



Amendment to Approved Project
City of Rochester, New Hampshire

Case # 216-8, 9, 10 Property Address 60 Farmington Road

Type of project: Site Plan ☒; Subdivision ☐; Lot Line Adjustment ☐; Other ☐

Project name Proposed Excavation Expansion / Proposed Commercial Development

Date of original Planning Board approval February 22, 2016 (Last Amended 8/17)

Description of amendment ☒ The Applicant is seeking to add an additional phase to the project by expanding the previously approved excavation area (approved in January 2017). The excavation of the site would include the cutting of trees, filling of wetlands (approved by the NHDES in 2017), relocation of streams, construction of temporary sedimentation basins, excavation of materials, and stabilization of the area. In addition, the applicant is providing additional detail in support of the conceptual layout design approved by the the Planning Board in August 2017. The layout change includes a reduction of the total footprint of proposed structures, wetland impacts, and an increase in the infiltration of stormwater.

Would this affect a wetland or wetland buffer or require a conditional use? Yes ☒ No ☐

Name of applicant or agent filling out this form Kenneth A. Mavrogeorge, PE

Phone Number: 603-433-8818 Email Address: kamavrogeorge@tighebond.com

Applicant? ☐ Agent? ☒ Today's date 3/5/2018

Please note: There is a \$125.00 fee for amendments. They are reviewed by the Planning Board and a public hearing is held. Abutters must be renotified by the applicant. The applicant must submit any supplementary materials necessary to explain and support the amendment, such as a narrative and plans. This form, the abutter's list, the fee when applicable, and other necessary materials must be submitted at least 17 days prior to the Planning Board meeting at which the amendment will be presented (by the Friday, 2-1/2 weeks prior to the meeting to allow for public notice).

----- Office use below -----
Fee required? Yes ☐ No ☐ Check # Staff initials that check received

Amendment approved ☐ Amendment denied ☐ Date of Planning Board action

Conditions

Signature: Date:

Case # 216-8, 9, 10
Proposed Excavation Area/Commercial Development
60 Farmington Road – Rochester, NH

Narrative:

March 5, 2017

On February 26, 2016, the Rochester Planning Board approved the site plans for the second phase of the Ridge Marketplace with approximately 161,660 sf in commercial space. In December of 2016, the Planning Board approved breaking the project up into two phases. The first phase of work included selective clearing of approximately 2 acres at the site. As of March 2018, this clearing has been performed.

Subsequently, in January of 2017, the Planning Board approved a third phase to the construction to allow for the excavation of approximately 6.8 acres of the site. In August of 2017, the Applicant obtained an AOT permit (for excavation) from the NHDES for this phase and as of March 2018, this work has commenced and is ongoing.

With this current application, the Applicant seeks to further define the phasing of the development by expanding the ongoing excavation activities. Thus, they have provided an updated excavation plan set that includes a proposed expansion to the ongoing work that was originally approved in January 2017. This updated excavation area plan set also includes a phasing plan sheet that outlines the following phases of construction:

Phase I: Tree Clearing (Approved in December 2016)

Phase II: Excavation of Approximate 6.8 acres (Approved in January 2017)

Phase III: Excavation of Approximate 15.5 acres (Proposed in March 2018)

Phase IV: Commercial Development (Layout Conceptually Approved in August 2017)

In addition to the revised phasing of the development, the excavation plan set proposes the construction of a temporary stormwater basin located in the area where an infiltration basin will reside under the full build out of the development (Phase IV). The goal of this additional excavation work is to bring the site down to subgrade by removing excess ledge. Bringing the site down to subgrade will increase marketability for tenants, reduce site cost by removing materials over a longer period of time, and provide for the relocation of the onsite stream networks during the dryer months of the year (projected in summer of 2018). As stated in previous meetings with the Planning Board, no infrastructure work (buildings, parking, utilities, landscaping, etc.) will progress at the site until detailed design drawings are provided to the City and other required state permits are secured (sewer connection and NHDOT).

State Permitting Update:

Wetlands:

In April of 2017, the Applicant made changes to the site plan which reduced the amount of wetland impacts by nearly 9,000 sf. With this reduction in impacts, the Applicant was able to address the concerns of the NHDES and other wetland permitting agencies and secure the wetland dredge and fill permit. In the fall of 2017, the Applicant submitted a payment to the state for the Aquatic Resource Mitigation Fund (ARM Fund).

Alteration of Terrain:

Since the August 2017 PB meeting, the Applicant has also submitted and obtained an Alteration of Terrain Permit for the full commercial development layout. The layout presented to the Alteration of Terrain Bureau was the same as the one conceptually approved by the Planning Board back in August and approved by the NHDES Wetlands Bureau with the exceptions noted in the breakdown on the next page. A copy of the NHDES approved plans and a copy of the permit has been provided to the Planning Department.

NHDOT:

Discussions between the NHDOT and the Applicant are ongoing and updates will be provided to City Staff as they are obtained.

List of Submitted Plans

- "60 Farmington Road Proposed Excavation Area Site Plans", last revised March 5, 2018;
- "60 Farmington Road Proposed Commercial Development Site Plans", last revised March 5, 2018;

Modifications to the Site Plan

The following is a summary of the changes made to the site plan that were a result of the permitting processes with the NHDES between August and December 2017.

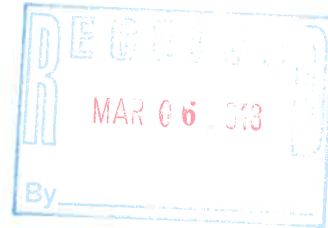
- Parking Lot Revisions:
 - o The total parking proposed increased from 658 to 694 spaces. This provides approximately 6.3 spaces per 1000 sf of GFA. This is an increase from the previously approved design which had 4.07 spaces per 1000 sf of GFA. The increase is due to tenant specific requests for additional parking.
- Wetland Impacts/Stormwater
 - o The NHDES AoT Bureau approved stormwater management plan for this revised design includes, four (4) underground infiltration basins, three (3) rain gardens, and one (1) stormwater wetland. These treatment devices have been located strategically in areas where fill is to be placed due to the presence of ledge at the site.
 - o Due to the addition of the infiltration areas, the gravel wetland has been removed and the stormwater wetland has been sized to accommodate for future development (increased impervious area).
- Marketplace Boulevard
 - o The proposed future City right of way, Marketplace Boulevard, has been extended further south and west through the development in response to feedback received from property abutters. The relocation of this road allows for two additional bus stops in the commercial district (one in each direction) and a road that will cross the abutting property at a more perpendicular angle.

Special Note

As discussed previously with the Board, developments of this size are fluid in nature and evolve as tenants are secured. It is extremely likely that these will not be the final changes to the site plan as more tenants sign on to be a part of The Ridge Phase II.

W-2157-1
March 5, 2018

Mr. Seth Creighton, Chief Planner
City Hall, Second Floor
31 Wakefield Street
Rochester, NH 03867-1917



**Re: Application for Amendment to an Approved Project
Proposed Commercial Development
60 Farmington Road (Route 11)**

Dear Mr. Creighton:

On behalf of Farmington Associates Properties, LLC, we are pleased to submit the following additional information in support of the Application for Amendment to an Approved Project for The Ridge Marketplace:

- Three 22" x 34" copies of the "60 Farmington Road Proposed Excavation Area Site Plans", last revised March 5, 2018;
- Twenty-two 11" x 17" copies of the "60 Farmington Road Proposed Excavation Area Site Plans", last revised March 5, 2018;
- Three 22" x 34" copies of the "60 Farmington Road Proposed Commercial Development Site Plans", last revised March 5, 2018;
- Twenty-two 11" x 17" copies of the "60 Farmington Road Proposed Commercial Development Site Plans", last revised March 5, 2018;
- Twenty-two copies of the Application for Amendment to an Approved Project, dated March 5, 2018;
- Twenty-two copies of the "Project Narrative", dated March 5, 2018;
- Three sets of Abutter Labels;
- Check in the amount of \$179.88 of which \$125.00 is for the Application fee and \$54.88 is for abutter fees;
- CD-ROM of the above materials.

The enclosed application proposes amend the Rochester Planning Board approval to incorporate the site layout changes made during the wetland permitting process, stormwater management system changes designed as part of the Alteration of Terrain permitting process, and the addition of an additional phase to the ongoing excavation work at the site.

Wetlands:

In April of 2017, the Applicant made changes to the proposed development's site plan which reduced the amount of wetland impacts by nearly 9,000 sf. With this reduction, the Applicant was able to address the concerns of the NHDES and other wetland permitting agencies and secure the wetland dredge and fill permit. In the fall of last year, the Applicant submitted a payment to the state for the Aquatic Resource Mitigation Fund (ARM Fund). The enclosed plan set for the commercial development incorporates the layout changes from the NHDES approved set.

Alteration of Terrain:

Since the August 2017 PB meeting, the Applicant has also submitted and obtained an Alteration of Terrain Permit for the commercial development. The layout presented to the Alteration of Terrain Bureau was the same as the one conceptually approved by the Planning Board back in August and approved by the NHDES Wetlands Bureau. A copy of the NHDES approved plans and a copy of the permit has been provided to the Planning Department.

Site Plan Review:

As was requested at that Planning Board meeting in August 2017, the Applicant is providing a more detailed plan set in support of the site layout that was conceptually approved by the Rochester Planning Board. Additional details that have been added include preliminary site, grading, utility, and landscaping layouts as well as truck turning and construction detail sheets.

Phasing/Excavation Expansion:

As the Applicant has made clear in the past, it is their intent to phase the construction of the project. Thus, they have provided an updated excavation plan set that includes a proposed expansion to the ongoing excavation area (originally approved in January 2017). This updated excavation area plan set includes a phasing sheet that outlines the following phases of construction:

Phase I: Tree Clearing (Approved in December 2016)

Phase II: Excavation of Approximate 6.8 acres (Approved in January 2017)

Phase III: Excavation of Approximate 15.5 acres (Proposed in March 2018)

Phase IV: Commercial Development (Layout Conceptually Approved in August 2017)

A more in-depth summary of the proposed changes has been included on the enclosed narrative.

We respectfully request to be placed on the March 15, 2018 TRG and on the Planning Board's April 2, 2018 meeting agendas to discuss the above described Amendment to the Approved Site Plan.

We look forward to continuing to work with the City of Rochester staff and Planning Board on this project. Please contact me at (603) 433-8818 if you have any questions.

Sincerely,



Kenneth A. Mavrogeorge, P.E.
Project Manager

J:\W\W2157 Waterstone Phase # 2 Rochester, NH\SUBMITTALS\43-Amendment To Approved Plan_20180305\W2157_Amendment_Cover Letter.Doc

Enclosures

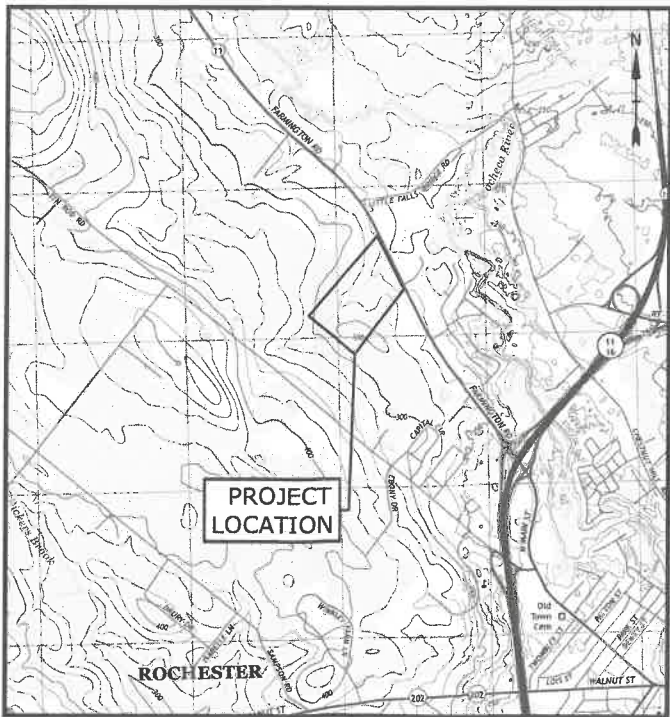
Cc: Doug Richardson, Farmington Associates Properties, LLC, (via email)
Josh Levy, Farmington Associates Properties, LLC, (via email)

60 FARMINGTON ROAD
ROCHESTER, NEW HAMPSHIRE
PROPOSED EXCAVATION AREA
SITE PLANS

DECEMBER 13, 2016
LAST REVISED MARCH 5, 2018

MAR 06 2018

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	03/05/2018
1 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
2 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
3 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
C-101	EXISTING CONDITIONS / SUBSURFACE DATA LOCATION PLAN	03/05/2018
C-102	PHASE II EXCAVATION GRADING, DRAINAGE & EROSION CONTROL PLAN	03/05/2018
C-103	PHASE III EXCAVATION EXPANSION PLAN	03/05/2018
C-501	EROSION CONTROL NOTES & DETAILS SHEET	03/05/2018
C-601	PHASING PLAN	03/05/2018



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:
Tighe&Bond
www.tighebond.com



BRAD MEZQUITA, P.E.



KEN A. MAVROGEORGE P.E.

OWNERS/APPLICANT:
Farmington Associates Properties, LLC
322 Reservoir Street
Needham, MA 02494

PERMIT	STATUS	PERMIT NO.	DATE
ROCHESTER SITE PLAN REVIEW	APPROVED	216-8, 9, 10-GRD-15	2/25/2016
NHDES ALTERATION OF TERRAIN (PHASE II EXCAVATION)	APPROVED	AoT-1234	4/6/2017
NHDES ALTERATION OF TERRAIN (PHASE IV COMMERCIAL DEVELOPMENT)	APPROVED	AoT-1351	12/7/2017
NHDES STANDARD DREDGE AND FILL	APPROVED	2016-00333	4/14/2017

FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

FOR MORE INFORMATION ABOUT THESE SITE PLANS CONTACT
THE CITY OF ROCHESTER PLANNING DEPARTMENT (603) 335-1338.

- CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
 3. TIGHE & BOND, ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.



MATCH LINE

SHEET 2 SHEET 1

MAP 216, LOT 8
263,435 Sq. Ft.
6.048 Acres

MAP 216, LOT 9
880,798 Sq. Ft.
20.220 Acres

MAP 216, LOT 7
CASACCIO RE HOLDINGS, LLC
P.O. BOX 1598
ROCHESTER, NH 03866-1598
S.C.R.D. BOOK 2923, PAGE 201

MAP 216, LOT 24
BLACK MARBLE REALTY TRUST
C/O SEACOAST MOTORCYCLES INC.
P O BOX 1740
NO. HAMPTON, NH 03862-1740
S.C.R.D. BOOK 4144, PAGE 142

LEGEND

CONIFEROUS TREE

DECIDUOUS TREE

CONCRETE

LANDSCAPED AREA

LEDGE OUTCROP

BOLLARD

TRAFFIC FLOW DIRECTION ARROW

DRAINAGE FLOW DIRECTION ARROW

WELL

TYPICAL

RETAINING

FINISHED FLOOR

OIL FILL CAP

EDGE OF PAVEMENT

SINGLE WHITE LINE

DASHED SINGLE WHITE LINE

EDGE OF GRAVEL

CONCRETE

HISS SYMBOL

DRILL HOLE FOUND

EM BEARING

DIST

X X

OHV

D

-100-

X S

X W

ELECTRIC METER

LOT LINES

STOCKADE FENCE

WIRE FENCE

CHAINLINK FENCE

OVERHEAD WIRES

SEWER LINE

DRAIN LINE

APPROX. ABUTTERS LOT LINE

EASEMENT LINE

TREE LINE

SHRUB LINE

STONE WALL

CONTOUR LINE

HISS LINE

EDGE OF VERY POORLY DRAINED WETLAND (SEE NOTE #11)

EDGE OF JURISDICTIONAL WETLAND (SEE NOTE #11)

EDGE OF TRAVELED WAY

SEWER LINE PER REF. PLAN #9

WATER LINE PER REF. PLAN #9

UTILITY POLE & GUY WIRE

LIGHT POLE (TWO ARMS)

SIGN

GRANITE BOUND FOUND

DRILL HOLE FOUND

IRON PIPE/ROD FOUND

BARBED WIRE FOUND ON GROUND

5/8" REBAR W/ ID CAP TO BE SET

FIRE HYDRANT

WATER GATE VALVE

CATCH BASIN (ROUND)

CATCH BASIN

DRAIN MANHOLE

SEWER MANHOLE

MANHOLE

JURISDICTIONAL WETLAND SYMBOL

TREE STUMP/SNAG

SEE NOTE #9

NOTE:
ALL ELECTRIC, GAS, TEL WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

I certify that this survey plat is to this title (NHRSA Title LXIV) and ways shown are those of pl ways already established and I certify that this survey and pl or by those under my direct au the Urban Survey Classification Administrative Rules of the Boor Land Surveyors. I certify that the ground and is correct to th and belief. Random traverse sur a precision greater than 1:15,00

The certifications shown hereon requirements and are not a cer property shown. Owners of adj town assessors records.

JEFFREY A. GOLDKNOFF

OUTLINE TABLE	SHEET TABLE
CR #6256 RIM ELEV.=252.9' (A) 6" HDPE INV.=252.1' (B) 4" HDPE INV.=252.2'	SMH #622 RIM ELEV.=256.2' (A) 10" ASBESTOS INV.=244.4' (B) 10" ASBESTOS INV.=244.3' (C) 6" PVC INV.=244.8'
CR #6173 RIM ELEV.=252.8' 6" HDPE INV.=251.9' SUMP ELEV.=249.5'	SMH #2820 RIM ELEV.=250.9' (A) 10" ASBESTOS INV.=245.2' (B) 10" ASBESTOS INV.=245.3'
CR #6297 RIM ELEV.=253.2' (A) 8" HDPE INV.=251.0' (C) 6" HDPE INV.=251.1'	SMH #3156 RIM ELEV.=251.5' (A) 10" ASBESTOS INV.=247.4' (B) 10" ASBESTOS INV.=247.5'
	SMH #3724 RIM ELEV.=251.1' (A) 6" PVC INV.=248.1' (B) 4" PVC INV.=248.5' (C) 3" PVC INV.=246.6' (DROP INLET)
	SMH #5024 RIM ELEV.=263.3' (A) 10" ASBESTOS INV.=248.4' (B) 10" ASBESTOS INV.=248.5'
	SMH #6295 RIM ELEV.=254.0' (UNDERGROUND TANK)
	SMH #6298 RIM ELEV.=254.1' (UNDERGROUND TANK)

I certify that this survey plat is not a subdivision pursuant to this title (NHRSA Title XIV) and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

I certify that this survey and plan were prepared by me or by those under my direct supervision and faith under the Urban Survey Classification of the Unit Code of Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

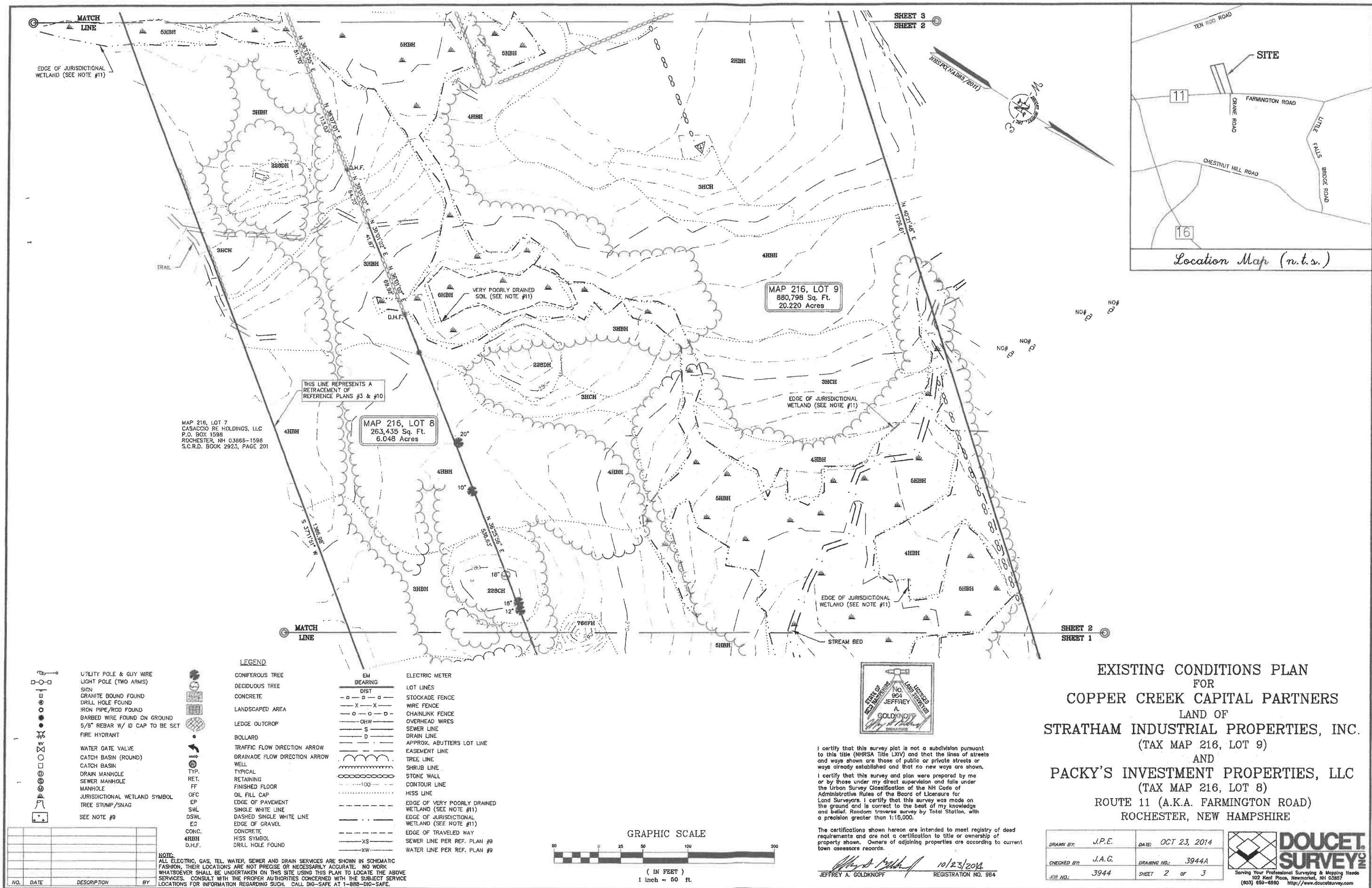
The certifications shown hereon are intended to meet registry of deed requirements and are not a certification to title or ownership of property shown. Owners of adjoining properties are according to current town assessors records.

JEFFREY A. GOLDKNOFF 10/28/2014 REGISTRATION NO. 90

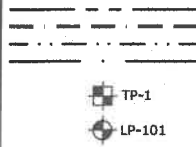
SEE SHEET 2 FOR LOCUS
SEE SHEET 3 FOR NOTES

DRAWN BY: J.P.E.	DATE: OCT 23, 2014
CHECKED BY: J.A.G.	DRAWING NO.: 3944A
JOB NO.: 3944	SHEET 1 OF 3





LEGEND



PROPERTY LINE
LIMIT OF AQUIFER PROTECTION DISTRICT
EDGE OF JURISDICTIONAL WETLAND
EDGE OF STREAM BED

TP-1
TEST PIT LOCATION AND DESIGNATION

LP-101
LEDGE PROBE LOCATION AND DESIGNATION

EXISTING CONDITIONS PLAN NOTES:

- REFERENCE PLANS:
 - "EXISTING CONDITIONS PLAN" (SHEETS 1 THROUGH 3), PREPARED BY DOUCET SURVEY INC., DATED OCTOBER 23, 2014.
 - JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT Y-87-1, SITE SPECIFIC HISS MAPPING COMPLETED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014.

TP-1
ELEV.=282.1
GROUNDWATER=275.6
REFUSAL=273.60

TP-2
ELEV.=290.19
GROUNDWATER=282.7
REFUSAL=281.69

TP-3
ELEV.=297.20
GROUNDWATER=286.2
REFUSAL=285.20

TP-4
ELEV.=295.95
GROUNDWATER=289.5
REFUSAL=286.45

TP-5
ELEV.=288.43
REFUSAL=283.93

TP-6
ELEV.=294.80
REFUSAL=290.80

TP-7
ELEV.=276.75
REFUSAL=271.25

TP-8
ELEV.=276.35
REFUSAL=269.35

TP-9
ELEV.=271.16
REFUSAL=258.16

TP-10
ELEV.=264.04
REFUSAL=257.04

TP-11
ELEV.=249.86
REFUSAL=241.36

TP-12
ELEV.=249.84
GROUNDWATER=242.9
REFUSAL=242.84

TP-13
ELEV.=256.04
REFUSAL=248.54

TP-14
ELEV.=258.35
GROUNDWATER=251.4
REFUSAL=248.35

TP-15
ELEV.=268.34
GROUNDWATER=260.8
REFUSAL=259.84

TP-16
ELEV.=273.66
GROUNDWATER=268.2
REFUSAL=267.66

TP-17
ELEV.=283.71
GROUNDWATER=274.2
REFUSAL=274.21

TP-18
ELEV.=260.07
REFUSAL=240.00

TP-19
ELEV.=291.55
GROUNDWATER=283.6
REFUSAL=276.05

TP-20 (BY TIGHE & BOND, 11/15/17)
ELEV.=268.50
ESHW=266.75
OBSERVED WATER=264.50
REFUSAL=261.50

TP-21 (BY TIGHE & BOND, 11/15/17)
ELEV.=272.00
ESHW=270.00
OBSERVED WATER=266.00
REFUSAL=NONE

TP-22 (BY TIGHE & BOND, 11/15/17)
ELEV.=252.00
ESHW=248.67
OBSERVED WATER=NONE
REFUSAL=NONE

TP-23 (BY TIGHE & BOND, 11/15/17)
ELEV.=252.00
ESHW=249.00
OBSERVED WATER=NONE
REFUSAL=NONE

TP-24 (BY TIGHE & BOND, 11/15/17)
ELEV.=251.00
ESHW=NONE
OBSERVED WATER=NONE
REFUSAL=NONE

TP-25 (BY TIGHE & BOND, 11/15/17)
ELEV.=252.00
ESHW=250.00
OBSERVED WATER=NONE
REFUSAL=NONE

LEDGE PROBE-101
ELEV.=296.42
LEDGE=285.42

LEDGE PROBE-102
ELEV.=296.84
LEDGE=284.34

LEDGE PROBE-103
ELEV.=292.86
LEDGE=281.86

LEDGE PROBE-104
ELEV.=289.83
LEDGE=277.83

LEDGE PROBE-105
ELEV.=285.87
LEDGE=273.87

LEDGE PROBE-106
ELEV.=283.55
LEDGE=268.55

LEDGE PROBE-107
ELEV.=285.10
LEDGE=269.10

LEDGE PROBE-108
ELEV.=284.45
LEDGE=265.45

LEDGE PROBE-109
ELEV.=287.24
LEDGE=273.24

LEDGE PROBE-110
ELEV.=288.43
LEDGE=275.43

LEDGE PROBE-111
ELEV.=275.37
LEDGE=280.37

LEDGE PROBE-112
ELEV.=282.7
LEDGE=275.70

LEDGE PROBE-113
ELEV.=281.11
LEDGE=272.11

LEDGE PROBE-114
ELEV.=275.9
LEDGE=265.40

LEDGE PROBE-115
ELEV.=277.01
LEDGE=268.01

LEDGE PROBE-116
ELEV.=272.5
LEDGE=261.50

LEDGE PROBE-117
ELEV.=275.39
LEDGE=262.39

LEDGE PROBE-118
ELEV.=272.98
LEDGE=258.98

LEDGE PROBE-119
ELEV.=274.18
LEDGE=268.18

LEDGE PROBE-120
ELEV.=276.55
LEDGE=261.55

LEDGE PROBE-121
ELEV.=276.61
LEDGE=261.61

LEDGE PROBE-122
ELEV.=274.31
LEDGE=265.31

LEDGE PROBE-123
ELEV.=271.47
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LEDGE PROBE-124
ELEV.=269.02
LEDGE=263.02

LEDGE PROBE-125
ELEV.=249.04
LEDGE=241.54

LEDGE PROBE-126
ELEV.=276.61
LEDGE=261.61

LEDGE PROBE-127
ELEV.=276.85
LEDGE=263.85

LEDGE PROBE-128
ELEV.=281.85
LEDGE=263.85

LEDGE PROBE-129
ELEV.=282.41
LEDGE=279.41

LEDGE PROBE-130
ELEV.=283.93
LEDGE=265.93

LEDGE PROBE-131
ELEV.=295.3
LEDGE=291.30

LEDGE PROBE-132
ELEV.=296.56
LEDGE=284.96

LEDGE PROBE-133
ELEV.=294.54
LEDGE=289.54

LEDGE PROBE-134
ELEV.=289.7
LEDGE=284.70

LEDGE PROBE-135
ELEV.=290.72
LEDGE=288.72

LEDGE PROBE-136
ELEV.=288.45
LEDGE=284.45

LEDGE PROBE-137
ELEV.=289
LEDGE=284.00

LEDGE PROBE-138
ELEV.=282.66
LEDGE=275.66

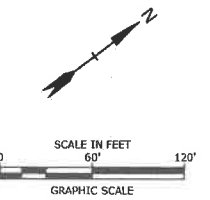
LEDGE PROBE-139
ELEV.=282.53
LEDGE=274.53

LEDGE PROBE-140
ELEV.=287.47
LEDGE=276.47

LEDGE PROBE-141
ELEV.=288.64
LEDGE=277.64

LEDGE PROBE-142
ELEV.=286.56
LEDGE=283.56

Tighe & Bond
www.tighebond.com



Proposed Excavation Area

Farmington Associates Properties, LLC

Farmington Road
(Route 11)
Rochester, NH

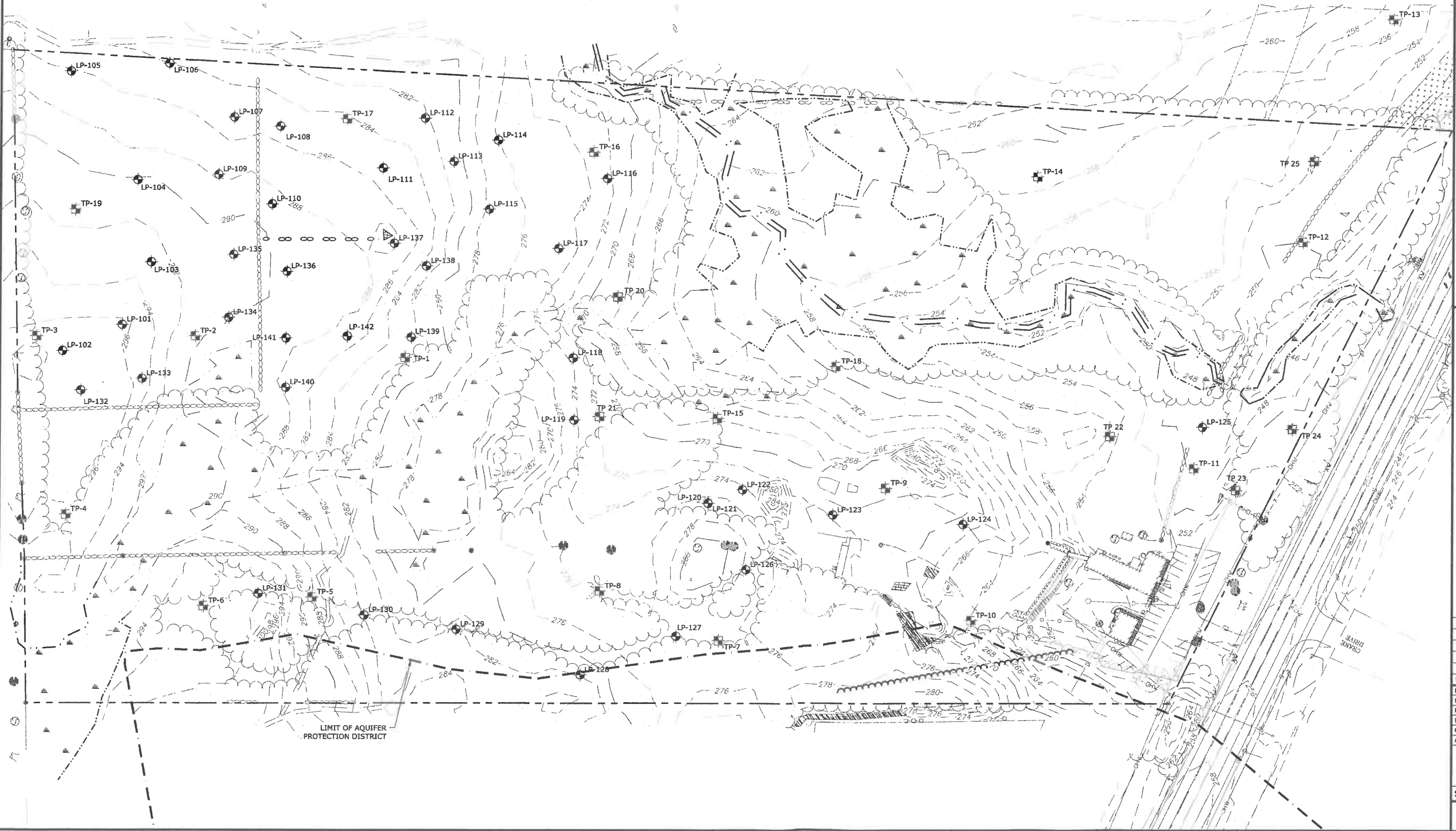
MARK	DATE	DESCRIPTION
C	03/05/2018	APP. FOR MODIFICATION
B	01/20/2017	NHDES AOT SUBMISSION
A	12/13/2016	APP. FOR MODIFICATION

PROJECT NO:	W2157-1
DATE:	12/13/2016
FILE:	C-101.DWG
DRAWN BY:	BJL
CHECKED:	KAM
APPROVED:	BLM

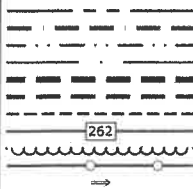
EXISTING CONDITIONS /
SUBSURFACE DATA
LOCATION PLAN

SCALE: AS SHOWN

C-101



LEGEND



PROPERTY LINE
LIMIT OF AQUIFER PROTECTION DISTRICT
EDGE OF JURISDICTIONAL WETLAND
EDGE OF STREAM BED
100' PERENNIAL STREAM BUFFER
100' WETLAND BUFFER
50' WETLAND BUFFER
PROPOSED CONTOUR
APPROXIMATE LIMIT OF PROPOSED TREE LINE
APPROXIMATE LIMIT OF PROPOSED SILT FENCE
PROPOSED FLOW DIRECTION

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:
BELOW LOAM AND SEED AREAS 90%
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. CONTRACTOR SHALL PROVIDE A FINISH SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
4. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY ROCHESTER, NH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
5. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
6. SEE EXISTING CONDITIONS PLANS FOR BENCH MARK INFORMATION.
7. THE LIMITS OF EXCAVATION SHALL BE MARKED IN THE FIELD PRIOR TO SCHEDULING A PRE-CONSTRUCTION MEETING.
8. THE EXISTING BUILDING STRUCTURES ON THE PROPERTY SHALL BE REMOVED PRIOR TO THE START OF THE EXCAVATION ACTIVITIES. ALL DEMOLITION OF EXISTING BUILDINGS SHALL BE COORDINATED WITH THE PROPERTY OWNER AND THE DISPOSAL OF THE BUILDING MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
9. REFER TO SHEET C-501 FOR SEQUENCE OF MAJOR ACTIVITIES

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
4. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
5. ALL DISTURBED AREAS SHALL RECEIVE 4" LOAM, SEED AND FERTILIZER OR 3" PERMANENT MULCH AND SEED.
6. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
7. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
8. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
9. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
10. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
11. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

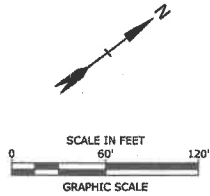
12. RECLAMATION SHALL BE IN ACCORDANCE WITH NRCS PUBLICATION PM-NH-21, "VEGETATING NEW HAMPSHIRE SAND AND GRAVEL PITS."
13. THE ALTERATION OF TERRAIN PERMIT HOLDER MUST SUBMIT TO THE NHDES A WRITTEN UPDATE OF THE PROJECT AND REVISED PLANS DOCUMENTING THE PROJECT EVERY FIVE YEARS FROM THE DATE OF THE ISSUANCE OF THE PERMIT.

SPECIAL NOTES:

1. CONTRACTOR SHALL NOT STOCKPILE MATERIAL WITHIN 50 FEET OF THE DETENTION BASIN OR WITHIN ANY WETLAND BUFFER AREAS.
2. MATERIAL STOCKPILES SHALL NOT BE SITUATED IN AREAS THAT IMPEDE THE FLOW OF STORMWATER FROM REACHING THE DETENTION BASIN.
3. STORMWATER DETENTION BASIN (PHASE IIA) SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO COMMENCING EXCAVATION ACTIVITIES (PHASE IIB) (SEE SHEET C-501 FOR SEQUENCE OF MAJOR ACTIVITIES).

NOTE:
THIS EXCAVATION WORK WAS ORIGINALLY APPROVED IN JANUARY OF 2017 AND IS CURRENTLY IN PROGRESS. THE ACTUAL LIMITS OF DISTURBANCE AT THE SITE AS OF FEBRUARY 28, 2018 MAY DIFFER THAN WHAT IS SHOWN ON THIS PLAN.

Tighe & Bond
www.tighebond.com



Proposed Excavation Area

Farmington
Associates
Properties, LLC

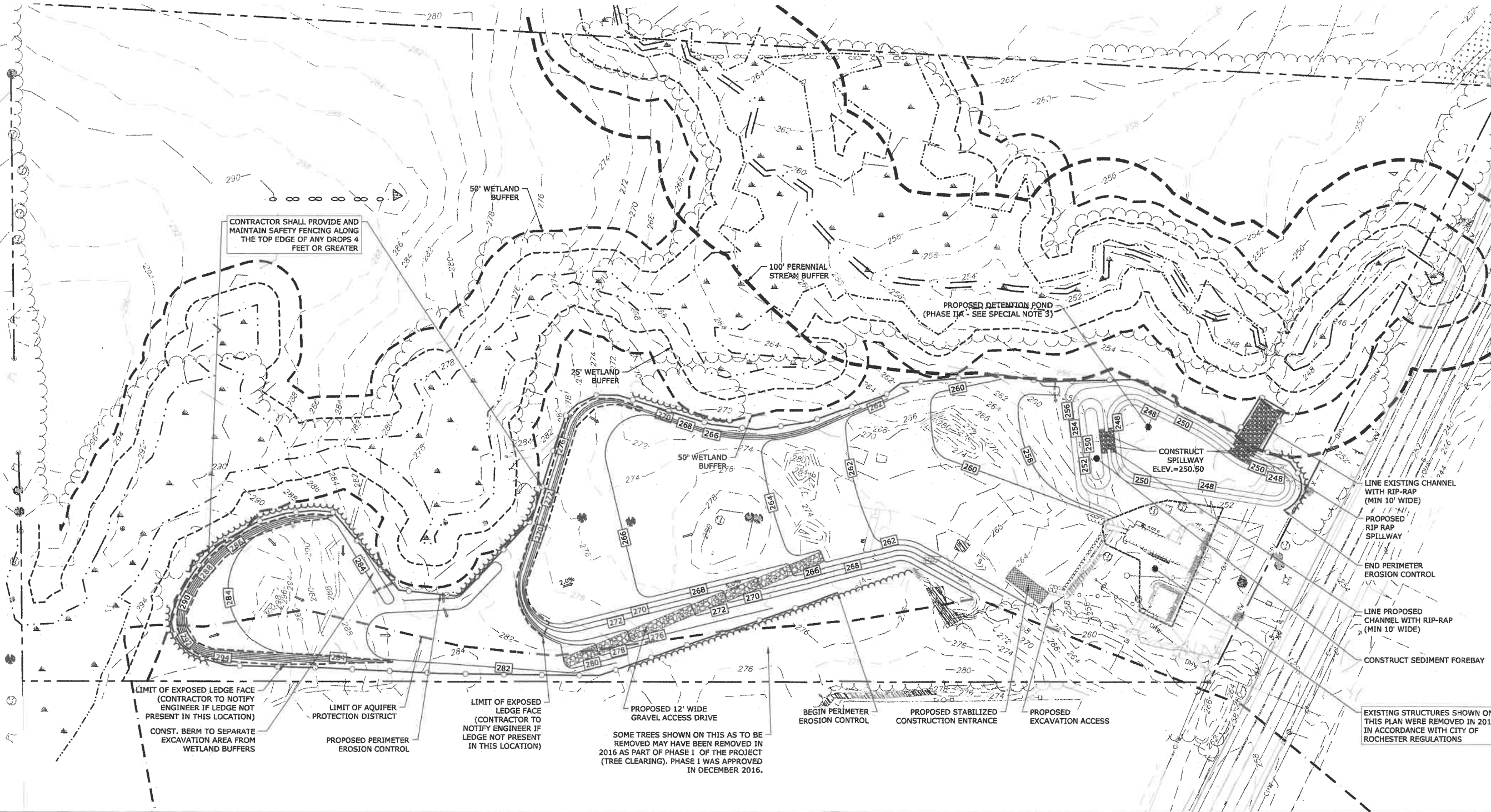
Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
C	03/05/2018	APP. FOR MODIFICATION
B	01/20/2017	NHDES AOT SUBMISSION
A	12/13/2016	APP. FOR MODIFICATION
PROJECT NO:	W2157-1	
DATE:	12/13/2016	
FILE:	C-102.DWG	
DRAWN BY:	BJL	
CHECKED:	KAM	
APPROVED:	BLM	

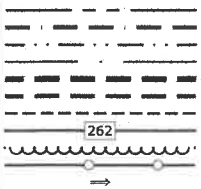
PHASE II EXCAVATION
GRADING, DRAINAGE &
EROSION CONTROL PLAN

SCALE: AS SHOWN

C-102



LEGEND



PROPERTY LINE
LIMIT OF AQUIFER PROTECTION DISTRICT
EDGE OF JURISDICTIONAL WETLAND
EDGE OF STREAM BED
100' PERENNIAL STREAM BUFFER
100' WETLAND BUFFER
50' WETLAND BUFFER
PROPOSED CONTOUR
APPROXIMATE LIMIT OF PROPOSED TREE LINE
APPROXIMATE LIMIT OF PROPOSED SILT FENCE
PROPOSED FLOW DIRECTION

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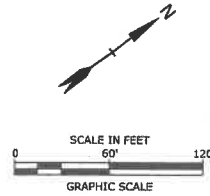
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NOTE:
THE WORK SHOWN HERE REQUIRES THE FILLING OF WETLANDS. THESE IMPACTS WERE APPROVED BY THE NHDES ON APRIL 14TH, 2017.

Tighe & Bond
www.tighebond.com



Proposed
Excavation
Area

Farmington
Associates
Properties, LLC

Farmington Road
(Route 11)
Rochester, NH

A	03/05/2018	APP. FOR MODIFICATION
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157-1	
DATE:	12/13/2016	
FILE:	C-103.DWG	
DRAWN BY:	BIL	
CHECKED:	KAM	
APPROVED:	BLM	

PHASE III EXCAVATION
EXPANSION PLAN

SCALE: AS SHOWN

C-103

PROJECT NAME AND LOCATION
PROPOSED COMMERCIAL DEVELOPMENT PHASE II AND PHASE III (EXCAVATION) 43°-19'-45"N
ROUTE 11 (FARMINGTON ROAD) 71°-00'-18"W
ROCHESTER, NH 03867

DESCRIPTION
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A COMMERCIAL DEVELOPMENT WITH ASSOCIATED PARKING, DRAINAGE UTILITIES, LANDSCAPING AND A NEW FRONTAGE ROAD CONSISTENT WITH THE CITY OF ROCHESTER'S MASTER PLAN. THE PROJECT IS TO BE CONSTRUCTED IN A PHASED MANNER. THE FIRST PHASE WILL CONSIST OF THE CUTTING OF TREES ON SITE. THE SECOND PHASE INCLUDES THE EXCAVATION OF MATERIAL. THE THIRD AND FINAL PHASE WOULD CONSIST OF THE CONSTRUCTION OF THE COMMERCIAL DEVELOPMENT.

DISTURBED AREA
THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY ±6.8 ACRES FOR PHASE II AND ±15.5 ACRES FOR PHASE III.

SOIL CHARACTERISTICS
BASED ON SITE SPECIFIC SOIL SURVEY CONDUCTED BY NBS, INC. THE SITE CONSISTS MAINLY OF MODERATELY WELL TO POORLY DRAINED SOILS WITH HYDROLOGIC SOIL GROUPS A, B, C, AND D.

NAME OF RECEIVING WATERS
THE STORM WATER RUNOFF WILL BE DISCHARGED VIA OVERLAND FLOW TO UNNAMED STREAM WHICH ULTIMATELY FLOWS TO THE COCHECO RIVER.

SEQUENCE OF MAJOR ACTIVITIES

- CUT AND CLEAR TREES.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
 - NEW CONSTRUCTION
 - DEVELOPMENT OF BORROW PIT AREAS
 - DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE
 - FLOOD PLAIN EXCAVATION WORK
 - STREAM CHANNEL MODIFICATIONS
 - CONTROL OF DUST
 - CONSTRUCTION OF ACCESS AND HAUL ROAD
 - NEARNESS OF CONSTRUCTION SITE TO SHALING WATERS
 - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS AFTER ACHIEVING FINISHED GRADE.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER ACHIEVING FINISHED GRADE.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

NOTE:

- THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
- THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE, SILT FENCES, SILT SOCKS AND SILT SOCKS, AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, HAY BALE BARRIERS, AND/OR SILT SOCKS SHALL MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED, AND FERTILIZER.
- INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

STABILIZATION

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- WINTER STABILIZATION PRACTICES:
 - A. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1; AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHOR NETTING, ELSEWHERE.
 - B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
 - C. AFTER NOVEMBER 15TH, INCOMPLETE ROAD SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
 - A. TEMPORARY SEEDING
 - B. MULCHING
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND SILT FENCES OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

DUST CONTROL

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS INCLUDING BUT NOT LIMITED TO ROUTE 11 (FARMINGTON ROAD).

STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION

- TEMPORARY GRASS COVER
 - A. SEEDBED PREPARATION:
 - APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
 - B. SEEDING
 - UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
 - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER AND SEED.
 - APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
 - C. MAINTENANCE
 - TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- VEGETATIVE PRACTICE
 - A. FOR PERMANENT MEASURES AND PLANTINGS.
- LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

- SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH.
- SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
- HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.
- THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED.
- A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

CREEPING RED FESCUE	50 LBS/ACRE
KENTUCKY BLUEGRASS	100 LBS/ACRE
PERENNIAL RYE GRASS	50 LBS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL)
 - A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE.
 - A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
 - B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
 - C. THE CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS.
 - D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

- DISCHARGES FROM FIRE-FIGHTING ACTIVITIES
- FIRE HYDRANT FLUSHINGS
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
- WATER USED TO CONTROL DUST
- POTABLE WATER INC. UNCONTAMINATED WATER LINE FLUSHINGS
- ROUTINE EXTERNAL BUILDING WASH DOWN - NO DETERGENTS
- PAVEMENT WASH WATERS - NO SPILLS OR DETERGENTS
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATE
- UNCONTAMINATED GROUND WATER OR SPRING WATER
- FOUNDATION OR FOOTING DRAINS - NOT CONTAMINATED
- UNCONTAMINATED EXCAVATION DEWATERING
- LANDSCAPE IRRIGATION

WASTE DISPOSAL

- WASTE MATERIALS
 - A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER.
 - B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE.
 - C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE
 - A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
 - B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
 - A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
 - A. GOOD HOUSEKEEPING:
 - THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
 - ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE.
 - ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
 - SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - HAZARDOUS PRODUCTS:
 - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
 - SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
 - PRODUCT SPECIFICATION PRACTICES:
 - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
 - PETROLEUM PRODUCTS:
 - A. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE.
 - B. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - FERTILIZERS:
 - A. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS.
 - B. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
 - C. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - PAINTS:
 - A. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
 - B. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM.
 - C. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
 - SPILL CONTROL PRACTICES:
 - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
 - VEHICLE FUELING AND MAINTENANCE PRACTICE:
 - CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.
 - CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY.
 - IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED.
 - CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
 - CONTRACTOR SHALL VEHICLES SHALL BE INSPECTED REGULARLY FOR LEAKS AND DAMAGE.
 - CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

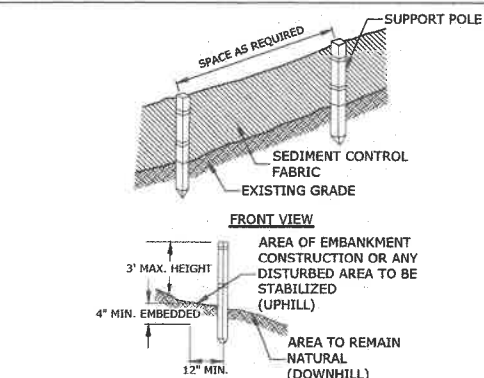
THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ON SITE AT ALL TIMES.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT.

- OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.
- AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
- A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES.
- IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

BLASTING NOTES

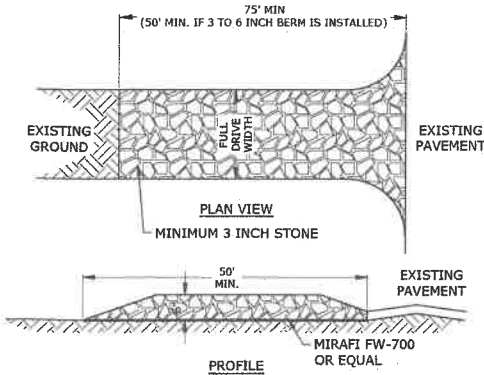
- IF MORE THAN 5000 CUBIC YARDS ARE TO BE BLASTED A BLASTING PLAN SHALL BE PROVIDED. BLASTING PLAN SHALL INCLUDE:
 - A. LOCATION AND IDENTIFICATION OF DRINKING WATER WELLS LOCATED WITHIN 2000 FEET OF THE PROPOSED BLASTING ACTIVITIES.
 - B. A GROUNDWATER QUALITY SAMPLING PROGRAM, APPROVED BY NHDES PRIOR TO INITIATING BLASTING, TO MONITOR FOR NITRATE AND NITRITE EITHER IN THE DRINKING WATER SUPPLY WELLS OR IN OTHER WELLS THAT ARE REPRESENTATIVE OF THE DRINKING WATER SUPPLY WELLS IN THE AREA.
- THE FOLLOWING BEST MANAGEMENT PROCEDURES FOR BLASTING SHALL BE COMPLIED WITH:
 - A. LOADING PRACTICES:
 - THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
 - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
 - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
 - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
 - EXPLOSIVE SELECTION:
 - THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
 - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
 - MUCK PILE MANAGEMENT
 - MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
 - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
 - SPILL PREVENTION MEASURES AND SPILL MITIGATION
 - SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
 - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
 - a. STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE;
 - b. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
 - c. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY;
 - d. INSPECT STORAGE AREAS WEEKLY;
 - e. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
 - f. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; AND
 - g. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - a. EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
 - b. PLACE DRIP PANS UNDER SPOGTS, VALVES, AND PUMPS;
 - c. HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
 - d. USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES; AND
 - e. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
 - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
 - FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATION OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT. (SEE [HTTP://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIPIFACTS/SHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF](http://DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIPIFACTS/SHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF))



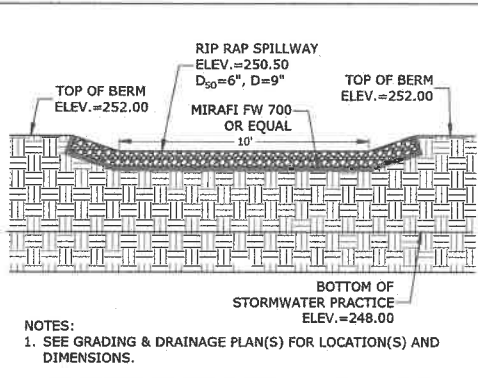
NOTES:

- SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION AND MAINTENANCE REQUIREMENTS.
- INSTALL PER SILT FENCE PER MANUFACTURER'S RECOMMENDATIONS

SILT FENCE NO SCALE



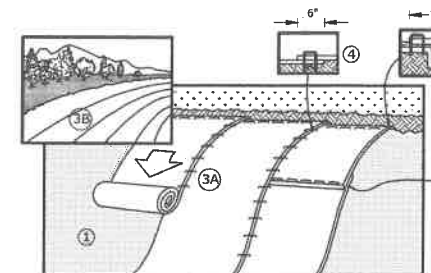
STABILIZED CONSTRUCTION ENTRANCE NO SCALE



NOTES:

- SEE GRADING & DRAINAGE PLAN(S) FOR LOCATION(S) AND DIMENSIONS.

DETENTION POND RIP RAP SPILLWAY NO SCALE



NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE SLOPE, 36" OVER THE GRADE BREAK, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF TAPES/STAPLES 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES SPACED 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES IN APPROPRIATE LOCATIONS AS SHOWN ON THE STAPLE PATTERN GUIDE.
- STAPLE LENGTHS SHALL BE A MINIMUM OF 8 INCHES.

EROSION CONTROL BLANKET FOR SLOPE PROTECTION NO SCALE

Tighe & Bond
www.tighebond.com



Proposed Excavation Area Farmington Associates Properties, LLC

Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
B	03/05/2018	APP. FOR MODIFICATION
A	12/13/2016	APP. FOR MODIFICATION
PROJECT NO:	W2157-1	
DATE:	12/13/2016	
FILE:	G-501.DWG	
DRAWN BY:	BJL	
CHECKED:	KAM	
APPROVED:	BLM	

EROSION CONTROL NOTES & DETAILS SHEET

SCALE: AS SHOWN

C-501

PHASE III
EXCAVATION EXPANSION
AREA = 15.5± ACRES
STATUS: PROPOSED 3/2018

PHASE III
STREAM RELOCATION, EXCAVATION OF EXCESS
MATERIALS (LEDGE), PREPARED SUBGRADE TO IMPROVE
APPEARANCE OF SITE AND EXCAVATION FOR FUTURE
STORMWATER MANAGEMENT SYSTEMS

PHASE IV
SITE DEVELOPMENT
STATUS: CONCEPTUALLY APPROVED 8/2017
AoT APPROVED 12/2017

PHASE IV
INFRASTRUCTURE IMPROVEMENTS (UTILITIES, LIGHTING,
BUILDINGS, PARKING AREAS AND LANDSCAPING).
STORMWATER MANAGEMENT SYSTEM FOR THIS LAYOUT
APPROVED BY AOT IN DECEMBER 2017.

Proposed Excavation Area

Farmington
Associates
Properties, LLC

Farmington Road
(Route 11)
Rochester, NH

A	03/05/2018	APP. FOR MODIFICATION
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157-1	
DATE:	12/13/2016	
FILE:	C-601.DWG	
DRAWN BY:	BJL	
CHECKED:	KAM	
APPROVED:	BLM	

PHASING PLAN

SCALE: AS SHOWN

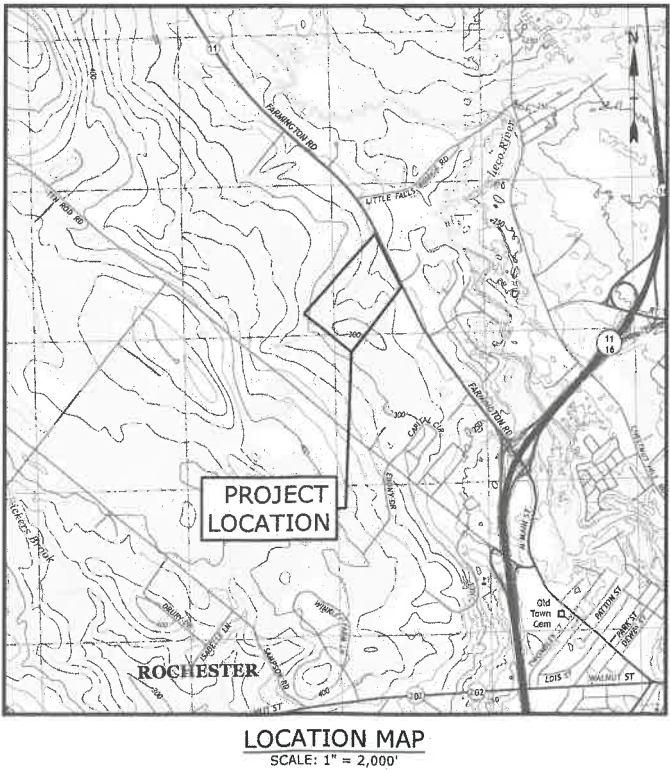
C-601

Last Save Date: March 5, 2018 1:35 PM By: JPCOLLINS
Plot Date: Monday, March 05, 2018 Plotted By: Jack P. Collins
T&B File Location: J:\WW2157 Waterstone Phase # 2 Rochester, NH\Drawings Figures\AutoCAD\SheetC-601.dwg Layout Tab: 601

60 FARMINGTON ROAD
ROCHESTER, NEW HAMPSHIRE
PROPOSED COMMERCIAL DEVELOPMENT
SITE PLANS
AUGUST 28, 2018
LAST REVISED MARCH 5, 2018



LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	03/05/2018
1 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
2 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
3 OF 3	EXISTING CONDITIONS PLAN	10/23/2016
C-1	OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN	03/05/2018
C-2	OVERALL SITE PLAN	03/05/2018
C-3	OVERALL GRADING PLAN	03/05/2018
C-4	OVERALL UTILITIES PLAN	03/05/2018
C-5	OVERALL LANDSCAPE PLAN	03/05/2018
C-6	FIRE TRUCK TURNING PLAN	03/05/2018
C-7	TRUCK TURNING PLAN	03/05/2018
C-8	EROSION CONTROL NOTES AND DETAILS SHEET	03/05/2018
C-9	EROSION CONTROL DETAILS SHEET	03/05/2018
C-10	DETAILS SHEET	03/05/2018
C-11	DETAILS SHEET	03/05/2018
C-12	DETAILS SHEET	03/05/2018
C-13	DETAILS SHEET	03/05/2018
C-14	DETAILS SHEET	03/05/2018
C-15	DETAILS SHEET	03/05/2018
C-16	DETAILS SHEET	03/05/2018
C-17	DETAILS SHEET	03/05/2018
C-18	DETAILS SHEET	03/05/2018
C-19	RAIN GARDEN DETAILS SHEET	03/05/2018
C-20	UNDERGROUND INFILTRATION BASIN DETAILS SHEET	03/05/2018



PREPARED BY:
Tighe&Bond
www.tighebond.com



BRAD MEZQUITA, P.E.



KEN A. MAVROGEORGE P.E.

OWNERS/APPLICANT:
Farmington Associates Properties, LLC
322 Reservoir Street
Needham, MA 02494

PERMIT	STATUS	PERMIT NO.	DATE
ROCHESTER SITE PLAN REVIEW	APPROVED	216-8, 9, 10-GRD-15	2/25/2016
NHDES ALTERATION OF TERRAIN (PHASE II EXCAVATION)	APPROVED	AoT-1234	4/6/2017
NHDES ALTERATION OF TERRAIN (PHASE IV COMMERCIAL DEVELOPMENT)	APPROVED	AoT-1351	12/7/2017
NHDES STANDARD DREDGE AND FILL	APPROVED	2016-00333	4/14/2017

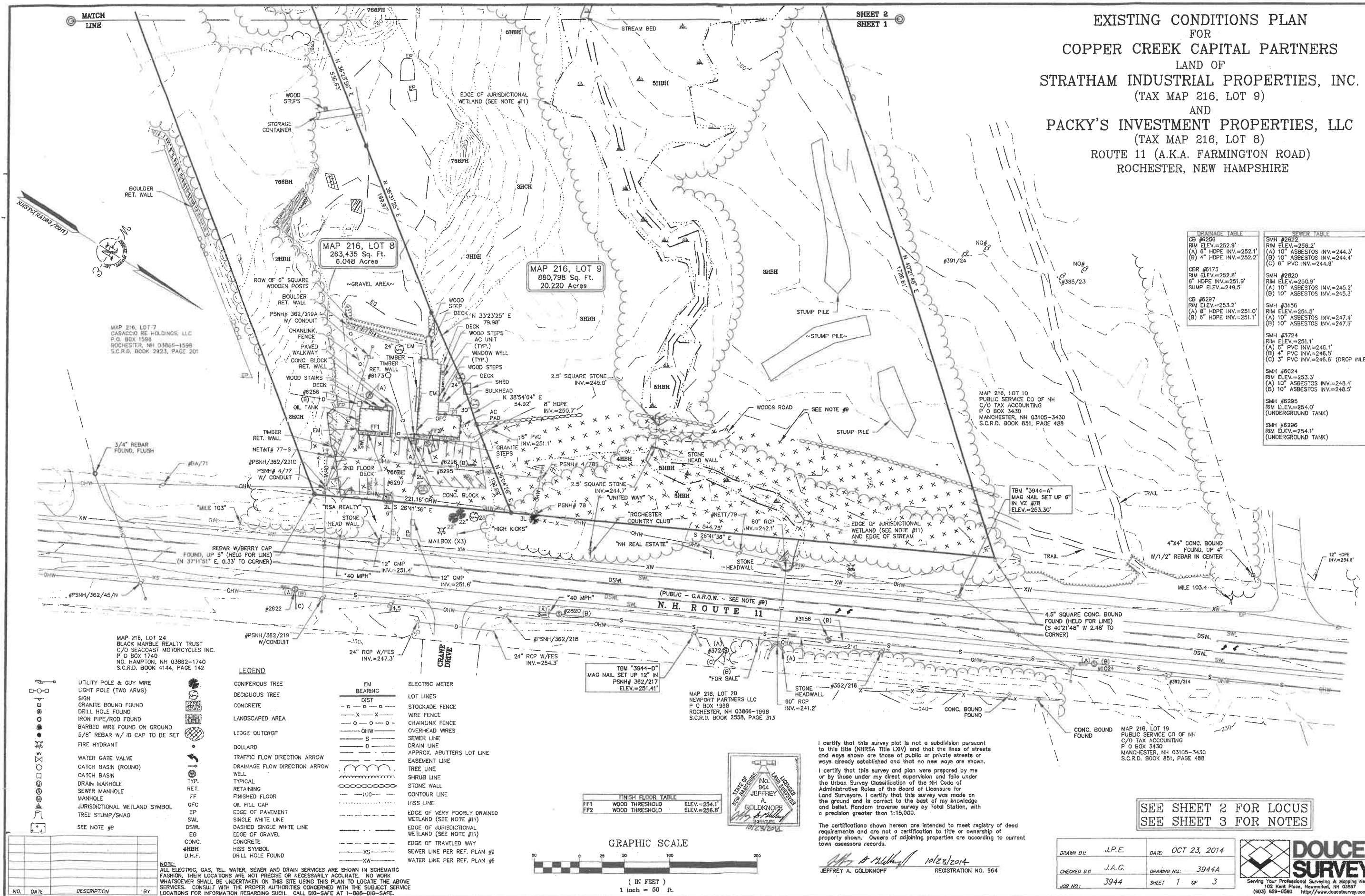
FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____
FOR MORE INFORMATION ABOUT THESE SITE PLANS CONTACT
THE CITY OF ROCHESTER PLANNING DEPARTMENT (603) 335-1338.

CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
3. TIGHE & BOND, ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.



EXISTING CONDITIONS PLAN
FOR
COPPER CREEK CAPITAL PARTNERS
LAND OF
STRATHAM INDUSTRIAL PROPERTIES, INC.
(TAX MAP 216, LOT 9)
AND
PACKY'S INVESTMENT PROPERTIES, LLC
(TAX MAP 216, LOT 8)
ROUTE 11 (A.K.A. FARMINGTON ROAD)
ROCHESTER, NEW HAMPSHIRE

SEWER TABLE	SEWER TABLE
CB #6256 RIM ELEV.=252.9' (A) 6" HDPE INV.=252.1' (B) 4" HDPE INV.=252.2'	SMH #2672 RIM ELEV.=256.2' (A) 10" ASBESTOS INV.=244.3' (B) 10" ASBESTOS INV.=244.4' (C) 6" PVC INV.=244.9'
CB #6173 RIM ELEV.=252.8' (A) 8" HDPE INV.=251.9' (B) 6" HDPE INV.=249.5'	SMH #2620 RIM ELEV.=250.9' (A) 10" ASBESTOS INV.=245.2' (B) 10" ASBESTOS INV.=245.3'
CB #6297 RIM ELEV.=253.2' (A) 8" HDPE INV.=251.0' (B) 6" HDPE INV.=251.1'	SMH #3156 RIM ELEV.=251.5' (A) 10" ASBESTOS INV.=247.4' (B) 10" ASBESTOS INV.=247.5'
	SMH #3724 RIM ELEV.=251.1' (A) 4" PVC INV.=246.1' (B) 4" PVC INV.=246.5' (C) 3" PVC INV.=246.6' (DROP INLET)
	SMH #6024 RIM ELEV.=253.3' (A) 10" ASBESTOS INV.=248.4' (B) 10" ASBESTOS INV.=248.5'
	SMH #6295 RIM ELEV.=254.0' (UNDERGROUND TANK)
	SMH #6296 RIM ELEV.=254.1' (UNDERGROUND TANK)



I certify that this survey plot is not a subdivision pursuant to this title (N.H.R.S.A. Title LXIV) and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

I certify that this survey and plan were prepared by me or by those under my direct supervision and faith under the Urban Survey Classification of the NH Code of Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

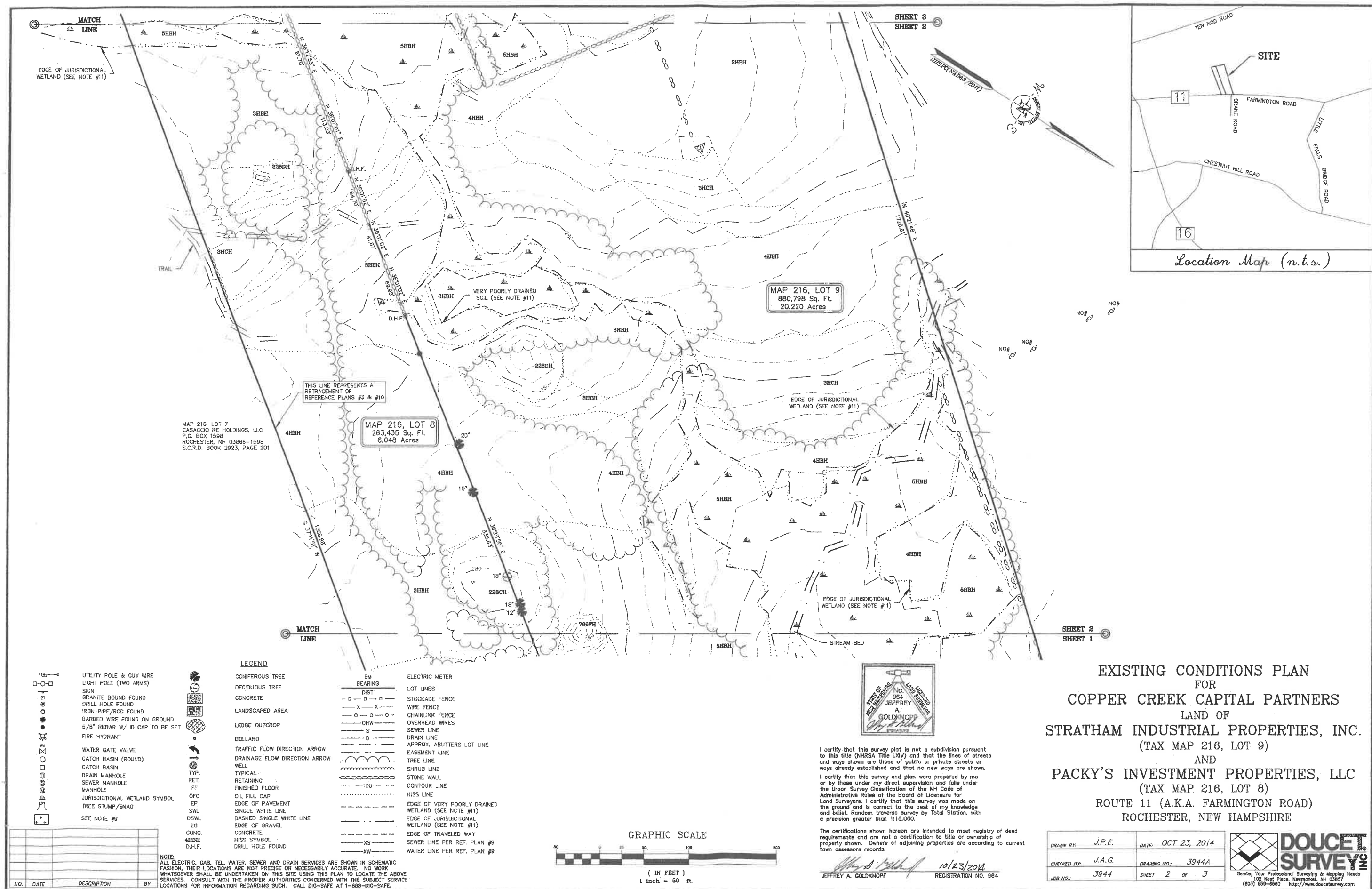
The certifications shown hereon are intended to meet registry of deed requirements and are not a certification to title or ownership of property shown. Owners of adjoining properties are according to current town assessors records.

JEFFREY A. GOLDKNOFF 10/23/2014
REGISTRATION NO. 964

SEE SHEET 2 FOR LOCUS
SEE SHEET 3 FOR NOTES

DRAWN BY:	J.P.E.	DATE:	OCT 23, 2014
CHECKED BY:	J.A.G.	DRAWING NO.:	3944A
JOB NO.:	3944	SHEET	1 OF 3





NOTES:

1. REFERENCE: TAX MAP 261, LOTS 8 & 9
2. TOTAL PARCEL AREA: TAX MAP 261, LOT 8: 263,435 Sq. Ft. OR 6.048 Acres
TAX MAP 261, LOT 9: 880,798 Sq. Ft. OR 20.220 Acres
3. OWNER OF RECORD: MAP 216, LOT 8
SITE ADDRESS: 60 FARMINGTON ROAD
PACKY'S INVESTMENT PROPERTIES, LLC
60 FARMINGTON RD
ROCHESTER, NH 03867-4327
S.C.R.D. BOOK 2392, PAGE 335

MAP 216, LOT 9
SITE ADDRESS: 68 FARMINGTON ROAD
STRATHAM INDUSTRIAL PROPERTIES, INC.
P.O. BOX 284
STRATHAM, NH 03885-0284
S.C.R.D. BOOK 1199, PAGE 640
4. ZONE: GRANITE RIDGE DEVELOPMENT DISTRICT (GRDD)
5. FLOOD HAZARD ZONE: "X", PER FIRM MAP #33017C01840, DATED 5/17/05.
6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE (2800) NAD83(2011)
DERIVED FROM STATIC GPS OBSERVATIONS PROCESSED BY THE NATIONAL GEODETIC
SURVEY ON-LINE POSITIONING USER SERVICE (OPUS).
7. VERTICAL DATUM IS BASED ON NAVD88 PER DISK X-4-1933 (PUBLISHED ELEV.=234.93').
8. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE
WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT
TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE
LIMITS OF TITLE.
9. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED,
INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED
WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE
EXTENT OF ROUTE 11 (FARMINGTON ROAD) AS DEPICTED HEREON IS BASED ON RESEARCH CONDUCTED
AT THE STRAFFORD COUNTY REGISTRY OF DEEDS, ROCHESTER CITY HALL, NHDOT R.O.W. OFFICE, AND
THE NHDOT DIVISION VI OFFICE.
9A. SEE RETURN OF LAYOUT AT S.C.R.D. BOOK 681, PAGE 134, INDIVIDUAL TAKING AT BOOK 681, PAGE
287, AND REFERENCE PLAN #12.
9B. ROUTE 11 (FARMINGTON ROAD A.K.A. FARMINGTON DOCK ROAD) IS AN ANCIENT ROADWAY WHICH
HAS BEEN LAID OUT AND/OR STRAIGHTENED & WIDENED NUMEROUS TIMES THROUGHOUT HISTORY.
THE FORMER LOCATION OF THE ROADWAY AS DEPICTED HEREON IS SHOWN PER REFERENCE PLAN
#11 AND PHYSICAL EVIDENCE AS SHOWN HEREON. REFERENCE IS HEREBY MADE TO CITY OF
ROCHESTER BOOK 5, PAGE 242 FOR THE 1917-1918 STRAIGHTENING AND WIDENING. THOUGH ONE
MAY EXIST, NO DISCONTINUANCE WAS FOUND OR PROVIDED BY THE CITY REGARDING THIS PORTION
OF SAID ROADWAY.
10. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO
NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS,
DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
11. JURISDICTIONAL WETLANDS DELINEATED BY COVE ENVIRONMENTAL SERVICES, INC. DURING
OCTOBER 2014 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATIONS
MANUAL, TECHNICAL REPORT Y-87-1. SITE SPECIFIC HISS MAPPING COMPLETED BY COVE
ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014
12. TAX MAP 261, LOT 9 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE
FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A. RIGHTS OF ACCESS TO/FROM ROUTE 11 (A CONTROLLED ACCESS HIGHWAY). 5 POINTS OF ACCESS
WERE RESERVED ON THE WESTERLY SIDE OF ROUTE 11 IN THE DEED TO THE STATE OF NH AT
VOLUME 680, PAGE 445. THE CURRENT DEED REFERENCES 3 POINTS OF ACCESS. SAID CURRENT
DEED COVERS TAX MAP 261, LOTS 8 & 11. NHDOT SHOULD BE CONTACTED ABOUT CURRENT
ACCESS LIMITATIONS. (NOT PLOTTABLE)
B. AN EASEMENT FOR THE BENEFIT OF THE PARCEL WAS RESERVED IN THE DEED TO WATERSTONE
ROCHESTER, LLC RECORDED IN VOLUME 4238, PAGE 739. (OFF SITE - NOT SHOWN HEREON)
C. RIGHTS OF ACCESS, AIR, VIEW, LIGHT, SLOPES, AND PIPE AND DITCH RIGHTS AS GRANTED TO THE
STATE OF NH BY DEED AT VOLUME 445, AS AFFECTED BY COMMISSIONERS RETURN OF
HIGHWAY LAYOUT AT VOLUME 681, PAGE 134. (WITHIN CURRENT STATE R.O.W.)
13. TAX MAP 261, LOT 8 IS EITHER SUBJECT TO OR IN BENEFIT OF, BUT NOT LIMITED TO, THE
FOLLOWING EASEMENTS/RIGHTS OF RECORD:
A. RIGHTS OF ACCESS, AIR, VIEW, LIGHT, SLOPES, AND PIPE AND DITCH RIGHTS AS GRANTED TO THE
STATE OF NH BY DEED AT VOLUME 681, PAGE 288; AS AFFECTED BY COMMISSIONERS RETURN OF
HIGHWAY LAYOUT AT VOLUME 681, PAGE 134. (WITHIN CURRENT STATE R.O.W.)
B. ONE 50 FOOT RIGHT OF ACCESS FROM ROUTE 11 (A CONTROLLED ACCESS HIGHWAY) AS RESERVED
IN THE DEED TO THE STATE OF NH AT VOLUME 681, PAGE 288.

REFERENCE PLANS:

1. "PROPOSED SUBDIVISION AND OF MARY E. GRENIER TEN ROD ROAD ROCHESTER, NH." BY
BERRY SURVEYING & ENGINEERING. DATED JANUARY 14, 2000. S.C.R.D. PLAN #58-38
2. "LOT LINE ADJUSTMENT FOR LAND OF JEFFERY J. & KAREN M. LABRECQUE & DONALD
R. FORCER ON TEN ROD ROAD ROCHESTER, NH 03867 TAX MAP 220 LOTS 32-5 & 32-4."
BY BRUCE L. POHOPECK LAND SURVEYOR. DATED AUGUST 28, 2000. S.C.R.D. PLAN# 61-49
3. "EXISTING CONDITIONS PLAN LAND OF STRATHAM INDUSTRIAL PROPERTIES INC. & PACKY'S
INVESTMENT PROPERTIES LLC ROUTE 11/ FARMINGTON RD ROCHESTER, NH TAX MAP 216 LOT
8 & 9." BY BERRY SURVEYING AND ENGINEERING DATED OCTOBER 20, 2009. (NOT RECORDED)
4. "ALTA/ACSM LAND TITLE SURVEY NH ROUTE 11/ FARMINGTON RD ROCHESTER, NH, STRAFFORD
COUNTY" FOR RT 11 INVESTMENTS, INC. BY NORWAY PLAINS ASSOCIATES, INC. DATED JULY
2007.
5. "PLAN OF LAND OF SPENCER W. HAMILTON FARMINGTON ROAD ROCHESTER, NH" BY BERRY
CONST. CO., INC. DATED JUNE 16, 1973 S.C.R.D. PLAN#38 POCKET #12 FOLDER#2.
6. "PLAN OF LAND OF RICHARD L. COUSINEAU ROUTE 11, ROCHESTER, NH" BY BERRY CONST.
CO., INC. DATED FEBRUARY 5, 1976 S.C.R.D. PLAN #16 POCKET #15 FOLDER #1.
7. "SURVEY OF THE LAND OF NORTHGATE APARTMENT COMPLEX ROCHESTER, NH." BY HOLDEN
ENGINEERING & SURVEYING. DATED JANUARY 5, 1982. S.C.R.D. PLAN#23A-23
8. "LAND PURCHASED FROM TUFTS ESTATE IN THE TOWN OF ROCHESTER, NH." BY PUBLIC
SERVICE CO. OF NEW HAMPSHIRE ENGINEERING DEPARTMENT. DATED SEPTEMBER 1987
S.C.R.D. BOOK 551 PAGES 492 & 494.
9. "STATE OF NH CITY OF ROCHESTER AS-BUILT WATER & SEWER EXTENSION PLAN & PROFILE".
BY DELUCA-HOFFMAN ASSOCIATES, INC., DATED 2-23-94.
10. "PROPOSED SITE REVIEW FOR ED CASACCIO, ROUTE 11, ROCHESTER, NH." BY BERRY SURVEYING
AND ENGINEERING. DATED NOVEMBER 9, 1998. (NOT RECORDED)
11. "PLAN OF THE FARMINGTON ROAD, ROCHESTER, NH" BY WILLIAM A. GROVE CIVIL ENGINEERING.
THIS PLAN IS ON FILE AT THE ROCHESTER CITY HALL AND IS REFERENCED IN THE 1917-1918
STRAIGHTENING AND WIDENING OF FARMINGTON ROAD. SAID STRAIGHTENING AND WIDENING IS ALSO
ON FILE AT THE ROCHESTER CITY HALL IN BOOK 5, PAGE 242.
12. "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED
FEDERAL AID PROJECT F-022-1(1), N.H. PROJECT NO. P-3346, N.H. ROUTE 11-HENRY WILSON
HIGHWAY", DATED 1957, ON FILE WITH NHDOT.

NOTE:

ALL ELECTRIC, GAS, TEL, WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC
FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK
WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE
SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE
LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

NO.	DATE	DESCRIPTION	BY

523BH	5	IDENTIFIER
1. EXCESSIVELY DRAINED	H	H. INDICATES HIGH INTENSITY SOIL MAP
2. WELL DRAINED	P	P. INDICATES PRELIMINARY MAP
3. MODERATELY WELL DRAINED		
4. SOMEWHAT POORLY DRAINED		
5. POORLY DRAINED		
6. VERY POORLY DRAINED		
7. NOT DETERMINABLE		

2	3
1. GLACIOFLUVIAL	1. NONE
2. GLACIAL TILL	2. BOULDERY, WITH MORE THAN 15% OF SURFACE COVERED
3. MARINE OR GLACIOCLUSTINE VERY FINE SAND AND SILT	3. MINERAL RESTRICTIVE LAYER(S) AREA PRESENT AT LESS THAN 40 IN. DEPTH.
4. MARINE OR GLACIOCLUSTINE LOAMY/SANDY OVER SILT/CLAY	4. BEDROCK 0 IN. TO 20 IN. DEPTH.
5. MARINE OR GLACIOCLUSTINE SILT AND CLAY	5. SUBJECT TO FLOODING
6. EXCAVATED, REGRADED, OR FILLED	6. DOES NOT MEET FILL STANDARDS.
7. ALLUVIAL DEPOSITS	7. DEPTH TO BEDROCK VARIABLE, COMPLEX OF SOIL TYPES.
8. ORGANIC MATERIALS FRESH WATER	
9. ORGANIC MATERIALS TIDAL MARSH	

HIGH INTENSITY MAP SYMBOL 523BH INDICATES A POORLY DRAINED GLACIAL TILL SOIL WITH A RESTRICTIVE FEATURE, ON A SLOPE OF 0 TO 8%

MAP 216, LOT 7
CASACCIO RE HOLDINGS, LLC
P.O. BOX 1598
ROCHESTER, NH 03865-1598
S.C.R.D. BOOK 2923, PAGE 201

MAP 216, LOT 8
263,435 Sq. Ft.
6.048 Acres

MAP 216, LOT 9
880,798 Sq. Ft.
20.220 Acres

MAP 220, LOT 32-3
RICHARD MELANSON
99 TEN ROD ROAD
ROCHESTER, NH 03867
S.C.R.D. BOOK 3880, PAGE 449

MAP 220, LOT 32-4
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-5
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-6
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-7
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-8
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-9
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-10
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-11
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-12
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-13
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

MAP 220, LOT 32-14
ROBERT R. FORCER JR.
107 TEN ROD RD.
ROCHESTER, NH 03867-4246
S.C.R.D. BOOK 4151, PAGE 689

UTILITY POLE & GUY WIRE	LEGEND
LIGHT POLE (TWO ARMS)	CONIFEROUS TREE
SIGN	DECIDUOUS TREE
GRANITE BOUND FOUND	CONCRETE
DRILL HOLE FOUND	LANDSCAPED AREA
IRON PIPE/ROD FOUND	LEDGE OUTCROP
BARBED WIRE FOUND ON GROUND	90LLARD
5/8" REBAR W/ ID CAP TO BE SET	TRAFFIC FLOW DIRECTION ARROW
FIRE HYDRANT	DRAINAGE FLOW DIRECTION ARROW
WATER GATE VALVE	WELL
CATCH BASIN (ROUND)	TYPICAL
CATCH BASIN	RETAINING
DRAIN MANHOLE	FINISHED FLOOR
SEWER MANHOLE	OIL FILL CAP
MANHOLE	EDGE OF PAVEMENT
JURISDICTIONAL WETLAND SYMBOL	SINGLE WHITE LINE
TREE STUMP/SNAG	DASHED SINGLE WHITE LINE
SEE NOTE #9	EDGE OF GRAVEL
	CONCRETE
	HISS SYMBOL
	DRILL HOLE FOUND

EM BEARING	ELECTRIC METER
DIST	LOT LINES
X-X	STOCKADE FENCE
O-O	WIRE FENCE
CHW	CHAINLINK FENCE
S	OVERHEAD WIRES
D	SEWER LINE
100	DRAIN LINE
100	APPROX. ABUTTERS LOT LINE
100	EASEMENT LINE
100	TREE LINE
100	SHRUB LINE
100	STONE WALL
100	CONTOUR LINE
100	HISS LINE
100	EDGE OF VERY POORLY DRAINED WETLAND (SEE NOTE #11)
100	EDGE OF JURISDICTIONAL WETLAND (SEE NOTE #11)
100	EDGE OF TRAVELED WAY
100	SEWER LINE PER REF. PLAN #9
100	WATER LINE PER REF. PLAN #9

EM BEARING	ELECTRIC METER
DIST	LOT LINES
X-X	STOCKADE FENCE
O-O	WIRE FENCE
CHW	CHAINLINK FENCE
S	OVERHEAD WIRES
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100	EDGE OF TRAVELED WAY
100	SEWER LINE PER REF. PLAN #9
100	WATER LINE PER REF. PLAN #9

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DIST	LOT LINES
X-X	STOCKADE FENCE
O-O	WIRE FENCE
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100	CONTOUR LINE
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100	EDGE OF VERY POORLY DRAINED WETLAND (SEE NOTE #11)
100	EDGE OF JURISDICTIONAL WETLAND (SEE NOTE #11)
100	EDGE OF TRAVELED WAY
100	SEWER LINE PER REF. PLAN #9
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EM BEARING	ELECTRIC METER
DIST	LOT LINES
X-X	STOCKADE FENCE
O-O	WIRE FENCE
CHW	CHAINLINK FENCE
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D	SEWER LINE
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EM BEARING	ELECTRIC METER
DIST	LOT LINES
X-X	STOCKADE FENCE
O-O	WIRE FENCE
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X-X	STOCKADE FENCE
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EM BEARING	ELECTRIC METER
DIST	LOT LINES
X-X	STOCKADE FENCE
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CHW	CHAINLINK FENCE
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100	EDGE OF TRAVELED WAY
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DIST	LOT LINES
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X-X	STOCKADE FENCE
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Proposed Commercial Development

Farmington Associates Properties, LLC

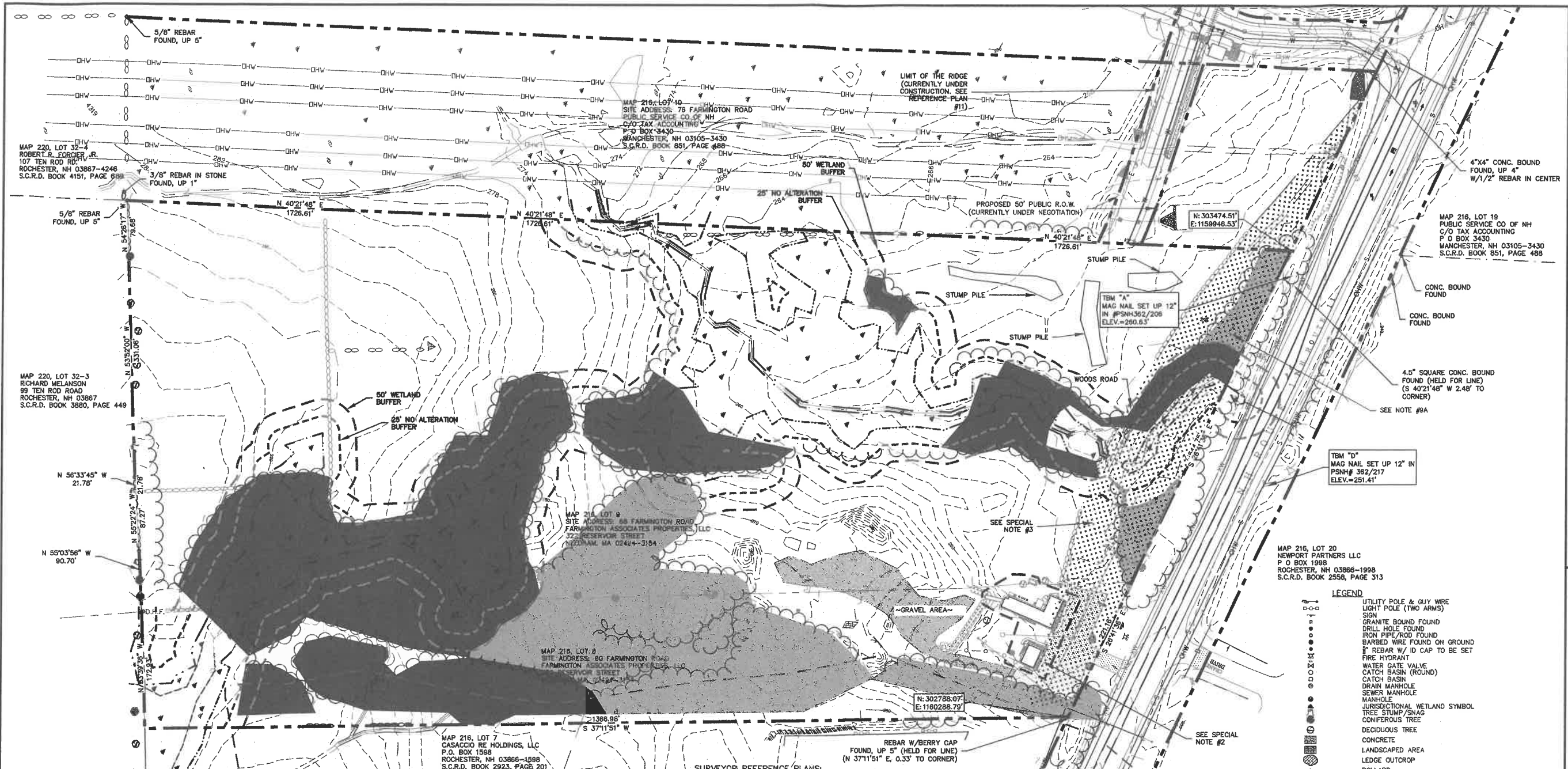
60 Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	SUBMISSION TO PB	DESCRIPTION
A	03/05/2018	SUBMISSION TO PB	
FILE:		W2157	
PROJECT NO:		W2157	
FILE:		W2157_C-SITE.dwg	
DATE:		03/05/2018	
DRAWN BY:		JPC	
CHECKED:		KAM	
APPROVED BY:		BLM	

OVERALL EXISTING CONDITIONS
AND DEMOLITION PLAN

SCALE: AS SHOWN

C-1



SURVEYOR NOTES:

- REFERENCE: TAX MAP 261, LOTS 8, 9, & 10
- TOTAL PARCEL AREA: TAX MAP 261, LOT 8: 263,435 Sq. Ft. OR 6.048 Acres
TAX MAP 261, LOT 9: 880,798 Sq. Ft. OR 20.220 Acres
TAX MAP 261, LOT 10: 914,760 Sq. Ft. OR 21 Acres
- OWNER OF RECORD:
MAP 216, LOT 8
SITE ADDRESS: 60 FARMINGTON ROAD
FARMINGTON ASSOCIATES PROPERTIES, LLC
322 RESERVOIR STREET
NEEDHAM, MA, 02494-3154
MAP 216, LOT 9
SITE ADDRESS: 68 FARMINGTON ROAD
FARMINGTON ASSOCIATES PROPERTIES, LLC
322 RESERVOIR STREET
NEEDHAM, MA 02494-3154
MAP 216, LOT 10
SITE ADDRESS: 76 FARMINGTON ROAD
PUBLIC SERVICE CO OF NH
C/O TAX ACCOUNTING
P.O. BOX 3430
MANCHESTER, NH 03105-3430
S.C.R.D. BOOK 851, PAGE 488
- ZONE: GRANITE RIDGE DEVELOPMENT DISTRICT (GRDD)
- FLOOD HAZARD ZONE: "X", PER FIRM MAP #33017C01840, DATED 5/17/05.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM STATIC GPS OBSERVATIONS PROCESSED BY THE NATIONAL GEODETIC SURVEY ON-LINE POSITIONING USER SERVICE (OPUS).
- VERTICAL DATUM IS BASED ON NAVD88 PER DISK X-4-1933 (PUBLISHED ELEV.=234.93').
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF ROUTE 11 (FARMINGTON ROAD) AS DEPICTED HEREON IS BASED ON RESEARCH CONDUCTED BY DOUCET SURVEY AT STAFFORD COUNTY REGISTRY OF DEEDS, THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, AND THE CITY OF ROCHESTER.
- A. APPARENT ANCIENT ROADWAY FEATURES LIE BETWEEN THE STONE WALL AND THE CURRENT L.A.R.O.W. LOCATION. RECORDS PERTAINING TO THE FORMER LOCATIONS OF FARMINGTON ROAD (A.K.A. FARMINGTON DOCK ROAD) AND ANY NOTICES OF DISCONTINUANCE HAVE NOT BEEN PROVIDED, PER ALTA/ACSM LAND TITLE SURVEY STANDARDS, SECTION 4 ALL RELEVANT DOCUMENTS SHALL BE PROVIDED TO THE SURVEYOR.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATIONS MANUAL, TECHNICAL REPORT Y-87-1. SITE SPECIFIC HISS MAPPING COMPLETED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING OCTOBER 2014.

MAP 216, LOT 10 NOTES:

- REFERENCE: ROUTE 11 ROCHESTER, NH.
- FIELD SURVEY PERFORMED BY DOUCET SURVEY, INC. DURING 01/14 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND BY J.M.L. & L.P.S. ON 01/14 USING A GEODEMETER 600 PRO TOTAL STATION WITH A TDS RANGER DATA COLLECTOR AND A TRIMBLE DIMI DIGITAL LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____

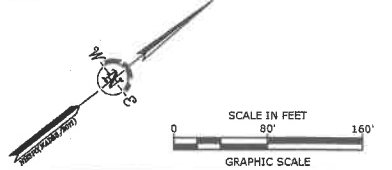
SURVEYOR REFERENCE PLANS:

- "PROPOSED SUBDIVISION AND OF MARY E. GRENIER TEN ROD ROAD ROCHESTER, NH." BY BERRY SURVEYING & ENGINEERING. DATED JANUARY 14, 2000. S.C.R.D. PLAN #58-38
- "LOT LINE ADJUSTMENT FOR LAND OF JEFFERY J. & KAREN M. LABRECQUE & DONALD R. FORCIER ON TEN ROD ROAD ROCHESTER, NH 03867 TAX MAP 220 LOTS 32-5 & 32-4." BY BRUCE L. POHOPECK LAND SURVEYOR. DATED AUGUST 28, 2000. S.C.R.D. PLAN# 61-49
- "EXISTING CONDITIONS PLAN LAND OF STRATHAM INDUSTRIAL PROPERTIES INC. & PACKY'S INVESTMENT PROPERTIES LLC ROUTE 11/ FARMINGTON RD ROCHESTER, NH TAX MAP 216 LOT 8 & 9." BY BERRY SURVEYING AND ENGINEERING DATED OCTOBER 20, 2009. (NOT RECORDED)
- "ALTA/ACSM LAND TITLE SURVEY NH ROUTE 11/ FARMINGTON RD ROCHESTER, NH, STRAFFORD COUNTY" FOR RT 11 INVESTMENTS, INC. BY NORWAY PLAINS ASSOCIATES, INC. DATED JULY 2007.
- "PLAN OF LAND OF SPENDER W. HAMILTON FARMINGTON ROAD ROCHESTER, NH" BY BERRY CONST. CO., INC. DATED JUNE 16, 1973 S.C.R.D. PLAN#38 POCKET #12 FOLDER#2.
- "PLAN OF LAND OF RICHARD L. COUSINEAU ROUTE 11, ROCHESTER, NH" BY BERRY CONST. CO., INC. DATED FEBRUARY 5, 1975 S.C.R.D. PLAN #16 POCKET #15 FOLDER #1.
- "SURVEY OF THE LAND OF NORTHGATE APARTMENT COMPLEX ROCHESTER, NH." BY HOLDEN ENGINEERING & SURVEYING. DATED JANUARY 5, 1982. S.C.R.D. PLAN#23A-23
- "LAND PURCHASED FROM TUFTS ESTATE IN THE TOWN OF ROCHESTER, NH." BY PUBLIC SERVICE CO. OF NEW HAMPSHIRE ENGINEERING DEPARTMENT. DATED SEPTEMBER 1907 S.C.R.D. BOOK 851 PAGES 492 & 494.
- "STATE OF NH CITY OF ROCHESTER AS-BUILT WATER & SEWER EXTENSION PLAN & PROFILE", BY DELUCA-HOFFMAN ASSOCIATES, INC., DATED 2-23-94.
- "PROPOSED SITE REVIEW FOR ED CASACCIO, ROUTE 11, ROCHESTER, NH." BY BERRY SURVEYING AND ENGINEERING. DATED NOVEMBER 9, 1998. (NOT RECORDED).
- "GRANITE RIDGE DEVELOPMENT DISTRICT INFRASTRUCTURE IMPROVEMENTS PROJECT FARMINGTON ROAD (ROUTE 11) ROCHESTER, NEW HAMPSHIRE" BY TIGHE AND BOND CONSULTING ENGINEERS. DATED FEBRUARY 20, 2015.

MAP 216, LOT 10 REFERENCE PLANS:

- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT F-022-1(1)", N.H. PROJECT NO. P-3346, N.H. ROUTE 11-HENRY WILSON HIGHWAY", DATED 1957, ON FILE WITH NHDOT.
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FAP PROJECT NO. F-022-1(2)", N.H. PROJECT #P-3812, HENRY WILSON HIGHWAY", DATED 1958, ON FILE WITH NHDOT.
- "NH ROUTE 11 GENERAL PLAN", BY CLD CONSULTING ENGINEERS, DATED SEPTEMBER 2005.
- "STATE OF NH CITY OF ROCHESTER AS-BUILT WATER & SEWER EXTENSION PLAN & PROFILE", BY DELUCA-HOFFMAN ASSOCIATES, INC., DATED 2-23-94.
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION CONSTRUCTION PLANS FEDERAL AID PROJECT X-A000(448) N.H. PROJECT NO. 14575, ROUTE 11", DATED 2008.
- "ALTA/ACSM LAND TITLE SURVEY NH ROUTE 11-FARMINGTON ROAD ROCHESTER, NH STRAFFORD COUNTY FROM ROUTE 11 INVESTMENTS, INC.", BY NORWAY PLAINS ASSOCIATES, INC., DATED JULY 2007, NOT RECORDED.

- LEGEND**
- UTILITY POLE & GUY WIRE
 - LIGHT POLE (TWO ARMS)
 - SIGN
 - GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - BARBED WIRE FOUND ON GROUND
 - 1" REBAR W/ ID CAP TO BE SET
 - FIRE HYDRANT
 - WATER GATE VALVE
 - CATCH BASIN (ROUND)
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - MANHOLE
 - JURISDICTIONAL WETLAND SYMBOL
 - TREE STUMP/SHAG
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - CONCRETE
 - LANDSCAPED AREA
 - LEDGE OUTCROP
 - BOLLARD
 - TRAFFIC FLOW DIRECTION ARROW
 - DRAINAGE FLOW DIRECTION ARROW
 - WELL
 - LOT LINES
 - FENCE
 - OVERHEAD WIRES
 - SEWER LINE
 - DRAIN LINE
 - APPROX. ADJUTTER'S LOT LINE
 - TREE LINE
 - SHRUB LINE
 - STONE WALL
 - CONTOUR LINE
 - EDGE OF VERY POORLY DRAINED WETLAND (SEE SURVEYOR NOTE #11)
 - EDGE OF JURISDICTIONAL WETLAND (SEE SURVEYOR NOTE #11)
 - EDGE OF TRAVELED WAY (SEE SURVEYOR NOTE #9)
 - SEWER LINE PER SURVEYOR REF. PLAN #9
 - WATER LINE PER SURVEYOR REF. PLAN #9
 - SEE SURVEYOR NOTE #9A
 - EXISTING GRAVEL DRIVE TO BE REMOVED
 - LIMIT OF AQUIFER PROTECTION DISTRICT
 - LIMIT OF CLEARING AND GRUBBING (SEE SPECIAL NOTE #1)
 - LIMIT OF CLEARING AND GRUBBING (PHASE II SEE SPECIAL NOTE #4)



FILENAME: J:\W2157 WATERSTONE PHASE 1\2 ROCHESTER, NH\WATERSTONE PHASE 1\DESIGN\DRAWINGS\FIGURES\AUTOCAD\REF\W2157_C-SITE.dwg - LAYOUT TAB: OVERALL EXIST
SAVE DATE: 3/5/2018 4:29 PM
PLOT DATE: 3/5/2018 5:25 PM



Proposed Commercial Development

Farmington Associates Properties, LLC

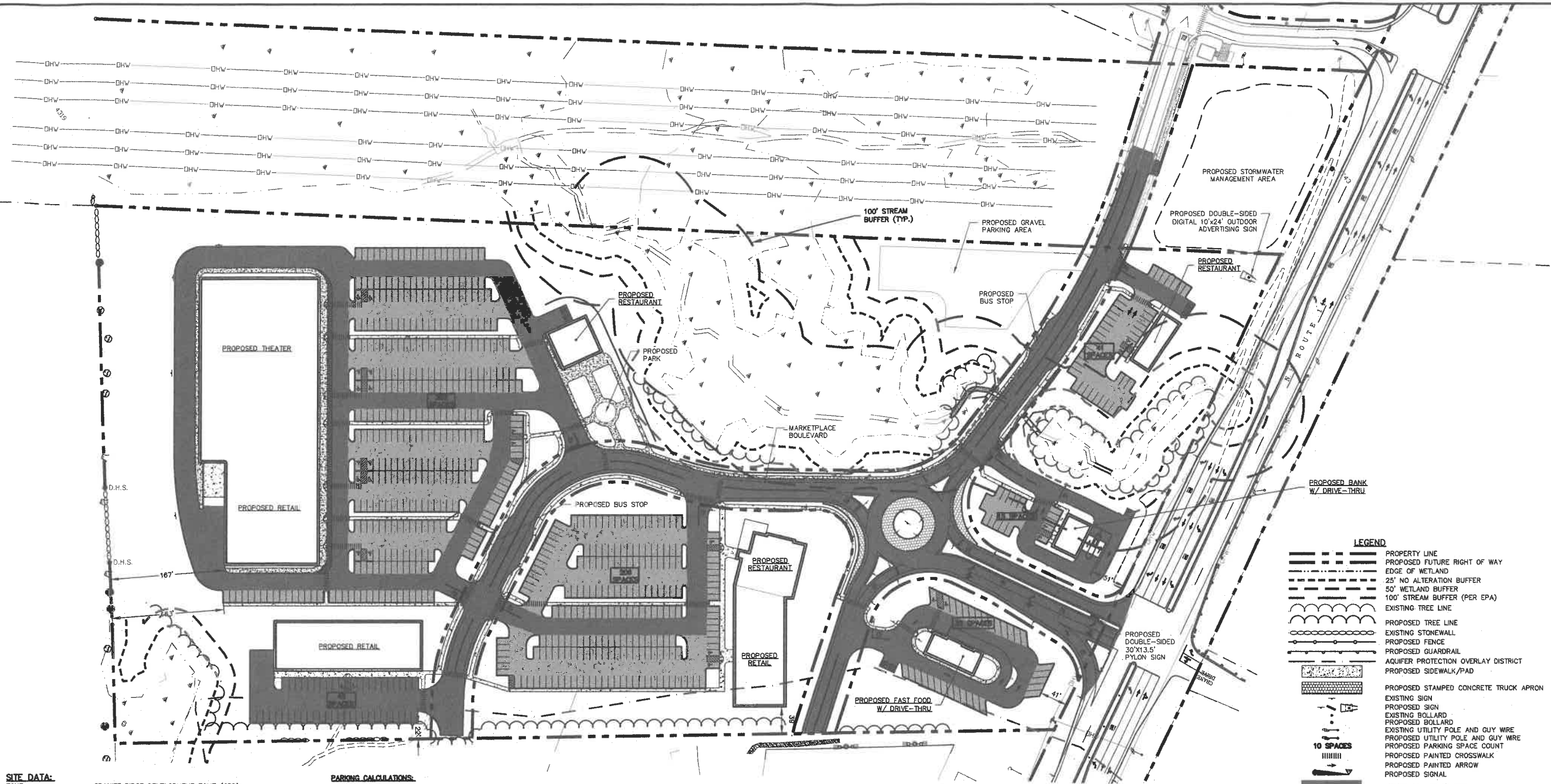
60 Farmington Road
(Route 11)
Rochester, NH

DATE	03/05/2018	SUBMISSION TO PB
MARK	DATE	DESCRIPTION
PROJECT NO.	W2157	
FILE:	W2157_C-SITE.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

OVERALL SITE PLAN

SCALE: AS SHOWN

C-2



SITE DATA:

ZONE: GRANITE RIDGE DEVELOPMENT ZONE (GRD)
OVERLAY DISTRICT: CONSERVATION OVERLAY DISTRICT & AQUIFER PROTECTION OVERLAY DISTRICT
ALLOWED USES: RETAIL (SALES AND SERVICE)
BANK
RECREATION (INDOOR, OUTDOOR, AND PARK)
RESTAURANT
RESTAURANT WITH DRIVE-THRU
THEATER/CINEMA

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	N/A	26.2 ACRES*
MINIMUM FRONTAGE:	50 FT	1,096 FT
MINIMUM FRONT SETBACK:	N/A	±51 FT
MINIMUM SIDE SETBACK:	N/A	±39 FT
MINIMUM REAR SETBACK:	N/A	±167 FT
MINIMUM OPEN SPACE:	25%	±51%
MAXIMUM BUILDING HEIGHT:	N/A	≤35 FT

* NOTE:
1) PARCEL MAP 216 LOT 9 (20.2 ACRES) AND PARCEL MAP 216 LOT 8 (6.0 ACRES) HAS BEEN MERGED INTO A SINGLE LOT AS PART OF THE PROPOSED PROJECT.

PARKING REQUIREMENTS:

	REQUIRED	PROVIDED
PARKING STALL SIZE:	9' X 18'	9' X 18'
MINIMUM DRIVE AISLE:	60'	20 FT
MINIMUM FRONT SETBACK:	22 FT	24 FT
MINIMUM SIDE SETBACK:	10 FT	±41 FT
MINIMUM REAR SETBACK:	5 FT	±22 FT
MINIMUM BUILDING HEIGHT:	10 FT	±163 FT
TOTAL SPACES:	694 SPACES	694 SPACES
TOTAL ACCESSIBLE SPACES:	14 SPACES	24 SPACES

TOTAL WETLAND AREA
±154,220 SF (±3.54 ACRES)
EXISTING PROPOSED
±90,460 SF (±2.08 ACRES)
±63,760 SF (±1.46 ACRES) REDUCTION

TOTAL WETLAND BUFFER AREA
±270,602 SF (±6.21 ACRES)
EXISTING PROPOSED
±142,162 SF (±3.28 ACRES)
±128,440 SF (±2.95 ACRES) REDUCTION

PARKING CALCULATIONS:

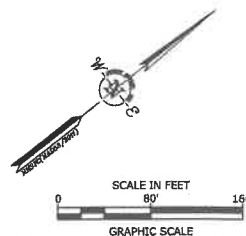
RESTAURANTS
13,050 SF TOTAL; 438 SEATS TOTAL
PARKING REQUIREMENTS:
1 SPACE/3 SEATS
438 X 1 / 3 = 146 SPACES
FAST FOOD RESTAURANT
3,000 SF; 60 SEATS WITH DRIVE-THRU
PARKING REQUIREMENTS:
1 SPACE/2 SEATS
60 X 1 / 2 = 30 SPACES
BANK
2,180 SF WITH DRIVE-THRU
PARKING REQUIREMENTS:
1 SPACE/300 SF
2,180 X 1 / 300 = 8 SPACES
RETAIL
22,700 SF
PARKING REQUIREMENTS (≤ 30,000 SF):
1 SPACE/250 SF
22,700 X 1 / 250 = 91 SPACES
RETAIL
14,700 SF
PARKING REQUIREMENTS (≤ 30,000 SF):
1 SPACE / 250 SF
14,700 X 1 / 250 = 59 SPACES
RETAIL
12,655 SF
PARKING REQUIREMENTS (≤ 30,000 SF):
1 SPACE/250 SF
12,655 X 1 / 250 = 51 SPACES
THEATER
1,236 SEATS
PARKING REQUIREMENTS:
1 SPACE/4 SEATS
1,236 X 1 / 4 = 309 SPACES
TOTAL
RESTAURANT = 146 SPACES
FAST FOOD RESTAURANT = 30 SPACES
BANK = 8 SPACES
RETAIL = 91 SPACES
RETAIL = 59 SPACES
RETAIL = 51 SPACES
THEATER = 309 SPACES
TOTAL = 694 SPACES

SITE NOTES:

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS, AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE, MEDIAN ISLANDS, AND FIRE LANES TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT, CENTERLINE, MEDIAN ISLANDS, AND FIRE LANES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS, AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCH WIDE WHITE LINES.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND/OR CITY CODES & SPECIFICATIONS.
- WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT).
- WORK WITHIN MARKETPLACE BOULEVARD SHALL BE COORDINATED WITH CITY OF ROCHESTER.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM WALL MANUFACTURERS, AND SUBMITTING DESIGN TO ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTED BLOCK WALL SYSTEM AS OUTLINED IN THE SPECIFICATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE APPLICANT SHALL SUBMIT ARCHITECTURAL ELEVATIONS TO THE PLANNING DEPARTMENT PRIOR TO SUBMITTING FOR A BUILDING PERMIT.
- ALL SIGNS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. EACH SIGN WILL REQUIRE ADHERENCE TO APPLICABLE REGULATIONS INCLUDING CITY OF ROCHESTER ZONING ORDINANCE 42.29 OR RELIEF FROM THE ROCHESTER ZONING BOARD. SIGNS ADVERTISING FOR OFF-PREMISE USES SHALL REQUIRE APPROVAL FROM THE NHDOT.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____





Proposed Commercial Development

Farmington Associates Properties, LLC

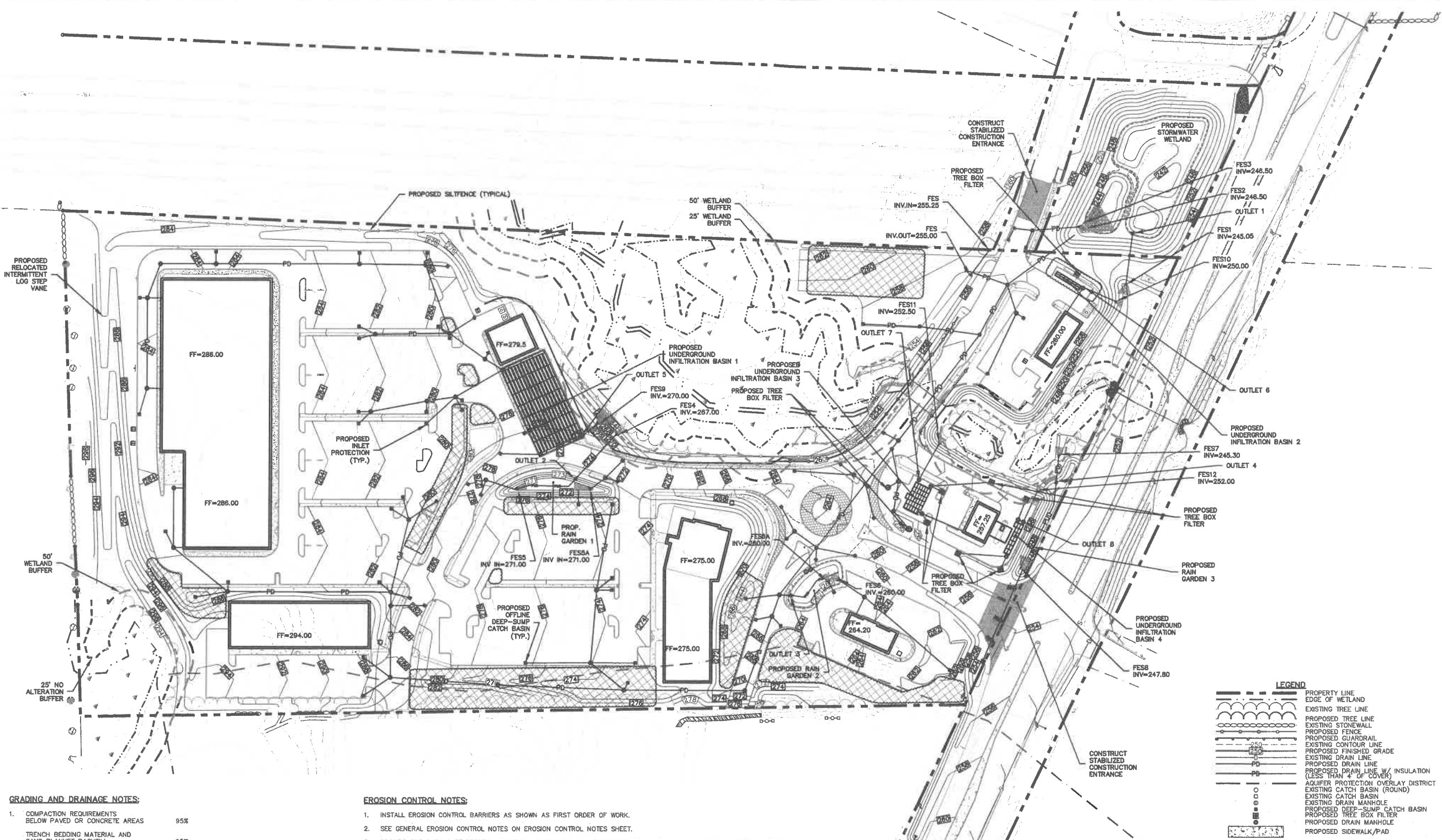
60 Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
A	03/05/2018	SUBMISSION TO PB
PROJECT NO.	W2157	
FILE	W2157_C-SITE.dwg	
DATE	03/05/2018	
DRAWN BY	JPC	
CHECKED	KAM	
APPROVED BY	BLM	

OVERALL GRADING PLAN

SCALE: AS SHOWN

C-3



GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND
SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM
MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD
C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12
OR APPROVED EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
3. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH
GRADE.
4. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW
SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND
LOADING DOCK AREAS ADJACENT TO THE BUILDING.
5. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT
OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND
LOCAL CODES.
7. CATCHBASINS AND DRAIN MANHOLES SHALL BE 4 FT IN DIAMETER UNLESS OTHERWISE NOTED.
8. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE
DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND
BRIDGES, LATEST EDITION.
9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND
CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS,
LATEST REVISIONS.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES SHEET.
3. PROVIDE SILT SACK INLET PROTECTION WITHIN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS.
MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.
5. INSPECT INLET PROTECTION AND SILT SOCKS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER.
REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3
THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 4" LOAM, SEED, AND FERTILIZER OR 3" PERMANENT
MULCH AND SEED.
7. CONSTRUCT EXCELSIOR JUTE MAT ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE
APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND
LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST
CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID
CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION
OF CONSTRUCTION.
11. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT SOCK AND SHALL BE STABILIZED BY TEMPORARY EROSION
CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.
12. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

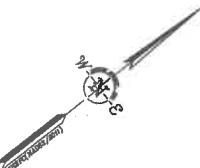
SNOW STORAGE NOTES:

1. IF SNOW STORAGE AREAS ARE EXCEEDED, EXCESS SNOW SHALL BE
REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH
ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
2. SNOW IS NOT TO BE PUSHED INTO THE STREAM, CASCADE,
WETLANDS, OR WETLAND BUFFER AREAS.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____

LEGEND	
	PROPERTY LINE
	EDGE OF WETLAND
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING STONEWALL
	PROPOSED FENCE
	PROPOSED GUARDRAIL
	EXISTING CONTOUR LINE
	PROPOSED FINISHED GRADE
	EXISTING DRAIN LINE
	PROPOSED DRAIN LINE
	PROPOSED DRAIN LINE W/ INSULATION (LESS THAN 4' OF COVER)
	AQUIFER PROTECTION OVERLAY DISTRICT
	EXISTING CATCH BASIN (ROUND)
	EXISTING CATCH BASIN
	EXISTING DRAIN MANHOLE
	PROPOSED DEEP-SUMP CATCH BASIN
	PROPOSED TREE BOX FILTER
	PROPOSED DRAIN MANHOLE
	PROPOSED SIDEWALK/PAD
	PROPOSED STAMPED CONCRETE TRUCK APRON
	PROPOSED SNOW STORAGE AREA
	PROPOSED SIGN
	EXISTING BOLLARD
	EXISTING UTILITY POLE AND GUY WIRE
	PROPOSED UTILITY POLE AND GUY WIRE
	PROPOSED INLET PROTECTION



SCALE IN FEET
0 80' 160'
GRAPHIC SCALE



Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
A	03/05/2018	SUBMISSION TO PB
PROJECT NO:	W2157	
FILE:	W2157_C-SITE.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

OVERALL UTILITIES PLAN

SCALE: AS SHOWN

C-4



LEGEND	
---	PROPERTY LINE
- - - -	EDGE OF WETLAND
- - - - -	EXISTING STONEWALL
- - - - -	EXISTING DRAINAGE
- - - - -	PROPOSED DRAINAGE
- - - - -	PROPOSED DRAINAGE W/INSULATION (LESS THAN 4' OF COVER)
- - - - -	PROPOSED OVERHEAD WIRE
- - - - -	PROPOSED OVERHEAD WIRE
- - - - -	PROPOSED UNDERGROUND ELECTRIC/TELEPHONE/CABLE
- - - - -	EXISTING WATER
- - - - -	PROPOSED WATER
- - - - -	EXISTING SEWER
- - - - -	PROPOSED SEWER
- - - - -	PROPOSED SEWER W/INSULATION (LESS THAN 6' OF COVER)
- - - - -	PROPOSED GAS
- - - - -	PROPOSED SIDEWALK/PAD
- - - - -	PROPOSED BOLLARD
- - - - -	PROPOSED LIGHT POLE BASE
- - - - -	PROPOSED SEWER MANHOLE
- - - - -	PROPOSED CATCHBASIN
- - - - -	PROPOSED DRAIN MANHOLE
- - - - -	PROPOSED THRUST BLOCK
- - - - -	PROPOSED UTILITY POLE
- - - - -	PROPOSED HYDRANT
- - - - -	PROPOSED VALVE

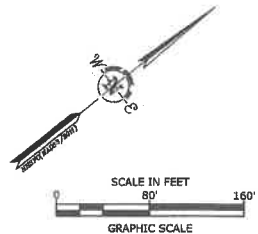
UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
- SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF ROCHESTER, NEW HAMPSHIRE PUBLIC WORKS DEPARTMENT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN CITY ROWS SHALL BE COORDINATED WITH CITY OF ROCHESTER.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY STANDARDS.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DXF FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF ROCHESTER.
- ALL SEWER PIPE WITH LESS THAN 4' OF COVER IN UNPAVED AREAS AND LESS THAN 6' OF COVER IN PAVED AREAS SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
- SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- ALL WORK WITHIN ROUTE 11 SHALL BE COORDINATED WITH THE CITY OF ROCHESTER AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- ALL WATER LINE BUILDING CONNECTIONS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTER. THE INSPECTIONS SHALL BE COORDINATED WITH THE BUILDING DEPARTMENT.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____



Proposed Commercial Development

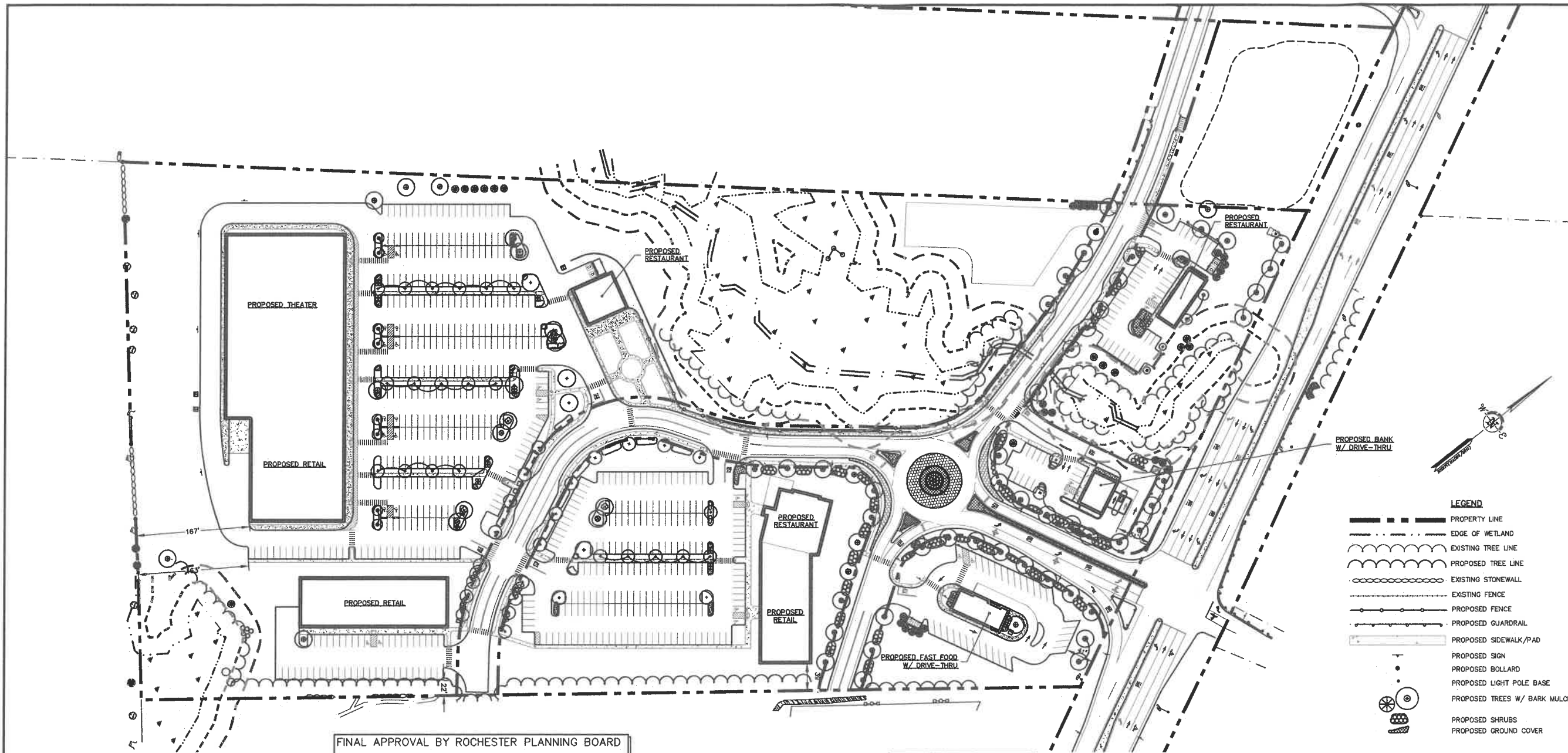
Farmington Associates, LLC

60 Farmington Road
(Route 11)
Rochester, NH

OVERALL LANDSCAPE PLAN

SCALE: AS SHOWN

C-5



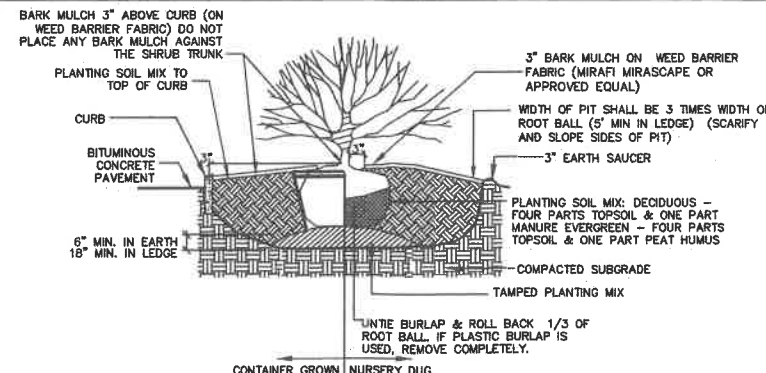
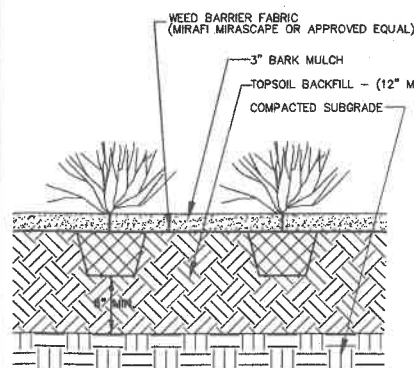
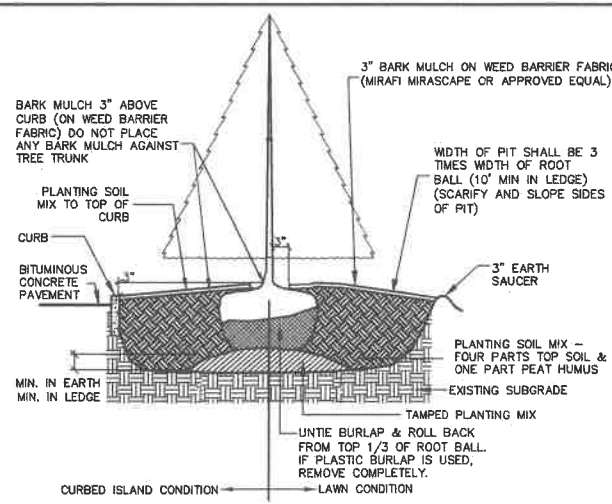
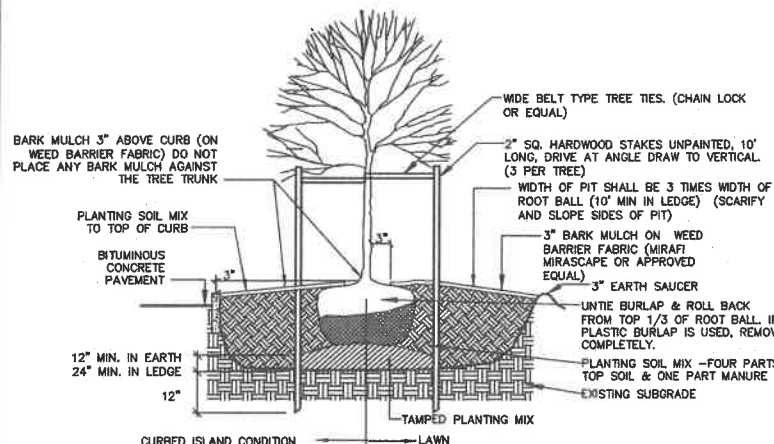
FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY: _____ DATE: _____

SEE SHEET C-5A FOR
LANDSCAPE PLANTING
NOTES.

SEE SHEET C-5C FOR
LANDSCAPE PLANTING
SCHEDULES.

WAIVER REQUEST NOTE

- DUE TO THE POWER LINE EASEMENT CONSTRAINTS A WAIVER IS REQUESTED FROM SECTION 5.0 FRONT AND SIDE LANDSCAPE BUFFERS.
- DUE TO SIDEWALK CONSTRAINTS A WAIVER IS REQUESTED FROM SECTION 5.1.1 FOUNDATION PLANTING BUFFER FOR 17,800 S.F. RETAIL, 2,300 S.F. RESTAURANT AND 2,150 S.F. BANK.





Proposed Commercial Development

Farmington Associates Properties, LLC

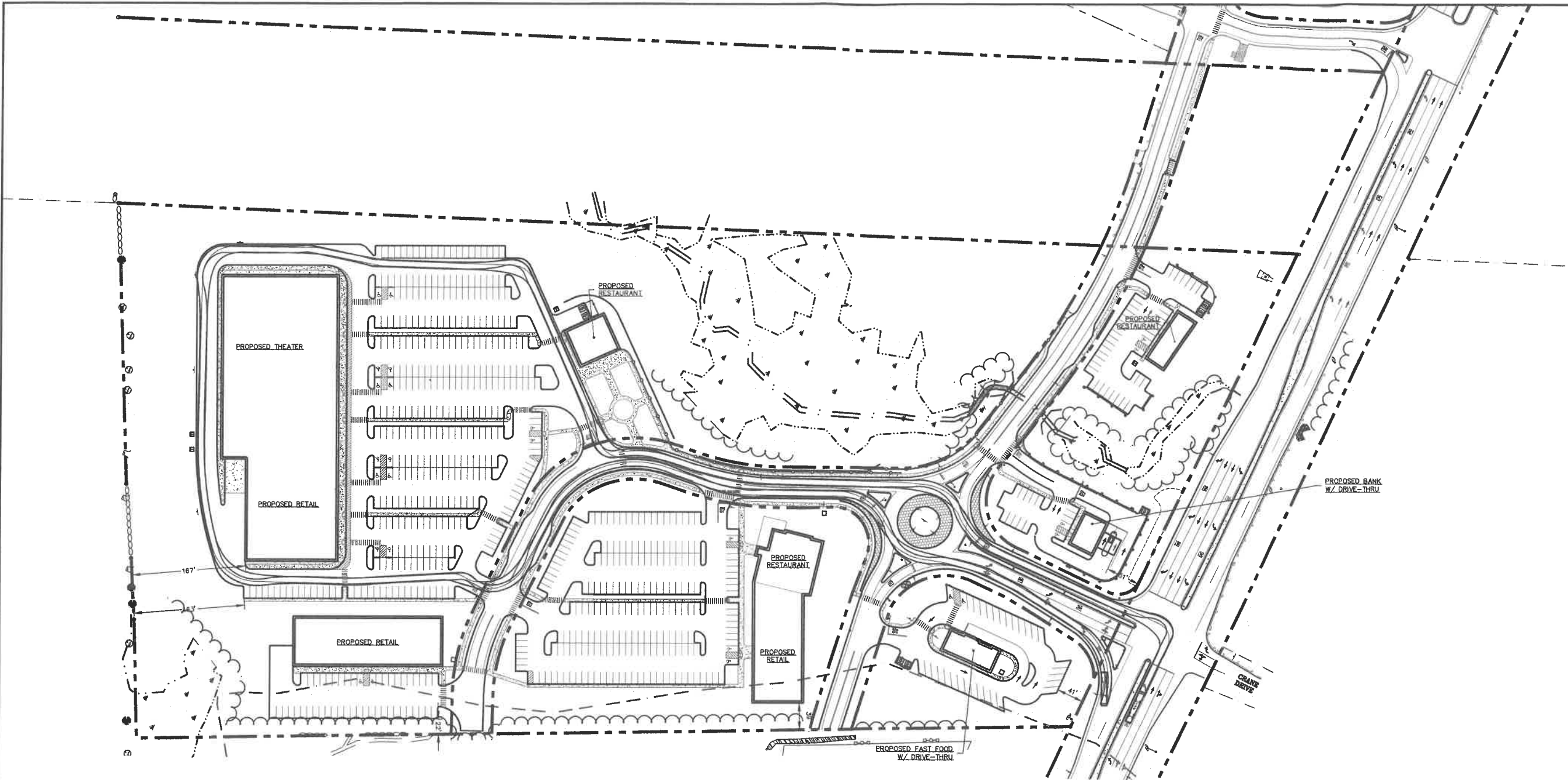
60 Farmington Road
(Route 11)
Rochester, NH

A.	3/5/18	SUBMISSION TO PB
MARK	DATE	DESCRIPTION
PROJECT NO.	W2157	
FILE:	W2157_C-SITE-TRUCK.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

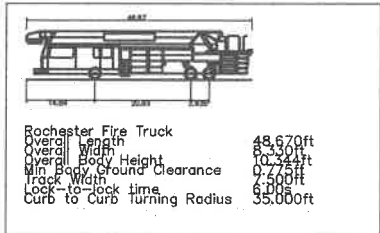
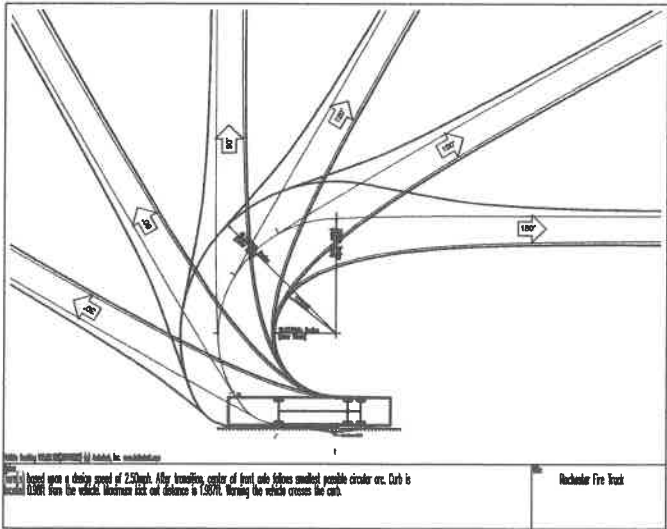
FIRE TRUCK TURNING PLAN

SCALE: AS SHOWN

C-6

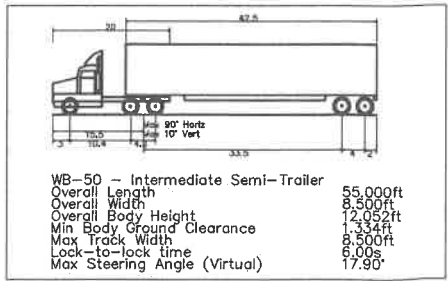
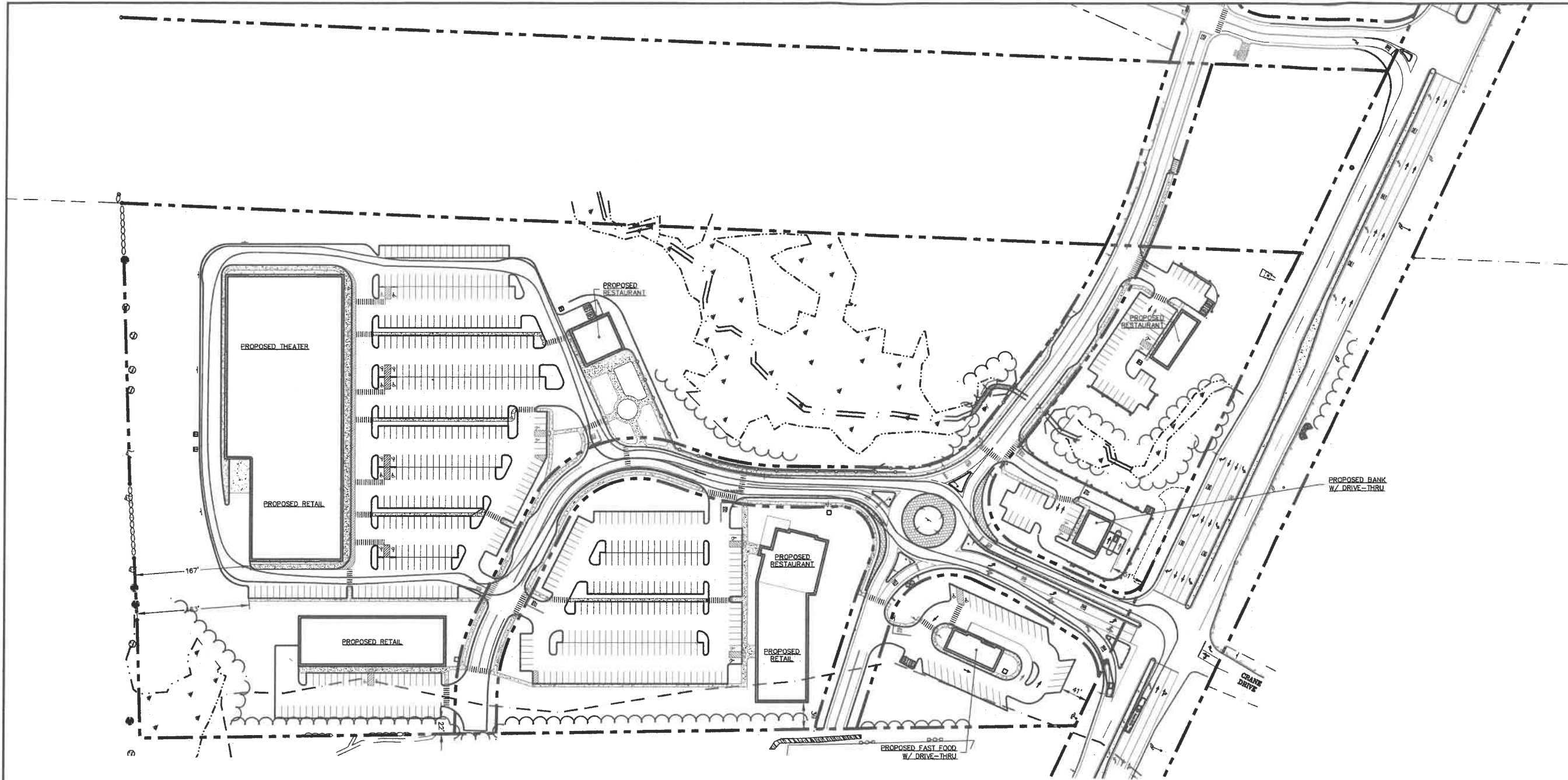


FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____

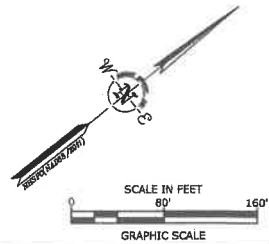


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SAVE DATE: 3/5/2018 10:36 AM
PLOT DATE: 3/5/2018 6:18 PM

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SAVE DATE: 3/5/2018 10:36 AM
PLOT DATE: 3/5/2018 6:28 PM



FINAL APPROVAL BY ROCHESTER PLANNING BOARD
CERTIFIED BY _____ DATE _____



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Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road
(Route 11)
Rochester, NH

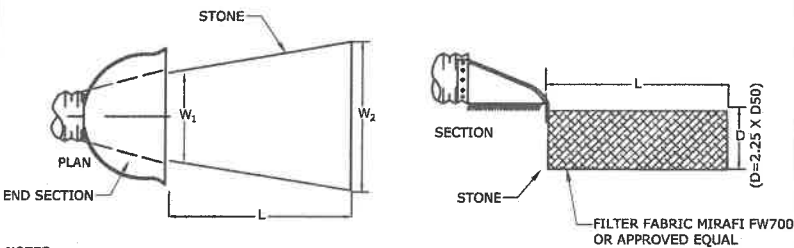
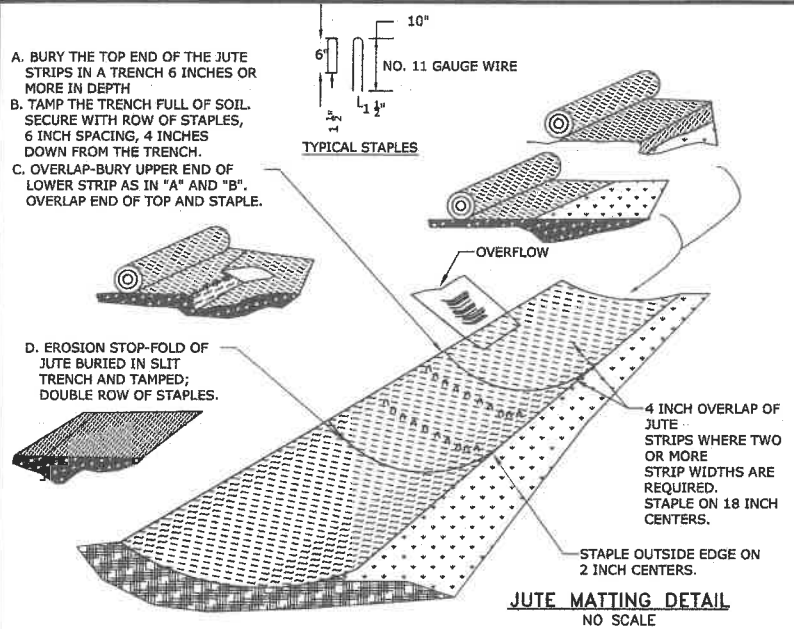
A.	3/5/18	SUBMISSION TO PB
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157	
FILE:	W2157_C-SITE-TRUCK.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

TRUCK TURNING PLAN

SCALE: AS SHOWN

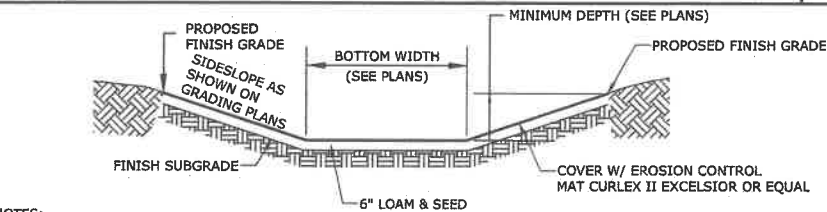
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SAVE DATE: 3/5/2018 10:04 AM
PLOT DATE: 3/5/2018 10:31 AM



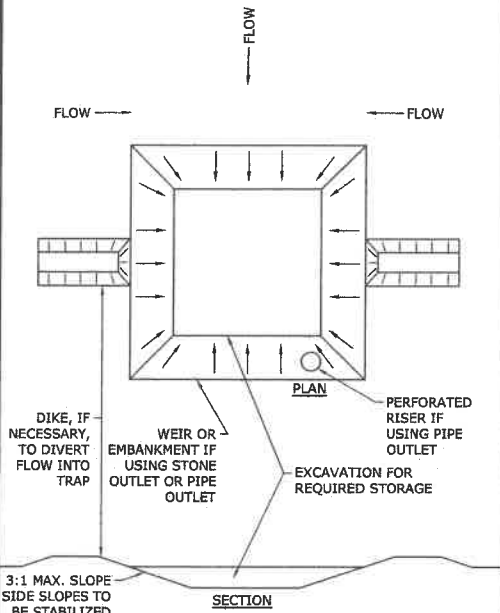
- NOTES:
1. STONE SIZE AND MAT DIMENSIONS DETAILED ON PLANS.
 2. STONE SHALL CONSIST OF SUB-ANGULAR FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE. FLAT OR ROUND ROCKS ARE NOT ACCEPTABLE. THE STONE SHALL BE HARD AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING, BE CHEMICALLY STABLE AND IT SHALL BE SUITABLE IN ALL OTHER RESPECTS FOR THE PURPOSE INTENDED. THE BULK SPECIFIC GRAVITY (SATURATED SURFACE-DRY BASIS) OF THE INDIVIDUAL STONES SHALL BE AT LEAST 2.5.
 3. THE STONE SHALL BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT SHALL BE LARGER THAN THE D50 SIZE SPECIFIED. A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZE BUT WITH A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A MIXTURE SHALL BE 1.5 TIMES THE D50 SIZE.

STONE APRON DETAIL
NO SCALE



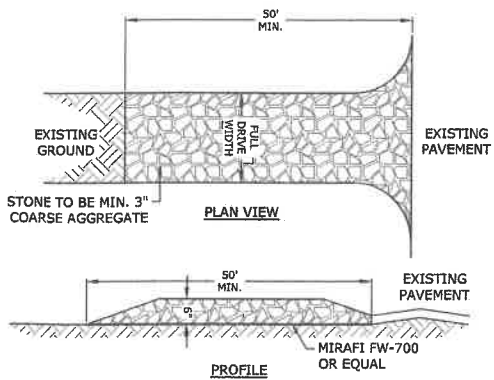
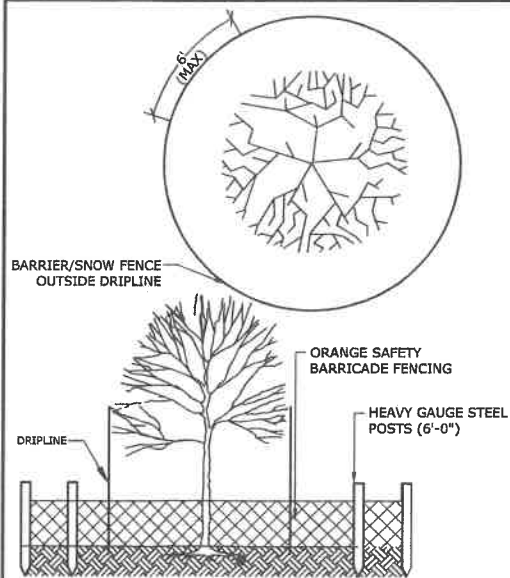
- NOTES:
1. THE FOUNDATION AREA OF THE WATERWAY SHALL BE CLEARED AND GRUBBED OF ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL. MATERIALS REMOVED SHALL BE DISPOSED OF SO THEY WILL NOT INTERFERE WITH THE CONSTRUCTION OR PROPER FUNCTIONING OF THE WATERWAY.
 2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN CRITERIA. THE WATERWAY SHALL BE FREE OF IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
 3. EARTH FILLS REQUIRED TO MEET SUBGRADE REQUIREMENTS BECAUSE OF OVER EXCAVATION OR TOPOGRAPHY SHALL BE COMPACTED TO THE SAME DENSITY AS THE SURROUNDING SOIL TO PREVENT UNEQUAL SETTLEMENT THAT COULD CAUSE DAMAGE TO THE COMPLETED WATERWAY. EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE EROSION AND AIR AND WATER POLLUTION. ALL APPROPRIATE STATE AND LOCAL LAWS AND REGULATIONS SHALL BE COMPLIED WITH FOR INSTALLATION.
 4. VEGETATION SHALL BE ESTABLISHED IN THE SWALE PRIOR TO ALLOWING STORMWATER RUNOFF TO FLOW THROUGH THE SWALE.
 5. MAINTENANCE OF THE VEGETATION IN THE GRASSED WATERWAY IS EXTREMELY IMPORTANT IN ORDER TO PREVENT RILLING, EROSION, AND FAILURE OF THE WATERWAY. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION AND TO KEEP THE GRASSES IN A VIGOROUS CONDITION. THE VEGETATION SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE EROSION RESISTANCE IN THE WATERWAY.
 6. THE WATERWAY SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE WATERWAY. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND REVEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.
 7. PERIODIC APPLICATIONS OF LIME AND FERTILIZER MAY BE NEEDED TO MAINTAIN VIGOROUS GROWTH.

GRASSED SWALE
NO SCALE



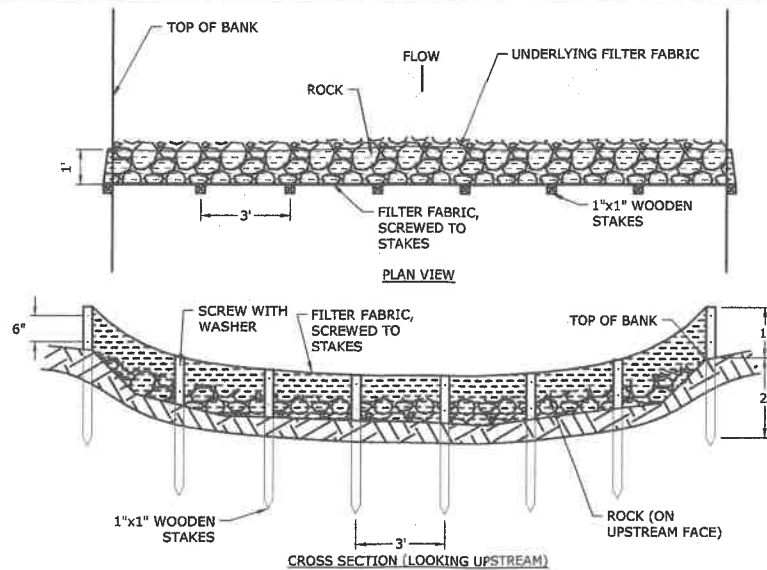
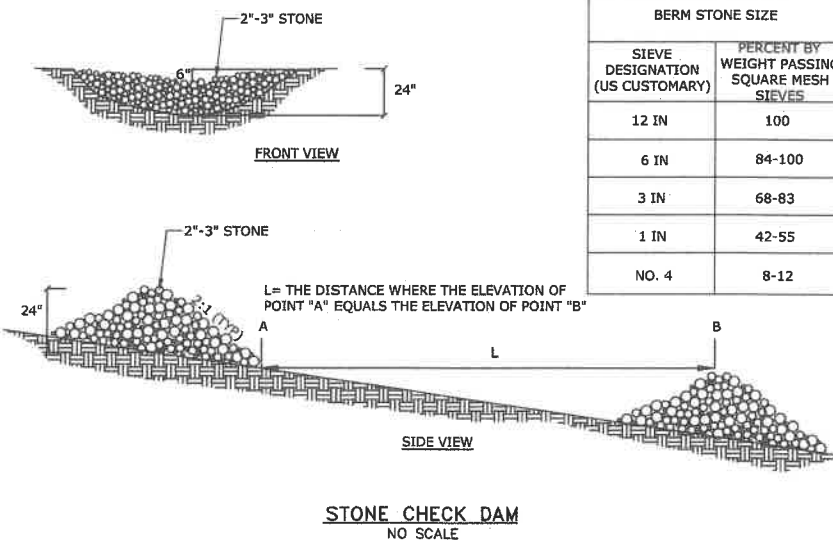
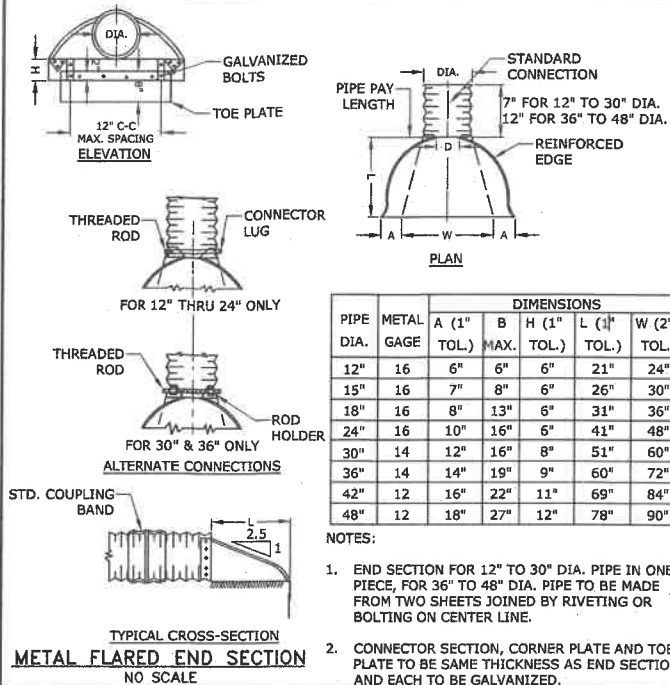
- NOTES:
1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE.
 2. THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES.
 3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 4. TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP.
 5. TRAP SHALL DISCHARGE TO A STABILIZED AREA.
 6. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
 7. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

SEDIMENT TRAP
NO SCALE



NOTE: SEE EROSION CONTROL NOTES FOR MATERIAL, INSTALLATION, AND MAINTENANCE REQUIREMENTS.

STABILIZED CONSTRUCTION ENTRANCE
NO SCALE



- MATERIALS:
- THE SEDIMENT CURTAIN SHALL BE COMPOSED OF:
- FILTER FABRIC (MIRAFI 140N OR APPROVED EQUAL)
 - BOTTOM ANCHORING WEIGHT (STONE)
 - ANCHORING POSTS (WOODEN STAKES)
 - AND SECURING MECHANISM (SCREWS, ZIP TIES)
 - ROCK (RIPRAP: D50=6")
- CONSTRUCTION DETAILS:
1. INSTALLATION
 - 1.1. THE SEDIMENT CURTAIN SHALL BE INSTALLED WHERE SHOWN ON THE PLANS.
 - 1.2. STAKES (1 IN BY 1 IN) SHALL BE INSTALLED FROM ONE BANK TO THE OTHER, ON 3 FT CENTERS. STAKES SHALL BE DRIVEN AT LEAST 2 FT INTO THE GROUND, AND BE EXPOSED NO MORE THAN 12 IN WHERE THEY ARE IN WATER.
 - 1.3. A SCREW WITH WASHER SHALL CONNECT THE GEOTEXTILE TO THE STAKES (STAKES ON THE DOWNSTREAM SIDE OF THE FABRIC). SCREWS POSITIONED 6 IN ON CENTERS. AT THE TOP OF THE STAKES, CABLE TIES MAY BE USED IF NEEDED TO FASTEN A FLAP OF GEOTEXTILE OVER THE TOP OF THE STAKE.
 - 1.4. AT THE STREAMBED, A GEOTEXTILE FLAP SHALL EXTEND AT LEAST 1 FT UPSTREAM OF THE STAKES. STONE SHALL SIT ON THIS FLAP TO ANCHOR THE GEOTEXTILE TO THE BED.
 2. MAINTENANCE
 - 2.1. THE SEDIMENT CURTAIN SHALL BE INSPECTED DAILY, WITH ADDITIONAL MONITORING OF PERFORMANCE DURING STORMS OR SIGNIFICANT FLOW EVENTS.
 - 2.2. BED LOAD SEDIMENT ESCAPING THE DOWNSTREAM-MOST SEDIMENT CURTAIN SHALL CONSTITUTE INADEQUATE PERFORMANCE. THE CONTRACTOR SHALL IMMEDIATELY MODIFY, ADJUST, REPAIR OR REPLACE THE SEDIMENT CURTAIN TO CORRECT INADEQUACIES.
 - 2.3. THE SEDIMENT CURTAIN SHALL BE REMOVED EITHER WHEN MORE THAN 0.25 IN OF RAIN IS FORECAST OR HAS FALLEN IN A 4 hr - OR SHORTER - PERIOD; OR WHEN IN-STREAM CONSTRUCTION ACTIVITIES WILL CEASE FOR MORE THAN 16 hrs (E.G. OVER WEEKENDS).
 - 2.4. THE SEDIMENT CURTAIN SHALL REMAIN IN PLACE UNTIL THE PROTECTED CONSTRUCTION ACTIVITIES HAVE CEASED AND THE TURBIDITY OF THE WATER ENCLOSED IS REDUCED TO ACCEPTABLE LEVELS. THE CURTAIN SHALL BE REMOVED WITHIN 72 HOURS OF THIS CONDITION BEING MET.

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Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road
(Route 11)
Rochester, NH

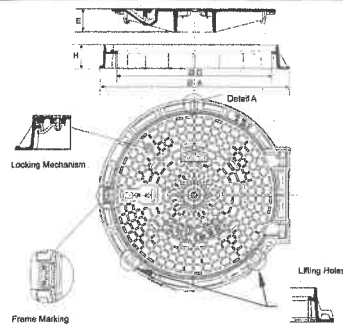
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FILE:	W2157	
FILE:	W2157-C-DETAILS-180226.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

EROSION CONTROL
DETAILS SHEET

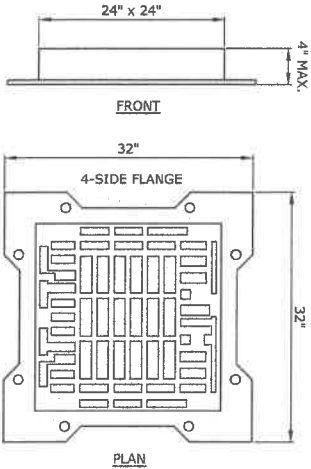
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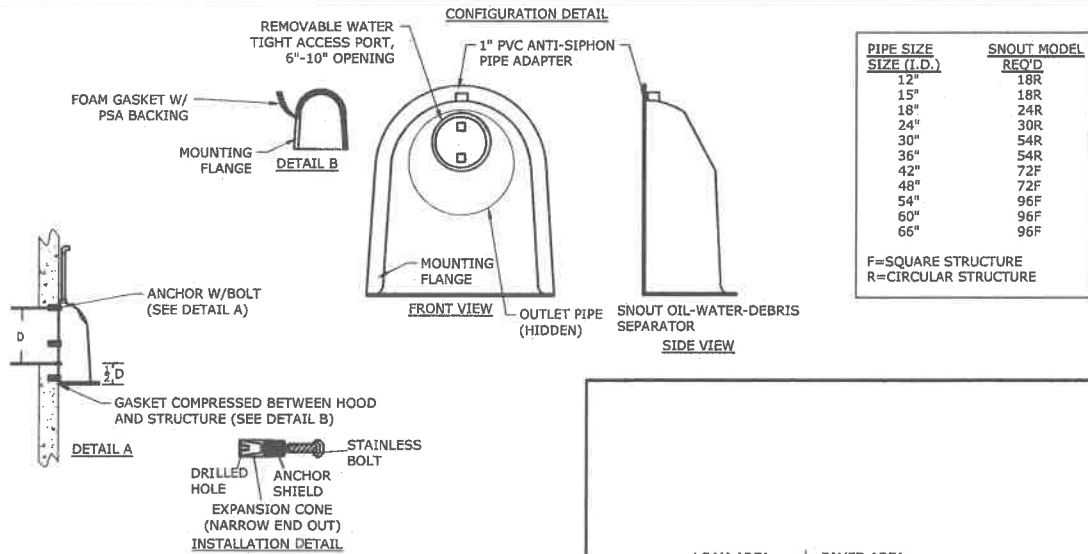


PAMREX 32-INCH MANHOLE FRAME & COVER
NO SCALE

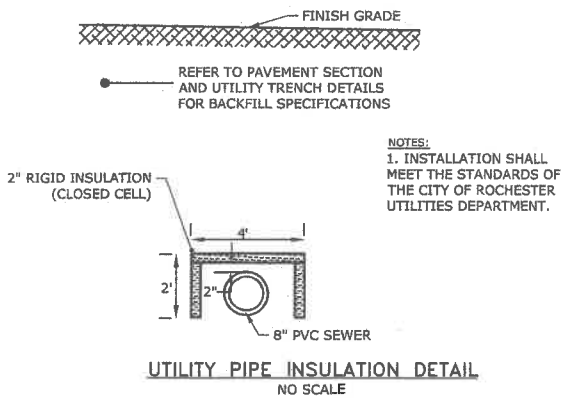


- NOTE:
1. FRAME AND GRATE SHALL BE REXUS HINGED GRATE OR APPROVED EQUAL.
 2. FRAME AND GRATE SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH ISO 1083.
 3. GRATE SHALL INCORPORATE A NON-CAPTIVE HINGE SYSTEM.
 4. GRATINGS SHALL BE ONE-MAN OPERABLE USING STANDARD TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A MINIMUM LOAD OF 100,000 LBS.
 5. GRATINGS SHALL INCORPORATE A SPRING BAR LOCK AS A DETERRENT TO ACCESS BY CHILDREN OR UNAUTHORIZED ADULTS. THE SPRING BAR LOCK SHOULD AUTOMATICALLY ACTIVATE WHEN THE GRATING IS PROPERLY CLOSED.
 6. GRATINGS SHALL BE NON-ROCKING AND SILENT IN USE.
 7. GRATINGS SHALL BE CAPABLE OF BEING FITTED WITH ADDITIONAL SECURITY DEVICES AFTER INSTALLATION.
 8. GRATINGS WILL FEATURE RAISED STUDS AND SLOTS LAYOUT FOR INCREASED HYDRAULIC PERFORMANCE AND PEDESTRIAN AND CYCLIST SAFETY.
 9. WATERWAY AREA SHALL NOT BE LESS THAN 290 SQUARE INCHES.
 10. FRAME DEPTH SHALL NOT EXCEED 4" AND FLANGES SHALL INCORPORATE BOLT HOLES.
 11. ALL COMPONENTS SHALL BE BLACK COATED.

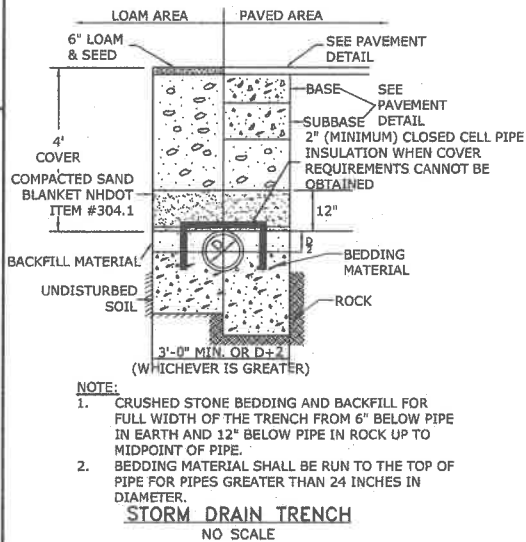
REXUS CATCHBASIN FRAME AND GRATE
NO SCALE



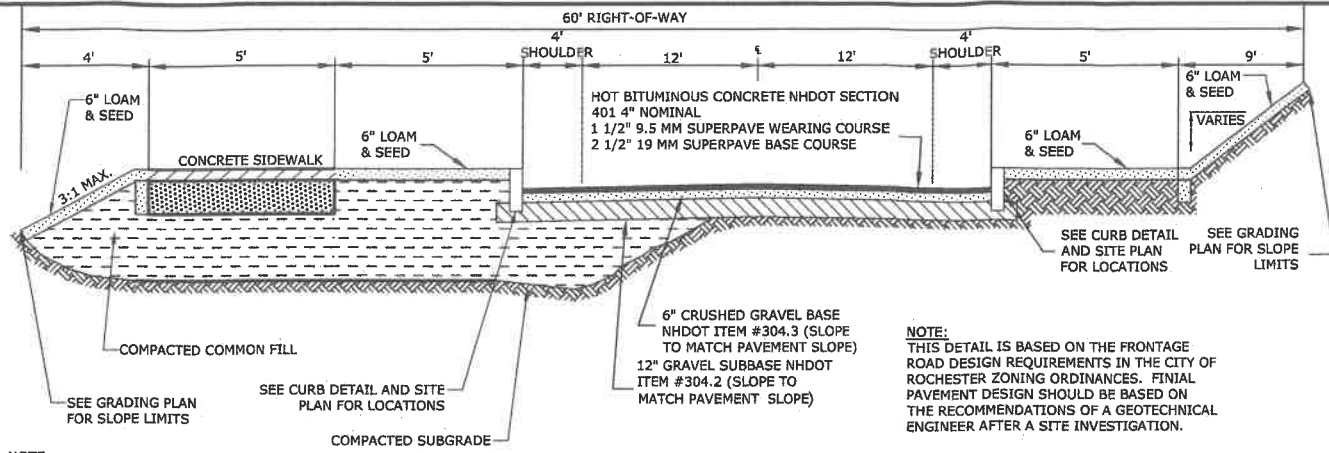
SNOUT OIL-WATER-DEBRIS SEPARATOR
NO SCALE



UTILITY PIPE INSULATION DETAIL
NO SCALE

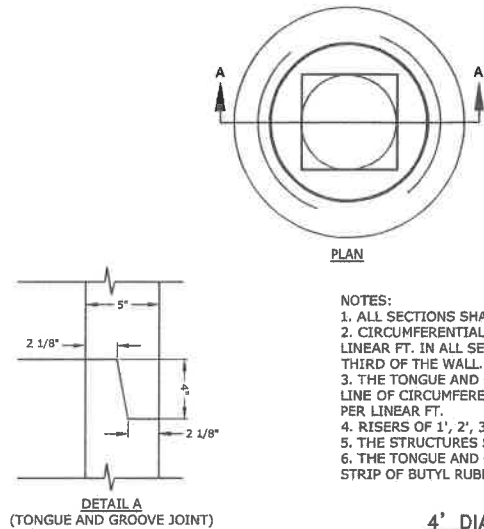
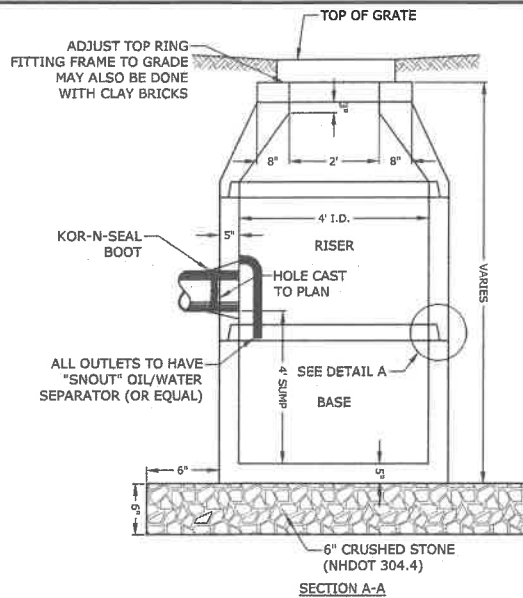


STORM DRAIN TRENCH
NO SCALE



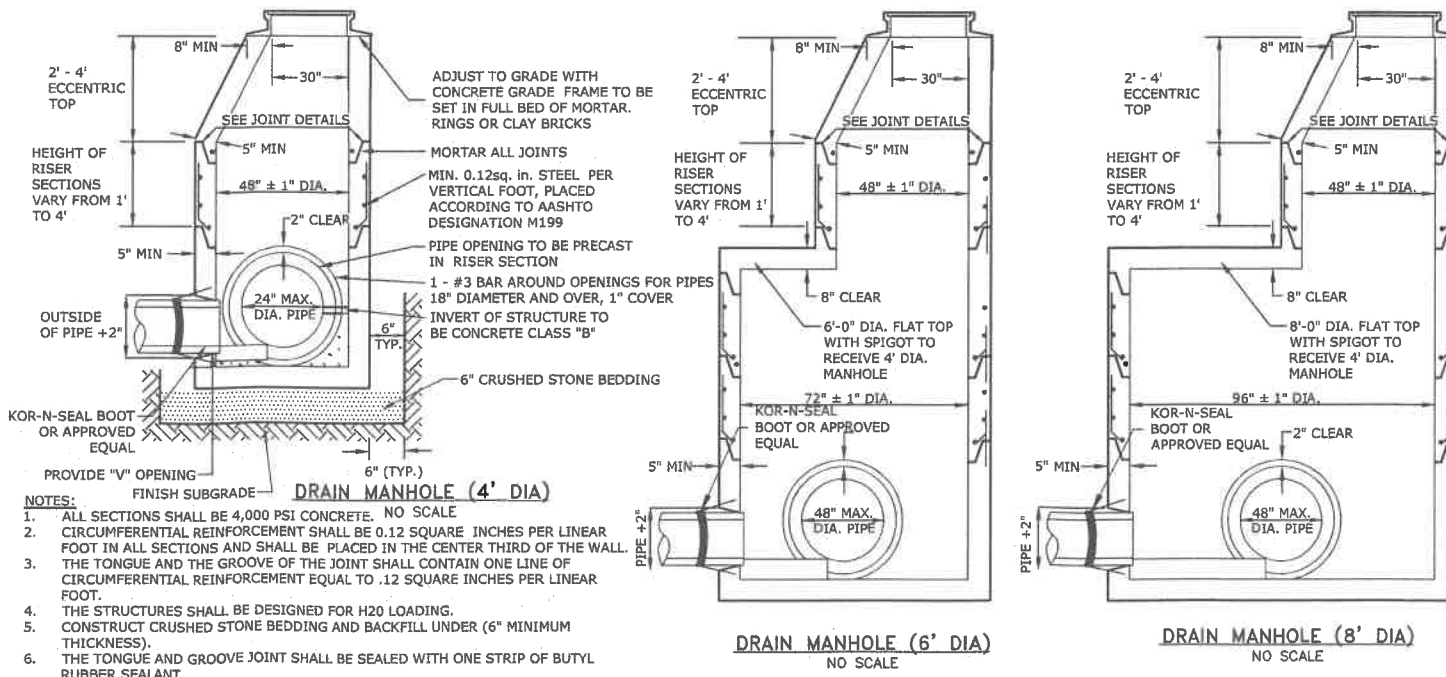
- NOTE:
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.

MARKETPLACE BOULEVARD CROSS SECTION
NO SCALE



- NOTES:
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 5. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.

4' DIAMETER CATCHBASIN
NO SCALE



DRAIN MANHOLE (6' DIA)
NO SCALE

DRAIN MANHOLE (8' DIA)
NO SCALE



Proposed Commercial Development

Farmington Associates Properties, LLC

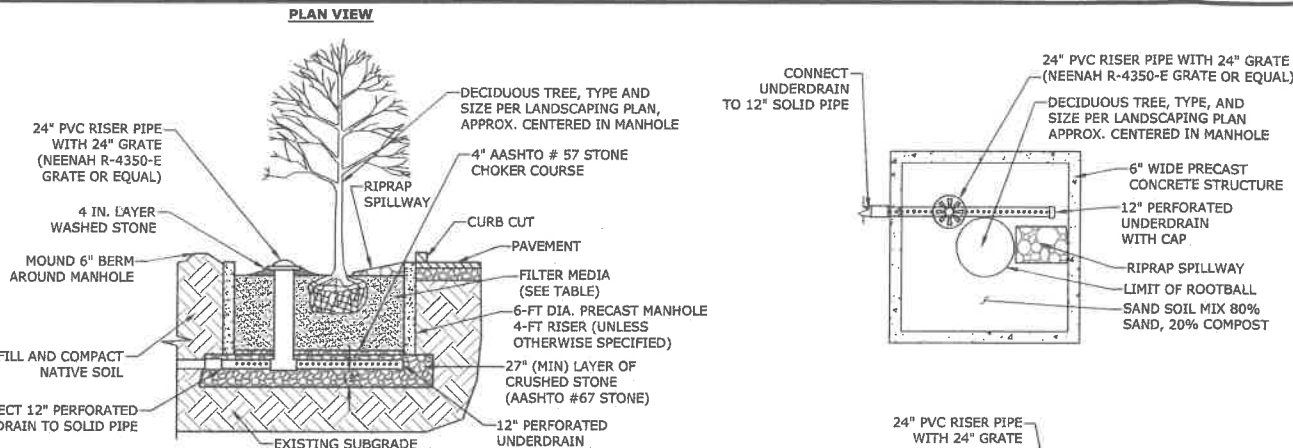
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DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

DETAILS SHEET

SCALE: AS SHOWN

FILENAME: \\V\W2157 WATERSTONE PHASE 2 - ROCKESTER, NH\WATERSTONE PHASE 2 - DETAILS-180226.DWG - LAYOUT TAB, AUT C-8
SAVE DATE: 3/5/2018 10:04 AM
PLOT DATE: 3/5/2018 10:32 AM



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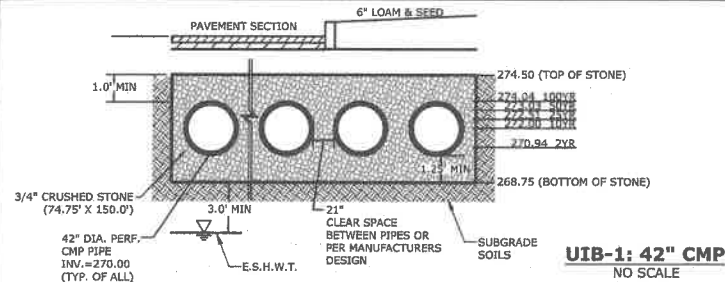
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE TREE BOX FILTER DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC OR COMPACT EXPOSED SOIL SURFACE WITHIN THE AREA OF THE FILTER WITH CONSTRUCTION EQUIPMENT. PERFORM EXCAVATION FOR THE CONSTRUCTION OF THIS BMP WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE SYSTEM.

ELEVATION VIEW

AASHTO #57 STONE (#4 to 1")		AASHTO #67 STONE (#4 to 3/4")		WASHED STONE	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
1-1/2"	100	1"	100	1"	100
1"	95-100	3/4"	90-100	3/4"	90-100
1/2"	25-60	3/8"	20-55	3/8"	20-55
#4	0-10	#4	0-10	#4	0
#8	0-5	#8	0-5		

TREE BOX FILTER MEDIA		
COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	REQUIRED MATERIAL CHARACTERISTICS
SAND	80	ASTM C-33 CONCRETE SAND
ORGANIC MATERIAL, COMPOSTED BARK MULCH RECOMMENDED	20	< 5% PASSING #200 SIEVE
GENERAL REQUIREMENTS APPLICABLE TO THE MIXTURE		
1. SOIL MIX SHOULD BE UNIFORM, FREE OF STONES, STUMPS, ROOTS, OR SILLAR MATERIALS LARGER THAN 2 INCHES.		
2. SOIL pH SHOULD BE BETWEEN 5.5 AND 6.5		

TREE BOX FILTER
NO SCALE



UIB-1 NOTES:

- UNDERGROUND DETENTION SYSTEM TO BE ALUMINIZED 16 GAGE STEEL PIPE DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT PIPE SPECIFICATIONS AND FINAL MANUFACTURES DESIGN TO ENGINEER FOR REVIEW AND APPROVAL.
- MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
- THE DESIGN ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED PER THE PROPOSED DESIGN PLAN.
- DESIGN SHALL REQUIRE INSPECTION PORTS/COVERS SUCH THAT SYSTEM CAN BE CLEANED BY VACUUM TRUCK. MIN. ONE EACH CORNER.
- EXCAVATE 24 INCHES OF NATIVE MATERIALS BELOW BOTTOM OF SYSTEM AND REPLACE WITH FILL MATERIAL WITH AN INFILTRATION RATE OF 10 IN/HR.
- A QUALIFIED SOIL SCIENTIST, GEOLOGIST, OR ENGINEER SHALL BE RETAINED TO DESIGN THE SOIL AMENDMENT AND PERFORM INFILTRATION TESTING AT THE BASIN LOCATION. THE INFORMATION AND TEST RESULTS SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU TO VERIFY THE ASSUMED DESIGN INFILTRATION RATES OF 5 IN/HR (ACTUAL INFILTRATION RATE OF 10 IN/HR) AND A MINIMUM SEPARATION OF 3 FEET FROM THE BOTTOM OF THE POND TO THE ELEVATION OF SEASONAL HIGH WATER. THE DEPTH OF AMENDED SOIL MUST BE AT LEAST 24 INCHES.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 & SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M43 #57	BEGIN COMPACTIONS AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 8" MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs. DYNAMIC FORCE NOT TO EXCEED 20,000 lbs.
B	EMBODIMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 #57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 #57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

PLEASE NOTE:

- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

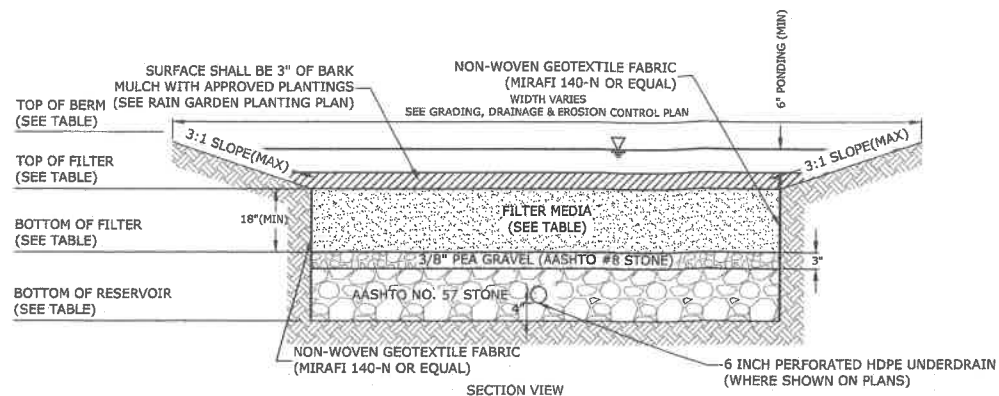
STORMTECH SC-740 AND SC-310 NOTES:

- SC-740 AND SC-310 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBODIMENT, AND FILL MATERIALS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

UNDERGROUND INFILTRATION BASIN NOTES:

- SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) SHALL NOT BE DISCHARGED TO THE INFILTRATION SYSTEM.
- EXPOSED SOIL SURFACE SHALL NOT BE TRAFFICKED WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, EXCAVATIONS SHALL BE PERFORMED WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER AREA IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- INFILTRATION SYSTEMS SHALL NOT BE PLACED INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- FOR ALL UNDERGROUND INFILTRATION SYSTEMS, A LETTER SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU BY A QUALIFIED ENGINEER STATING THAT THE INDIVIDUAL OBSERVED SUCH SYSTEMS PRIOR TO BACKFILL AND THAT THE SYSTEM CONFORMS TOT HE APPROVED PLANS AND SPECIFICATIONS.

UNDERGROUND INFILTRATION BASINS
NO SCALE



FILTER MEDIA COMPOSITION:

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL SIEVE NO.	PERCENT PASSING
ASTM C-33 CONCRETE SAND	50-55	200	SEE NOTE #5
LOAMY SAND TOPSOIL	20-30	200	15-25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH	20-30	200	5 MAX

NOTES:

- BARK MULCH SHALL BE AGED A MINIMUM OF 12 MONTHS AND SHALL NOT FLOAT.
- RAIN GARDENS SHALL NOT BE PLACED INTO SERVICE UNTIL THE PRACTICE HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. CONTRACTOR SHALL KEEP ALL EXCAVATION EQUIPMENT OUTSIDE OF THE LIMIT OF THE RAIN GARDEN.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR LOCATIONS, LAYOUTS, AND ELEVATIONS.
- THE SAND PORTION OF THE FILTER MEDIA SHALL MEET THE FOLLOWING GRADATION (ASTM C-33):

SIEVE SIZE	PERCENT PASSING
3/8"	100
#4	95-100
#8	80-100
#16	50-85
#30	25-60
#50	5-30
#100	0-10

AASHTO #8 STONE (#8 to 3/8")	
SIEVE SIZE	% PASSING
1/2"	100
3/8"	85-100
#4	10-30
#8	0-10
#16	0-5

AASHTO #57 STONE (#4 to 1")	
SIEVE SIZE	% PASSING
1-1/2"	100
1"	95-100
1/2"	25-60
#4	0-10
#8	0-5

- FOR ALL RAIN GARDENS, A LETTER SHALL BE PROVIDED TO THE NHDES ALTERATION OF TERRAIN BUREAU BY A QUALIFIED ENGINEER STATING THAT THE INDIVIDUAL OBSERVED SUCH SYSTEMS PRIOR TO BACKFILL AND THAT THE SYSTEM CONFORMS TOT HE APPROVED PLANS AND SPECIFICATIONS.

RAIN GARDEN
NO SCALE

FINISHED GRADE=258.80

TOP OF STONE COVER=255.83
TOP OF CHAMBER=255.33

BOTTOM OF CHAMBER=254.00
BOTTOM OF STONE=253.00

FINISHED GRADE=258.80

TOP OF STONE COVER ELEV.=256.18
TOP OF CHAMBER ELEV.=255.68

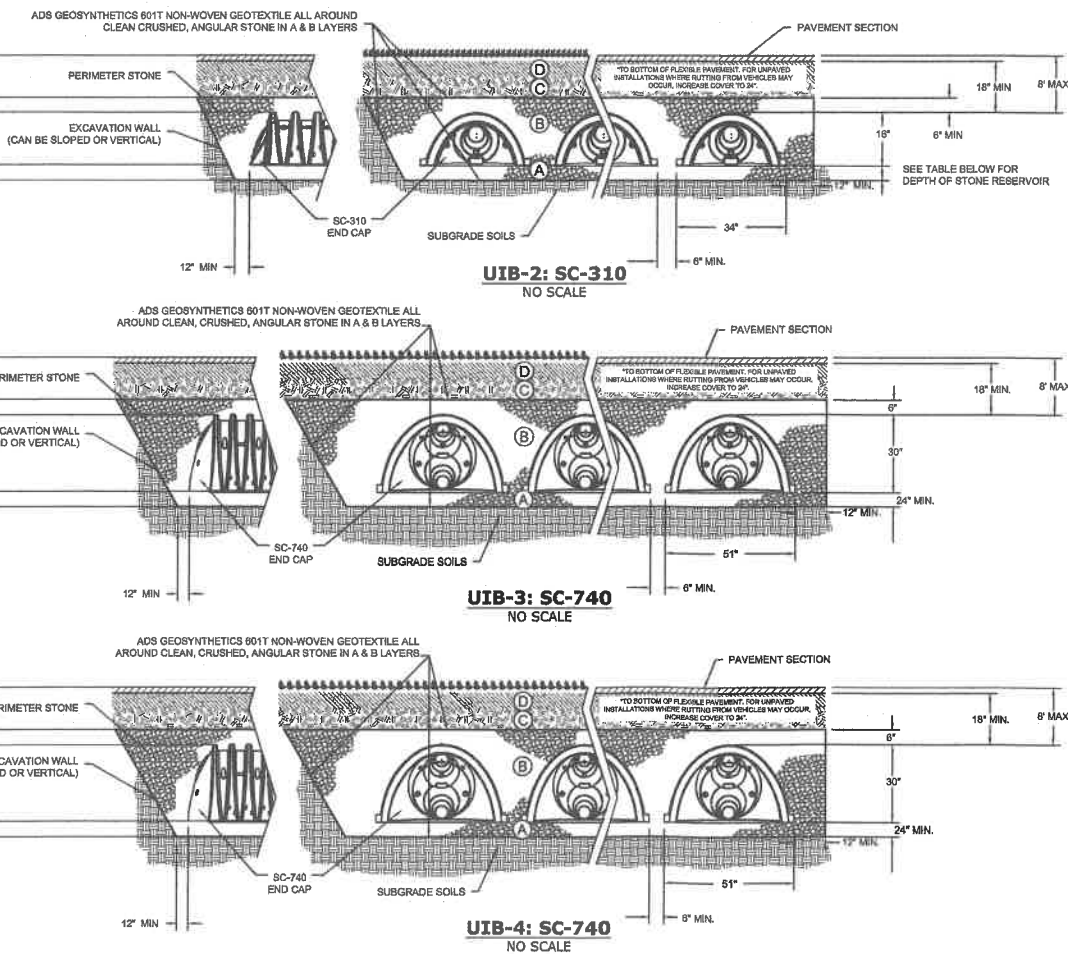
BOTTOM OF CHAMBER ELEV.=253.18
BOTTOM OF STONE ELEV.=252.35

FINISHED GRADE=257.70

TOP OF STONE COVER ELEV.=256.18
TOP OF CHAMBER ELEV.=255.68

BOTTOM OF CHAMBER ELEV.=253.18
BOTTOM OF STONE ELEV.=252.35

UNDERGROUND INFILTRATION BASINS
NO SCALE



UIB-3: SC-740
NO SCALE

UIB-4: SC-740
NO SCALE

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Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road (Route 11)
Rochester, NH

A.	3/5/18	SUBMISSION TO PB
MARK DATE		DESCRIPTION
PROJECT NO.		W2157
FILE:		W2157-C-DETAILS-180226.dwg
DATE:		03/05/2018
DRAWN BY:		JPC
CHECKED:		KAM
APPROVED BY:		BLM

DETAILS SHEET

SCALE: AS SHOWN

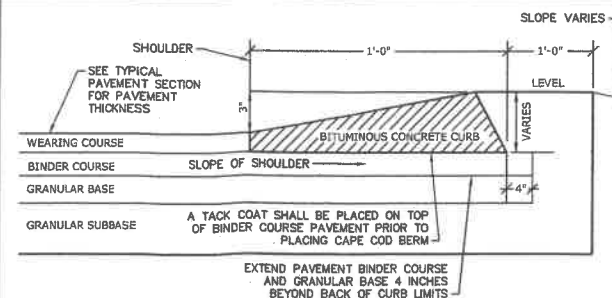
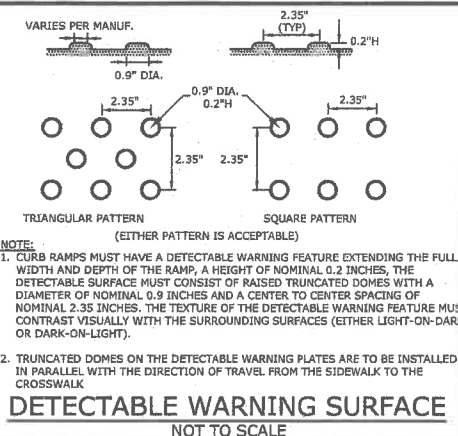
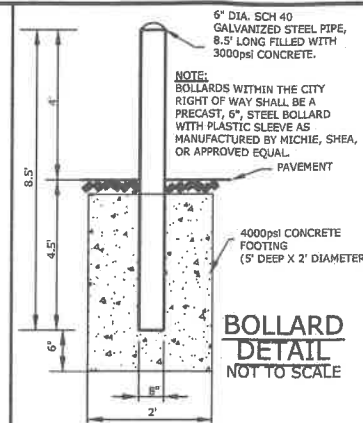
C-11

ACCESSIBLE SYMBOL
NOT TO SCALE

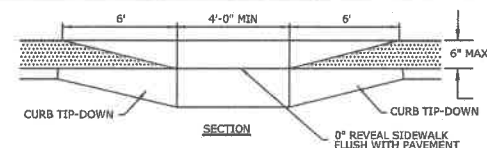
RADIUS	MAX. LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

- NOTES:**
1. SEE SITE PLAN FOR LIMITS OF CURBING.
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF CURB STONES = 3'
 4. MAXIMUM LENGTH OF CURB STONES = 10'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE CHART).
 6. CURB OF 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS
 7. JOINTS BETWEEN STONES SHALL BE MORTARED.

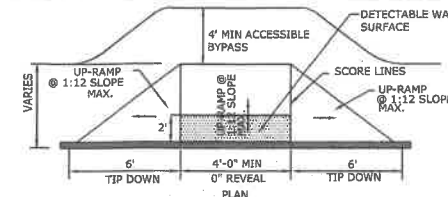
VERTICAL GRANITE CURB
NOT TO SCALE



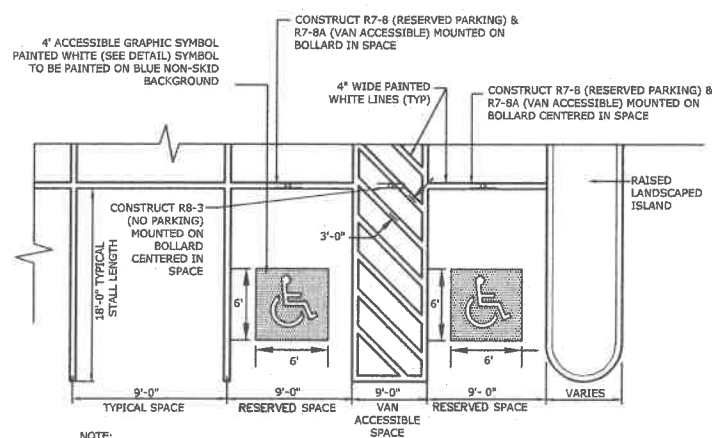
CAPE COD BERM
NOT TO SCALE



- NOTES:**
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
 2. PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMPS
 3. DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

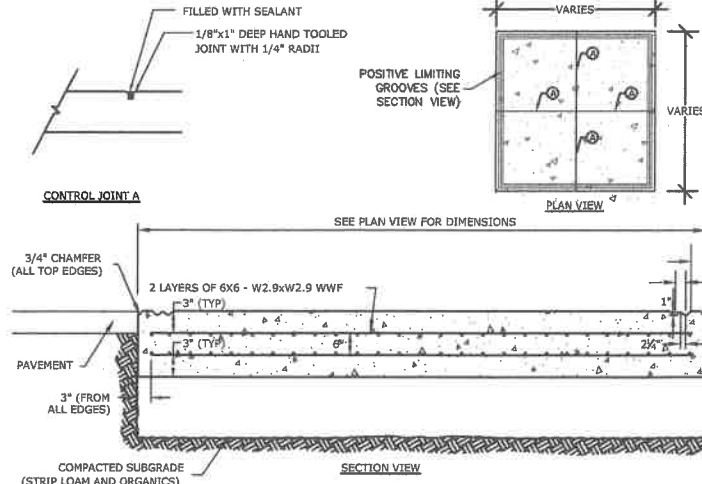


CONCRETE WHEELCHAIR ACCESSIBLE
RAMP
NOT SCALE



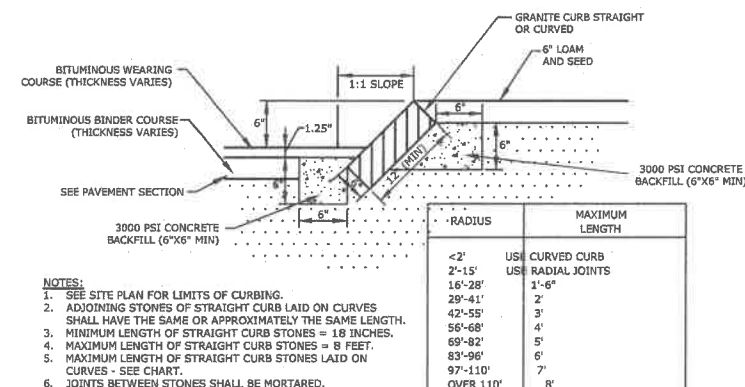
- NOTE:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 4. SEE SIGN LEGEND AND SIGN POST DETAILS

STALL STRIPING-SINGLE STRIPE
NOT TO SCALE



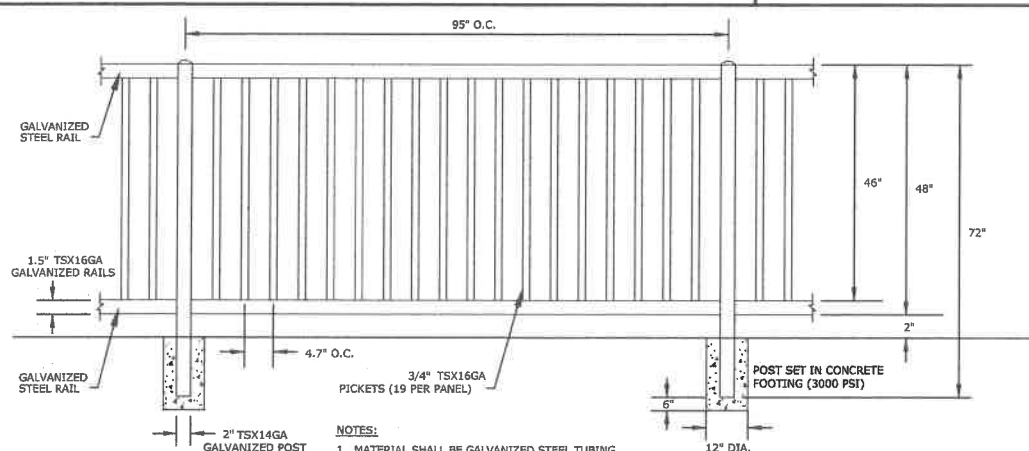
- NOTES:**
1. CONCRETE TO BE 4500 PSI, 7% AIR ENTRAINED
2. STANDARD BROOM FINISH.

DUMPSTER PAD
NOT TO SCALE



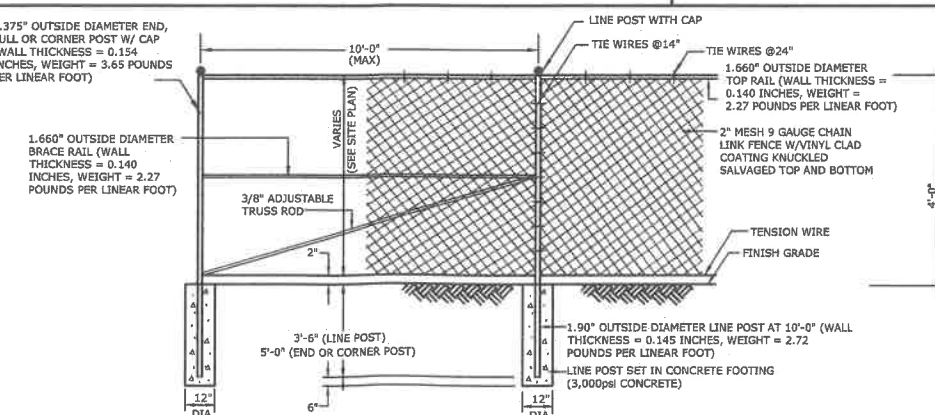
- NOTES:**
1. SEE SITE PLAN FOR LIMITS OF CURBING.
 2. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18 INCHES.
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8 FEET.
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
 6. JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPED GRANITE CURB
NOT TO SCALE



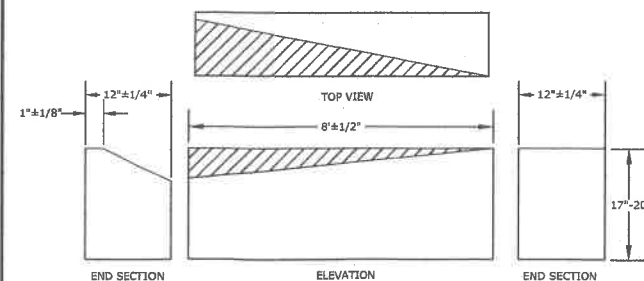
- NOTES:
1. MATERIAL SHALL BE GALVANIZED STEEL TUBING.
 2. POWDER COAT: SEMI-GLOSS BLACK
 3. FENCE SHALL BE PAYNE FENCE PRODUCTS OR APPROVED EQUAL.

ORNAMENTAL FENCE
NOT TO SCALE



- NOTES:**
- | | |
|--|------|
| DIA. | DIA. |
| 1. CORNER POSTS SHALL BE USED AT SHARP BREAKS IN GRADE AND CHANGES IN HORIZONTAL ALIGNMENT OF 15' OR MORE. | |
| 2. POSTS, RAILS & BRACES SHALL BE TYPE I, SCHEDULE 40 BLACK VINYL COATED PIPE. | |
| 3. FABRIC TO BE BLACK VINYL COATED. | |
| 4. TIE RINGS SHALL BE 9 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO LINE POSTS. | |
| 5. TIE RINGS SHALL BE 13 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO RAILS AND BRACES. | |
| 6. HOG WIRE TIES SHALL BE 12- 1/2 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO TENSION WIRE. | |

CHAIN LINK FENCE
NOT TO SCALE



CURB TRANSITION
NOT TO SCALE



Proposed Commercial Development

Farmington
Associates
Properties, LLC

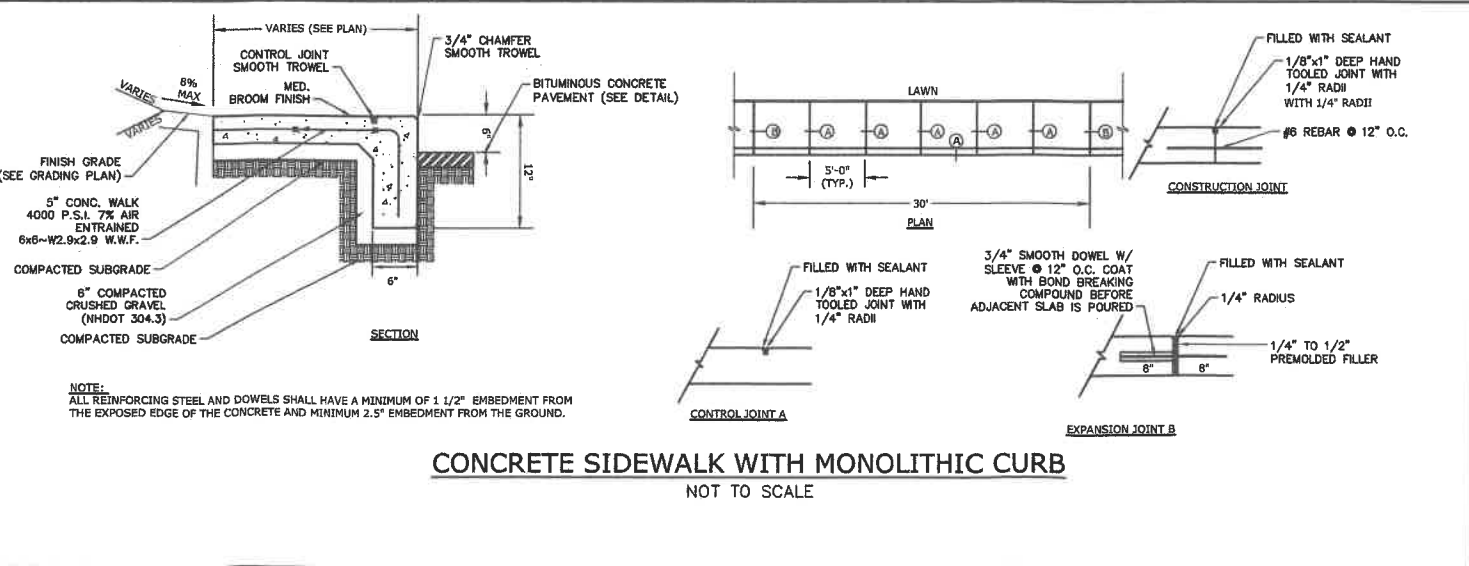
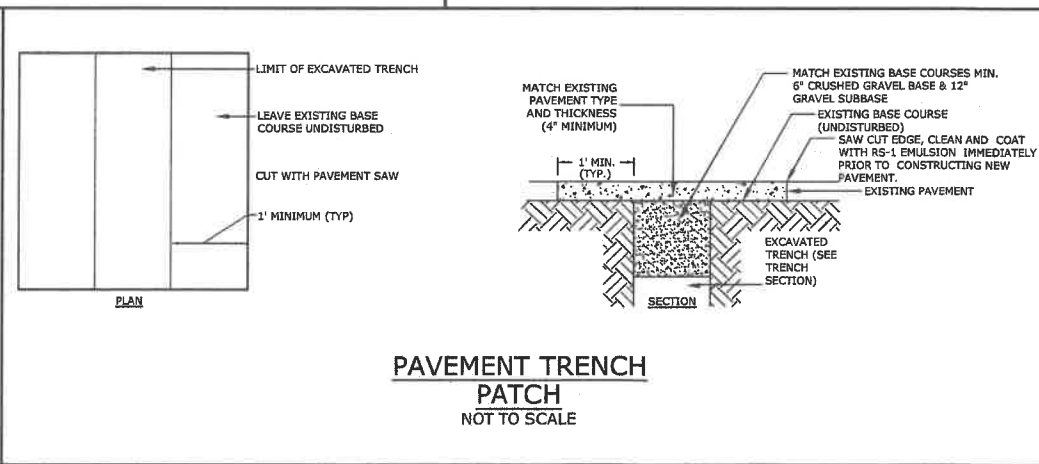
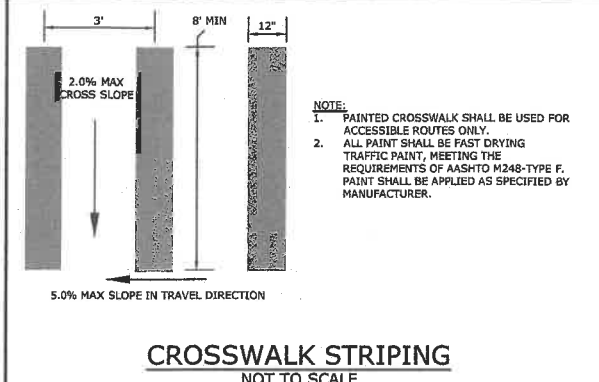
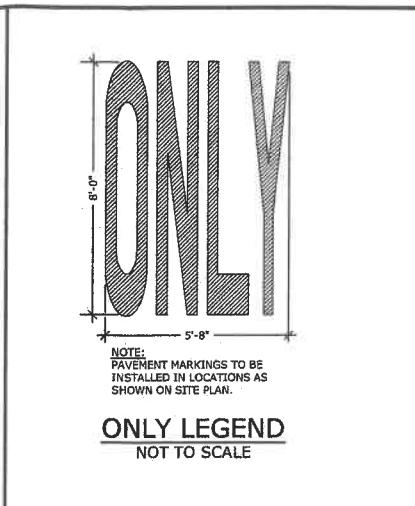
60 Farmington Road
(Route 11)
Rochester, NH

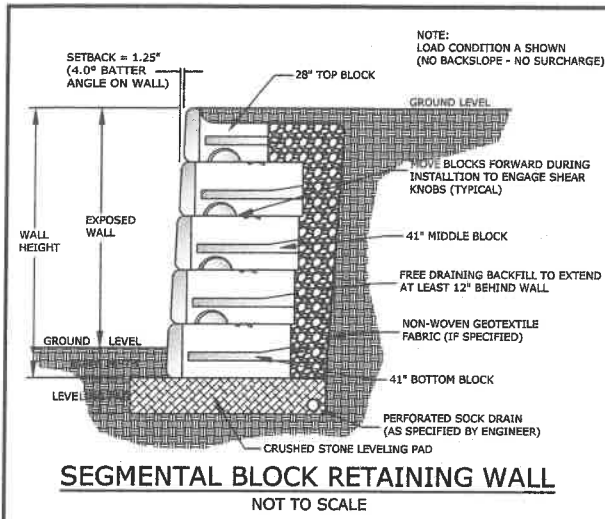
A.	3/5/18	SUBMISSION TO PB
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157	
FILE:	W2157-C-DETAILS-18022	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

DETAILS SHEET

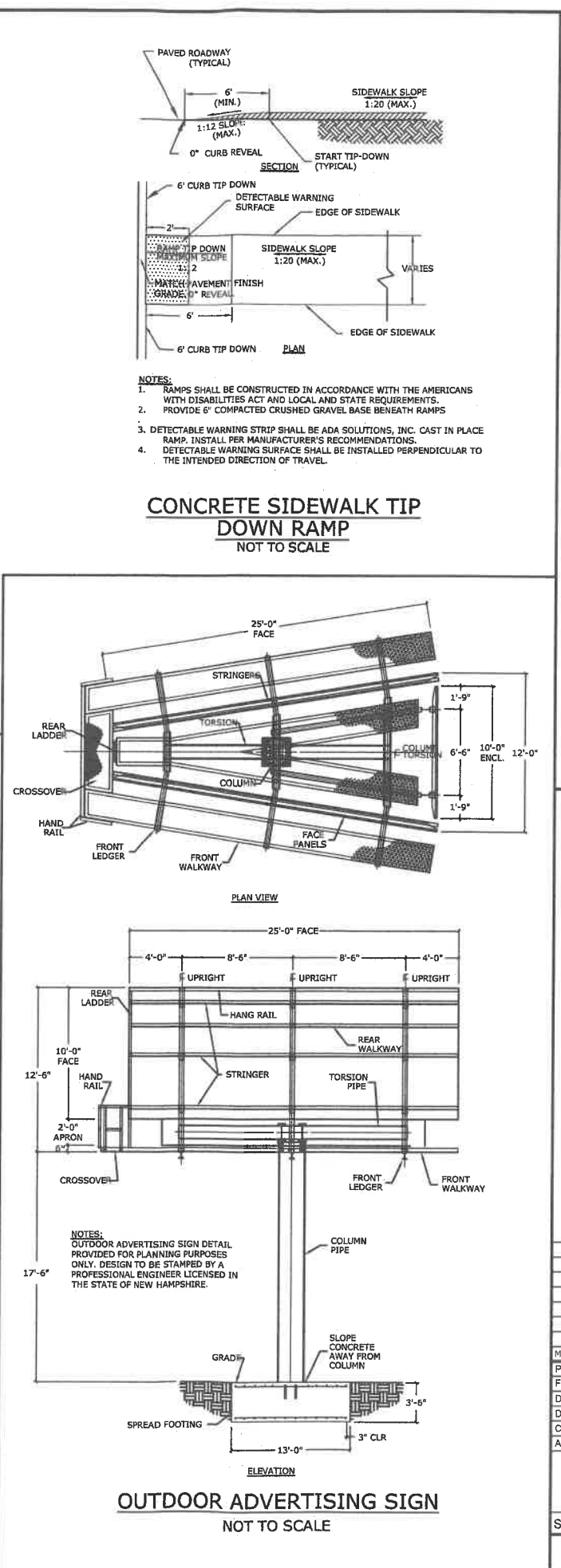
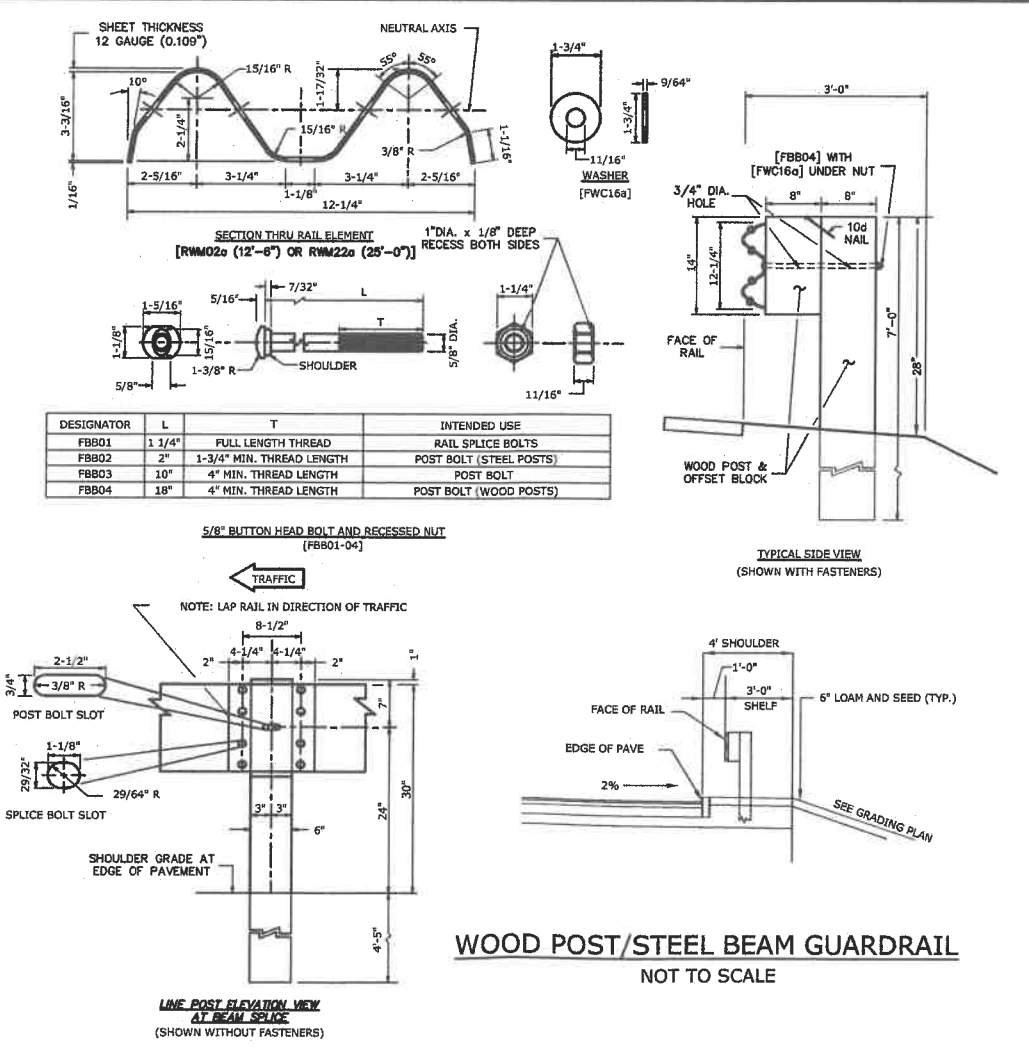
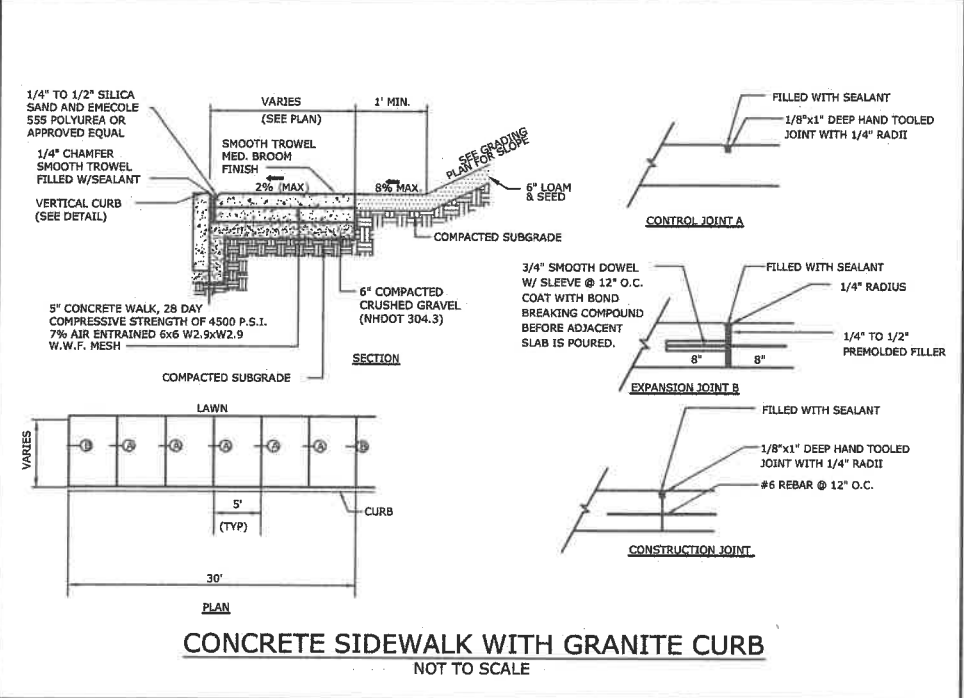
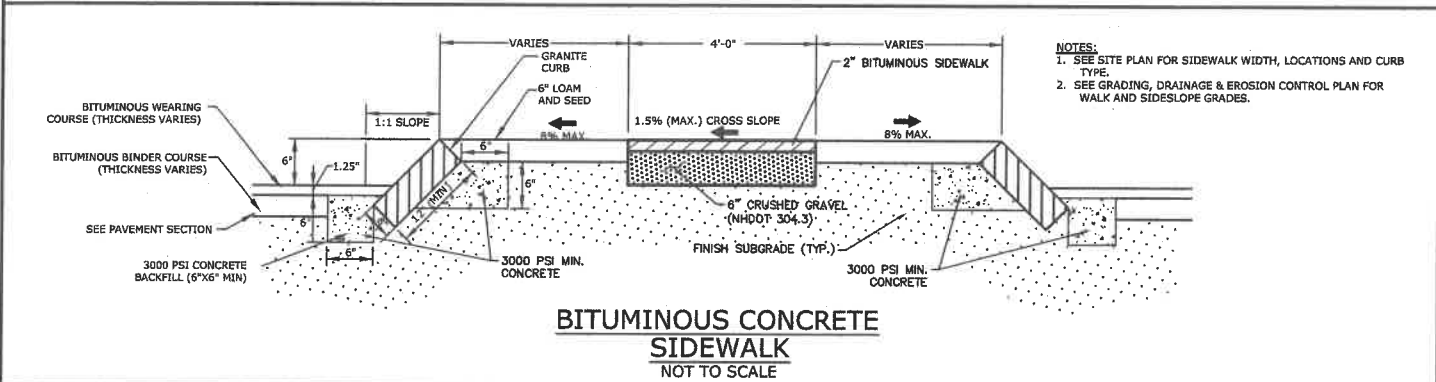
SCALE: AS SHOWN

C-12





- RETAINING WALL NOTES:**
1. RETAINING WALL SHALL BE REDI ROCK OR APPROVED EQUAL.
 2. THE CONTRACTOR SHALL SUBMIT DESIGN AND CALCULATIONS FOR THE RETAINING WALL THAT SHALL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE. CALCULATIONS SHALL INCLUDE A GLOBAL STABILITY ANALYSIS.
 3. MINIMUM DESIGN PARAMETERS:
 - GLOBAL STABILITY FACTOR OF SAFETY = 1.5
 - OVERTURNING FACTOR OF SAFETY = 2.0
 - SLIDING FACTOR OF SAFETY = 1.5
 - SECOND PULLOUT FACTOR OF SAFETY = 1.5
 4. WALL DESIGNS SHALL CONSIDER EFFECTS OF SLOPE, TRAFFIC LOADS, BUILDING LOADS, GUARDRAIL AND/OR FENCING AS REQUIRED.
 5. WALL DESIGN ENGINEER SHALL CONSIDER HEIGHT AND SPECIFY SAFETY RAIL WHERE REQUIRED.
 6. ALL INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION MANUAL AND THE WALL DESIGN ENGINEER'S DESIGN PLANS AND SPECIFICATIONS. WHERE INFORMATION ON THESE PLANS CONFLICTS WITH MANUFACTURER'S RECOMMENDATIONS, THE MANUFACTURER'S RECOMMENDATIONS SHALL SUPERSEDE.
 7. THE WALL DESIGN ENGINEER SHALL COMPLETE SUFFICIENT INSPECTIONS DURING CONSTRUCTION TO CERTIFY WORK IS COMPLETED IN ACCORDANCE WITH DESIGN.
 8. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS OF WALL WITH WALL DESIGNER'S CERTIFICATION TO OWNER.
 9. CONTRACTOR SHALL DIRECT SURFACE RUNOFF AWAY FROM THE WALL DURING CONSTRUCTION.
 10. CONTRACTOR SHALL SUPPLY SAMPLE TO THE OWNER FOR APPROVAL PRIOR TO WALL CONSTRUCTION.
 11. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT OR OTHER SURFACE TREATMENT SHALL BE INSTALLED IN THE AREA OF THE WALL IMMEDIATELY AFTER THE WALL IS COMPLETE.
 12. GEOTECHNICAL ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT.
 13. ALL WALLS 4' OR GREATER REQUIRE INSTALLATION OF A SAFETY RAIL.
 14. IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



Tighe&Bond
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STATE OF NEW HAMPSHIRE
PROFESSIONAL ENGINEER
LICENSED
BRADLEY A. BOND
No. 6220
Exp. 12/31/2018

Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road (Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
A.	3/5/18	SUBMISSION TO PB

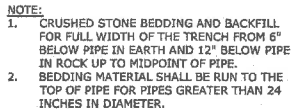
PROJECT NO: W2157
FILE: W2157-C-DETAILS-180226.dwg
DATE: 03/05/2018
DRAWN BY: JPC
CHECKED: KAM
APPROVED BY: BLM

DETAILS SHEET

SCALE: AS SHOWN

C-14

FILENAME: J:\W2157 WATERSTONE PHASE # 2 ROCHESTER, NH\WATERSTONE PHASE II REDSIGN DRAWINGS\FIGURES\AUTOCAD\W2157-C-DETAILS-180226.dwg - LAYOUT TAB: AOT C-11
SAVE DATE: 3/5/2018 10:04 AM
PLOT DATE: 3/5/2018 10:33 AM



NOTES:

1. SAND BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO MIDPOINT OF PIPE.
2. SAND BACKFILL FOR FULL WIDTH OF THE TRENCH TO 12 INCHES ABOVE PIPE.

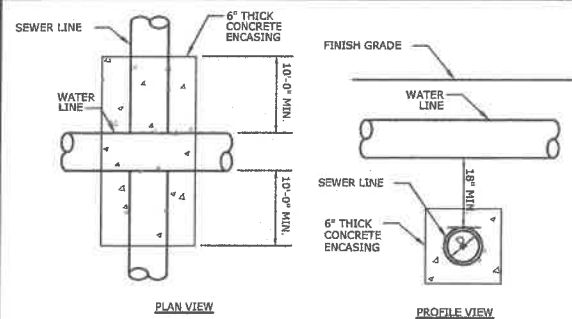
NOTE:

1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO MIDPOINT OF PIPE.
2. BEDDING MATERIAL SHALL BE RUN TO THE TOP OF PIPE FOR PIPES GREATER THAN 24 INCHES IN DIAMETER.

**CATCHBASIN
FRAME & GRATE**
NOT TO SCALE



FILENAME: \\W2157\WATERSTONE\PHASE 2\ROCHESTER, NY\WATERSTONE\PHASE 2\DETAILS-C-DETAILS-180226.DWG - LAYOUT TAB: AOT C-13
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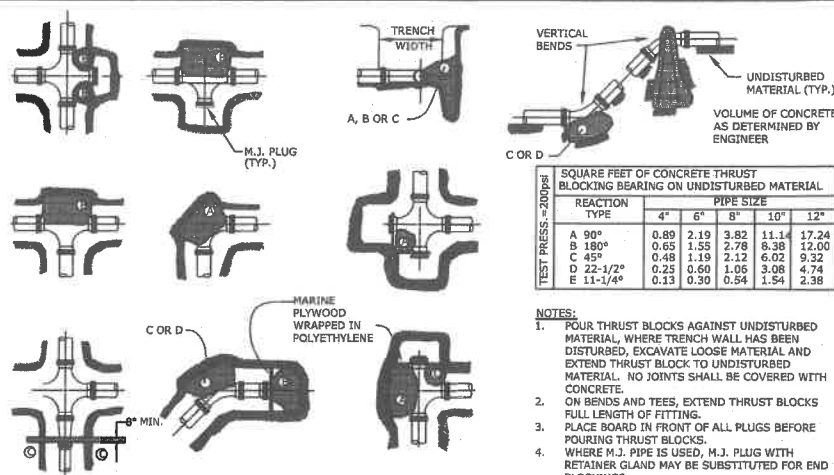


NOTES:

1. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS. WHERE SEWER AND WATER CROSS, ENCASE SEWER IN CONCRETE 6" THICK OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE WITH JOINTS FOR A MINIMUM DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING. CROSSING SHALL CONFORM TO CITY OF ROCHESTER WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.

WATER & SEWER CROSSING

NOT TO SCALE

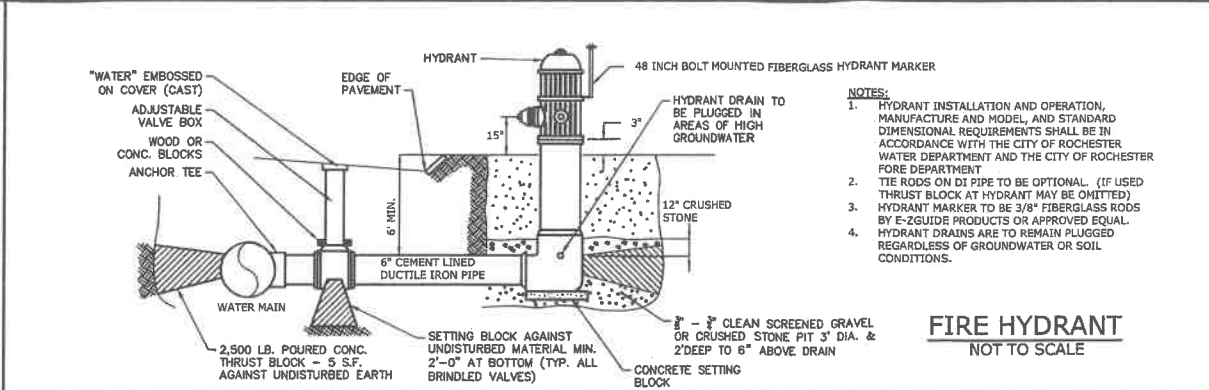


NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE PER CITY OF ROCHESTER WATER DEPARTMENT STANDARDS.

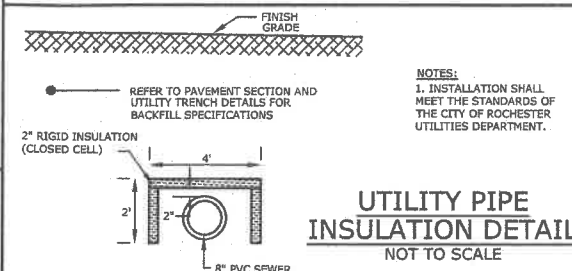
THRUST BLOCKING DETAIL

NOT TO SCALE



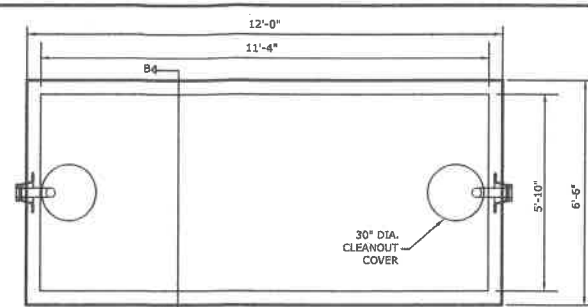
FIRE HYDRANT

NOT TO SCALE



UTILITY PIPE INSULATION DETAIL

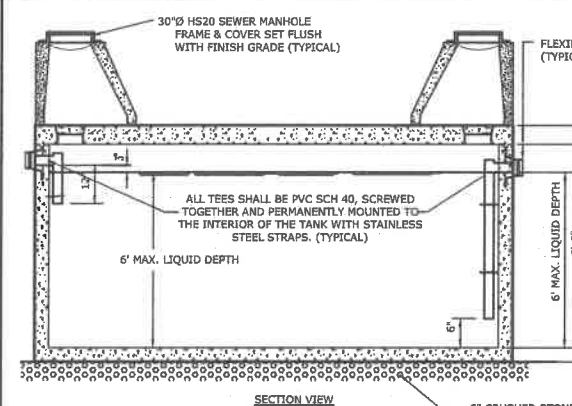
NOT TO SCALE



FRAMES AND COVERS
(INCLUDING RAISED INSPECTION COVERS)
MANHOLE FRAME AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30" CLEAR OPENING. A 3" (MINIMUM HEIGHT) LETTER "S" FOR SEWERS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. ADJUST COVER TO GRADE WITH BRICKS OR PRECAST CONCRETE RINGS - MAXIMUM 12" ADJUSTMENT. ALL COMPONENTS TO BE DESIGNED FOR HS20 (AASHTO)

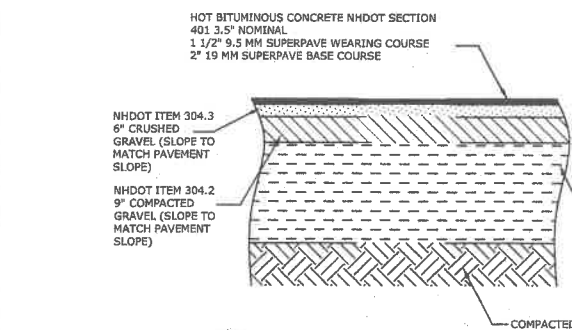
NOTES:

1. ALL COMPONENTS TO BE DESIGNED FOR AASHTO H20 LOADING.
2. MANHOLE FRAME & COVERS SHALL BE OF HEAVY DUTY DESIGN.
3. FILL WITH WATER BEFORE REMOVAL OF DEWATERING DEVICES.
4. GREASE TRAP SHALL BE VENTED AS REQUIRED BY CODE.



2,000 GALLON GREASE TRAP (TYP)

NOT TO SCALE

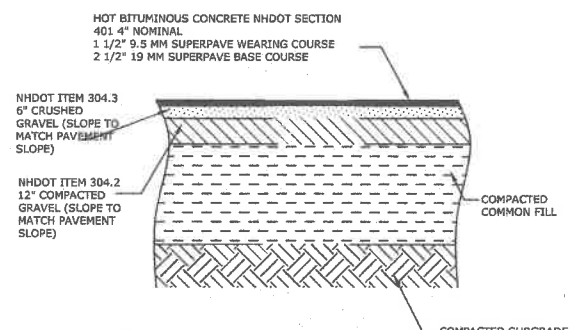


NOTE:

1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
4. THIS DETAIL IS FOR PLANNING PURPOSES ONLY. FINAL PAVEMENT DESIGN SHOULD BE BASED ON THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER AFTER A SITE INVESTIGATION.

STANDARD DUTY PAVEMENT SECTION

NOT TO SCALE

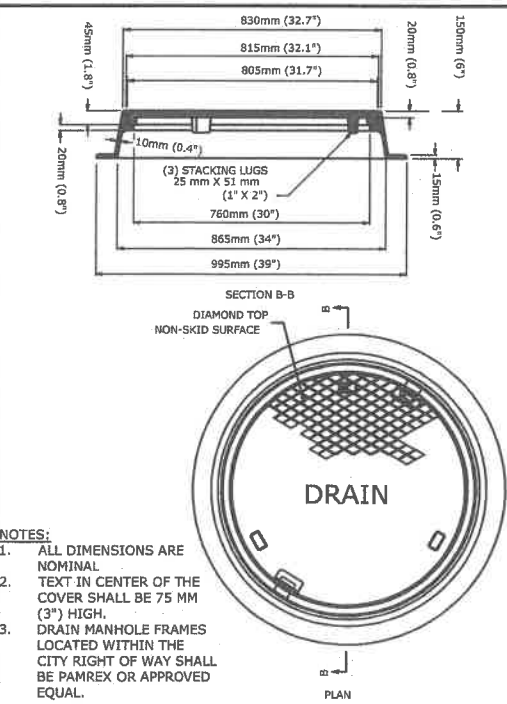


NOTE:

1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
4. THIS DETAIL IS FOR PLANNING PURPOSES ONLY. FINAL PAVEMENT DESIGN SHOULD BE BASED ON THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER AFTER A SITE INVESTIGATION.

HEAVY DUTY PAVEMENT SECTION

NOT TO SCALE

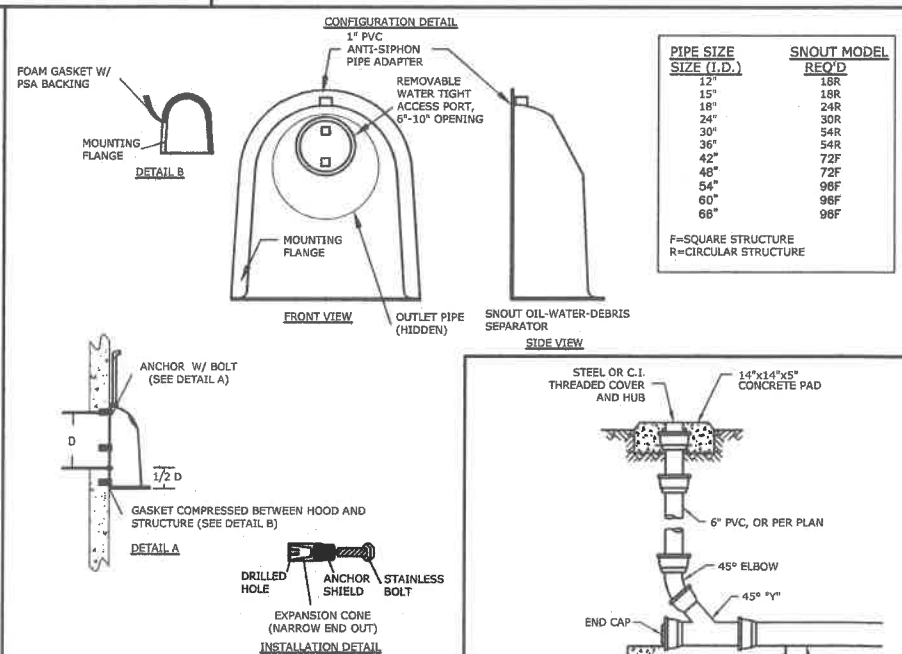


NOTES:

1. ALL DIMENSIONS ARE NOMINAL.
2. TEXT IN CENTER OF THE COVER SHALL BE 75 MM (3") HIGH.
3. DRAIN MANHOLE FRAMES LOCATED WITHIN THE CITY RIGHT OF WAY SHALL BE PAMREX OR APPROVED EQUAL.

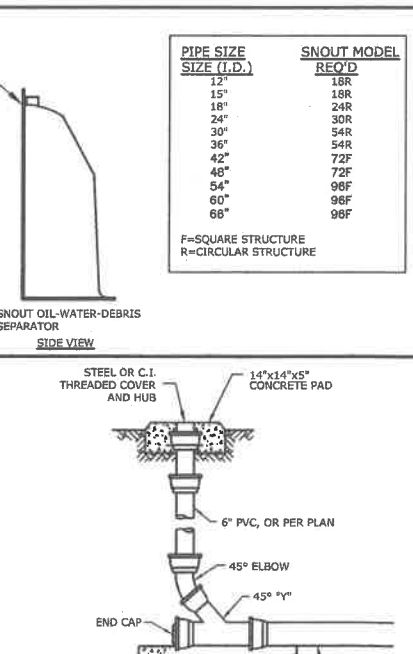
DRAIN MANHOLE FRAME & GRATE

NOT TO SCALE



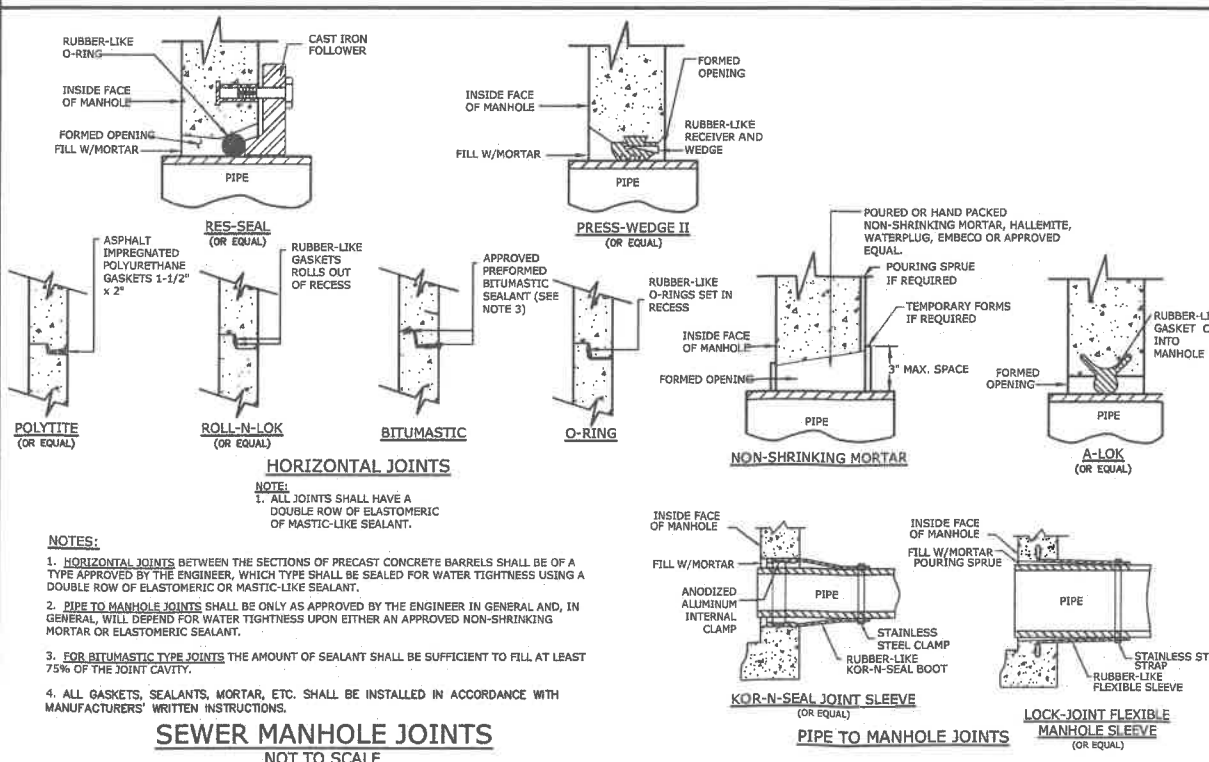
SNOUT OIL-WATER-DEBRIS SEPARATOR

NOT TO SCALE



CLEAN-OUT

NOT TO SCALE



NOTES:

1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
2. PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER IN GENERAL AND, IN GENERAL, WILL DEPEND FOR WATER TIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.
3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

SEWER MANHOLE JOINTS

NOT TO SCALE

Tighe&Bond
www.tighebond.com



Proposed Commercial Development

Farmington Associates Properties, LLC

60 Farmington Road
(Route 11)
Rochester, NH

A.	3/5/18	SUBMISSION TO PB
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157	
FILE:	W2157-C-DETAILS-180226.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

DETAILS SHEET

SCALE: AS SHOWN

C-16



Proposed Commercial Development

Farmington Associates Properties, LLC

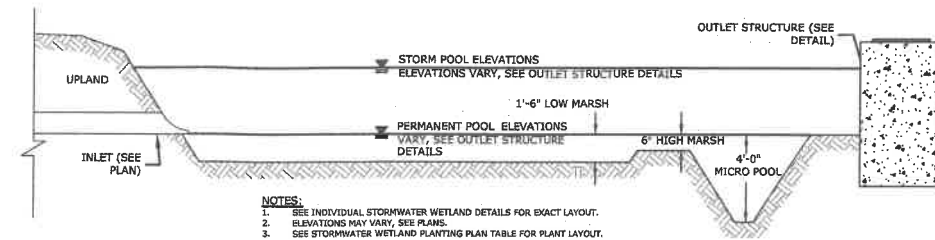
60 Farmington Road
(Route 11)
Rochester, NH

MARK	DATE	DESCRIPTION
PROJECT NO.	W2157	
FILE	W2157-C-DETAILS-180226.dwg	
DATE	03/05/2018	
DRAWN BY	JPC	
CHECKED	KAM	
APPROVED BY	BLM	

DETAILS SHEET

SCALE: AS SHOWN

C-17

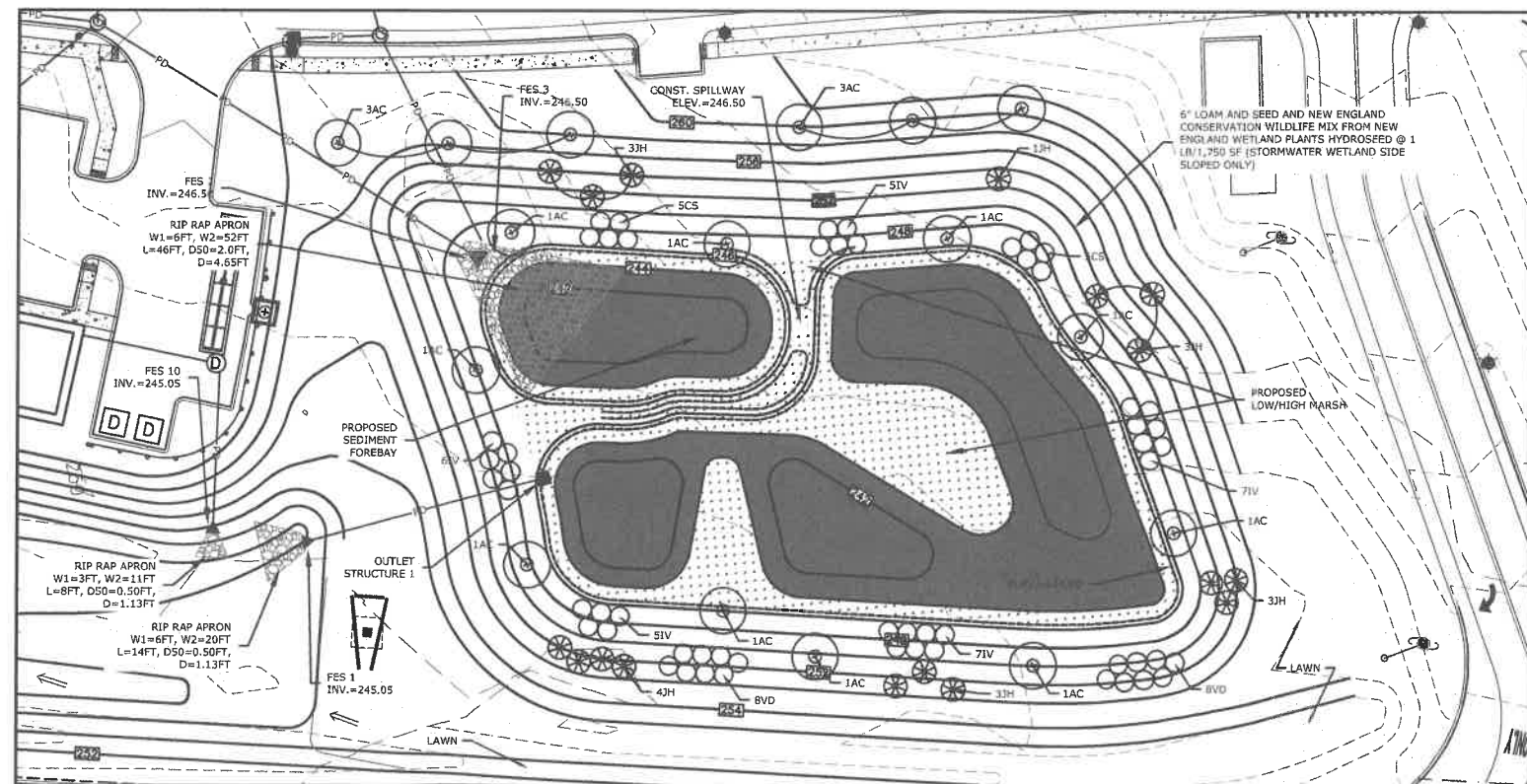


TYPICAL STORMWATER WETLAND CROSS-SECTION
NOT TO SCALE

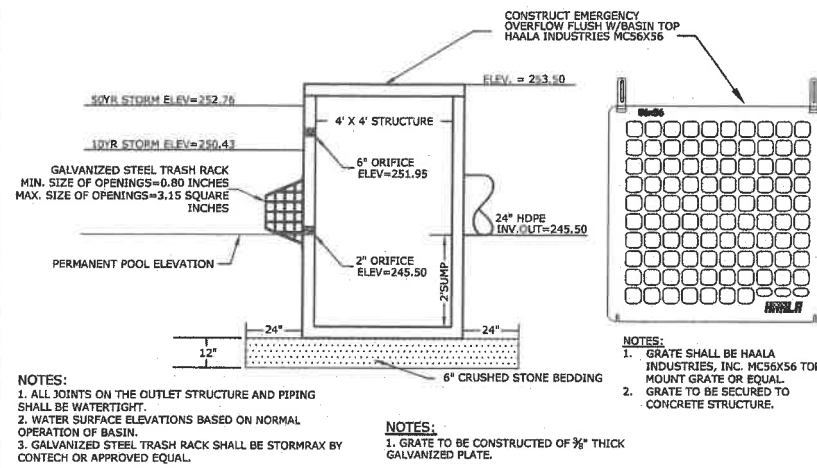
STORMWATER WETLAND #1 PLANT SCHEDULE

SYMBOL	QUANTITY	DESCRIPTION
+	30	SHRUB AND TREE PLANTING (EL. 246-252)
IV	30	ILEX VERTICILLATA 2-3' HT./CONTAINER
CS	10	CORNUS STOLONIFERA 2-3' HT./CONTAINER
VD	16	VIBURNUM DENTATUM 2-3' HT./CONTAINER
AC	16	AMALANCHIER CANADENSIS 7-8' HT./B & B
JH	17	JUNIPERUS HILLSPIRE 6-7' HT./B & B
■	100 @ 2.5' O.C.	LOW/HIGH MARSH (EL. 244-255)
-	100 @ 2.5' O.C.	IRIS VERSICOLOR BARE ROOT/PLUG
-	100 @ 2.5' O.C.	JUNCUS EFFUSUS BARE ROOT/PLUG
-	100 @ 2.5' O.C.	SCIRPUS CYPERINUS BARE ROOT/PLUG
-	100 @ 2.5' O.C.	SCIRPUS ATROVIRENS BARE ROOT/PLUG
-	100 @ 2.5' O.C.	CAREX CONOCHA BARE ROOT/PLUG
-	100 @ 2.5' O.C.	CAREX LURIDA BARE ROOT/PLUG
■	30 @ 6' O.C.	MICRO-POOL (EL. 242)
-	30 @ 6' O.C.	POTAMOGETON NODOSUS BARE ROOT/PLUG

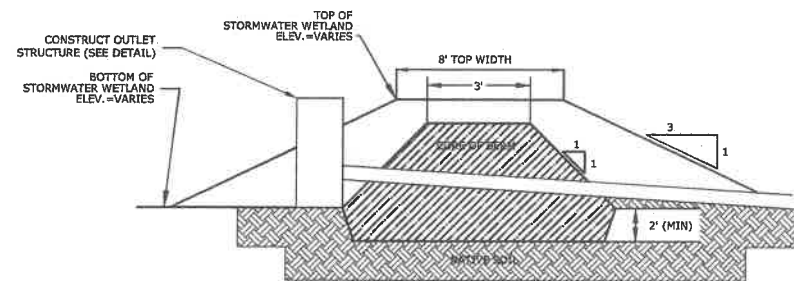
NOTE:
ALL BARE ROOT PLUGS ARE TO BE PLANTED IN A STAGGERED ARRANGEMENT TO FILL THE LIMITS OF THE INTENDED AREA IN MASS GROUPINGS OF THE SAME SPECIES



STORMWATER WETLAND DETAIL
SCALE: 1" = 30'



STORMWATER WETLAND 1 OUTLET STRUCTURE
NOT TO SCALE



NOTES:
1. CORE MATERIAL SHALL MEET USGS CLASSIFICATION SC, SM, CL OR ML AND HAVE A MAXIMUM PARTICLE SIZE OF 3" AND A PERMEABILITY LESS THAN 0.000005 CM/S, AND MEET THE FOLLOWING GRADATION:
SIEVE SIZE PERCENT FINER BY WEIGHT
3 INCH 100
No. 200 50-100.
2. PIPE SHALL BE FULLY EMBEDDED IN CORE TO ELIMINATE SEEPAGE

STORMWATER WETLAND BERM
NOT TO SCALE



**Proposed
Commercial
Development**

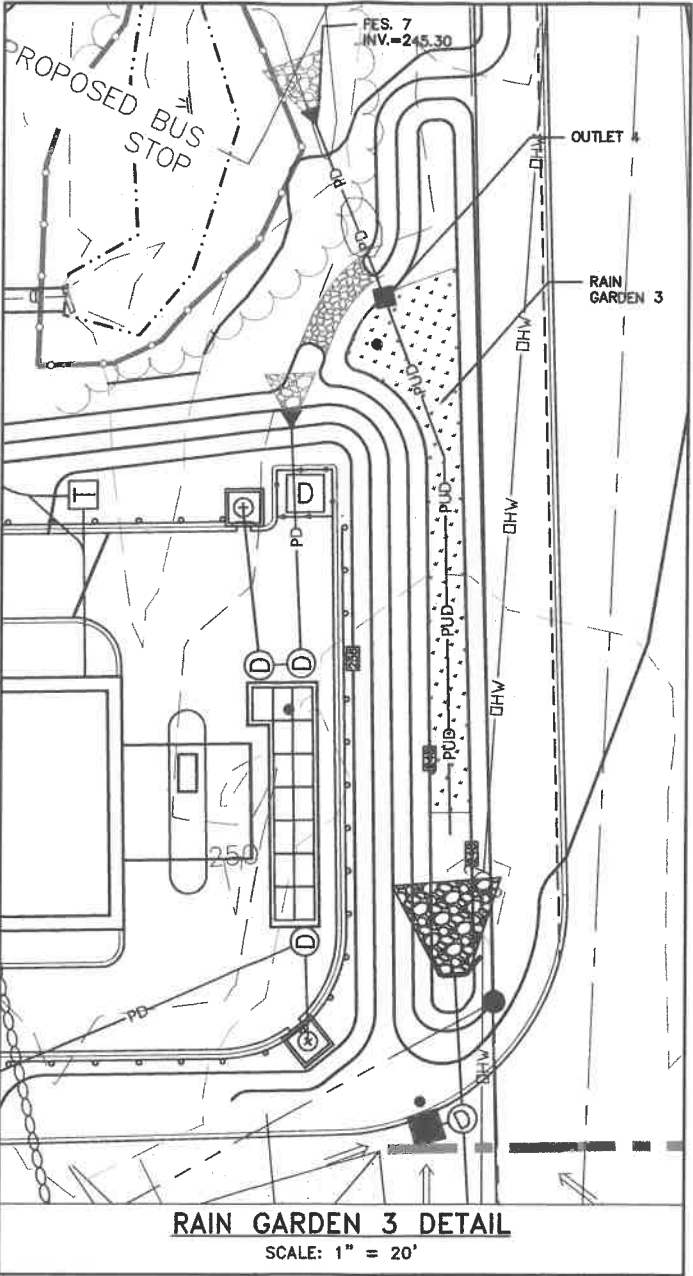
Farmington
Associates
Properties, LLC

60 Farmington Road
(Route 11)
Rochester, NH

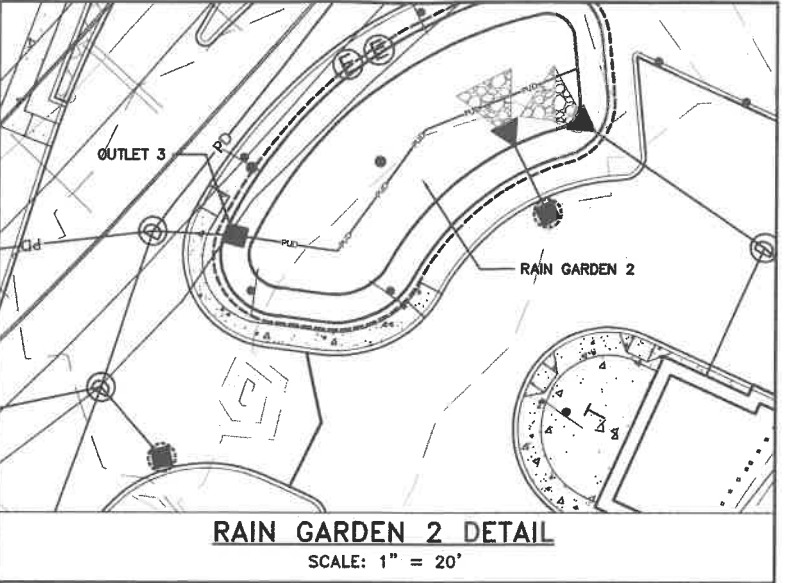
2.	3/5/18	REV. PB SUBMISSIONS
1.	11/17/17	SUBMITTAL PERMITS
MARK	DATE	DESCRIPTION
PROJECT NO:	W2157	
FILE:	W2157-C-DETAILS-180226.dwg	
DATE:	03/05/2018	
DRAWN BY:	JPC	
CHECKED:	KAM	
APPROVED BY:	BLM	

RAIN GARDEN DETAILS SHEET

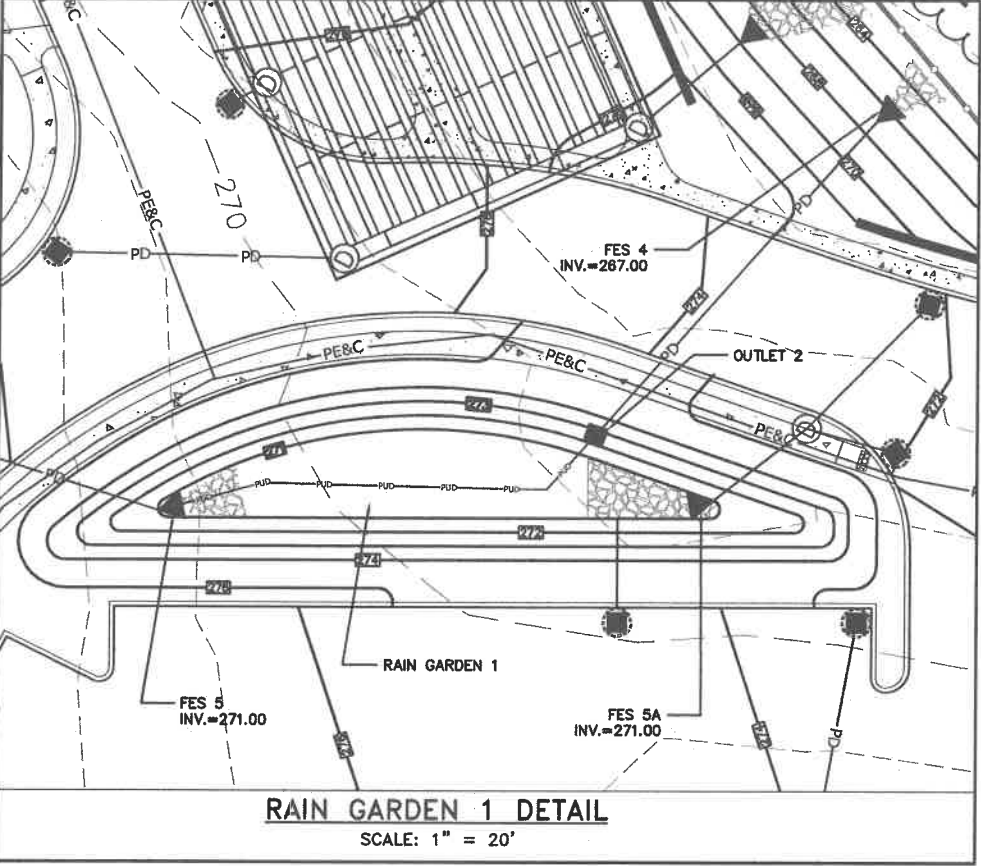
SCALE: AS SHOWN



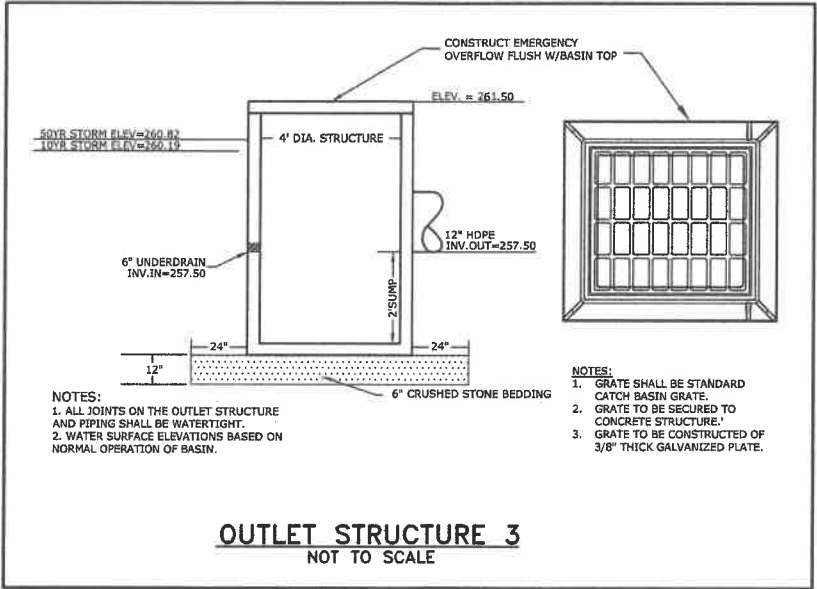
RAIN GARDEN 3 DETAIL
SCALE: 1" = 20'



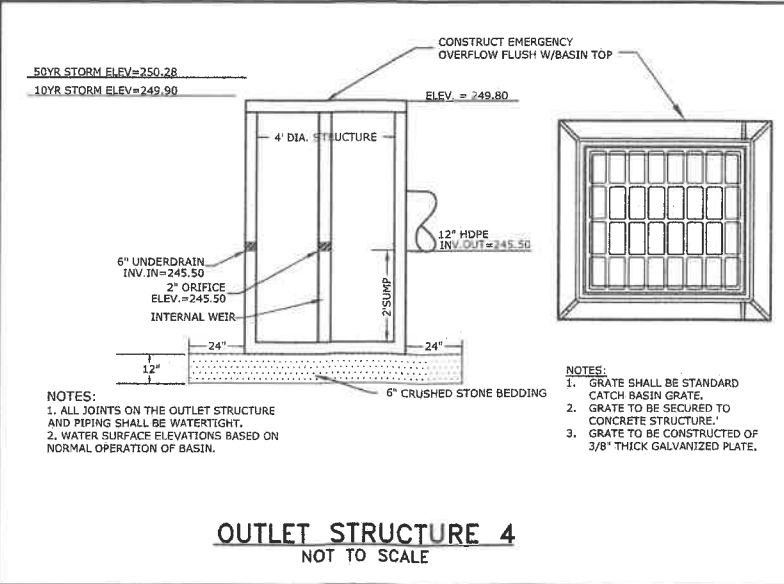
RAIN GARDEN 2 DETAIL
SCALE: 1" = 20'



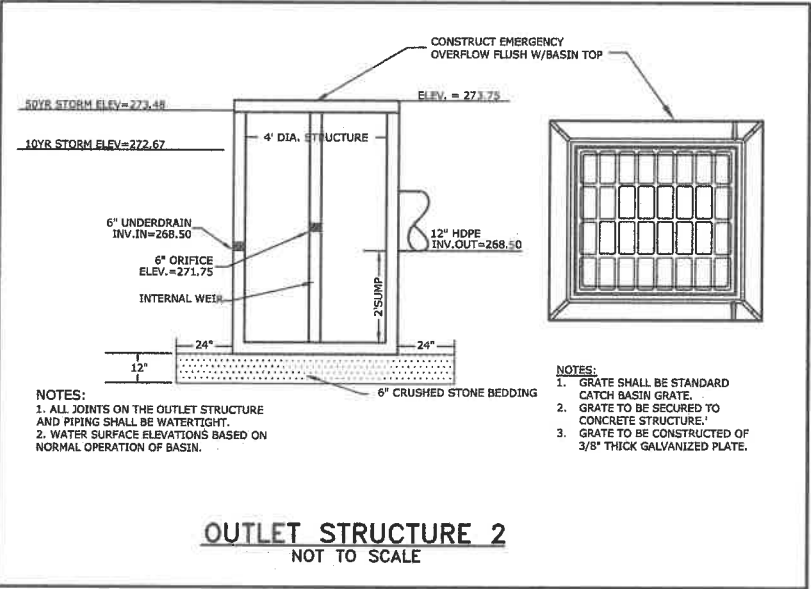
RAIN GARDEN 1 DETAIL
SCALE: 1" = 20'



OUTLET STRUCTURE 3
NOT TO SCALE



OUTLET STRUCTURE 4
NOT TO SCALE



OUTLET STRUCTURE 2
NOT TO SCALE

60 Farmington Road
(Route 11)
Rochester, NH

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C-20

