

SITE PLAN APPLICATION
City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: 12-12-17 Is a conditional use needed? Yes: _____ No: X Unclear: _____
(If so, a conditional use application must be submitted.)

Property information

Tax map #: 128; Lot #(s): 221; Zoning district: Neighborhood Mix Use (NMU)

Property address/location: 165 Charles Street

Name of project (if applicable): Jane Forrest Manor

Size of site: 40,510 sq. ft. 0.93 acres; Zoning District(s) NMU Overlay District(s) SDOD

Property Deed: Book 4518 Page: 628

Property owner

Name (include name of individual): Rochester Housing Authority

Mailing address: 77 Olde Farm lane, Rochester, NH 03867

Telephone #: 603-332-4126 Email: GFPM@Comcast.net

Applicant/developer (if different from property owner)

Name (include name of individual): Same as Property Owner

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Norway Plain Associates, Inc. - Scott Lawler

Mailing address: PO Box 249

Telephone #: 603-335-3948 Fax #: 332-0098

Email address: SLawler@NorwayPlains.com Professional license #: PE#10026

Proposed activity (check all that apply)

New building(s): _____ Site development (other structures, parking, utilities, etc.): _____

Addition(s) onto existing building(s): X Demolition: _____ Change of use: X

Describe proposed use: Housing for The Chronically Homeless, and two (2) office spaces .

Describe existing conditions/use: Medical office

Proposed use

(You are not bound by information on bedrooms and type of ownership unless that is a condition of approval.)

Total number of proposed dwelling units: 8; number of existing dwelling units: 0

Proposed bedrooms/unit: 8; total number of proposed bedrooms: 8

New building(s)? 0 addition(s)/modifications to existing building(s)? Yes-Modifications

Townhouses/rowhouses: flats: duplexes: freestanding detached units:

Proposed ownership - leasehold: fee simple conveyance: condominiums:

Building information

Type of building(s): Apartment and office

Building height: Finished floor elevation: 1STfloor=205.6', 2ndfloor=215

Number of Seats (is applicable): N/A

Utility information

City water? Yes X No ; How far is City water from the site? Existing service

City sewer? Yes X No ; How far is City sewer from the site? Existing service

If City water, what are the estimated total daily needs? gallons per day.

If City water, is it proposed for anything other than domestic purposes? Yes No X

If City sewer, do you plan to discharge anything other than domestic waste? Yes No X

Where will stormwater be discharged? No change of location. Currently the stormwater
discharges to the city closed drain system.

Other information

Parking spaces: existing: 40 total proposed: 27; Are there pertinent covenants? no

Number of cubic yards of earth being removed from the site zero

Employees: Total number: 6 In Maximum Shift: 6

Check any that are proposed: variance ; special exception ; conditional use

Wetlands: area to be impacted: zero sq. ft.; buffer impact zero sq. ft.

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	4,015	9.9
Parking and vehicle circulation	13,035	32.1
Planted/landscaped areas (excluding drainage)	16,064	39.7
Natural/undisturbed areas (excluding wetlands)	7,396	18.3
Wetlands	N/A	
Other – drainage structures, outside storage, etc.	N/A	

Comments

Please feel free to add any comments, additional information, or requests for waivers here or via attachments:

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and the agent.

I/we hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my/our knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Stacy Price

Date: December 7, 2017

Signature of applicant/developer: Stacy Price

Date: December 7, 2017

Signature of agent: [Signature]

Date: 12/12/2017

Authorization to enter subject property

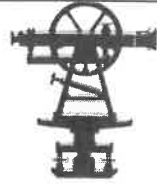
I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: Stacy Price
Date: Dec 7, 2017

NORWAY PLAINS ASSOCIATES, INC.

LAND SURVEYORS • SEPTIC SYSTEM DESIGNERS • CIVIL ENGINEERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Fax (603)332-0098
www.norwayplains.com
Phone (603) 335-3948 / (800) 479-3948
slawler@norwayplains.com



P. O. Box 268
31 Mooney St.
Alton, NH 03809

Phone & Fax (603) 875-3948
rtetreault@norwayplains.com

December 12, 2017

Seth Creighton, Chief Planner
Department of Planning and Development
Second Floor, City Hall
31 Wakefield Street
Rochester, NH 03867-1917

Re: Mix Use Site Plan Application; Jane Forrest Manor – 165 Charles St., Map 215, Lot 64.

Dear Mr. Creighton:

On behalf of the Rochester Housing Authority, we hereby submit plans and Mix Use Site Plan application to convert an existing medical office building to an eight-unit apartment and two general office space building at 165 Charles Street.

The 0.93-acre property is located within the Neighborhood Mix Use Zone district and the Downtown Density Ring. The parcel is developed consisting of an office building built in 1979 with associated paved driveway and parking. To access the parking there is a one-way entrance off Charles street leading to a 40-space parking area. There is a separated one-way exit onto Charles street.

Rochester Housing Authority is proposing to renovate the existing building to provide eight (8) single bedroom apartments and two (2) general offices spaces. The apartments will be rented to individuals who are in need of housing. The two (2) office might be rented to supporting agencies that could support the tenants of the apartments, such as Community Action Partnership. The existing building will have a small modification of the footprint, about 12 square feet, at the main entrance to allow for an elevator installation.

The proposed parking will have 27 spaces. The parking requirements for the proposed use is 20 spaces. As part of the parking space count includes two (2) wheelchair assessable spaces. With the reconstruction of the existing parking lots, there will be the removal of approximately 1,944 square-feet of pavement.

Under this proposal, there will be only one entrance/exit from the site. Current conditions there is a 12-foot wide one-way entrance and 12-foot wide exit both off of Charles Street. The existing exit will be abandoned because it very close proximity of the intersection of Charles Street and Columbus Avenue which makes exiting the site extremely difficult and unsafe. The proposed entrance/exit is located at the same location of the existing entrance and will be 22-feet wide allow for a better traffic pattern entering and leaving the site.

The stormwater is currently handled by closed drainage network discharging to the City stormwater system. The existing basin and pipes are will be upgraded. The pipe size will increase from 6 inches to 12 inches and the catch basin will have deep sumps and an oil/debris trap. A summary table below shows that there is a decrease in flow rate and in volume during the two, ten and twenty-five year storm events. This result is because of the reduction of impervious surfaces.

	2-yr Storm	2-yr Volume	10-yr Storm	10-yr Volume	25-yr Storm	25-yr Volume
	(cfs)	(Ac.ft.)	(cfs)	(Ac.ft.)	(cfs)	(Ac.ft.)
POA Pre	1.5	0.11	3.0	0.20	3.9	0.28
POA Post	1.1	0.08	2.1	0.16	2.8	0.22
Change	-0.4	-0.04	-0.9	-0.04	-1.1	-0.06

The site will continue to be serviced by City water and City sewer. Natural gas connection will allow for the removal of the old oil tank and furnace. The applicant will be removing all the existing lights and replace lights that adhere to the current zoning regulations.

All the landscaping will be replaced. The two existing freestanding sign will be removed and replaced to reflect the current zoning regulation. A stockade fence will be added to the northern side of the driveway starting from Charles Street running the length of the entrance, approximately 84 feet. A new dumpster with fence enclosure will be installed at the south end of the drive aisle.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.



By: Scott A. Lawler, PE, Project Engineer

cc: Rochester Housing Authority



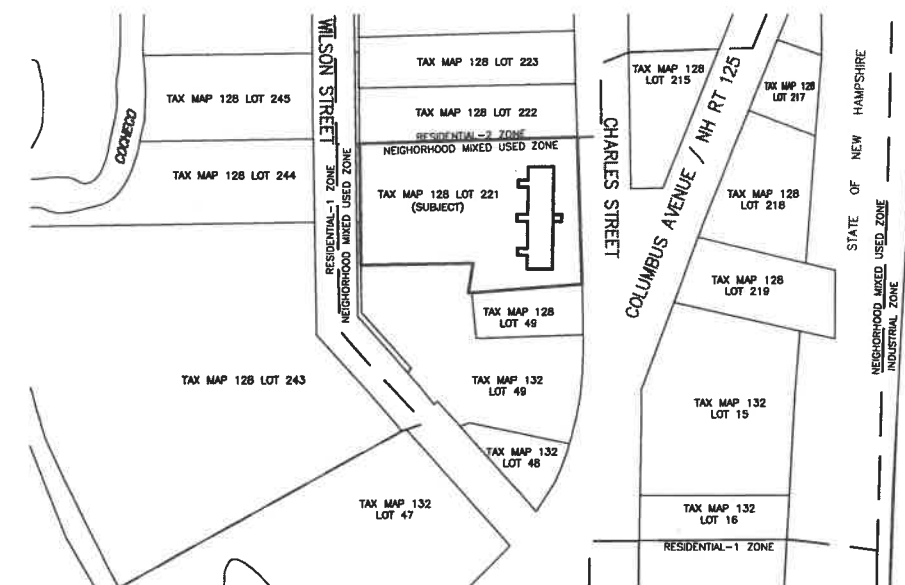
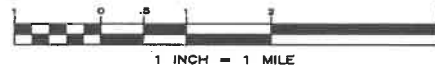
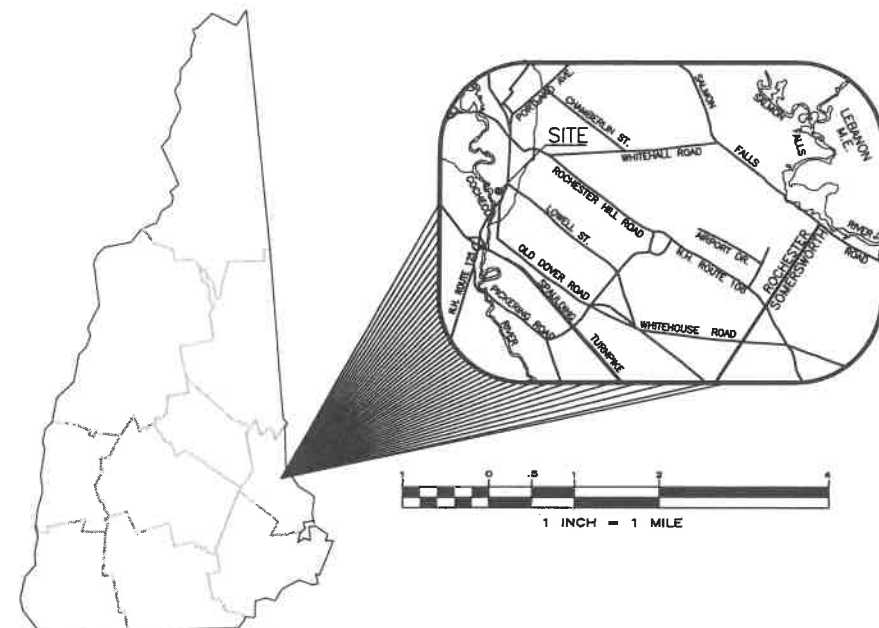
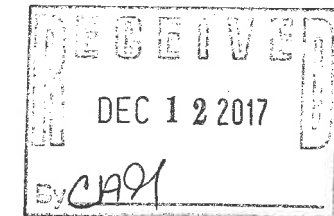
JANE FORREST MANOR

165 CHARLES STREET

PREPARED FOR

ROCHESTER HOUSING AUTHORITY ROCHESTER, NH

DECEMBER 2017



OVERALL SITE
1" = 100'



CIVIL ENGINEERS

NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NEW HAMPSHIRE 03867
(603) 335-3948

LANDSCAPING ARCHITECTS

WOODBURN & COMPANY LANDSCAPE ARCHITECTURE, LLC
103 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03857
(603) 659-5949

ARCHITECTS

PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH 03801
(603) 436-8891

OWNER OF RECORD

TAX MAP 128, LOT 221
OWNER OF RECORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
SCRD BOOK 4518, PAGE 628

APPLICANT

ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
(603) 332-4126

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

STATE AND FEDERAL PERMITS:

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES ALTERATION OF TERRAIN:	NOT REQUIRED
NHDES WETLANDS PERMIT:	NOT REQUIRED
NHDES DAM PERMIT:	NOT REQUIRED
NHDES SUBDIVISION PERMIT:	NOT REQUIRED
NHDES SUBSURFACE SYSTEMS PERMIT:	NOT REQUIRED
NHDES WASTEWATER PERMIT:	NOT REQUIRED
NHDOT DRIVEWAY/ENTRANCE PERMIT:	NOT REQUIRED

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: NOT REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 14 DAYS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT, CONTACT THE PROJECT GENERAL CONTRACTOR.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

SHEET INDEX

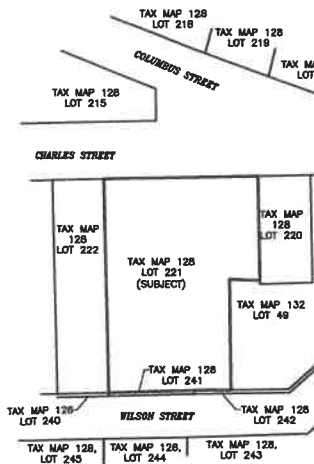
COVER		
SHEET	E-1	EXISTING FEATURES 1" = 20'
SHEET	C-1	OVERALL SITE PLAN 1" = 20'
SHEET	C-2	SITE LAYOUT PLAN 1" = 20'
SHEET	C-3	GRADING AND DRAINAGE PLAN 1" = 10'
SHEET	C-4	DRAINAGE DETAILS AS SHOWN
SHEET	C-5	PARKING AND SIDEWALK DETAILS AS SHOWN
SHEET	L-1	SITE LANDSCAPING PLAN 1" = 20'
SHEET	L-2	LIGHTING PLAN AND DETAILS 1" = 20'
SHEET	T-1	TRUCK TURNING PLAN 1" = 20'
SHEET	A1.0	FIRST FLOOR PLAN 1/4" = 1'-0"
SHEET	A1.1	SECOND FLOOR PLAN 1/4" = 1'-0"
SHEET	A2.0	EXTERIOR ELEVATIONS 1/4" = 1'-0"

FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.

NORWAY PLAINS ASSOCIATES, INC.

LEGEND

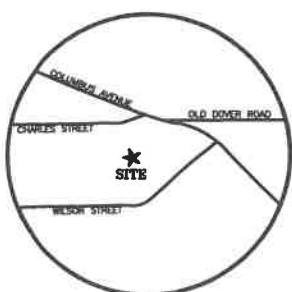
- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE LINE
- EXISTING CONTOUR LINE
- EXISTING DRAIN LINE
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING HANDRAIL
- EXISTING WOOD FENCE
- EXISTING CHAINLINK FENCE
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING MONUMENT
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING POST LIGHT
- EXISTING TREE



MAP	LOT	OWNER'S NAME	ADDRESS
128	215	ARANDCO Realty, Inc.	557 N. State Street, Concord, NH 03301
128	216	Loverita Petroleum, Inc.	Two Jericho Plaza Suite 110, Jericho, NY 11753
128	219	W & P Restaurant Corp.	183 Charles Street, Rochester, NH 03867
128	220	Walter & Dean Dinning	171 Charles Street, Rochester, NH 03867
128	221	Rochester Housing Authority	77 Old Farm Lane, Rochester, NH 03867
128	222	KJE Automotive Machine Shop of Rochester	163 Charles Street, Rochester, NH 03867
128	240	Donald Levesque & Theresa Oler	15 Wilson Street, Rochester, NH 03867
128	241	Gary & Tara Kincaid	17 Wilson Street, Rochester, NH 03867
128	242	David & Diane Carignan	19 Wilson Street, Rochester, NH 03867
128	243	same as 128-242	
128	244	same as 128-241	
128	245	same as 128-240	
132	49	Stephen Marcotte & Nicholas Marcotte	32 Stillwater Way, Barrington, NH 03825
132	15	Abiqui LLC	664 Columbus Ave., Suite 5B, Rochester, NH 03867

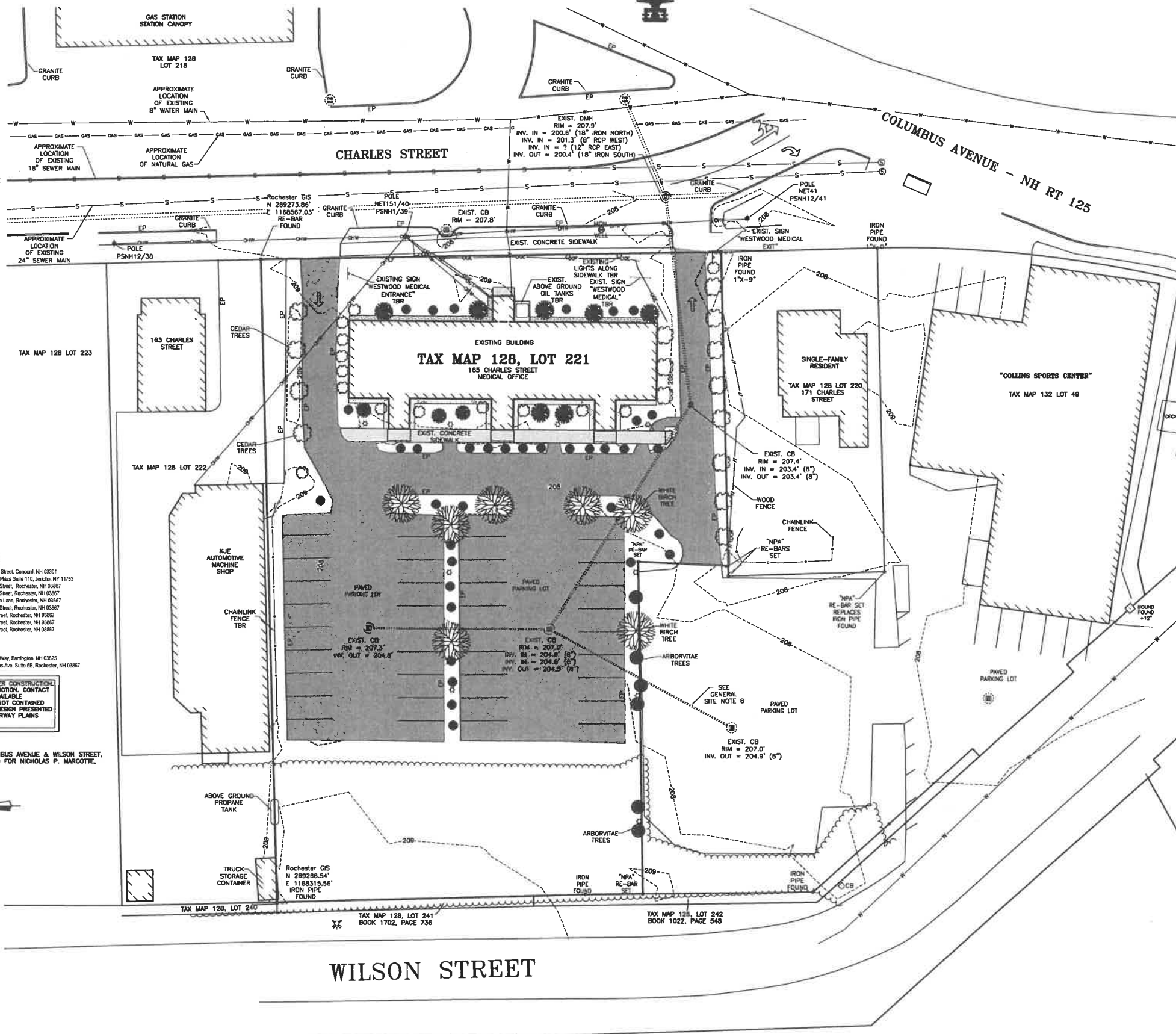
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3945.

PLAN REFERENCES:
1. LOT LINE REVISION PLAN 165 CHARLES STREET, 663 COLUMBUS AVENUE & WILSON STREET, ROCHESTER, STRAFFORD COUNTY, NEW HAMPSHIRE PREPARED FOR NICHOLAS P. MARCOTTE, STEPHEN G. MARCOTTE, & JANE L. FORREST DATED MARCH 2015 BY NORWAY PLAINS ASSOCIATES, INC. S.C.R.D. PLAN 109-070



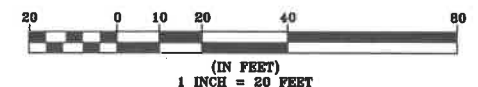
LOCUS MAP
NTS

FILE NO. 161
PLAN NO. C-2878
DWC. NO. 17253/SP-1
F.B. NO.



- GENERAL SITE PLAN NOTES
1. THIS PARCELS ARE LOCATED IN THE NEIGHBORHOOD MIXED USE (NMU) ZONE AND LOCATED WITHIN THE DOWNTOWN DENSITY RING.
 2. TOTAL PARCEL AREA: 40,510 SQUARE FEET OR 0.93 ACRES.
 3. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING FEATURES ON THE LOT.
 4. ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
 5. THE FIELD SURVEY WAS PERFORMED IN NOVEMBER 2017.
 6. DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
NEIGHBORHOOD MIXED USE (NMU) ZONE:
MINIMUM LOT AREA = 60,000 SF
MINIMUM LOT FRONTAGE = 60 FEET
MINIMUM YARD SETBACKS:
FRONT = 25'
SIDE = 5'
REAR = 20'
MAXIMUM LOT COVERAGE = 60%
MAXIMUM BUILDING HEIGHT = 20'
ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS BASED ON NAVD1929.
 7. DRAINAGE EASEMENT BETWEEN THE CATCH BASINS LOCATED ON TAX MAP 128, LOT 221 AND TAX MAP 132, LOT 49.
 8. PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017C0211D DATED MAY 17, 2005.
 9. SOIL TYPE: WGA - WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES PER NATURAL RESOURCE CONSERVATION SERVICES (NRCS).
 10. EXISTING PARKING = 40 SPACES
 11. EXISTING IMPERVIOUS AREA = 52%

TAX MAP 128, LOT 221
OWNER OF RECORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
SCRD BOOK 4518, PAGE 628
EXISTING FEATURES PLAN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY
DECEMBER 2017
GRAPHIC SCALE



LAND SURVEYORS

CIVIL ENGINEERS



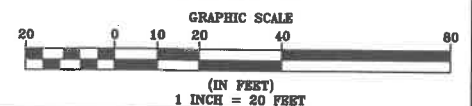
SITE REVIEW APPROVAL
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF A NEW SITE REVIEW APPLICATION.

- GENERAL SITE PLAN NOTES**
- THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED REDEVELOPMENT FROM AN EXISTING MEDICAL FACILITY TO AN EIGHT UNIT APARTMENT AND TWO GENERAL OFFICE UNIT.
 - THIS PARCELS ARE LOCATED IN THE NEIGHBORHOOD MIXED USE (NMAU) ZONE.
 - TOTAL PARCEL AREA: 40,510 SQUARE FEET OR 0.93 ACRES.
 - ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
 - THE FIELD SURVEY WAS PERFORMED ON 10/10/2017.
 - DIMENSIONAL REGULATIONS PER ZONING ORDINANCE:
NEIGHBORHOOD MIXED USE (NMAU) ZONE:
MINIMUM LOT AREA = 80,000 SF
MINIMUM LOT FRONTAGE = 60 FEET
MINIMUM YARD SETBACKS:
FRONT = 25'
SIDE = 5'
REAR = 20'
MAXIMUM LOT COVERAGE = 80%
MAXIMUM BUILDING HEIGHT = 20'
7. ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS BASED ON ROCHESTER GIS AND NAVD 88.
8. DRAINAGE: EASTMENT BETWEEN THE CATCH BASINS LOCATED ON TAX MAP 128, LOT 221 AND TAX MAP 132, LOT 49.
9. PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #330170211D DATED MAY 17, 2005.
10. SOIL TYPE: WMA - WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES PER NATURAL RESOURCES CONSERVATION SERVICE (NRCS).
11. FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, NH 03607. (603) 335-1338.
12. PARKING REQUIREMENTS (SITE PLAN REGULATIONS; SECTION 10 (A):
RESIDENTIAL USE:
2 SPACES PER DWELLING
8 DWELLINGS x 2 SPACES/DWELLING = 16 SPACES
OFFICE, GENERAL USE:
1 SPACE PER 300 SF OF GROSS BUILDING SQUARE FOOT
1 SPACE x 1,025 SF / 300 SF = 4 SPACES
TOTAL REQUIRED SPACES = 20 SPACE
TOTAL PROVIDED SPACES = 27 SPACES
ACCESSIBLE PARKING (SITE PLAN REGULATIONS SECTION 10(2)(2):
THE SPACES ARE PART OF THE TOTAL ABOVE.
ACCESSIBLE PARKING SPACES = 28 TO 50 = 2 SPACE
TOTAL PROVIDED SPACES = 2 SPACES
13. THIS DEVELOPMENT MUST BE IN COMPLIANCE WITH ALL APPLICABLE LAW - INCLUDING ALL PERMIT PROVISIONS OF THE CITY OF ROCHESTER SITE PLAN REGULATIONS - UNLESS OTHERWISE WAIVED.
14. ACCESS INTO THE SITE FOR FIRE APPARATUS MUST BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THIS IS THE SOLE RESPONSIBILITY OF THE APPLICANT/DEVELOPER TO MAINTAIN THIS ACCESS. PLEASE CONTACT THE FIRE DEPARTMENT AT 330-7182 WITH ANY QUESTIONS ABOUT ACCESS REQUIREMENTS.
15. SLOW DOWN SUCH A MANNER AS TO BLOCK THE VISIBILITY OF THE VEHICLES ON CHARLES STREET AND ALL EXCESS SLOW SHALL BE REMOVED FROM THE SITE.
16. ALL OUTSIDE CONSTRUCTION ACTIVITY RELATED TO THE DEVELOPMENT OF THIS SITE IS RESTRICTED TO THE HOURS OF 7:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 8:00 A.M. TO 6:00 P.M. SATURDAY.
17. ALL UTILITIES MUST BE UNDERGROUND, INCLUDING UTILITIES EXTENDED ONTO THE SITE FROM EXISTING POLES NEAR THE SITE. HOWEVER, IF THE ONLY POLE NEARBY IS ACROSS THE STREET, ONE ADDITIONAL POLE MAY BE PLACED ON/NEAR THE PROPERTY TO ALLOW FOR OVERHEAD EXTENSION OF WIRES ACROSS THE STREET. UTILITIES EXTENDING FROM ANY SUCH NEW POLE MUST BE UNDERGROUND. THE APPLICANT MAY WORK WITH THE CITY STAFF AS APPROPRIATE TO ADDRESS THIS REQUIREMENT.
18. THE CODE ENFORCEMENT OFFICER ADMINISTERS THE CITY OF ROCHESTER SIGN ORDINANCE. SIGNAGE SUBMITTED AS PART OF THIS SITE PLAN PACKAGE IS STILL SUBJECT TO HIS REVIEW TO ENSURE COMPLIANCE WITH THAT ORDINANCE AND OTHER APPLICABLE CODES. INDEPENDENT FROM THIS SITE PLAN REVIEW. IN ADDITION, IF ANY SIGNIFICANT CHANGE OR EXPANSION IS PROPOSED TO THE DESIGN OF THE APPROVED FREESTANDING SIGN OR TO THE OVERALL ADVERTISING SIGNAGE FOR THE SITE (NOT INCLUDING ACCESSORY SIGNAGE SUCH AS HANDICAP PARKING SIGNS), THE PROPOSED SIGN DESIGNS MUST BE PRESENTED TO THE PLANNING BOARD FOR REVIEW PRIOR TO ISSUANCE OF THOSE SIGN PERMITS. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF ANY SIGNS ON SITE.
19. ALL ELEMENTS SHOWN ON THE APPROVED SITE PLAN MUST BE PROPERLY COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, UNLESS APPROPRIATE SURETY IS PLACED WITH THE PLANNING DEPARTMENT.
20. NOTE THAT THIS APPROVAL IS FOR THE SITE PLAN ONLY. LIFE SAFETY CODE AND BUILDING CODE REVIEW WILL BE REQUIRED AS PART OF THE BUILDING PERMIT PROCESS WHEN THE CONSTRUCTION PLANS ARE SUBMITTED. VARIOUS REQUIREMENTS REGARDING THE BUILDING DESIGN POSSIBLY INCLUDING A SPRINKLER SYSTEM - MAY BE SPECIFIED AT THAT TIME.
21. THE SEWER IMPACT CONTRIBUTION MUST BE PAID IN FULL, TO THE CODE ENFORCEMENT DEPARTMENT, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE SEWER IMPACT IS A ONE TIME PAYMENT OF \$2.00 PER GALLON FOR AVERAGE DAILY FLOW.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

TAX MAP 128, LOT 221
OWNER OF RECORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03607
SCRD BOOK 4518, PAGE 628
OVERALL SITE PLAN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY
DECEMBER 2017



LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINES
- ZONE LINE
- EXISTING TREE LINE
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED CONCRETE



TAX MAP 128
LOT 215

ROCHESTER
GIS

CHARLES STREET

COLUMBUS AVENUE - NH RT 125

TAX MAP 128, LOT 221

165 CHARLES STREET
PROPOSED
8 UNIT APARTMENTS
2 GENERAL OFFICE
2.2' BUILDING ADDITION

SINGLE-FAMILY
RESIDENT

TAX MAP 128 LOT 220
171 CHARLES STREET

"COLLINS SPORTS CENTER"

TAX MAP 132 LOT 49

TAX MAP 128 LOT 222

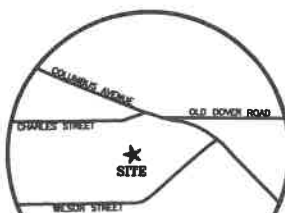
KJE
AUTOMOTIVE
MACHINE
SHOP

MAP	LOT	OWNER'S NAME	ADDRESS
128	215	ARANDCO Realty, Inc.	557 N. State Street, Concord, NH 03301
128	216	Luxembia Petroleum, Inc.	Two Jericho Plaza Suite 110, Jericho, NY 11753
128	219	W & P Restaurant Corp.	153 Charles Street, Rochester, NH 03607
128	220	Walter & Dora Dumont	171 Charles Street, Rochester, NH 03607
128	221	Rochester Housing Authority	77 Olde Farm Lane, Rochester, NH 03607
128	222	KJE Automotive Machine Shop of Rochester	165 Charles Street, Rochester, NH 03607
128	240	Daniel Legeron & Theresa Odeh	15 Wilson Street, Rochester, NH 03607
128	241	Gary & Tara Kinsaid	17 Wilson Street, Rochester, NH 03607
128	242	David & Diane Carigan	19 Wilson Street, Rochester, NH 03607
128	243	same as 128-242	
128	244	same as 128-241	
128	245	same as 128-240	
128	49	Stephen Marcotte & Nicholas Marcotte	32 Stillwater Way, Barrington, NH 03825
132	49	Polopoli LLC	864 Columbus Ave, Suite 50, Rochester, NH 03607

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3946.

PLAN REFERENCES:

- "LOT LINE REVISION PLAN 165 CHARLES STREET, 683 COLUMBUS AVENUE & WILSON STREET, ROCHESTER, STRAFFORD COUNTY, NEW HAMPSHIRE PREPARED FOR NICHOLAS P. MARCOTTE, STEPHEN G. MARCOTTE, & JANE L. FORREST" DATED MARCH 2015 BY NORWAY PLAINS ASSOCIATES, INC. S.C.R.D. PLAN 109-070



LOCUS MAP
NTS

FILE NO. 161
PLAN NO. C-2878
DWC. NO. 17253/SP-1
P.B. NO.

TAX MAP 128, LOT 245

TAX MAP 128, LOT 244

TAX MAP 128, LOT 243

NORWAY PLAINS ASSOCIATES, INC.

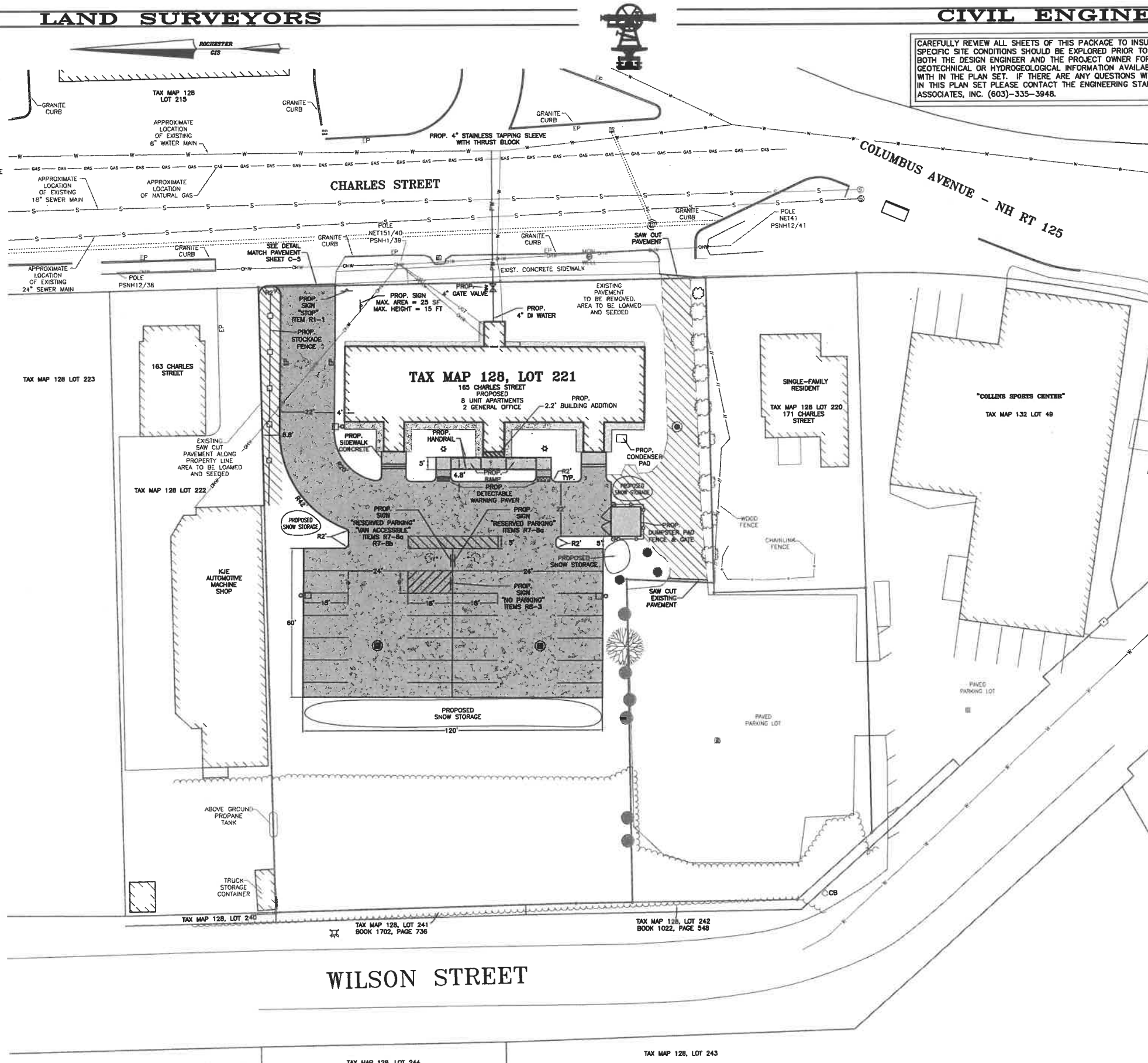
LAND SURVEYORS

CIVIL ENGINEERS

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LEGEND

- PROPERTY LINE
- EXISTING TREE LINE
- EXISTING OVERHEAD WIRES
- EXISTING HYDRANT
- EXISTING WATER GATE OR SHUT-OFF VALVE
- EXISTING UTILITY POLE
- EXISTING SEWER MAN HOLE
- EXISTING CATCH BASIN
- EXISTING LIGHTS
- EXISTING BUILDING
- PROPOSED PAVEMENT
- PROPOSED HANDRAIL
- PROPOSED STOCKADE FENCE
- PROPOSED LIGHTS
- PROPOSED CATCH BASIN W/ BEEHIVE GRATE
- PROPOSED CATCH BASIN W/ GRATE
- PROPOSED PAVEMENT
- PROPOSED CONCRETE
- PROPOSED DETECTABLE WARNING PAVERS
- PROPOSED SIGNS
- PAVEMENT RADIUS (20')
- PROPOSED STANDARD PARKING SPACES (9' x 18')
- PROPOSED ACCESSIBLE PARKING SPACES (9'x18' WITH 9'x18' ACCESS ISLE)



GENERAL SITE PLAN NOTES

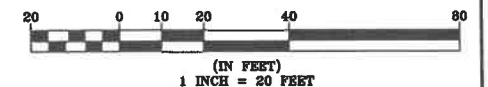
- THE PURPOSE OF THIS PLAN IS TO DEPICT PROPOSED
- THIS PARCELS ARE LOCATED IN THE NEIGHBORHOOD MIXED-USE DISTRICT (NMU).
- TOTAL PARCEL AREA: 40,510 SQUARE FEET OR 0.93 ACRES.
- ALL EXISTING UTILITIES LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO ANY WORK BEING PERFORMED.
- THE FIELD SURVEY WAS PERFORMED ON
- NEIGHBORHOOD MIXED-USE DISTRICT (NMU):
- MINIMUM LOT AREA = 60,000 SF
- MINIMUM LOT FRONTAGE = 60 FEET
- MINIMUM YARD SETBACKS:
- FRONT = 25'
- SIDE = 5'
- REAR = 20'
- MAXIMUM LOT COVERAGE = 90%
- MAXIMUM BUILDING HEIGHT = 20'
- ORIENTATION: HORIZONTAL AND VERTICAL DATUMS - CITY OF ROCHESTER GIS AND NAVD83.
- DRAINAGE EASEMENT BETWEEN THE CATCH BASINS LOCATED ON TAX MAP 128, LOT 221 AND TAX MAP 132, LOT 48.
- PARCEL IS NOT LOCATED WITHIN ZONE A (100YR FLOOD) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY #33017002110 DATED MAY 17, 2005.
- SOIL TYPE: WMA - WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES PER SOIL SURVEY OF STRAFFORD COUNTY, NEW HAMPSHIRE.
- PARKING REQUIREMENTS FOR SINGLE FAMILY
- 2 SPACES PER DWELLING
- 8 UNITS x 2 SPACES = 16 SPACES
- PARKING REQUIREMENTS FOR OFFICE SPACE
- 1 SPACE PER 300 SF
- 1,028 SQUARE FT. = 4
- TOTAL NUMBER OF SPACES REQUIRED = 20
- TOTAL NUMBER OF SPACES PROVIDED = 27
- EXISTING LOT COVERAGE = 52% PROPOSED LOT COVER = 42%
- ALL DISTURBED AREAS NOT LANDSCAPED OR PAVED SHALL HAVE A MIN. OF SIX INCHES OF LOAM, SEEDED AND MULCHED.

FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

TAX MAP 128, LOT 221
OWNER OF RECORD:
ROCHESTER HOUSING AUTHORITY
77 OLDE FARM LANE
ROCHESTER, NH 03867
SCRD BOOK 4518, PAGE 628

SITE PLAN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY
DECEMBER 2017
GRAPHIC SCALE



NORWAY PLAINS ASSOCIATES, INC.

_____ PROPERTY LINE
 - - - - - EXISTING TREE LINE
 - - - - - EXISTING DRAIN LINE
 - - - - - 232' EXISTING CONTOUR LINE
 —●— E208.0' EXISTING SPOT GRADE
 —●— P208.00' PROPOSED SPOT GRADE
 _____ PROPOSED DRAIN LINE
 - - - - - PROPOSED DRAIN PIPE CPP
 - - - - - PROPOSED DRIP EDGE PIPE CPP
 [208] PROPOSED CONTOUR LINE
 CPP CORRUGATED POLYETHYLENE PIPE
 CB CATCH BASIN
 [CATCH BASIN] PROPOSED CATCH BASIN W/ BEEHIVE GRATE
 [CATCH BASIN] PROPOSED CATCH BASIN W/ GRATE

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

DRAINAGE NOTES:

1. DRAINAGE STRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON SHEET C-4.
2. ALL CORRUGATED PLASTIC PIPE (CPP) USED SHALL BE DUAL WALLED HIGH DENSITY POLYETHYLENE.
3. ALL MATERIALS SHALL BE AS SPECIFIED. ANY CHANGES SHALL BE APPROVED BY THE DESIGN ENGINEER.
4. DRAINAGE EASEMENT BETWEEN THE CATCH BASINS LOCATED ON TAX MAP 128, LOT 221 AND TAX MAP 132, LOT 49.
5. INSTALL CATCH BASIN INLET PROTECTION UNTIL PAVEMENT HAS BEEN COMPLETED.

TAX MAP 128, LOT 221
165 CHARLES STREET
FIRST FLOOR ELEVATION = 205.6'
SECOND FLOOR ELEVATION = 213.0'
FOREY ELEVATION = 210.0'

GRADING AND DRAINAGE PLAN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY
DECEMBER 2017
GRAPHIC SCALE

(IN FEET)
1 INCH = 10 FEET

NORWAY PLAINS ASSOCIATES, INC.

C-3



FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.

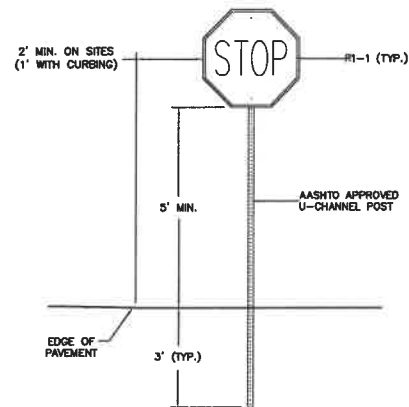
LAND SURVEYORS

CIVIL ENGINEERS

ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	30"	30"	STOP	1
R7-8a	18"	12"		2
R7-8b	6"	12"	VAN ACCESSIBLE	1
R8-3	18"	12"	NO PARKING	1

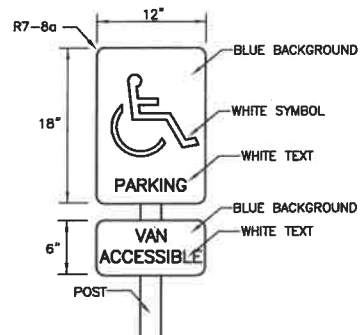
NOTES:
1. ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.

SIGN SCHEDULE NOT TO SCALE



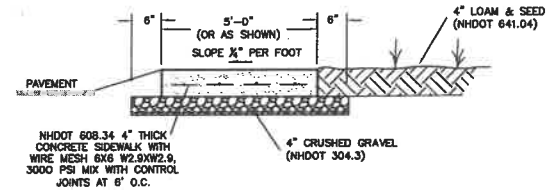
NOTES:
1. SIGN POST SHALL BE AASHTO APPROVED U-CHANNEL OR OTHER PER AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORT OF HIGHWAY SIGNS, LUMINARIES AND SIGNALS", LATEST EDITION.
2. SIGNS SHALL BE MOUNTED 5 FT FROM GROUND TO BOTTOM EDGE WHERE PARKING AND PARKING LOT MOVEMENTS TAKE PLACE.
3. SIGNS SHALL BE PLACED SO THAT NEAREST EDGE IS 2 FT. FROM EDGE OF PAVEMENT UNLESS CURBED.

TYPICAL TRAFFIC SIGN NOT TO SCALE

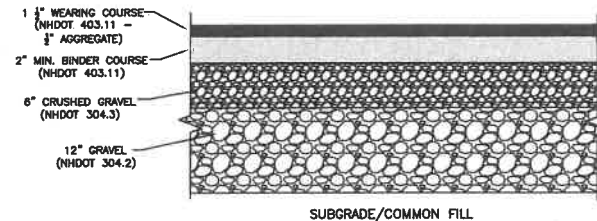


SIGN DETAIL NOT TO SCALE

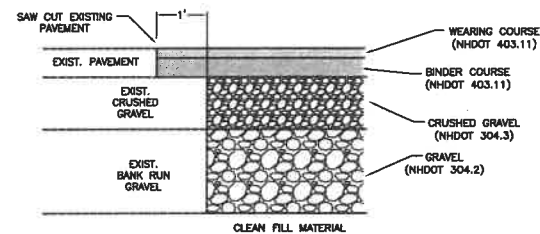
FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.



CONCRETE SIDEWALK DETAIL

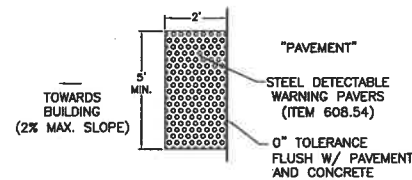


PARKING LOT CROSS-SECTIONS NOT TO SCALE



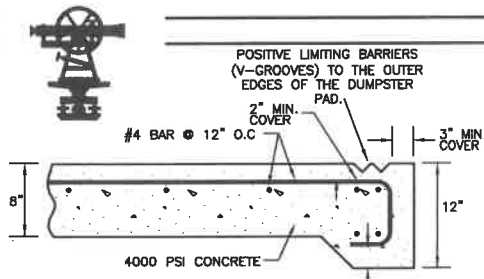
TYPICAL PAVEMENT MATCHING DETAIL NOT TO SCALE

PAVEMENT NOTES:
1. PLACE COMMON FILL IN 12 INCH LIFTS. COMPACT COMMON FILL TO 95% MAXIMUM PROCTOR DENSITY.
2. PLACE GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
3. PLACE CRUSHED GRAVEL IN MAXIMUM 8 INCH LIFTS. COMPACT TO 95% MAXIMUM PROCTOR DENSITY.
4. PAVEMENT MUST BE INSTALLED IN TWO COURSES, A BINDER COURSE AND A WEARING COURSE.

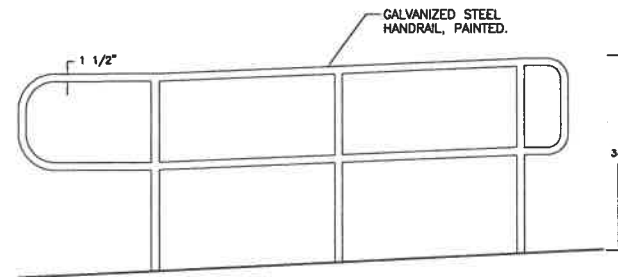


DETECTABLE WARNING PAVER DETAIL NOT TO SCALE

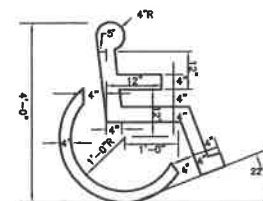
DETECTABLE WARNING PAVER NOTES:
1. THE MAXIMUM CROSS OF CONCRETE WALKWAY SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
3. DETECTABLE WARNING PAVERS (ITEM 608.54) SHALL BE USED ON CONCRETE RAMPS AS SHOWN. EACH TACTICAL WARNING STRIP PANEL SHALL A TRUNCATED DOMED SURFACE AT LEAST 2'-0" IN WIDTH, MEASURED FROM THE BACK OF THE CURB TIP DOWN, AND 5'-0" IN LENGTH MEASURE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
4. ALL DETECTABLE WARNING PAVERS SHALL BE CAST IN PLACE ARMOR-TILE TACTILE SYSTEM, YELLOW IN COLOR, OR APPROVED EQUAL.



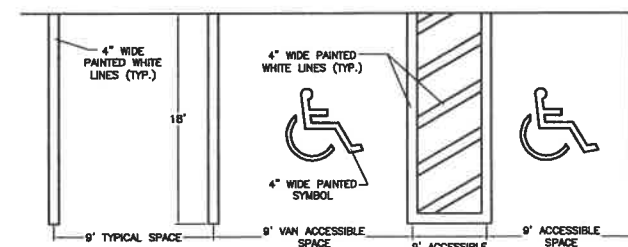
DUMPSTER PAD DETAIL NOT TO SCALE



RAMP HANDRAIL DETAIL NOT TO SCALE

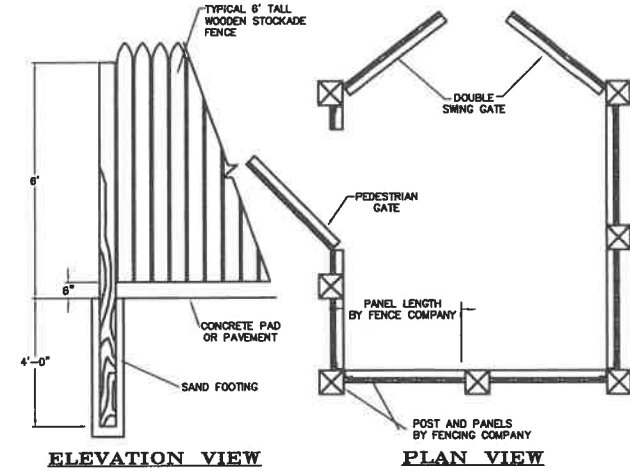


ACCESSIBLE SYMBOL

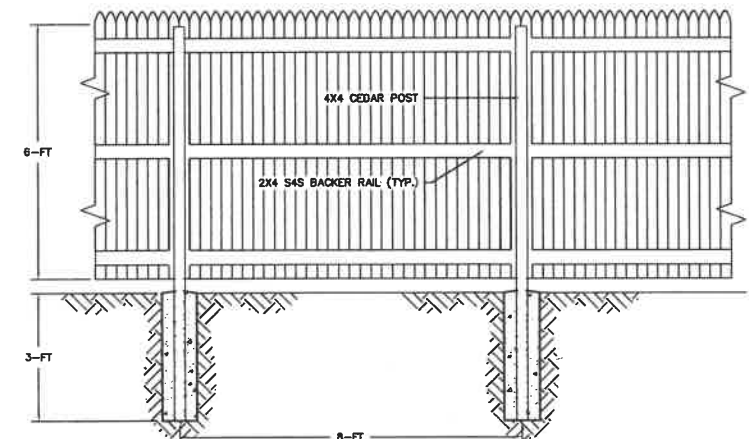


STALL STRIPING DETAIL NOT TO SCALE

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DUMPSTER FENCE ENCLOSURE DETAIL NOT TO SCALE

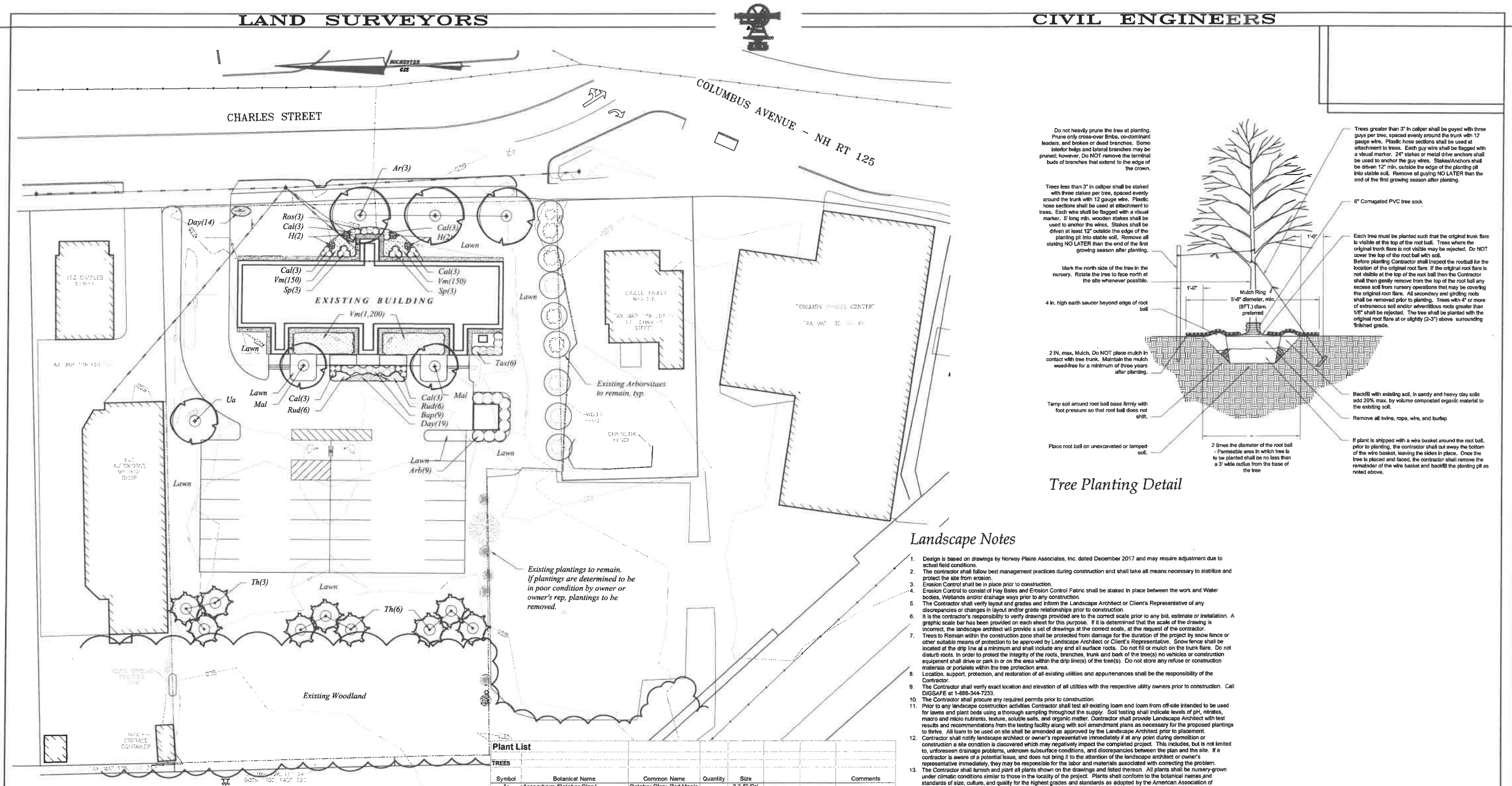


FENCE SPECIFICATIONS

- FENCE POSTS SHALL BE 4"x4" CEDAR.
- STOCKADE PANELS SHALL BE 6'-FT X 8'-FT #1 NORTHERN WHITE CEDAR. PICKETS SHALL BE 1x3x8'-FT NORTHERN WHITE CEDAR.
- BACKER RAILS SHALL BE 2x4x8'-FT S4S SQUARE END.
- GOOD SIDE OF FENCE FACING OUT.

TYPICAL WOODEN STOCKADE DETAIL SCALE: 1/2"=1'

PARKING AND SIDEWALK
DETAILS
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY
DECEMBER 2017



Do not heavily prune the tree at planting. Prune only cross-over limbs, co-dominant leaders, and broken or dead branches. Some interior twigs and lateral branches may be pruned; however, DO NOT remove the terminal buds of branches that extend to the edge of the crown.

Trees less than 3" in caliper shall be staked with three stakes per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each wire shall be flagged with a visual marker. 5' long min. wooden stakes shall be used to anchor the wires. Stakes shall be driven at least 12" outside the edge of the planting pit into stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

Mark the north side of the tree in the nursery. Rotate the tree to face north at the site whenever possible.

4 in. high earth saucer beyond edge of root ball

2 in. max. Mulch. Do NOT place mulch in contact with tree trunk. Maintain the mulch weed-free for a minimum of three years after planting.

Temp soil around root ball base firmly with foot pressure so that root ball does not shift.

Place root ball on unexcavated or tamped soil.

Trees greater than 3" in caliper shall be guyed with three guys per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each guy wire shall be flagged with a visual marker. 24" stakes or metal drive anchors shall be used to anchor the guy wires. Stakes/anchors shall be driven 12" min. outside the edge of the planting pit into stable soil. Remove all guying NO LATER than the end of the first growing season after planting.

6" Corrugated PVC tree sock

Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may be rejected. Do NOT cover the top of the root ball with soil. Before planting Contractor shall inspect the rootball for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any excess soil from nursery operations that may be covering the original root flare. All secondary and girdling roots shall be removed prior to planting. Trees with 4" or more of extraneous soil and/or adventitious roots greater than 1/8" shall be rejected. The tree shall be planted with the original root flare at or slightly (2-3") above surrounding finished grade.

Backfill with existing soil. In sandy and heavy clay soils add 20% max. by volume composted organic material to the existing soil.

Remove all twine, rope, wire, and burlap

If plant is shipped with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, leaving the sides in place. Once the tree is placed and faced, the contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.

Tree Planting Detail

Landscape Notes

- Design is based on drawings by Norway Plains Associates, Inc. dated December 2017 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies. Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with either of the following:
 - An underground sprinkling system
 - An outside hose attachment within 150 feet
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no larger than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond root overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

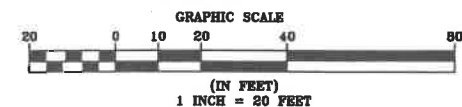
Plant List

TREES						
Symbol	Botanical Name	Common Name	Quantity	Size		Comments
Ar	Acer rubrum 'October Glory'	October Glory Red Maple	3	3-3.5' Cal		B&B
Mal	Malus 'Donald Wyman'	Donald Wyman Crabapple	2	2-2.5' Cal		B&B
Th	Thuja plicata 'Green Giant'	Green Giant Arborvitae	1	7-8' Ht		B&B
Ua	Ulmus americana 'Princeton'	Princeton American Elm	1	3-3.5' Cal		B&B
SHRUBS						
Symbol	Botanical Name	Common Name	Quantity	Size	Minimum Height	Minimum Width
Arb	Thuja occidentalis 'Techny'	Techny Arborvitae	9	6-7' Ht		
Ros	Rosa 'Knockout'	Knockout Rose	3	3 gal	18"	18"
Sp	Spiraea x 'Goldmound'	Goldmound Spiraea	6	3 gal	18"	18"
Tax	Taxus media 'Greenwave'	Greenwave Yew	6	5 gal	2'	2'
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS						
Symbol	Botanical Name	Common Name	Quantity	Size		Comments
Bap	Baptisia australis	False Blue Indigo	9	1 gal		
Cal	Calamagrostis acutifolia 'Karl Foerster'	Feather Reed Grass	18	1 gal		
Day	Hemerocallis 'Big Time Happy'	Big Time Happy Daylily	33	1 gal		
H	Hosta 'Frances Williams'	Frances Williams Hosta	4	1 gal		
Rud	Rudbeckia fulgida 'Goldsturm'	Black-Eyed Susan	12	1 gal		
Vm	Vinca minor 'Bowles'	Bowles Periwinkle	30	50' flat		

FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.

LANDSCAPING PLAN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY

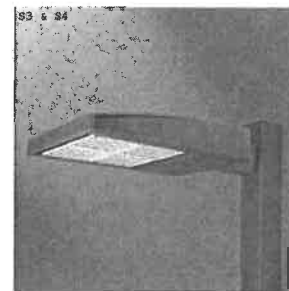
DECEMBER 2017



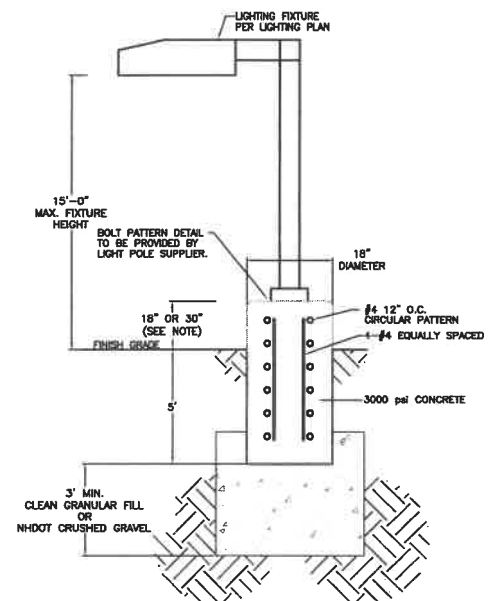
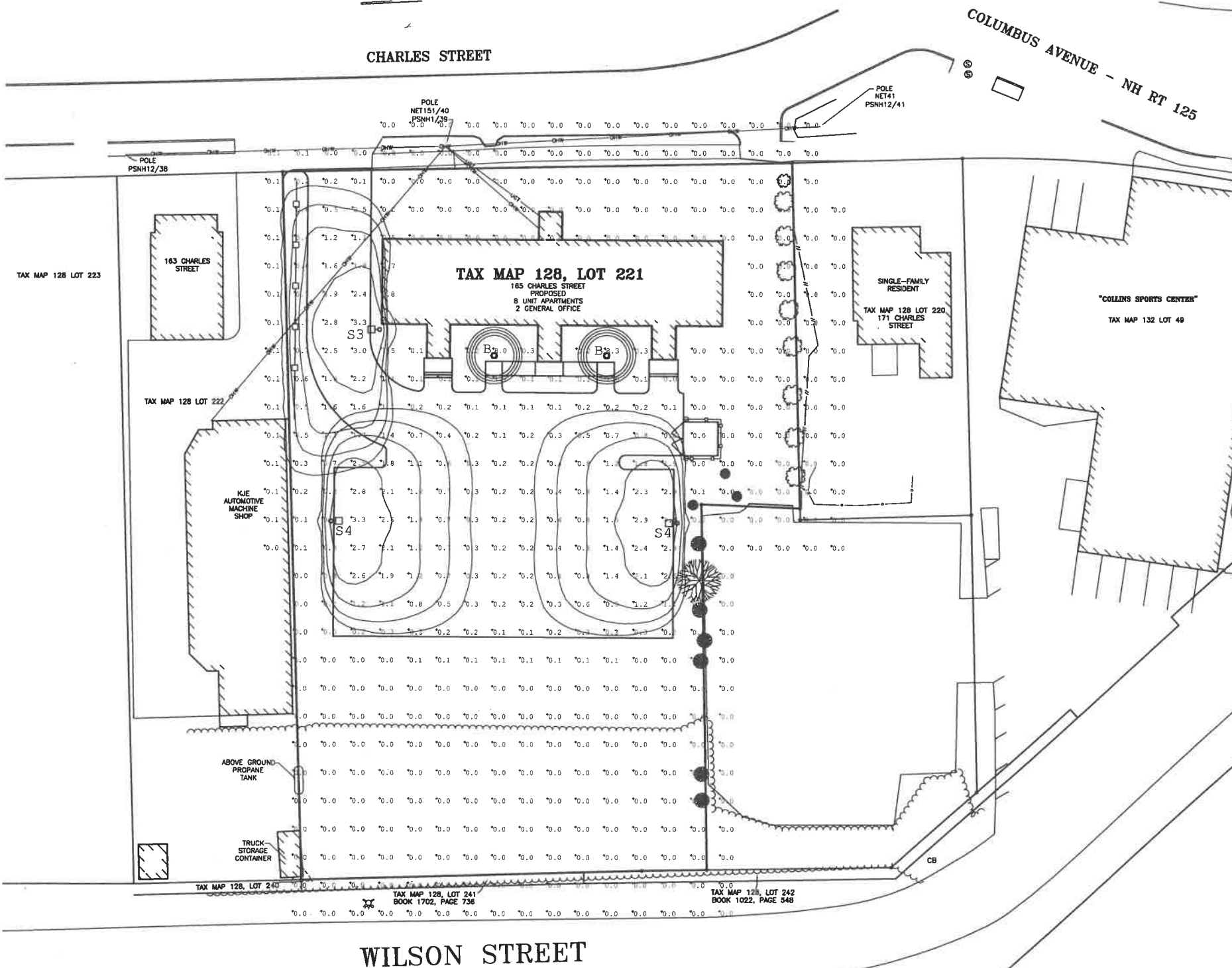
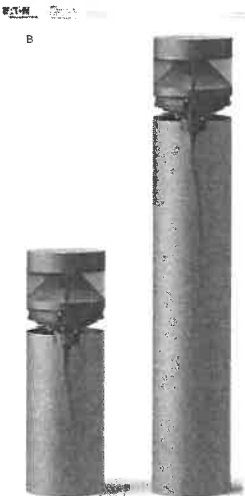
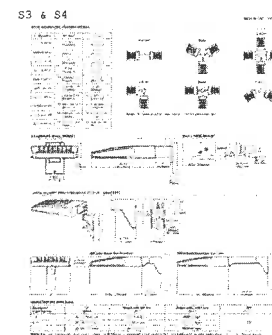


LEGEND

- PROPERTY LINE
- OHW — EXISTING OVERHEAD WIRES
- UGE — EXISTING UNDERGROUND ELECTRIC WIRES
- UGU — EXISTING UNDERGROUND UTILITY WIRES
- EXISTING UTILITY POLE
- EXISTING LIGHT POLES
- OHW — PROPOSED UNDERGROUND UTILITY WIRES
- PUGE — PROPOSED UNDERGROUND ELECTRIC WIRES
- PROPOSED BOLLARD LIGHTS
- PROPOSED LIGHT POLES
- PROPOSED BUILDING LIGHT FIXTURES
- PROPOSED LIGHT FOOTCANDLE
- PROPOSED LIGHT ISO ILLUMINATION LINES



**GLEON
GALLEON LED**



POLE MOUNTED LIGHT DETAIL
NOT TO SCALE

- NOTE:
1. LIGHT POLE BASE SHALL BE 18" ABOVE FINISH GRADE FOR NON VEHICLE IMPACT AREAS AND 30" FOR VEHICLE IMPACT AREAS.
 2. THE LIGHT POLE BASES CAN BE PRECAST, WITH COORDINATION WITH THE LIGHTING FIXTURE MANUFACTURE FOR BOLT PATTERN.
- EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AS DEFINED BY ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA AND ADHERE TO CHAPTER 149-14.E AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
⊙	2	B	SINGLE	99862 / 99615 (42.5 INCH OVERALL)
⊙	1	S3	SINGLE	GLEON-AF-01-LED-E1-SL3-HSS/ SSS4A155FMI (15' AFG)
⊙	2	S4	SINGLE	GLEON-AF-01-LED-E1-SL4-HSS/ SSS4A155FMI (15' AFG)

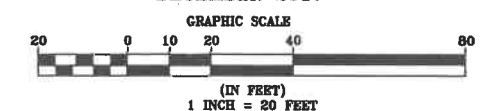
StatArea 1
PARKING LOT AREA ONLY
Illuminance (Fc)
Average = 0.98
Maximum = 3.4
Minimum = 0.1
Avg/Min Ratio = 9.80
Max/Min Ratio = 34.00



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITH IN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

LIGHT PLAN AND DETAIL
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY

DECEMBER 2017



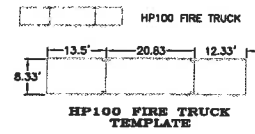
FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.

LAND SURVEYORS

CIVIL ENGINEERS

LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED PAVEMENT
- PROPOSED TRUCK FRONT WHEEL PATH
- PROPOSED TRUCK BACK WHEEL PATH



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CHARLES STREET

163 CHARLES STREET

TAX MAP 128, LOT 221

165 CHARLES STREET
PROPOSED
8 UNIT APARTMENTS
2 GENERAL OFFICE

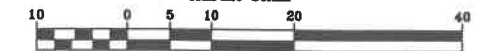
TAX MAP 128 LOT 222

KJE
AUTOMOTIVE
MACHINE
SHOP

TRUCK TURN
TAX MAP 128, LOT 221
165 CHARLES STREET
ROCHESTER, NH
PREPARED FOR:
ROCHESTER HOUSING
AUTHORITY

DECEMBER 2017

GRAPHIC SCALE



(IN FEET)
1 INCH = 10 FEET

FILE NO. 161
PLAN NO. C-2878
DWG. NO. 17253/SP-1
F.B. NO.

NORWAY PLAINS ASSOCIATES, INC.

T-1



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

