

TABLE OF CONTENTS:

SHEET 1	— NEIGHBORHOOD PLAN
SHEET 2	— EXISTING CONDITIONS PLAN
SHEET 3	— SOILS PLAN
SHEET 4	— GENERAL NOTES
SHEET 5	— OVERVIEW PLAN
SHEET 6	— SITE PLAN
SHEET 7	— GRADING PLAN
SHEET 8	— RAIN GARDEN DETAILS (R101)
SHEET 9	— RAIN GARDEN DETAILS (R102)
SHEET 10	— RAIN GARDEN DETAILS (R103)
SHEET 11	— PLAN & PROFILE
SHEET 12	— UTILITY PLAN
SHEET 13	— CROSS SECTIONS
SHEET 14	— EROSION & SEDIMENT CONTROL PLAN
SHEET 15	— LANDSCAPING PLAN
SHEET 16	— LIGHTING PLAN
SHEET 17	— E101 EROSION CONTROL DETAILS
SHEET 18	— E102 EROSION CONTROL DETAILS
SHEET 19	— C101 CONSTRUCTION DETAILS
SHEET 20	— C102 CONSTRUCTION DETAILS
SHEET 21	— C103 CONSTRUCTION DETAILS
SHEET 22	— L101 LANDSCAPING DETAILS
SHEET 23	— U101 UTILITY DETAILS
SHEET 24	— U102 UTILITY DETAILS
SHEET 25-28	— SEPTIC DESIGN & CONSTRUCTION DETAILS
SHEET 29, 30, 31	— APPROVED ARCHITECTURALS

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

OWNER AND APPLICANT: ANNA FAZEKAS REVOCABLE TRUST &
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST
OF RECORD: PETER SPEAR, CWS, CSS
95 SILVER LAKE ROAD
TILTON, NH 03276
(603) 729-0214

SOILS SCIENTIST OF
RECORD: STONEY RIDGE ENVIRONMENTAL
CINDY BALCIUS, CWS, CSS
299 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 776-5825

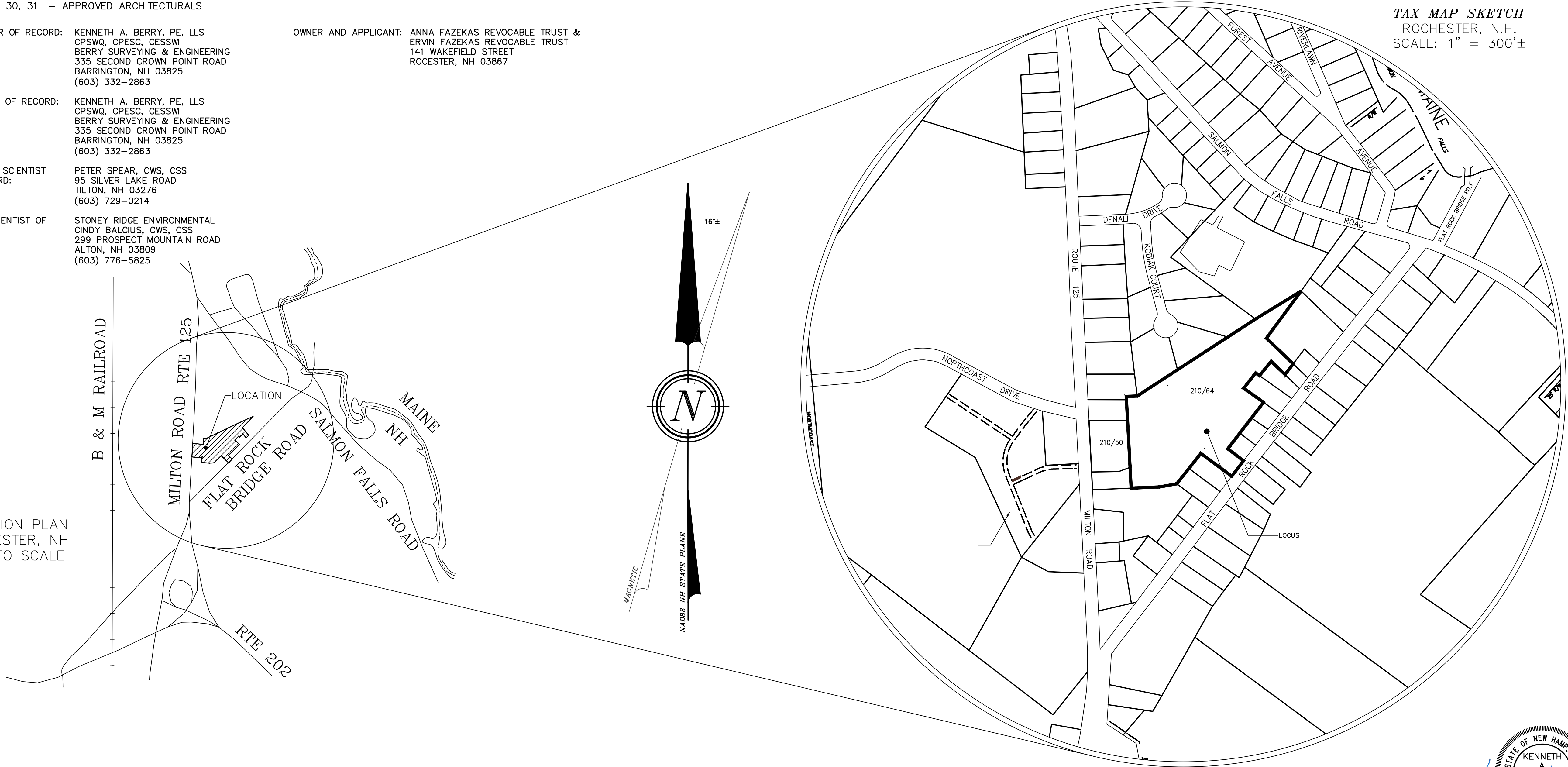
LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION &
MAINTENANCE MANUAL AS PART OF THIS PROJECT'S DOCUMENTATION.
ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL
OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO
BE DELIVERED TO THE ROCHESTER DPW AS DIRECTED IN THE MANUAL

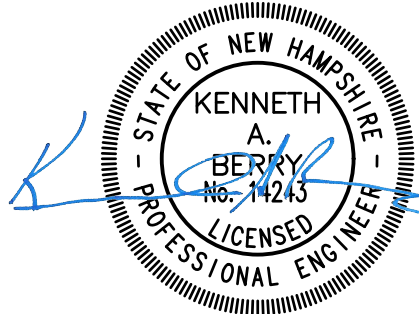
PROPOSED MAJOR SITE PLAN
FOR
ANNA FAZEKAS REVOCABLE TRUST &
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, NH
TAX MAP 210, LOT 64

TAX MAP SKETCH
ROCHESTER, N.H.
SCALE: 1" = 300'±



REQUIRED PERMITS:

- NHDES SUBSURFACE SEPTIC
- EPA/NOTICE OF INTENT (CGP)
- LOCAL CHAPTER 50



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: AS NOTED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

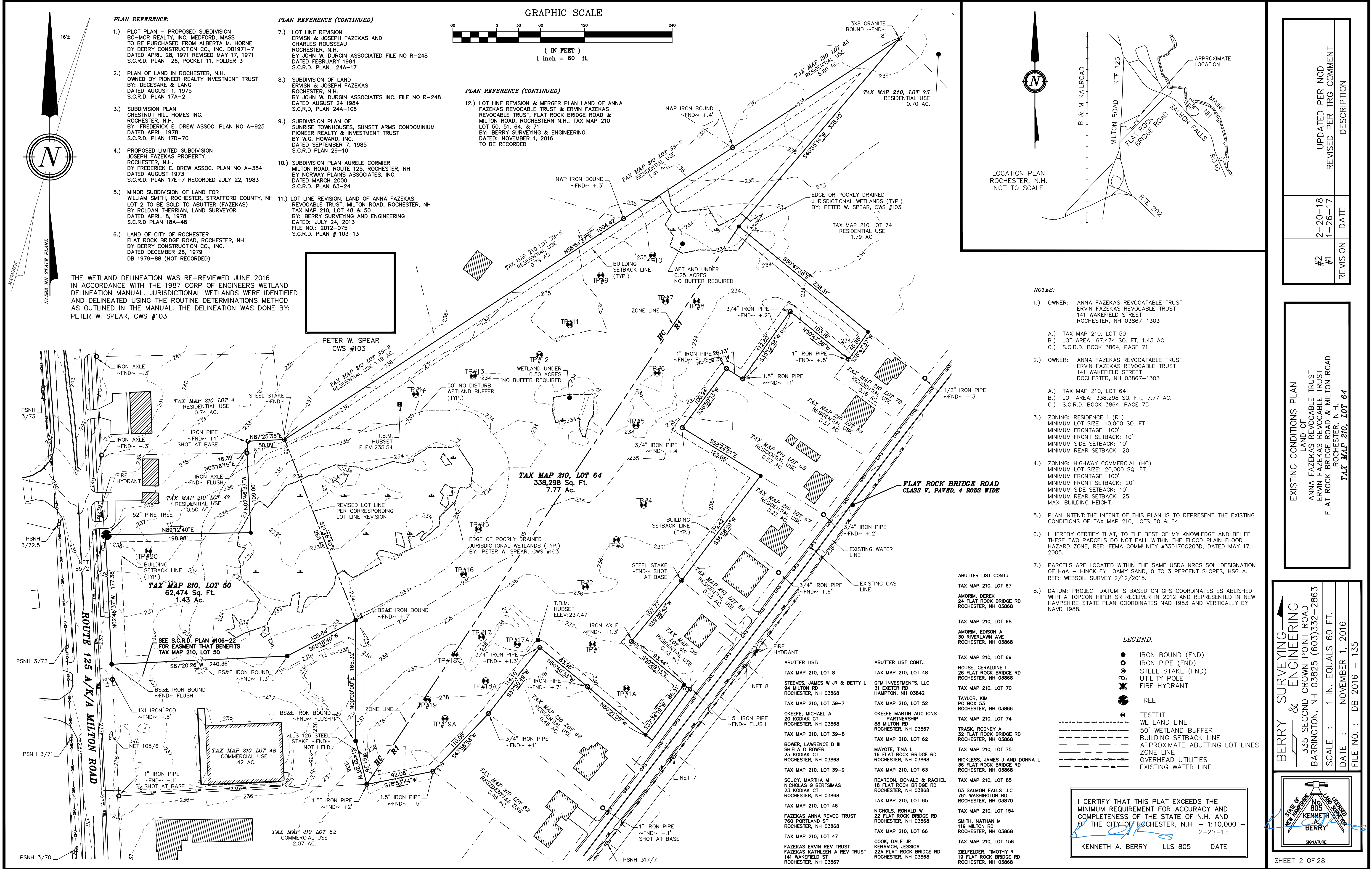
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER
No. 14245

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER
No. 14245

PROPOSED MAJOR SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

SHEET 1 OF 28

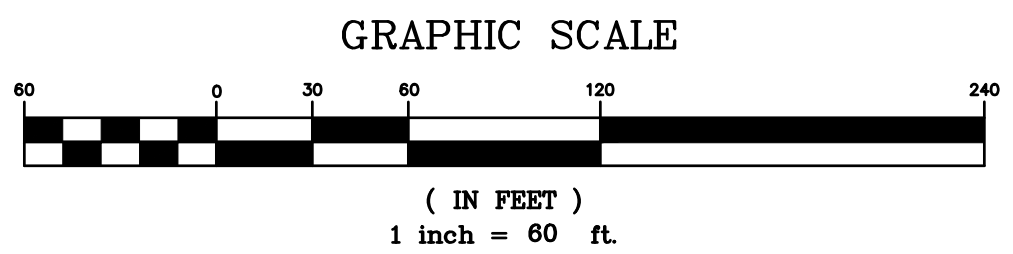


PLAN REFERENCE:

- 1.) PLOT PLAN - PROPOSED SUBDIVISION 80-MOR REALTY, INC. MEDFORD, MASS TO BE PURCHASED FROM ALBERTA M. HORNE BY BERRY CONSTRUCTION CO., INC. DB1971-7 DATED APRIL 28, 1971 REVISED MAY 17, 1971 S.C.R.D. PLAN 26, POCKET 11, FOLDER 3
- 2.) PLAN OF LAND IN ROCHESTER, N.H. OWNED BY PIONEER REALTY INVESTMENT TRUST BY: DECESARE & LANG DATED AUGUST 1, 1975 S.C.R.D. PLAN 17A-2
- 3.) SUBDIVISION PLAN CHESTNUT HILL HOMES INC. ROCHESTER, N.H. BY: FREDERICK E. DREW ASSOC. PLAN NO A-925 DATED APRIL 1978 S.C.R.D. PLAN 17D-70
- 4.) PROPOSED LIMITED SUBDIVISION JOSEPH FAZEKAS PROPERTY ROCHESTER, N.H. BY FREDERICK E. DREW ASSOC. PLAN NO A-384 DATED AUGUST 1973 S.C.R.D. PLAN 17E-7 RECORDED JULY 22, 1983
- 5.) MINOR SUBDIVISION OF LAND FOR WILLIAM SMITH, ROCHESTER, STRAFFORD COUNTY, NH LOT 2 TO BE SOLD TO ABUTTER (FAZEKAS) BY ROLDAN THERRIAN, LAND SURVEYOR DATED APRIL 8, 1978 S.C.R.D. PLAN 18A-48
- 6.) LAND OF CITY OF ROCHESTER FLAT ROCK BRIDGE ROAD, ROCHESTER, NH BY BERRY CONSTRUCTION CO., INC. DATED DECEMBER 26, 1979 DB 1979-88 (NOT RECORDED)

PLAN REFERENCE (CONTINUED)

- 7.) LOT LINE REVISION ERVIN & JOSEPH FAZEKAS AND CHARLES ROUSSEAU ROCHESTER, N.H. BY JOHN W. DURGIN ASSOCIATES INC. FILE NO R-248 DATED FEBRUARY 1984 S.C.R.D. PLAN 24A-17
- 8.) SUBDIVISION OF LAND ERVIN & JOSEPH FAZEKAS ROCHESTER, N.H. BY JOHN W. DURGIN ASSOCIATES INC. FILE NO R-248 DATED AUGUST 24 1984 S.C.R.D. PLAN 24A-106
- 9.) SUBDIVISION PLAN OF SUNRISE TOWNHOUSES, SUNSET ARMS CONDOMINIUM PIONEER REALTY & INVESTMENT TRUST BY W.G. HOWARD, INC. DATED SEPTEMBER 7, 1985 S.C.R.D. PLAN 29-10
- 10.) SUBDIVISION PLAN AURELE CORMIER MILTON ROAD, ROUTE 125, ROCHESTER, NH BY NORWAY PLAINS ASSOCIATES, INC. DATED MARCH 2000 S.C.R.D. PLAN 63-24
- 11.) LOT LINE REVISION, LAND OF ANNA FAZEKAS REVOCABLE TRUST, FLAT ROCK BRIDGE ROAD, ROCHESTER, NH TAX MAP 210, LOT 48 & 50 BY: BERRY SURVEYING AND ENGINEERING DATED: JULY 24, 2013 FILE NO.: 2012-075 S.C.R.D. PLAN # 103-13



PLAN REFERENCE (CONTINUED)

- 12.) LOT LINE REVISION & MERGER PLAN LAND OF ANNA FAZEKAS REVOCABLE TRUST & ERVIN FAZEKAS REVOCABLE TRUST, FLAT ROCK BRIDGE ROAD & MILTON ROAD, ROCHESTER, N.H., TAX MAP 210 LOT 50, 51, 64, & 71 BY: BERRY SURVEYING & ENGINEERING DATED: NOVEMBER 1, 2016 TO BE RECORDED

THE WETLAND DELINEATION WAS RE-REVIEWED JUNE 2016 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY: PETER W. SPEAR, CWS #103

NOTES:

- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST ERVIN FAZEKAS REVOCABLE TRUST 141 WAKEFIELD STREET ROCHESTER, NH 03867-1303
A.) TAX MAP 210, LOT 50
B.) LOT AREA: 67,474 SQ. FT., 1.43 AC.
C.) S.C.R.D. BOOK 3864, PAGE 71
- 2.) OWNER: ANNA FAZEKAS REVOCABLE TRUST ERVIN FAZEKAS REVOCABLE TRUST 141 WAKEFIELD STREET ROCHESTER, NH 03867-1303
A.) TAX MAP 210, LOT 64
B.) LOT AREA: 338,298 SQ. FT., 7.77 AC.
C.) S.C.R.D. BOOK 3864, PAGE 75
- 3.) ZONING: RESIDENCE 1 (R1)
MINIMUM LOT SIZE: 10,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 10'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 20'
- 4.) ZONING: HIGHWAY COMMERCIAL (HC)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 25'
MAX. BUILDING HEIGHT: 12'
- 5.) PLAN INTENT: THE INTENT OF THIS PLAN IS TO REPRESENT THE EXISTING CONDITIONS OF TAX MAP 210, LOTS 50 & 64.
- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE TWO PARCELS DO NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD ZONE, REF: FEMA COMMUNITY #33017C0203D, DATED MAY 17, 2005.
- 7.) PARCELS ARE LOCATED WITHIN THE SAME USDA NRCS SOIL DESIGNATION OF H8a - HINCKLEY LOAMY SAND, 0 TO 3 PERCENT SLOPES, HSG A. REF: WEBSOIL SURVEY 2/12/2015.
- 8.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN 2012 AND REPRESENTED IN NEW HAMPSHIRE STATE PLAN COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.

LEGEND:

- IRON BOUND (FND)
- IRON PIPE (FND)
- ⊙ STEEL STAKE (FND)
- ⊙ UTILITY POLE
- ⊙ FIRE HYDRANT
- TREE
- TESTPIT
- WETLAND LINE
- 50' WETLAND BUFFER
- BUILDING SETBACK LINE
- APPROXIMATE ABUTTING LOT LINES
- ZONE LINE
- OVERHEAD UTILITIES
- EXISTING WATER LINE

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000 - 2-27-18
KENNETH A. BERRY LLS 805 DATE

ABUTTER LIST CONT:
TAX MAP 210, LOT 67
AMORIM, DEREK
24 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 68
AMORIM, EDISON A
30 RIVERLAWN AVE
ROCHESTER, NH 03868

TAX MAP 210, LOT 69
HOUSE, GERALDINE I
28 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 70
TAYLOR, KIM
PO BOX 53
ROCHESTER, NH 03866

TAX MAP 210, LOT 74
TRASK, RODNEY A
32 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 75
NICKLESS, JAMES J AND DONNA L
36 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 85
63 SALMON FALLS LLC
78 WASHINGTON RD
ROCHESTER, NH 03870

TAX MAP 210, LOT 154
SMITH, NATHAN M
119 MILTON RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 156
ZIEFFELDER, TIMOTHY R
19 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

ABUTTER LIST:
TAX MAP 210, LOT 8
STEEVES, JAMES W JR & BETTY L
94 MILTON RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 39-7
OKEEFE, MICHAEL A
20 KODIAK CT
ROCHESTER, NH 03868

TAX MAP 210, LOT 39-8
BOWER, LAWRENCE D III
SHELIA G BOWER
25 KODIAK CT
ROCHESTER, NH 03868

TAX MAP 210, LOT 39-9
SOUICY, MARTHA M
NICHOLAS G BERTSIMAS
23 KODIAK CT
ROCHESTER, NH 03868

TAX MAP 210, LOT 46
FAZEKAS ANNA REVOC TRUST
760 PORTLAND ST
ROCHESTER, NH 03868

TAX MAP 210, LOT 47
FAZEKAS ERVIN REV TRUST
FAZEKAS KATHLEEN A REV TRUST
141 WAKEFIELD ST
ROCHESTER, NH 03867

ABUTTER LIST CONT:
TAX MAP 210, LOT 48
GTM INVESTMENTS, LLC
31 EXETER RD
HAMPTON, NH 03842

TAX MAP 210, LOT 52
OKEEFE MARTIN AUCTIONS
88 MILTON RD
ROCHESTER, NH 03867

TAX MAP 210, LOT 62
MAYOTE, TINA L
16 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 63
REARDON, DONALD & RACHEL
18 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 85
NICHOLS, RONALD W
22 FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

TAX MAP 210, LOT 86
COOK, DALE JR
KERAVICH, JESSICA
22A FLAT ROCK BRIDGE RD
ROCHESTER, NH 03868

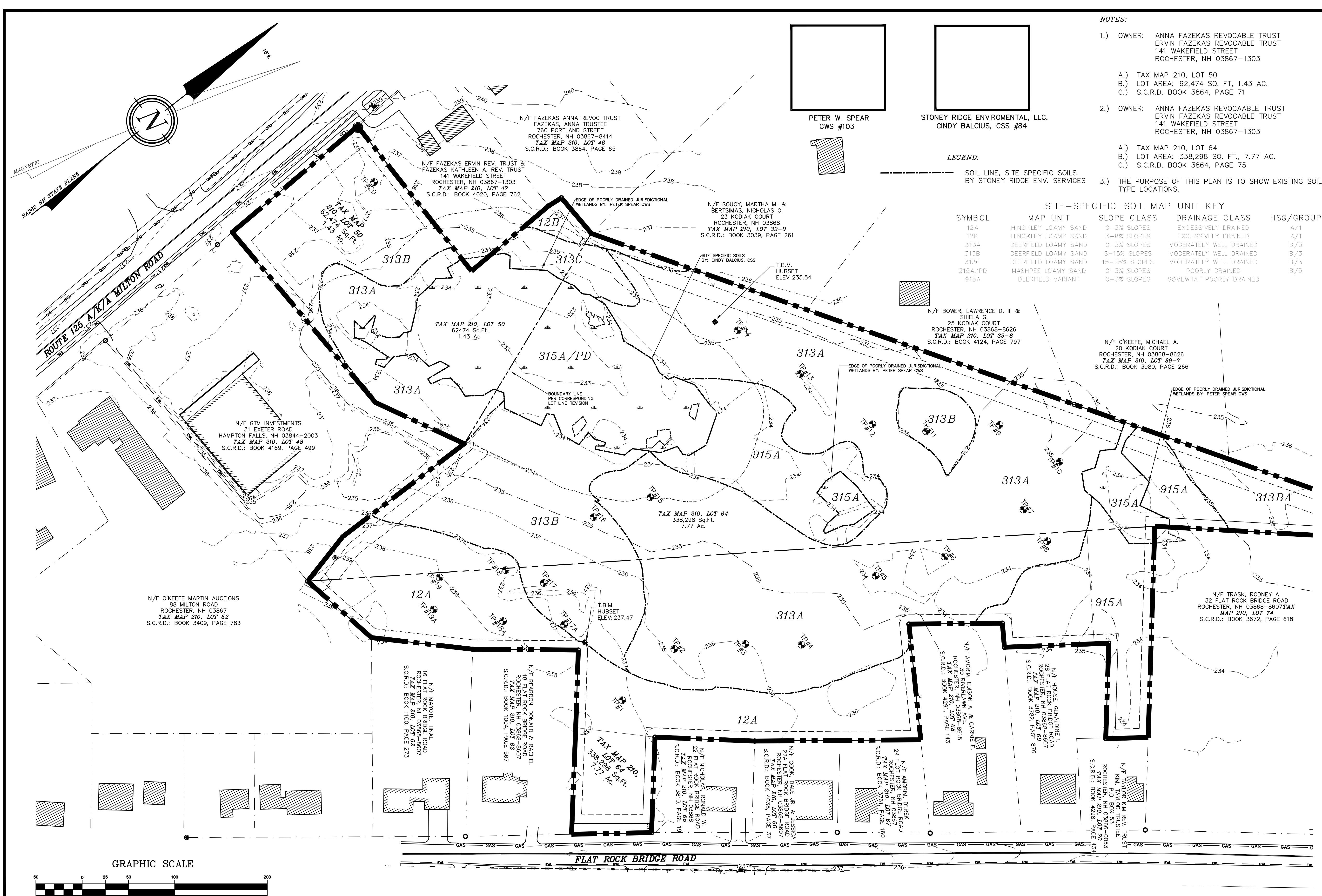
REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

EXISTING CONDITIONS PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 60 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

I, Kenneth A. Berry, LLS 805, do hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor in the State of New Hampshire.

SHEET 2 OF 28



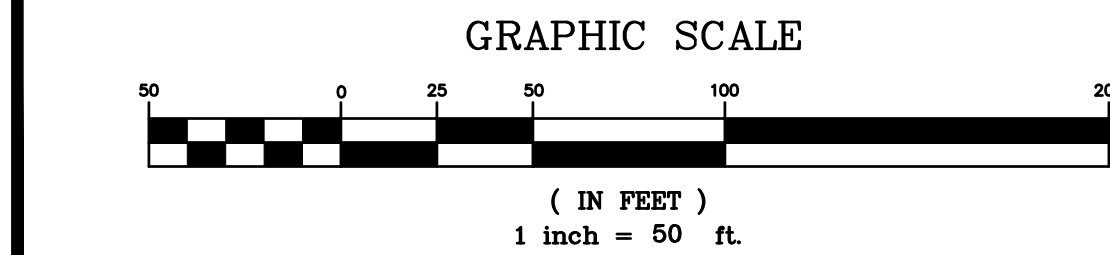
- NOTES:
- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
 - 2.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
 - 3.) THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING SOIL TYPE LOCATIONS.

LEGEND:

SOIL LINE, SITE SPECIFIC SOILS
BY STONEY RIDGE ENV. SERVICES

SITE-SPECIFIC SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HSG/GROUP
12A	HINC KLEY LOAMY SAND	0-3% SLOPES	EXCESSIVELY DRAINED	A/1
12B	HINC KLEY LOAMY SAND	3-8% SLOPES	EXCESSIVELY DRAINED	A/1
313A	DEERFIELD LOAMY SAND	0-3% SLOPES	MODERATELY WELL DRAINED	B/3
313B	DEERFIELD LOAMY SAND	8-15% SLOPES	MODERATELY WELL DRAINED	B/3
313C	DEERFIELD LOAMY SAND	15-25% SLOPES	MODERATELY WELL DRAINED	B/3
315A/PD	MASHPEE LOAMY SAND	0-3% SLOPES	POORLY DRAINED	B/5
915A	DEERFIELD VARIANT	0-3% SLOPES	SOMEWHAT POORLY DRAINED	B/5



SITE SPECIFIC SOILS MAP

LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 50 FT.

DATE : NOVEMBER 1, 2016

FILE NO. : DB 2016 - 135

STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

REGISTERED PROFESSIONAL ENGINEER

UPDATED PER NOD
REVISED PER TRG COMMENT

#2
#1

2-20-18
1-26-17

REVISION
DATE

DESCRIPTION

NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 210, LOT 64, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A RESIDENTIAL SITE PLAN WITH PROPOSED PARKING, DRAINAGE, AND UTILITIES.

2.) CURRENT OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867

3.) THE PROJECT PARCEL IS TAX MAP 210, LOT 64 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.

4.) THE SITE PLAN PROJECT IS FILED IN CONJUNCTION WITH A LOT LINE ADJUSTMENT.

5.) TITLE REFERENCE FOR THE PROJECT PARCELS ARE THE STRAFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 3864 PAGE NO. 71, AND BOOK NO. 3864, PAGE 75, RESPECTIVELY.

6.) LOT 50 IS SUBJECT TO AN EXISTING EASEMENT ADJACENT TO TAX MAP 210, LOT 48, AND SHOWN ON S.C.R.D. PLAN #106--22

7.) ZONING: RESIDENTIAL 1 (R1)
MINIMUM LOT SIZE: 10,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 10'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 20'

7A.) ZONING: HIGHWAY COMMERCIAL (HC)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 25'
MAXIMUM BUILDING HEIGHT: 35'

8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN JULY 2015 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000.

9.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.

10.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PARCELS DO NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD ZONE, REF: FEMA COMMUNITY #3301700203D, DATED MAY 17, 2005.

11.) SEE THE EXISTING CONDITIONS PLANS FOR LOCATIONS OF ON SITE WETLANDS. THESE AREAS ARE TO BE FLAGGED PRIOR TO EARTH MOVING ACTIVITIES.

12.) AS--BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT ON DISK TO THE CITY OF ROCHESTER GIS OFFICE UPON COMPLETION OF PROJECT. AS--BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E.

13.) EXTERIOR LIGHTING SHALL BE CUT--OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON--SITE ONLY.

14.) TOPOGRAPHIC SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN 2012. EXISTING TOPO PROVIDED AT 1' INTERVAL

15.) DATUM: PROJECT DATUM IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON HIPER SR RECEIVER IN 2012 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES NAD 1983 AND VERTICALLY BY NAVD 1988.

16.) THE PROPOSED STRUCTURE WILL BE SERVED BY A SPRINKLER SYSTEM AS REQUIRED UNDER THE CODE OF THE CITY OF ROCHESTER AND THE 2009 STATE BUILDING CODES, AS APPLICABLE.

17.) FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13, AS APPLICABLE.

18.) A SECURITY SYSTEM MAY NEED TO BE INSTALLED AS MAY REQUIRED BY THE CODE OF THE CITY OF ROCHESTER, AS APPLICABLE.

19.) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.

20.) CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.

21.) ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS.

22.) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436--7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48--HOUR MINIMUM NOTICE IS REQUIRED.

23.) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FAIRPOINT COMMUNICATIONS AT (603) 427--5525.

24.) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH METROCAST.

25.) ALL NEW ON--SITE UTILITIES SHALL BE INSTALLED UNDERGROUND, WITH THE EXCEPTION OF ONE DROP POLE (WAIVER REQUEST.)

26.) SUBJECT PARCEL IS TO BE SERVICED BY MUNICIPAL WATER AND ON SITE EFFLUENT DISPOSAL.

27.) TESTABLE BACKFLOW PREVENTORS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.

28.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.

29.) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

30.) PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEERS SPECIFIC RECOMMENDED CRITERIA.

31.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.

32.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.

33.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.

34.) THERE IS ONE EMERGENCY OVERFLOW DROP INLET TO HAVE A REXUS GRATE.

35.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION. FILTREXX SOXX IS PREFERRED OVER THE USE OF SILT FENCE. FENCING IS TO BE USED ON SITE ONLY AS REQ. AND DIRECTED BY THE SWPPP INSPECTOR.

36.) SEE SEDIMENT AND EROSION CONTROL PLANS

37.) ALL DRAINAGE PIPE IS TO BE HDPE N--12. INDIVIDUAL PIPE SIZES ARE SPECIFIED. RECYCLED PIPE IS APPROVED FOR PROJECT SITE. RECYCLED "GREEN" PIPE IS ACCEPTABLE FOR THIS PROJECT.

38.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.

39.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORM WATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.

40.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.

41.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED

42.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS

43.) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK, AS APPLICABLE.

44.) ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE SOD BOTTOMS.

45.) A LETTER OF CREDIT FOR THE COST OF RE--VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS, AS MAY BE APPLICABLE.

46.) A PRE--CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, THE PLANNING DIRECTOR OR DESIGNEE, AND THE CITY ENGINEER OR DESIGNEE SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

47.) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE ASSESSING DEPARTMENT AND ARE TO BE SHOWN ON THE SITE PLAN.

48.) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
EPA NOTICE OF INTENT --
NHDES SUBSURFACE DISPOSAL --

49.) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE: NONE

50.) THIS SITE PLAN PROPOSES 95,000 SQ. FT. OF DISTURBANCE.

51.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1--888--344--7233)

52.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

53.) SNOW IS TO BE MOVED OFF--SITE ONCE SNOW STORAGE AREAS ARE FULL.

54.) PERFORMANCE GUARANTEE: THE APPLICANT, PRIOR TO ISSUANCE OF A BUILDING PERMIT OR BEGINNING SITE WORK, SHALL PROVIDE SITE IMPROVEMENT AND RESTORATION SECURITY. THE PERFORMANCE GUARANTEE SHALL BE AN AMOUNT EQUAL TO 10% OF THE APPROVED CONSTRUCTION COST ESTIMATE (INCLUDING A 10% CONTINGENCY) TO ENSURE THE PROPER AND TIMELY COMPLETION OF THE SITE WORK AND SITE RESTORATION WITHIN THE DEVELOPMENT. BEFORE THE SITE PLAN CAN BE RECORDED, LOTS DEEDED TO THIRD PARTIES, OR STRUCTURE OCCUPIED, THE APPLICANT SHALL PROVIDE A COST ESTIMATE OF REMAINING SITE WORK, INCLUDING LABOR, AND PROVIDE THE CITY WITH A SECURITY EQUAL TO 110% OF THE ESTIMATED COST FOR REMAINING SITE WORK. (ANY EXISTING SURETY BEING HELD AT THIS TIME MAY BE CONSIDERED TOWARD THIS AMOUNT.) THIS AMOUNT SHALL INCLUDE PREPARATION OF AS--BUILT PLANS. CONSTRUCTION COST ESTIMATE FOR THIS PROJECT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. ESTIMATE SHALL BE BASED ON DEPARTMENT OF PUBLIC WORKS CONSTRUCTION SURETY SCHEDULE AND SHALL INCLUDE A 10% CONTINGENCY. COSTS FOR ITEMS NOT SPECIFICALLY ADDRESSED IN THE SURETY SCHEDULE WILL BE BASED ON 1) CITY STANDARDS; 2) NHDOT WEIGHTED AVERAGES, 3) INDUSTRY STANDARDS, OR 4) CONTRACTOR ESTIMATES.

55.) FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, NH 03867. (603) 335--1338.

56.) THE PROPOSED PROJECT IS TO DEVELOP 16 TOWNHOUSE STYLE UNITS OF TWO BEDROOMS EACH. SINGLE CAR GARAGES AND WITH PARKING IS PROPOSED AT EACH UNIT, WITH VISITOR PARKING PROPOSED.

57.) A MASTER WATER METER WILL BE INSTALLED AT THE ENTRANCE TO THIS PROJECT. COORDINATE WITH DPW & ASSISTANT CITY ENGINEER 603--335--7575

58.) THE INTERSECTION OF FLAT ROCK BRIDGE ROAD AND SALMON FALLS ROAD IS LACKING APPROPRIATE PAVEMENT MARKINGS. THE APPLICANT IS TO PROVIDE AN AMOUNT TO AS DETERMINED BY DEPARTMENT OF PUBLIC WORKS (NOT TO EXCEED \$1,000) FOR PAVEMENT STRIPING/STREET SIGNAGE AT THE INTERSECTION OF FLAT ROCK BRIDGE ROAD AND SALMON FALLS ROAD

#2 #1	2--20--18 1--26--17	UPDATED PER NOD REVISED PER TRG COMMENT
	REVISION	DATE DESCRIPTION

GENERAL NOTES	LAND OF ANNA FAZEKAS REVOCABLE TRUST ERVIN FAZEKAS REVOCABLE TRUST FLAT ROCK BRIDGE ROAD & MILTON ROAD ROCHESTER, N.H. TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332--2863

SCALE : NONE

DATE : NOVEMBER 1, 2016

FILE NO. : DB 2016 -- 135

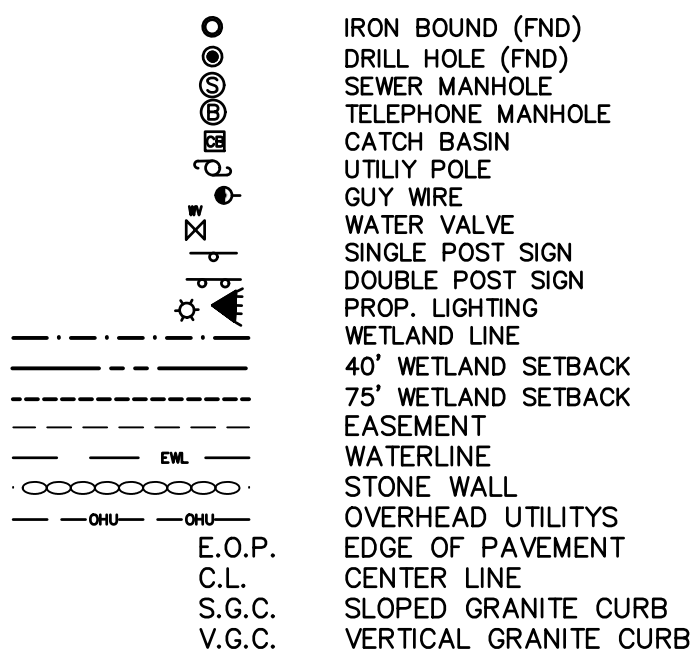
STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

No. 14213

PROFESSIONAL ENGINEER

LEGEND:



NOTES:

- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
- 2.) ROCHESTER TAX MAP 210, LOT 64
- 3.) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE OVERALL SITE AND PROPOSED SITE FEATURES FOR THE PROPOSED 16 UNIT TOWNHOUSE STYLE DEVELOPMENT OFF FROM A PROPOSED PRIVATE ROAD TO BE KNOWN AS OLDENBURG DRIVE.

ADDRESSES:

UNIT #16 IS 1 OLDENBURG DRIVE
UNIT #15 IS 3 OLDENBURG DRIVE
UNIT #14 IS 5 OLDENBURG DRIVE
UNIT #13 IS 7 OLDENBURG DRIVE
UNIT #12 IS 9 OLDENBURG DRIVE
UNIT #11 IS 11 OLDENBURG DRIVE
UNIT #10 IS 13 OLDENBURG DRIVE
UNIT #9 IS 15 OLDENBURG DRIVE
UNIT #8 IS 17 OLDENBURG DRIVE
UNIT #7 IS 19 OLDENBURG DRIVE
UNIT #6 IS 21 OLDENBURG DRIVE
UNIT #5 IS 23 OLDENBURG DRIVE
UNIT #4 IS 25 OLDENBURG DRIVE
UNIT #3 IS 27 OLDENBURG DRIVE
UNIT #2 IS 29 OLDENBURG DRIVE
UNIT #1 IS 31 OLDENBURG DRIVE

N/F O'KEEFE, MICHAEL A.
20 KODIAK COURT
ROCHESTER, NH 03868-8626
TAX MAP 210, LOT 39-7
S.C.R.D.: BOOK 3980, PAGE 266

N/F BOWER, LAWRENCE D. III &
SHIELA G.
25 KODIAK COURT
ROCHESTER, NH 03868-8626
TAX MAP 210, LOT 39-8
S.C.R.D.: BOOK 4124, PAGE 797

N/F SOUCY, MARTHA M. &
BERTSIMAS, NICHOLAS G.
23 KODIAK COURT
ROCHESTER, NH 03868
TAX MAP 210, LOT 39-9
S.C.R.D.: BOOK 3039, PAGE 261

N/F FAZEKAS ANNA REVOC. TRUST
FAZEKAS, ANNA TRUSTEE
760 PORTLAND STREET
ROCHESTER, NH 03867-8414
TAX MAP 210, LOT 46
S.C.R.D.: BOOK 3864, PAGE 65

N/F FAZEKAS ERVIN REV. TRUST &
FAZEKAS KATHLEEN A. REV. TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
TAX MAP 210, LOT 47
S.C.R.D.: BOOK 4020, PAGE 762

TAX MAP 210, LOT 50
62,474 Sq.Ft.
1.43 Ac.

N/F GTM INVESTMENTS
31 EXETER ROAD
HAMPTON FALLS, NH 03844-2003
TAX MAP 210, LOT 48
S.C.R.D.: BOOK 4169, PAGE 499

N/F O'KEEFE, MARTIN AUCTIONS
88 MILTON ROAD
ROCHESTER, NH 03867
TAX MAP 210, LOT 52
S.C.R.D.: BOOK 3409, PAGE 783

TAX MAP 210, LOT 64
338,298 Sq.Ft.
7.77 Ac.

WETLAND UNDER
0.50 ACRES
NO BUFFER REQUIRED

WETLAND UNDER
0.50 ACRES
NO BUFFER REQUIRED

N/F TRASK, RODNEY A.
32 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 74
S.C.R.D.: BOOK 3672, PAGE 618

N/F HOUSE, GERARDINE I.
28 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 69
S.C.R.D.: BOOK 3762, PAGE 876

N/F TAYLOR, KIM REV. TRUST
KIM, P.O. BOX 53
ROCHESTER, NH 03868-0053
TAX MAP 210, LOT 70
S.C.R.D.: BOOK 4296, PAGE 434

N/F AMORIM, EDSON A. & CARIE E.
30 RIVERLAND ROAD
ROCHESTER, NH 03868-8818
TAX MAP 210, LOT 67
S.C.R.D.: BOOK 4291, PAGE 143

N/F AMORIM, DEREK
24 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 66
S.C.R.D.: BOOK 3761, PAGE 160

N/F COOK, DALE JR. & JESSICA
22 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 65
S.C.R.D.: BOOK 3810, PAGE 19

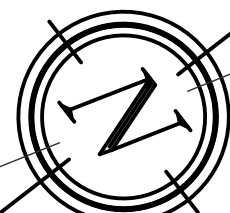
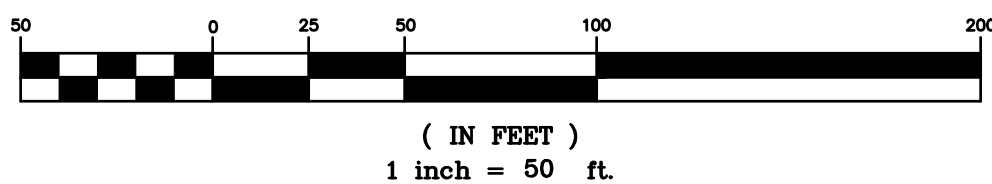
N/F REARDON, DONALD & RACHEL
18 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 62
S.C.R.D.: BOOK 1004, PAGE 667

N/F MAYOTE, TINA L.
16 FLAT ROCK BRIDGE ROAD
ROCHESTER, NH 03868-8607
TAX MAP 210, LOT 62
S.C.R.D.: BOOK 1100, PAGE 273

NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE PROPOSED CONDITIONS OF TAX MAP 210, LOT 64, AND DETAILS FOR THE PROPOSED CONSTRUCTION OF A RESIDENTIAL SITE PLAN WITH PROPOSED PARKING, DRAINAGE, AND UTILITIES.
- 2.) CURRENT OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867
- 3.) THE PROJECT PARCEL IS MAP 210, LOT 64 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4.) TITLE REFERENCE FOR THE PROJECT PARCELS ARE THE STRAFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 3864 PAGE NO. 71, AND BOOK NO. 3864, PAGE 75, RESPECTIVELY.
- 5.) ZONING: RESIDENTIAL 1 (R1)
MINIMUM LOT SIZE: 10,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 10'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 20'
- 6.) ZONING: HIGHWAY COMMERCIAL (HC)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM FRONTAGE: 100'
MINIMUM FRONT SETBACK: 20'
MINIMUM SIDE SETBACK: 10'
MINIMUM REAR SETBACK: 25'
- 7.) UNIT DENSITY: 1 UNIT ON 20,000 Sq.Ft.
1 UNIT FOR EVERY 10,000 Sq.Ft. WITH WATER AND ON SITE EFFLUENT DISPOSAL.
7.77 ACRES OF LAND WITH NO VERY POORLY DRAINED SOILS OR SURFACE WATERS
(338,298 Sq.Ft.)
20,000 Sq.Ft. = FIRST UNIT (1)
318,298 Sq.Ft. / 10,000 Sq.Ft. PER UNIT = 31.82 UNITS
TOTAL UNITS PERMITTED = 31
TOTAL UNITS PROPOSED = 16 UNITS PROPOSED

GRAPHIC SCALE

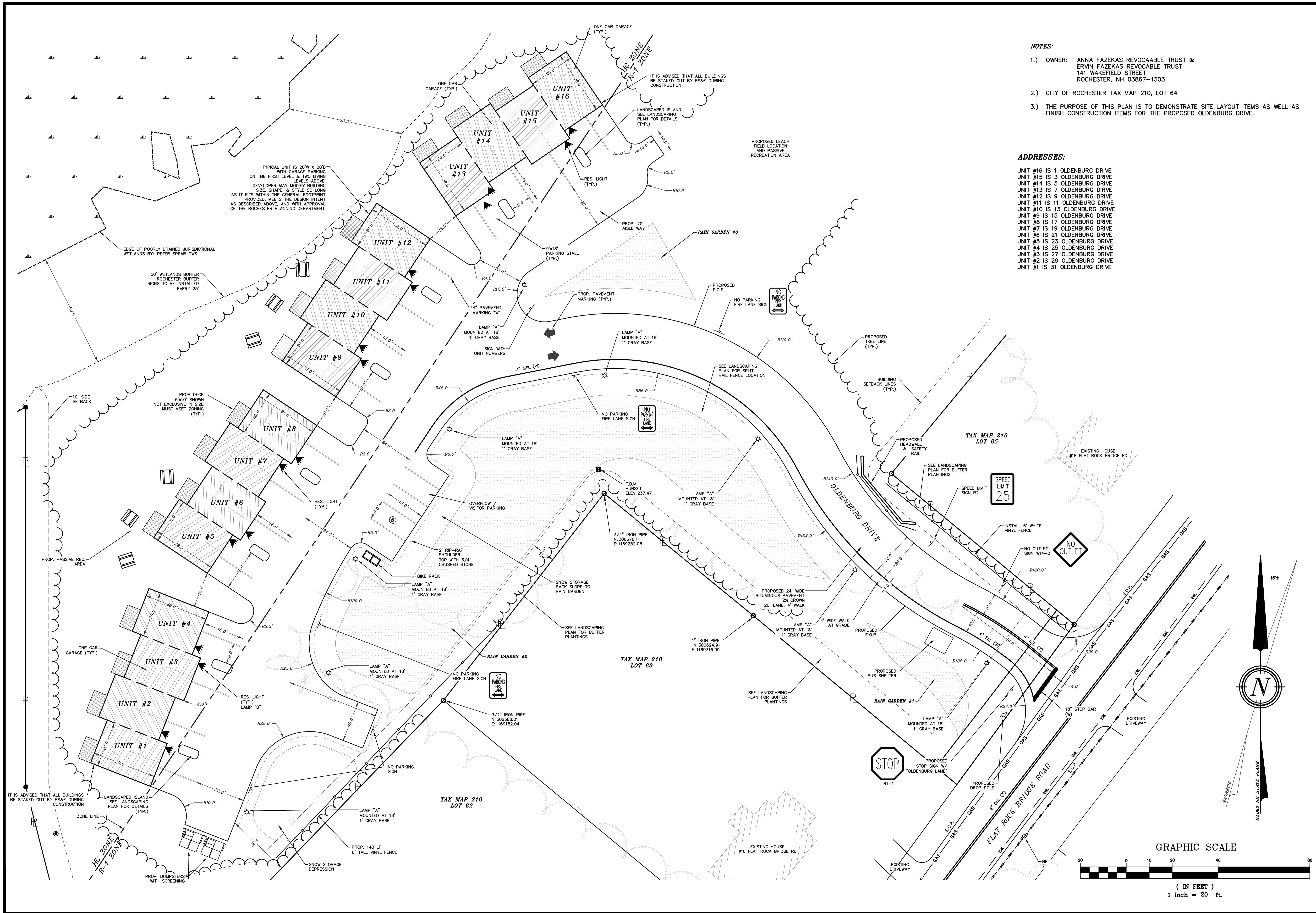


				UPDATED PER NOD REVISED PER TRG COMMENT	
REVISION	#2 #1	DATE	2-20-18 1-26-17	DESCRIPTION	

OVERVIEW SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 50 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER
No. 19443



- NOTES:**
- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST & ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
 - 2.) CITY OF ROCHESTER TAX MAP 210, LOT 64
 - 3.) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE SITE LAYOUT ITEMS AS WELL AS FINISH CONSTRUCTION ITEMS FOR THE PROPOSED OLDENBURG DRIVE.

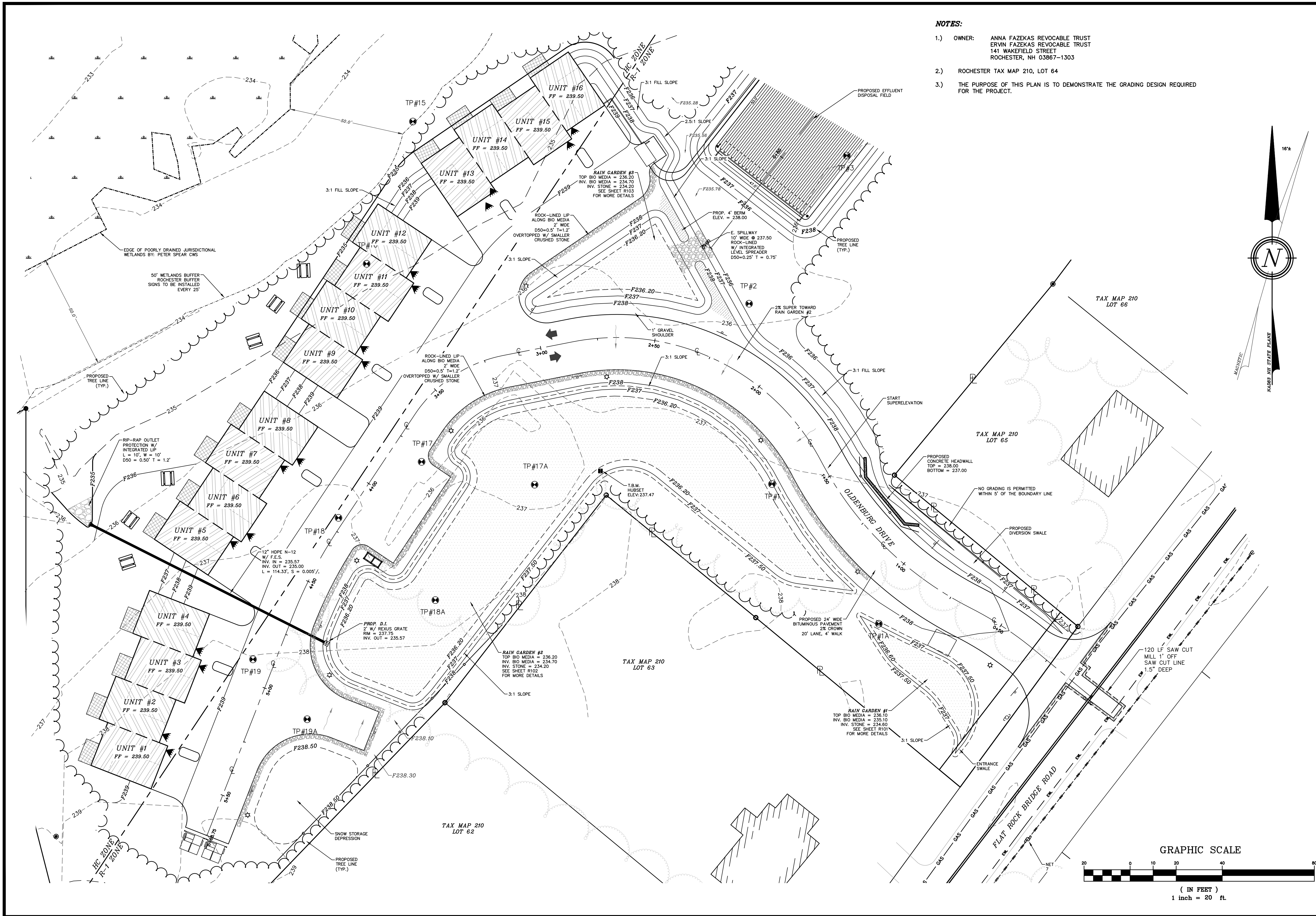
- ADDRESSES:**
- UNIT #16 IS 1 OLDENBURG DRIVE
 - UNIT #15 IS 3 OLDENBURG DRIVE
 - UNIT #14 IS 5 OLDENBURG DRIVE
 - UNIT #13 IS 7 OLDENBURG DRIVE
 - UNIT #12 IS 9 OLDENBURG DRIVE
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 - UNIT #3 IS 27 OLDENBURG DRIVE
 - UNIT #2 IS 29 OLDENBURG DRIVE
 - UNIT #1 IS 31 OLDENBURG DRIVE

		UPDATED PER NOD REVISED PER TRG COMMENT	
#2	2-20-18	DATE	DESCRIPTION
#1	1-26-17		

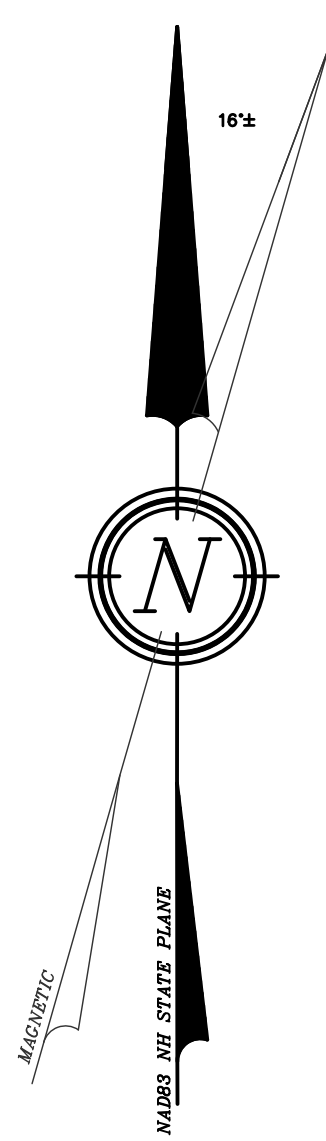
PROPOSED SITE PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER



- NOTES:**
- 1) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
 - 2) ROCHESTER TAX MAP 210, LOT 64
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE GRADING DESIGN REQUIRED FOR THE PROJECT.



REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

PROPOSED GRADING PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 1424
LICENSED PROFESSIONAL ENGINEER

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 -10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT NHDOT STANDARD SPECIFICATIONS

NOTES

1. WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
2. SOIL FILTER MEDIA SHALL BE AS SHOWN ABOVE.
3. NO COMPACTION OF RAIN GARDEN SOILS IS TO OCCUR DURING CONSTRUCTION.

MAINTENANCE REQUIREMENTS

1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

1. UNH STORMWATER CENTER
2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

TREES AND SHRUBS

Sym	Qty	Botanical Name / Common Name	Root	Size
A	10	Cornus sericea 'Isanti' / Isanti Dogwood	Cont.	2-3' Ht.
B	11	Fotherfilla gardenii / Dwarf Fotherfilla	Cont.	5 Gal.
C	10	Ilex glabra 'Nordic' / Nordic Inkberry	Cont.	2'-2 1/2' Ht.

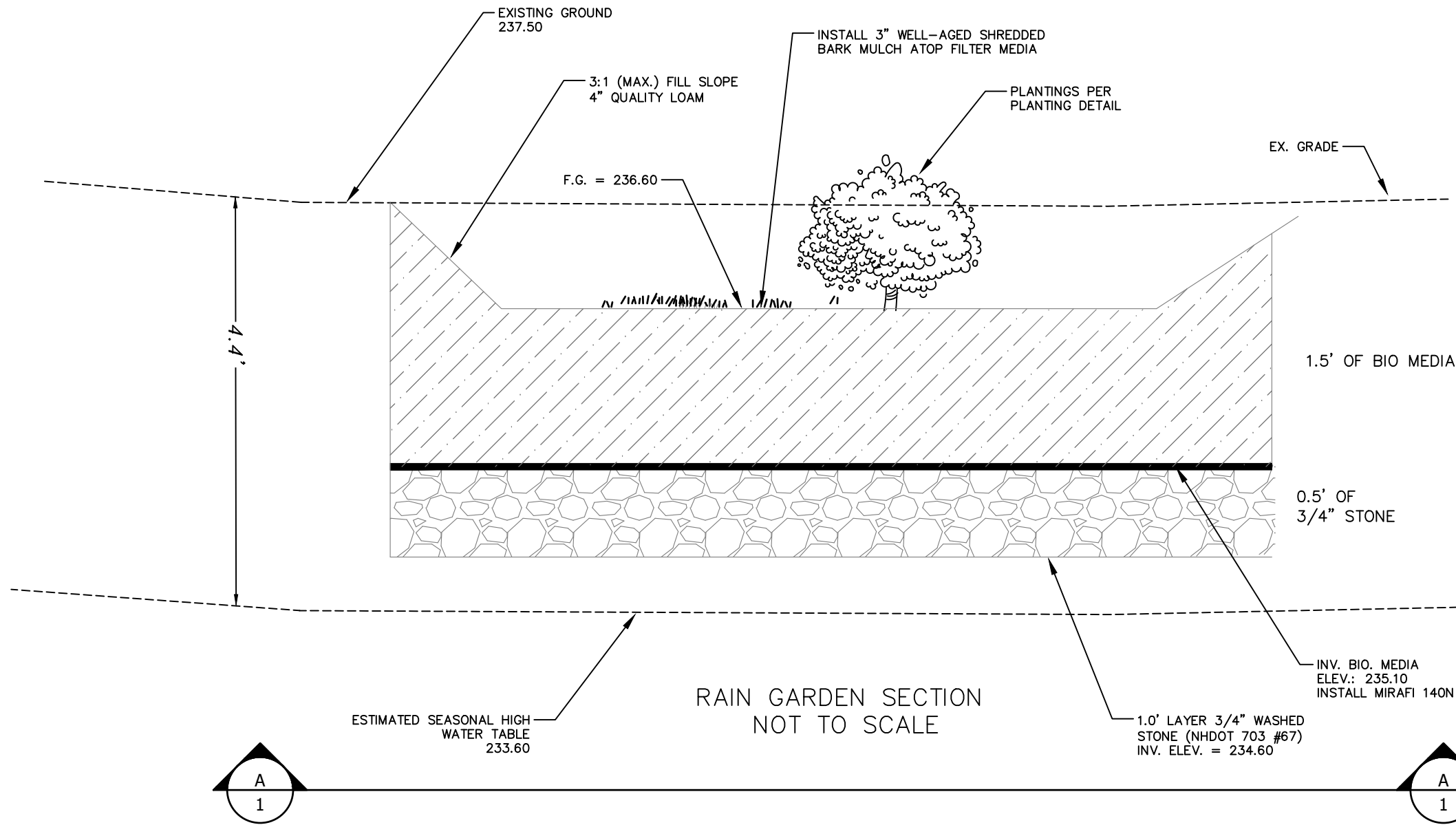
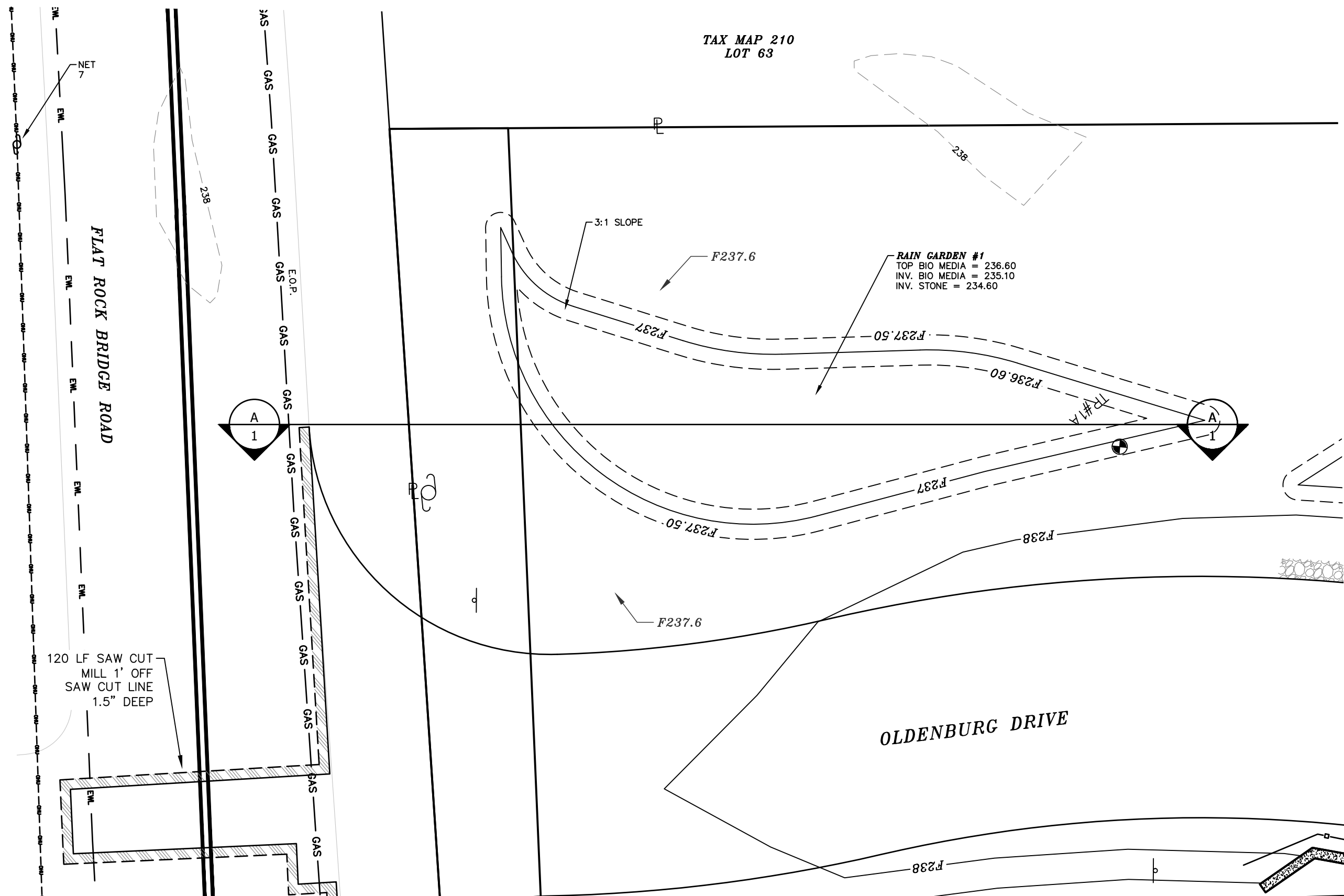
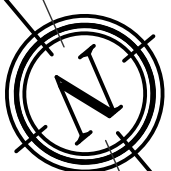
PERENNIALS & GROUND COVERS

Sym	Qty	Botanical Name / Common Name	Root	Size	Remark
A1	200	Aster puniceus / Swamp Aster	Plug	Flat	24" OC
		Carex scoparia / Broom Sedge	Plug	Flat	
		Iris versicolor / Blue Flag Iris	Plug	Flat	
		Lobelia cardinalis / Cardinal Flower	Plug	Flat	
		Liatris spicata / Blazing Star	Plug	Flat	
B1	0	Juncus effusus / Common Rush	Plug	2-1/2"	18" OC
C1	0	Rudbeckia fulgida / Black-Eyed Susan	Cont.	2 Qt.	18" OC

GRAPHIC SCALE

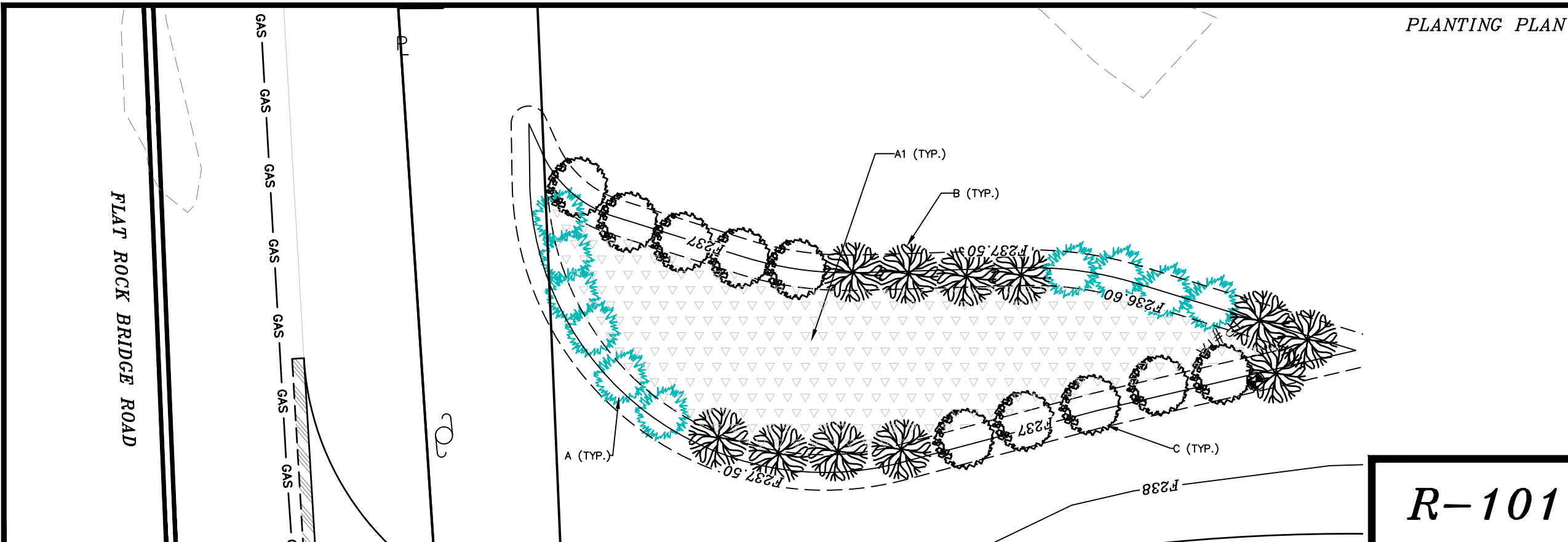


(IN FEET)
1 inch = 10 ft.



LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK BY CALLING DIG SAFE.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS. VARIATIONS IN QUANTITIES ARE TO BE APPROVED BY THE DESIGN ENGINEER.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE ENGINEER. MODIFICATIONS ARE TO BE APPROVED BY THE DESIGN ENGINEER.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE ENGINEER. ALL FINAL GRADES SHALL BE PER THE GRADING AND DRAINAGE PLANS AND ROADWAY PROFILES. 95% UPSTREAM STABILIZATION MUST BE MET PRIOR TO PLANTING, OR OTHER SILTATION CONTROLS WILL BE REQUIRED AS DEEMED APPROPRIATE BY THE DESIGN ENGINEER.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF INSTALLATION. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE OWNER IN WRITING OR OTHERWISE FORFEIT HIS CLAIM.
12. FINAL ACCEPTANCE BY THE ENGINEER WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, THAT HAS LOST ITS NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR IS, IN THE OPINION OF THE OWNER, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL RAINGARDEN SIDE SLOPES TO BE GRASS COMMON TO REGION.
15. FOR ANY LANDSCAPE AREA, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR RAINGARDEN RIVER STONE AS DEPICTED ON PLANS.



R-101

#2	#1	REVISION	DATE	DESCRIPTION
			2-20-18 1-26-17	UPDATED PER NOD REVISED PER TRG COMMENT

RAIN GARDEN #1
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 10 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 -10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT NHDOT STANDARD SPECIFICATIONS

TREES AND SHRUBS

Sym	Qty	Botanical Name / Common Name	Root	Size
A	17	Cornus sericea 'Isanti' / Isanti Dogwood	Cont.	2-3' Ht.
B	17	Fothergilla gardenii / Dwarf Fothergilla	Cont.	5 Gal.
C	17	Ilex glabra 'Nordic' / Nordic Inkberry	Cont.	2'-2 1/2' Ht.

PERENNIALS & GROUND COVERS

Sym	Qty	Botanical Name / Common Name	Root	Size	Remark
A1	650	Aster puniceus / Swamp Aster	Plug	Flat	24" OC
		Carex scoparia / Broom Sedge	Plug	Flat	
		Iris versicolor / Blue Flag Iris	Plug	Flat	
		Lobelia cardinalis / Cardinal Flower	Plug	Flat	
		Liatris spicata / Blazing Star	Plug	Flat	
B1	1,292	Juncus effusus / Common Rush	Plug	2-1/2"	18" OC
C1	1,292	Rudbeckia fulgida / Black-Eyed Susan	Cont.	2 Qt.	18" OC

NOTES

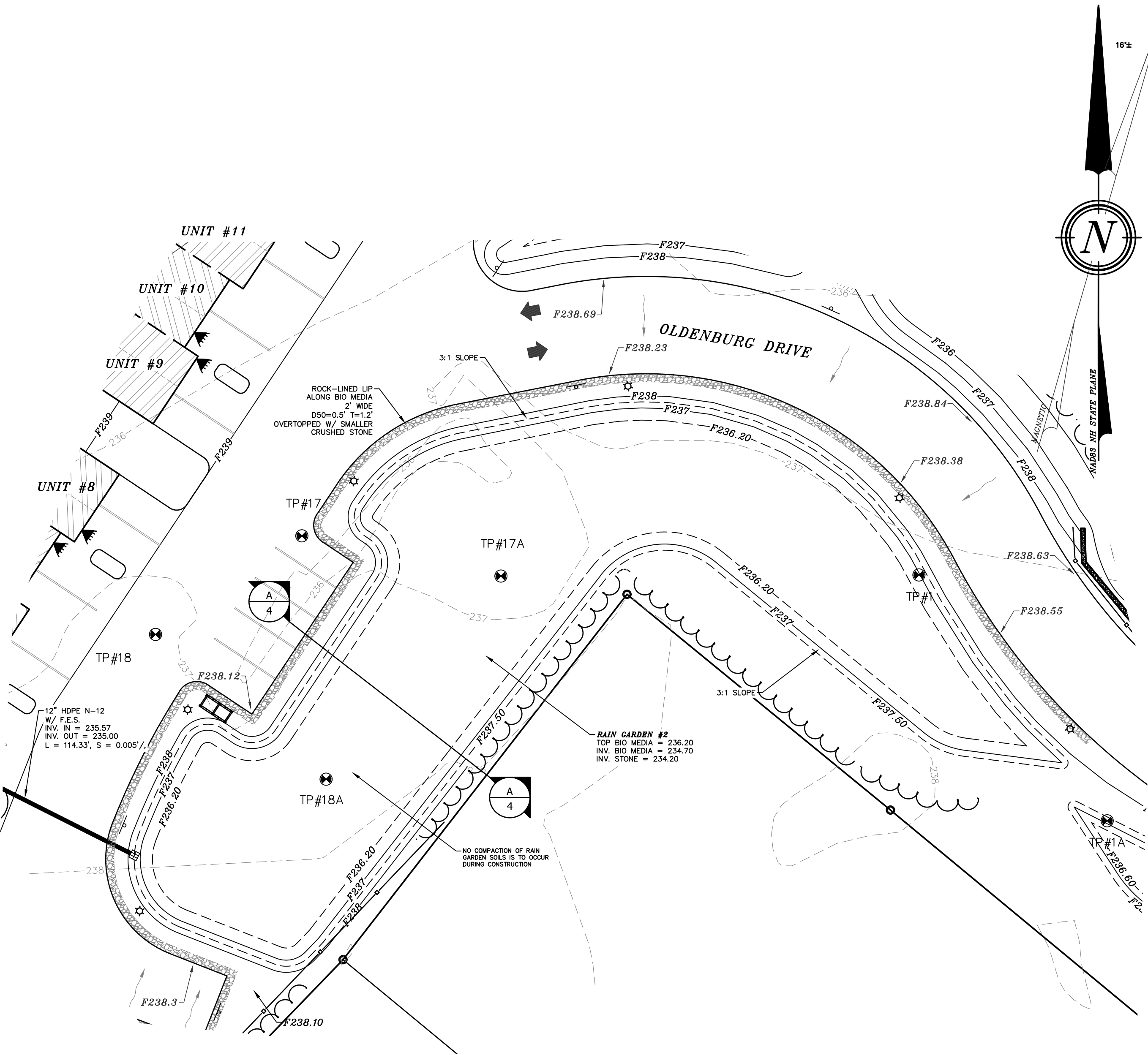
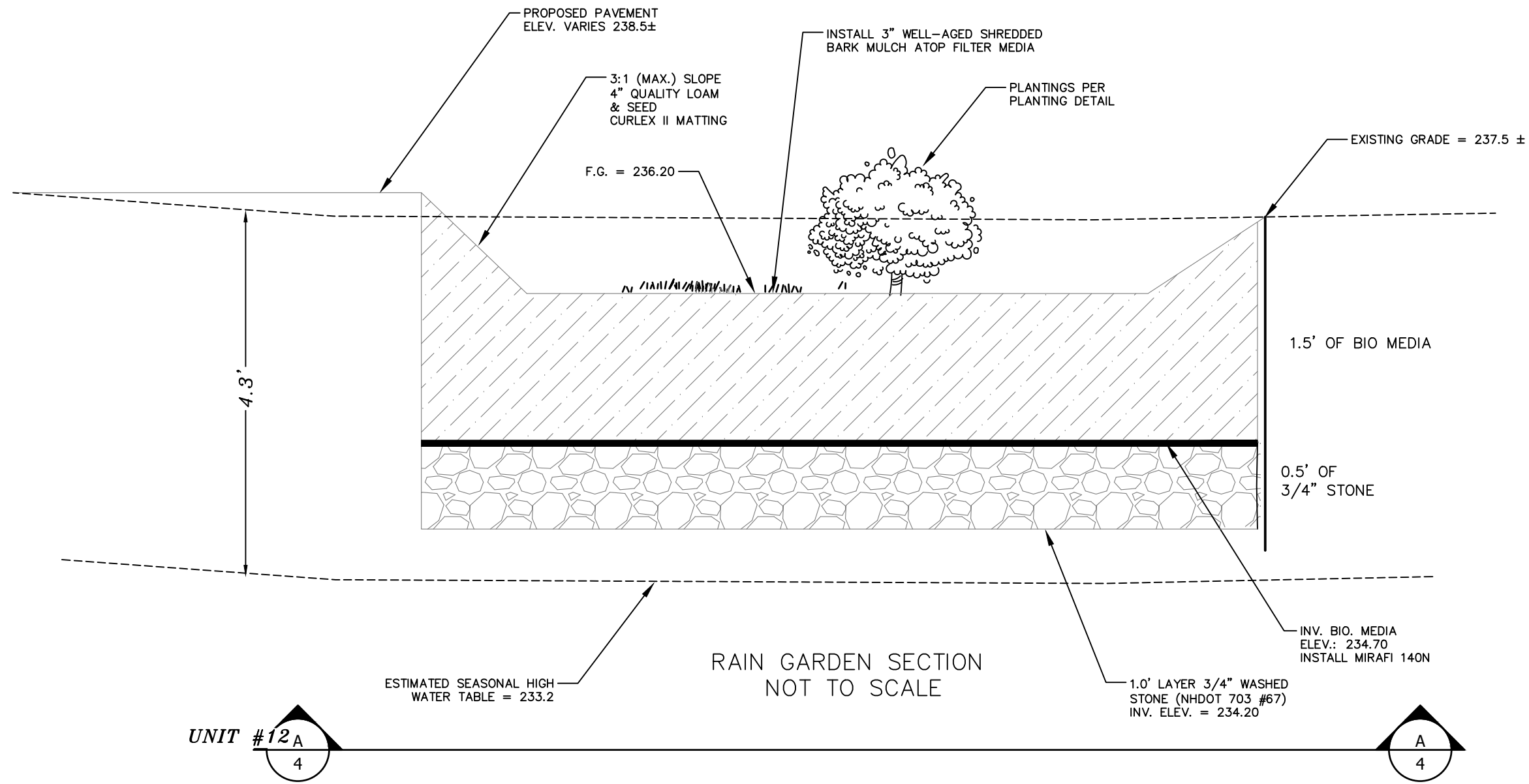
1. WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
2. SOIL FILTER MEDIA SHALL BE AS SHOWN ABOVE.
3. NO COMPACTION OF RAIN GARDEN SOILS IS TO OCCUR DURING CONSTRUCTION.

MAINTENANCE REQUIREMENTS

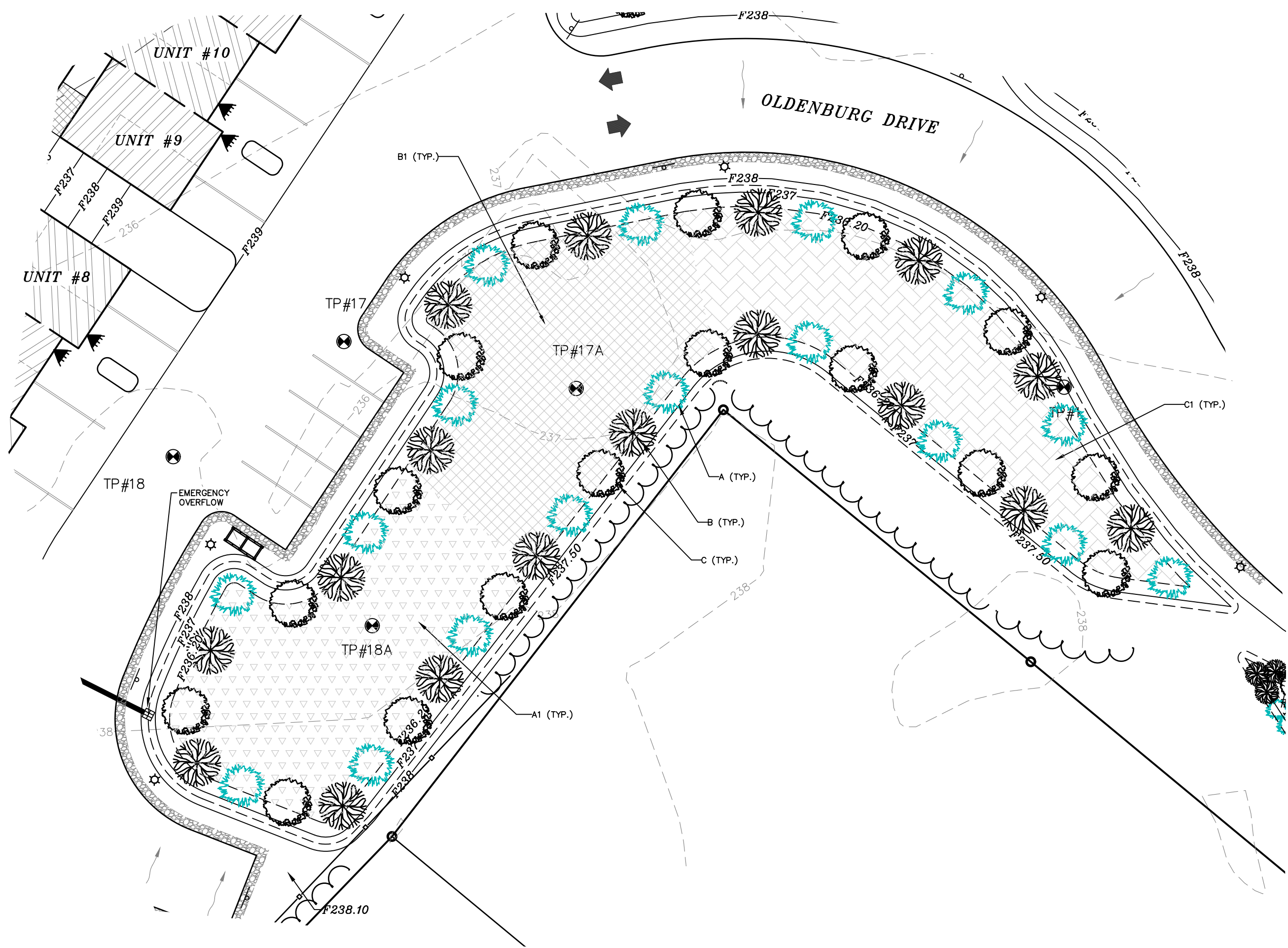
1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

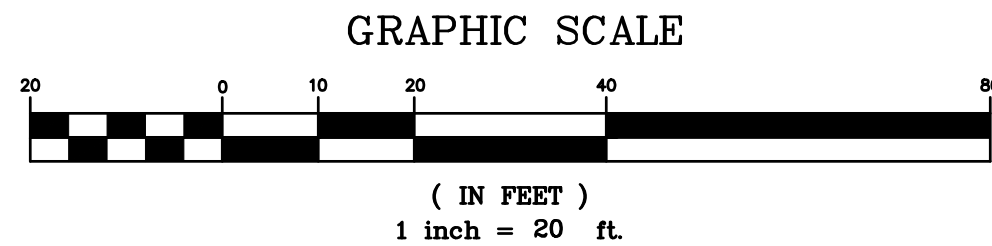
1. UNH STORMWATER CENTER
2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.



GRADING PLAN



PLANTING PLAN



RAIN GARDEN #2 PLAN

R-102

#2	REVISION	DATE	DESCRIPTION
#1	2-20-18	1-26-17	UPDATED PER NOD REVISED PER TRG COMMENT

RAIN GARDEN #2
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
No. 1241
LICENSED PROFESSIONAL ENGINEER

SHEET 9 OF 28

FILTER MEDIA MIXTURES			
Component Material	Percent of Mixture by Volume	Gradation of material	
		Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 -10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT NHDOT STANDARD SPECIFICATIONS

NOTES

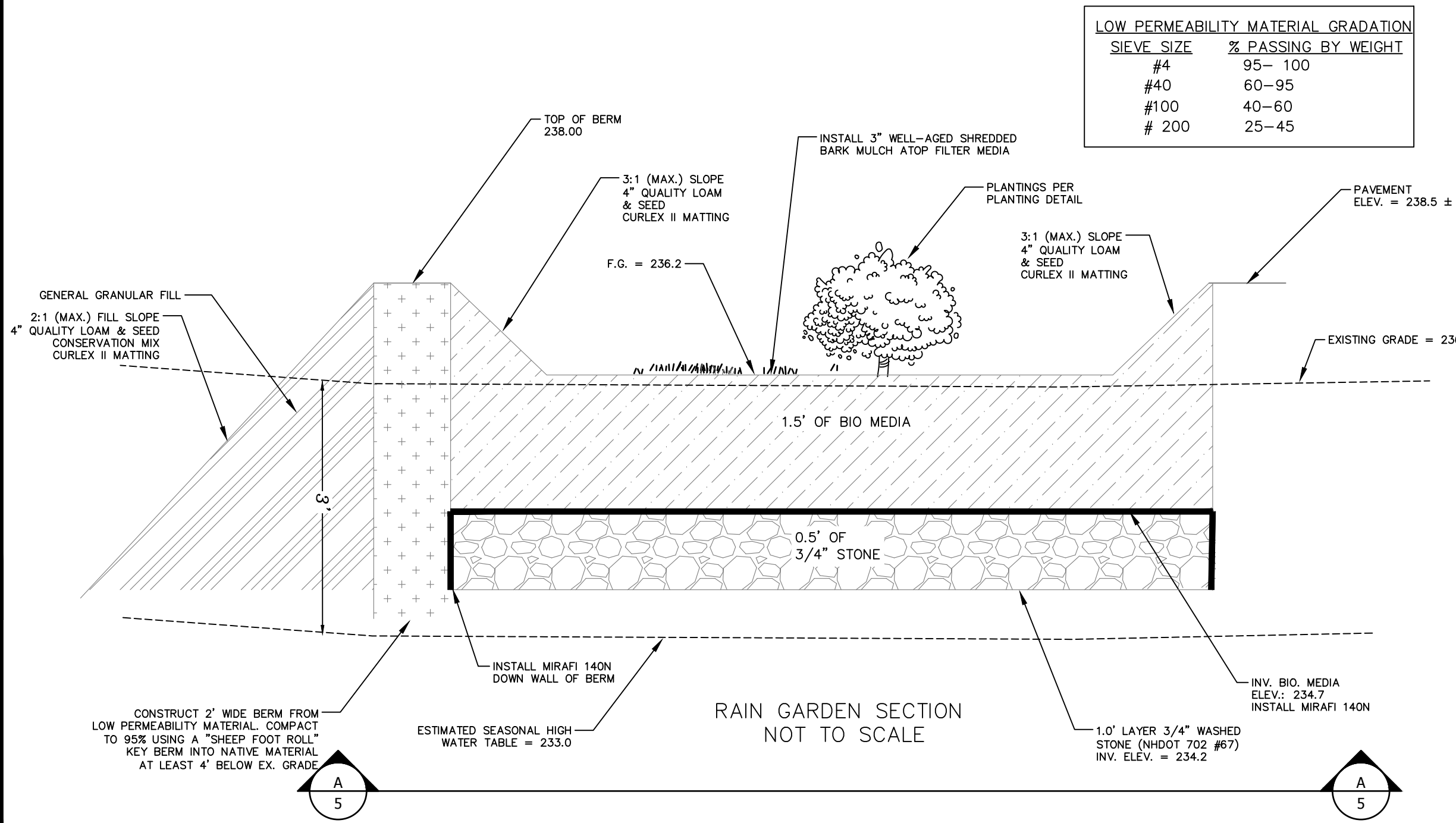
1. WHEN CONTRACTOR EXCAVATES RAIN GARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
2. SOIL FILTER MEDIA SHALL BE AS SHOWN ABOVE.
3. NO COMPACTION OF RAIN GARDEN SOILS IS TO OCCUR DURING CONSTRUCTION.

MAINTENANCE REQUIREMENTS

1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED BY SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

1. UNH STORMWATER CENTER
2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

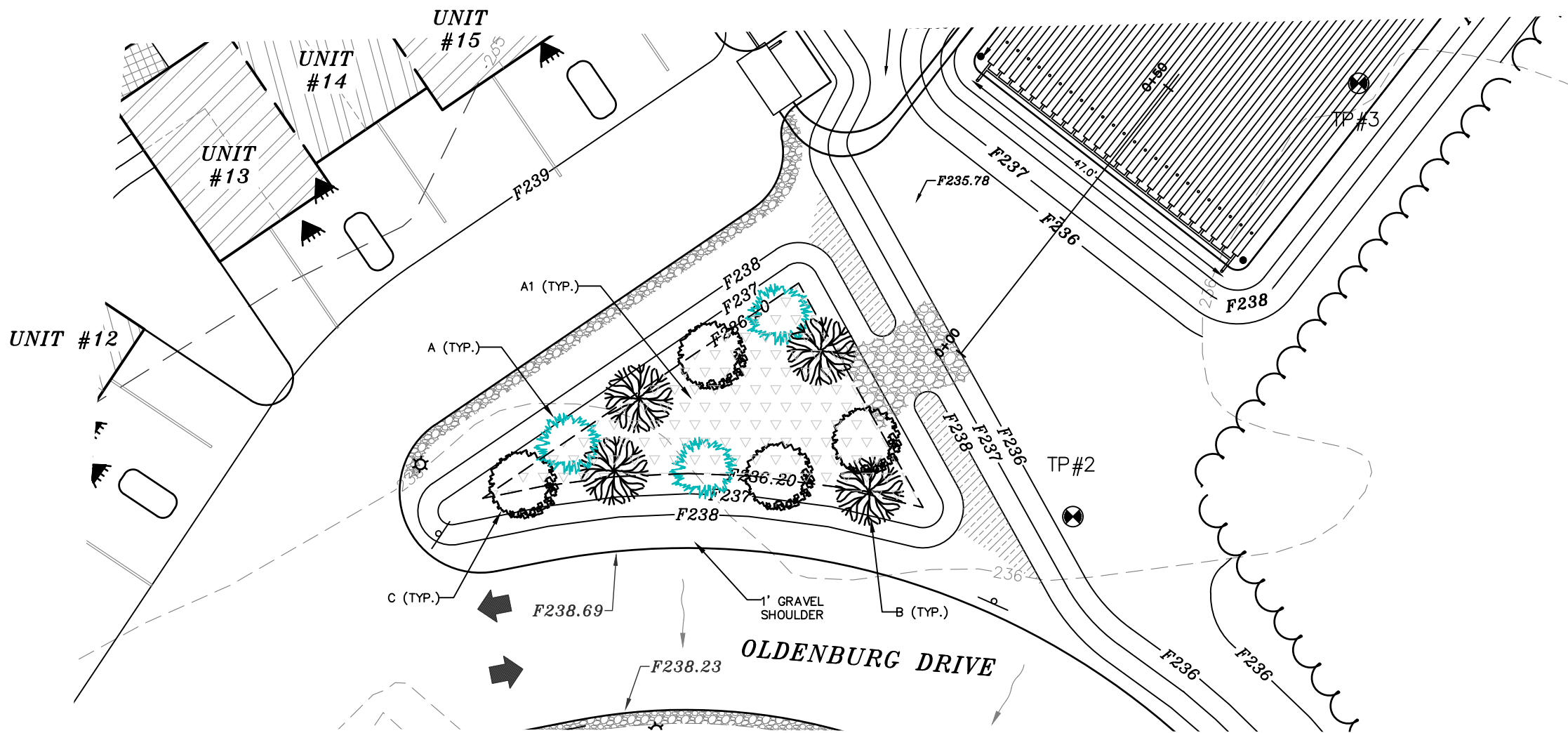
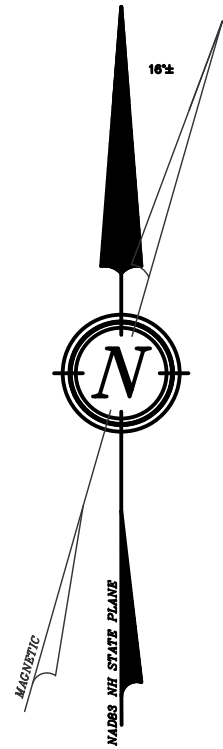


TREES AND SHRUBS

Sym	Qty	Botanical Name / Common Name	Root	Size
A	3	Cornus sericea 'Isanti' / Isanti Dogwood	Cont.	2-3' Ht.
B	4	Fotherfilla gardenii / Dwarf Fotherfilla	Cont.	5 Gal.
C	4	Ilex glabra 'Nordic' / Nordic Inkberry	Cont.	2'-2 1/2' Ht.

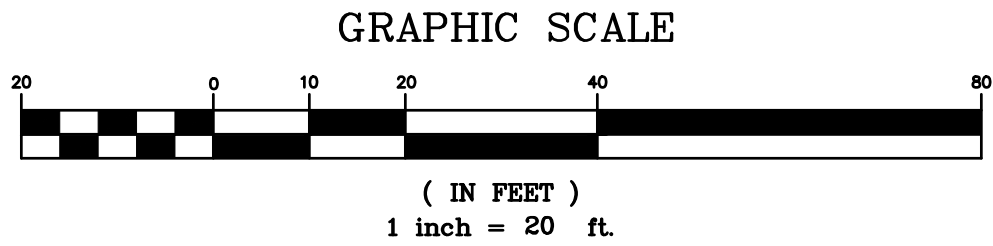
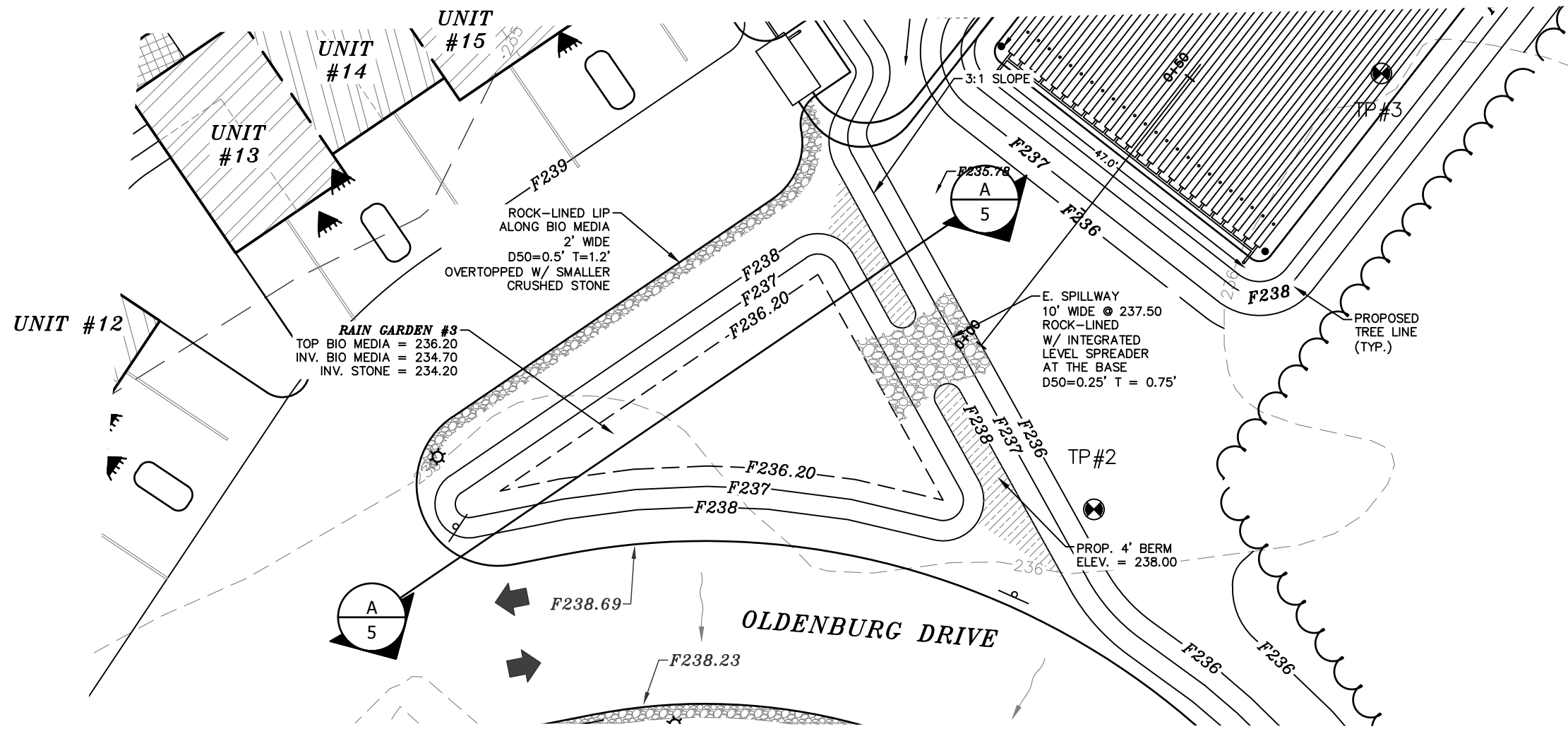
PERENNIALS & GROUND COVERS

Sym	Qty	Botanical Name / Common Name	Root	Size	Remark
A1	390	Aster puniceus / Swamp Aster	Plug	Flat	24\" OC
		Carex scoparia / Broom Sedge	Plug	Flat	
		Iris versicolor / Blue Flag Iris	Plug	Flat	
		Lobelia cardinalis / Cardinal Flower	Plug	Flat	
		Liatris spicata / Blazing Star	Plug	Flat	
B1	0	Juncus effusus / Common Rush	Plug	2-1/2\"	18\" OC
C1	0	Rudbeckia fulgida / Black-Eyed Susan	Cont.	2 Qt.	18\" OC



PLANTING PLAN

GRADING PLAN



RAIN GARDEN #3 PLAN

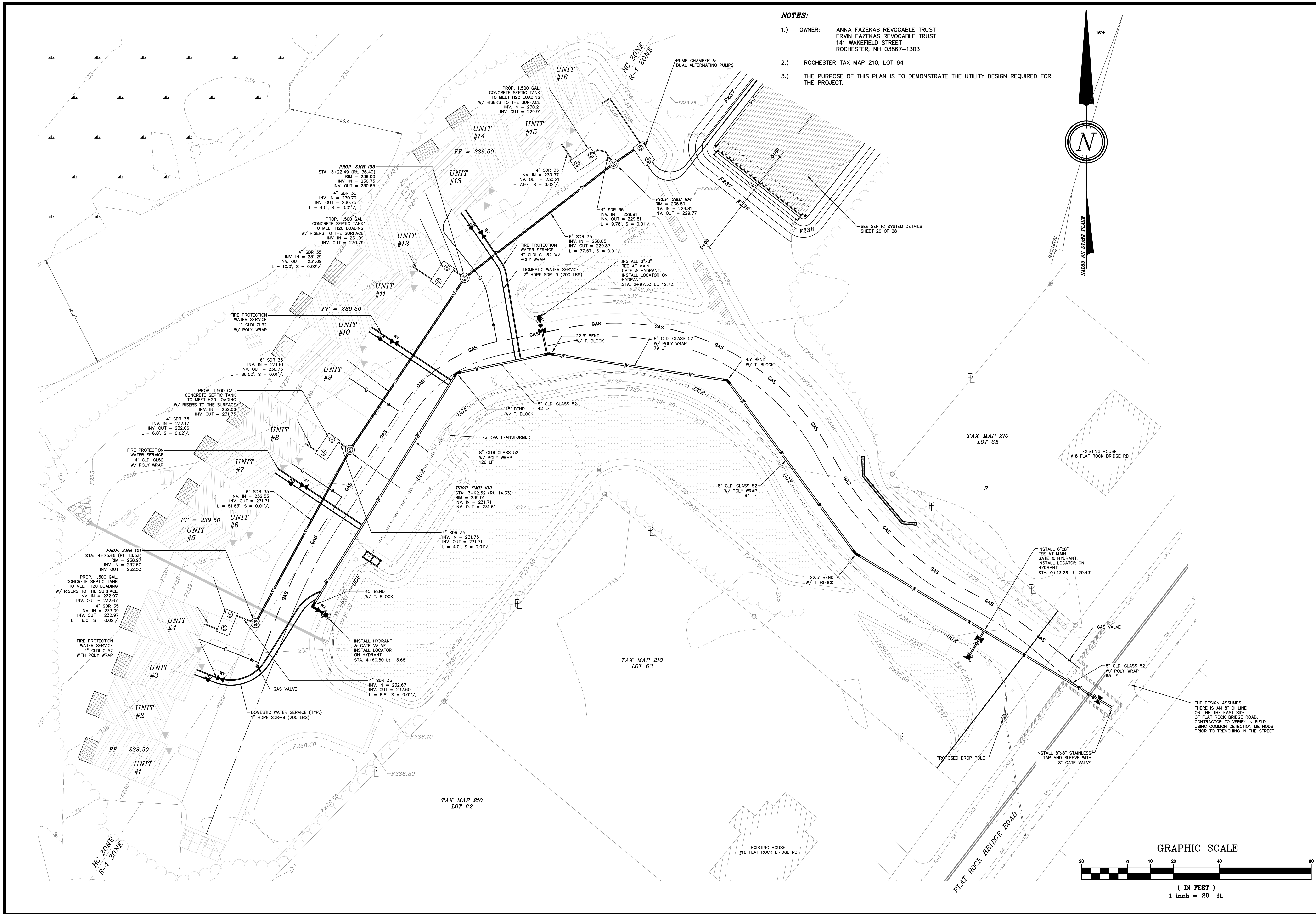
R-103

REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

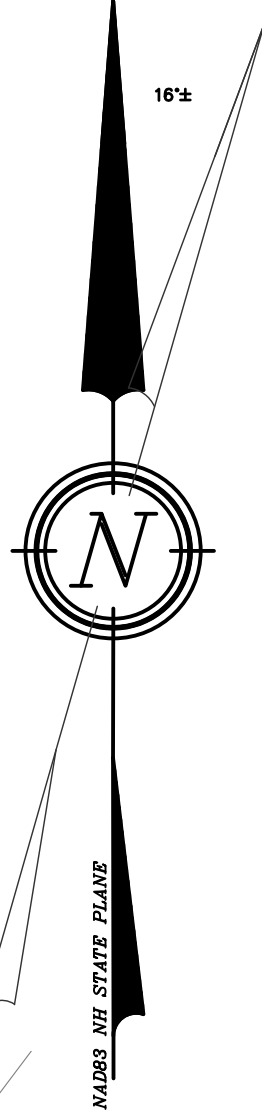
RAIN GARDEN #3
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
NO. 17433



- NOTES:**
- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
 - 2.) ROCHESTER TAX MAP 210, LOT 64
 - 3.) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE UTILITY DESIGN REQUIRED FOR THE PROJECT.

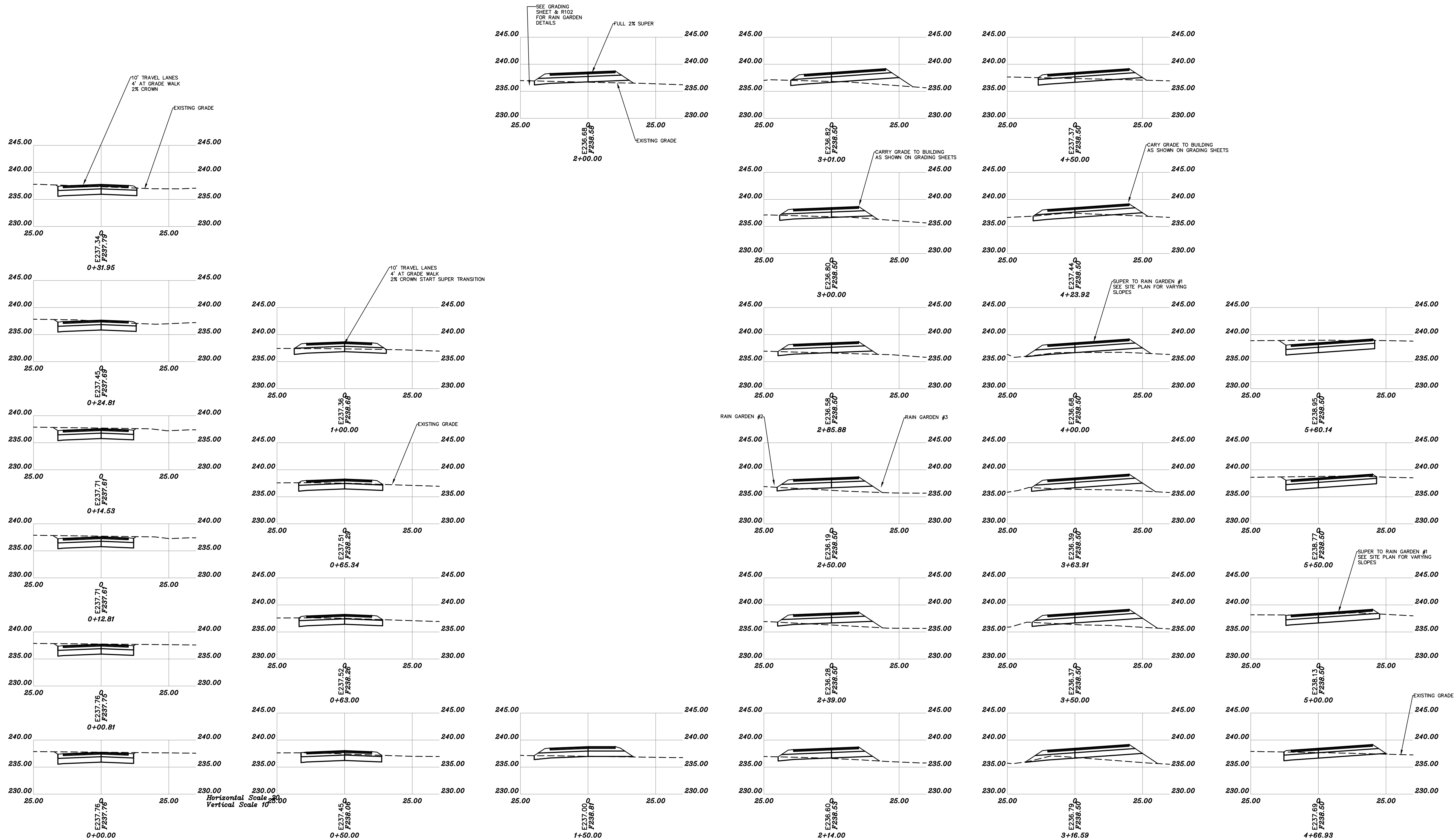
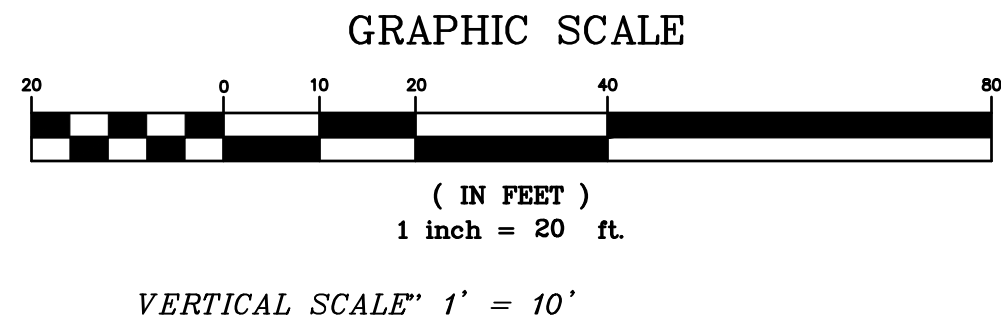


REVISION		DATE	DESCRIPTION
#2	2-20-18		UPDATED PER NOD
	1-26-17		REVISED PER TRG COMMENT

UTILITY PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

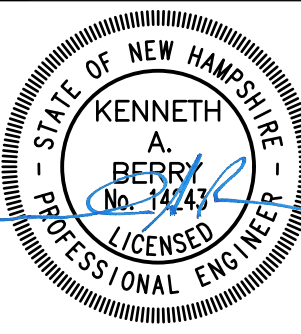
KENNETH A. BERRY
16-1424
LICENSED PROFESSIONAL ENGINEER

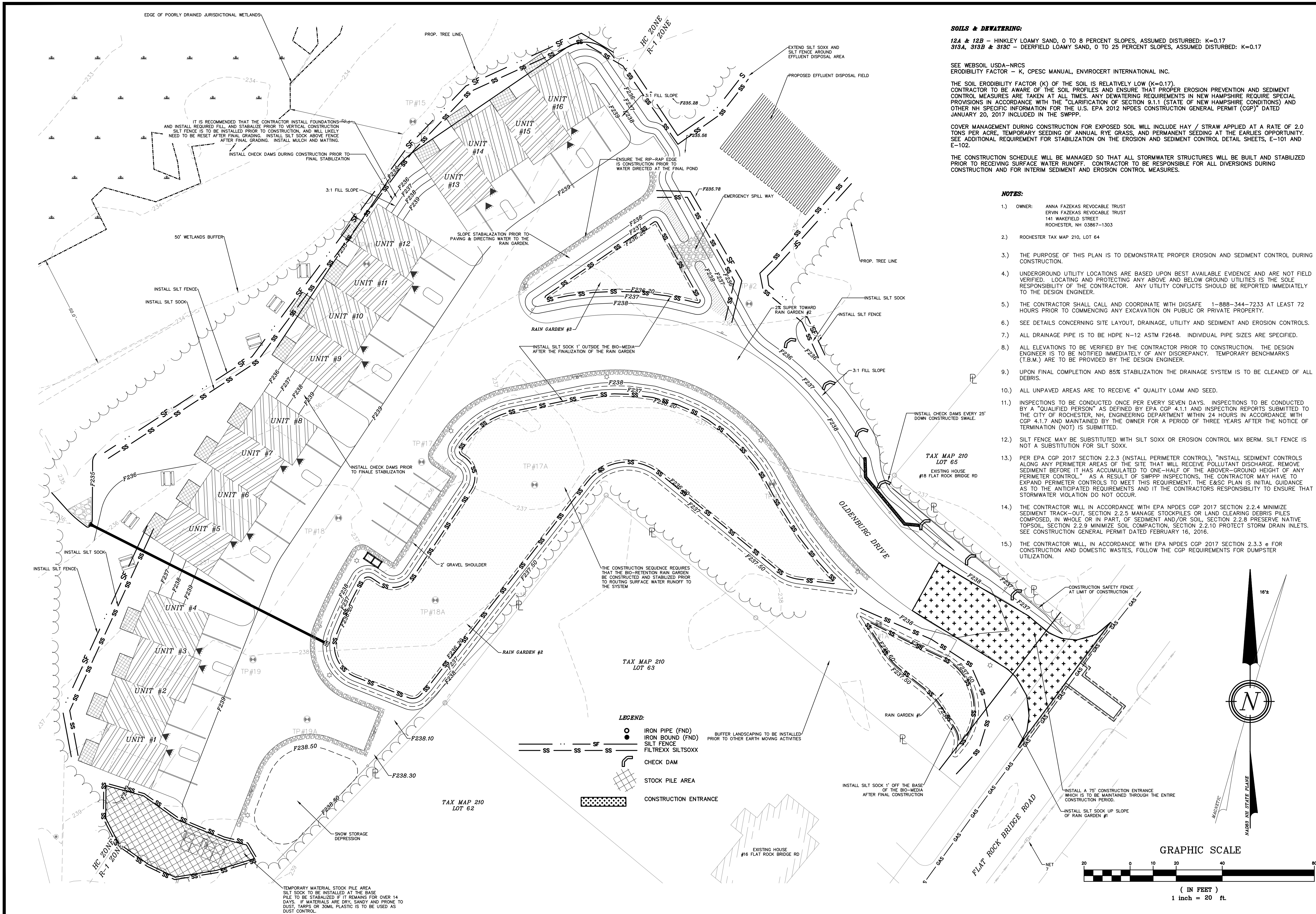


REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

OLDENBURG DRIVE CROSS SECTIONS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135





SOILS & DEWATERING:
12A & 12B - HINKLEY LOAMY SAND, 0 TO 8 PERCENT SLOPES, ASSUMED DISTURBED: K=0.17
313A, 313B & 313C - DEERFIELD LOAMY SAND, 0 TO 25 PERCENT SLOPES, ASSUMED DISTURBED: K=0.17

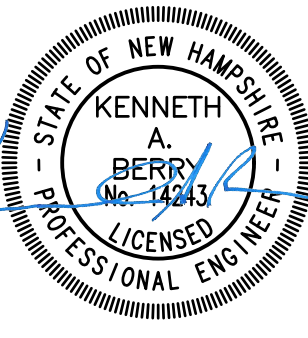
SEE WEBSOIL USDA-NRCS ERODIBILITY FACTOR - K, CPESC MANUAL, ENVIROCERT INTERNATIONAL INC.
THE SOIL ERODIBILITY FACTOR (K) OF THE SOIL IS RELATIVELY LOW (K=0.17). CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.1 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED JANUARY 20, 2017 INCLUDED IN THE SWPPP.
COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIES OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.
THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

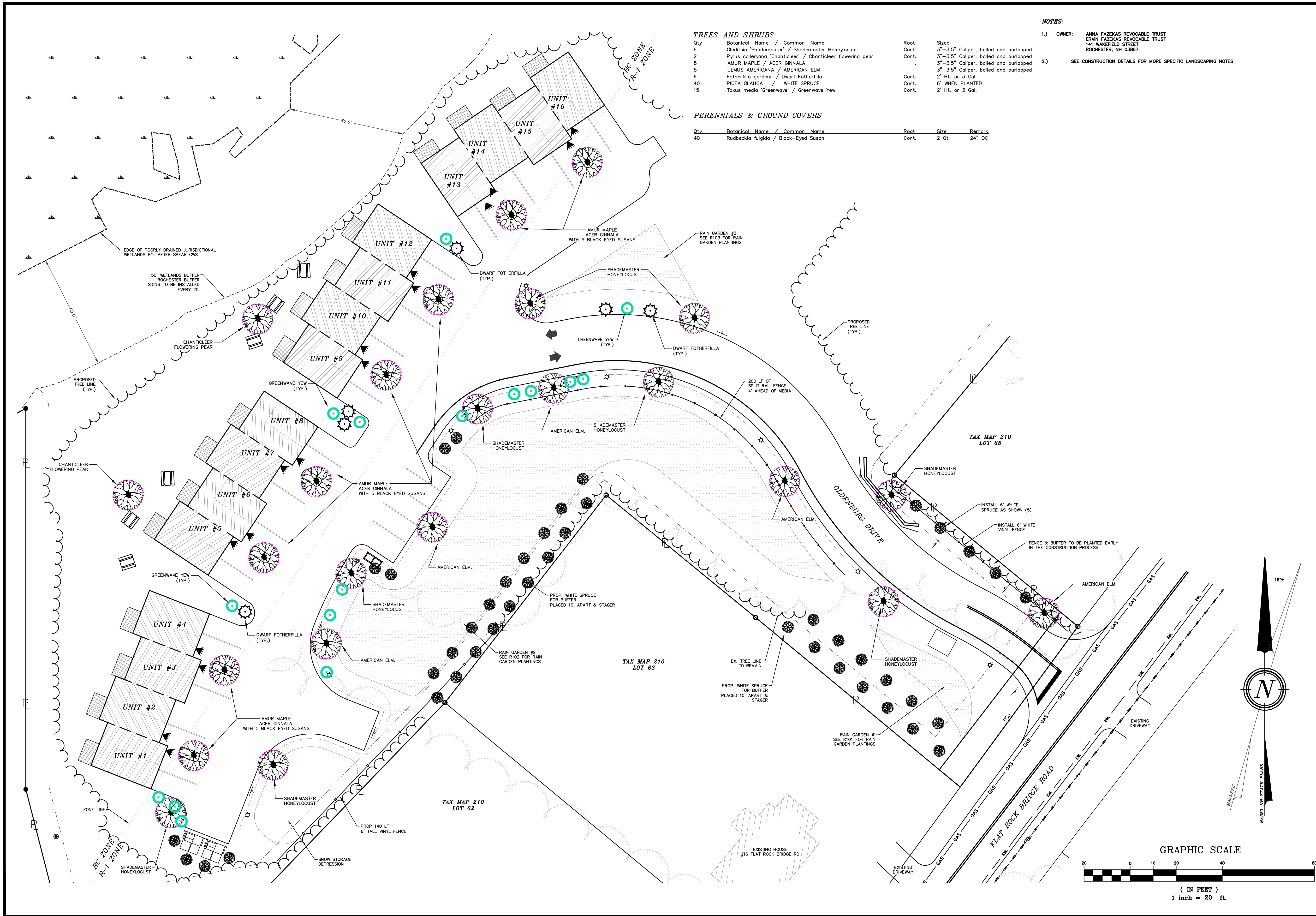
- NOTES:**
- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03667-1303
 - 2.) ROCHESTER TAX MAP 210, LOT 64
 - 3.) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE PROPER EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION.
 - 4.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 5.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 6.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.
 - 7.) ALL DRAINAGE PIPE IS TO BE HDPE N-12 ASTM F2648. INDIVIDUAL PIPE SIZES ARE SPECIFIED.
 - 8.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - 9.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS.
 - 10.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
 - 11.) INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE CITY OF ROCHESTER, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE NOTICE OF TERMINATION (NOT) IS SUBMITTED.
 - 12.) SILT FENCE MAY BE SUBSTITUTED WITH SILT SOXX OR EROSION CONTROL MIX BERM. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX.
 - 13.) PER EPA CGP 2017 SECTION 2.2.3 (INSTALL PERIMETER CONTROL), "INSTALL SEDIMENT CONTROLS ALONG ANY PERIMETER AREAS OF THE SITE THAT WILL RECEIVE POLLUTANT DISCHARGE. REMOVE SEDIMENT BEFORE IT HAS ACCUMULATED TO ONE-HALF OF THE ABOVE-GROUND HEIGHT OF ANY PERIMETER CONTROL." AS A RESULT OF SWPPP INSPECTIONS, THE CONTRACTOR MAY HAVE TO EXPAND PERIMETER CONTROLS TO MEET THIS REQUIREMENT. THE EROSION PLAN IS INITIAL GUIDANCE AS TO THE ANTICIPATED REQUIREMENTS AND IT THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT STORMWATER VIOLATION DO NOT OCCUR.
 - 14.) THE CONTRACTOR WILL IN ACCORDANCE WITH EPA NPDES CGP 2017 SECTION 2.2.4 MINIMIZE SEDIMENT TRACK-OUT, SECTION 2.2.5 MANAGE STOCKPILES OR LAND CLEARING DEBRIS PILES COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT AND/OR SOIL, SECTION 2.2.8 PRESERVE NATIVE TOPSOIL, SECTION 2.2.9 MINIMIZE SOIL COMPACTION, SECTION 2.2.10 PROTECT STORM DRAIN INLETS. SEE CONSTRUCTION GENERAL PERMIT DATED FEBRUARY 16, 2016.
 - 15.) THE CONTRACTOR WILL, IN ACCORDANCE WITH EPA NPDES CGP 2017 SECTION 2.3.3 e FOR CONSTRUCTION AND DOMESTIC WASTES, FOLLOW THE CGP REQUIREMENTS FOR DUMPSTER UTILIZATION.

REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

EROSION & SEDIMENT CONTROL PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135





TREES AND SHRUBS

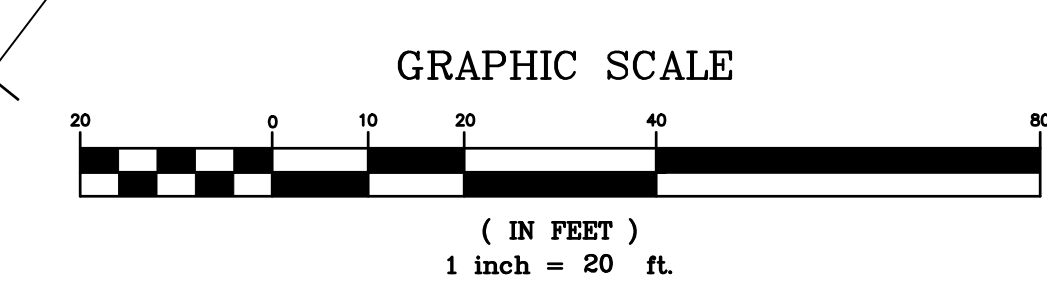
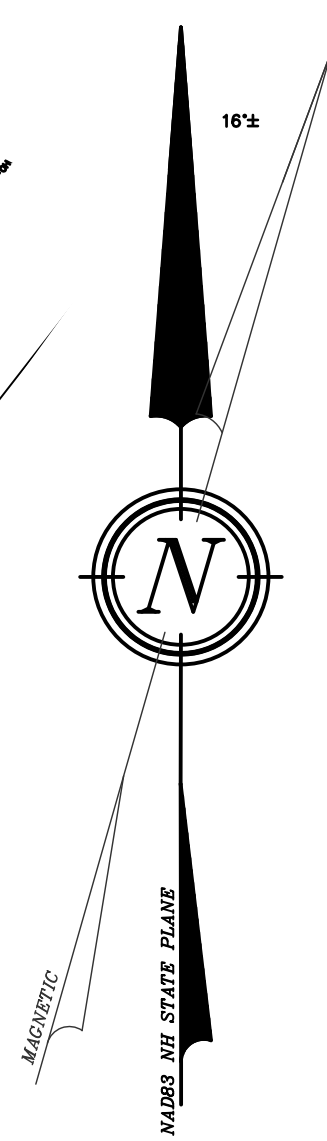
Qty	Botanical Name / Common Name	Root	Size
6	Gleditsia 'Shademaster' / Shademaster Honeylocust	Cont.	3"-3.5" Caliper, balled and burlapped
2	Pyrus calleryana 'Chanticleer' / Chanticleer flowering pear	Cont.	3"-3.5" Caliper, balled and burlapped
8	AMUR MAPLE / ACER GINNALA	.	3"-3.5" Caliper, balled and burlapped
5	ULMUS AMERICANA / AMERICAN ELM	Cont.	3"-3.5" Caliper, balled and burlapped
6	Fotherfilla gardenii / Dwarf Fotherfilla	Cont.	2" Ht. or 3 Gal.
40	PICEA GLAUCA / WHITE SPRUCE	Cont.	6" WHEN PLANTED
15	Taxus media 'Greenwave' / Greenwave Yew	Cont.	2" Ht. or 3 Gal.

PERENNIALS & GROUND COVERS

Qty	Botanical Name / Common Name	Root	Size	Remark
40	Rudbeckia fulgida / Black-Eyed Susan	Cont.	2 Qt.	24" OC

NOTES:

- 1.) OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867
- 2.) SEE CONSTRUCTION DETAILS FOR MORE SPECIFIC LANDSCAPING NOTES



REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

PROPOSED LANDSCAPING PLAN
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

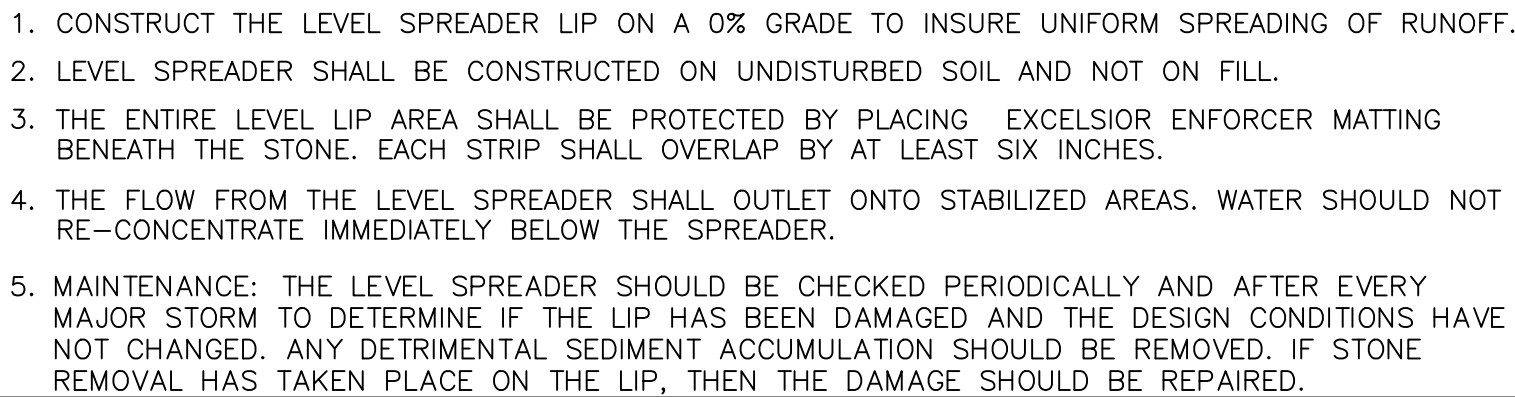
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
1 IN. EQUALS 20 FT.

DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

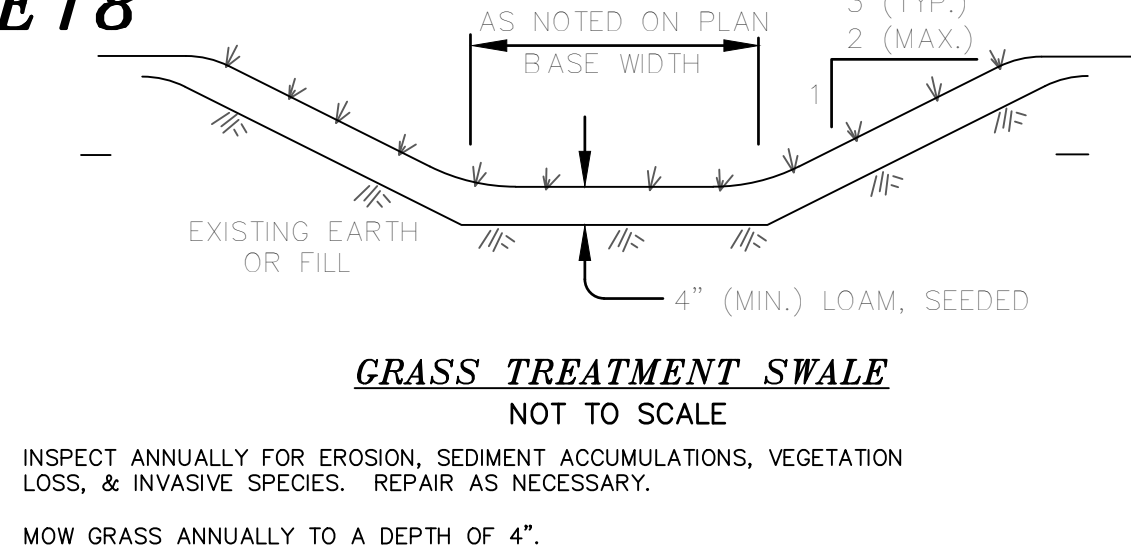
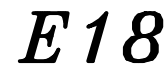
STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 15 OF 28

E12



E15



E 19

E13

NOTE : GEOTEXTILE FABRIC OR FILTER MATERIAL TO BE PLACED BETWEEN RIP RAP AND SOIL.

SECTION A-A

PIPE OUTLET TO FLAT AREA

SECTION A-A

PIPE OUTLET TO WELL-DEFINED CHANNEL

NOTE: THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

NOTE: Temporary seed mix for stabilization of turf shall be winter rye or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEL CUTS AND TIPS, BROWNS AND DISPOSAL AREAS	A B C D E	FAIR POOR POOR FAIR FAIR	GOOD GOOD GOOD FAIR EXCELLENT	GOOD EXCELLENT GOOD GOOD EXCELLENT	FAIR POOR FAIR EXCELLENT POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A B C D	GOOD GOOD GOOD EXCELLENT	GOOD GOOD EXCELLENT EXCELLENT	GOOD GOOD EXCELLENT EXCELLENT	FAIR FAIR EXCELLENT EXCELLENT
LIGHTLY USED PARKING LOTS, OLD AREAS, UNPAVED LOTS, AND LOW INTENSITY USE RECREATION SITES.	A B C D	GOOD GOOD GOOD EXCELLENT	GOOD FAIR EXCELLENT EXCELLENT	GOOD GOOD EXCELLENT EXCELLENT	POOR FAIR EXCELLENT EXCELLENT
PLAY AREAS AND ATHLETIC FIELDS. TOPSOIL IS ESSENTIAL FOR GOOD TURF.	F G	FAIR FAIR	EXCELLENT EXCELLENT	EXCELLENT EXCELLENT	2/2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATINGS IN TABLE 7-36.

2/ POORLY DRAINED AREAS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

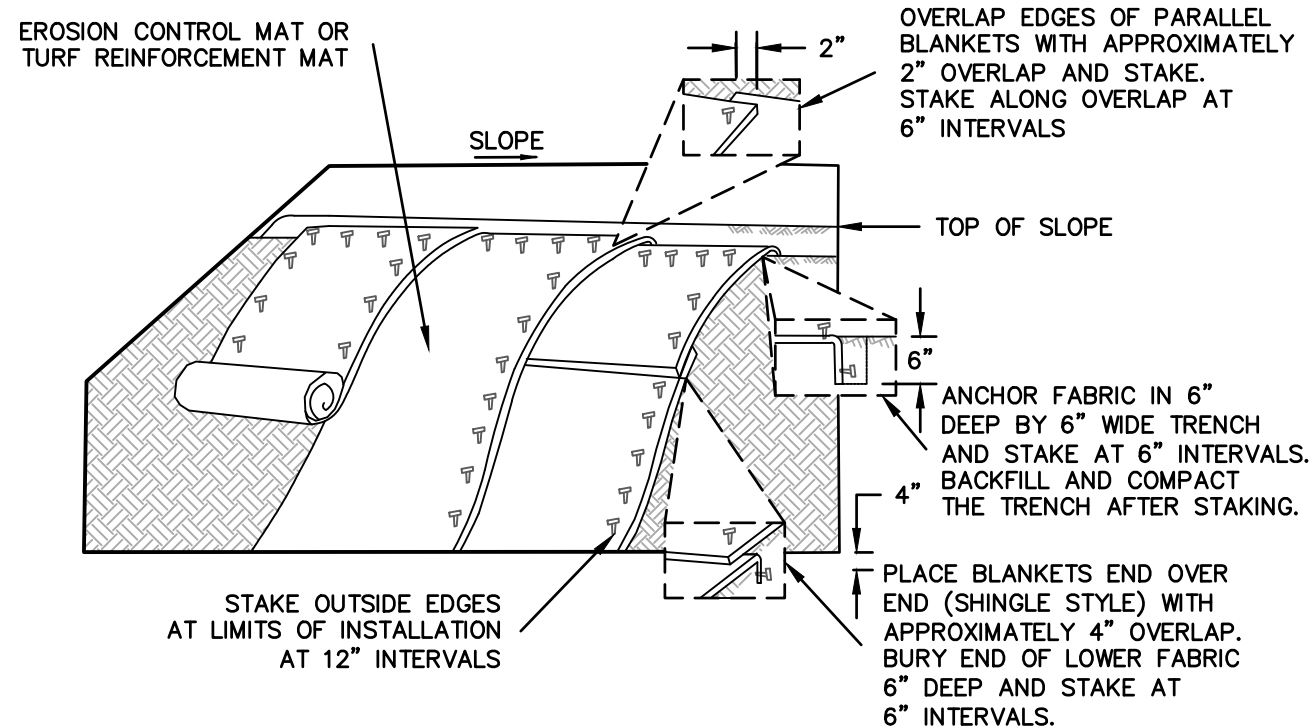
MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. Ft.
A. TALL FESCUE	20	0.45
CREEPING FESCUE	20	0.45
TOTAL	40	0.90
B. TALL FESCUE	15	0.35
CREEPING FESCUE	10	0.25
CROWN VETCH	15	0.35
OR FLAT PEA	30	0.75
TOTAL	40 OR 65	0.95 OR 1.35
C. TALL FESCUE	24	0.55
CREEPING FESCUE	24	0.55
BIRDS FOOT TROFOL	REMOVED	REMOVED
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.65
TOTAL	50	1.20
E. CREEPING FESCUE 1/4	50	1.15
TALL FESCUE 1/4	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

SEEDING SPECIFICATIONS

1. Grading and Shaping
 - a. Slopes shall not be steeper than 2:1; 3:1 slopes or flatter are preferred. Where mowing will be done, 3:1 slopes or flatter are recommended.
2. Seedbed Preparation
 - a. Surface and seepage water should be drained or diverted from the site to prevent drowning or winter killing of the plants.
 - b. Stones larger than 4 inches and trash should be removed because they interfere with seeding and future maintenance of the area. Where feasible, the soil should be tilled to a depth of about 4 inches to prepare a seedbed and mix fertilizer and lime into the soil. The seedbed should be left in reasonably firm and smooth condition. The last tillage operation should be performed across the slope wherever practical.
3. Establishing a Stand
 - a. Lime and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil. Kind and amount of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
 - Agricultural limestone, 2 tons per acre or 100lbs. per 1,000 sq.ft.
 - Nitrogen(N), 50lbs. per acre or 1.1lbs. per 1,000 sq.ft.
 - Phosphate(P2O5), 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.
 - Potash(K2O), 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.(Note: This is the equivalent of 500lbs. per acre of 10-20-20 fertilizer or 1,000lbs. per acre of 5-10-10.)
4. Mulch
 - a. Hay, straw, or other mulch, when needed, should be applied immediately after seeding.
 - b. Mulch will be held in place using appropriate techniques from the Best Management Practice for mulching. Hay or straw mulch shall be placed at a rate of 90lbs per 1000 s.f.
5. Maintenance to Establish a Stand
 - a. Planted area should be protected from damage by fire, grazing, traffic, and dense weed growth.
 - b. Fertilization needs should be determined by onsite inspections. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennial stake 2 to 3 years become established.
 - c. In waterways, channels, or swales where uniform flow conditions are anticipated, occasional mowing may be necessary to control growth of woody vegetation.

E21

E20



NOTE : STAKING PATTERNS SHALL FOLLOW MANUFACTURERS RECOMMENDATIONS.
MINIMUM SPACING 3' - 0" O.C. ACROSS FABRIC.

INSTALLATION OF EROSION CONTROL FABRICS

NOT TO SCALE

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.

2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE APPLIED ON AND SLOPES AND SWALES SHALL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

DEFINITION OF STABLE:

1. WHEN A BASE COURSE GRAVEL HAS BEEN INSTALLED IN AN AREA TO BE PAVED
2. WHEN A MINIMUM OF 85% STABILIZATION OCCURS
3. WHEN A MINIMUM OF 3" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. WHEN PROPER EROSION CONTROL BLANKETS, SUCH AS CURLEX II, C350 OR OTHER DOT APPROVED MATTING, HAS BEEN INSTALLED PROPERLY.

d50 SIZE=	0.5	FEET	6	INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE			SIZE OF STONE (INCHES) FROM	TO
100%		9		12
85%		8		11
50%		6		9
15%		2		3

E14

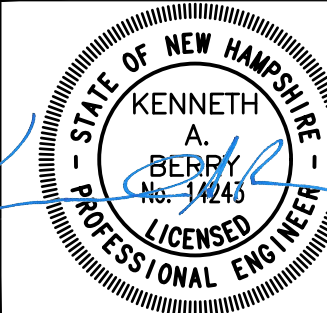
E17

- SEDIMENT & EROSION CONTROL DETAILS

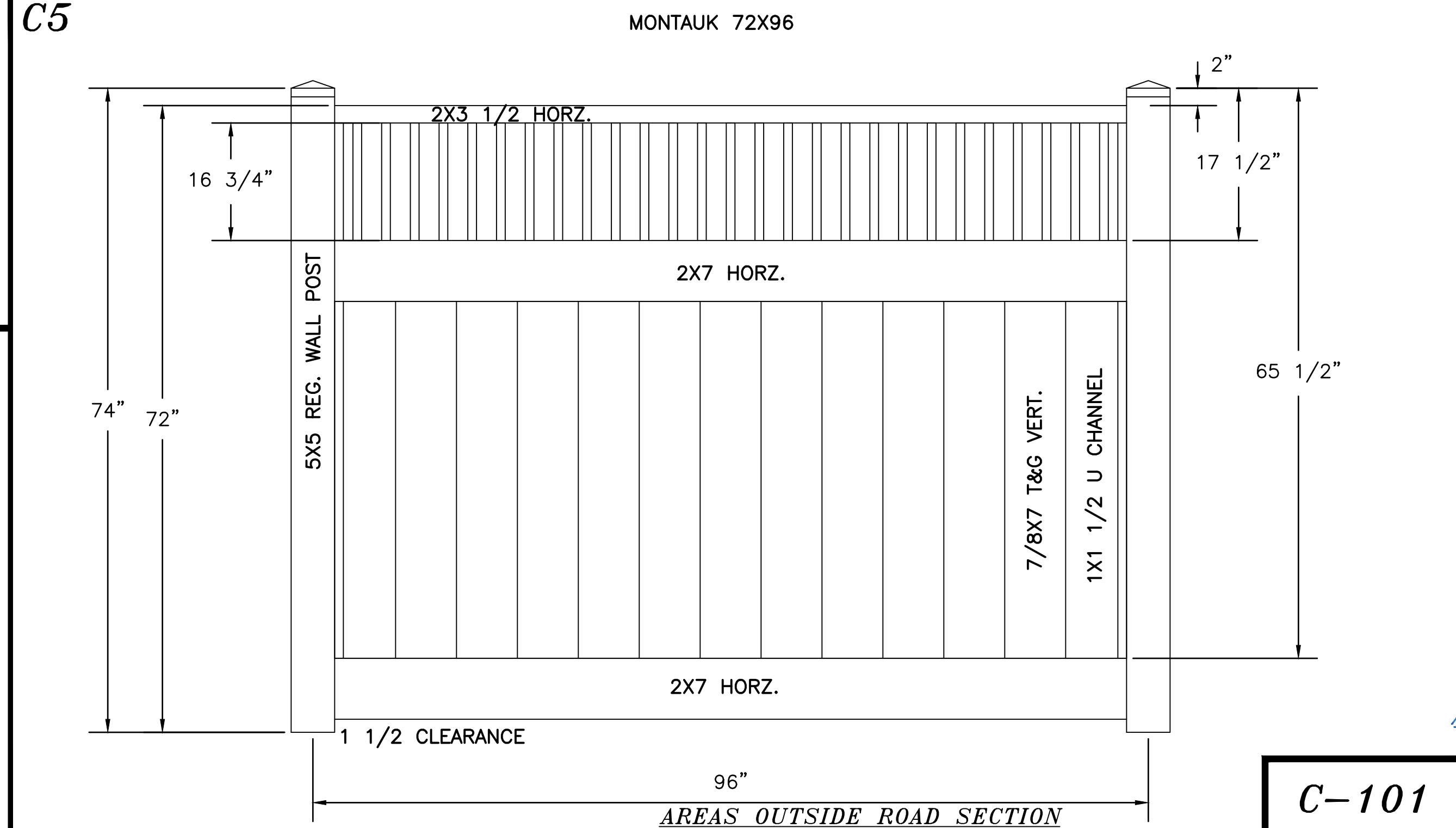
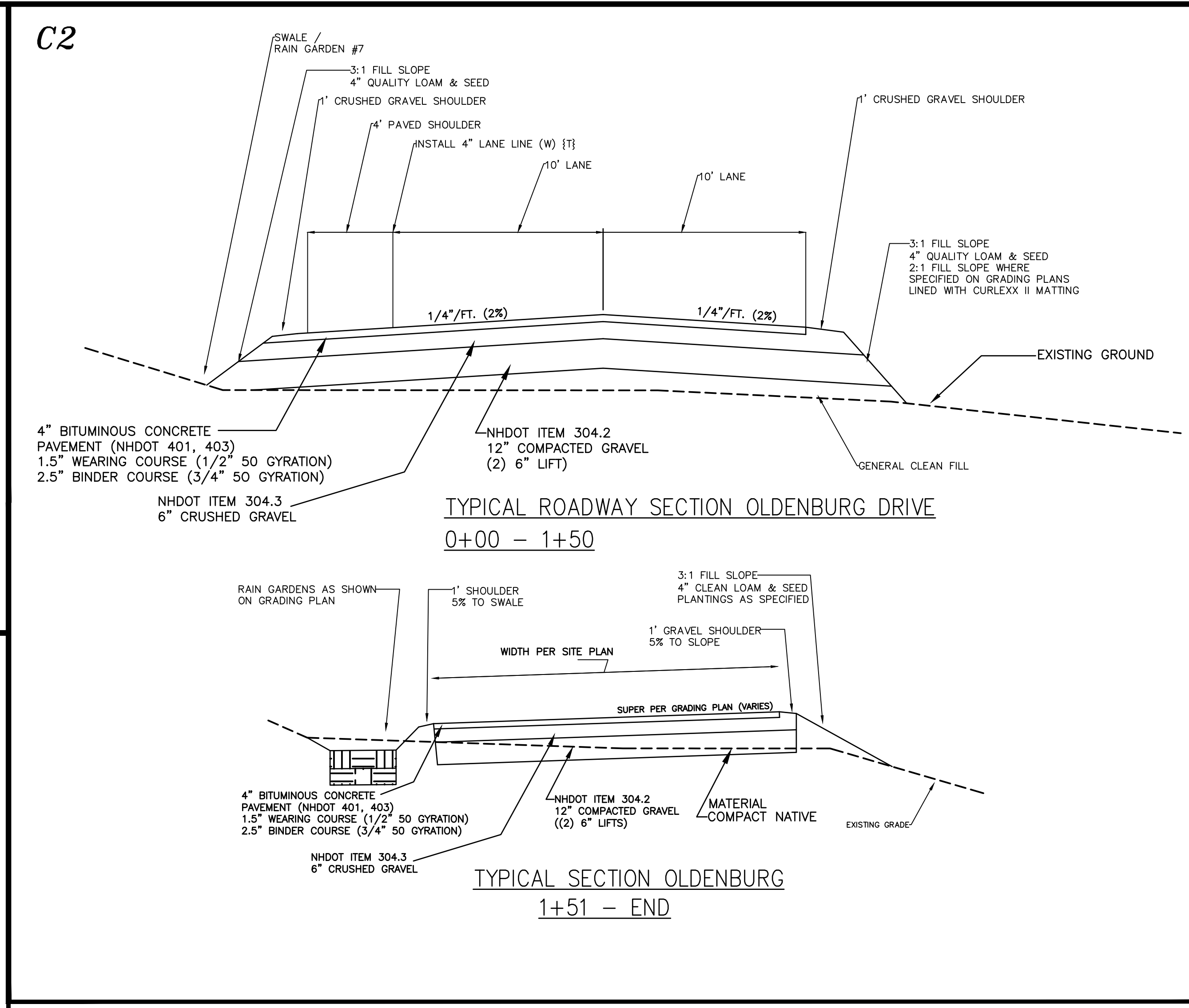
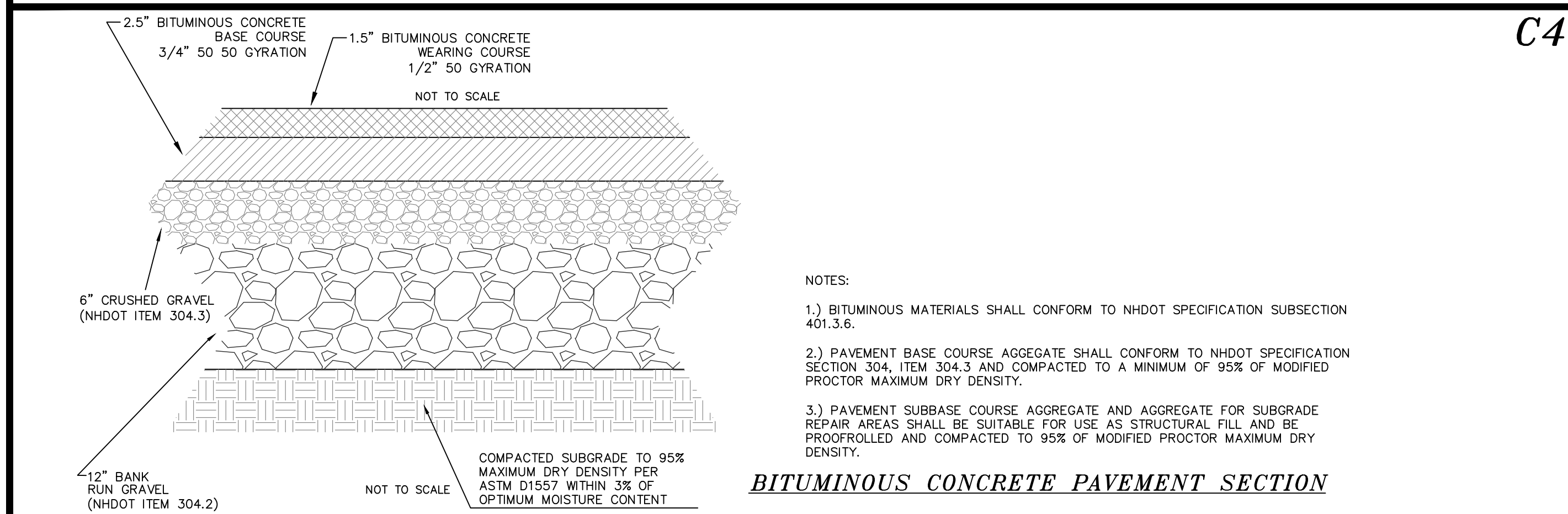
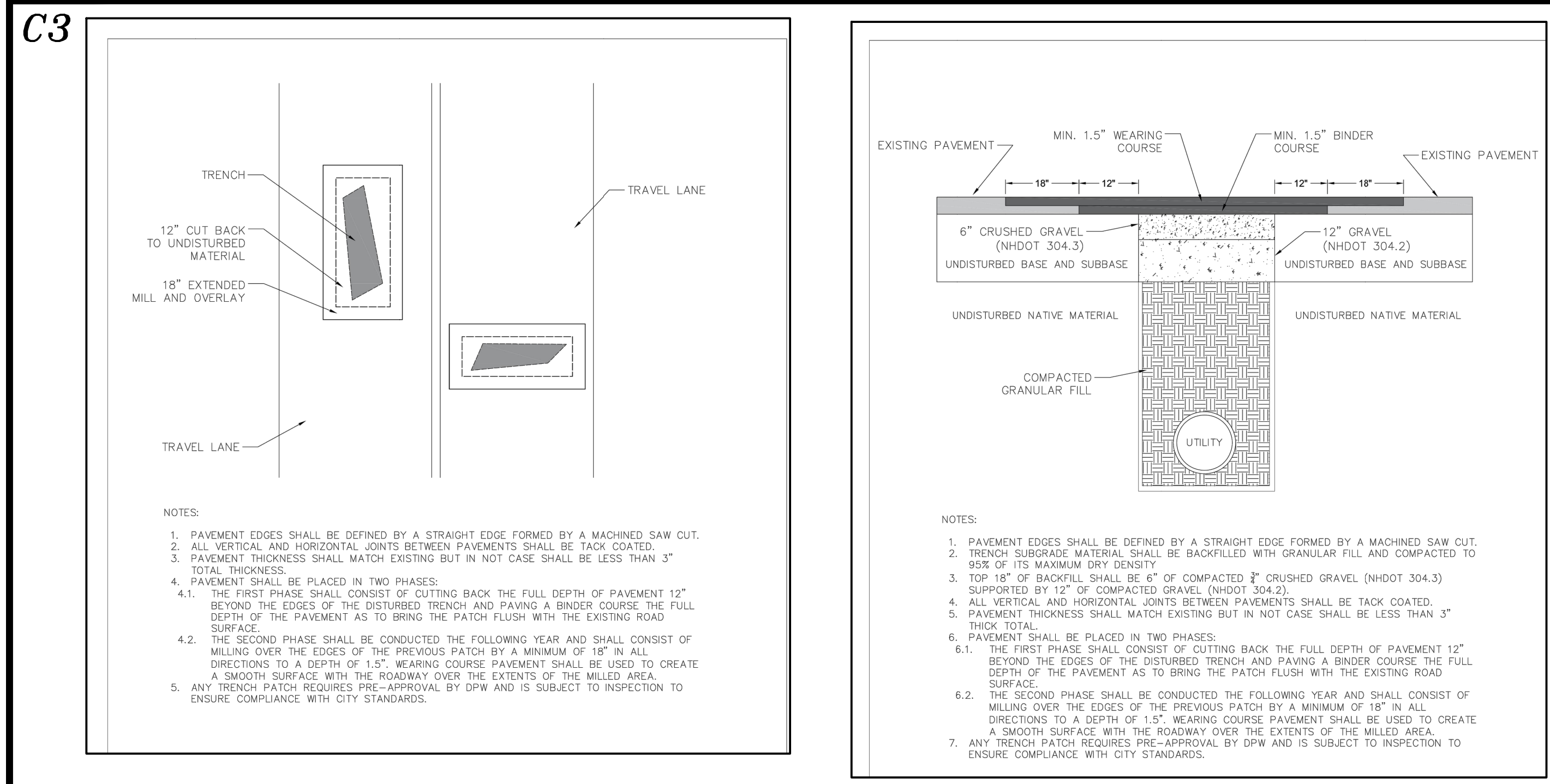
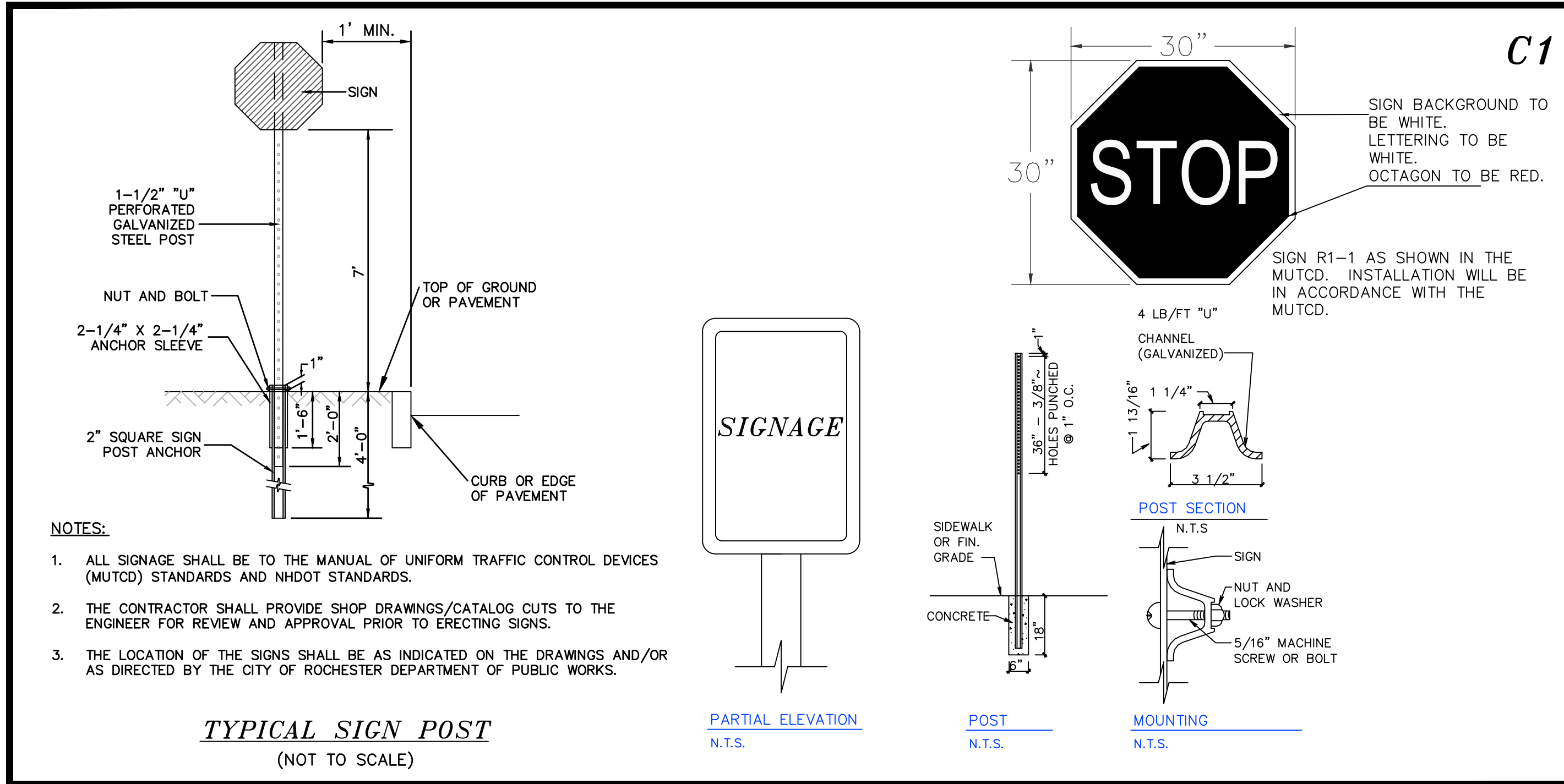
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2888

SCALE :	AS MARKED
DATE :	NOVEMBER 1, 2016
FILE NO.:	DB 2016 - 135



SHEET 18 OF 28



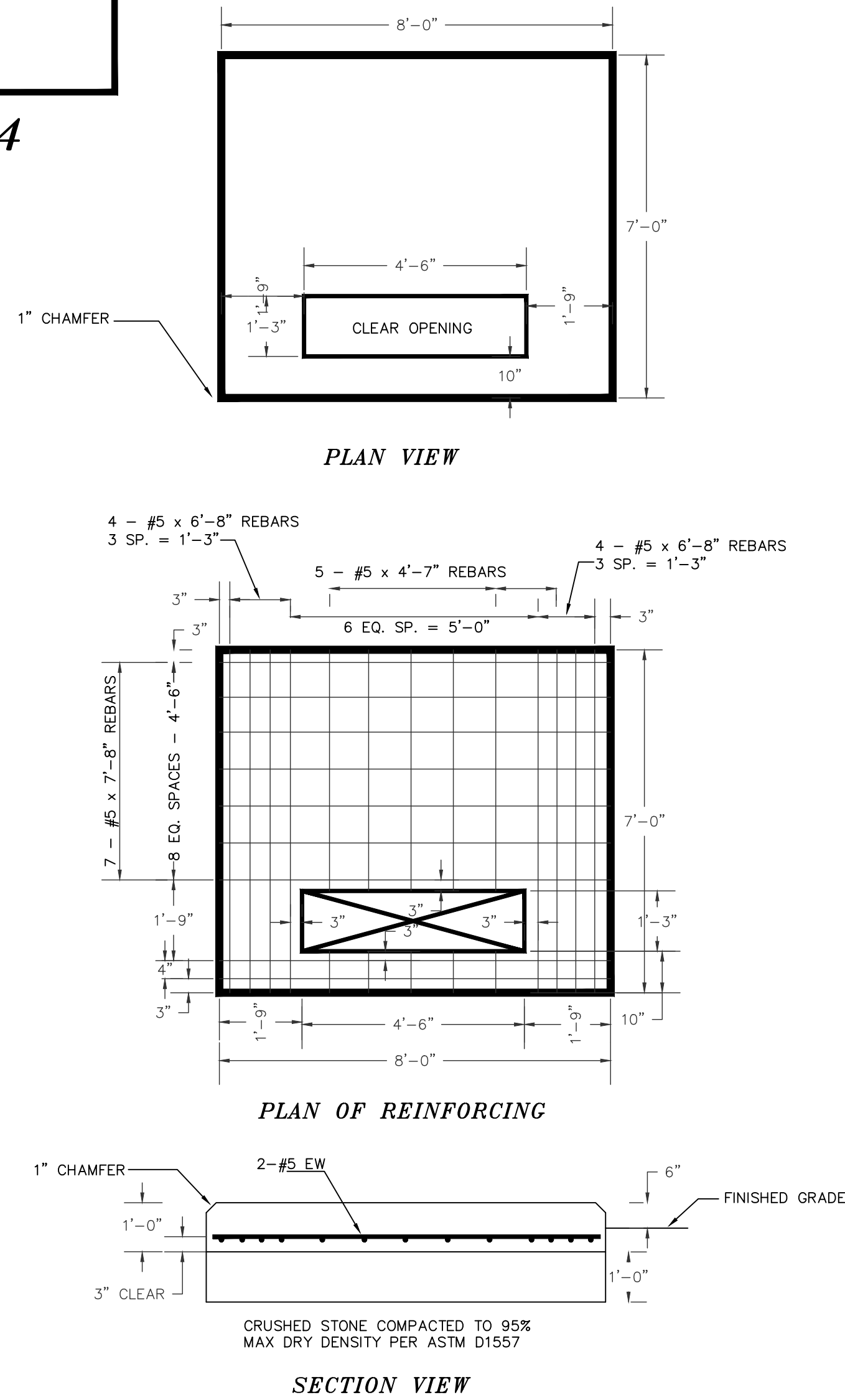
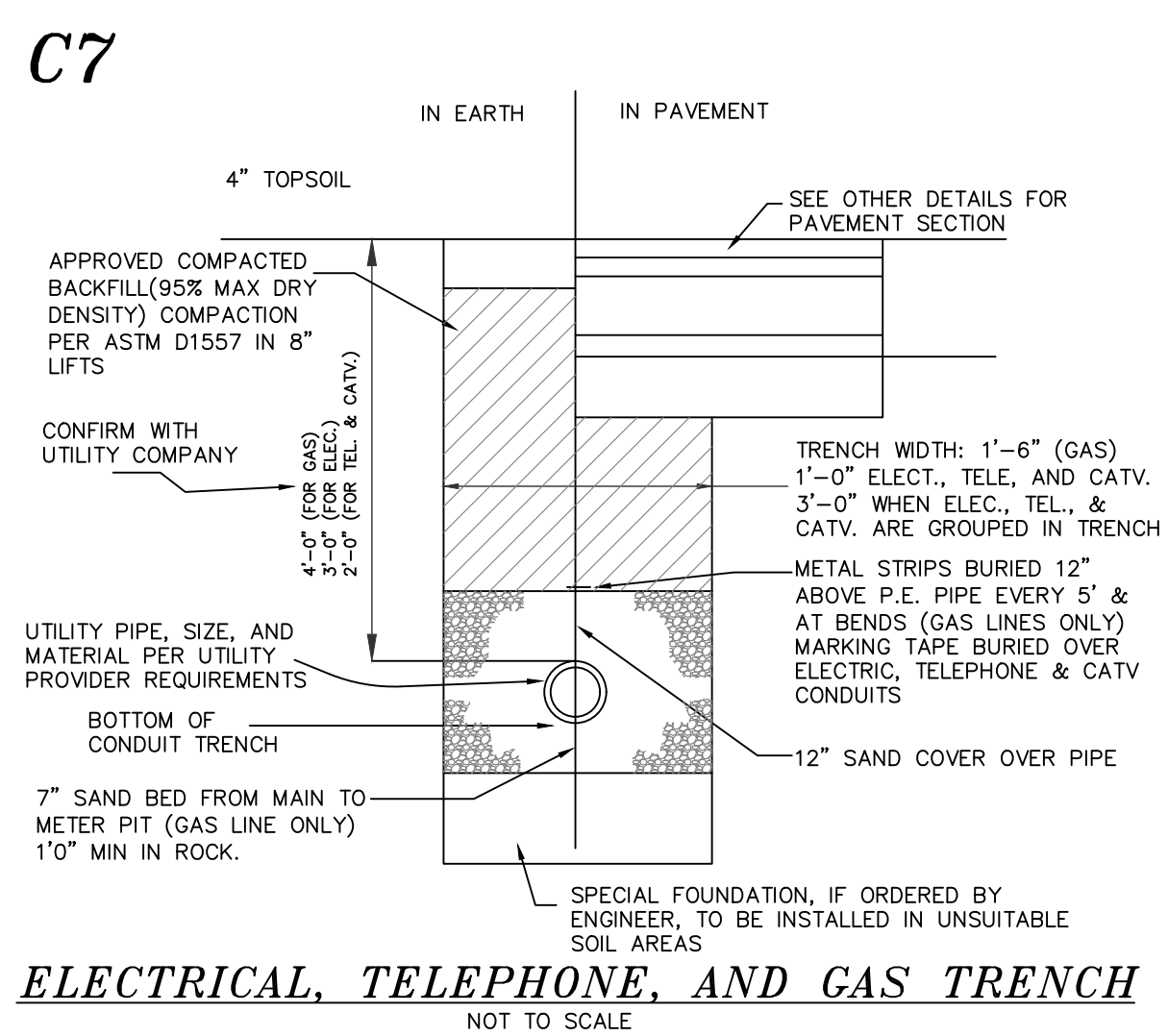
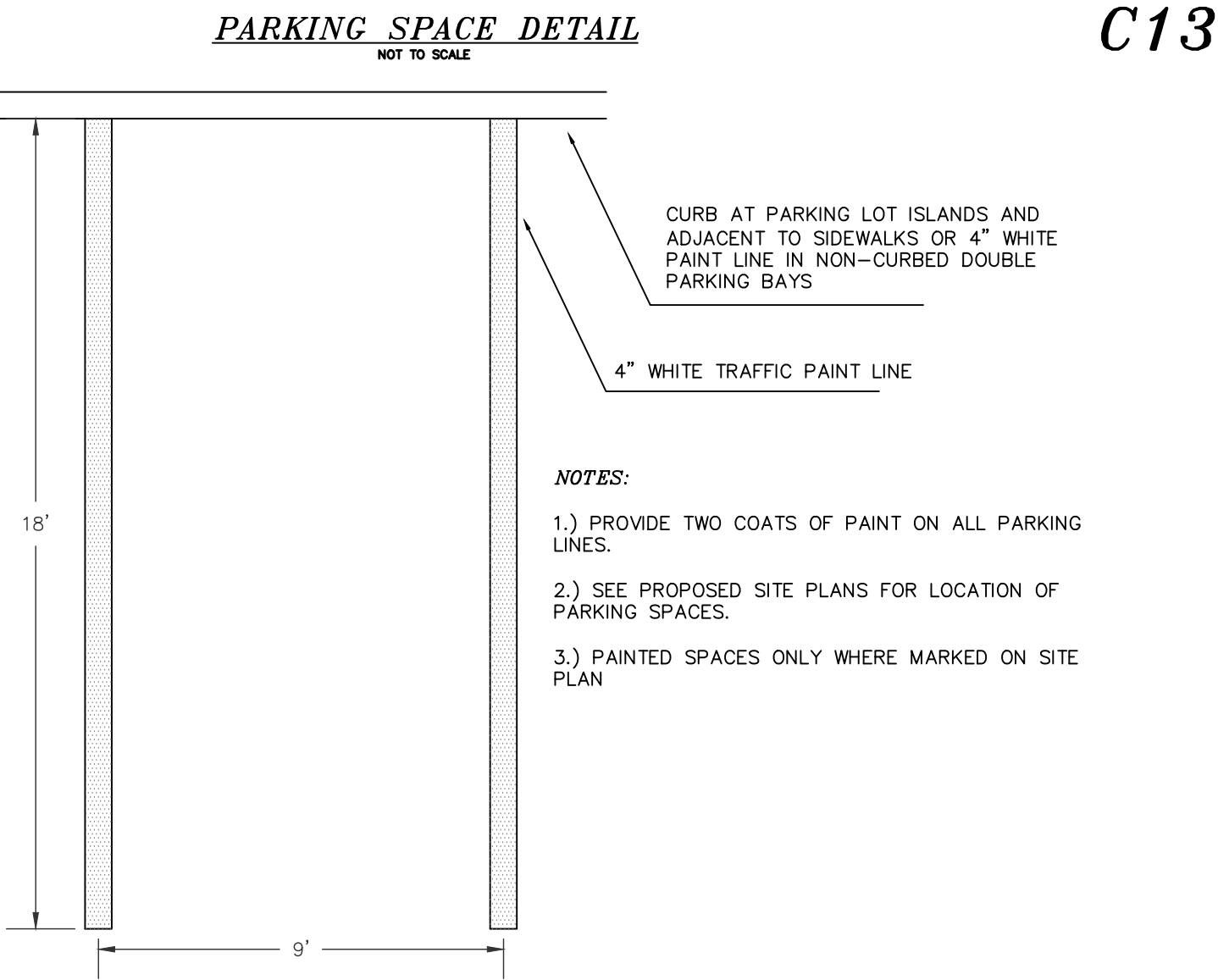
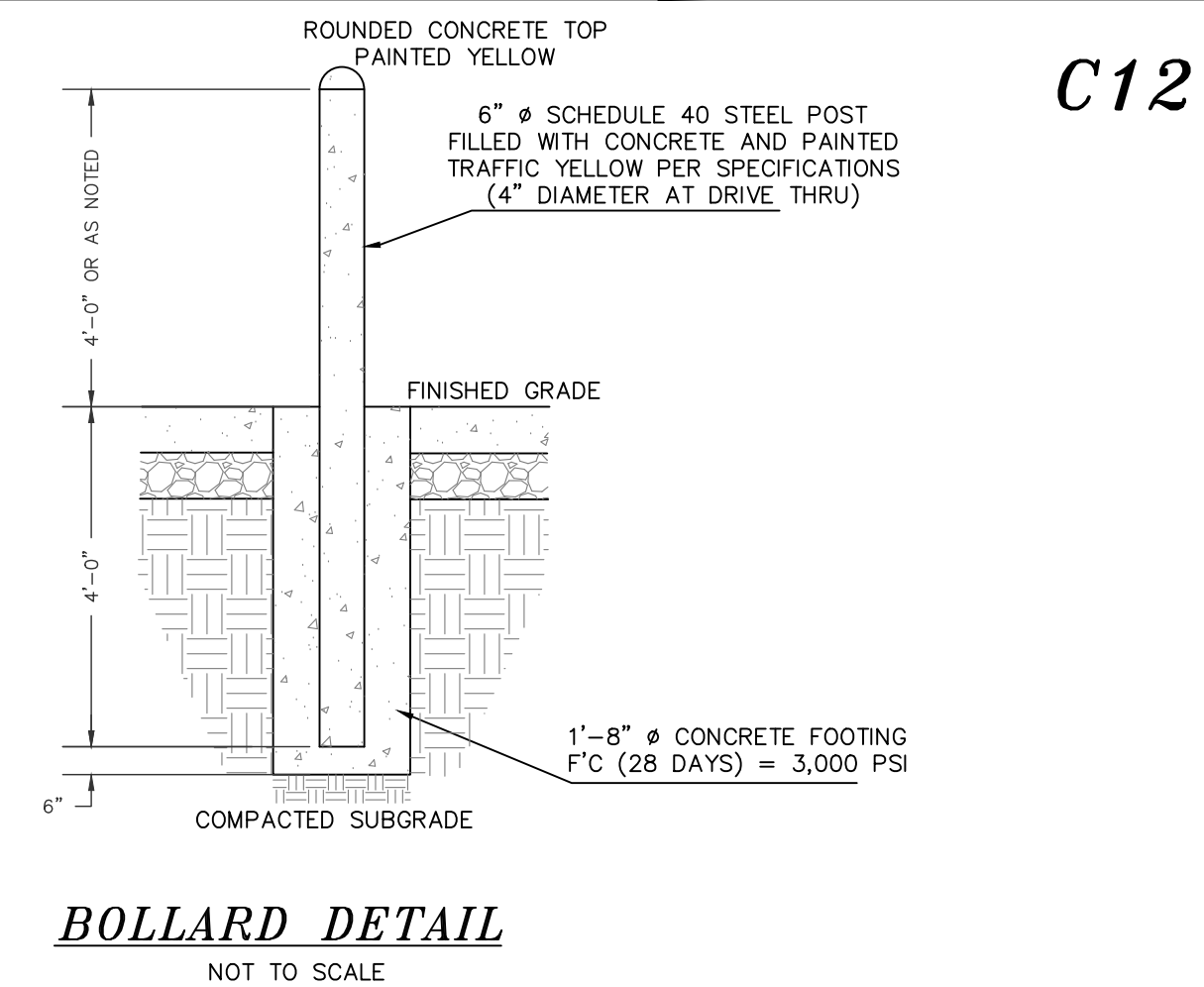
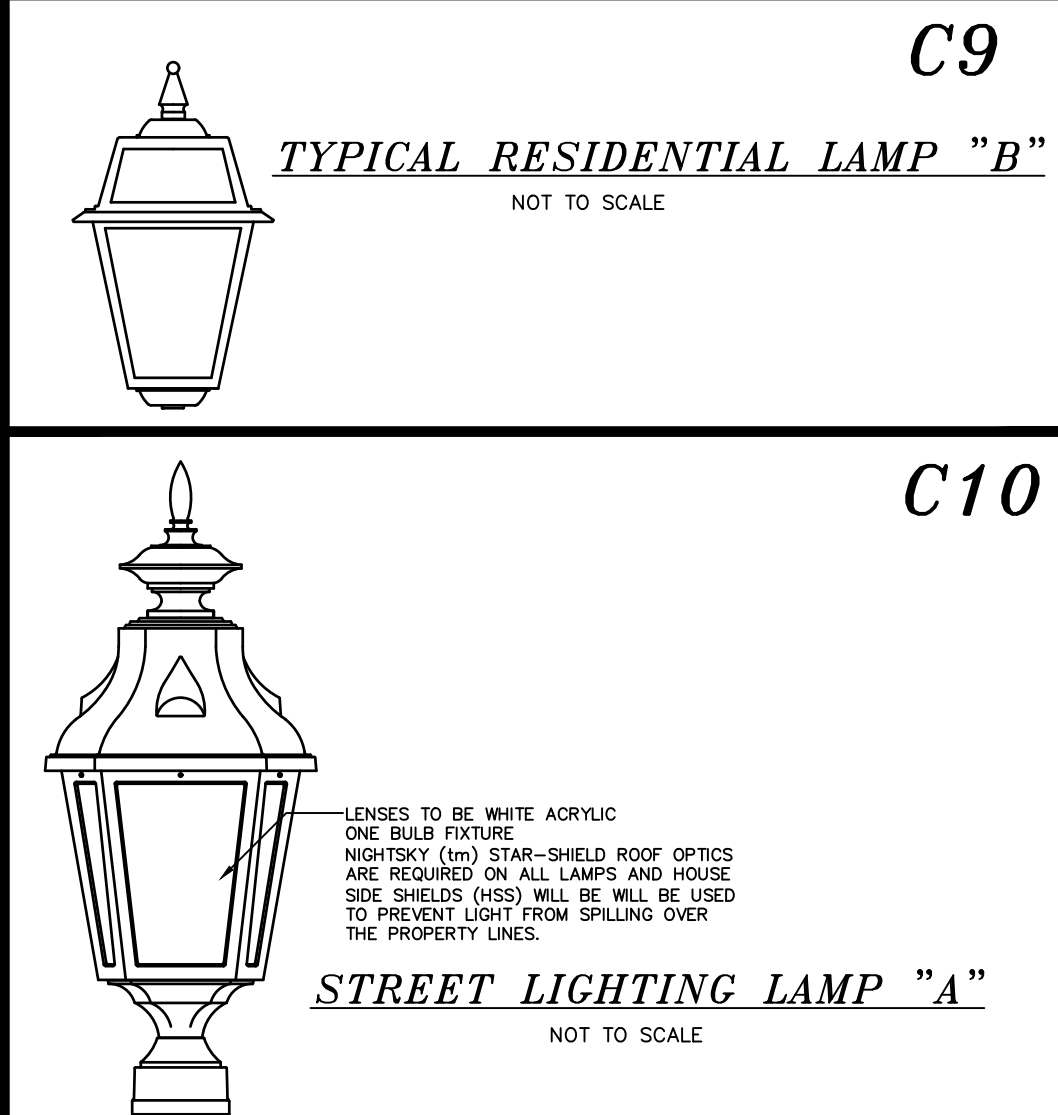
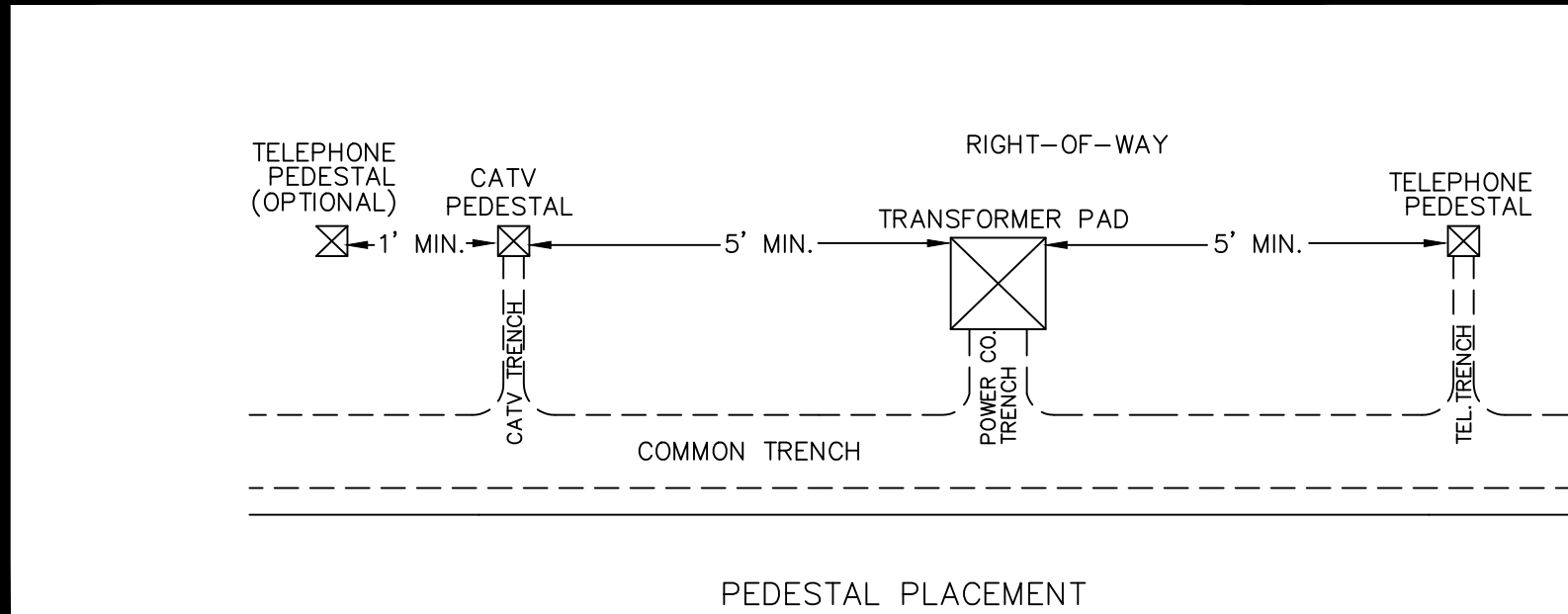
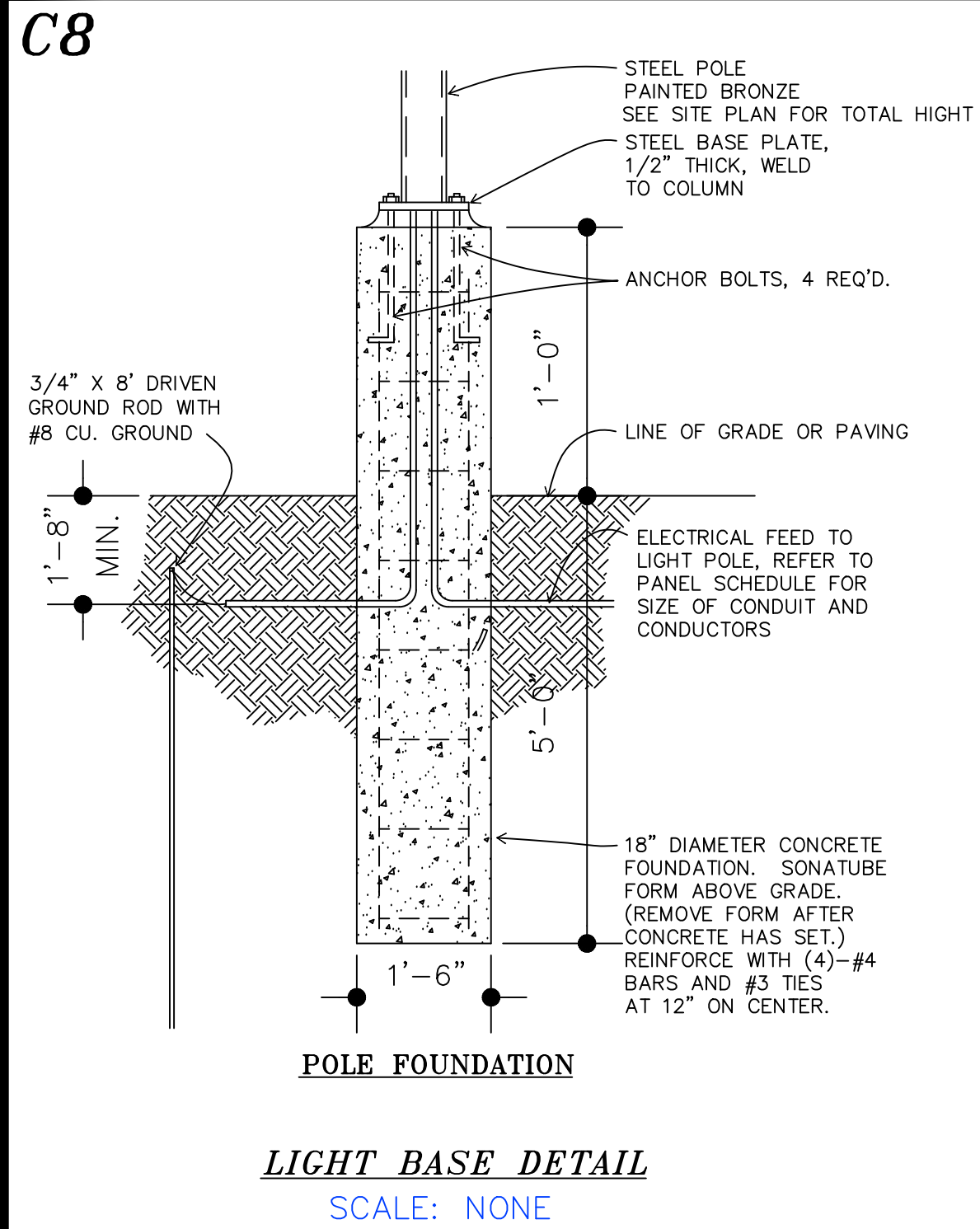
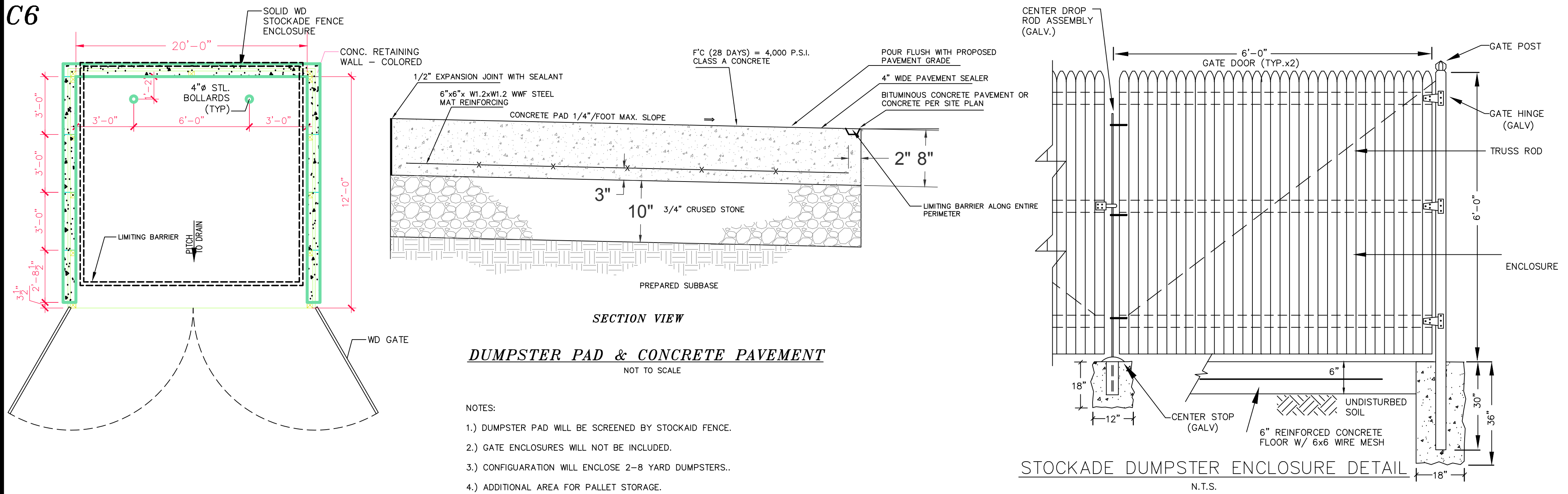
REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
No. 14245
LICENSED PROFESSIONAL ENGINEER

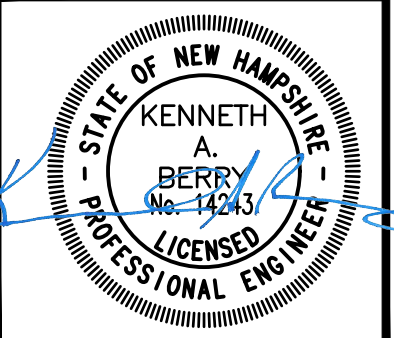
SHEET 19 OF 28



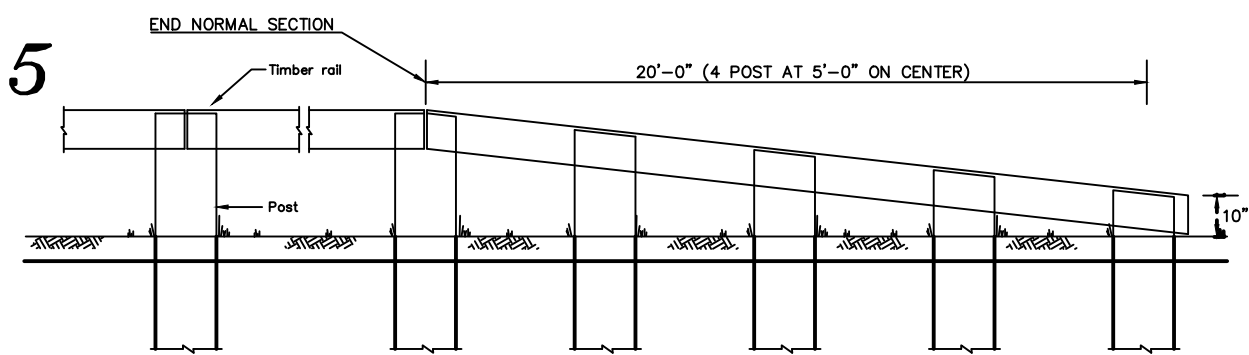
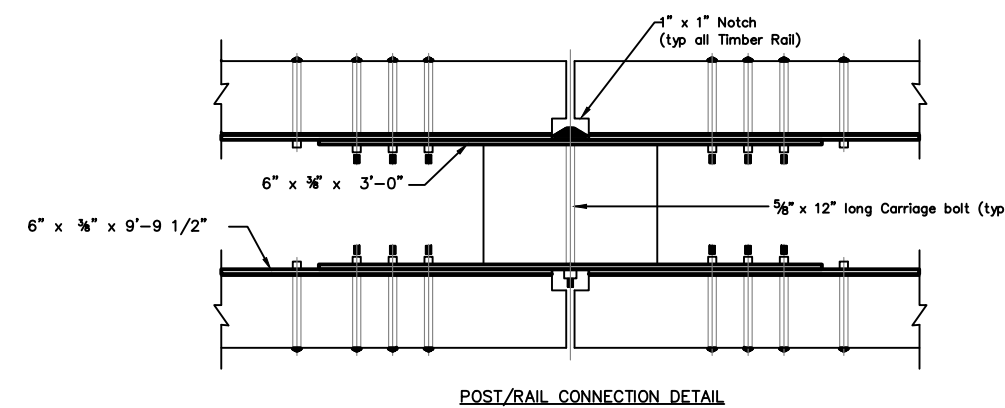
REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135



C15

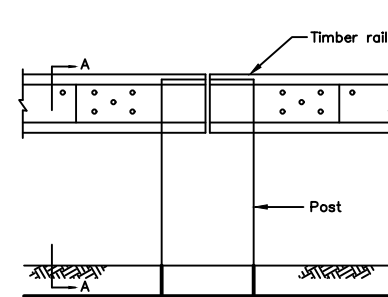
STEEL BACKED WOOD GUARD RAIL
TERMINAL UNIT DETAIL

POST/RAIL CONNECTION DETAIL

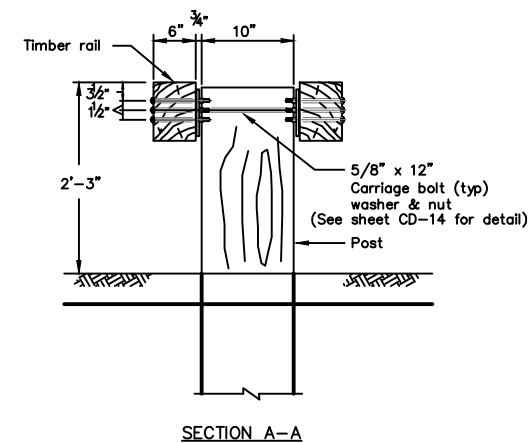
- NOTES:
1. POST TYPE : 10" x 12" WOOD
 2. BEAM TYPE : 6" x 10" WOOD
 3. POST SPACING : 5'-0" O.C.
 4. NOMINAL BARRIER HEIGHT : 27"

GUARD RAIL (WOODEN RAIL)

NOT TO SCALE



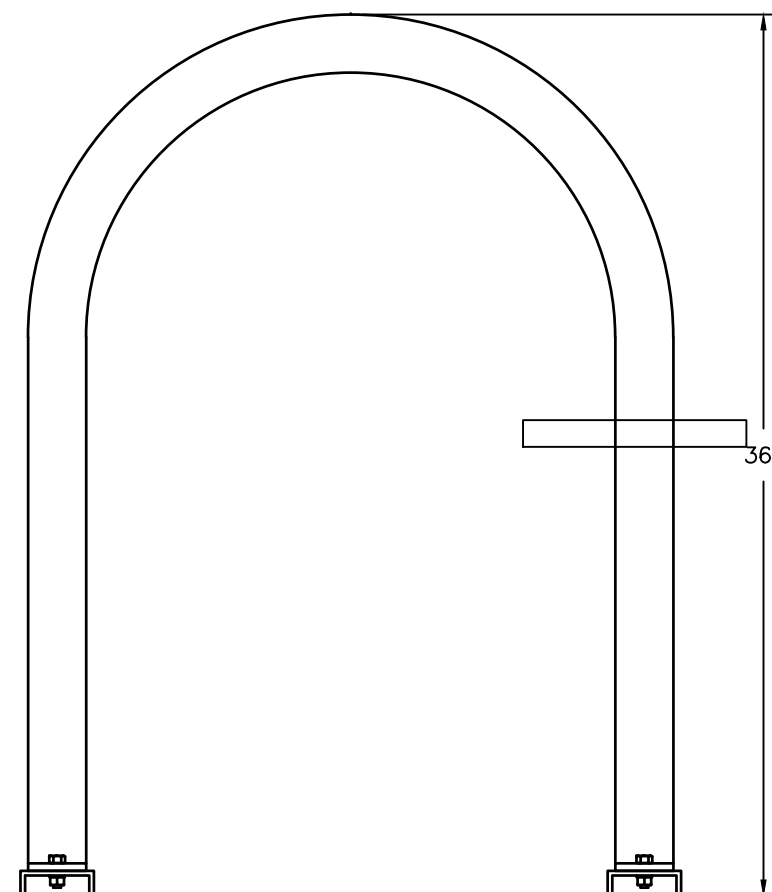
POST CONNECTION DETAIL



SECTION A-A

NOTES:

1. POST TYPE : 10" x 12" WOOD
2. BEAM TYPE : 6" x 10" WOOD WITH STEEL PLATE BACKING
3. POST SPACING : 10'-0" O.C.
4. NOMINAL BARRIER HEIGHT : 27"
5. STEEL PLATE BACKING AND SPOUCE PLATE - A36 GALVANIZED STEEL
6. ALL BOLTS & WASHERS TO BE GALVANIZED



RIGHT SIDE VIEW

MATERIALS LIST:

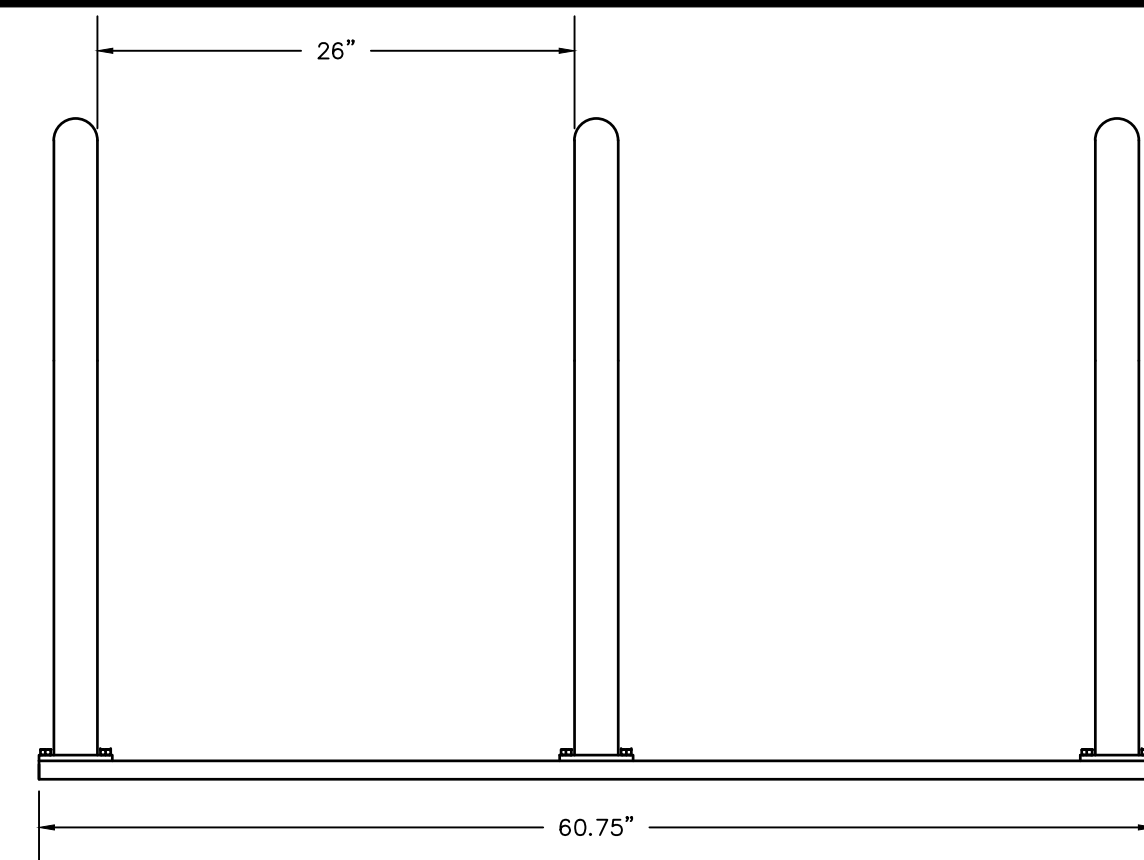
1. TUBING - Ø 2 3/8" x .154" WALL STEEL TUBING
2. SURFACE BRACKETS - 3" x 1" x 3/16" WALL STEEL CHANNEL WITH FOUR Ø 9/16" MOUNTING HOLES
3. 5/16" x 2 3/8" STEEL FLAT BAR MOUNTED WITH FOUR Ø 1/2" x 4-5" STAINLESS STEEL ANCHOR BOLTS

NOTE:

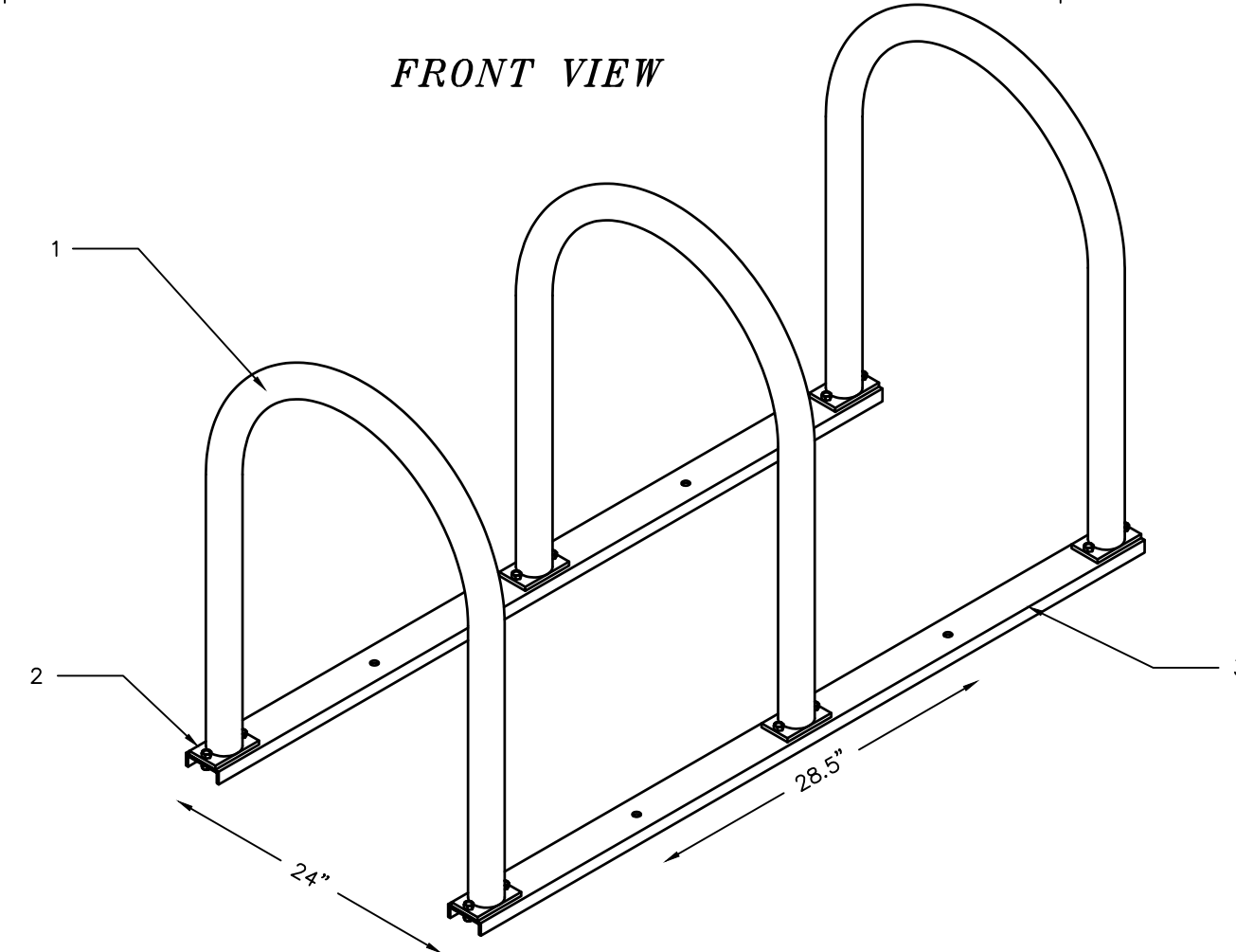
BIKE RACK MUST BE SITESCAPES (WWW.SITESCAPESONLINE.COM) OR EQUAL.

BIKE RACK DETAIL

NOT TO SCALE



FRONT VIEW



C16

UPDATED PER NOD
REVISED PER TRG COMMENT

REVISION

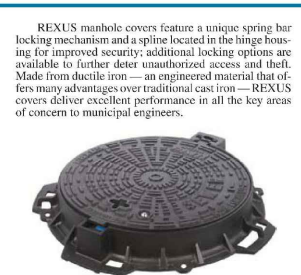
DATE

#2
#1

CONSTRUCTION DETAILS

LAND OF

ANNA FAZEKAS REVOCABLE TRUST
ERWIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

Manhole
Castings
L-1Rexus
Ductile Iron
Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

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Rexus Frame & Cover

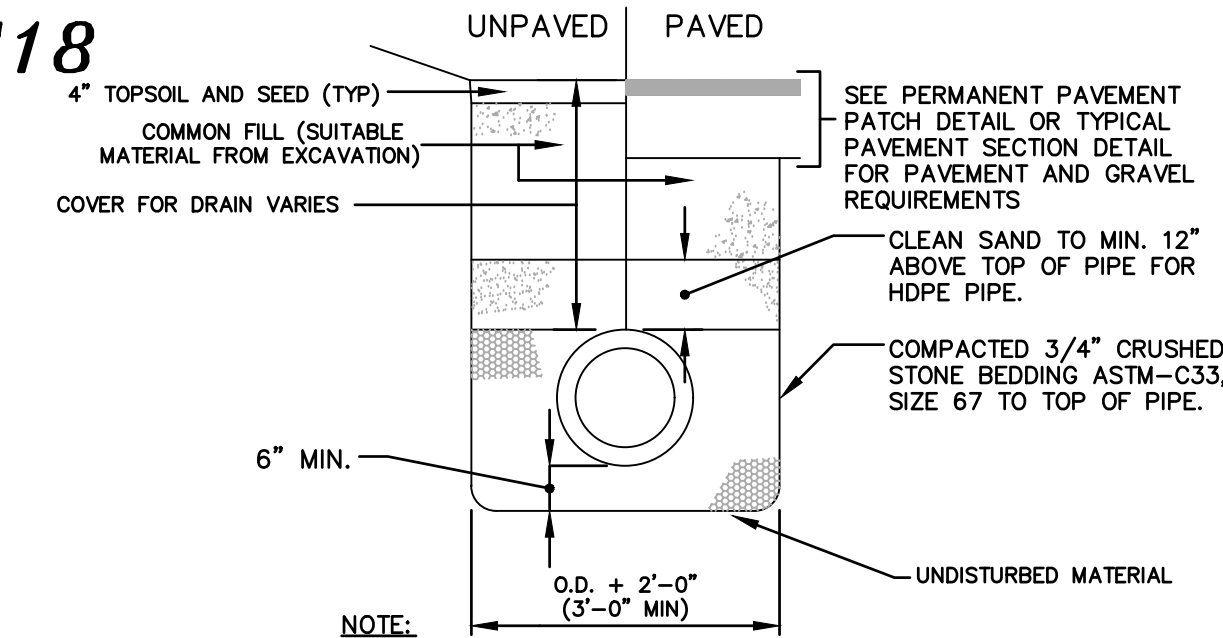
Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

Rexus Frame & Cover

C18



NOTE:

PLASTIC DRAIN PIPE (HDPE) SHALL BE ADS N-12 (CORRUGATED EXTERIOR/SMOOTH INTERIOR) OR EQUAL MEETING AASHTO M-252 AND H-20 LOADING.

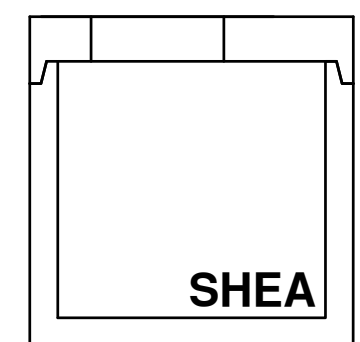
DI DRAIN PIPE SHALL BE CL. 50.

RC DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.

TYPICAL DRAIN AND SEWER PIPE TRENCH

NOT TO SCALE

C19



SECTION VIEW

PLAN VIEW

NOTES:

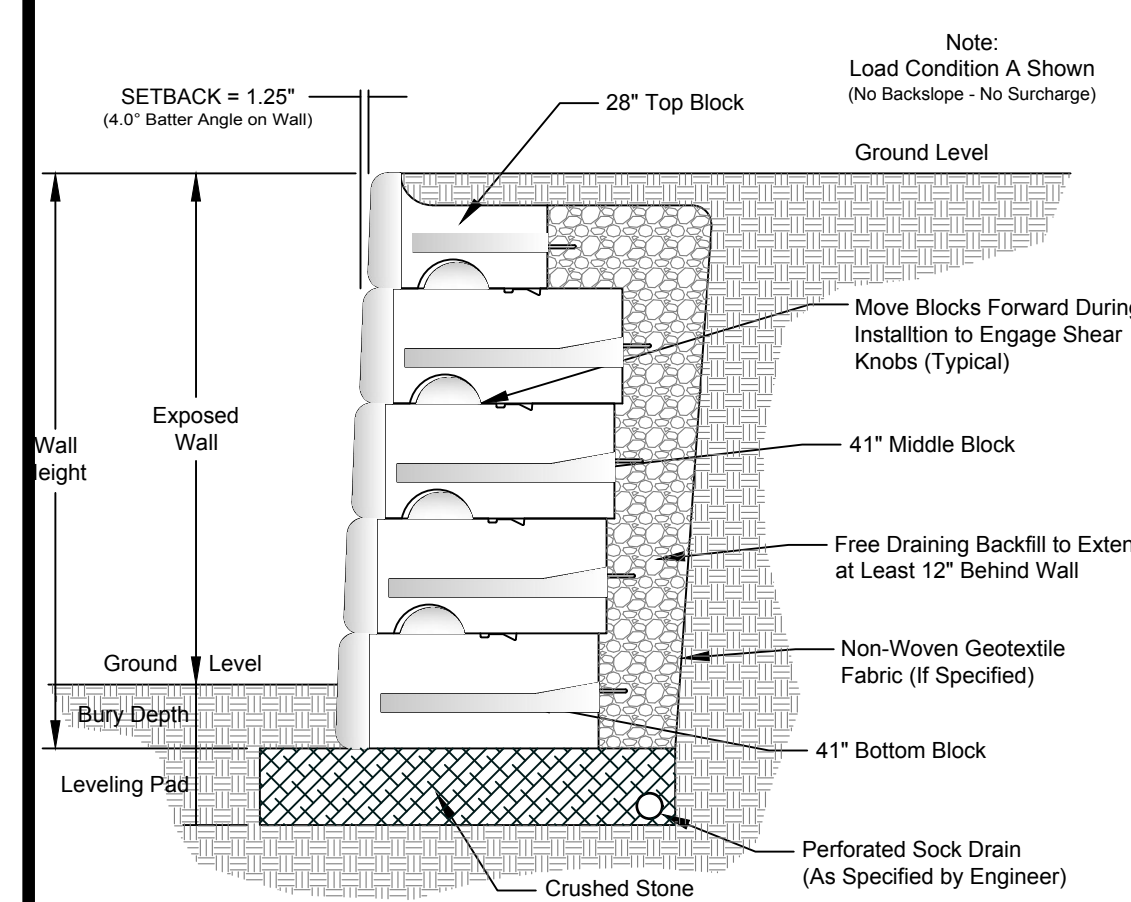
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.

TYPICAL DROP INLET

C20

Typical Gravity Wall
with 41" Blocks

No Scale



Note:

Load Condition A Shown
(No Backslope - No Surcharge)

41" SERIES BLOCKS

Top - 28"

Volume = 8.55 cft

Weight = ±1223 lbs

C of G = 15.06"

Half Top - 28"

Volume = 4.13 cft

Weight = ±591 lbs

Bottom - 41"

Volume = 17.37 cft

Weight = ±2483 lbs

C of G = 21.3"

Half Bottom - 41"

Volume = 7.73 cft

Weight = ±1105 lbs

Redi-Rock® International, LLC
RETAINING WALL DETAIL

NOT TO SCALE

NOTES:

Volume and Center of Gravity (C of G) calculations are based on the blocks as shown.
Center of Gravity is measured from the back of the block.
Half blocks may include a fork lift slot on one side.
Actual weights and volumes may vary.
Weight shown is based on 143 pcf concrete.

See Redi-Rock.com for Detailed
Section Drawings of Each Condition
Shown in the Design ChartsNOTE: RETAINING WALL TO BE DESIGNED BY A LICENSED
PROFESSIONAL STRUCTURAL ENGINEER.

NOTES:

- 1.) THE PROPOSED APPLICATION FOR THIS LOCK BLOCK OR EQUAL (AS DETERMINED BY THE DESIGN ENGINEER WITH APPROVAL BY DEPARTMENT OF PUBLIC WORKS (BS&E 603-332-2863) (DPW 603-335-7575)) IS FOR A WALL THAT RANGES IN HEIGHT FROM 2-3 FEET.
- 2.) USE THE 41" BOTTOM BLOCK TO INSTALL THE FIRST COURSE. NOTE EMBEDMENT REQUIREMENT. COURSE DEPTH IS 1.5'
- 3.) USE 41" TOP BLOCK ALONG TOP OF WALL.
- 4.) USE 41" HALF BLOCKS FOR RADIAL TURNS AND END SECTIONS.
- 5.) THE WALL MANUFACTURER TYPICALLY PROVIDES WALL PROFILE AND BLOCK COUNT TO THE CONTRACTOR AS REQUIRED FOR CONSTRUCTION. THIS IS TO BE REVIEWED BY BOTH DPW AND DESIGN ENGINEER FOR CORRELATION WITH PROJECT SITE PLANS.

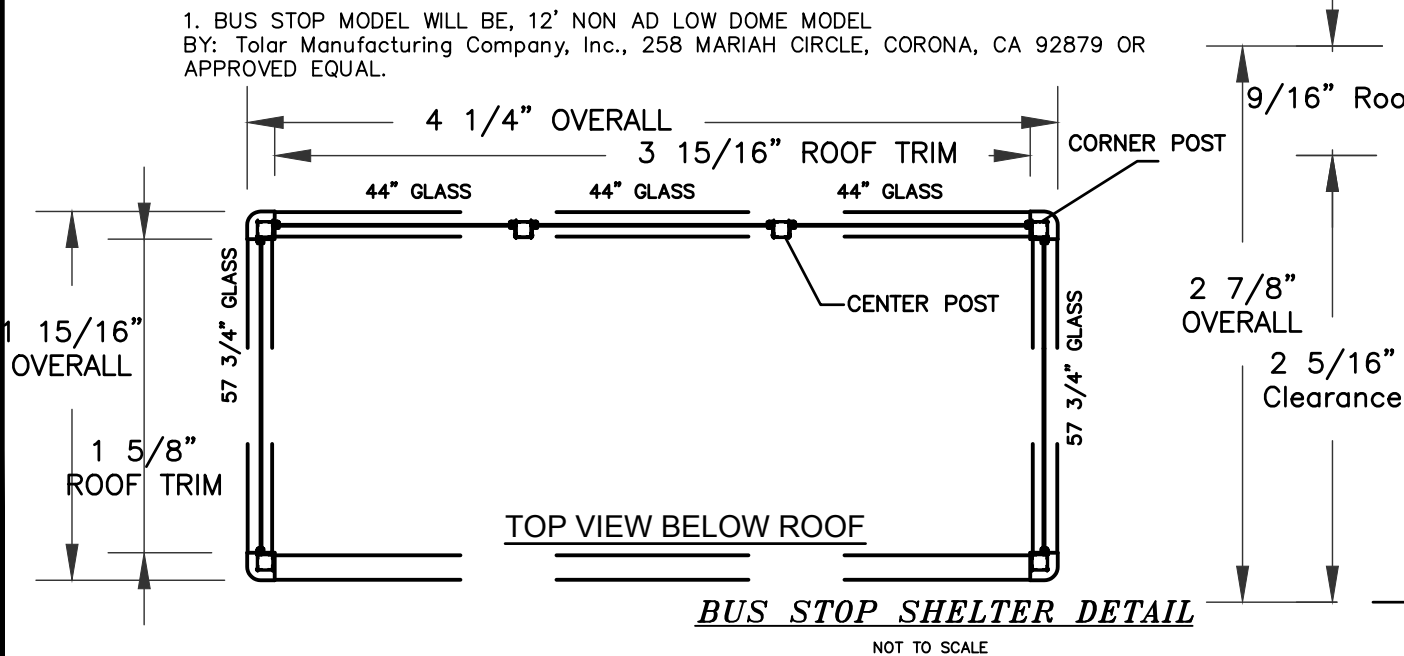
C21

C17

NOTE: REXUS DUCTILE IRON FRAME AND COVER ARE REQUIRED BY ROCHESTER DPW AND SUBSTITUTIONS ARE NOT ALLOWED.

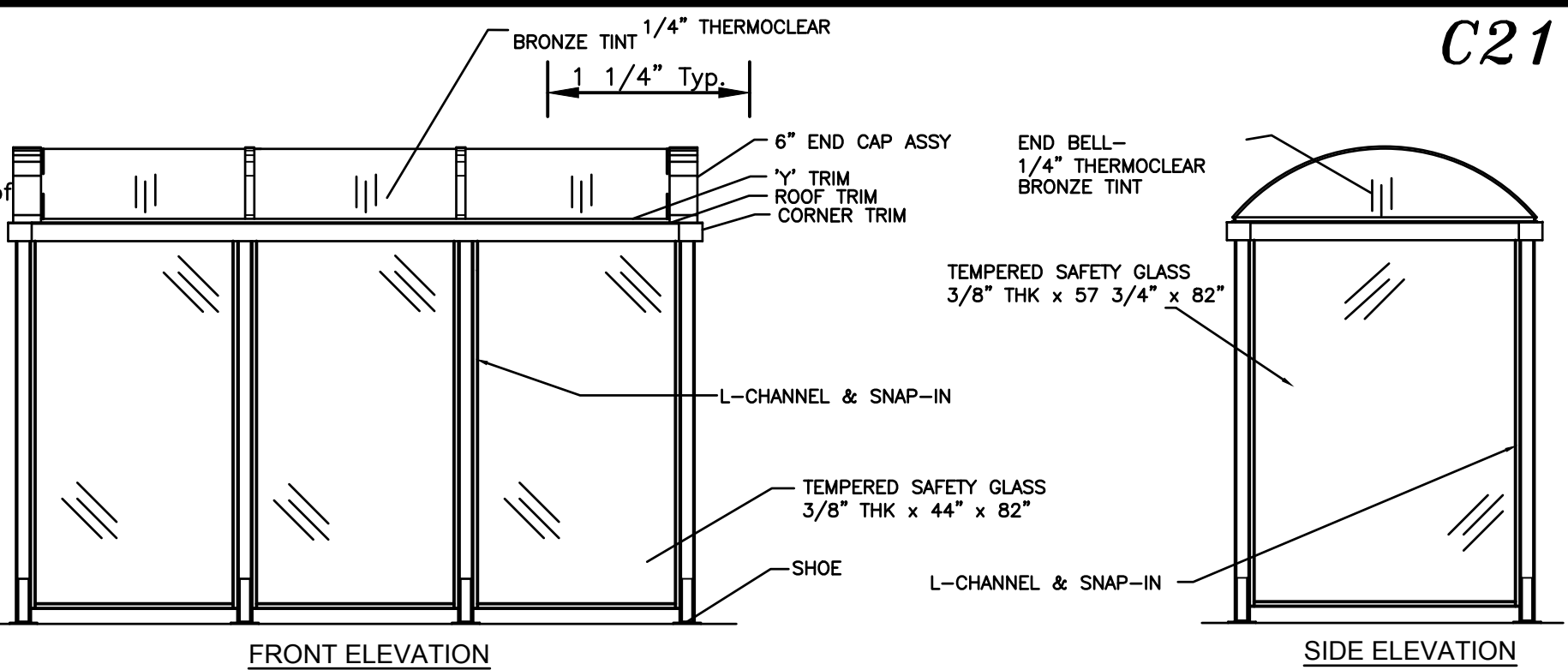
NOTES:

1. BUS STOP MODEL WILL BE, 12' NON AD LOW DOME MODEL BY: Talar Manufacturing Company, Inc., 258 MARIAH CIRCLE, CORONA, CA 92879 OR APPROVED EQUAL.



BUS STOP SHELTER DETAIL

NOT TO SCALE



FRONT ELEVATION

SIDE ELEVATION

C-103

SHEET 21 OF 28

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

Diagram illustrating the planting method for a tree, showing the root ball, mulch, and support structure.

Labels and Dimensions:

- PLASTIC LOCK-TIE OR RUBBER HOSE TREE TIE. SET LOOSE TO ALLOW FOR DIAMETER GROWTH.
- Ø X 8'-0" LENGTH LODGEPOLE PINE TREE STAKE
- MIN 2"-3" OF MULCH
- 3"-4" SOIL SAUCER (DURING ESTABLISHMENT)
- FINISH GRADE
- REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL.
- REMOVE ALL WIRE & STRING
- NATIVE BACKFILL SOIL AMENDED WITH 25% (Ø1/3 CU YD) DECOMPOSED ORGANIC MULCH AMENDMENT FOR ENTIRE TREE PIT AREA (APPROXIMATELY ROOTBALL DEPTH)
- UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)
- MIN 1/3 HEIGHT OF TREE (TYP)
- 1'-0" MIN. TYP.
- 6'-0" MIN OR 2 TIMES ROOTBALL
- 6'-0" Ø MULCH AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION DURING ESTABLISHMENT
- SET ROOT CROWN AT OR 1" ABOVE FINISH GRADE

PERENNIAL PLANTING DETAIL

L2

RUBBER HOSE AT BARK

WIRE TIE

EYE SCREW

50x50mm (2"x2") WOOD STAKE ON WINDWARD SIDE
INSTALL TWO ADDITIONAL STAKES AT 120°

SET TREE AT ORIGINAL GRADE

MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.

SOIL SAUCER: USE GOOD TOPSOIL 150mm (6") MIN.
8" MINIMUM DISTANCE FROM TRUNK

ROPES AT TOP OF BALL SHALL BE CUT. REMOVE
TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL
SHALL BE TOTALLY REMOVED

PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT
SETTLING

2X BALL DIA., MIN.

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

L5

PREVAILING WINDS

B&B OR BAREROOT TREES (AS SPECIFIED)

SET ALL PLANTS PLUMB

SEE NOTE 4

2"-3" MULCH DEPTH TAPERED AT TRUNK

MIN 1/3 HEIGHT OF TREE (TYP)

1'-6"

SEE NOTE 5

SEE NOTE 6

2"-3" MULCH DEPTH TAPERED AT TRUNK

BACKFILL WITH MIXTURE OF 75% NATIVE SOIL AND 25% DECOMPOSED ORGANIC MULCH AMENDMENT

1:1 MAX

2:1 TYP

1'-0" MIN

B&B OR CONTAINERIZED SHRUB (TYP)

SET ROOTCROWN AT OR JUST ABOVE SOIL LEVEL (TYP)

SEE NOTE 6

EXISTING GRADE (SEE GRADING PLAN)

1:1 MAX

NOTES:

1. STAKE TREES PER STD PLAN NO 100a
2. ONE STAKE PER TREE ON WINDWARD SIDE;
SECOND STAKE ON LEeward SIDE
3. SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
-ROCK FACING
-PRECAST CONCRETE WALL UNITS

6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

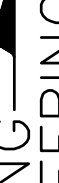
TYPICAL POST & RAIL FENCE DETAIL
N.T.S.

TYPICAL BED CROWNING

SHRUB & HEDGE PLANTING

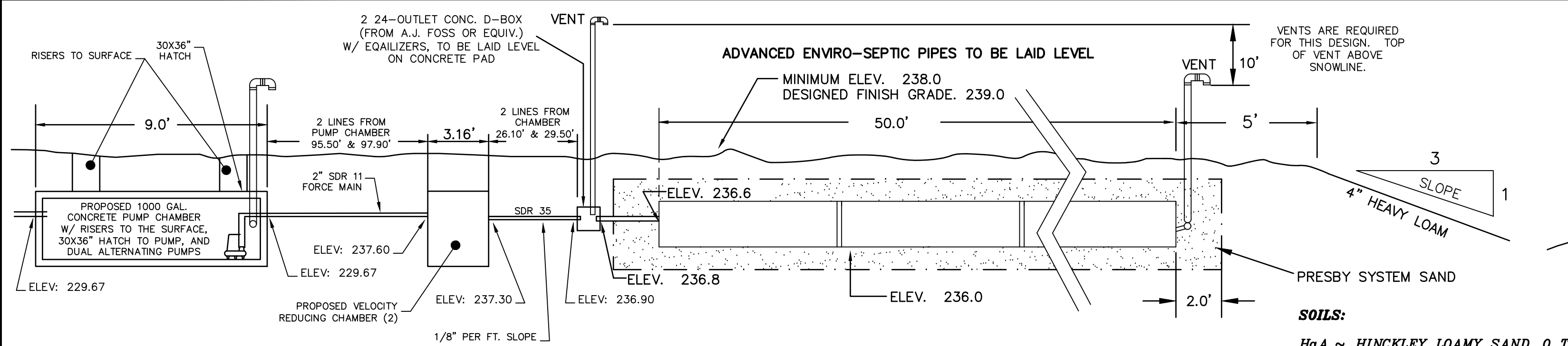
- 1) CALL DIG SAFE PRIOR TO BEGINNING WORK. ((1-888-344-7233)). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 2) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING. SEE NOTE B ON OVERALL SITE PLAN.
- 3) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 4) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- 5) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 6) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 7) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 8) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 9) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 10) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH
- 11) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 12) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 13) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 14) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 15) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- 16) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 17) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 18) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 19) TREES ARE TO BE 3-3.5" CALIPER.

L-101



BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863

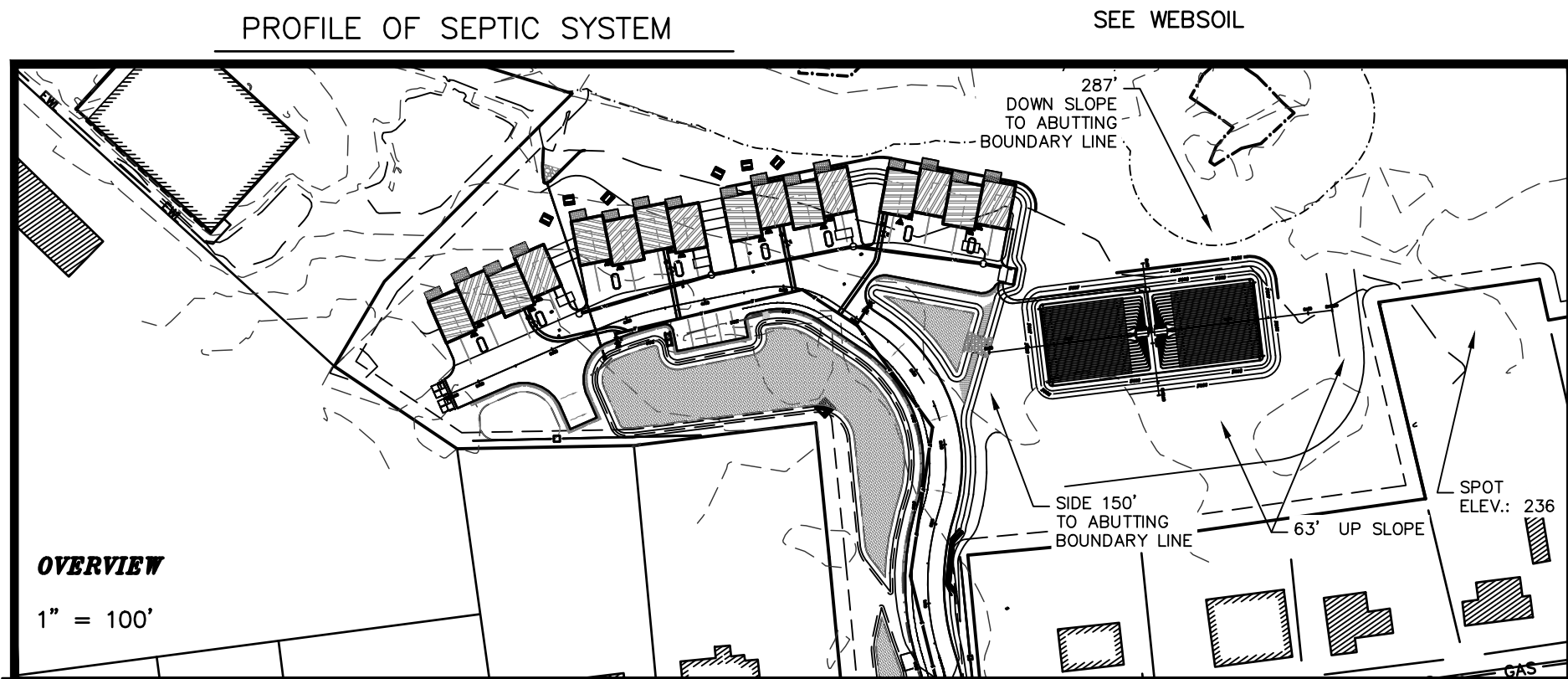
SCALE :	AS MARKED	
DATE :	NOVEMBER 1, 2016	
FILE NO. :	DB 2016	— 135



SOLID PLASTIC PIPE IS 4" "OLIN" PVC ASTM D-2729 81 E 2141, CRUSH PROOF. JOINTS OF PLASTIC PIPE AT BOTH THE HOUSE OUTLET AND THE SEPTIC TANK, ARE TO BE CAULKED WITH PRESSURE RESISTANT CAULKING.

THE WETLAND DELINEATION WAS COMPLETED FALL 2015 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATIONS METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY: PETER SPEAR, CWS #103

PUMP DATA :
BRAND : LIBERTY 280 SERIES DUAL ALTERNATING PUMPS 1/2 HP EFFLUENT PUMP
PIPE SIZE : 2" W/VELOCITY REDUCING STRUCTURE
RATE : 46 GAL/MINUTE
4.35 MINUTE PUMP CYCLES @ 200 GAL/CYCLE
24 CYCLES PER DAY
BOTTOM OF CHAMBER: 225.67
PUMP OFF ELEV. 226.25
PUMP ON ELEV. 226.97
ALARM ON ELEV. 227.72
THE PUMP WILL BE EQUIPPED WITH AN ALARM SYSTEM
THE ALARM SYSTEM AND PUMP WILL BE ON SEPARATE ELECTRICAL CIRCUITS
THE PUMP CHAMBER WILL BE VENTED AND WATER-TIGHT A GENERATOR IS RECOMMENDED



SOILS:
H₁₀A ~ HINCKLEY LOAMY SAND, 0 TO 3% SLOPES
SEE WEBSOIL

LOT LOADING
7.77 AC = Q/2000 X 1.0
Q = 15,540 GPD

NITRATE SETBACKS
250' DOWN GRADIENT
125' SIDE GRADIENT
63' UP GRADIENT

TEST PIT DATA:

TP #3
0.0-0.6' 10YR 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE
0.6-1.2' 10YR 5/4 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE
1.2-2.0' 10YR 6/4 PALE BROWN, FINE SAND, SINGLE GRAIN, LOOSE
2.0-3.1' 10YR 6/4 LIGHT YELLOWISH BROWN, MIXED SAND & GRAVEL, SINGLE GRAIN
3.1-5.0' 10YR 6/2 LIGHT BROWNISH GRAY, FINE SAND, SINGLE GRAIN, FRIABLE IN HAND, 50% REDOX
ESHWIT @ 3.1'
NO LEDGE
G.W. @ 4.5'
ROOTS TO 3.5'
TERMINATED @ 5.0'
P = 2-4 MIN/IN

TP #4
0.0-0.5' 10YR 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE
0.5-1.0' 10YR 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRIABLE
1.0-3.8' 10YR 6/4 LIGHT YELLOWISH BROWN, MIXED SAND & GRAVEL, SINGLE GRAIN, LOOSE
3.8-5.0' 10YR 6/2 LIGHT BROWNISH GRAY, FINE SAND, SINGLE GRAIN, FRIABLE IN HAND, 15% REDOX
ESHWIT @ 3.8'
NO LEDGE
G.W. @ 4.0'
ROOTS TO 3.5'
TERMINATED @ 5.0
P = 2-4 MIN/IN

CALCULATIONS :

16 2-BEDROOM TOWNHOUSES, 4,800 GPD
USE 2 3,000 GAL. CONCRETE SEPTIC TANK AND
1 1,000 GAL. CONCRETE PUMP CHAMBER
(FROM SHEA CONCRETE OR EQUIV.)

2-4 MIN/IN MEASURED PERC RATE
6 MIN/IN DESIGN PERC RATE
2,400' - MIN. LENGTH ADV. ENVIRO SEPTIC PIPE REQUIRED
2,400' - PROPOSED LENGTH OF ADV. ENVIRO SEPTIC PIPE
240 - TOTAL NUMBER OF 10' SECTIONS OF ADV. ENVIRO SEPTIC PIPE REQUIRED
24 ROWS OF ADV. ENVIRO SEPTIC PIPE, EACH ROW 100' LONG

ELEVATIONS :

236.10 - DESIGN POINT OF LEACH BED
233.00 - S.H.W.T.
N/A - IMPERVIOUS LAYER
236.00 - BOTTOM OF ADV. ENVIRO-SEPTIC PIPES

PLAN INTENT :

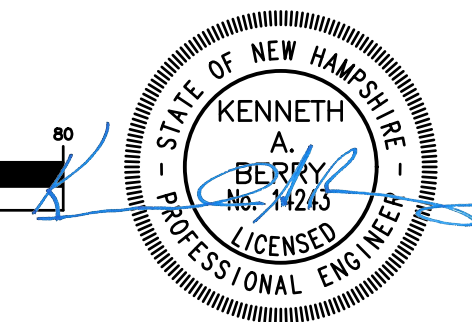
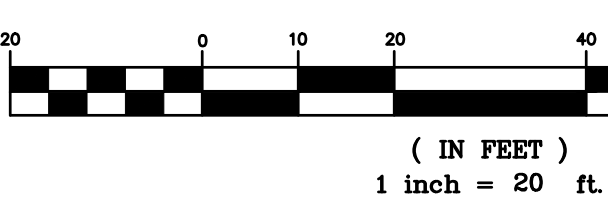
THE SEPTIC SYSTEM IS TO BE CONSTRUCTED WITH THE BOTTOM OF THE LEACH BED 0.1' BELOW THE HIGH POINT OF THE EXISTING LAND.

SYSTEM MAY BE RE-INSTALLED IN THE SAME POSITION WITH FURTHER PERMISSION FROM NHDES

CAUTION !!!!!

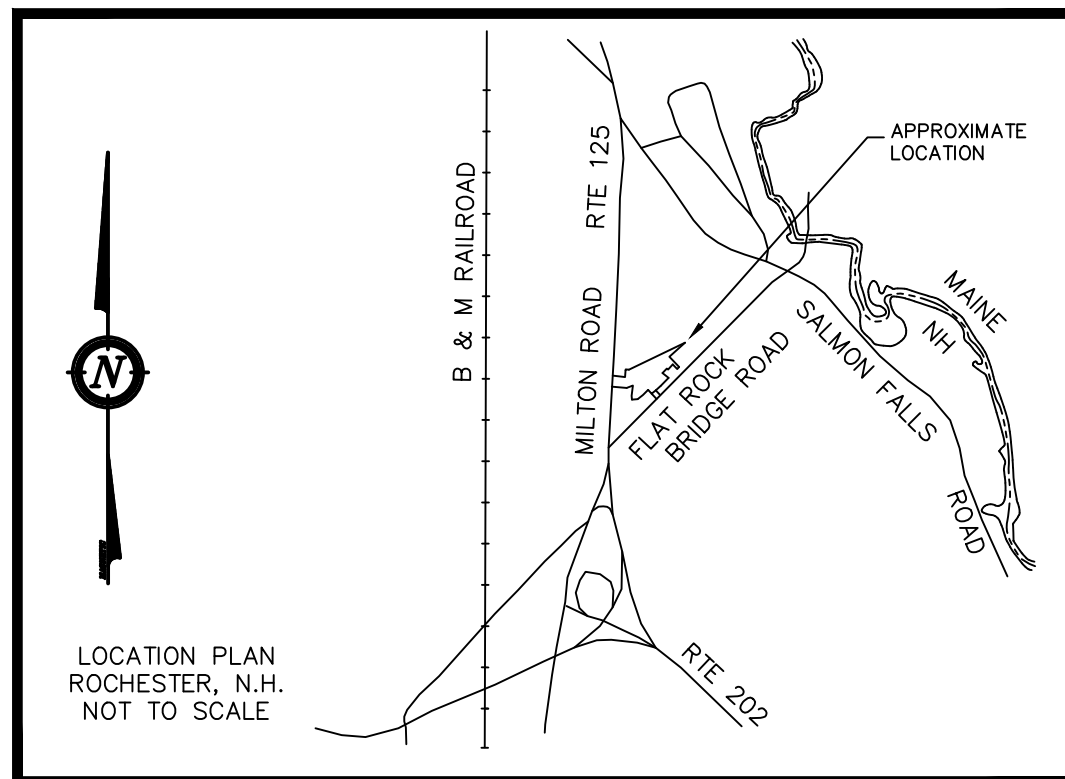
ANY DEVIATION FROM THIS PLAN IN GRADE OR LOCATION OF THE SEPTIC SYSTEM WHEN CONSTRUCTED WITHOUT THE APPROVAL OF THE DESIGNER AND NH-DES SUBSURFACE SYSTEMS BUREAU MAY RESULT IN THE FAILURE OF THE SYSTEM TO PASS INSPECTION BY NH-DES SUBSURFACE SYSTEMS BUREAU PRIOR TO OPERATION APPROVAL, OR FUNCTION PROPERLY AND SAFELY.

GRAPHIC SCALE



NOTES:

- OWNER: ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867
- DESIGNER: KENNETH A. BERRY, PERMIT #125, P.E. #14243
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
- TAX MAP 210, LOT 64
- LOT AREA: 338,298 Sq. Ft., 7.77 Ac
- S.C.R.D. BOOK 3864, PAGE 71
- SUBDIVISION STATUS: OVER 5 AC.
- FOUNDATION DRAINS WILL START AT LEAST 15' FROM THE LEACH FIELD, AND AT LEAST 5' FROM THE SEPTIC TANK.
- THERE IS NO SURFACE WATER OR VERY POORLY DRAINED SOILS WITHIN 75', OR POORLY DRAINED SOILS WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM.
- THIS DESIGN DOES NOT ALLOW FOR THE USE OF A GARBAGE GRINDER. IF A GRINDER IS TO BE INCORPORATED A LARGER SEPTIC TANK WILL BE REQUIRED.
- THIS DESIGN DOES NOT ALLOW FOR THE ACCEPTANCE OF WATER TREATMENT BACKWASH. IF A WATER TREATMENT SYSTEM IS TO BE INCORPORATED A LARGER LEACHFIELD WILL BE REQUIRED.



REVISION	DATE	DESCRIPTION
PROPOSED ADVANCED ENVIRO SEPTIC SYSTEM FOR ANNA FAZEKAS REVOCABLE TRUST OLDENBURG DRIVE & FLAT ROCK BRIDGE ROAD, N.H. TAX MAP 210, LOT 64		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. 332-2863		
SCALE : 1 IN. EQUALS 20 FT.		
DATE : NOVEMBER 1, 2016		
FILE NO. : DB 2016-135		

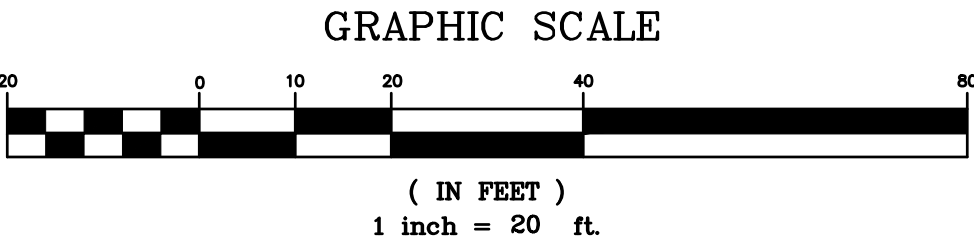
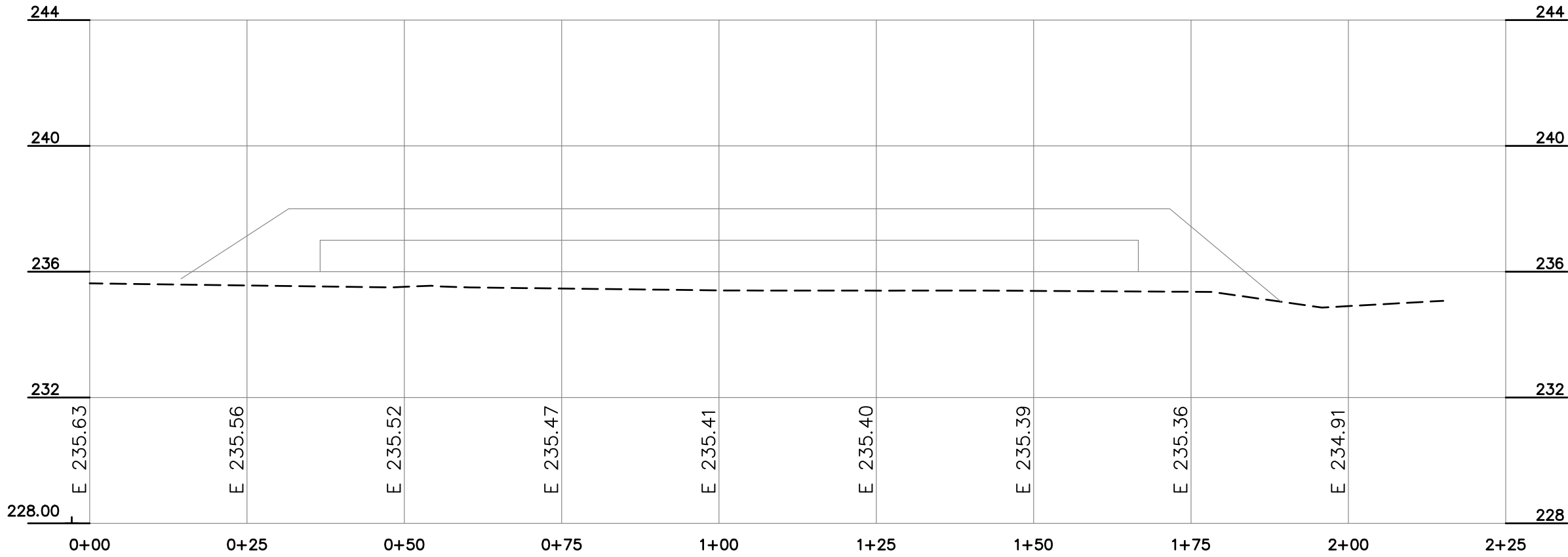
- NOTES:**
- 1.)

OWNER:

ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
141 WAKEFIELD STREET
ROCHESTER, NH 03867-1303
- 2.)

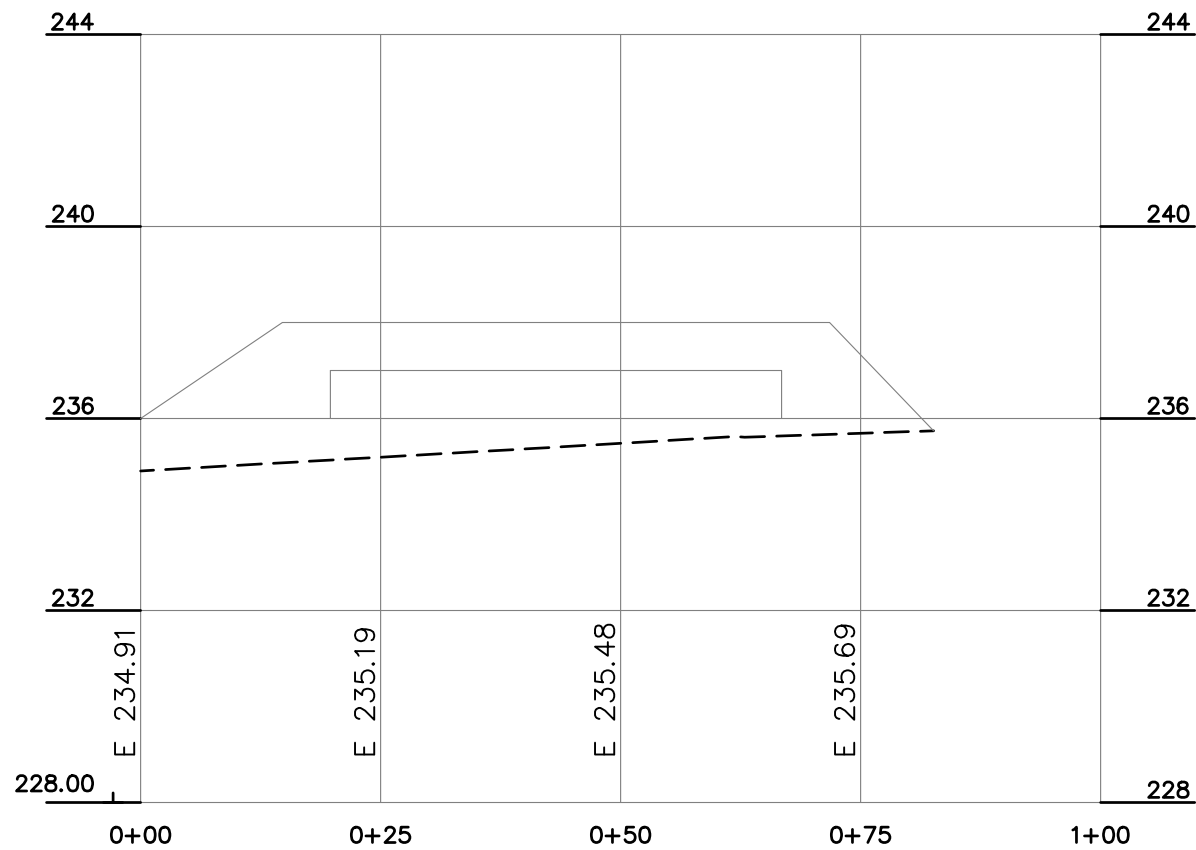
ROCHESTER TAX MAP 210, LOT 64
- 3.)

THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE PROFILE VIEW AND SECTION VIEW OF THE EFFLUENT DISPOSAL FIELD.



PROFILE VIEW EFFLUENT DISPOSAL FIELD
VERTICAL SCALE" 1' = 4'

CROSS SECTION VIEW EFFLUENT DISPOSAL FIELD
VERTICAL SCALE" 1' = 4'



REVISION		DATE	DESCRIPTION
#2	2-20-18		UPDATED PER NOD
#1	1-26-17		REVISED PER TRG COMMENT

PROFILE AND SECTION VIEW OF EFFLUENT DISPOSAL FIELD
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

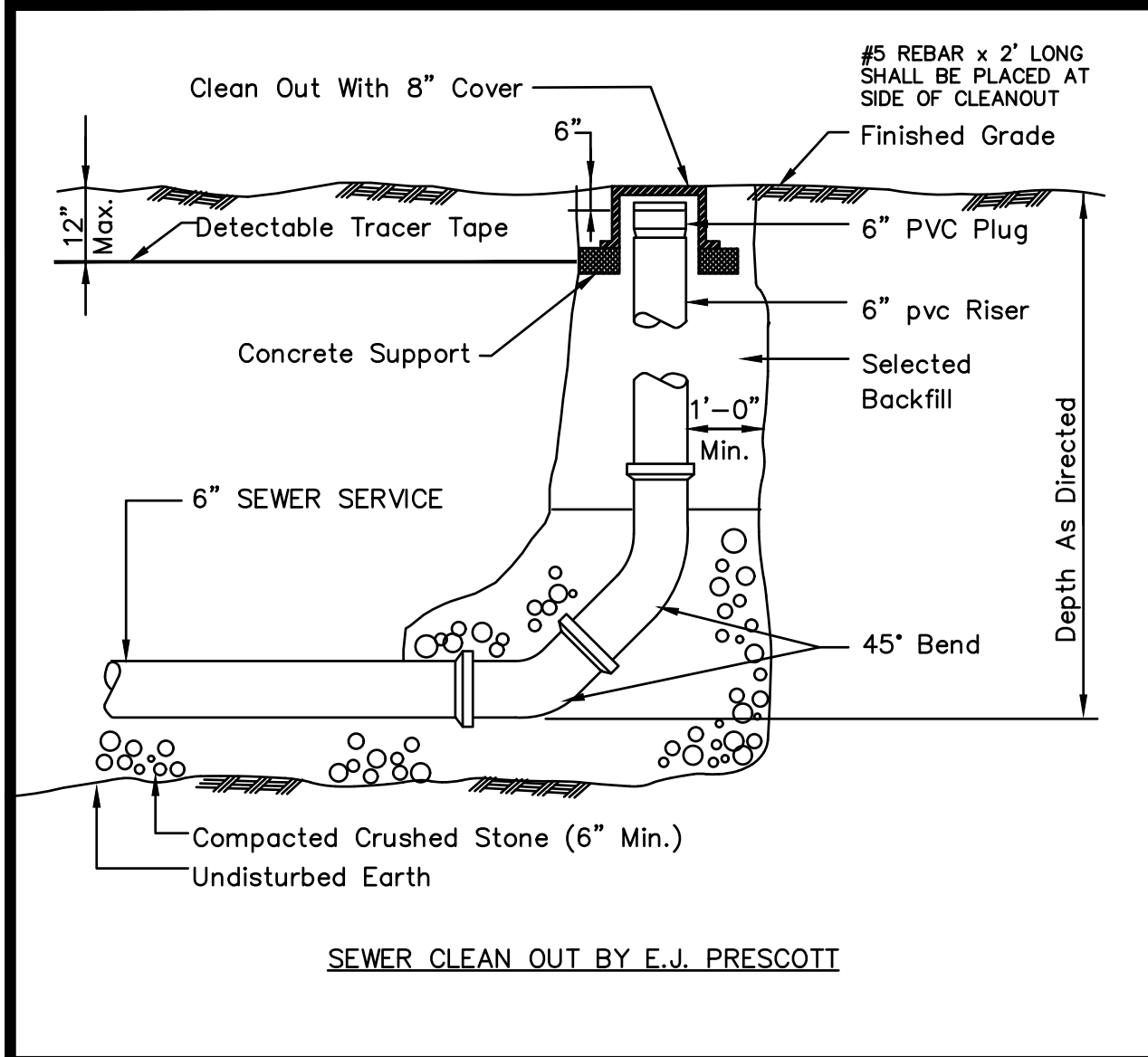
BARRINGTON, NH 03825 (603)332-2863

SCALE: 1 IN. EQUALS 20 FT.

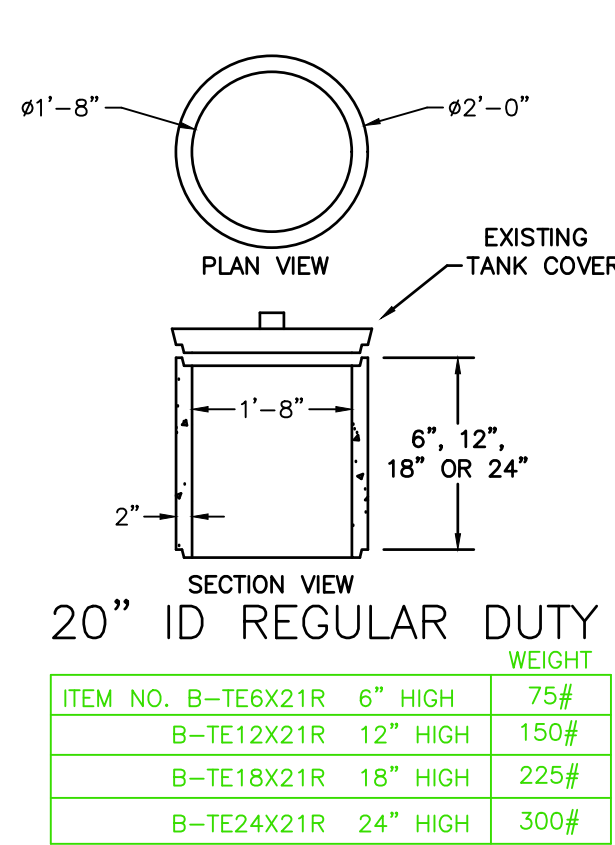
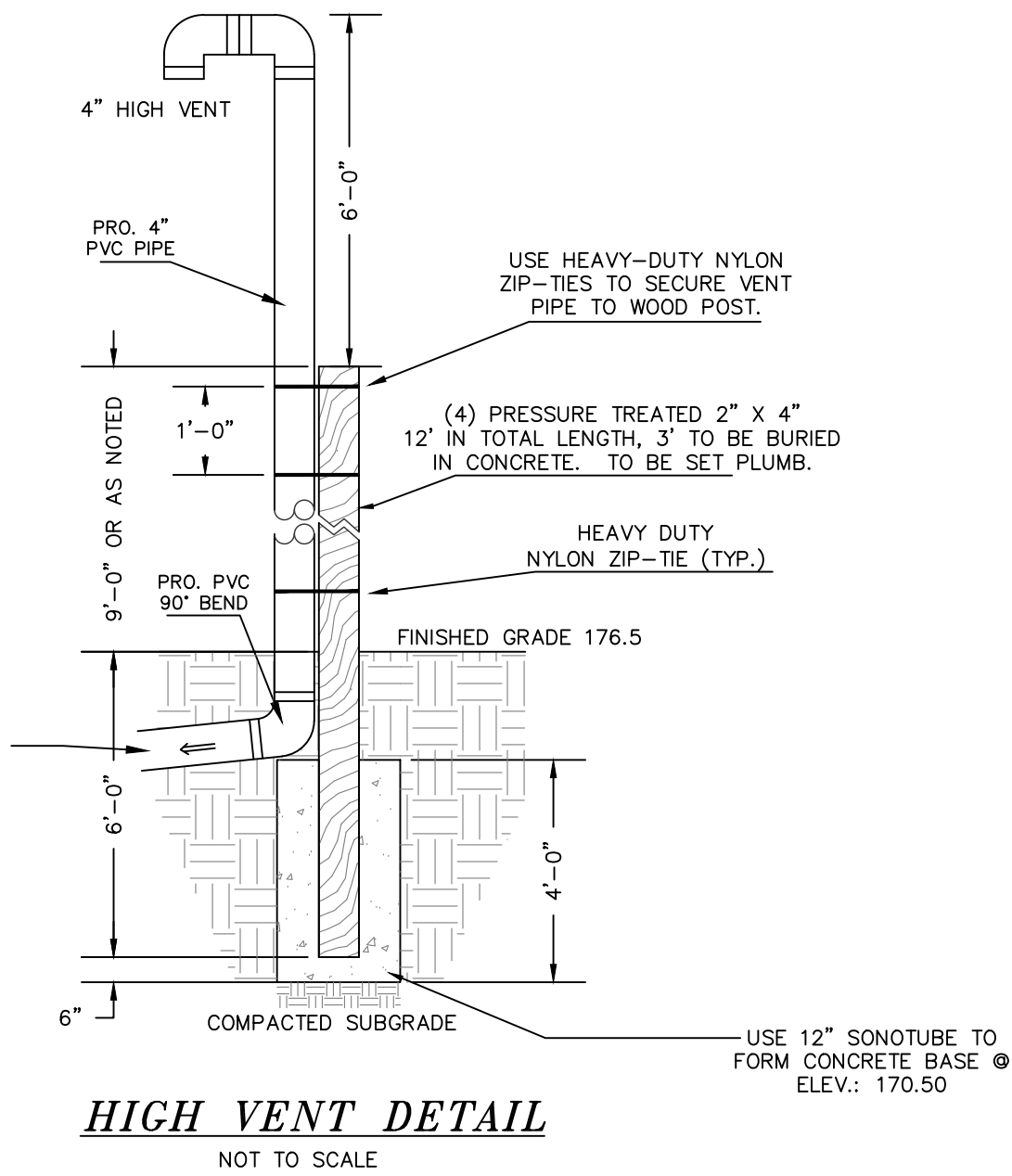
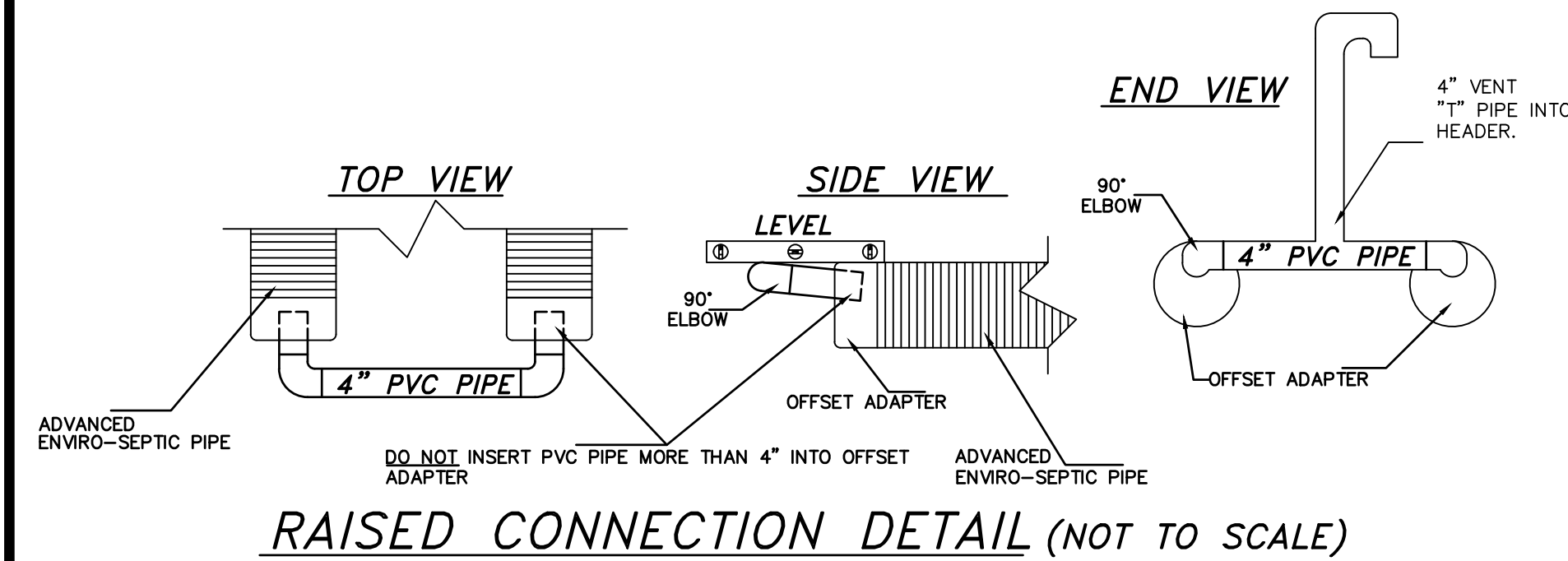
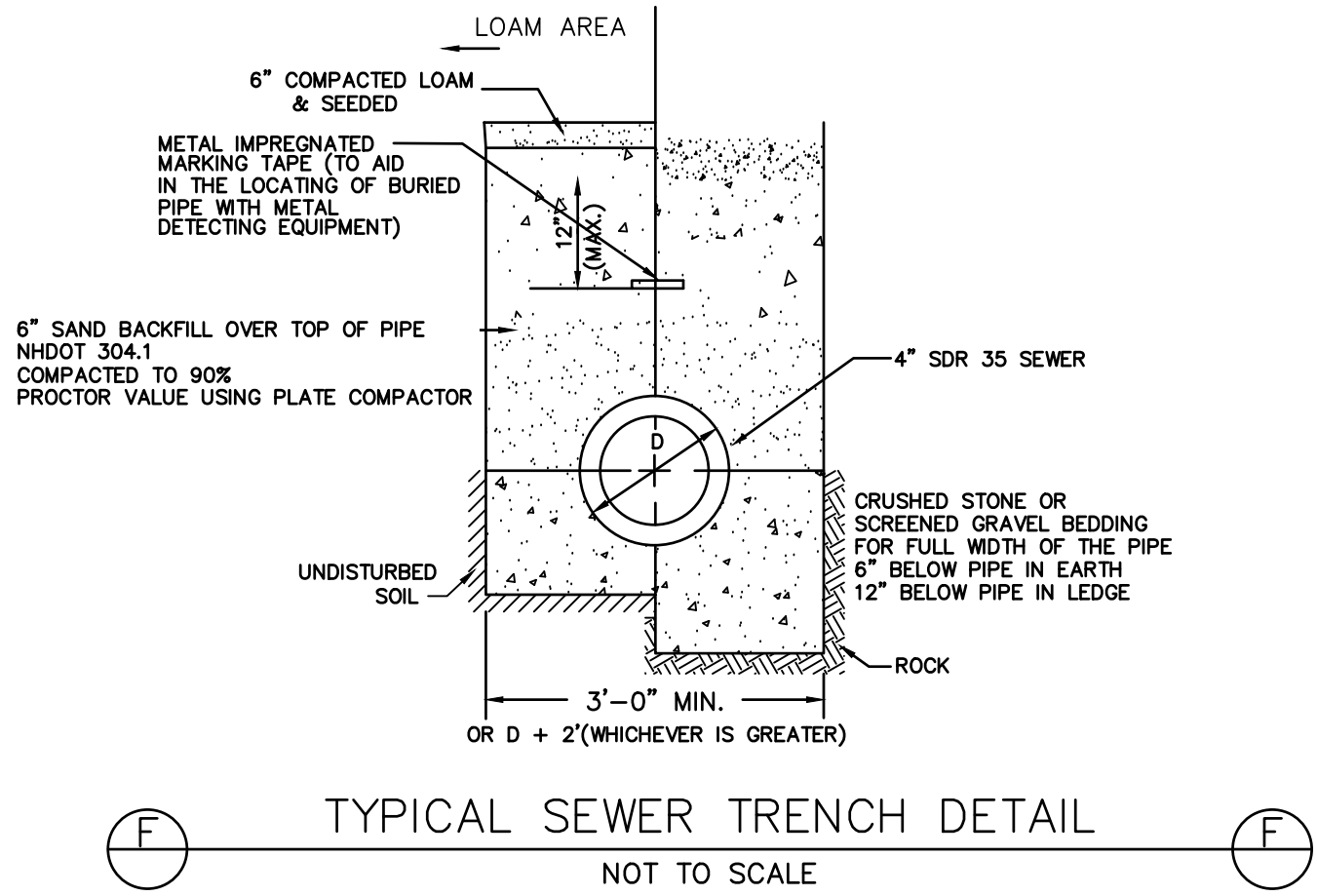
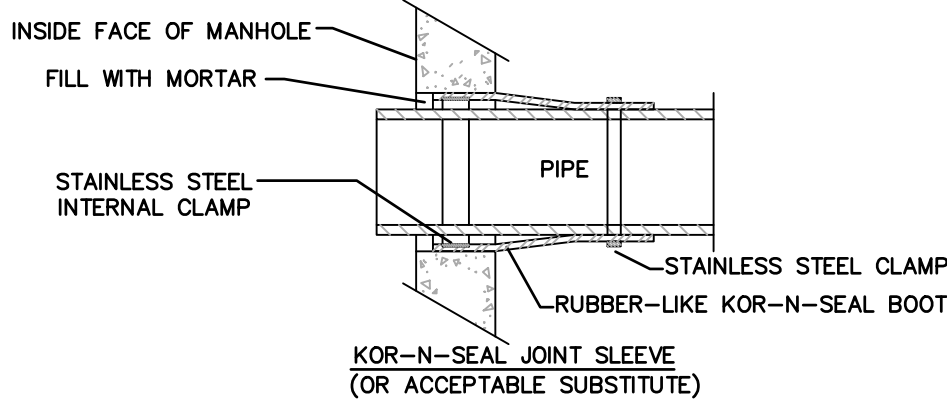
DATE : NOVEMBER 1, 2016

FILE NO. : DB 2016 - 135

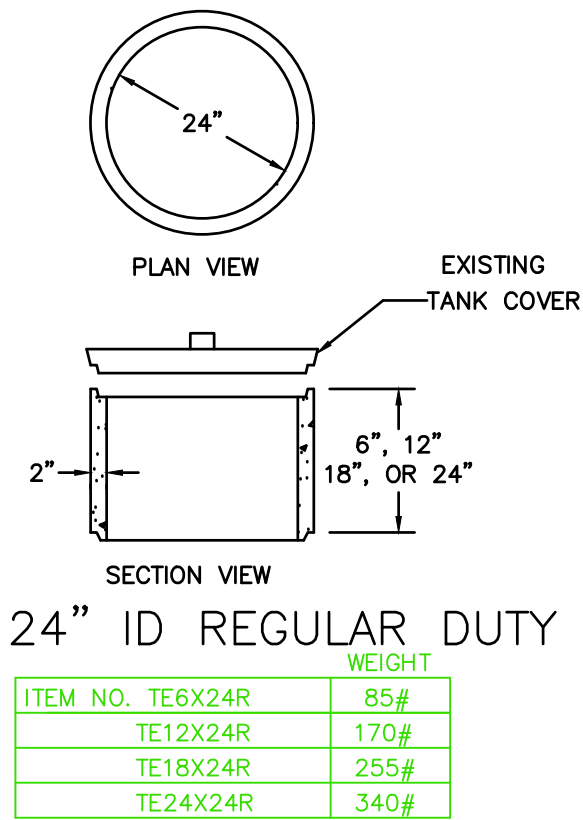
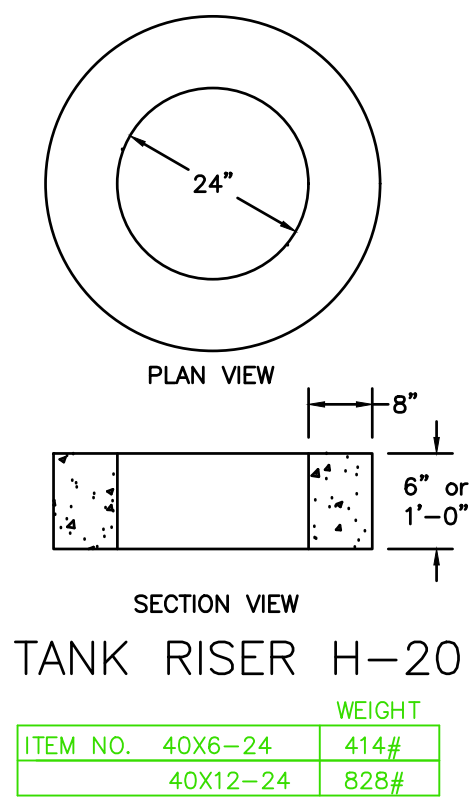
Kenneth A. Berry
No. 14243
Professional Engineer
State of New Hampshire



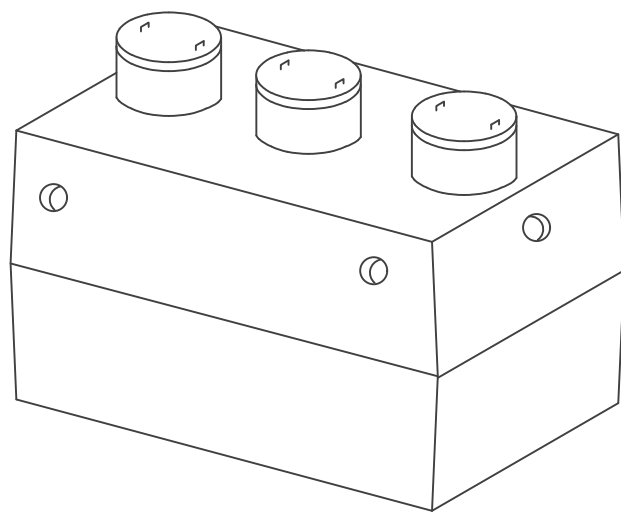
SEWER CLEAN OUT BY E.J. PRESCOTT



ITEM NO.	B-T6X21R	6" HIGH	75#
	B-TE12X21R	12" HIGH	150#
	B-TE18X21R	18" HIGH	225#
	B-TE24X21R	24" HIGH	300#



ITEM NO.	TE6X24R	6" HIGH	85#
	TE12X24R	12" HIGH	170#
	TE18X24R	18" HIGH	255#
	TE24X24R	24" HIGH	340#



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. OPTIONAL CONCRETE OR CAST IRON COVER AVAILABLE.

TANK
EXTENSIONS

M3

tanexts.dwg

11/25/2009

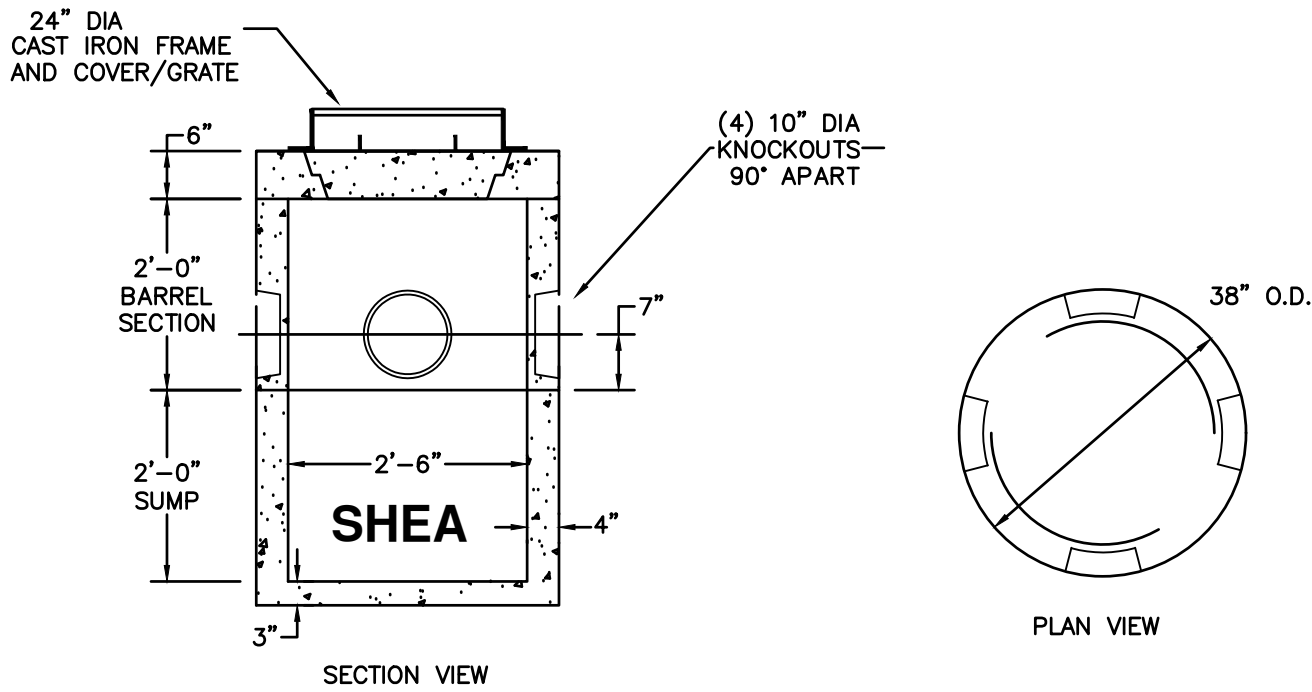
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REVISION	DATE	DESCRIPTION
#2	2-20-18	UPDATED PER NOD
#1	1-26-17	REVISED PER TRG COMMENT

EFFLUENT DISPOSAL DESIGN SPECIFIC CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVIN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
AS NOTED
DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER



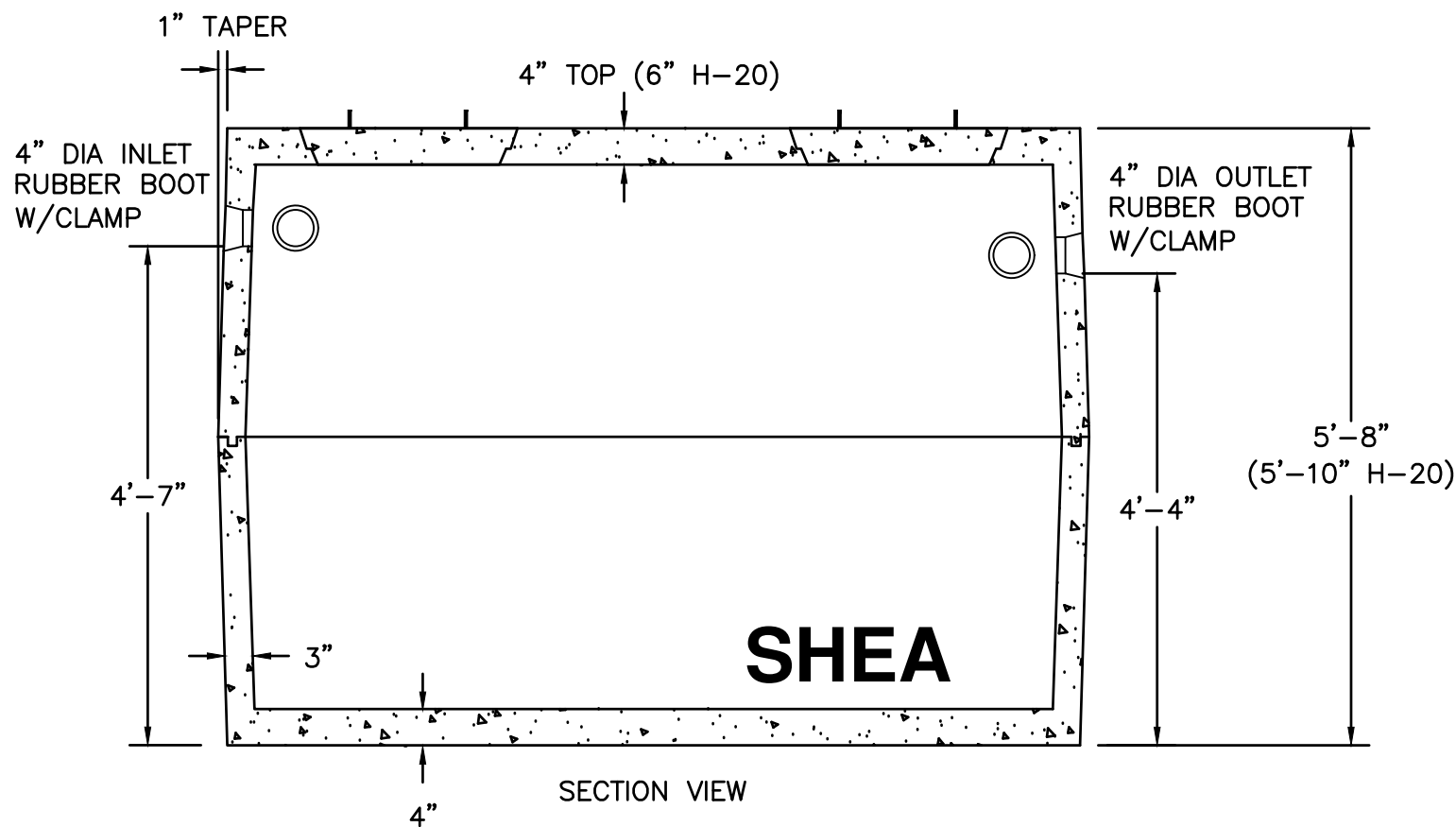
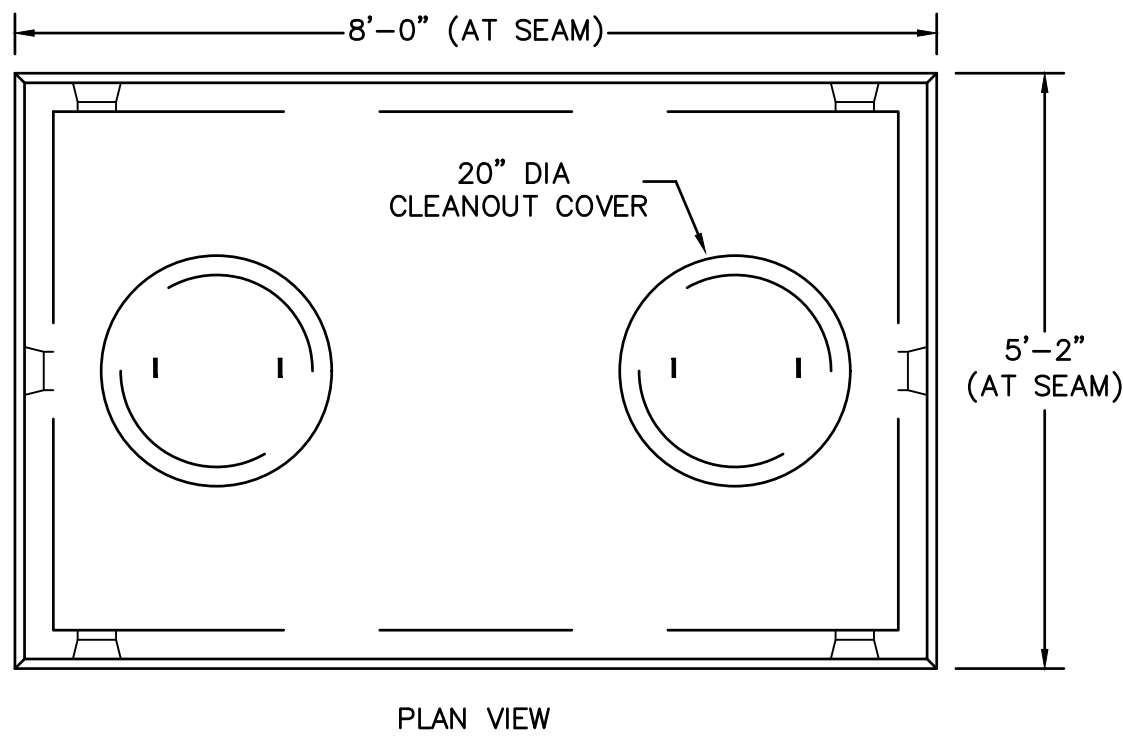
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.

SECTIONS	ITEM NO	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

MANHOLE 30" DIA H-20
MINI CATCH BASIN
USED FOR VELOCITY REDUCING BASINS
G1

manh30inH20.dwg 02/01/2013

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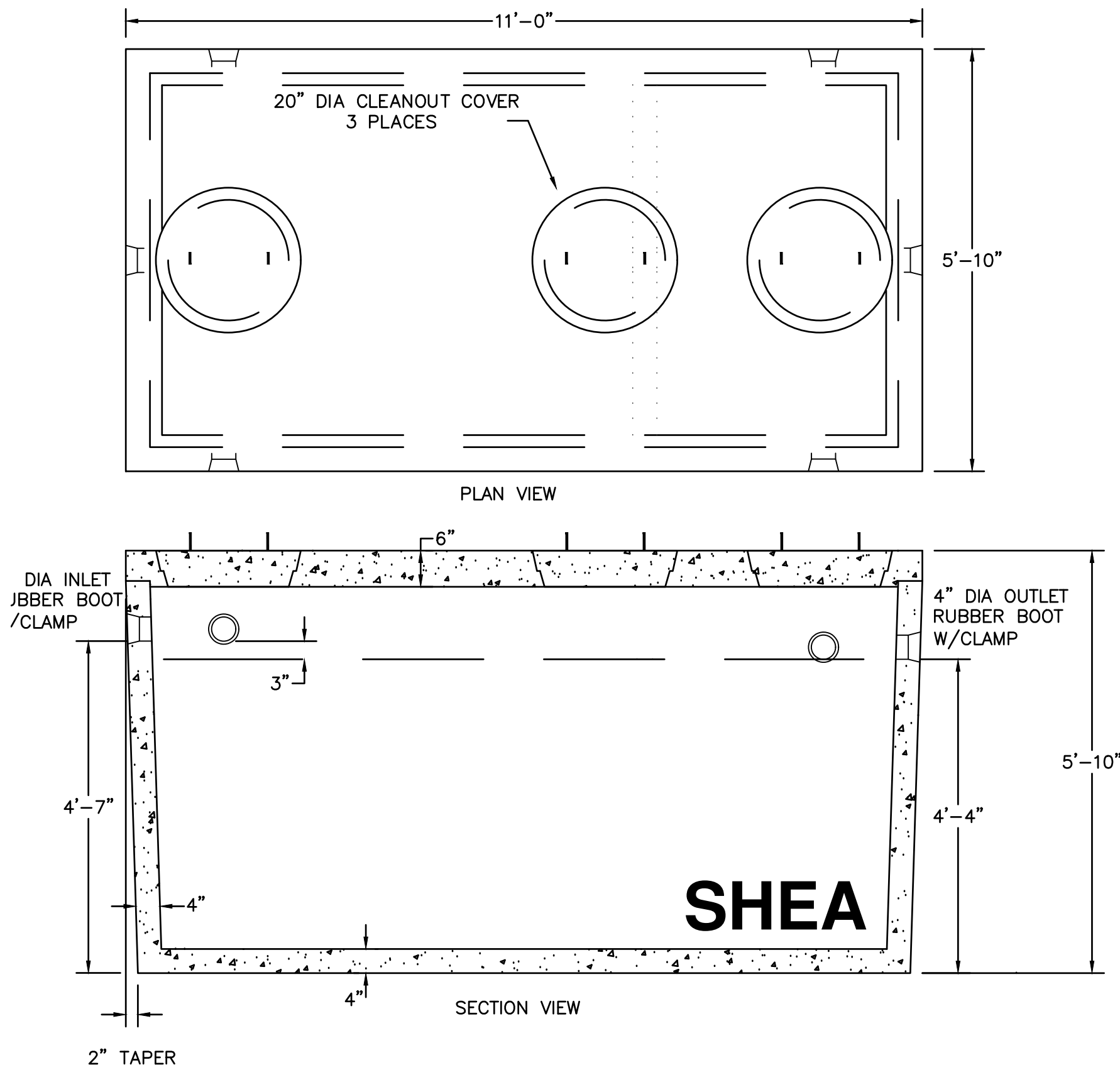
- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.000, DEP TITLE 5 REGS, FOR PUMP CHAMBERS.
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. ALSO AVAILABLE IN H-20 LOADING. (REQUIRED)
 5. JOINT SEALED WITH BUTYL RESIN.
 6. PUMPS AND ACCESSORIES OPTIONAL.

			WEIGHT
ITEM NO.	TK-1000	STANDARD	8,765#
	TK-1000H	H-20	9,785#

PUMP CHAMBER
1000 GALLON

C2

pc1000.dwg 02/01/2013



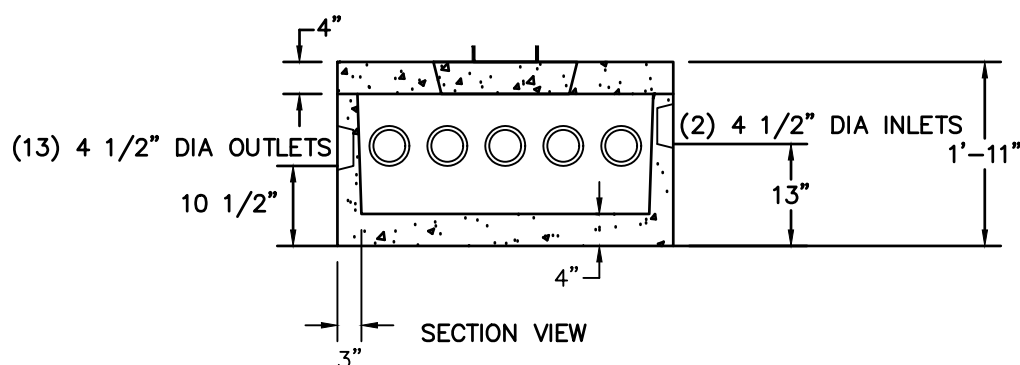
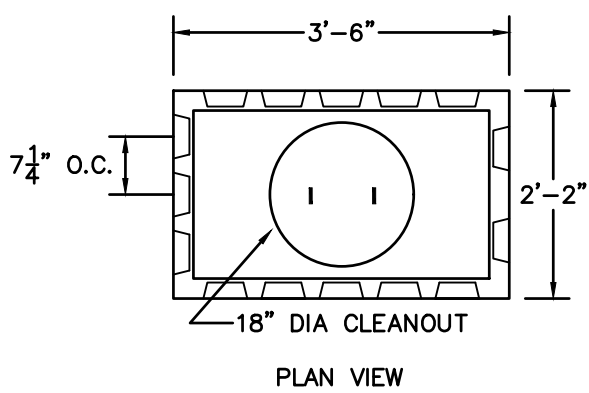
- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS, FOR SEPTIC TANKS.
 3. ALL REINFORCEMENT PER ASTM C1227.
 4. BAFFLE WALL OPTIONAL FOR TWO COMPARTMENT TANKS.
 5. TEES AND GAS BAFFLE SOLD SEPARATELY.
 6. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 7. H2O LOADING REQUIRED (THICKER WALLS MAY BE NEEDED)

ITEM NO.	TK-M1500H	HD	WEIGHT
	TK-M15002CH	HD	12,715#
			13,320#

1500 GALLON SEPTIC TANK
MONOLITHIC 4" WALL H-20

B2. 4

tkM1500-4.dwg 02/01/2013



- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN CONFORMS WITH 310 CMR 15.000, DEP TITLE 5 REGS, FOR DISTRIBUTION BOXES.
 3. DESIGNED FOR H-20 LOADING.

ITEM NO.	B-13DBH	WEIGHT
	B-13DBCH	1,400#
		463#

DISTRIBUTION BOX
24 OUTLET-2 INLETS

D5

Db13out-2.dwg 11/26/12

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GENERAL TANK & RISER NOTES:

- 1.) ALL TANKS ARE TO BE SEALED USING CONSEAL CS-202 OR APPROVED EQUAL. THIS IS TO BE USED AT ANY JOINT OR SEAM ON THE TANK OR WHERE THE RISER MEETS THE TANK.
- 2.) NO OVERLAPPING OF CONSEAL WILL BE ACCEPTED. JOINTS IN THE CONSEAL ARE TO BE A MINIMUM OF 12" FROM ANY CORNER. CONSEAL IS TO BE PLACED AND ALLOWED TO SET FOR 40 MIN. PRIOR TO BACK FILL TO MAXIMIZE COMPRESSION. 50% COMPRESSION IS REQUIRED.
- 3.) TANK SEAMS AND JOINTS WHERE RISERS MEET THE TANK ARE TO BE ADDITIONALLY SEALED WITH SIKASIL 728 NS SILICON SEALANT.
- 4.) TANKS ARE TO BE WATER PROOFED BOTH INSIDE AND OUT USING A COMMON CONCRETE WATER PROFFING.
- 5.) ALL TANKS AND D-BOXES ARE TO BE EQUIPPED WITH BOOTS. CEMENTED OUTLETS WILL NOT BE ACCEPTED.
- 6.) CONTRACTOR IS TO NOTE PIPE CALLOUTS AND REQUIREMENTS FOR NO JOINTS. WHERE 45° JOINTS ARE REQUIRED, "RING TIGHT" FITTINGS ARE REQUIRED. PVC CEMENT WILL NOT BE ACCEPTED.

EFFLUENT DISPOSAL DESIGN SPECIFIC CONSTRUCTION DETAILS
LAND OF
ANNA FAZEKAS REVOCABLE TRUST
ERVYN FAZEKAS REVOCABLE TRUST
FLAT ROCK BRIDGE ROAD & MILTON ROAD
ROCHESTER, N.H.
TAX MAP 210, LOT 64

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

DATE : NOVEMBER 1, 2016
FILE NO. : DB 2016 - 135

KENNETH A. BERRY
No. 14243
LICENSED PROFESSIONAL ENGINEER

SHEET 28 OF 28