

PROPOSED AUTO DEALERSHIP

**400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE**

JULY 9, 2019
(REVISED SEPTEMBER 13, 2019)

VICINITY PLAN

The map shows the following features:

- Cochecho River** flowing from the top center towards the bottom right.
- Farmington Rd.** running diagonally from the top left to the bottom right, crossing the river.
- Ten Rod Rd.** running diagonally from the top left to the bottom right, parallel to Farmington Rd.
- N. Main St.** running diagonally from the bottom left to the bottom right.
- Chestnut Hill Rd.** running diagonally from the top right to the bottom right.
- Wakefield St.** running vertically along the right edge of the map.
- Site** marked with a hatched oval and an arrow pointing to it, located between Farmington Rd and N. Main St.
- Highway Markers:**
 - 11 (top left)
 - 15 (middle left)
 - 14 (bottom left)
 - 16 (bottom left)
 - 202 (top right)
- North Arrow** pointing upwards in the top left corner.

SCALE: 1"=1000'



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com



PLANNING BOARD
CASE# 114-2-HC-19

| | | | | | |
|-----|---------|--------------------------------------|-----|---|--|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | H | |
| 1 | 8/13/19 | TRC COMMENTS | DKE | A | |
| REV | DATE | DESCRIPTION | DR | | |

| SHEET | SHEET TITLE |
|--|---|
| C-01 | COVER |
| C-02 | NOTES & LEGEND |
| C-03 | SOIL BOUNDARY PLAN |
| C-04 | SITE PREPARATION & DEMOLITION PLAN |
| C-05 | SITE LAYOUT PLAN |
| C-06 | GRADING & DRAINAGE PLAN |
| C-07 | UTILITY PLAN |
| C-08 | LANDSCAPE PLAN |
| C-09 | LANDSCAPE DETAILS |
| C-10 | EROSION CONTROL PLAN |
| C-11 | EROSION CONTROL NOTES |
| C-12 | WB-67 TRUCK MOVEMENT PLAN |
| C-13 | FIRE TRUCK MOVEMENT PLAN |
| C-14 TO C-17 | DETAILS |
| <u>REFERENCE BY ASSOCIATED PROFESSIONALS</u> | |
| 1 TO 2 | EXISTING CONDITIONS (DOUCET SURVEY) |
| A1.1 TO A1.3 | PROPOSED FLOOR & ROOF PLANS (TW DESIGNS, INC.) |
| A3.1 TO A3.2 | PROPOSED EXTERIOR ELEVATIONS (TW DESIGNS, INC.) |
| - | EXTERIOR ELEVATION RENDERING (TW DESIGNS, INC.) |
| SL1 | LIGHTING PLAN, SCHEDULES, AND SPECIFICATIONS (SK & ASSOCIATES, INC.) |

| | NUMBER | APPROVED | EXPIRES |
|-----------------------|---------|----------|---------|
| TOWN SITE PLAN | PENDING | PENDING | PENDING |
| NHDES ALT. OF TERRAIN | PENDING | PENDING | PENDING |
| NHDES SEWER | PENDING | PENDING | PENDING |

THE FOLLOWING WAIVERS FROM THE CITY OF ROCHESTER'S LAND DEVELOPMENT REGULATIONS ARE BEING REQUESTED FROM THE PLANNING BOARD:

1. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TYPES AND BOUNDARIES
2. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: SOIL TEST PIT LOCATIONS
3. SITE PLAN CHECKLIST: EXISTING TOPOGRAPHIC FEATURES: PERCOLATION TEST LOCATIONS
4. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 10(A): NUMBER OF REQUIRED PARKING SPACES
5. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5(D)(8B): SHADE TREE PER 40 LINEAR FEET ALONG FRONT BUFFER
6. LAND DEVELOPMENT REGULATIONS ARTICLE III SECTION 5(E)(7): LANDSCAPE MEDIAN PER FOUR CONTINUOUS PARKING ROWS

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON 9/2/19 Certified on 11/15/19

BOARD MEMBER John J. Smith, Jr. City Planner AND

BOARD MEMBER _____

TAX MAP 114 LOT 2
COVER
PROPOSED AUTO DEALERS
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

| | | | | | | |
|------|----------|----|-----|---------|--------------------|------|
| FILE | 47159.01 | DR | RCK | FB | | C-01 |
| | | CK | HEG | CADFILE | 47159-01_Cover.dwg | |



CONTACT DIG SAFE 72 BUSINESS
HOURS PRIOR TO CONSTRUCTION

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

PROPOSED

PROPERTY LINE

ZONING LINE

EASEMENT

BASELINE

FLOODPLAIN

EDGE OF WATERBODY

EDGE OF WETLAND

SETBACK (WETLAND)

SETBACK (STRUCTURE)

SETBACK (PARKING)

SETBACK (LANDSCAPE)

GRAVEL ROAD

EDGE OF PAVEMENT

VERTICAL GRANITE CURB

SLOPED GRANITE CURB

CONCRETE CURB

INTEGRATED CONCRETE CURB

BUTIMINOUS ASPHALT CURB

SAWCUT

BUILDING

BUILDING ROOF OVERHANG

BUILDING FLOOR

BUILDING ENTRANCE

OVERHEAD DOOR

TREE LINE

FENCE (CHAIN LINK)

FENCE (WIRE)

FENCE (STOCKADE)

GUARDRAIL

RETAINING WALL

SILT FENCE

SILT SOCK

SOIL BOUNDARY

LIMIT OF GRADING

CONTOUR

SPOT GRADE

PARKING SPACE COUNT

DISPLAY PARKING SPACE COUNT

YELLOW DOUBLE SOLID LINE

YELLOW SINGLE SOLID LINE

WHITE SINGLE SOLID LINE

WHITE SINGLE BROKEN LINE

STOP BAR

CROSSWALK

ACCESSIBLE PARKING SYMBOL

PAVEMENT ARROW

TRAFFIC FLOW ARROW (NOT PAINTED)

SIGN (SINGLE POST)

SIGN (DOUBLE POST)

SIGN (PYLON)

SIGN (MONUMENT)

BOLLARD

DUMPSTER PAD

PROPOSED

CONCRETE

GRAVEL

HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE

RIPRAP

INLET PROTECTION

DRAIN LINE

DRAINAGE SWALE

STORMWATER BMP

SEWER LINE

SEWER FORCE MAIN LINE

WATER LINE

GAS LINE

OVERHEAD UTILITY LINE

UNDERGROUND UTILITY LINE

CATCH BASIN

DRAIN INLET

OUTLET CONTROL STRUCTURE

ROOF DRAIN

DRAIN CLEANOUT

DRAIN MANHOLE

FARED END SECTION

SEWER CLEAN OUT

SEWER MANHOLE

SEWER VENT

DRAIN/SEWER/WATER PLUG OR CAP

HYDRANT

WATER GATE VALVE

WATER SHUTOFF

THRUST BLOCK

WATER METER

WATER MANHOLE

WELL

GAS GATE VALVE

GAS SHUT OFF

GAS METER

TELEPHONE MANHOLE

ELECTRIC MANHOLE

TRAFFIC CONTROL CABINET

ELECTRIC HANDHOLE

ELECTRIC PULL BOX

ELECTRIC METER

FLOOD LIGHT

LIGHT POLE

UTILITY POLE

GUY POLE

TRANSFORMER PAD

BORING LOCATION

TEST PIT LOCATION

INFILTRATION TEST LOCATION

MONITORING WELL

ABBREVIATIONS

GENERAL

ABAN ABANDON

AC ACRES

ADJ ADJUST

APPROX APPROXIMATE

BC BOTTOM OF CURB

BIT BITUMINOUS

BK/Pg BOOK & PAGE

BLDG BUILDING

BS BOTTOM OF SLOPE

BW BOTTOM OF WALL

CONC CONCRETE

COORD COORDINATE

DIA DIAMETER

ELEV ELEVATION

EP EDGE OF PAVEMENT

EXIST EXISTING

FFE FINISHED FLOOR ELEVATION

FND FOUNDATION

HP HIGH POINT

INV INVERT ELEVATION

IT INFILTRATION TEST

L LENGTH

LF LINEAR FEET

LSA LANDSCAPE AREA

MAX MAXIMUM

MIN MINIMUM

N/F NOW OR FORMERLY

NTS NOT TO SCALE

OC ON CENTER

PERF PERFORATED

PROP PROPOSED

R RADIUS

R&D REMOVE AND DISPOSE

R&R REMOVE AND RESET

RET RETAIN

RIM RIM ELEVATION

S SLOPE

SF SQUARE FEET

SW SIDEWALK

TBM TEMPORARY BENCHMARK

TP TOP OF CURB

TEST PIT

TW TOP OF WALL

TVT TYPICAL

UG UNDERGROUND

WCR ACCESSIBLE WHEELCHAIR RAMP

W/ WITH

UTILITIES

CB CATCH BASIN

CIP CAST IRON PIPE

CMC CORRUGATED METAL PIPE

CO CLEANOUT

COND CONDUIT

DCB DOUBLE CATCH BASIN

DIP DUCTILE IRON PIPE

DMH DRAIN MANHOLE

F&C FRAME AND COVER

F&G FRAME AND GRATE

FES FLARED END SECTION

GT GREASE TRAP

HDPE HIGH DENSITY POLYETHYLENE PIPE

HH HANDHOLE

HW HEADWALL

HYD HYDRANT

LP LIGHT POLE

LP OUTLET CONTROL STRUCTURE

OWS OIL WATER SEPARATOR

PVC POLYVINYL CHLORIDE PIPE

RCP REINFORCED CONCRETE PIPE

RD ROOF DRAIN

SMH SEWER MANHOLE

TSV TAPPING SLEEVE, VALVE, AND BOX

UP UTILITY POLE

GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE PLAN SHALL BE RECORDED IN THE STAFFORD COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING DIRECTOR.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- AN ALTERATION OF TERRAIN PERMIT IS REQUIRED PER ENV-WQ 1503.02. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 OR AS APPLICABLE.
- SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITH THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABOUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7 AM AND 6 PM, MONDAY THROUGH FRIDAY AND 8 AM AND 6 PM ON SATURDAY IN ACCORDANCE WITH "STANDARD OF INFRASTRUCTURE DESIGN, ROCHESTER, NEW HAMPSHIRE".
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
 - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
 - AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:

| MINIMUM DENSITY* | LOCATION |
|------------------|---|
| 95% | BELOW PAVED OR CONCRETE AREAS |
| 95% | TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL |
| 90% | BELOW LOAM AND SEED AREAS |

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
- AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF ROCHESTER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINE PASSES BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

| | |
|-----------|--|
| DRAINAGE | PRIVATE |
| SEWER | MUNICIPAL |
| WATER | MUNICIPAL |
| GAS | UNITIL |
| ELECTRIC | EVERSOURCE |
| TELEPHONE | CONSOLIDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS |
| CABLE | ATLANTIC BROADBAND |

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

NOTES & LEGEND

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019

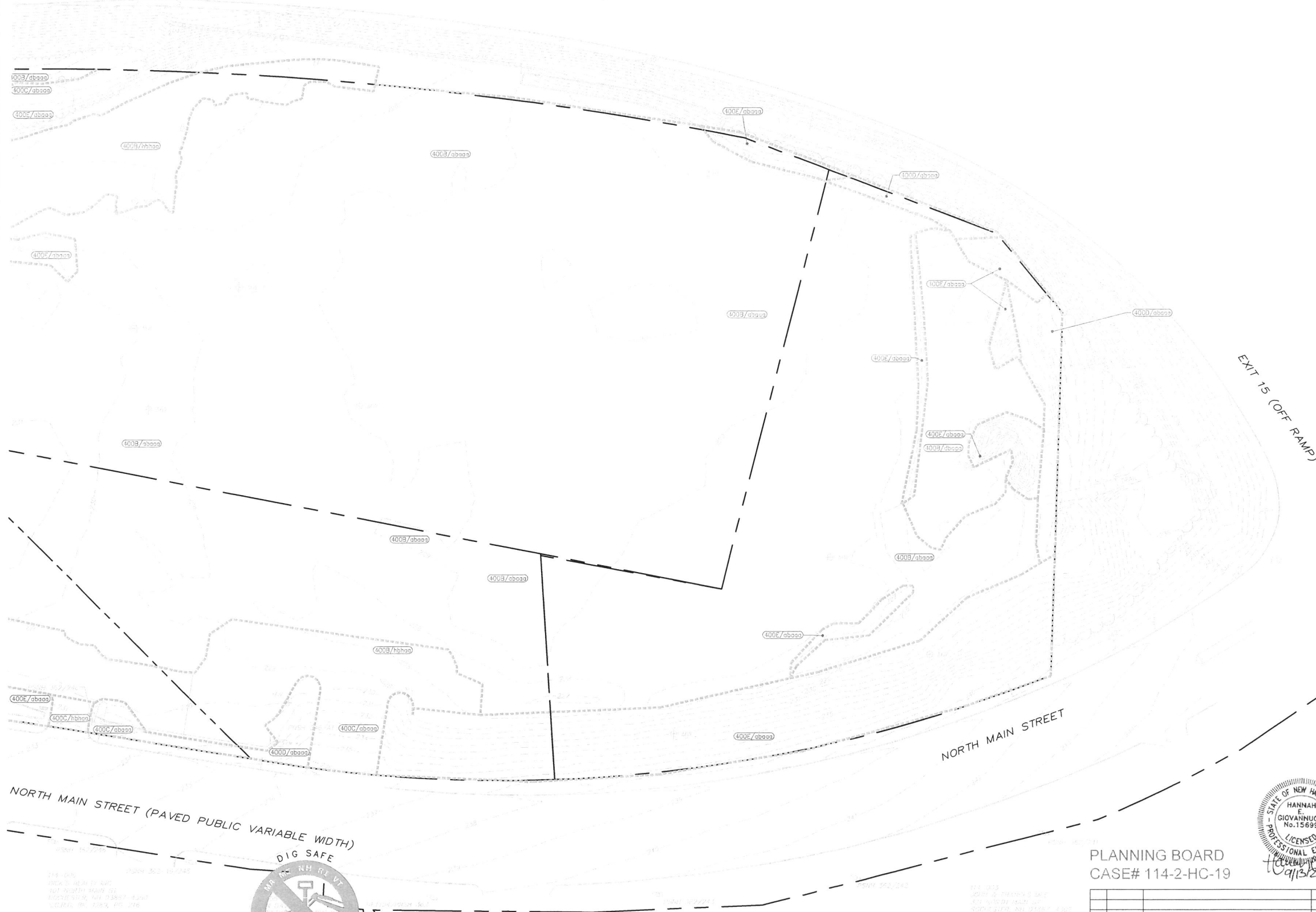
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

PLANNING BOARD
CASE# 114-2-HC-19

| REV. | DATE | TRG COMMENTS | DESCRIPTION | DKE | HEG |
|------|---------|--------------------------------------|-------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | | DKE | HEG |
| REV. | DATE | TRG COMMENTS | DESCRIPTION | DR | CK |

EXIT 15 (OFF RAMP)



| SOIL LEGEND | | | | | |
|-------------|-------------------|-------------|-----------------|-------------|------------|
| SYMBOL | MAP UNIT | SLOPE CLASS | DRAINAGE CLASS | HISS SYMBOL | SOIL GROUP |
| 400B/abaaa | UDORTHENTS, SANDY | 0-8% | EXCESSIVELY | 161BH | A |
| 400C/abaaa | UDORTHENTS, SANDY | 8-15% | EXCESSIVELY | 161CH | A |
| 400D/abaaa | UDORTHENTS, SANDY | 15-25% | EXCESSIVELY | 161DH | A |
| 400E/abaaa | UDORTHENTS, SANDY | 25%+ | EXCESSIVELY | 161EH | A |
| 400B/hbbaa | UDORTHENTS, SANDY | 0-8% | MODERATELY WELL | 361BH | B |
| 400B/fbaaa | UDORTHENTS, SANDY | 0-8% | POORLY | 561BH | C |
| 400Bhbbaa | UDORTHENTS, SANDY | 0-8% | UNDETERMINABLE | 761BH | A* |
| 400C/hbbaa | UDORTHENTS, SANDY | 8-15% | UNDETERMINABLE | 761CH | A* |

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

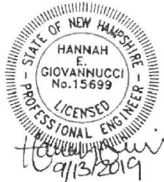
TAX MAP 114 LOT 2
SOIL BOUNDARY PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)
JULY 9, 2019

TFM
MSC
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

FILE 47159.01 DR RCK FB
CK HEG CADFILE 47159-01_Soil.dwg C-03

PLANNING BOARD
CASE# 114-2-HC-19



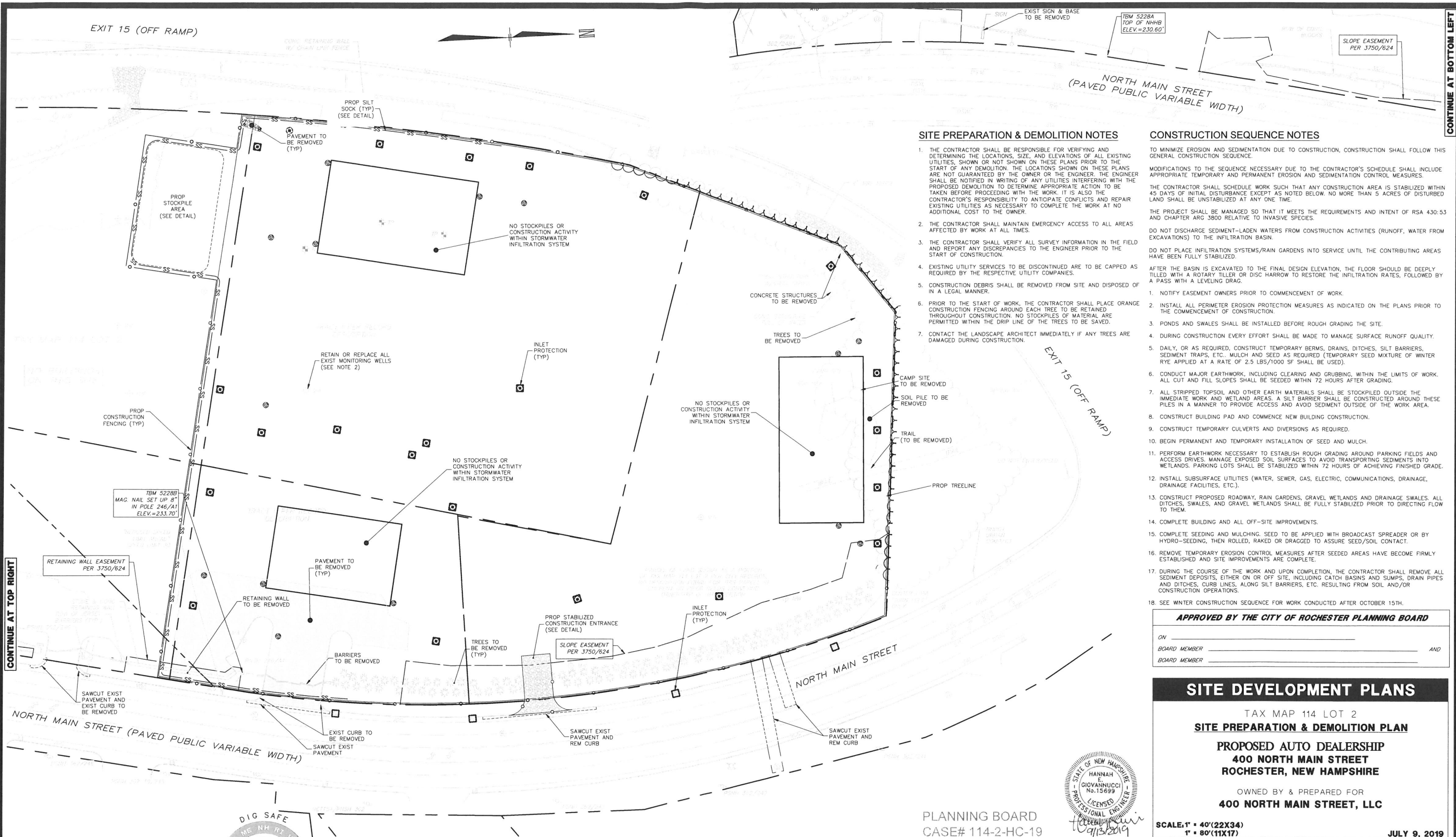
| REV. | DATE | DESCRIPTION | DKE | HEG |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HEG |



Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

DIG SAFE
MA ME NH RI VT
CALL 811-ON-PREC
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

CONSTRUCTION SEQUENCE NOTES (FOR Aot)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASINS.
2. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

SITE PREPARATION & DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF CONSTRUCTION. LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION BASIN.

DO NOT PLACE INFILTRATION SYSTEMS/RAIN GARDENS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK, ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES, ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____

BOARD MEMBER _____ AND _____

BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
SITE PREPARATION & DEMOLITION PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
00 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TEMorgan.com

| | | | | | |
|------|---------|--------------------------------------|-----|----|--|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HE | |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HE | |
| REV. | DATE | DESCRIPTION | DR | CA | |




| | | | | | | |
|------|----------|----|-----|---------|------------------------|------|
| FILE | 47159.01 | DR | RCK | FB | | C-04 |
| | | CK | HEG | CADFILE | 47159-01_Site-Prep.dwg | |

EXIT 15 (OFF RAMP)

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

SLOPE EASEMENT
PER 3750/624

CONTINUE AT BOTTOM LEFT

| DIRECTIONAL SIGN LEGEND | | |
|-------------------------|---|---|
| ID | SIGN | NO./SIZE/COLOR |
| A |  | R7-8 12" x 18" GREEN LETTERS, BORDER & ARROWS, WHITE BACKGROUND & BLUE LOGO |
| B |  | R7-8P 12" x 6" GREEN LETTERS, BORDER & ARROWS, WHITE BACKGROUND |
| C |  | R1-1 30" x 30" WHITE LETTERS AND BORDER & RED BACKGROUND |

SITE DATA

OWNER OF RECORD OF MAP 114 LOT 2: 400 NORTH MAIN STREET, LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
DEED REFERENCE TO PARCEL 15 BK 4081 PG 957
AREA OF PARCEL = 478,938± SF OR 10.99± ACRES (FOR MAP 114 LOT 2 LIMITS INDICATED ON DEED)
580,134± SF OR 13.3± ACRES (INCLUDING STATE-OWNED PORTION OF LOT,
INDICATED BY CITY RECORDS AS PART OF MAP 114 LOT 2.
NOTE: OWNERSHIP UNDER REVIEW WITH STATE.)

ZONED: HIGHWAY COMMERCIAL
EXISTING USE: VACANT
PROPOSED USE: COMMERCIAL

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT AN AUTO DEALERSHIP WITH A 2-STORY BUILDING FOR SALES AND SERVICE AND PARKING FOR DISPLAY AND CUSTOMERS. ASSOCIATED IMPROVEMENTS INCLUDE ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEM, AND UTILITIES. HOURS OF OPERATION FOR THE AUTO DEALERSHIP WILL BE AS FOLLOWS:
MONDAY-FRIDAY: 7:00 AM TO 8:00 PM, SATURDAY: 7:00 AM TO 6:00 PM, SUNDAY: 10:00 AM TO 5:00 PM

DIMENSIONAL REQUIREMENTS (CURRENT ZONING)

| | REQUIRED: | PROVIDED: |
|-------------------------------|-----------|-------------|
| MINIMUM LOT DIMENSIONS: | | |
| LOT AREA | 20,000 SF | 580,134± SF |
| STREET FRONTAGE | 100 FT | 19,380± FT |
| MINIMUM BUILDING SETBACKS: | | |
| FRONT | 20 FT | 125 FT |
| SIDE | 10 FT | 142 FT |
| REAR | 25 FT | 87 FT |
| MINIMUM PAVEMENT SETBACKS: | | |
| FRONT | 10 FT | 26 FT |
| SIDE | 5 FT | 8 FT |
| REAR | 10 FT | 10 FT |
| MAXIMUM STRUCTURE DIMENSIONS: | | |
| MAXIMUM STORIES | 4 STORIES | 4 STORIES |
| MAXIMUM LOT COVERAGE | 85% | 36.1% |

PARKING REQUIREMENTS

| | | |
|----------------------------------|--------------|-----------------------|
| PARKING SPACES (SEE CALCULATION) | 99 SPACES | 65 SPACES* (CUSTOMER) |
| ACCESSIBLE SPACES (REQ'D BY ADA) | 4 SPACES | 4 SPACES (DISPLAY) |
| PARKING SPACE SIZE | 9 FT x 18 FT | 9 FT x 18 FT |
| ASILE WIDTH | 24 FT | 24 FT |

PARKING CALCULATIONS

MOTOR VEHICLE SALE/RENTAL
1.5 SPACES / 1000 SF GROSS SQUARE FOOT IN BUILDING
(9,100 SF [FLOOR 1] + 4,900 SF [FLOOR 2]) x 1.5 SPACES/1000 SF = 21 SPACES +
1 SPACE / 15 OUTSIDE DISPLAY SPACES
439 SPACES x 1 SPACE/15 DISPLAY SPACES = 30 SPACES +
MOTOR VEHICLE SERVICE STATION
1 SPACE / 4 SERVICE BAYS
12 SERVICE BAYS x 4 SPACES/SERVICE BAY = 48 SPACES
TOTAL REQUIRED = 99 SPACES

*WAIVER REQUESTED FOR REQUIRED PARKING

NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR. A RED WINTER FLAG SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
SITE LAYOUT PLAN

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

FILE 47159.01

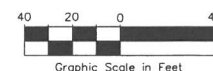
DR RCK FB
CK HEG CADFILE

47159-01_Site.dwg

C-05

PLANNING BOARD
CASE# 114-2-HC-19

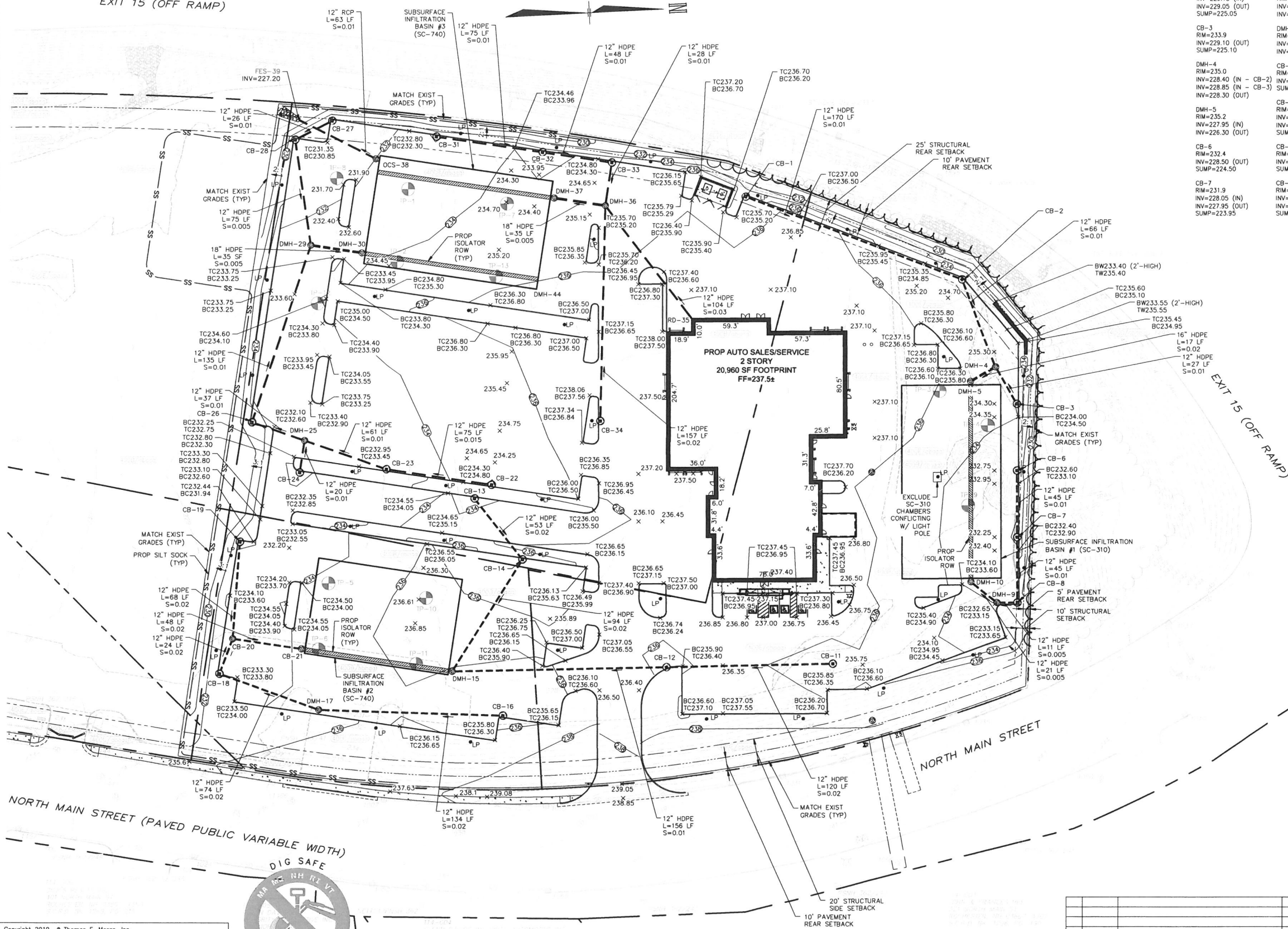
| REV. | DATE | DESCRIPTION | DKE | HEG |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HEG |



CONTACT DIG SAFE 72 BUSINESS
HOURS PRIOR TO CONSTRUCTION

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied,
duplicated, replicated or otherwise reproduced in any form whatsoever
without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of
Thomas F. Moran, Inc.

EXIT 15 (OFF RAMP)



DRAINAGE STRUCTURE TABLE

| | | | | | |
|--|--|---|---|---|--|
| CB-1 RIM=234.8 INV=230.85 (OUT) SUMP=226.85 | CB-8 RIM=232.2 INV=227.50 (IN) INV=226.10 (IN - CB-14) SUMP=223.40 | DMH-15 RIM=235.9 INV=226.95 (IN - CB-12) INV=226.10 (IN - CB-14) SUMP=225.90 | CB-22 RIM=233.9 INV=229.90 (OUT) SUMP=225.90 | DMH-29 RIM=232.9 INV=225.95 (IN - CB-28) INV=225.25 (IN - CB-28) INV=225.15 (OUT) | DMH-36 RIM=235.0 INV=226.60 (IN - CB-33) INV=227.80 (IN - CB-34) INV=228.35 (IN - RD-35) INV=226.50 (OUT) |
| CB-2 RIM=234.3 INV=229.15 (IN) INV=229.05 (OUT) SUMP=225.05 | DMH-9 RIM=232.6 INV=227.30 (IN) INV=227.20 (OUT) SUMP=227.00 | CB-16 RIM=235.0 INV=231.00 (OUT) SUMP=227.00 | CB-23 RIM=232.5 INV=228.80 (IN) INV=228.70 (OUT) SUMP=224.70 | DMH-30 RIM=233.6 INV=228.95 (IN) INV=224.50 (OUT) | DMH-37 RIM=234.3 INV=226.30 (IN) INV=226.30 (IN) INV=224.50 (OUT) |
| CB-3 RIM=233.9 INV=229.10 (OUT) SUMP=225.10 | DMH-10 RIM=234.0 INV=227.10 (IN) INV=228.20 (OUT) SUMP=223.05 | CB-18 RIM=233.0 INV=226.70 (IN) INV=226.60 (OUT) SUMP=222.30 | DMH-25 RIM=232.2 INV=228.10 (IN - CB-23) INV=227.50 (IN - CB-24) SUMP=223.50 | CB-31 RIM=231.9 INV=228.35 (OUT) SUMP=224.35 | OCS-38 RIM=232.0 INV=227.50 (OUT) |
| DMH-4 RIM=235.0 INV=228.40 (IN - CB-2) INV=228.85 (IN - CB-3) INV=228.30 (OUT) | CB-11 RIM=235.5 INV=231.00 (OUT) SUMP=225.80 | CB-19 RIM=231.7 INV=227.70 (OUT) SUMP=223.70 | DMH-20 RIM=233.3 INV=226.10 (IN - CB-18) INV=226.35 (IN - CB-19) INV=226.00 (OUT) | CB-32 RIM=233.5 INV=227.60 (IN) INV=227.50 (OUT) SUMP=223.50 | |
| DMH-5 RIM=235.2 INV=227.95 (IN) INV=226.30 (OUT) | CB-12 RIM=235.7 INV=228.60 (IN) INV=228.50 (OUT) SUMP=224.50 | DMH-21 RIM=234.1 INV=225.05 (IN) SUMP=224.00 | CB-27 RIM=230.4 INV=226.00 (OUT) SUMP=222.40 | CB-33 RIM=234.0 INV=227.40 (IN) INV=226.90 (OUT) SUMP=222.90 | |
| CB-6 RIM=232.4 INV=228.50 (OUT) SUMP=224.50 | CB-13 RIM=233.6 INV=229.15 (OUT) SUMP=225.15 | DMH-20 RIM=233.3 INV=226.10 (IN - CB-18) INV=226.35 (IN - CB-19) INV=226.00 (OUT) | CB-28 RIM=230.2 INV=225.75 (IN) INV=225.65 (OUT) SUMP=221.65 | CB-34 RIM=236.0 INV=231.0 (OUT) SUMP=222.0 | |
| CB-7 RIM=231.9 INV=228.05 (IN) INV=227.95 (OUT) SUMP=223.95 | CB-14 RIM=235.0 INV=228.10 (IN) INV=228.00 (OUT) SUMP=224.00 | DMH-21 RIM=234.1 INV=225.05 (IN) SUMP=224.00 | CB-28 RIM=230.2 INV=225.75 (IN) INV=225.65 (OUT) SUMP=221.65 | RD-35 INV=231.50 (OUT) | |

NOTES

- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL DRAINAGE PIPES SHALL BE 12" HDPE WITH EXCEPTIONS INDICATED ON THE PLAN.

SOIL LEGEND

| SYMBOL | MAP UNIT | SLOPE CLASS | DRAINAGE CLASS | HISS SYMBOL | SOIL GROUP |
|------------|-------------------|-------------|-----------------|-------------|------------|
| 400B/abaaa | UDORTHENTS, SANDY | 0-8% | EXCESSIVELY | 161BH | A |
| 400C/abaaa | UDORTHENTS, SANDY | 8-15% | EXCESSIVELY | 161CH | A |
| 400D/abaaa | UDORTHENTS, SANDY | 15-25% | EXCESSIVELY | 161DH | A |
| 400E/abaaa | UDORTHENTS, SANDY | 25%+ | EXCESSIVELY | 161EH | A |
| 400B/dbaaa | UDORTHENTS, SANDY | 0-8% | MODERATELY WELL | 361BH | B |
| 400B/fbaaa | UDORTHENTS, SANDY | 0-8% | POORLY | 561BH | C |
| 400B/hbaaa | UDORTHENTS, SANDY | 0-8% | UNDETERMINABLE | 761BH | A* |
| 400C/hbaaa | UDORTHENTS, SANDY | 8-15% | UNDETERMINABLE | 761CH | A* |

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
GRADING & DRAINAGE PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

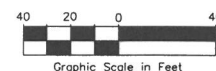
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

FILE 47159.01 DR RCK FB
CK HEG CADFILE 47159-01_Grading.dwg C-06

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied,
duplicated, replicated or otherwise reproduced in any form whatsoever
without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of
Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS
HOURS PRIOR TO CONSTRUCTION



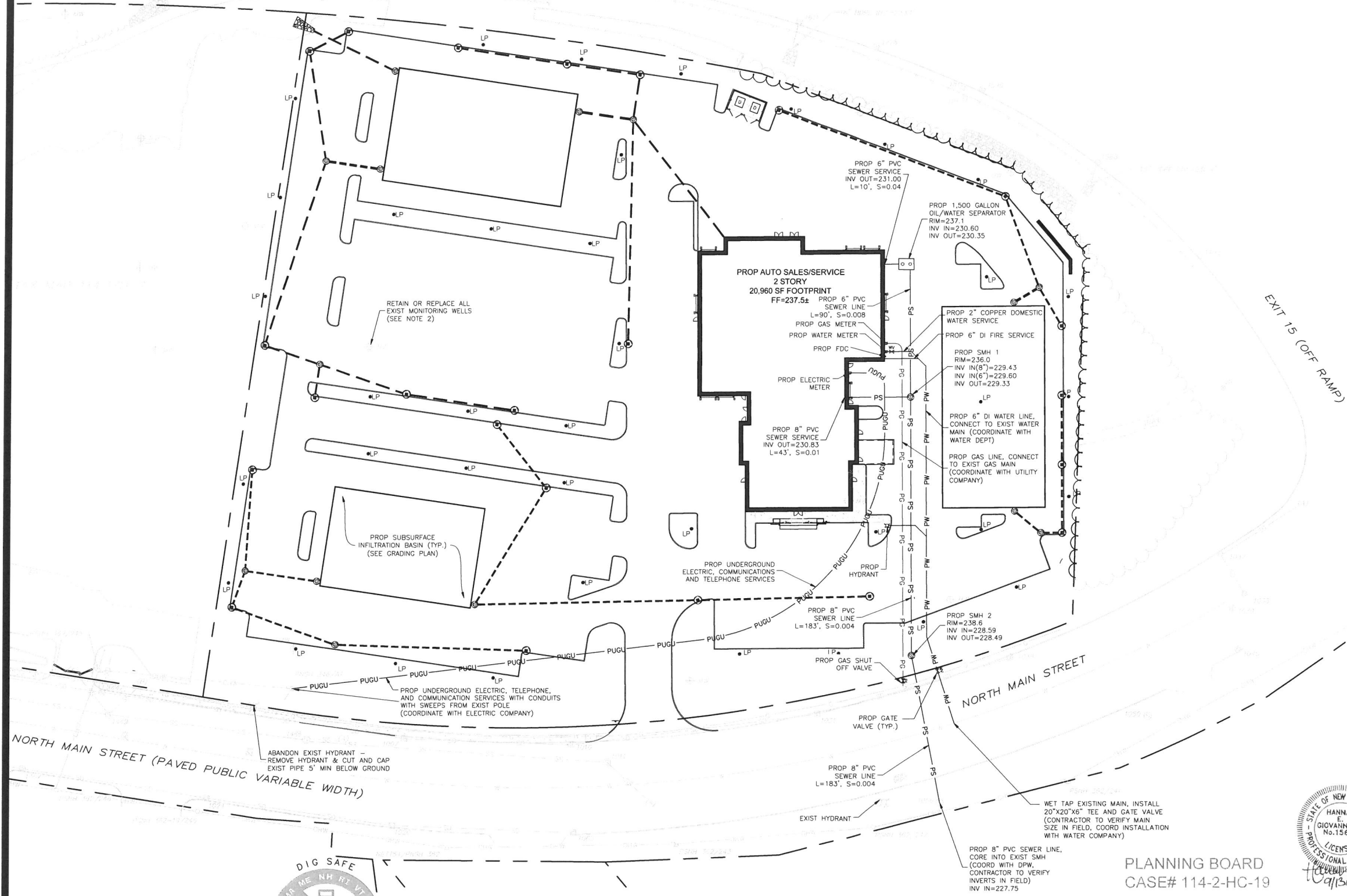
| REV | DATE | DESCRIPTION | DKE | HEG |
|-----|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRC COMMENTS | DKE | HEG |

EXIT 15 (OFF RAMP)

NOTES

1. A RED WINTER FLAG SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND, PER CITY OF ROCHESTER SITE PLAN REGULATIONS.
2. CONTRACTOR IS REQUIRED TO LOCATE AND PROTECT MONITORING WELLS. ANY MODIFICATIONS TO EXISTING MONITORING WELLS SHALL BE DOCUMENTS WITH THE NHDES WITH COPY TO THE CITY.

Sep 18, 2019 - 11:17am
F:\MISC Projects\47159 - North Main St - Rochester\47159-01 - 400 North Main Street - KEY AUTO Design\Production Drawings\47159-01_Utility.dwg



APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

UTILITY PLAN

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019

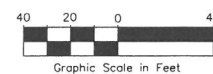


Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

PLANNING BOARD
CASE# 114-2-HC-19

| REV. | DATE | DESCRIPTION | DR | CK |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HEG |



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

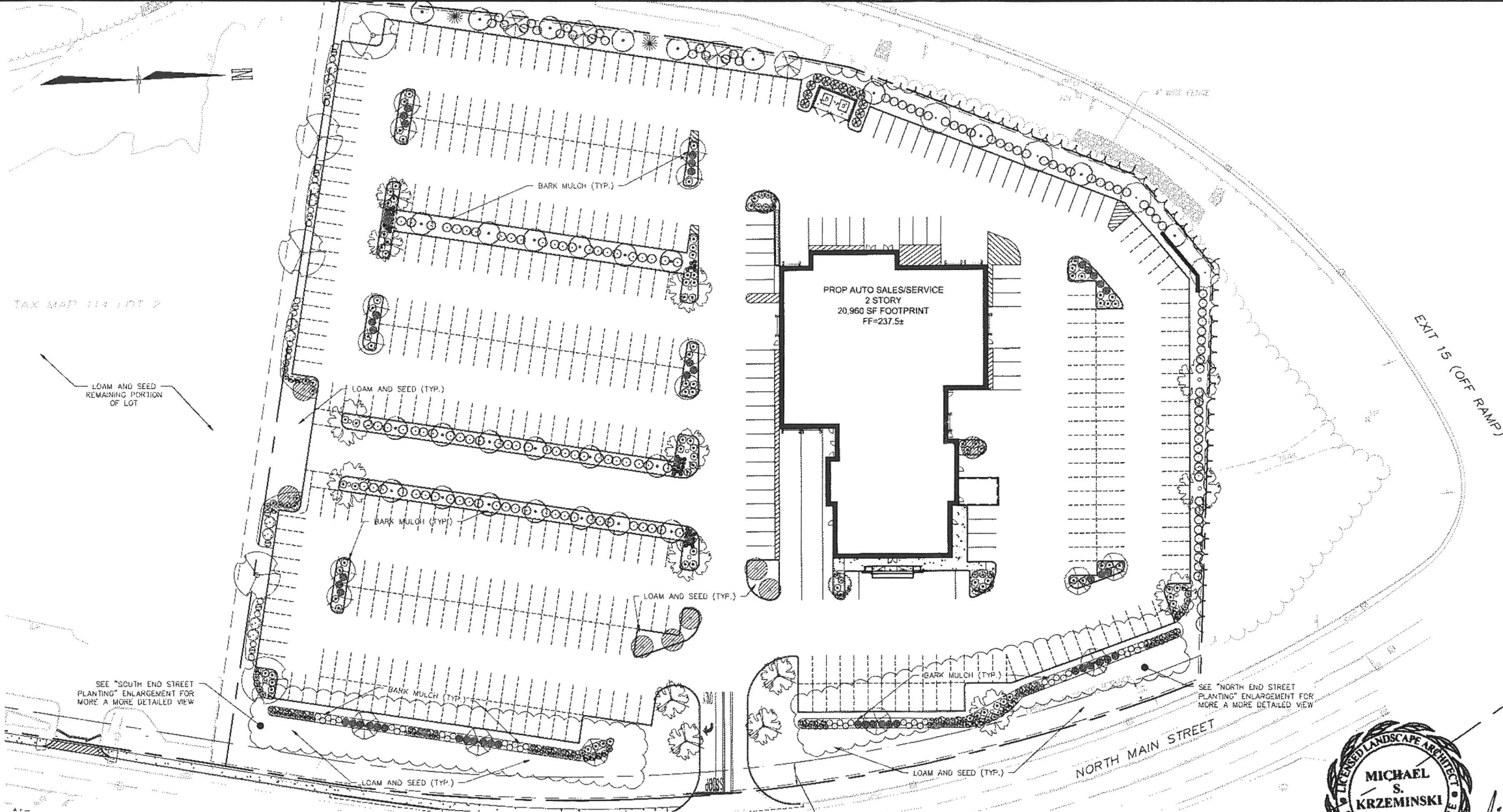
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

SOUTH END STREET PLANTING AT 1" = 20'

NORTH END STREET PLANTING AT 1" = 20'

LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|--------|-----|--|----------------------|---------|
| | 6 | ACER RUBRUM 'REDPOINTE' REDPOINTE RED MAPLE | 3" TO 3 1/2" CAL. | B&B |
| | 9 | ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE | 3" TO 3 1/2" CAL. | B&B |
| | 29 | ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE | 3" TO 3 1/2" CAL. | B&B |
| | 3 | CORNUS KOUSA KOUSA DOGWOOD | 2" TO 2 1/2" CAL. | B&B |
| | 8 | OXYSPINDRUM ARBOREUM SOURWOOD | 2" TO 2 1/2" CAL. | B&B |
| | 2 | PICEA PUNGENS BLUE SPRUCE | 7" TO 8" | B&B |
| | 5 | PLATANUS ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE | 3" TO 3 1/2" CAL. | B&B |
| | 11 | PLATANUS ACERIFOLIA 'EXCLAMATION' EXCLAMATION PLANETREE | 3" TO 3 1/2" CAL. | B&B |
| | 11 | PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR | 3" TO 3 1/2" CAL. | B&B |
| | 4 | ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM | 3" TO 3 1/2" CAL. | B&B |
| | 19 | AZALEA 'PLEASANT WHITE' PLEASANT WHITE AZALEA | 7 GAL. | CONT. |
| | 74 | CORNUS BAILEYI RED TWIG DOGWOOD | 3 GAL. | CONT. |
| | 81 | DEUTZIA 'YUKI SNOWFLAKE' YUKI SNOWFLAKE DEUTZIA | 3 GAL. | CONT. |
| | 17 | HYDRANGEA M. 'BLOOMSTRUCK' BLOOMSTRUCK HYDRANGEA | 6 GAL. | CONT. |
| | 30 | HYDRANGEA PANICULATA 'BOMBHELL' BOMBHELL PANICLE HYDRANGEA | 7 GAL. | CONT. |
| | 10 | PHYSCARPUS OPULIFOLIUS 'COPPERTINA' COPPERTINA NINEBARK | 2" TO 2 1/2" | B&B |
| | 77 | TAXUS M. 'GREENWAVE' GREENWAVE YEW | 5 GAL. | CONT. |
| | 52 | CHAMAECYPARIS PISIFERA 'FLIFERA MOPS' MOPS THINLEAF-LEAF FALSECYPRESS | 5 GAL. | CONT. |
| | 47 | ILEX CLABRA 'SHAMROCK' SHAMROCK HAWKBIT | 7 GAL. | CONT. |
| | 101 | JUNIPERUS CHINENSIS 'SARGENTII' GREEN SERGEANT JUNIPER | 18" TO 24" | B&B |
| | 10 | RHODOCODENDRON 'PUM' PUM RHODODENDRON | 18" TO 24" | B&B |
| | 12 | THUSA O. 'TECHNY' MISSION ARBORVITAE | 5" TO 6" | B&B |
| | 51 | PENSETUM ALOPECUROIDES 'HAEMELI' HAEMELI FOUNTAIN GRASS | 7 GAL. | CONT. |
| | 20 | HELICTOTRICHON S. 'SAPPHIRE' SAPPHIRE OAT GRASS | 2 GAL. | CONT. |



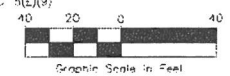
LANDSCAPE CALCULATIONS

FRONT & SIDE BUFFER PLANTING REQUIREMENTS: ARTICLE III SEC. 5(D)

- ONE BROAD-LEAFED SHADE TREE PER 40 LINEAR FEET OF FRONT BUFFER
REQUIRED: 606' / 40' = 15 TREES
PROVIDED: 8 TREES, 1 TREE PER 75'
*WAVES NEEDED, ARTICLE III SEC. 5(D)(8b)
- TWO SHADE TREES, SPACED AT LEAST 40' APART, SHALL BE LOCATED WITHIN THE FRONT 60' OF EACH SIDE BUFFER.
REQUIRED: 818' / 40' = 20 TREES
PROVIDED: 20 SHADE TREES AND 2 EVERGREEN TREES
ARTICLE III SEC. 5(D)(8c)
- THE FRONT BUFFER AND FRONT 50 FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT, AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF THE AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES/CROWNS OF THE TREES AND SHRUBS.
*WAVES NEEDED, ARTICLE III SEC. 5(D)(8a)

PARKING LOT PLANTING REQUIREMENTS: ARTICLE II SEC. 5(E)

- OFF-STREET PARKING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY TO PROVIDE AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE, EXCLUDING SLOPE TRIANGLES AT VEHICULAR ENTRANCES AND EXITS. A MODERATELY DENSE HEDGE COMPOSED OF EVERGREEN SHRUBS SHALL BE PLANTED WHICH IS REASONABLY EXPECTED TO REACH THIS OPACITY AND HEIGHT WITHIN ONE YEAR. ARTICLE II SEC. 5(E)(2)
- THE LANDSCAPED MEDIAN SHALL BE PLANTED WITH EVERGREEN SHRUBBERY AND AT LEAST ONE ORNAMENTAL OR SHADE TREE FOR EVERY 30 LINEAR FEET OF THE MEDIAN.
REQUIRED: 21 TREES BETWEEN THE THREE LANDSCAPED MEDIANS
PROPOSED: 21 TREES AND EVERGREEN SHRUBS
ARTICLE II SEC. 5(E)(3)
- SHADE AND/OR ORNAMENTAL TREES SHALL BE PLANTED IN AND AROUND THE PARKING LOT IN ORDER THAT NO SPOT ON THE PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM THE CENTER OF THE TRUNK OF A SHADE OR ORNAMENTAL TREE. ARTICLE II SEC. 5(E)(3)



SEE DETAIL SHEET FOR LANDSCAPE NOTES

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
LANDSCAPE PLAN

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019

TFM **MSC**

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMorion.com

47159.01
C-08

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, NH 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT (603) 431-7722 BUSINESS HOURS PRIOR TO CONSTRUCTION

Sup 12 2019 - 2:22pm
F:\MSC Projects\47159 - North Main St., Rochester\47159.01 - KEY AUTO\Design\Production Drawings\47159.01_Landscape.dwg

WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.

(TYPE II)
FOR TREES WITH CALIPER 3" OR GREATER
6 1/2" GALV. TURNBUCKLE & #12 GA. GALV. TWISTED WIRE IN RUBBER HOSE AROUND TREE ANCHOR WITH 2"x2"x2" SPRUCE STAKE BURIED BELOW GRADE CLEAR OF ROOTBALL

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
TREE WRAP
SURVEY FLAGGING
REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8 IN. INTO PLANTING HOLE.

PLANTING MIXTURE: 20 PARTS TOPSOIL, 4 PARTS PEAT MOSS AND ONE PART WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATTER OF LOW PH. BACKFILL IN LOOSE LIFTS OF 6"-9" DEPTH. LIGHTLY TAMP SOIL. SETTLE WITH THOROUGH WATER SOAKING.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

(TYPE I)
FOR TREES WITH CAL. LESS THAN 3"
(3) 2"x2"x8" SPRUCE STAKES ABOVE GROUND TO LOWEST BRANCH STAKES TO BE CLEAR OF ROOTBALL

#12 GA. GALV. TWISTED WIRE IN RUBBER HOSE

3 INCH SHREDDED MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
FILTER FABRIC FOR WEED CONTROL UNDER BARK MULCH. (KEEP OUT OF DEPRESSION)
3 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

SET TOP OF ROOT BALL FLUSH TO GRADE OR (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.
LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

DECIDUOUS TREE PLANTING

NOT TO SCALE

WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.

NEVER CUT A LEADER

(ITEM II)
FOR TREES 5" IN HEIGHT OR GREATER
(3) #12 GA. GALV. TWISTED WIRES AT 120" SPACING WITH 6 1/2" GAL. TURNBUCKLE WIRE IN RUBBER HOSE AROUND TREE. ATTACH TO TREE AT 1/2 TO 2/3 HEIGHT OF TREE ABOVE GRADE. ANCHOR WITH 2"x2"x2" SPRUCE STAKE BURIED BELOW GRADE CLEAR OF ROOTBALL

SURVEY FLAGGING
REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8 IN. INTO PLANTING HOLE.

PLANTING MIXTURE: 20 PARTS TOPSOIL, 4 PARTS PEAT MOSS AND ONE PART WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATTER OF LOW PH. BACKFILL IN LOOSE LIFTS OF 6"-9" DEPTH. LIGHTLY TAMP SOIL. SETTLE WITH THOROUGH WATER SOAKING.

#12 GA. GALV. TWISTED WIRE IN RUBBER HOSE AROUND TREE AT 2/3 HEIGHT OF TREE FROM GRADE

(ITEM I)
FOR TREES LESS THAN 5" IN HEIGHT
(3) 2"x2"x5" SPRUCE STAKES AT 120" SPACING. A MINIMUM OF 36" IN GROUND. STAKES TO BE CLEAR OF ROOTBALL

3 INCH SHREDDED MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.
FILTER FABRIC FOR WEED CONTROL UNDER BARK MULCH. (KEEP OUT OF DEPRESSION)
3 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

SET TOP OF ROOT BALL FLUSH TO GRADE OR (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.
LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

EVERGREEN PLANTING

NOT TO SCALE

CUT AND REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL. REMOVE ALL STRING. FOLD REMAINING BURLAP DOWN INTO PLANT PIT. IF BURLAP IS SYNTHETIC, REMOVE COMPLETELY. WHEN PLANTING CONTAINER GROWN PLANTS, REMOVE THE BALL FROM THE CONTAINER AND LOOSEN THE OUTSIDE LAYER OF THE ROOT SYSTEM BY SCORING WITH A CLEAN KNIFE. DIVIDE ALL CIRCLING ROOTS.
DIAMETER OF HOLE SHALL BE TWICE THE DIAMETER OF ROOT BALL.

PLANTING MIXTURE: 20 PARTS TOPSOIL, 4 PARTS PEAT MOSS AND ONE PART WELL ROTTED MANURE OR OTHER COMPOSTED ORGANIC MATTER OF LOW PH. BACKFILL IN LOOSE LIFTS OF 6"-9" DEPTH. LIGHTLY TAMP SOIL. SETTLE WITH THOROUGH WATER SOAKING.

NOTE: WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.

3" SHREDDED BARK MULCH
FILTER FABRIC FOR WEED CONTROL (KEEP OUT OF DEPRESSION)
3 INCH HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

SET TOP OF ROOT BALL FLUSH TO GRADE OR (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.
LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION. PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

SHRUB PLANTING

NOT TO SCALE

LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
- MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- TREE STAKES AND WRAP WILL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR. CONTRACTOR WILL REMOVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
- ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
- ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 48 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- ALL ORNAMENTAL GRASSES WILL BE CUT BACK EVERY FALL OR EARLY SPRING.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

HYDROSEEDING NOTES

- HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

INVASIVE PLANT NOTES

- EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS".

PRICING & CONSTRUCTION DOCUMENT NOTES

- CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
- PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
- CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
- CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

SEEDING NOTES

- SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEED OR SOODED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE/LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
- REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
LANDSCAPE DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: AS SHOWN
AS SHOWN

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

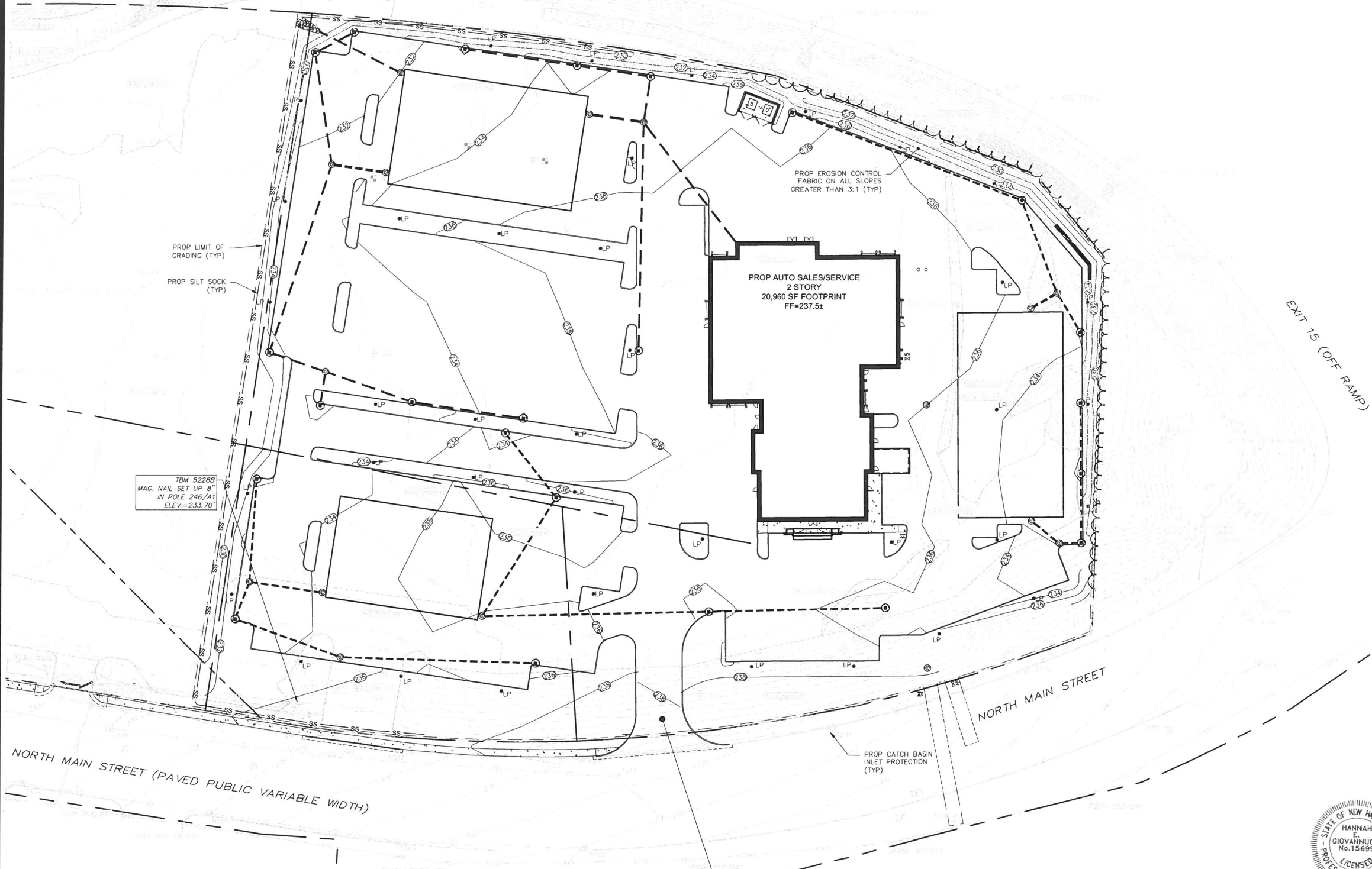
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

| | | | | | | |
|------|----------|----|-----|---------|------------------------|------|
| FILE | 47159.01 | DR | ARJ | FB | | C-09 |
| | | CK | MSK | CADFILE | 47159-01_Landscape.dwg | |



CONTRACT DID SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

EXIT 15 (OFF RAMP)



NOTES

1. SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
2. INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
3. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
4. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
5. THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOTI) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
6. SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
7. CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
8. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
9. PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
10. ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
11. ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
12. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
13. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
15. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
EROSION CONTROL PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17) JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

47159.01 DR RCK FB
CK HEG CADFILE 47159-01_Erosion.dwg C-10

PLANNING BOARD
CASE# 114-2-HC-19



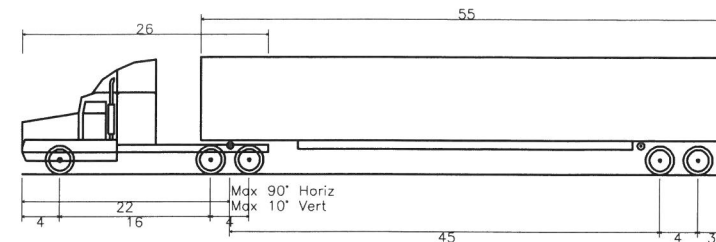
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

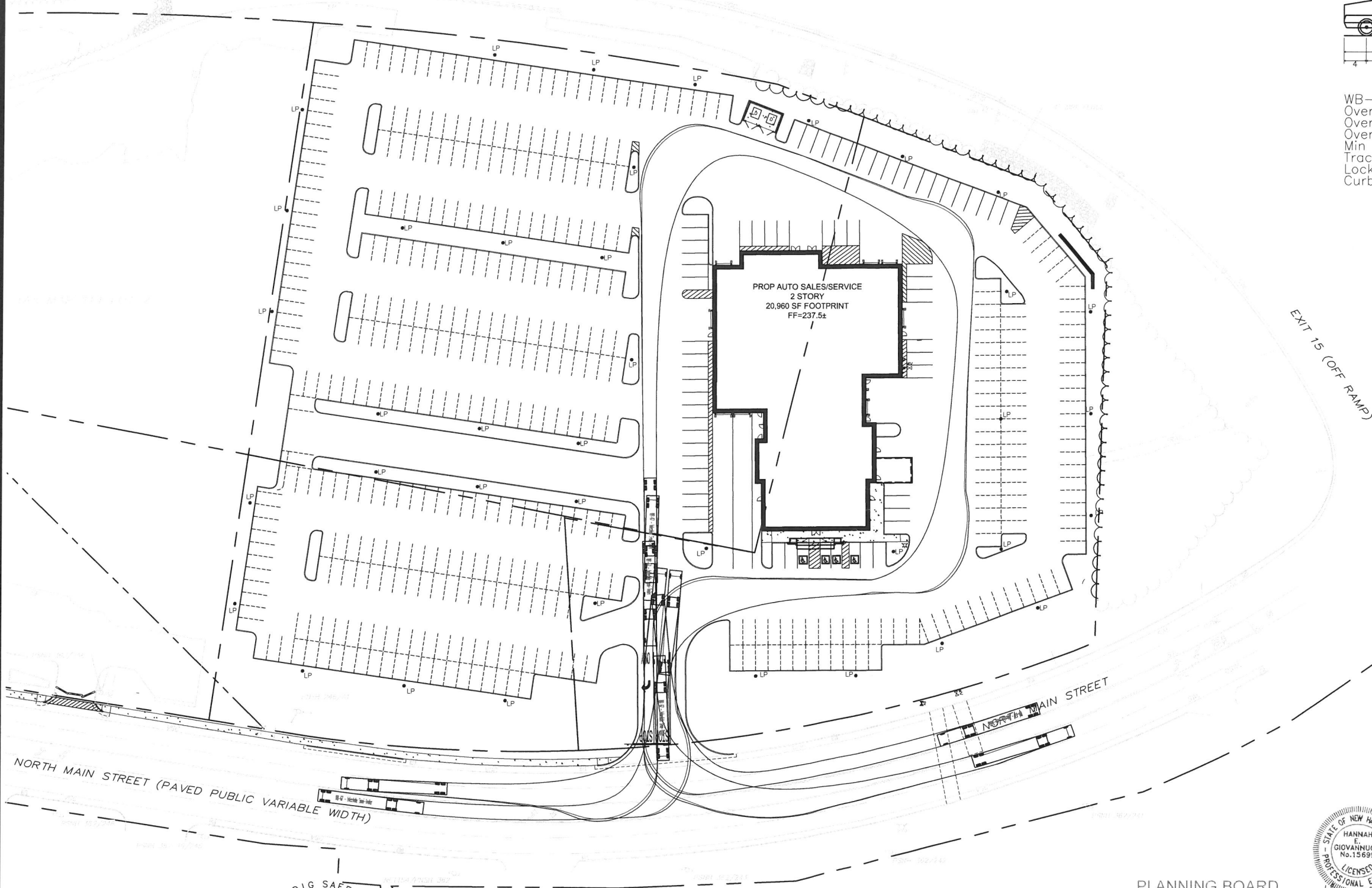
Sep 18, 2019 - 11:15am
F:\MISC Projects\47159 - North Main St., Rochester\47159-01 - 400 North Main Street - KEY AUTO Design\Production Drawings\47159-01_Erosion.dwg

Sep 18, 2019 - 11:18am
F:\MSC Projects\47159 - I

EXIT 15 (OFF RAMP)



WB-67 - Interstate Semi-Trailer
Overall Length 74.000ft
Overall Width 8.500ft
Overall Body Height 12.227ft
Min Body Ground Clearance 1.422ft
Track Width 8.500ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 45.000ft



APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
WB-67 TRUCK MOVEMENT PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019

PLANNING BOARD
CASE# 114-2-HC-19



| REV. | DATE | DESCRIPTION | DR | CK |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HEG |



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

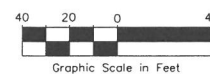
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

| | | | | | | |
|------|----------|----|-----|---------|--------------------|------|
| FILE | 47159.01 | DR | RCK | FB | 47159-01_Truck.dwg | C-12 |
| | | CK | HEG | CADFILE | | |

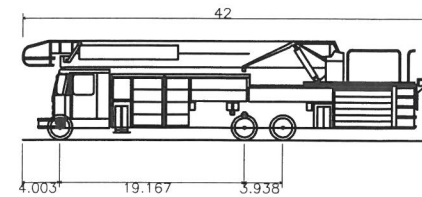
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



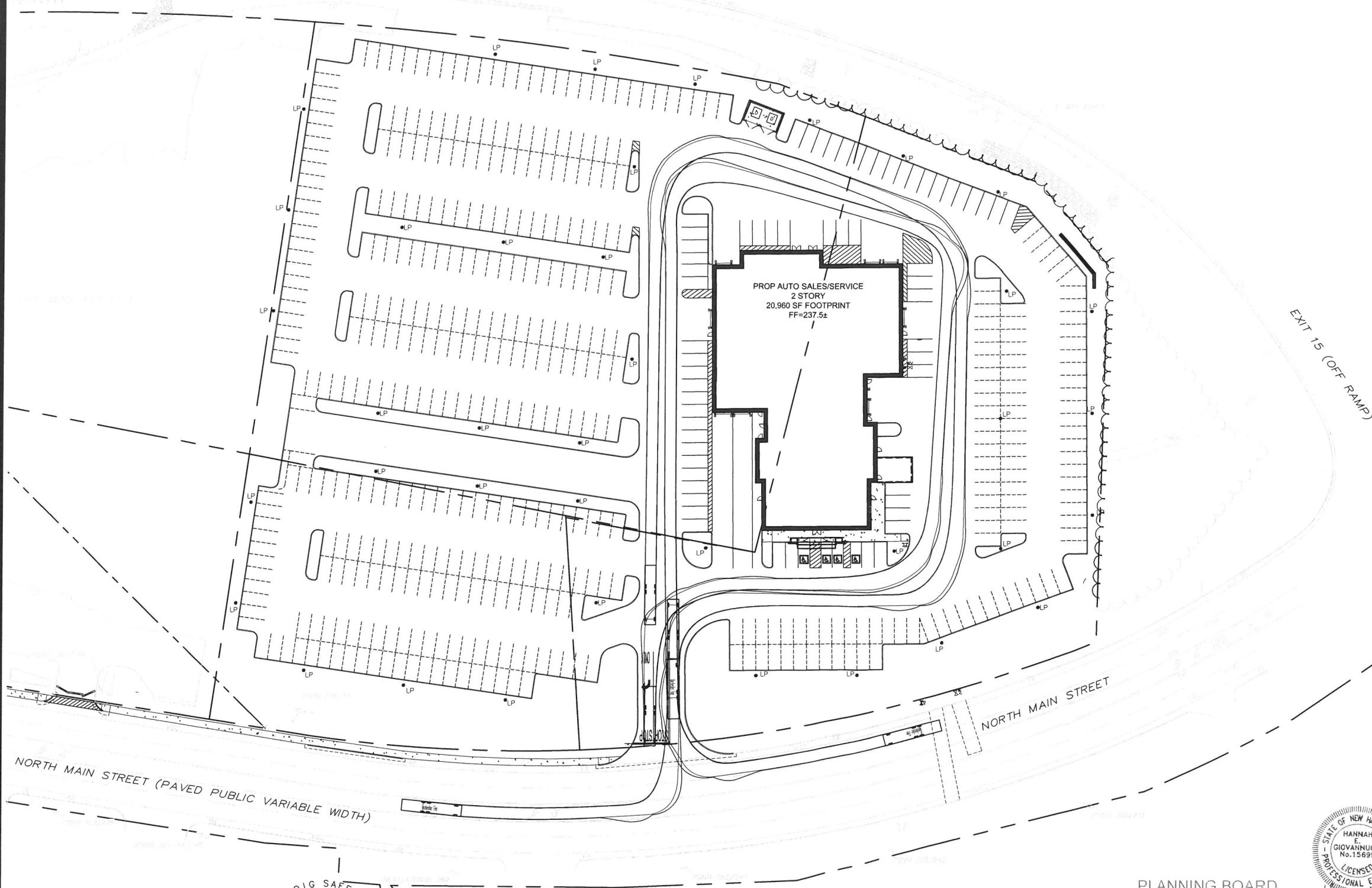
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



EXIT 15 (OFF RAMP)



Rochester Fire
Overall Length 42.000ft
Overall Width 8.000ft
Overall Body Height 10.344ft
Min Body Ground Clearance 0.775ft
Track Width 7.500ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 45.00°



APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

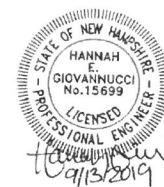
SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
FIRE TRUCK MOVEMENT PLAN
PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

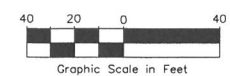
SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

JULY 9, 2019



PLANNING BOARD
CASE# 114-2-HC-19

| REV. | DATE | DESCRIPTION | DR | CK |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRC COMMENTS | DKE | HEG |



Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

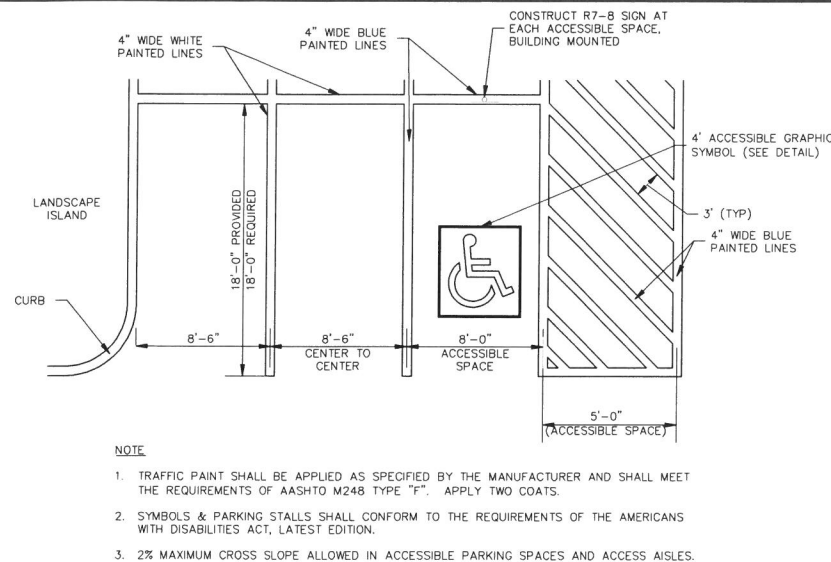
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

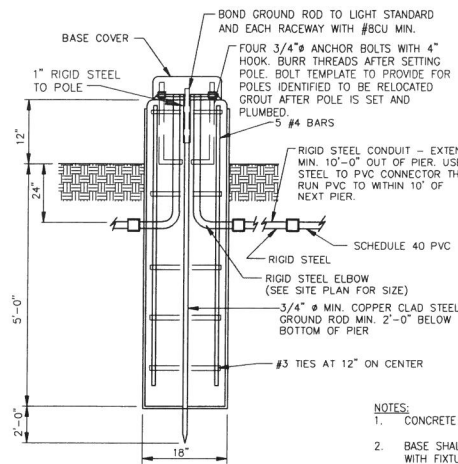
47159.01

DR RCK FB
CK HEG CADFILE 47159-01_Truck.dwg

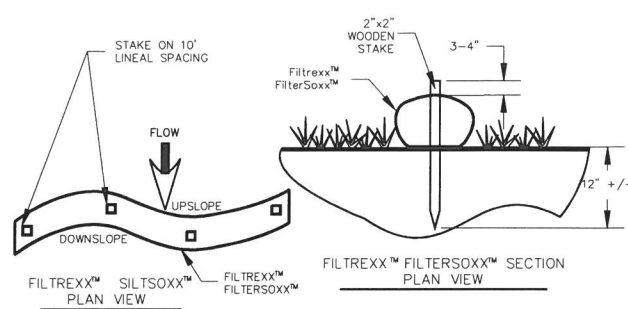
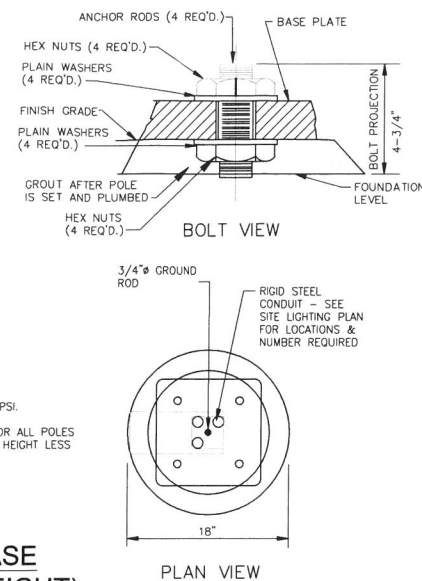
C-13



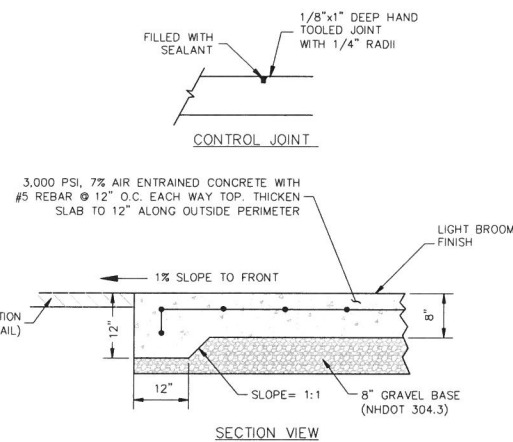
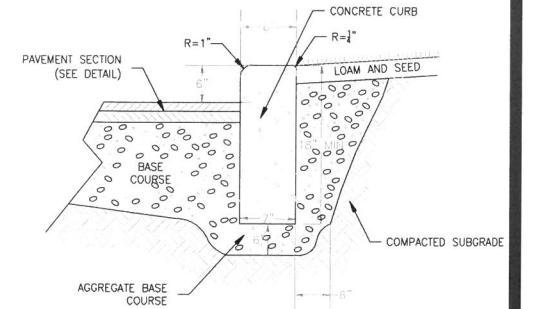
TYPICAL PARKING LAYOUT
NOT TO SCALE



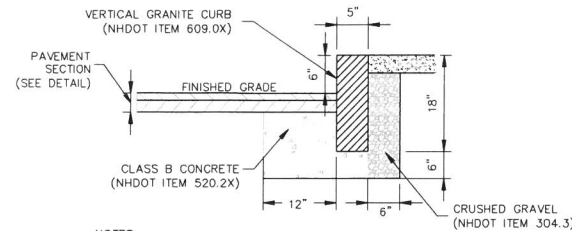
LIGHT POLE BASE (24" MOUNTING HEIGHT)
NOT TO SCALE



FILTREXX™ FILTERSOXX™ STAKING
NOT TO SCALE

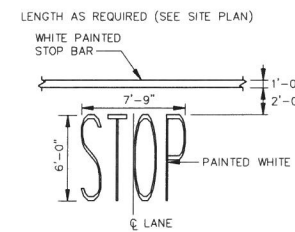


CONCRETE PAD
NOT TO SCALE



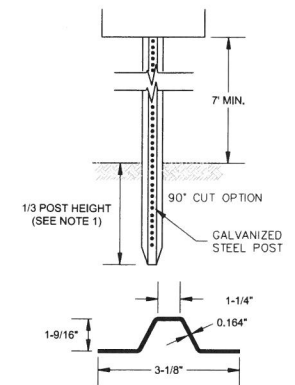
- NOTE:**
- MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

VERTICAL GRANITE CURB
NOT TO SCALE



- NOTE:**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.

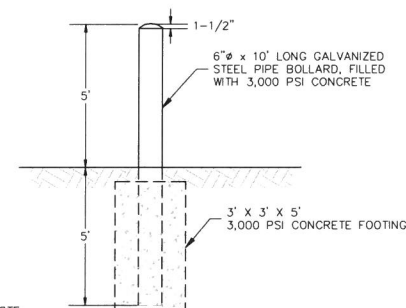
STOP BAR & LEGEND
NOT TO SCALE



LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM-GREEN BAKED-ON OR AIR-DRIED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

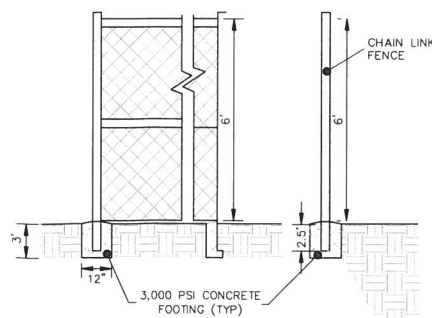
- NOTE:**
- WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2"
 - ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 - SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST
NOT TO SCALE



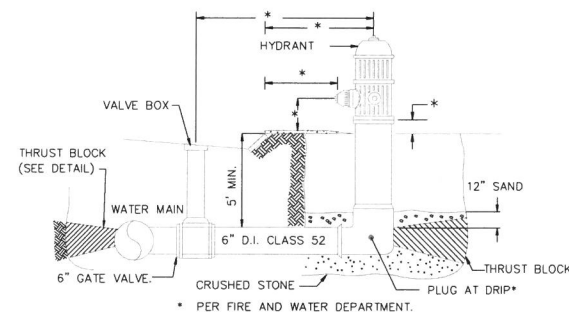
- NOTE:**
- BOLLARD SHALL BE PAINTED WITH PRIMER & 2 COATS OF SAFETY YELLOW PAINT.

BOLLARD
NOT TO SCALE



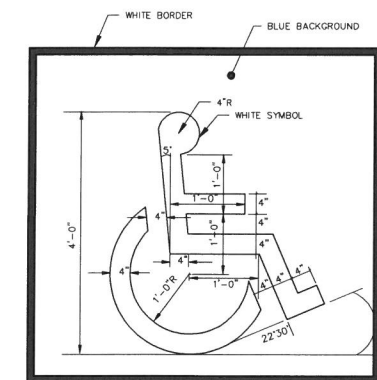
- NOTE:**
- 2" MESH FABRIC, 9 GAUGE WIRE FOR FENCE. LINE POSTS ARE TO BE A 2 1/2" DIAMETER 14 GAUGE. TOP RAIL SHOULD BE 1 1/2" DIAMETER 16 GAUGE. ALL PER ASTM SPECIFICATIONS.
 - INSTALL DARK BROWN VINYL PRIVACY SLATS IN FENCE & GATES WHERE INDICATED.
 - PROVIDE CHAIN LINK GATE TO ACCESS DUMPSTER.

CHAIN LINK FENCE
NOT TO SCALE



- NOTE:**
- HYDRANT INSTALLATION AND OPERATION, MANUFACTURER AND MODEL, AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH VILLAGE OF DOBBS FERRY AND FIRE DEPARTMENT ESTABLISHED RULES AND PROCEDURES.
 - HYDRANT SHALL BE PAINTED RED.

FIRE HYDRANT
NOT TO SCALE



- NOTE:**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 - SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

ACCESSIBLE GRAPHIC SYMBOL
NOT TO SCALE

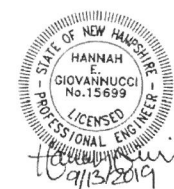


Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

PLANNING BOARD
 CASE# 114-2-HC-19

| REV. | DATE | TRG COMMENTS | DESCRIPTION | DKE | HEG |
|------|---------|--------------------------------------|-------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | | DKE | HEG |
| | | | | DR | CK |



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

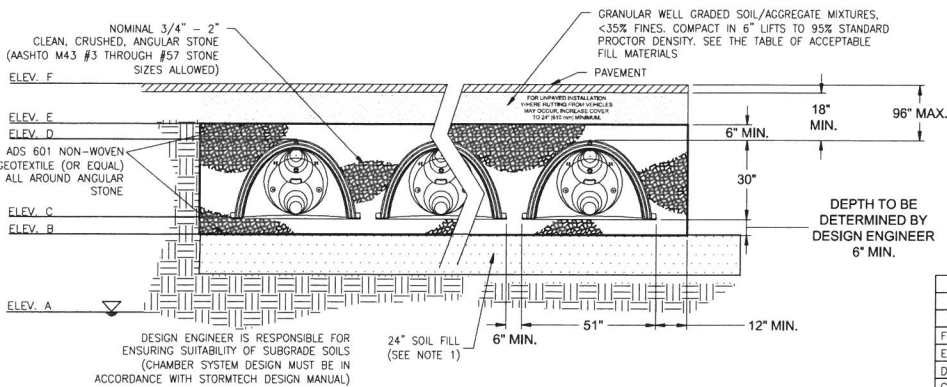
170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

| | | | | | |
|----------|----|-----|---------|----------------------|------|
| 47159.01 | DR | RCK | FB | | |
| | CK | HEG | CADFILE | 47159-01_Details.dwg | C-14 |

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

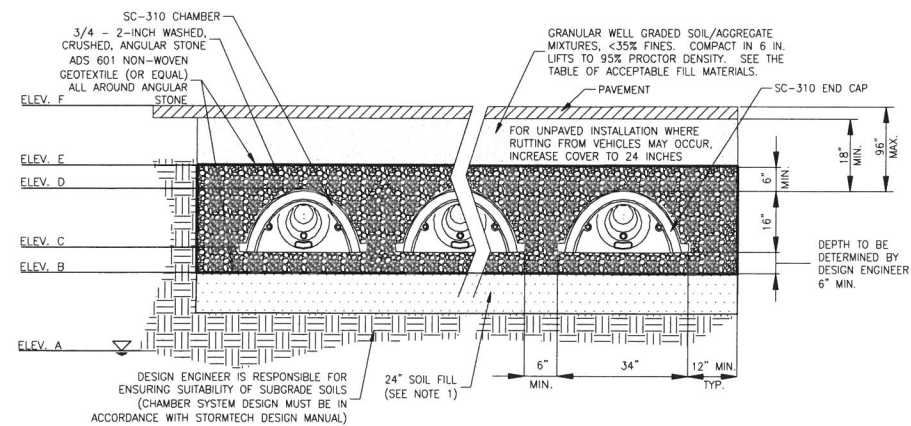
| MATERIAL LOCATION | DESCRIPTION | AASHTO M43 DESIGNATION ⁽¹⁾ | COMPACTION/DENSITY REQUIREMENT |
|---|--|---|--|
| ⑤ FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUB-BASE MAY BE PART OF THIS LAYER. | ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | N/A | PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| ⑥ FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUB-BASE MAY BE A PART OF THIS LAYER. | GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER. | 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTION AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY (2). ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS. |
| ⑦ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE. | CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH | 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| ⑧ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH | 3, 35, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY (2). |

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



NOTES:
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).
2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

STORMTECH SC-740
UNDERGROUND INFILTRATION BASIN
NOT TO SCALE



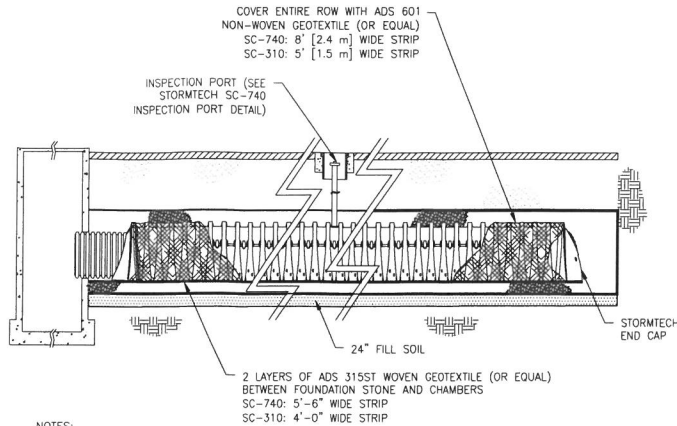
NOTES:
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).
2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.

STORMTECH SC-310
UNDERGROUND INFILTRATION BASIN
NOT TO SCALE



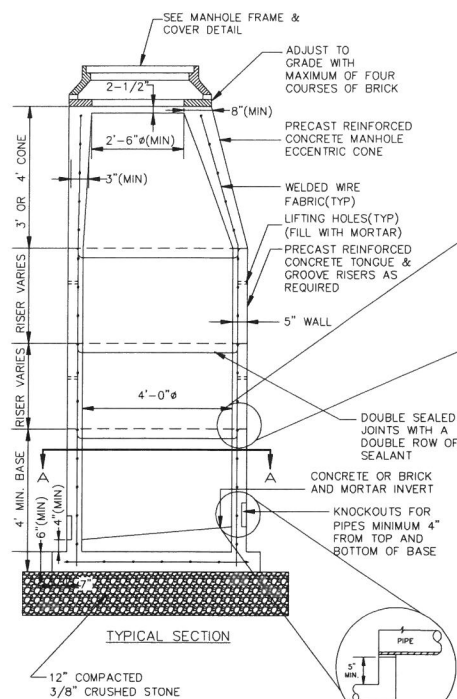
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

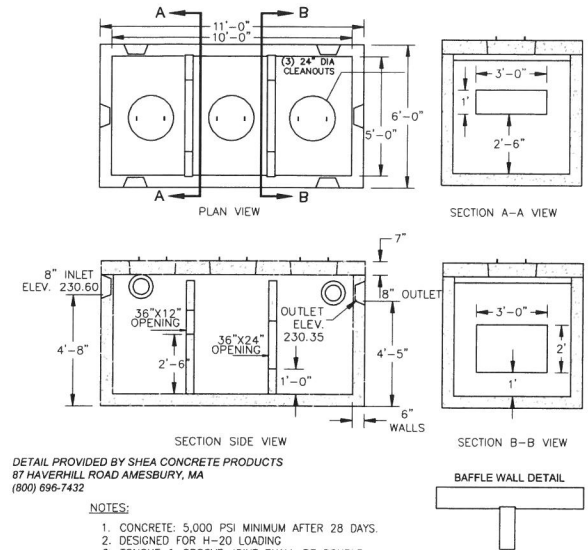


NOTES:
1. THE DESIGN INFILTRATION RATE FOR THE PROPOSED FILL BENEATH THE SYSTEM IS 5 INCHES PER HOUR AND SHALL BE NO GREATER THAN 10 INCHES PER HOUR, AS DETERMINED BY LABORATORY METHODS DESCRIBED IN ENV-WQ 1504.14(e).

ISOLATOR ROW PROFILE
NOT TO SCALE

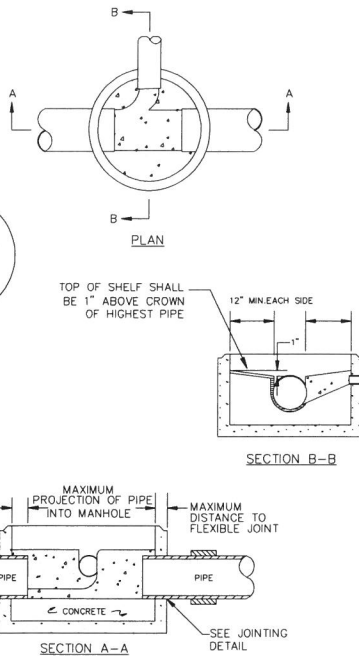


SEWER MANHOLE
REV. 10/28/2018
NOT TO SCALE



NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING.
3. TONGUE & GROOVE JOINT SHALL BE DOUBLE SEALED JOINTS WITH A DOUBLE ROW OF SEALANT.

1,500 GALLON SEDIMENT & OIL SEPARATOR
NOT TO SCALE



NOTES:
1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
3. INVERT BRICKS SHALL BE LAID ON EDGE.
4. PRECAST CONCRETE MANHOLES SHALL MEET AASHTO M199-93/ASTM C478-90B, RATED FOR HS-20 LOADING WITH CONCRETE STRENGTH OF 4000 PSI OR GREATER.
5. ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.
6. SEWER MANHOLE SHALL BE CONSTRUCTED TO CITY OF HOOKSETT STANDARDS.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

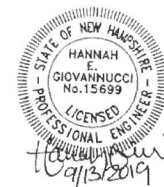
DETAILS

PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019

PLANNING BOARD
CASE# 114-2-HC-19

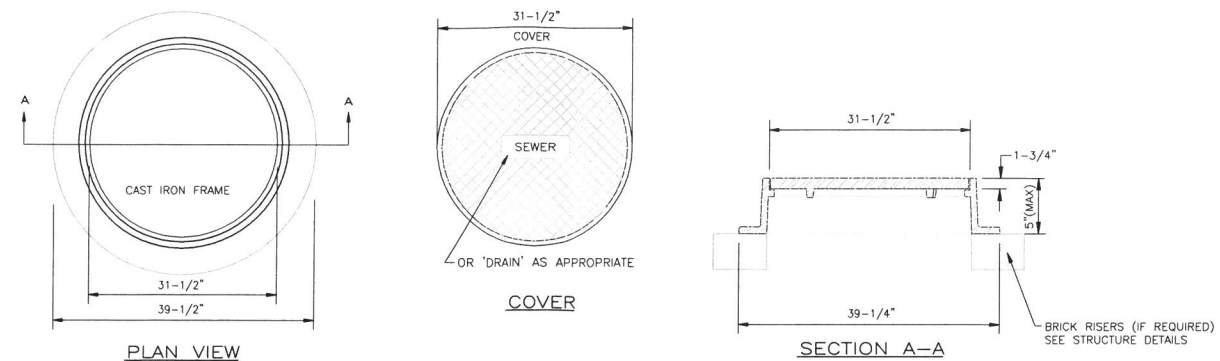


| REV. | DATE | DESCRIPTION | DKE | HEG |
|------|---------|--------------------------------------|-----|-----|
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HEG |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HEG |
| | | | DR | CK |

| | | | | | | |
|------|----------|----|-----|----|----------------------|------|
| FILE | 47159.01 | DR | RCK | FB | 47159-01_Details.dwg | C-16 |
| | | | | | | |

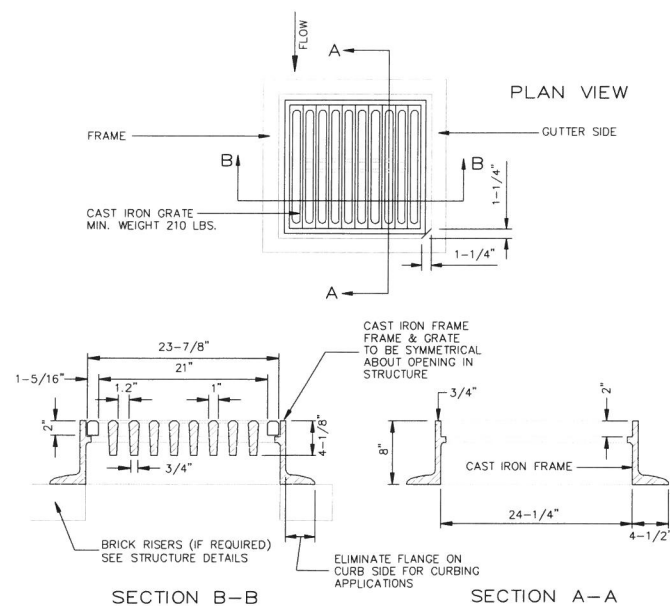
TFM
MSC
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

Sep 19, 2019 - 11:19am
F:\MSC\Projects\47159 - North Main St., Rochester\47159-01_Details.dwg



- NOTES
1. FRAMES AND COVERS SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
 2. COVERS TO BE HINGED AND INCORPORATE A 90 DEGREE BLOCKING SYSTEM TO PREVENT ACCIDENTAL CLOSURE.
 3. COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (H2O REQUIREMENT).
 4. FRAME SHALL INCORPORATE A SEATING GASKET.
 5. FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
 6. ALL COMPONENTS SHALL BE BLACK COATED.
 7. MANHOLE FRAME AND COVER SHALL BE PAXMREX PER CITY OF ROCHESTER CITY STANDARDS.

NOT TO SCALE



- NOTES**
1. FRAMES AND GRATE SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
 2. COVERS TO BE HINGED AND INCORPORATE A 90 DEGREE BLOCKING SYSTEM TO PREVENT ACCIDENTAL CLOSURE.
 3. COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (700 HORIZONTAL).
 4. FRAME SHALL INCORPORATE A SEATING GASKET.
 5. FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
 6. ALL COMPONENTS SHALL BE BLACK COATED.
 7. MANHOLE FRAME AND COVER SHALL BE REJUS PER CITY OF ROCHESTER CITY STANDARDS.

NOT TO SCALE



CONTACT DIG SAFE 72 BUSINESS
HOURS PRIOR TO CONSTRUCTION

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

PLANNING BOARD
CASE# 114-2-HC-19



| | | | | |
|------|---------|--------------------------------------|-----|----|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| 2 | 9/13/19 | CONDITION OF APPROVAL & AOT DRAINAGE | DKE | HA |
| 1 | 8/13/19 | TRG COMMENTS | DKE | HA |
| REV. | DATE | DESCRIPTION | DR | C |

TAX MAP 114 LOT 2
DETAILS

**PROPOSED AUTO DEALERSHIP
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE**

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

JULY 9, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TEMoran.com

| | |
|------|----------|
| FILE | 47159.01 |
|------|----------|

| | | |
|----|-----|---------|
| DR | RCK | FB |
| CK | HEG | CADFILE |

47159-01_Details.dwg

| | |
|--|------|
| | C-17 |
|--|------|

C-17

ABUTTERS WEST OF SPAULDING TURNPIKE

221-153
HOWARD MCPHERSON
23 TEN ROD RD
ROCHESTER, NH 03867-4243
S.C.R.D. BK. 1705, PG. 325

221-152
TRUE MEMORIAL BAPTIST CHURCH
PO BOX 1001
ROCHESTER, NH 03866-1001

221-151
TEN PINES AT TEN ROD ROAD CONDO
C/O EVERGREEN MANAGEMENT
PO BOX 4579 DEPT 355
HOUSTON, TX 77210-4579
S.C.R.D. BK. 2992, PG. 672

221-169
STATE OF NEW HAMPSHIRE
STATE BUREAU OF TURNPIKE
PO BOX 2950
CONCORD, NH 03302-2950
S.C.R.D. 667-175

114-001
R E L COMMONS, LLC
1 CATE ST SUITE 520
PORTSMOUTH, NH 03801
S.C.R.D. BK. 3152, PG. 596

114-008
MAINLY ROCHESTER PIZZA LLC
4 MILK ST SUITE 103
PORTLAND, ME 04101-4164
S.C.R.D. BK. 3699, PG. 744

114-007
OPPORTUNITY REALTY
OF ROCHESTER LLC
401 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 2252, PG. 150

114-006
DICK'S REALTY INC
401 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 1269, PG. 216

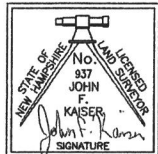
PURSUANT TO RSA 676:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

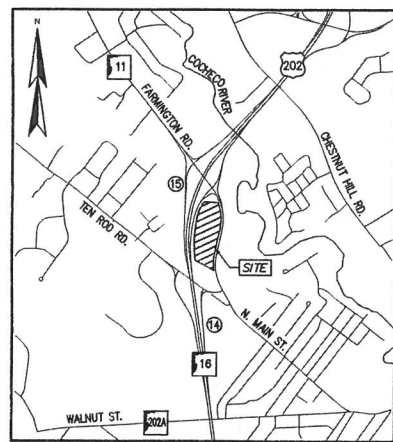
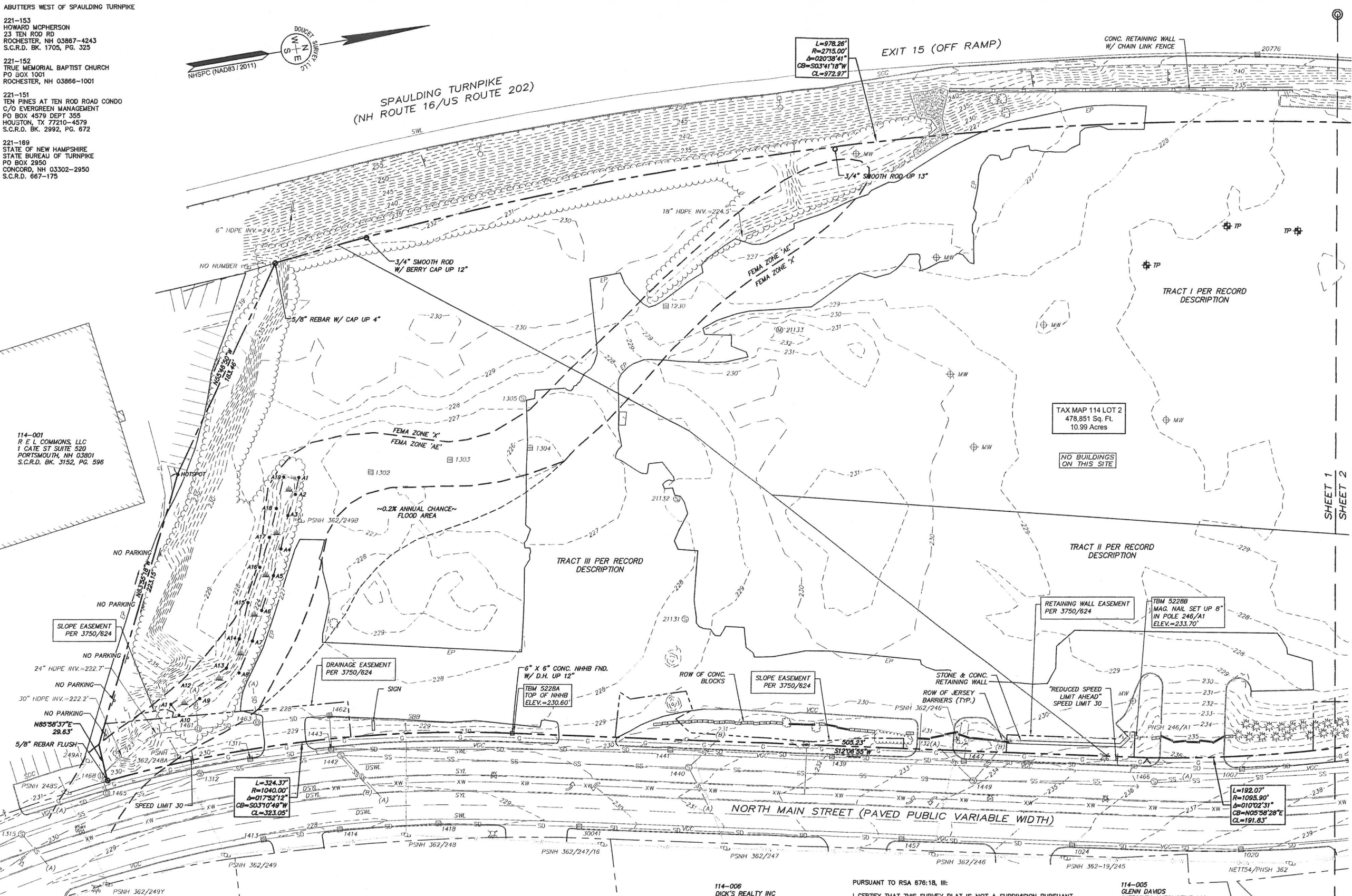
John F. Kaiser L.L.S. #937
6/28/19 DATE

114-005
GLENN DAVIDS
INTEGRITY AUTOMOTIVE INC
415 NORTH MAIN ST
ROCHESTER, NH 03867-4350
S.C.R.D. BK. 4526, PG. 348



THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

40 0 40 80
SCALE: 1 INCH = 40 FT.



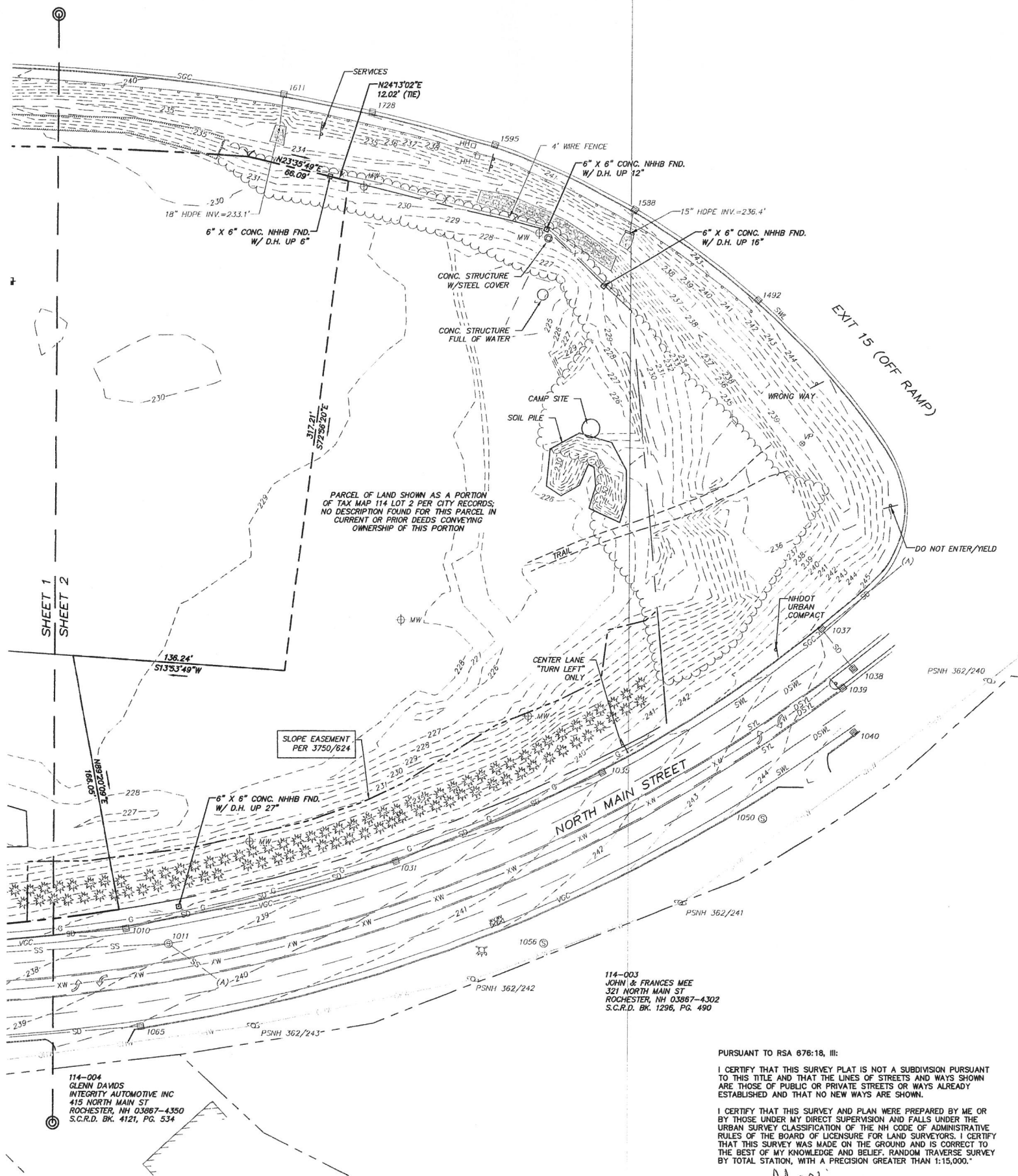
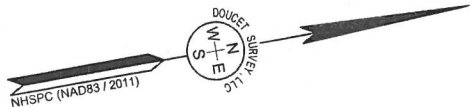
- LEGEND**
- LOT LINE
 - APPROXIMATE LOT LINE
 - EASEMENT LINE
 - APPROXIMATE ABUTTERS LOT LINE
 - WIRE FENCE
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - SEWER LINE
 - DRAIN LINE
 - GAS LINE
 - DRAIN LINE PER REF. PLAN 5
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - TREE LINE
 - SHRUB LINE
 - EDGE OF WETLAND
 - APPROXIMATE WATER LINE
 - CONCRETE
 - UTILITY POLE
 - UTILITY POLE & GUY WIRE
 - GUY POLE
 - LIGHT POLE (ONE ARM)
 - SIGN
 - SIGN (TWO POSTS)
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - FIRE HYDRANT
 - WATER GATE VALVE
 - GAS GATE VALVE
 - CATCH BASIN
 - DRAIN MANHOLE
 - WATER MANHOLE
 - SEWER MANHOLE
 - WETLAND AREA
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - MONITORING WELL
 - DRAINAGE FLOW DIRECTION ARROW
 - TYP. CONC.
 - NH H.W. BOUND FOUND
 - D.H.
 - EP
 - VGC
 - SBG
 - SWL
 - SYL
 - DYL
 - DSYL
 - DSWL

EXISTING CONDITIONS PLAN
FOR
MSC CIVIL ENGINEERS
OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

| NO. | DATE | ADD PARCEL LABELS | M.T.L. |
|-------------|----------|-------------------|----------------|
| 1 | 06/27/19 | DESCRIPTION | BY |
| DRAWN BY: | M.T.L. | DATE: | MARCH 26, 2019 |
| CHECKED BY: | J.F.K. | DRAWING NO.: | 5228A |
| JOB NO.: | 5228 | SHEET | 1 OF 2 |



Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 859-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storers Street (RiverView Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>



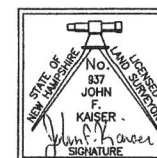
- NOTES:
1. REFERENCE: TAX MAP 114, LOT 002
 2. TOTAL PARCEL AREA: 10.99 AC.
 3. OWNER OF RECORD: 400 NORTH MAIN STREET, LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
S.C.R.D. BK 4081, PG 957
 4. ZONE: HIGHWAY COMMERCIAL
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 20,000 sq.ft.
MIN. LOT AREA/DWELLING UNIT 5,000 sq.ft./7,500 sq.ft.
MIN. FRONTAGE 100 ft.
MIN. FRONT SETBACK 20 ft.
MIN. SIDE SETBACK 10 ft.
MIN. REAR SETBACK 25 ft.
MAX. LOT COVERAGE 85 %
MAX. BUILDING STORIES 3
WETLAND BUFFER 50 ft.
ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF ROCHESTER ZONING ORDINANCE DATED 02/02/17 AS AVAILABLE ON THE CITY WEBSITE ON 01/08/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EXISTING ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
 5. FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING DECEMBER 2017 & MARCH 2019 USING A TRIMBLE 58 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 6. ADDITIONAL FIELD SURVEY PERFORMED BY L.P.S. ON DECEMBER 10, 2017 USING A DJI PHANTOM PRO UAV WITH AN AVERAGE GROUND SAMPLING DISTANCE OF 1.04 CM/0.41 IN. DATA WAS PROCESSED USING PIX4D SOFTWARE.
 7. JURISDICTIONAL WETLANDS DELINEATED BY COVE ENVIRONMENTAL SERVICES, INC. ON SEPTEMBER 7, 2017 IN ACCORDANCE TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEAST REGION, VERSION 2.0, JANUARY 2012, US ARMY CORPS OF ENGINEERS.
 8. FLOOD HAZARD ZONE: "X" & "AE", PER FIRM MAP 33017C02030, DATED 5/17/05.
 9. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK, CONSISTENT WITH CITY OF ROCHESTER GIS DATUM.
 10. VERTICAL DATUM IS BASED ON NHDOT DISK H 52 1978 NAVD88 ELEVATION = 231.79'.
 11. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
 12. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 13. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
 14. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
 15. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY, THE EXTENT OF (THE ROAD(S)) AS DEPICTED HEREON ARE BASED ON RESEARCH CONDUCTED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AND NH DEPARTMENT OF TRANSPORTATION.
 16. ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

REFERENCE PLANS:

1. "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, NH PROJECT NO. 10620-D SPAULDING TURNPIKE NH ROUTE 16." DATED JANUARY 11, 2011.
2. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED LS 1827(1) NH NO. P-2692-V. DATED FEBRUARY 28, 1985.
3. "ALTA/ACSM LAND TITLE SURVEY, TAX MAP 114 LOT 1, PROPERTY OF REL COMMONS, LLC, 308 NORTH MAIN STREET, ROCHESTER, NEW HAMPSHIRE, COUNTY OF STRAFFORD" DATED FEBRUARY 12, 2015 BY MSC NOT RECORDED.
4. "PLAN OF LAND OF FIRST DEVELOPMENT CORPORATION GLOBE DEPARTMENT STORES ROUTE 11 ROCHESTER, NH" DATED NOV. 27, 1990 BY BERRY SURVEYING & ENGINEERING S.C.R.D. PLAN 38A-41.
5. 400 NORTH MAIN STREET DIGITAL CAD FILE FURNISHED BY NORWAY PLAINS ASSOCIATES.

EXISTING CONDITIONS PLAN
FOR
MSC CIVIL ENGINEERS
OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

| | | | |
|--------------------|------|----------------------|--------|
| 1 06/27/19 | | ADD PARCEL LABELS | M.T.L. |
| NO. | DATE | DESCRIPTION | BY |
| DRAWN BY: M.T.L. | | DATE: MARCH 26, 2019 | |
| CHECKED BY: J.F.K. | | DRAWING NO.: 5228A | |
| JOB NO.: 5228 | | SHEET 2 OF 2 | |



PURSUANT TO RSA 876:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

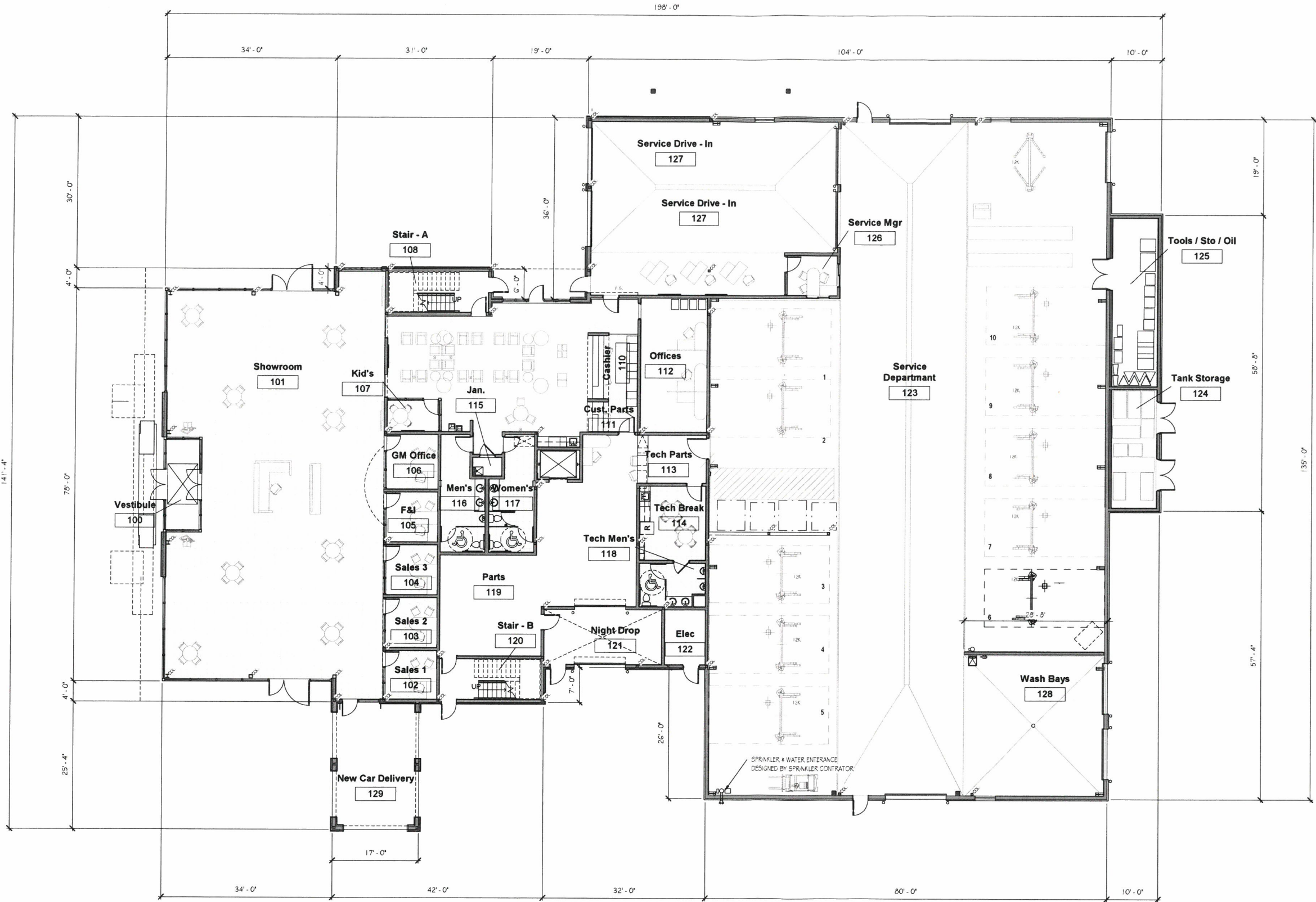
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John F. Kaiser, L.L.S. #937
6/28/19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



| DRAINAGE STRUCTURES | | SEWER STRUCTURES |
|----------------------------|--------------------------------|----------------------------|
| CB 1007 | CB 1443 | SMH 1011 |
| RIM ELEV.=236.7' | RIM ELEV.=230.1' | RIM ELEV.=238.9' |
| (1010) 18" RCP INV.=230.6' | (1311) 15" RCP INV.=224.6' | (A) 13" PVC INV.=232.0' |
| (1447) 18" RCP INV.=230.4' | (1441) 24" RCP INV.=223.4' | (1466) 13" PVC INV.=231.8' |
| | (1462) 24" HDPE INV.=223.4' | |
| CB 1010 | CB 1447 | SMH 1312 |
| RIM ELEV.=238.1' | RIM ELEV.=233.7' | RIM ELEV.=230.4' |
| (1031) 18" RCP INV.=232.3' | (1007) 18" RCP INV.=228.4' | (1442) 18" PVC INV.=224.1' |
| (1007) 18" RCP INV.=232.1' | (1439) 24" RCP INV.=228.4' | (1315) 18" PVC INV.=224' |
| CB 1020 | CB 1457 | SMH 1315 |
| RIM ELEV.=238.6' | RIM ELEV.=233.4' | RIM ELEV.=231' |
| (1065) 15" RCP INV.=233' | (1024) 15" RCP INV.=227.3' | (A) 4" PVC INV.=223.9' |
| (1024) 15" RCP INV.=233.6' | (30041) 15" RCP INV.=227.1' | (1312) 18" PVC INV.=223.8' |
| | | (B) 18" PVC INV.=223.5' |
| CB 1024 | DMH 1461 | SMH 1440 |
| RIM ELEV.=236' | RIM ELEV.=227.8' | RIM ELEV.=231' |
| (1457) 15" RCP INV.=230.7' | (A) 15" HDPE INV.=222.8' | (A) 4" PVC INV.=225.8' |
| (1020) 15" RCP INV.=231' | (OUTFALL) 24" HDPE INV.=222.7' | (B) 10" DIP INV.=225.3' |
| | (1463) 24" HDPE INV.=222.5' | (1449) 18" PVC INV.=224.8' |
| CB 1031 | CB 1462 | (1442) 18" PVC INV.=224.7' |
| RIM ELEV.=239.5' | RIM ELEV.=227.5' | |
| (1035) 15" RCP INV.=234.2' | (1443) 24" HDPE INV.=223.3' | SMH 1442 |
| (1010) 15" RCP INV.=233.7' | (1463) 24" HDPE INV.=223.2' | RIM ELEV.=230' |
| CB 1035 | DMH 1463 | (A) 4" PVC INV.=225.2' |
| RIM ELEV.=241.3' | RIM ELEV.=228.3' | (B) 4" PVC INV.=225.2' |
| (1031) 15" RCP INV.=235.3' | (1461) 24" HDPE INV.=223.8' | (1440) 18" PVC INV.=224.2' |
| CB 1037 | (A) 15" HDPE INV.=222.8' | (1312) 18" PVC INV.=224.2' |
| RIM ELEV.=244.1' | (1462) 24" HDPE INV.=222.7' | |
| (1038) 15" RCP INV.=238.4' | | SMH 1449 |
| (A) 15" RCP INV.=238.2' | DMH 1465 | RIM ELEV.=234.1' |
| CB 1065 | RIM ELEV.=231' | (1440) 18" PVC INV.=225.2' |
| RIM ELEV.=240.1' | (A) 30" RCP INV.=221.8' | (A) 10" DIP INV.=225.2' |
| (1020) 15" RCP INV.=234.5' | (1468) 30" RCP INV.=221.6' | (B) 8" DIP INV.=225.1' |
| | | (1466) 15" PVC INV.=225.1' |
| CB 1311 | DMH 1468 | SMH 1466 |
| RIM ELEV.=230.3' | RIM ELEV.=230.2' | RIM ELEV.=236.2' |
| (1443) 15" RCP INV.=225.1' | (1465) 30" RCP INV.=222.4' | (A) 13" PVC INV.=230.1' |
| | (OUTFALL) 30" HDPE INV.=222.4' | (1011) 13" PVC INV.=227.8' |
| CB 1439 | CB 30041 | (1449) 15" PVC INV.=227.8' |
| RIM ELEV.=232.1' | RIM ELEV.=229.2' | |
| (1447) 24" RCP INV.=228.5' | (1457) 15" RCP INV.=224.1' | |
| (1441) 24" RCP INV.=228.2' | | |
| CB 1441 | | |
| RIM ELEV.=230.8' | | |
| (1439) 24" RCP INV.=228.7' | | |
| (1443) 24" RCP INV.=228.5' | | |



| | |
|---|---------------------------|
| 1 | FIRST FLOOR PLAN |
| | 3/32" = 1'-0" |
| | First Floor S.F. = 20,785 |
| | Second Floor S.F. = 4,874 |
| | Total = 25,659 |

| No. | Description | Date |
|-------------------|-------------|------|
| Revision Schedule | | |

Project Info:
**Rochester
Buick GMC**

400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: Planning Board Set
Orig. Issue Date: N.F.C.
JOB NO: 19010
DRAFTED: MLN
CHECKED: JMT
SCALE: 3/32" = 1'-0"

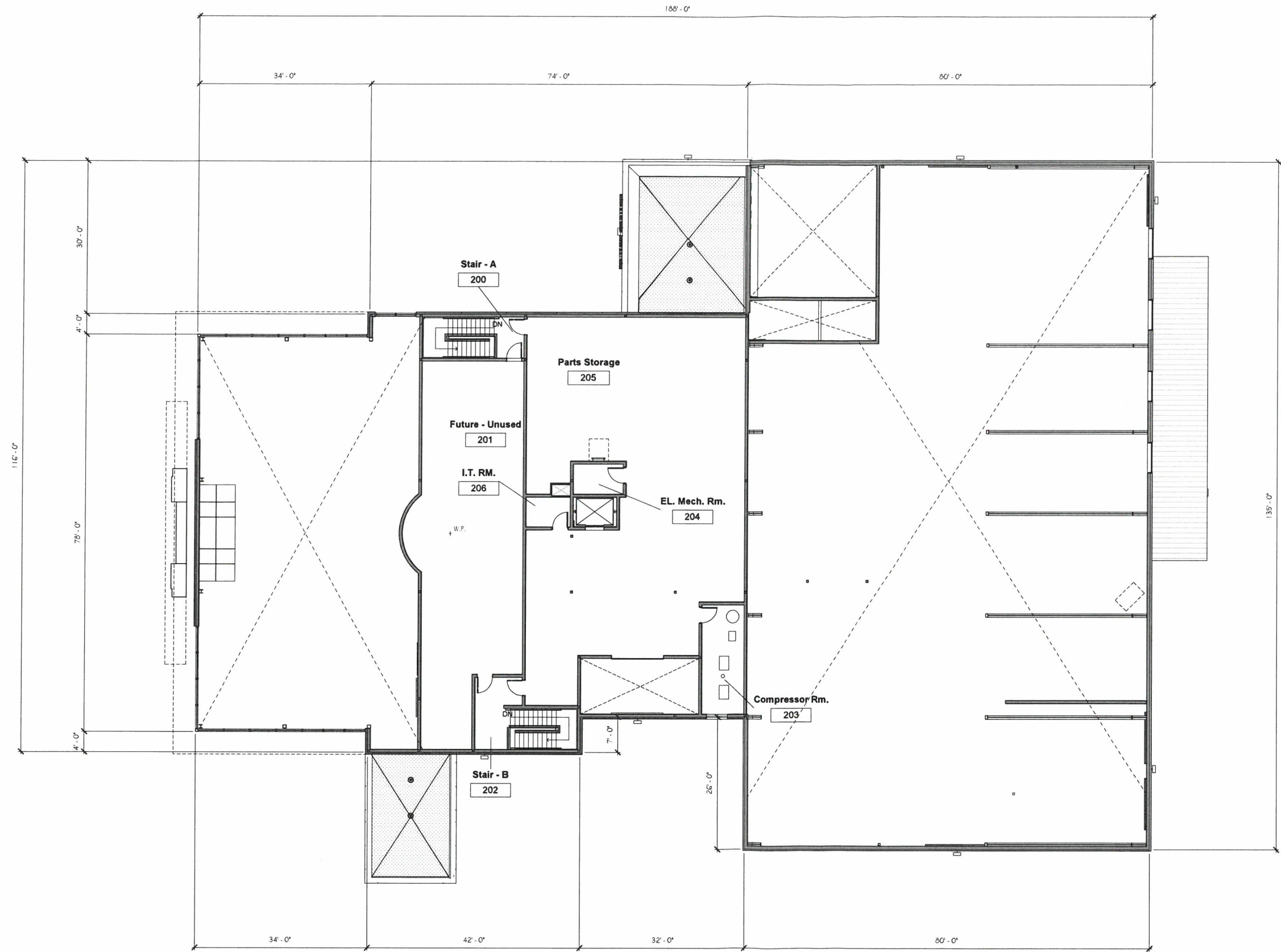
Sheet Title:
First Floor Plan

Sheet Number:
A1.1



PROJECT
NORTH

PLANNING BOARD SET
8/9/2019



1 SECOND FLOOR PLAN

3/32" = 1'-0"

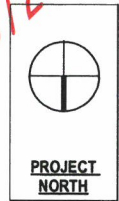
First Floor S.F. = 20,785

Second Floor S.F. = 4,874

Total = 25,659

PLANNING BOARD SET

8/9/2019



No.

Description

Date

Revision Schedule

Project Info:

Rochester

Buick GMC

400 North Main St

Rochester NH

Sheet Status:

Latest Release:

Issued For:

Org. Issue Date:

JOB NO:

DRAFTED:

CHECKED:

SCALE:

Planning Board Set

N.F.C.

19010

MLN

JMT

3/32" = 1'-0"

Sheet Title:

Second Floor

Plan

Sheet Number:

A1.2

8/9/2019

GENERAL ROOF PLAN NOTES:

- 1) ALL ROOF SLOPES ARE 1/4" PER FOOT MIN.
- 2) PITCH STEEL AS REQD. TO ACHIEVE ROOF SLOPES INDICATED ON DWGS.
- 3) MATCH INDICATES EXTENT OF SLOPED ROOF INSULATION.
- 4) ALL RUBBER ROOFS TO BE GO MIL FULLY ADHERED E.P.D.M.
- 5) MIN. ROOF INSULATION THICKNESS SHALL BE 3"
- 6) BRACE TOP OF ALL PARAPET WALLS WITH METAL STUD KICKER. WALL SLOPED 10/12. REFER TO SECTIONS FOR MORE DETAILS.

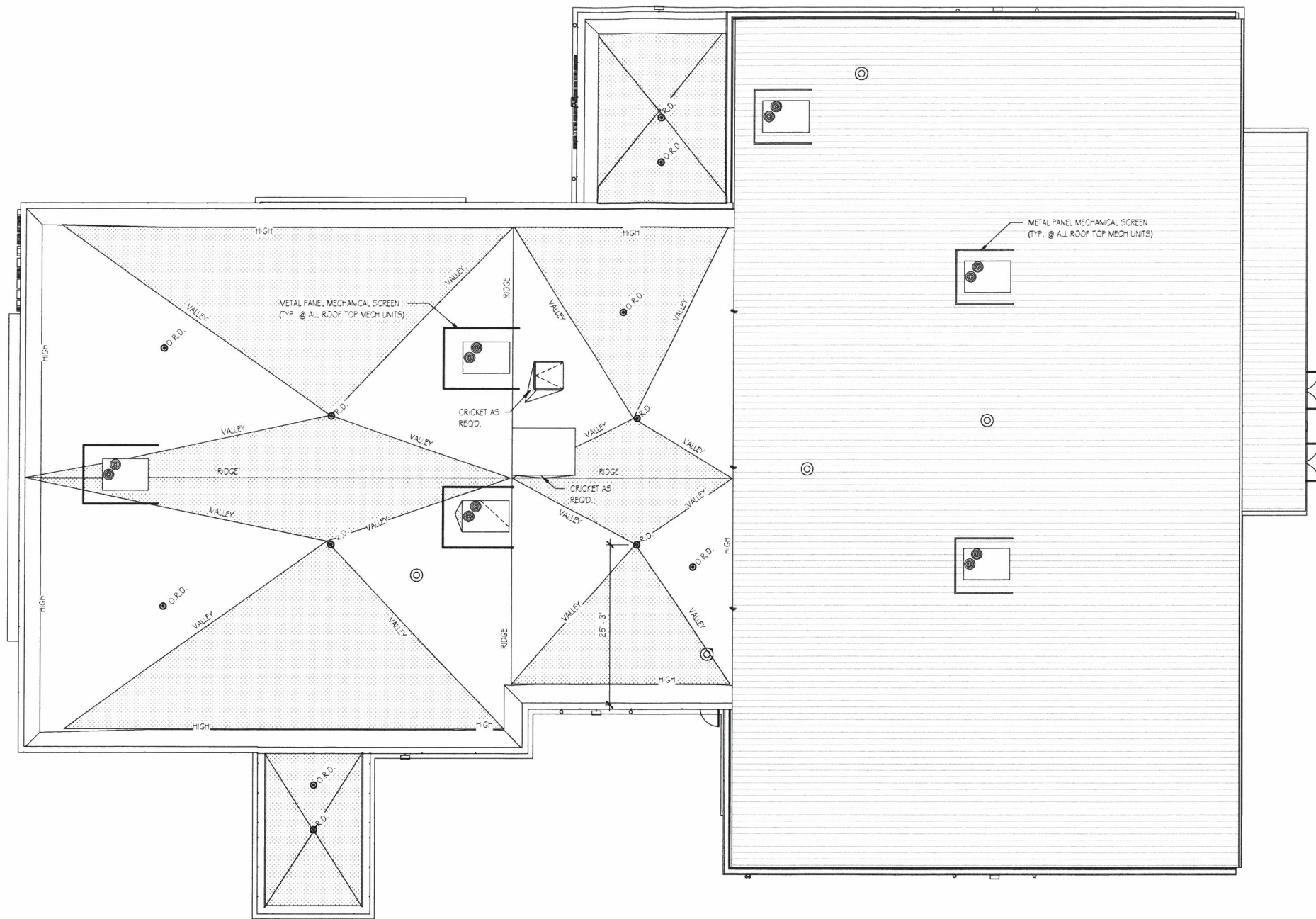
TEXT LEGEND:

R.D. = ROOF DRAIN

O.R.D. = OVER FLOW ROOF DRAIN

[Pattern] = INDICATES TAPERED INSULATION

[Pattern] = STANDING SEAM MET. ROOF @ P.E.B.



| No. | Description | Date |
|-------------------|-------------|------|
| Revision Schedule | | |

Project Info:

**Rochester
Buick GMC**

**400 North Main St
Rochester NH**

Sheet Status:

Latest Release:
Issued For: **Planning Board Set**
Orig. Issue Date: **N.F.C.**
JOB NO: **19010**
DRAFTED: **MLN**
CHECKED: **JMT**
SCALE: **3/32" = 1'-0"**

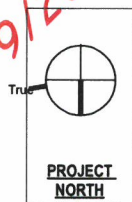
Sheet Title:

Roof Plan

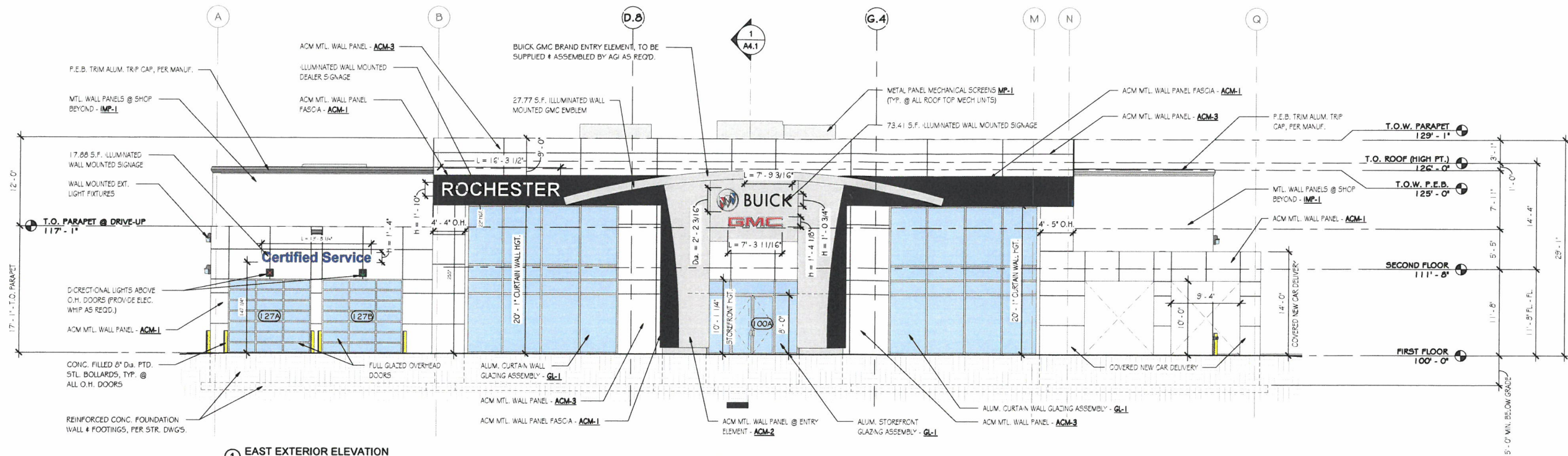
Sheet Number:

A1.3

① ROOF PLAN
3/32" = 1'-0"



PLANNING BOARD SET
8/9/2019



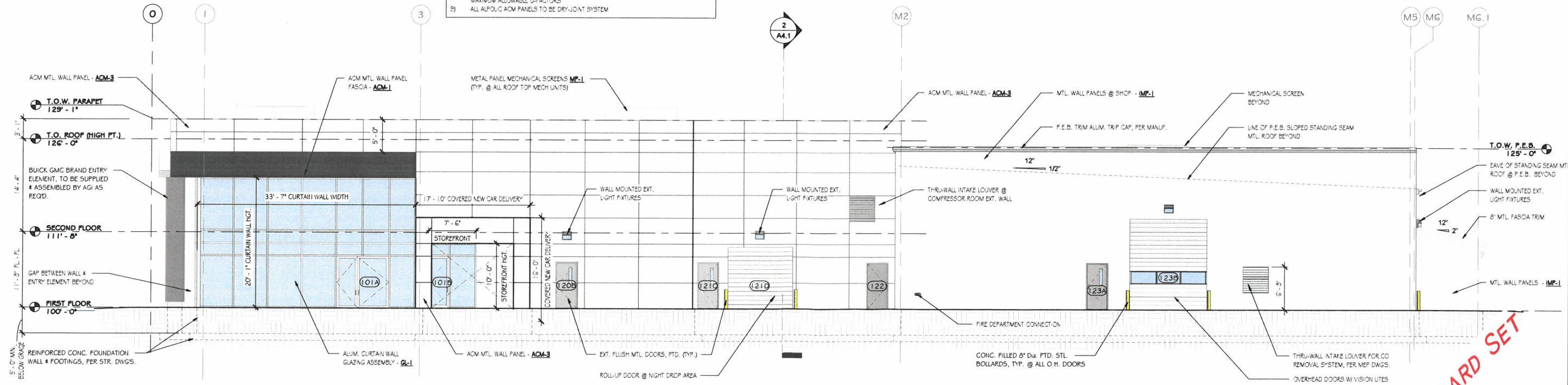
1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"

Building Sign s.f. totals
13.25 (Certified Service)
28.4 (Dealer Name)
4.76 (Threshold)
3.25 (Buick Letters)
3.32 (GMC Letters)
70.45 s.f. total

- ELEVATION NOTES:
- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
 - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
 - 3) REFER TO SHEET A6.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
 - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
 - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
 - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
 - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
 - 8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET OR.1 FOR ENVELOPE FENESTRATION MAXIMUM ALLOWABLE U-FACTORS
 - 9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
 2. ACM-2 = ALPOLIC HLA BRUSHED HAIRLINE ALUMINUM
 3. ACM-3 = ALPOLIC RVM WHITE - WHITE
 4. IMP-1 = ATAS SOLAREN VL MICRO-BEAD - BONE WHITE
 5. GL-1 = SOLARBOND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
 6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN

⊙ = SPANDREL GLAZE STOREFRONT PANEL



4 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"

No. Description Date
Revision Schedule

Project Info:
Rochester Buick GMC

400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: Planning Board Set
Org. Issue Date: N.F.C.
JOB NO: 19010
DRAFTED: JMT
CHECKED: -
SCALE: 1/8" = 1'-0"

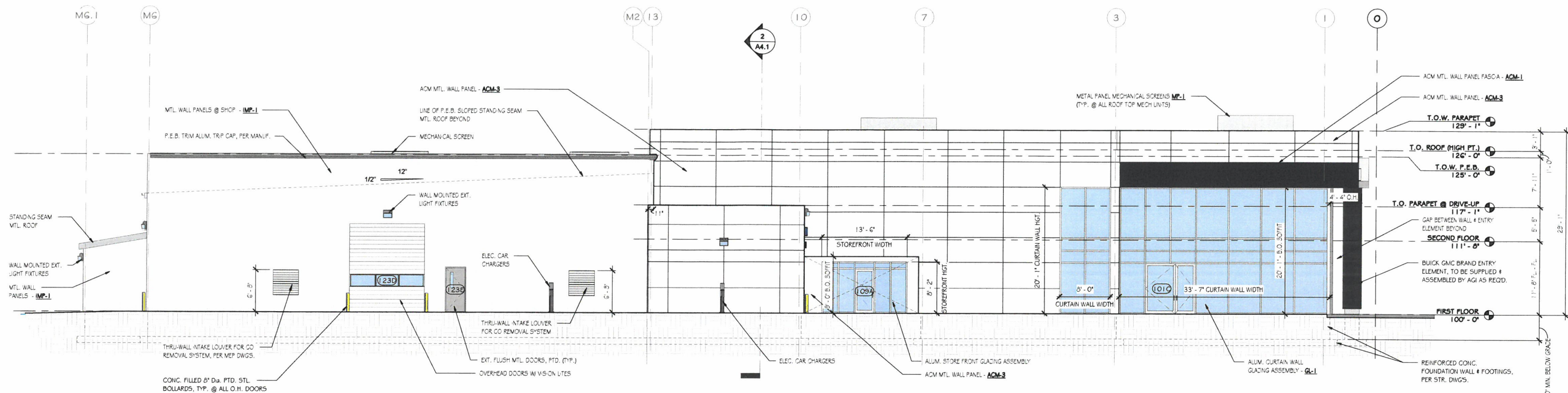
Sheet Title:
Exterior Elevations

Sheet Number:
A3.1

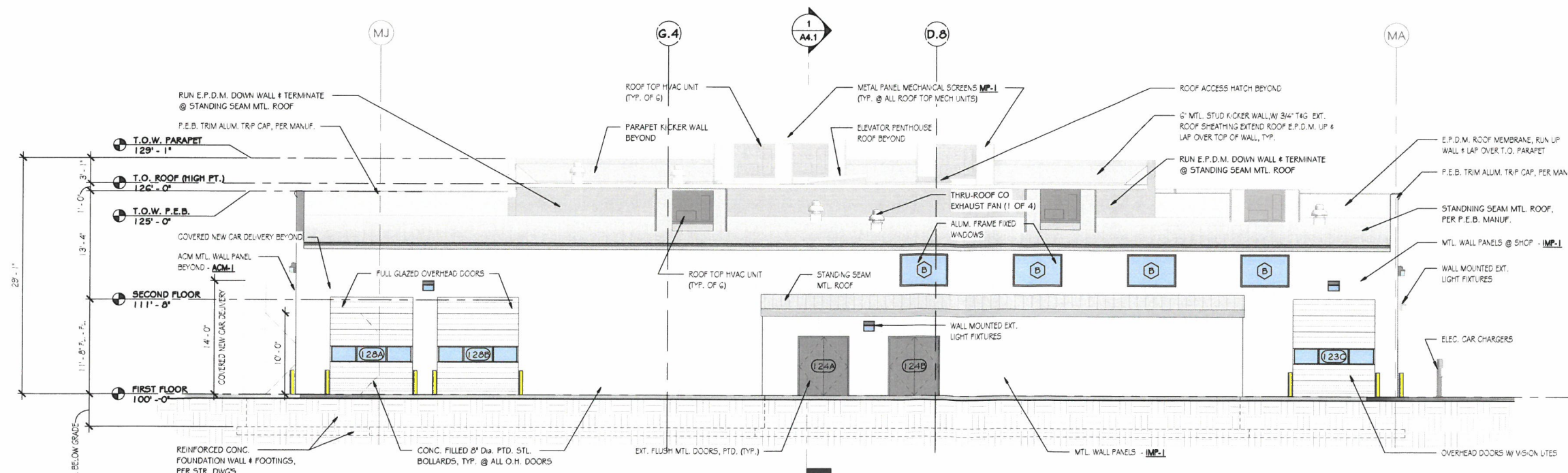
PLANNING BOARD SET
8/9/2019

- ELEVATION NOTES:
- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
 - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
 - 3) REFER TO SHEET A6.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
 - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
 - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
 - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
 - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTOR'S DESIGN / BUILD ENGINEER
 - 8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET CR.1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
 - 9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
1. ACM-1 = ALPOLIC TBL BLACK 3-4TBL-G75
 2. ACM-2 = ALPOLIC HIA BRUSHED HAIRLINE ALUMINUM
 3. ACM-3 = ALPOLIC R/W WHITE - WHITE
 4. MP-1 = ATAS ISOLERN VL MICRO-BEAD - BONE WHITE
 5. GL-1 = SOLARBAND LOW E CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES
 6. MP-1 = ATAS BELVEDERE DOVE GRAY - MECH. SCREEN



② SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



① WEST EXTERIOR ELEVATION
1/8" = 1'-0"

| No. | Description | Date |
|-----|-------------------|------|
| | Revision Schedule | |

Project Info:
Rochester Buick GMC

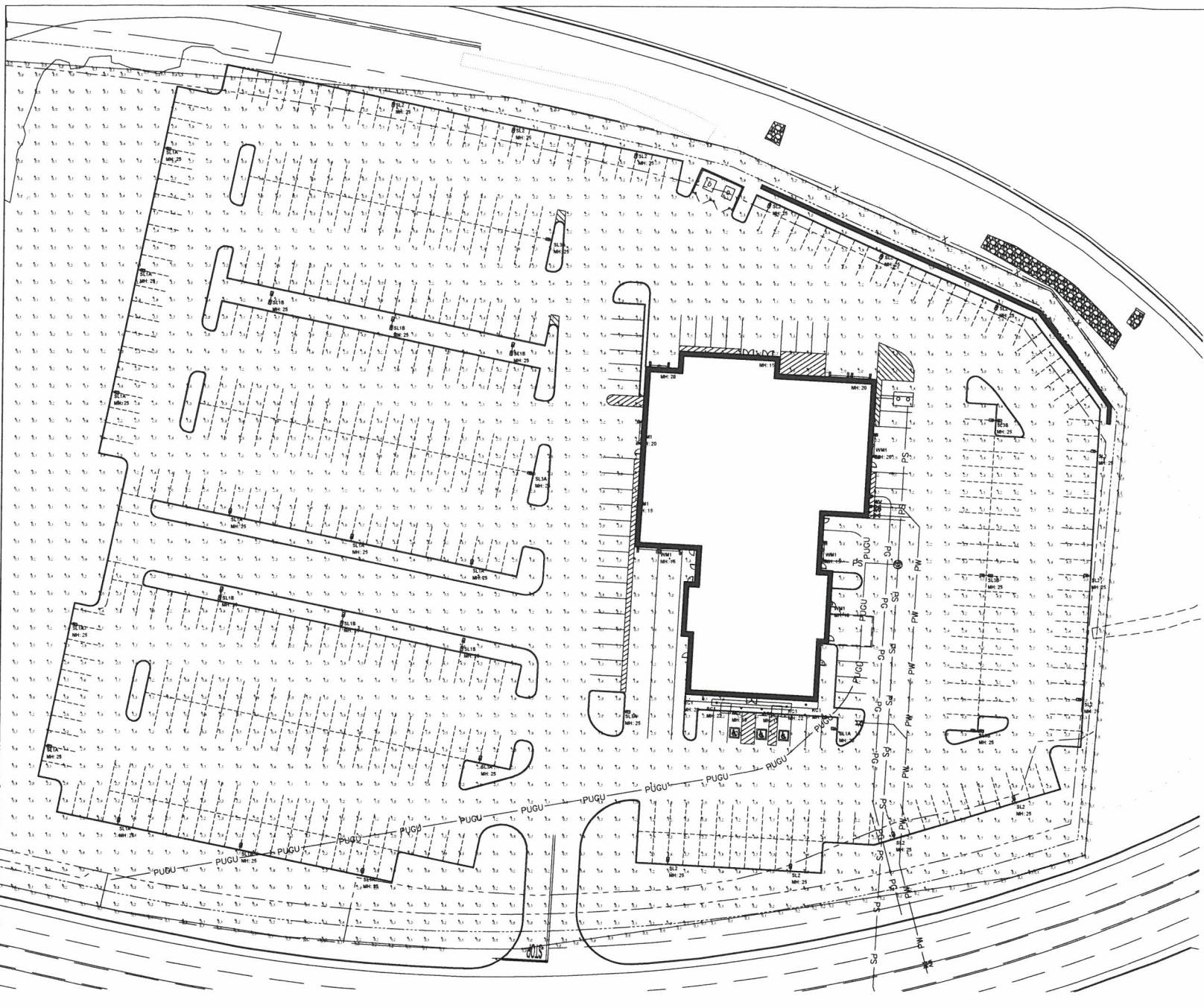
400 North Main St
Rochester NH

Sheet Status:
Latest Release:
Issued For: Planning Board Set
Orig. Issue Date: N.F.C.
JOB NO: 19010
DRAFTED: MLN
CHECKED: JMT
SCALE: 1/8" = 1'-0"
Sheet Title:
Exterior Elevations

Sheet Number:
A3.2

PLANNING BOARD SET
8/9/2019

FILE PATH: 19143_400 NORTH MAIN STREET.dwg



| Luminaire Schedule | | | | | | |
|--------------------|-------|-----|----------------------------------|-------|------------|-------------|
| Symbol | Label | Qty | Description | LLF | Lum. Watts | Lum. Lumens |
| | SL1A | 12 | VMX-1-T4-80LC-3-4K-UNV | 0.900 | 87 | 11593 |
| | SL1B | 6 | VMX-1-T4-80LC-3-4K-UNV | 0.900 | 87 | 11593 |
| | SL2 | 13 | VMX-1-T4-80LC-3-4K-UNV_CLS- | 0.900 | 88 | 7735 |
| | SL3A | 4 | VMX-1-T5-80LC-3-4K-UNV | 0.900 | 87 | 12442 |
| | SL3B | 3 | VMX-1-T5-80LC-3-4K-UNV | 0.900 | 87 | 12442 |
| | WM1 | 9 | VSC-1-T4-32LC-3-4K-UNV | 0.900 | 37 | 4642 |
| | RC1 | 6 | Nora Lighting # NC2-631L1540FWSF | 0.900 | 15.04 | 1132 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Property Line | Illuminance | Fc | 0.13 | 1.0 | 0.0 | N.A. | N.A. |
| Site Points | Illuminance | Fc | 0.84 | 6.8 | 0.0 | N.A. | N.A. |
| Display Section 1 | Illuminance | Fc | 1.84 | 5.0 | 0.4 | 4.60 | 12.50 |
| Display Section 2 | Illuminance | Fc | 2.08 | 4.7 | 0.8 | 2.60 | 5.88 |
| Display Section 3 | Illuminance | Fc | 1.75 | 4.9 | 0.3 | 5.83 | 16.33 |
| Display Section 4 | Illuminance | Fc | 1.49 | 3.7 | 0.3 | 4.97 | 12.33 |
| Display Section 5 | Illuminance | Fc | 2.73 | 5.0 | 0.7 | 3.90 | 7.14 |

ABBREVIATIONS:
Avg= Average
AFG= Above Finished Grade
CF= Compact Fluorescent
CV= Coefficient of variation
fc = Footcandles
HPS = High Pressure Sodium
LLF= Light Loss Factor
MH = Mounting Height
NTS = Not to Scale
PSMH = Pulse Start Metal Halide
SF = Square foot
W = Watts

- NOTES:
- CALCULATION POINTS INDICATED ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURE. REFER TO SCHEDULES FOR LLF AND LUMEN INFORMATION.
 - REFER TO PLAN FOR FIXTURE MOUNTING HEIGHTS.
 - CALCULATION POINTS TAKEN AT GRADE.

VMX LED Specifications

Ordering Information

| MODEL | OFFICE | LENS | CURRENT | WAVELENGTH | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|-------|--------|------|---------|------------|---------|----------|--------|---------|---------|
| VMX-1 | T1 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T2 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T3 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T4 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T5 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T6 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |

Features & Specifications

Features

- 100% LED
- 100% Dimmable
- 100% Energy Efficient
- 100% Long Life

Specifications

- 100% LED
- 100% Dimmable
- 100% Energy Efficient
- 100% Long Life

VSC LED Specifications

Ordering Information

| MODEL | OFFICE | LENS | CURRENT | WAVELENGTH | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|-------|--------|------|---------|------------|---------|----------|--------|---------|---------|
| VSC-1 | T1 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T2 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T3 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T4 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T5 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T6 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |

VSC LED Specifications

Ordering Information

| MODEL | OFFICE | LENS | CURRENT | WAVELENGTH | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|-------|--------|------|---------|------------|---------|----------|--------|---------|---------|
| VSC-1 | T1 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T2 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T3 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T4 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T5 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T6 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |

NC2-631 / NC2-632 / NC2-633

Ordering Information

| MODEL | OFFICE | LENS | CURRENT | WAVELENGTH | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|---------|--------|------|---------|------------|---------|----------|--------|---------|---------|
| NC2-631 | T1 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T2 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T3 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T4 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T5 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T6 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |

NC2-631 / NC2-632 / NC2-633

Ordering Information

| MODEL | OFFICE | LENS | CURRENT | WAVELENGTH | VOLTAGE | MOUNTING | FINISH | OPTIONS | OPTIONS |
|---------|--------|------|---------|------------|---------|----------|--------|---------|---------|
| NC2-631 | T1 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T2 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T3 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T4 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T5 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |
| | T6 | 80LC | 3 | 4K | UNV | 1 | 1 | PC-128 | PC-128 |

SK & Associates
Experience the light™
20/22 Carver Circle T - 781-821-1700
Canton, MA 02021 www.skandassociates.com

PROJECT NAME
400 North Main Street- Rochester, NH
CLIENT
MSC
170 Commerce Way - Suite 102, Portsmouth, NH 03801

| REVISIONS | | |
|--------------------------|--------------|----------|
| No. | Description | Date |
| 5. | | |
| 4. | | |
| 3. | | |
| 2. | | |
| 1. | TRG Comments | 08/13/19 |
| Issue Date: July 3, 2019 | | |
| Project #: 19143 | | |
| Drawn: AD | | |
| Checked: TJ | | |
| Approved: MC | | |
| Scale: 1"=40'-0" | | |

DRAWING NAME
Lighting Plan, Schedules and Specifications

DRAWING NUMBER

SL1