MAP 114 LOT 1, PROPERTY OF REL COMMONS, LLC, 306 NORTH MAIN STREET, ROCHESTER, NEW HAMPSHIRE, COUNTY OF STRAFFORD" DATED FEBRUARY 12, 2015 BY MSC NOT RECORDED.
 - "PLAN OF LAND OF FIRST DEVELOPMENT CORPORATION GLOBE DEPARTMENT STORES ROUTE 11 ROCHESTER, NH" DATED NOV. 27, 1990 BY BERRY SURVEYING & ENGINEERING S.C.R.D. PLAN 38A-41.
 - 400 NORTH MAIN STREET DIGITAL CAD FILE FURNISHED BY NORWAY PLAINS ASSOCIATES.

EXISTING CONDITIONS PLAN
FOR
MSC CIVIL ENGINEERS
OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

| NO. | DATE | ADD PARCEL LABELS | M.T.L. |
|-----|----------|-------------------|--------|
| 1 | 06/27/19 | | |
| | | DESCRIPTION | BY |

| | | | |
|-------------|--------|--------------|----------------|
| DRAWN BY: | M.T.L. | DATE: | MARCH 26, 2019 |
| CHECKED BY: | J.F.K. | DRAWING NO.: | 5228A |
| JOB NO.: | 5228 | SHEET | 2 OF 2 |



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2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
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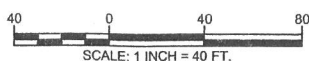
PURSUANT TO RSA 676:18, III:

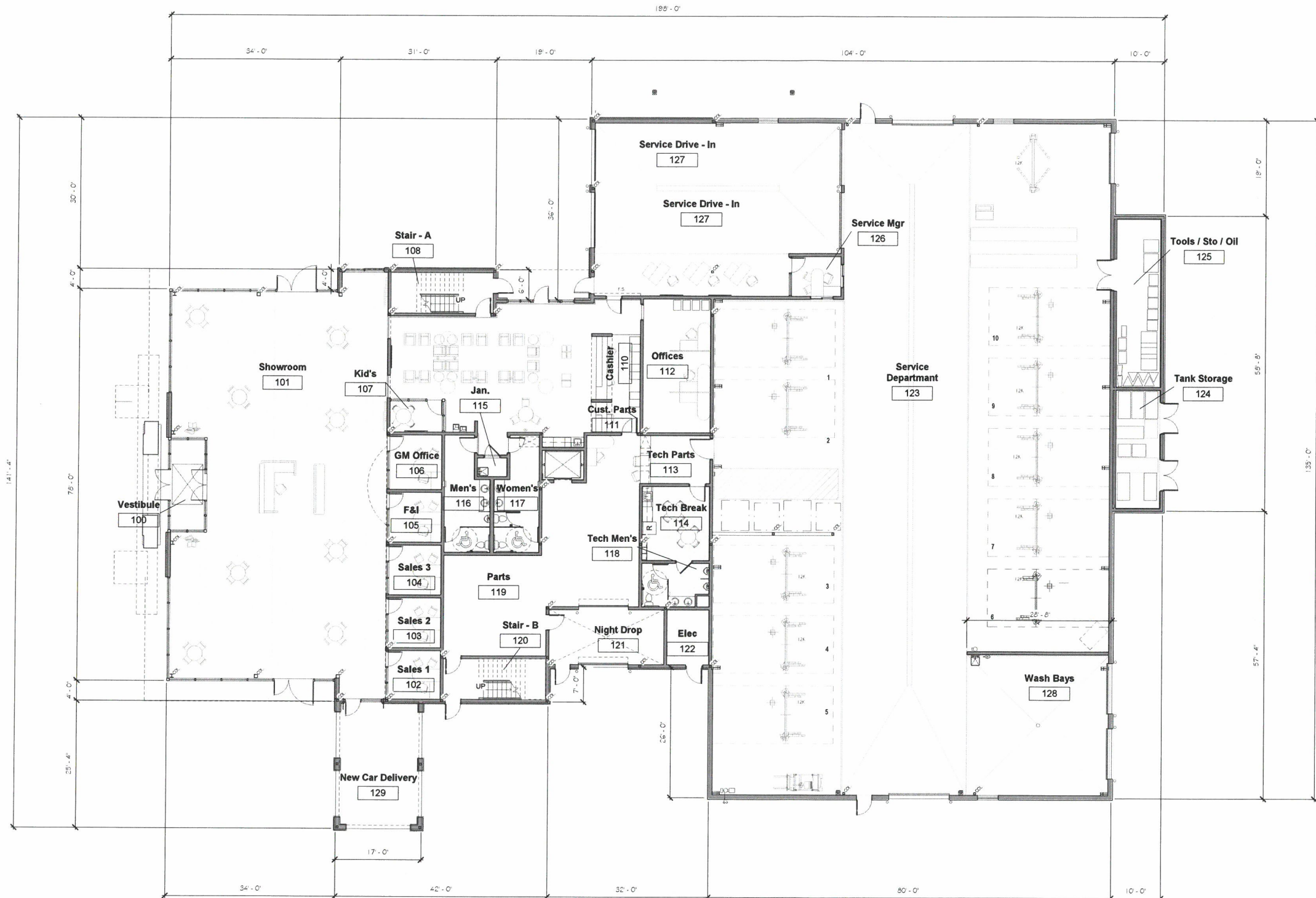
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I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John S. Mee L.L.S. #937
6/28/19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

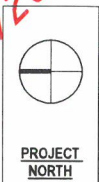




① FIRST FLOOR PLAN
3/32" = 1'-0"
First Floor S.F. = 20,785
Second Floor S.F. = 4,874
Total = 25,659

T:\3 Projects\1910-Roch GMC\1910a.rvt

PLANNING BOARD SET
7/1/2019



| No. | Description | Date |
|-------------------|-------------|------|
| Revision Schedule | | |

Project Info:
**Rochester
Buick GMC**

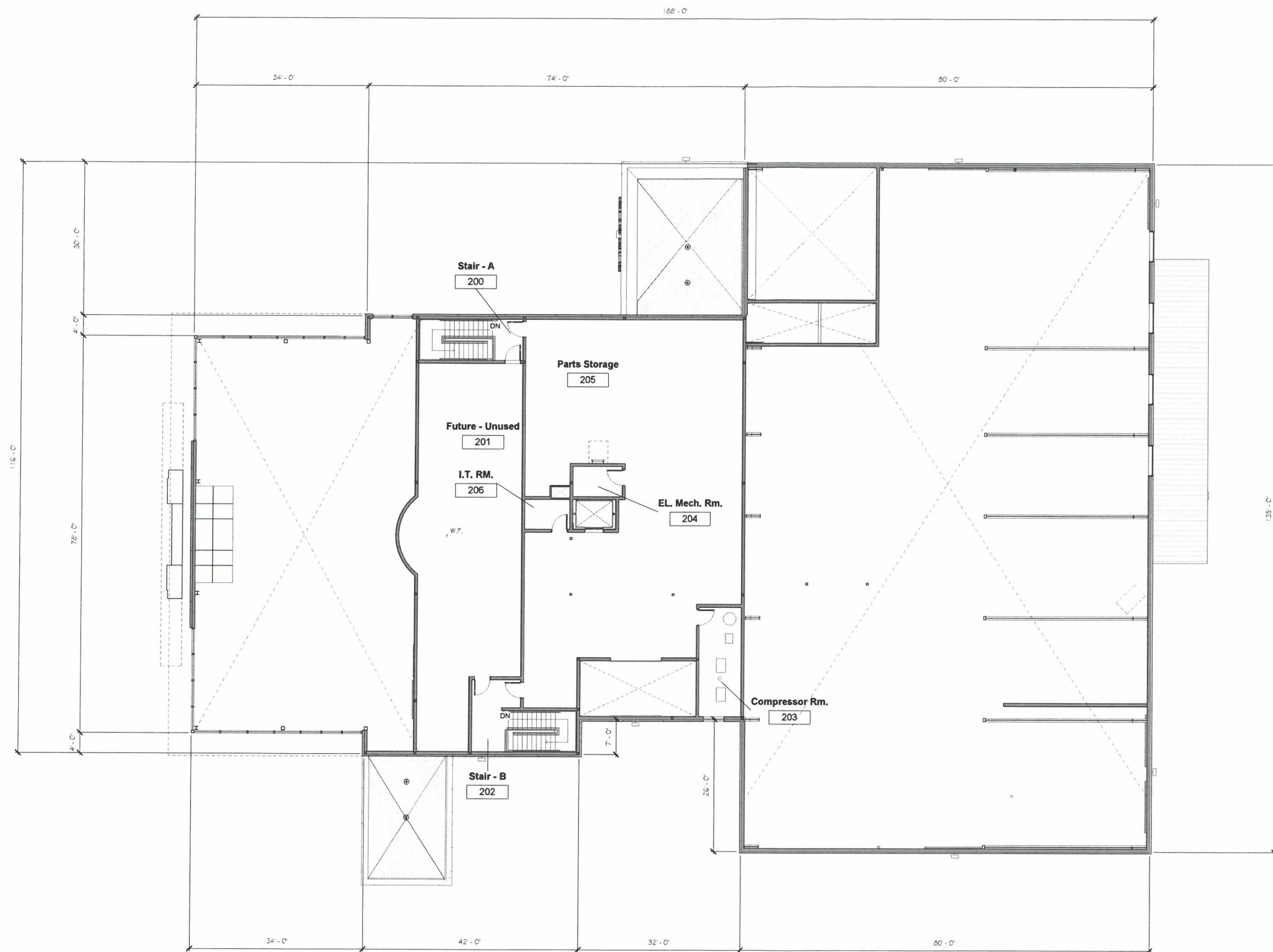
400 North Main St
Rochester NH

Sheet Status:
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Org. Issue Date: N.F.C.

JOB NO: 19010
DRAFTED: MLN
CHECKED: JMT
SCALE: 3/32" = 1'-0"

Sheet Title:
First Floor Plan

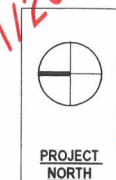
Sheet Number:
A1.1



① SECOND FLOOR PLAN
3/32" = 1'-0"

First Floor S.F. = 20,785
Second Floor S.F. = 4,874
Total = 25,659

PLANNING BOARD SET
7/1/2019



TIW
DESIGNS
254 Drake Hill Rd. Strafford, NH 03884
P: 603.664.2181 | F: 603.664.9508

DESIGN | BUILD Architectural Document Set -
Prepared For Exclusive Use By:

WHITCHER
BUILDERS



| No. | Description | Date |
|-------------------|-------------|------|
| Revision Schedule | | |

Project Info:
**Rochester
Buick GMC**

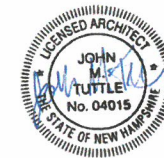
400 North Main St
Rochester NH

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Orig. Issue Date: N.F.C.
JOB NO: 19010
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SCALE: 3/32" = 1'-0"

Sheet Title:
**Second Floor
Plan**

Sheet Number:
A1.2

7/1/2019



GENERAL ROOF PLAN NOTES:

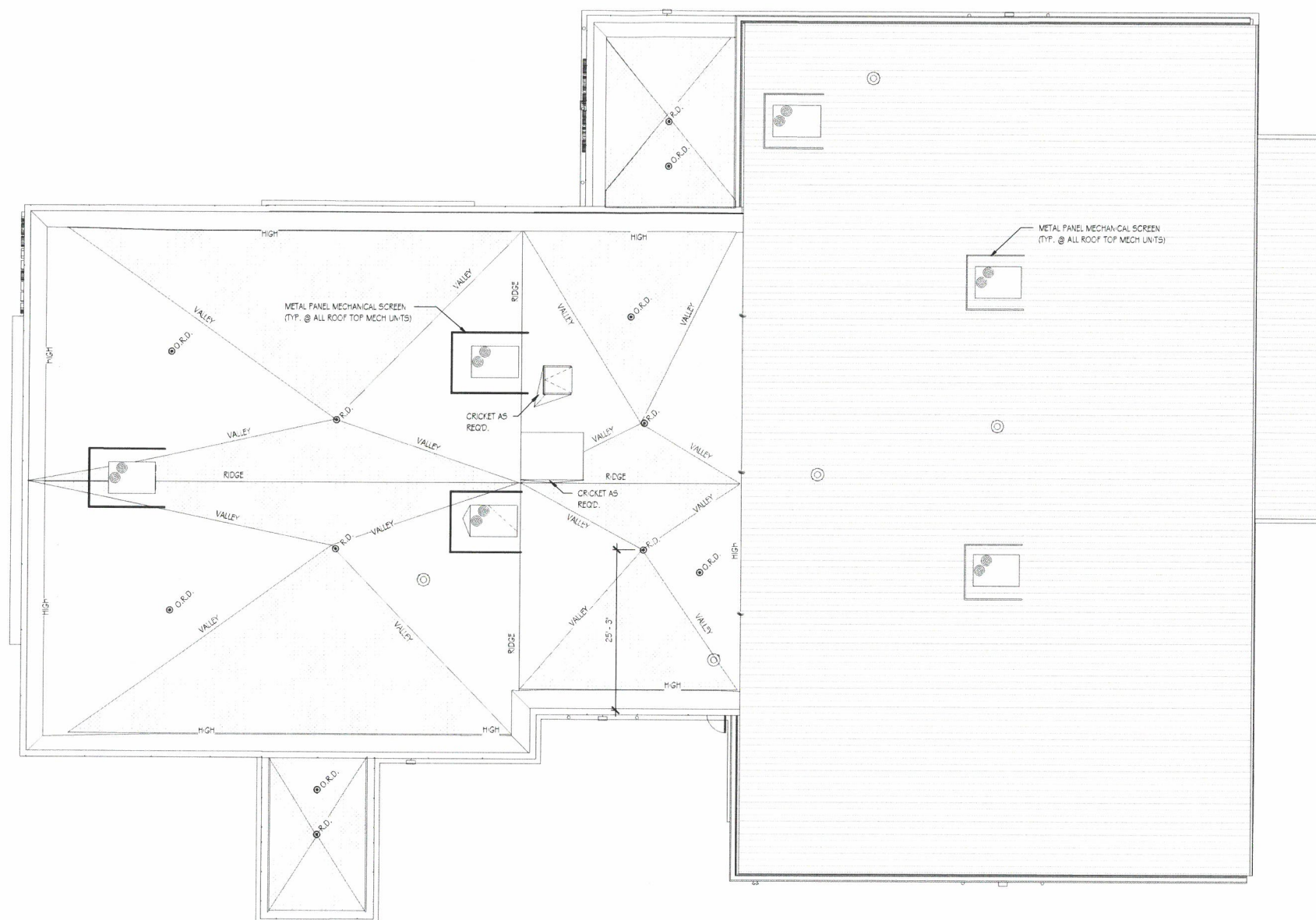
- 1) ALL ROOF SLOPES ARE 1/4" PER FOOT MIN.
- 2) PITCH STEEL AS REQ'D. TO ACHIEVE ROOF SLOPES INDICATED ON DWGS.
- 3) HATCH INDICATES EXTENT OF SLOPED ROOF INSULATION.
- 4) ALL RUBBER ROOFS TO BE 60 MIL FULLY ADHERED E.P.D.M.
- 5) MIN. ROOF INSULATION THICKNESS SHALL BE 3"
- 6) BRACE TOP OF ALL PARAPET WALLS WITH METAL STUD KICKER WALL SLOPED 1/4" / 2, REFER TO SECTIONS FOR MORE DETAILS

TEXT LEGEND:

R.D. = ROOF DRAIN
O.R.D. = OVER FLOW ROOF DRAIN

[Hatched Box] = INDICATES TAPERED INSULATION

[Line Pattern] = STANDING SEAM MTL. ROOF @ P.E.D.



| No. | Description | Date |
|-------------------|-------------|------|
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Project Info:

Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:

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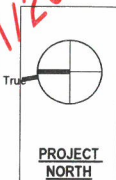
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DRAFTED: MLN
CHECKED: JMT

SCALE: 3/32" = 1'-0"

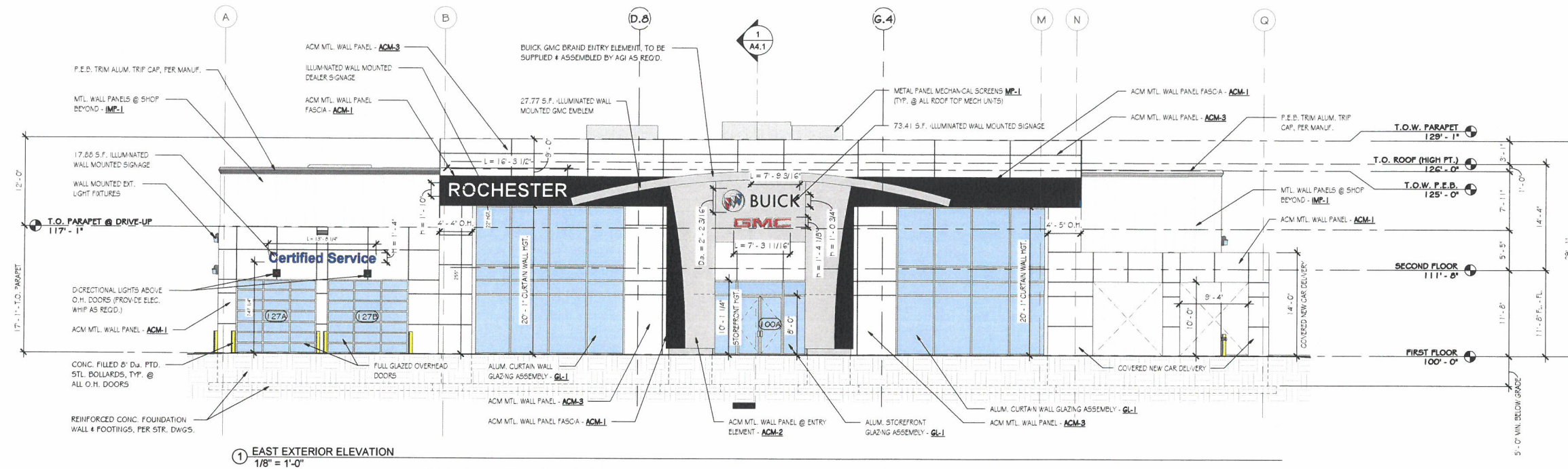
Sheet Title:
Roof Plan

Sheet Number:
A1.3

PLANNING BOARD SET
7/1/2019



1 ROOF PLAN
3/32" = 1'-0"



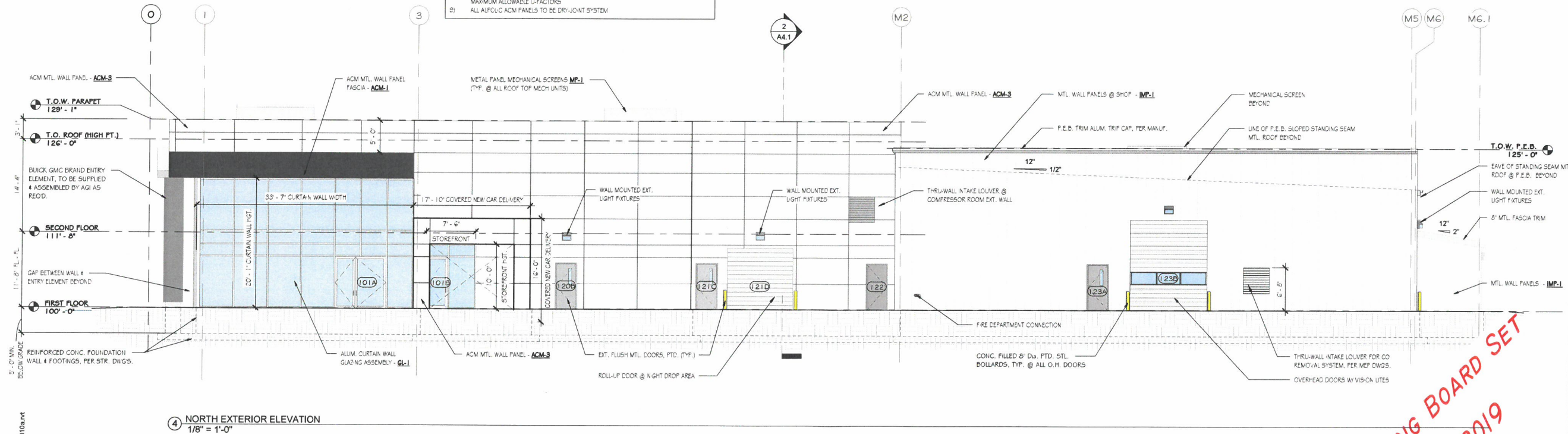
1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

Building Sign s.f. totals
18.25 (Certified Service)
29.4 (Dealer Name)
4.76 (Frameless)
9.25 (Buick Letters)
9.62 (GMC Letters)
70.45 s.f. total

- ELEVATION NOTES:
- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
 - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
 - 3) REFER TO SHEET A4.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
 - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
 - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
 - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
 - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTOR'S DESIGN / BUILD ENGINEER
 - 8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET OR 1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
 - 9) ALL ALPOLIC ACM PANELS TO BE DR-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
1. ACM-1 = ALPOLIC TEL BLACK 3-4TEL-G75
 2. ACM-2 = ALPOLIC HLA BRUSHED MARLINE ALUMINUM
 3. ACM-3 = ALPOLIC RWK WHITE - WHITE
 4. IMP-1 = ATAS-ISOLAREN W/ MICRO-BEAD - BONE WHITE
 5. GL-1 = SQUAREBAR LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
 6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN

② = SPANDREL GLAZE STOREFRONT PANEL



4 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

| No. | Description | Date |
|-----|-------------------|------|
| | Revision Schedule | |

Project Info:
Rochester Buick GMC

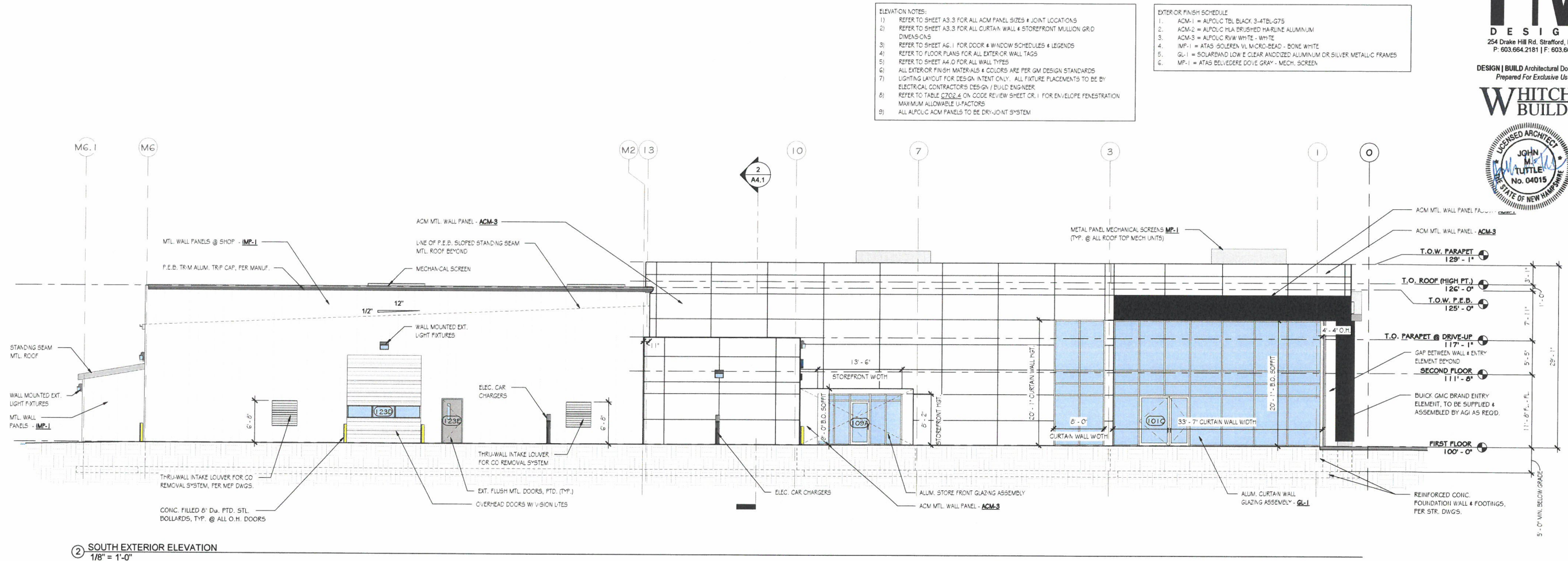
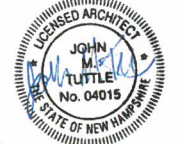
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DRAFTED: JMT
CHECKED: -
SCALE: 1/8" = 1'-0"

Sheet Title:
Exterior Elevations

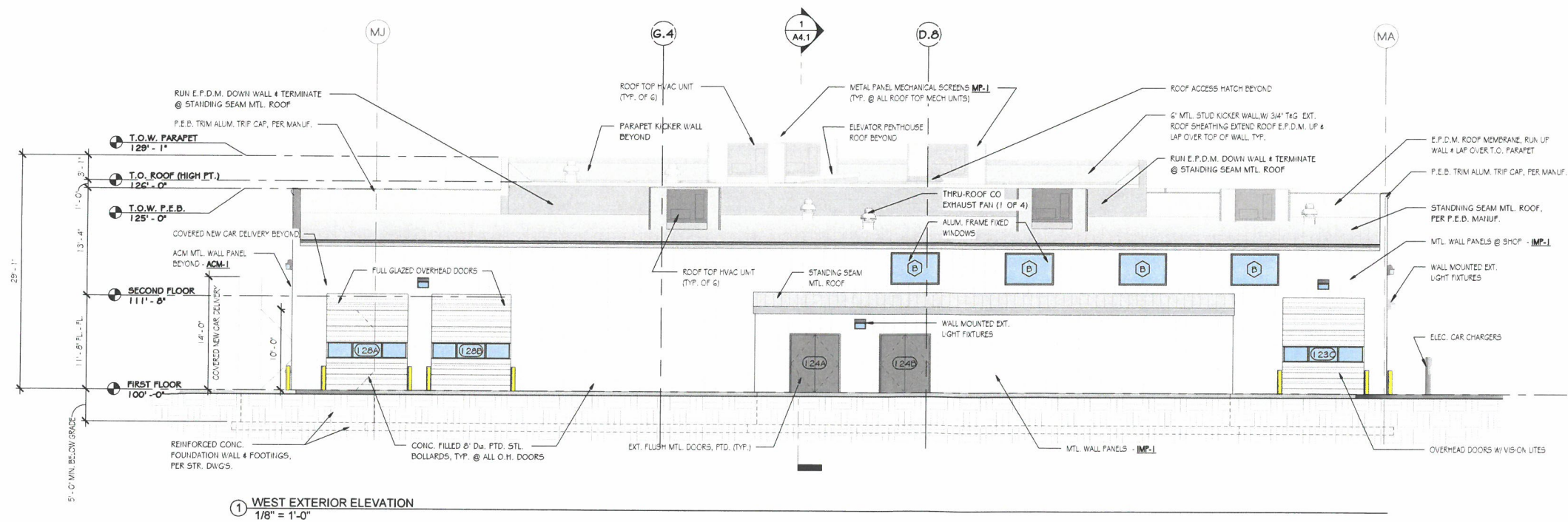
Sheet Number:
A3.1

PLANNING BOARD SET
7/1/2019



② SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

| No. | Description | Date |
|-------------------|-------------|------|
| Revision Schedule | | |



① WEST EXTERIOR ELEVATION
1/8" = 1'-0"

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PLANNING BOARD SET
7/1/2019

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Rochester
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400 North Main St
Rochester NH

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JOB NO. 19010
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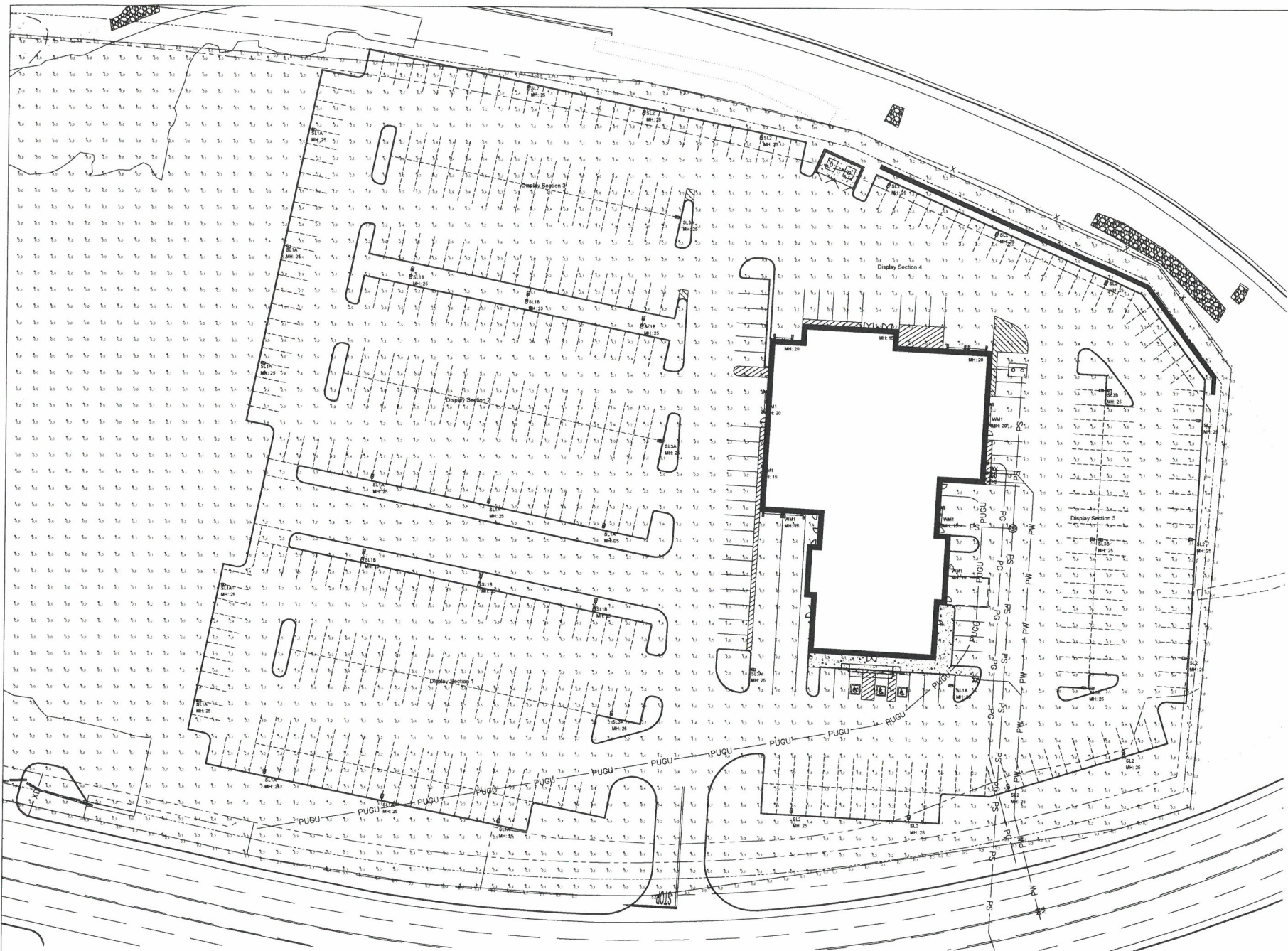
Sheet Title:
**Exterior
Elevations**

Sheet Number:
A3.2



BUICK GMC of ROCHESTER






Luminaire Schedule

| Symbol | Label | Qty | Description | LLF | Lum. Watts | Lum. Lumens |
|--------|-------|-----|-----------------------------|-------|------------|-------------|
| | SL1A | 12 | VMX-1-T4-80LC-3-4K-UNV | 0.900 | 87 | 11593 |
| | SL1B | 6 | VMX-1-T4-80LC-3-4K-UNV | 0.900 | 87 | 11593 |
| | SL2 | 13 | VMX-1-T4-80LC-3-4K-UNV_CLS- | 0.900 | 88 | 7735 |
| | SL3A | 4 | VMX-1-T5-80LC-3-4K-UNV | 0.900 | 87 | 12442 |
| | SL3B | 3 | VMX-1-T5-80LC-3-4K-UNV | 0.900 | 87 | 12442 |
| | WM1 | 9 | VSC-1-T4-32LC-3-4K-UNV | 0.900 | 37 | 4642 |

Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|-------------------|-------------|-------|------|-----|-----|---------|---------|
| Property Line | Illuminance | Fc | 0.13 | 1.0 | 0.0 | N.A. | N.A. |
| Site Points | Illuminance | Fc | 0.83 | 6.8 | 0.0 | N.A. | N.A. |
| Display Section 1 | Illuminance | Fc | 1.84 | 5.0 | 0.4 | 4.60 | 12.50 |
| Display Section 2 | Illuminance | Fc | 2.08 | 4.7 | 0.8 | 2.60 | 5.88 |
| Display Section 3 | Illuminance | Fc | 1.75 | 4.9 | 0.3 | 5.83 | 16.33 |
| Display Section 4 | Illuminance | Fc | 1.49 | 3.7 | 0.3 | 4.97 | 12.33 |
| Display Section 5 | Illuminance | Fc | 2.73 | 5.0 | 0.7 | 3.90 | 7.14 |

VMX LED Specifications



Project Name:

Contract Number:

Date:

The VMX LED luminaire is a high-performance, energy-efficient lighting fixture designed for commercial and industrial applications. It features a compact, modern design with a wide range of mounting options and is available in various sizes and finishes to meet specific project requirements.

The VMX LED luminaire is designed to provide uniform, high-quality illumination while minimizing energy consumption and heat output. It is built to withstand harsh environmental conditions and is backed by a robust warranty program.

For more information, please contact your local distributor or visit our website at www.skandassociates.com.

Ordering Information

| MODEL | OPTICS | LEDs | CURRENT | REL VIN | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|-------|--------|------|---------|---------|---------|----------|--------|---------|---------|
| VMX-1 | T1 | 80LC | 3 | 3K | UNV | ARM | SL | POW-10 | RPW1 |
| | T2 | 80LC | 5 | 4K | 40° | WM | SL | POW-10 | RPW1 |
| | T3 | 80LC | 5 | 4K | 40° | WM | SL | POW-10 | RPW1 |
| | T4 | 80LC | 7 | 5K | 40° | WM | SL | POW-10 | RPW1 |
| | T5 | 80LC | 10 | 5K | 40° | WM | SL | POW-10 | RPW1 |
| | T6 | 80LC | 10 | 5K | 40° | WM | SL | POW-10 | RPW1 |
| | T7 | 80LC | 10 | 5K | 40° | WM | SL | POW-10 | RPW1 |
| | T8 | 80LC | 10 | 5K | 40° | WM | SL | POW-10 | RPW1 |

Features & Specifications

Heat Sink: Cast aluminum heat sink with integral cooling fins for optimal thermal management.

Mounting Arm/Driver Compartment: Optional hooded design with secure latching for easy access to the driver compartment, allowing for easy replacement of the driver.

Thermal Management: The VMX LED luminaire features a thermal management system that ensures optimal operating temperatures for the LEDs, maximizing their lifespan and performance.

Optical System: The VMX LED luminaire utilizes a precision optical system to provide uniform, high-quality illumination across the entire fixture output.

Qual-Grade® Finish: The VMX LED luminaire is finished with a high-quality, powder-coated finish that provides excellent corrosion resistance and a long-lasting appearance.

Electrical Assembly: The VMX LED luminaire is equipped with a high-quality electrical assembly that ensures safe and reliable operation.

Warranty: 5-year warranty on the LED chips and 3-year warranty on the driver and housing. Full details of the warranty program are available upon request.

Options: The VMX LED luminaire is available with a variety of optional features, including different mounting arms, finishes, and optical configurations.

Leadings: The VMX LED luminaire is available in a variety of sizes and configurations to meet specific project requirements.

ABBREVIATIONS:

Avg= Average
AFG= Above Finished Grade
CF = Compact Fluorescent
CV= Coefficient of variation
fc = Footcandles
HPS = High Pressure Sodium
LLF= Light Loss Factor
MH = Mounting Height
NTS = Not to Scale
PSMH = Pulse Start Metal Halide
SF = Square foot
W = Watts

NOTES:

- CALCULATION POINTS INDICATED ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURE. REFER TO SCHEDULES FOR LLF AND LUMEN INFORMATION.
- REFER TO PLAN FOR FIXTURE MOUNTING HEIGHTS.
- CALCULATION POINTS TAKEN AT GRADE.

SK & Associates

Experience the light™

20/22 Carver Circle T — 781-821-1700
Canton, MA 02021 www.skandassociates.com

PROJECT NAME

400 North Main Street-
Rochester, NH

CLIENT

MSC

170 Commerce Way - Suite 102,
Portsmouth, NH 03801

SEAL

REVISIONS

| No. | Description | Date |
|-----|-------------|------|
| 5. | | |
| 4. | | |
| 3. | | |
| 2. | | |
| 1. | | |

Issue Date: July 3, 2019

Project #: 19143

Drawn: AD

Checked: TJ

Approved: MC

Scale: 1"=40'-0"

DRAWING NAME

Lighting Plan,
Schedules and
Specifications

DRAWING NUMBER

SL1