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PROPOSED SITE PLAN REVIEW
FOR
COYOTE CREEK OUTFITTERS
22 FARMINGTON ROAD
ROCHESTER, N.H.
TAX MAP 216, LOTS 2 & 3



OWNER: DAVID S. THAYER
C/O COYOTE CREEK OUTFITTERS
22 FARMINGTON ROAD, NH ROUTE 11
ROCHESTER, NH 03867

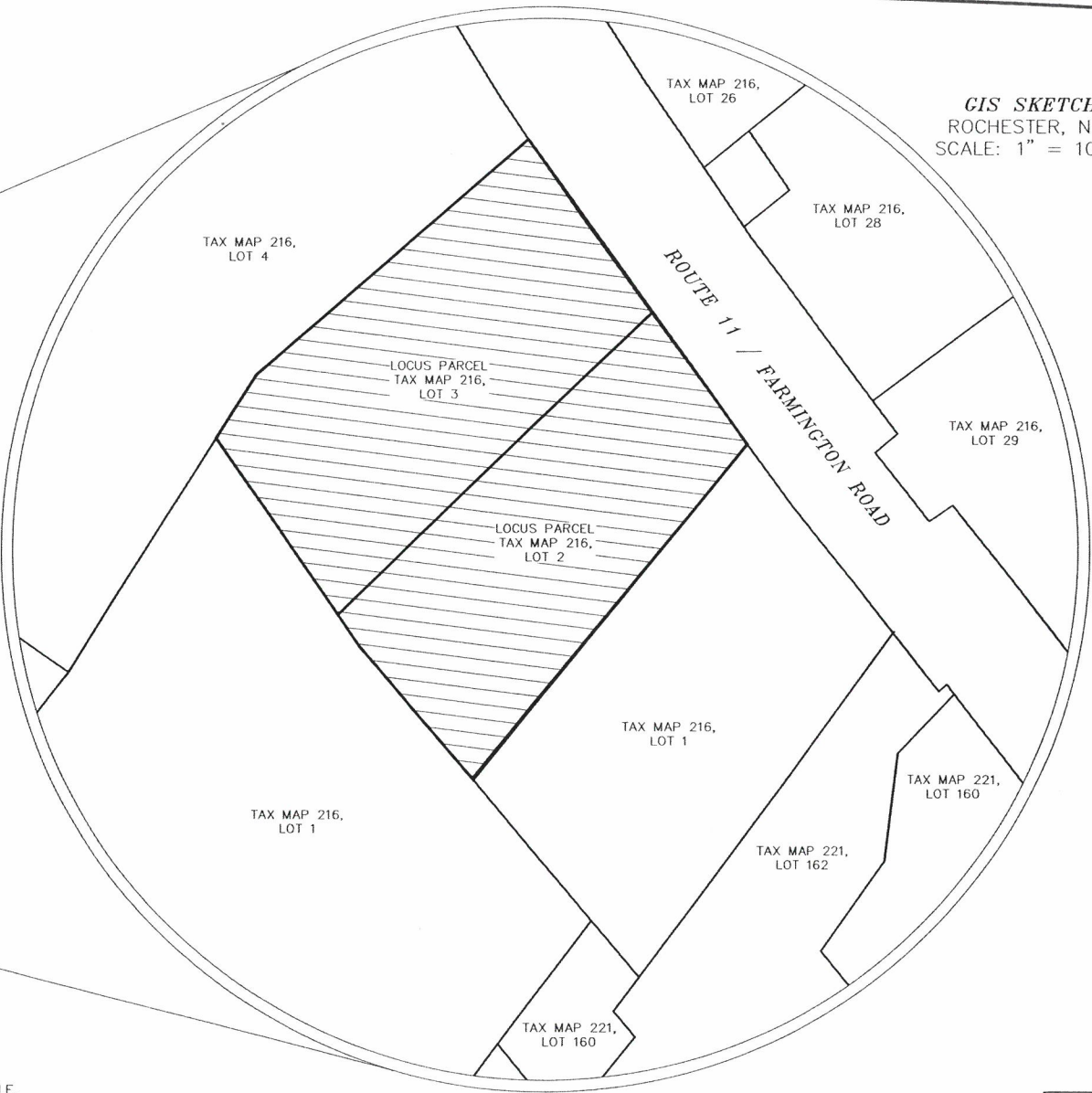
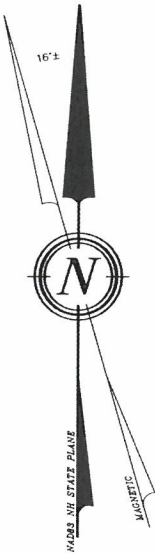
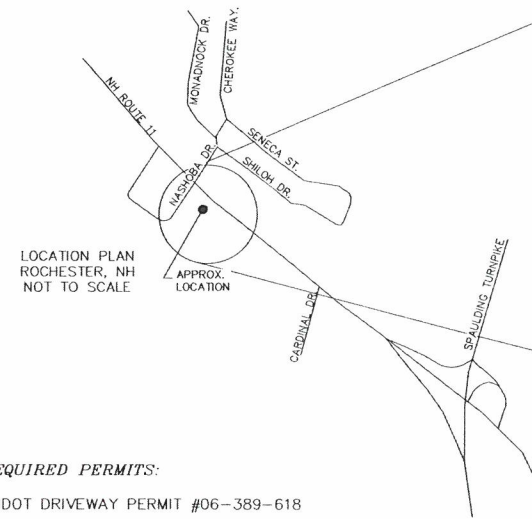
APPLICANT: DAVID S. THAYER
C/O COYOTE CREEK OUTFITTERS
22 FARMINGTON ROAD, NH ROUTE 11
ROCHESTER, NH 03867

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, PE, LLS
CPSWQ, CPESC, CESSWI
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: DAMON E. BURT, CWS #163
FRAGGLE ROCK ENVIRONMENTAL SERVICES
38 GARLAND ROAD
STRAFFORD, NH 03884
(603) 969-5574

CIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 100'±



REQUIRED PERMITS:

NHDOT DRIVEWAY PERMIT #06-389-618

NHDES SEWER CONNECTION PERMIT #D2017-0305

EPA NPDES ID #NHR100050

BERRY SURVEYING & ENGINEERING HAS PREPARED THE SWPPP AND THE FILING OF THE NOTICE OF INTENT WHICH IS REQUIRED BY THE EPA. A CAPABLE AND KNOWLEDGEABLE PERSON IS TO DO ON-SITE EROSION CONTROL INSPECTIONS PER THE NOTICE OF INTENT. BERRY SURVEYING & ENGINEERING CAN PROVIDE THIS SERVICE IF REQUESTED.

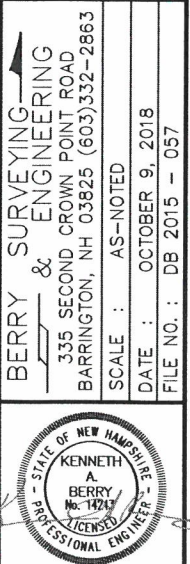
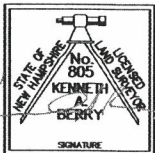
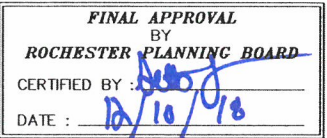
A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE CONSTRUCTION ACTIVITIES TAKE PLACE. THOSE PRESENT SHOULD INCLUDE THE OWNER OF RECORD, DESIGN ENGINEER, CONSTRUCTION MANAGER, CITY ENGINEER OR DESIGNEE, AND HEAD OF THE PLANNING DEPARTMENT OR DESIGNEE.

NOTE:

BERRY SURVEYING & ENGINEERING HAS PREPARED AN INSPECTION & MAINTENANCE MANUAL AS PART OF THIS PROJECT'S DOCUMENTATION. ALL USERS ARE BOUND TO THIS DOCUMENT AS PART OF THE APPROVAL OF THE PLANNING BOARD. COPIES OF THE YEARLY INSPECTIONS ARE TO BE DELIVERED TO THE CEO AS DIRECTED IN THE MANUAL.

GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) SCALE OF PLANS MAY BE ALTERED BY SCANNING AND PHOTOCOPYING.
- 3.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.
- 4.) FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867, (603) 335-1338.



PROPOSED SITE PLAN
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

#1	REVISION	DATE	DESCRIPTION
		12-4-18	REVISED PER NOD

TEST PIT DATA:

TEST HOLES COMPLETED FOR: THAYER/COYOTE CREEK
BY: BERRY SURVEYING & ENGINEERING FEBRUARY 1, 2016

TEST HOLE #1:
0-46" 10 YR 5/6 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE, FILL MATERIAL, MANY COBBLES TO 6" THROUGHOUT
46-48" 10 YR 4/4 DARK YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE, OLD TOPSOIL
48-60" 10 YR 5/6 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
60-65" 10 YR 6/6 BROWNISH YELLOW, FINE SAND, GRANULAR, FRAGILE
65-84" 10 YR 6/2 LIGHT BROWNISH GRAY, SILT LOAM, MASSIVE, FIRM, COMMON AND DISTINCT MOTTLES, MANY COBBLES TO 6" THROUGHOUT

TERMINATED @ 84"
E.S.H.W.T. @ 85"
NO REFUSAL
NO GROUND WATER OBSERVED
ROOTS TO 48"

TEST HOLE #2:
0-24" 10 YR 4/6 DARK YELLOWISH BROWN, STONE, GRANULAR, FRAGILE, FILL, SHOT ROCK
2"-72" 10 YR 7/4 VERY PALE BROWN, COARSE SAND AND GRAVEL, GRANULAR, FRAGILE, NATURAL MATERIAL
72-84" 10 YR 7/4 VERY PALE BROWN, COARSE SAND AND GRAVEL, GRANULAR, FRAGILE
84-96" 10 YR 6/2 LIGHT BROWNISH GRAY, SILT LOAM, MASSIVE, FIRM, COMMON AND DISTINCT MOTTLES

MANY COBBLES TO 6" THROUGHOUT
TERMINATED @ 96"
E.S.H.W.T. @ 84"
NO REFUSAL
GROUND WATER OBSERVED @ 8"
ROOTS TO 40"

TEST HOLE #3:

0-48" 10 YR 5/6 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE, FILL
48-50" 10 YR 3/3 DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE, TOPSOIL
50-84" 10 YR 5/6 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
84-90" 10 YR 6/2 LIGHT BROWNISH GRAY, SILT LOAM, MASSIVE, FIRM, COMMON AND DISTINCT MOTTLES

COBBLES TO 9" THROUGHOUT
TERMINATED @ 90"
E.S.H.W.T. @ 84"
NO REFUSAL
NO GROUND WATER OBSERVED
ROOTS TO 50"

TEST HOLE #4:

0-24" 10 YR 4/6 DARK YELLOWISH BROWN, SHOT ROCK, GRANULAR, FRAGILE, FILL
24-60" 5 YR 5/6 YELLOWISH RED, COARSE SAND AND GRAVEL, GRANULAR, FRAGILE, NATURAL MATERIAL, COBBLES TO 9" THROUGHOUT
60" LEDGE

TERMINATED @ 60"
E.S.H.W.T. NONE FOUND
REFUSAL @ 60", LEDGE
NO GROUND WATER OBSERVED
ROOTS TO 40"

TEST HOLE #5 & 5A:

0-60" MIXED FILL, ORGANIC & MINERAL, FILL
60-72" 10 YR 6/6 BROWNISH YELLOW, FINE SANDY LOAM, GRANULAR, FRAGILE, NATURAL
72-96" 10 YR 5/6 BROWNISH YELLOW COARSE SAND AND GRAVEL, GRANULAR, FRAGILE
96-100" 10 YR 6/2 LIGHT BROWNISH GRAY, SILT LOAM, MASSIVE, FIRM, COMMON AND DISTINCT MOTTLES

COBBLES TO 6" THROUGHOUT
TERMINATED @ 100"
E.S.H.W.T. @ 96"
NO REFUSAL
GROUND WATER OBSERVED @ 8"
ROOTS TO 72"

TEST HOLE #6:

0 - 24" 10 YR 6/4 LIGHT YELLOWISH BROWN, STONE, GRANULAR, FRAGILE, SHOT ROCK
24" LEDGE

TERMINATED @ 24"
E.S.H.W.T. NONE FOUND
REFUSAL @ 24", LEDGE
NO GROUND WATER OBSERVED
NO ROOTS OBSERVED

ADJACENTS WITHIN 300':

N/F: WESSLER PROPERTIES, LLC.
20 FARMINGTON ROAD
ROCHESTER, NH 03867-4304
TAX MAP 216, LOT 1
S.C.R.D. BOOK 4009, PAGE 573

N/F: NORTHGATE INVESTMENT PROPERTIES, LLC
36 FARMINGTON ROAD
ROCHESTER, NH 03867-4236
TAX MAP 216, LOT 4
S.C.R.D. BOOK 1811, PAGE 17

N/F: BONNER, ROLAND W. & NANCY T.
1 MONADNOCK DRIVE
ROCHESTER, NH 03867-5164
TAX MAP 216, LOT 28
S.C.R.D. BOOK 4561, PAGE 161

N/F: COOK, N. MILES III
23 FARMINGTON ROAD
ROCHESTER, NH 03867
TAX MAP 216, LOT 28
S.C.R.D. BOOK 3379, PAGE 464

N/F: CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03867
TAX MAP 216, LOT 28-1
S.C.R.D. BOOK 1842, PAGE 417

N/F: 21 FARMINGTON ROAD, LLC.
549 US HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801-4131
TAX MAP 216, LOT 29
S.C.R.D. BOOK 4248, PAGE 628

N/F: BERANGER, ROBERT & KAREN
20 FARMINGTON ROAD
ROCHESTER, NH 03867-4304
TAX MAP 221, LOT #3
S.C.R.D. BOOK 1035, PAGE 370

SIGN ID NUMBER	SIGN SIZE (WIDTH x HEIGHT)	SIGN	TEXT DIMENSIONS	NO. OF SIGNS	BACKGROUND	LEGEND	BORDER	POST SIZE & QUANTITY
R1-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	RED	WHITE	WHITE	SQUARE (2)
R7-8	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN W/ WHITE SYMBOL ON BLUE	RED	SQUARE (2)
R7-8a	12"x6"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	GREEN	GREEN	SQUARE (0)
R8-31	12"x18"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	2	WHITE	RED	RED	SQUARE (2)
R6-1R	36"x12"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	BLACK W/ WHITE ARROW	BLACK	WHITE	SQUARE (1)
R5-1	30"x30"		SEE STANDARD HIGHWAY SIGNS 2004 EDITION PUBLISHED BY USDOT - FHWA	1	RED	WHITE	WHITE	SQUARE (1)

LEGEND:

- IRON BOUND ~SET~
- IRON BOUND ~END~
- STEEL STAKE ~END~
- DRILL HOLE ~END~
- UTILITY POLE
- GUY WIRE
- CURB STOP

- ⊗ GATE VALVE
- ⊗ GAS VALVE
- ⊗ FIRE HYDRANT

- ⊗ CATCH BASIN
- ⊗ SEWER MAN HOLE
- ⊗ SINGLE POST SIGN
- ⊗ TEST PIT

- EASEMENT LINE
- GAS LINE
- WATER LINE
- SEWER LINE
- OVERHEAD UTILITIES
- SOILS LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- R.O.W. LINE
- ADJUTING LOT LINES
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED CULVERT W/ FLARED END SECTION (F.E.S.)

- ⊗ DETAIL SHEET / DETAIL

- PROPOSED & EXISTING TREELINE

- RIP-RAP APRON

- PROPOSED UNDERGROUND UTILITY

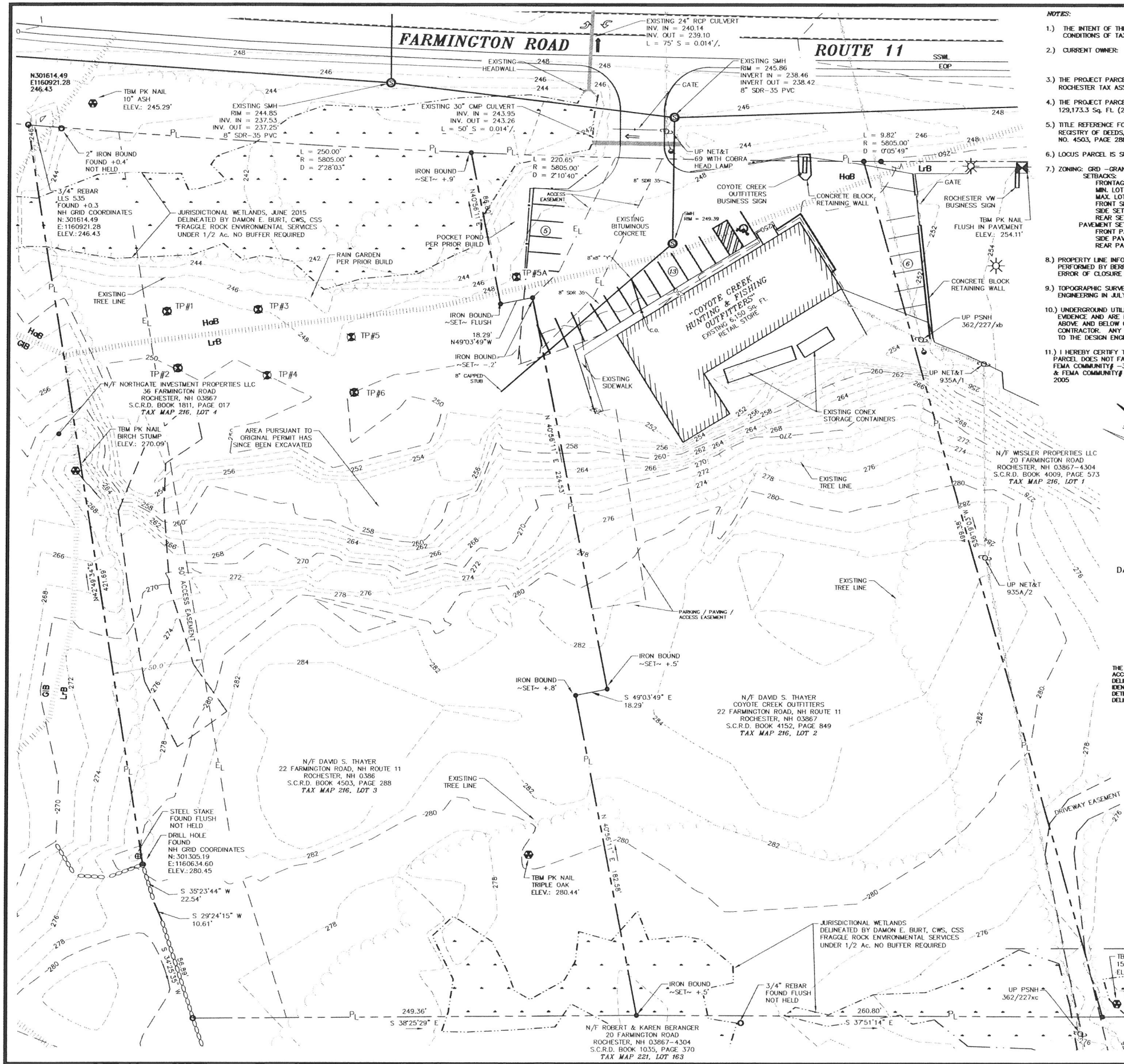
GIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 300'±

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

NEIGHBORHOOD PLAN
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

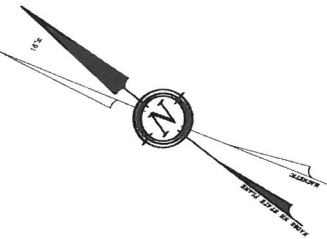
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS-NOTED
DATE: OCTOBER 9, 2018
FILE NO.: DB 2015 - 057

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
PROFESSIONAL ENGINEER



NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EXISTING CONDITIONS OF TAX MAP 216, LOTS 2 & 3.
- 2.) CURRENT OWNER: DAVID S. THAYER
22 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NH 03867
- 3.) THE PROJECT PARCELS ARE MAP 216, LOTS 2 & 3 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 4.) THE PROJECT PARCELS CONTAIN 111,634.4 Sq. Ft. (2.56 Ac.) AND 129,173.3 Sq. Ft. (2.97 Ac.) OF LAND, RESPECTIVELY.
- 5.) TITLE REFERENCE FOR THE PROJECT PARCELS ARE THE STRAFFORD COUNTY REGISTRY OF DEEDS, (S.C.R.D.) BOOK NO. 4152 PAGE NO. 849, AND BOOK NO. 4503, PAGE 288, RESPECTIVELY.
- 6.) LOCUS PARCEL IS SUBJECT TO EASEMENTS AS NOTED.
- 7.) ZONING: GRD - GRANITE RIDGE DEVELOPMENT
SETBACKS:
FRONTAGE: 50 FEET, MINIMUM
MIN. LOT AREA: NO REGULATION
MAX. LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
PAVEMENT SETBACKS:
FRONT PAVEMENT: 10 FEET
SIDE PAVEMENT: 5 FEET
REAR PAVEMENT: 10 FEET
- 8.) PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN JULY 2015 WITH AN ERROR OF CLOSURE GREATER THAN 1 IN 10,000.
- 9.) TOPOGRAPHIC SURVEY WAS PERFORMED BY BERRY SURVEYING AND ENGINEERING IN JULY OF 2015.
- 10.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 11.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY # -330150, MAP # - 3307C0184D, DATED: MAY 17, 2005 & FEMA COMMUNITY # -330150, MAP # - 3307C0203D, DATED: MAY 17, 2005



DAMON E. BURT
CWS #163

THE WETLAND DELINEATION WAS COMPLETED FALL 2014 IN ACCORDANCE WITH THE 1987 CORP OF ENGINEERS WETLAND DELINEATION MANUAL. JURISDICTIONAL WETLANDS WERE IDENTIFIED AND DELINEATED USING THE ROUTINE DETERMINATION METHOD AS OUTLINED IN THE MANUAL. THE DELINEATION WAS DONE BY: DAMON E. BURT, CWS #163
FRAGILE ROCK ENVIRONMENTAL SERVICES

UTILITY NOTE:

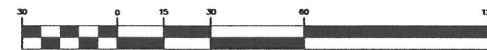
THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR NOR THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

SOILS:

CLB - GLOUCESTER FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
HUB - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES
LUB - LEICESTER-RIDGEBURY VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES

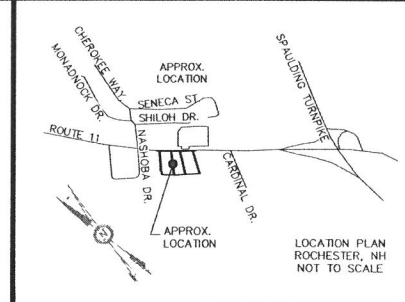
SEE WEBSOIL USDA-NRCS

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
12-4-18
KENNETH A. BERRY L.L.S. 805 DATE



PLAN REFERENCES:

- 1.) "EXISTING CONDITIONS PLAN LAND OF 21 FARMINGTON LLC 21 FARMINGTON BY: BERRY SURVEYING & ENGINEERING DATED: MARCH 30, 2015 S.C.R.D. DB 2014-149
- 2.) "PROPOSED CROSS EASEMENT PLAN LAND OF DAVID S. THAYER & RICHARD P. THAYER REVOCABLE TRUST" BY: BERRY SURVEYING & ENGINEERING DATED: MARCH 30, 2015 S.C.R.D. PLAN # 114-026
- 3.) "BOUNDARY LINE ADJUSTMENT BETWEEN TAX MAP 221/LOTS 58, 67-69 CAPITOL CIRCLE ROCHESTER, N.H. FOR MALCOM J. JR. & JULIE A. FORD, KATHY A. FORD, MARC E. & JANET S. JACQUES BY: NORWAY PLAINS ASSOCIATES, INC. DATED: FEBRUARY 2001 S.C.R.D. PLAN # 62-6
- 4.) "SUBDIVISION OF LAND ROCHESTER, N.H. FOR SPAULDING REALTY TRUST" BY: NORWAY PLAINS SURVEY ASSOCIATES, INC. DATED: FEBRUARY 21, 1987 S.C.R.D. PLAN # 24-77
- 5.) "BOUNDARY SURVEY PLAN OF LAND PREPARED FOR RITA MURJANI ROCHESTER, NH" BY: YERKES SURVEYING CONSULTANTS DATED: FEBRUARY 23, 1995 S.C.R.D. PLAN # 47-51
- 6.) "SURVEY OF THE LAND OF NORTHGATE APARTMENT COMPLEX, N.H. BY: HOLDEN ENGINEERING & SURVEYING INC. DATED: JANUARY 5, 1982 S.C.R.D.: PLAN # 23A-23
- 7.) "PROPOSED SUBDIVISION LAND OF BERANGER REALTY, INC. ROUTE 11 ROCHESTER, N.H." BY: BERRY CONSTRUCTION CO., INC. DATED: JUNE 4, 1979 S.C.R.D.: PLAN # 20-63
- 8.) "SUBDIVISION PLAN OF LAND IN ROCHESTER, N.H. (NORTHGATE APARTMENT COMPLEX)" BY: LLOYD E. BROWN, LLS DATED: DECEMBER 16, 1976 S.C.R.D.: PLAN # 16A-59
- 9.) "BOUNDARY PLAN OF LAND IN ROCHESTER, N.H. FOR THURLO GUDON" BY: ALBERT GLE, LLS DATED: MARCH 6, 1972 S.C.R.D.: PLAN # 60 POCKET # 2 FOLDER # 17
- 10.) "PROPERTY OF RICHARD S. ROBIE ROCHESTER, N.H." BY: PETER HODGES SURVEYORS, INC. DATED: SEPTEMBER 25, 1972 S.C.R.D.: PLAN # 47 POCKET # 9 FOLDER # 2
- 11.) "PROPERTY OF RICHARD S. ROBIE ROCHESTER, N.H." BY: PETER G. HODGES, SURVEYORS DATED: SEPTEMBER 1969 S.C.R.D.: PLAN # 13 POCKET # 11 FOLDER # 3
- 12.) "DIVISION OF LAND ANCA INC. ROCHESTER NEW HAMPSHIRE" BY: G.L. DAVIS & ASSOCIATES DATED: AUGUST 1974 S.C.R.D.: PLAN # 60 POCKET # 10 FOLDER # 2
- 13.) "PLAN OF LAND JANET VACHON FARMINGTON ROAD, ROUTE 11 ROCHESTER, N.H." BY: BERRY CONST. CO., INC. DATED: OCTOBER 1968 S.C.R.D.: PLAN

REVISED PER NOD		DESCRIPTION
REVISION	DATE	
#1	12-4-18	

EXISTING CONDITIONS PLAN
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057

SHEET 2 OF 16

SECTION 10 PARKING REQUIREMENTS:

RETAIL
1 SPACE REQUIRED PER 250 Sq. Ft.
6,150 Sq. Ft. / 250 Sq. Ft. = 25 SPACES
INDOOR RECREATION
1 SPACE REQUIRED PER 400 Sq. Ft.
10,960 Sq. Ft. / 400 Sq. Ft. = 27 SPACES
52 SPACES REQUIRED
55 SPACES PROPOSED AND EXISTING
INCLUDING 3 ADA SPACES

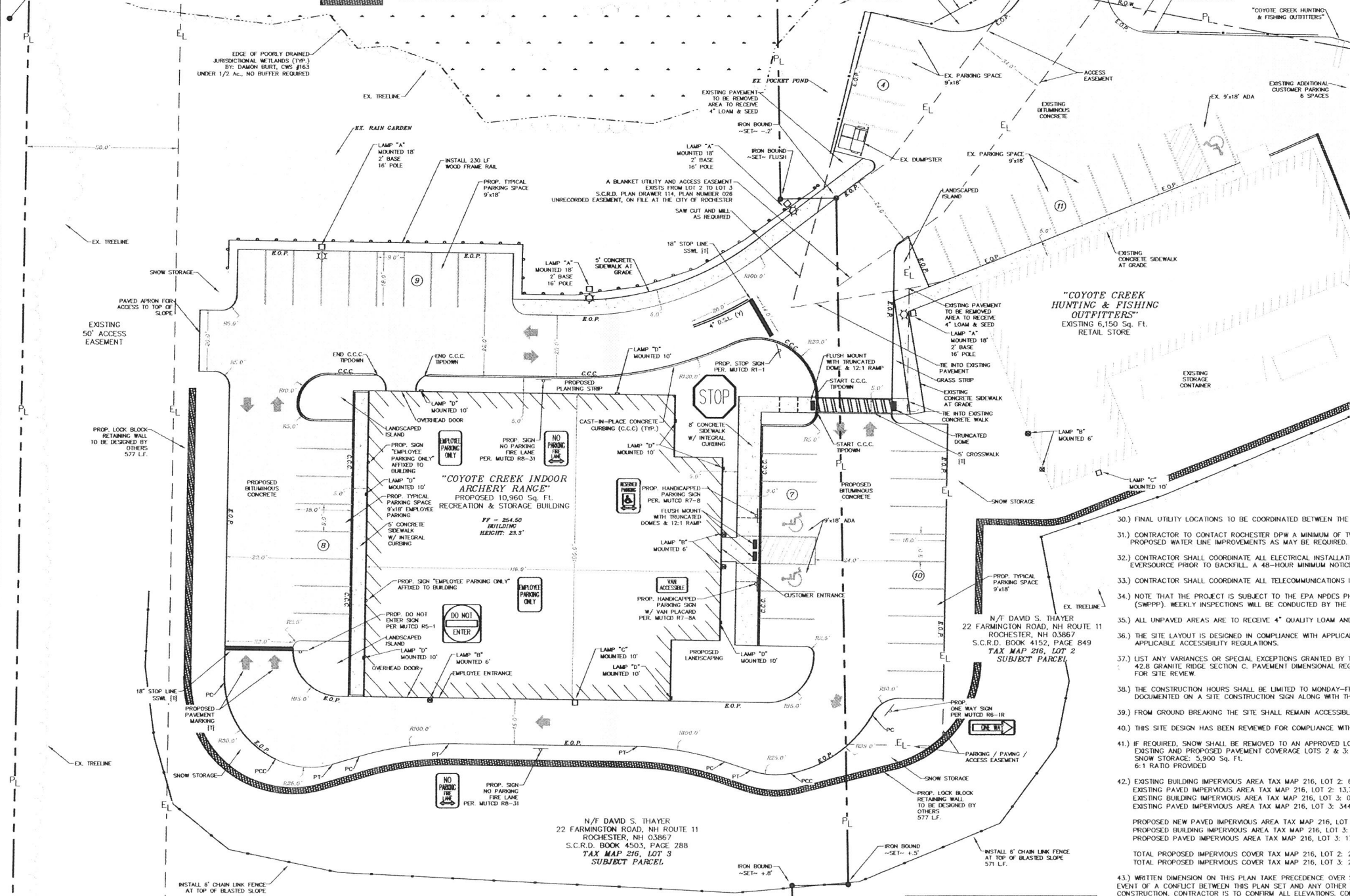
LEGEND:

IRON BOUND ~SET~
IRON BOUND ~END~
UTILITY POLE/GUY WIRE
BOUNDARY LINE
EASEMENT LINE
OVERHEAD UTILITIES LINE
WETLAND LINE
SHOULDER
CHAIN LINK FENCE
S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
TYP. TYPICAL
FND FOUND
E.O.P. EDGE OF PAVEMENT
PL. PROPERTY LINE
EL. EASEMENT LINE
T.B.R. TO BE REMOVED
C.C.C. CAST-IN-PLACE CONCRETE CURB
EX. EXISTING
PROP. PROPOSED
D.S.L. (Y) DOUBLE SOLID LINE (YELLOW)
S.S.L. (W) SINGLE SOLID LINE (WHITE)
S.S.B. (Y) SINGLE SOLID WITH BROKEN LINE (YELLOW)
PC POINT OF CURVATURE
PT POINT OF TANGENCY
PCC POINT OF COMPOUND CURVATURE
EXISTING RAIN GARDEN
PROPOSED RETAINING WALL

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

N/F NORTHGATE INVESTMENT PROPERTIES LLC
36 FARMINGTON ROAD
ROCHESTER, NH 03867
S.C.R.D. BOOK 1811, PAGE 017
TAX MAP 216, LOT 4



NOTES:

- 1) CURRENT OWNER: DAVID S. THAYER
22 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NH 03867
TAX MAP 216, LOT 2 & 3
- 2) THE PROJECT PARCELS ARE MAP 216, LOTS 2 & 3 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
- 3) THE PROJECT PARCELS CONTAIN 111,634.4 Sq. Ft. (2.56 AC.) AND 129,173.3 Sq. Ft. (2.97 AC.) OF LAND, RESPECTIVELY.
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- 6) ZONING: GRD - GRANITE RIDGE DEVELOPMENT
SETBACKS:
FRONTAGE: 50 FEET, MINIMUM
MIN. LOT AREA: NO REGULATION
MAX. LOT COVERAGE: NO REGULATION
FRONT SETBACK: NO REGULATION
SIDE SETBACK: NO REGULATION
REAR SETBACK: NO REGULATION
PAVEMENT SETBACKS:
FRONT PAVEMENT: 10 FEET
SIDE PAVEMENT: 5 FEET
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- 8) TOPOGRAPHIC SURVEY WAS PERFORMED BY BERRY SURVEYING AND ENGINEERING IN JULY OF 2015.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 10) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY - 330150, MAP# - 33017001840, DATED: MAY 17, 2005 & FEMA COMMUNITY - 330150, MAP# - 33017002030, DATED: MAY 17, 2005.
- 11) AS BUILT PLANS OF SITE SHALL BE SUBMITTED ON PAPER AND IN A DIGITAL FORMAT IN A PDF AND AUTOCAD DWG, AUTOCAD DXF OR AN ERSI FORMAT TO THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY A L.L.S. OR P.E. DIGITAL FILES SHALL BE GEO-REFERENCED TO NEW HAMPSHIRE STATE PLANE COORDINATES NAD83 AND SHALL BE EXPRESSED IN FEET.
- 12) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
- 13) THE PROPOSED USE FOR THE SITE IS INDOOR RECREATION AND STORAGE.
- 14) ACCESS TO TAX MAP 216, LOT 3 IS BEING TAKEN OVER TAX MAP 216, LOT 2 OWNED BY DAVID S. THAYER.
- 15) ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 16) THE SUBJECT PARCEL IS SERVED BY ON-SITE WATER AND MUNICIPAL SEWER.
- 17) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
- 18) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
- 19) ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE 500 BOTTOMS.
- 20) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS. COORDINATE WITH THE CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS.
- 21) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR, AND THE DEPARTMENT OF PUBLIC WORKS SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 22) BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING INSPECTOR AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- 23) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
EPA NOTICE OF INTENT (NOI): (PENDING)
NHDOT DRIVEWAY PERMIT: #08-389-618
NHDES SEWER CONNECTION PERMIT: #02017-0305
- 24) THIS PLAN PROPOSES APPROXIMATELY 93,000 SQ. FT. OF DISTURBANCE.
- 25) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2016. CONSTRUCTION SHALL ALSO CONFORM TO THE CITY OF ROCHESTER POLICIES AND PRACTICES.
- 26) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233).
- 27) EXTERIOR LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 28) FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF THE BUILDING PER NFPA 13, AS APPLICABLE.
- 29) BOTH FACILITIES ARE TO BE FITTED WITH SECURITY SYSTEMS.
- 30) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.
- 31) CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS AS MAY BE REQUIRED.
- 32) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE AT (603) 436-7708. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
- 33) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH ATLANTIC BROADBAND AT (800) 952-1001.
- 34) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
- 35) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- 36) THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
- 37) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT FOR THE PROPOSED STRUCTURE:
42.8 GRANITE RIDGE SECTION C. PAVEMENT DIMENSIONAL REGULATIONS TO ALLOW PAVEMENT OVER THE LOT LINE BETWEEN THE TWO PARCELS OF LAND UNDER CONSIDERATION FOR SITE REVIEW.
- 38) THE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 8AM-6PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
- 39) FROM GROUND BREAKING THE SITE SHALL REMAIN ACCESSIBLE YEAR ROUND IN ALL WEATHER CONDITIONS.
- 40) THIS SITE DESIGN HAS BEEN REVIEWED FOR COMPLIANCE WITH THE APPLICABLE ACCESSIBILITY REGULATIONS IN ACCORDANCE WITH NH RSA 11-A:5.
- 41) IF REQUIRED, SNOW SHALL BE REMOVED TO AN APPROVED LOCATION. SNOW STORAGE SHALL NOT IMPEDE DRAINAGE.
EXISTING AND PROPOSED PAVEMENT COVERAGE LOTS 2 & 3: 35,416 Sq. Ft.
SNOW STORAGE: 5,900 Sq. Ft.
6:1 RATIO PROVIDED
- 42) EXISTING BUILDING IMPERVIOUS AREA TAX MAP 216, LOT 2: 6,150 Sq. Ft. (5.5%)
EXISTING PAVED IMPERVIOUS AREA TAX MAP 216, LOT 2: 13,782 Sq. Ft. (12.3%)
EXISTING BUILDING IMPERVIOUS AREA TAX MAP 216, LOT 3: 0 Sq. Ft. (0%)
EXISTING PAVED IMPERVIOUS AREA TAX MAP 216, LOT 3: 344 Sq. Ft. (0.3%)
PROPOSED NEW PAVED IMPERVIOUS AREA TAX MAP 216, LOT 2: 3,811 Sq. Ft. (8.8%)
PROPOSED BUILDING IMPERVIOUS AREA TAX MAP 216, LOT 3: 10,960 Sq. Ft. (8.5%)
PROPOSED PAVED IMPERVIOUS AREA TAX MAP 216, LOT 3: 17,823 Sq. Ft. (12.0%)
TOTAL PROPOSED IMPERVIOUS COVER TAX MAP 216, LOT 2: 23,743 Sq. Ft. (21.3%)
TOTAL PROPOSED IMPERVIOUS COVER TAX MAP 216, LOT 3: 28,783 Sq. Ft. (22.3%)
- 43) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CHANGES WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 44) FOR MORE INFORMATION ABOUT THIS SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 33 WAKEFIELD STREET, ROCHESTER, NH 03867. (603) 335-1338.

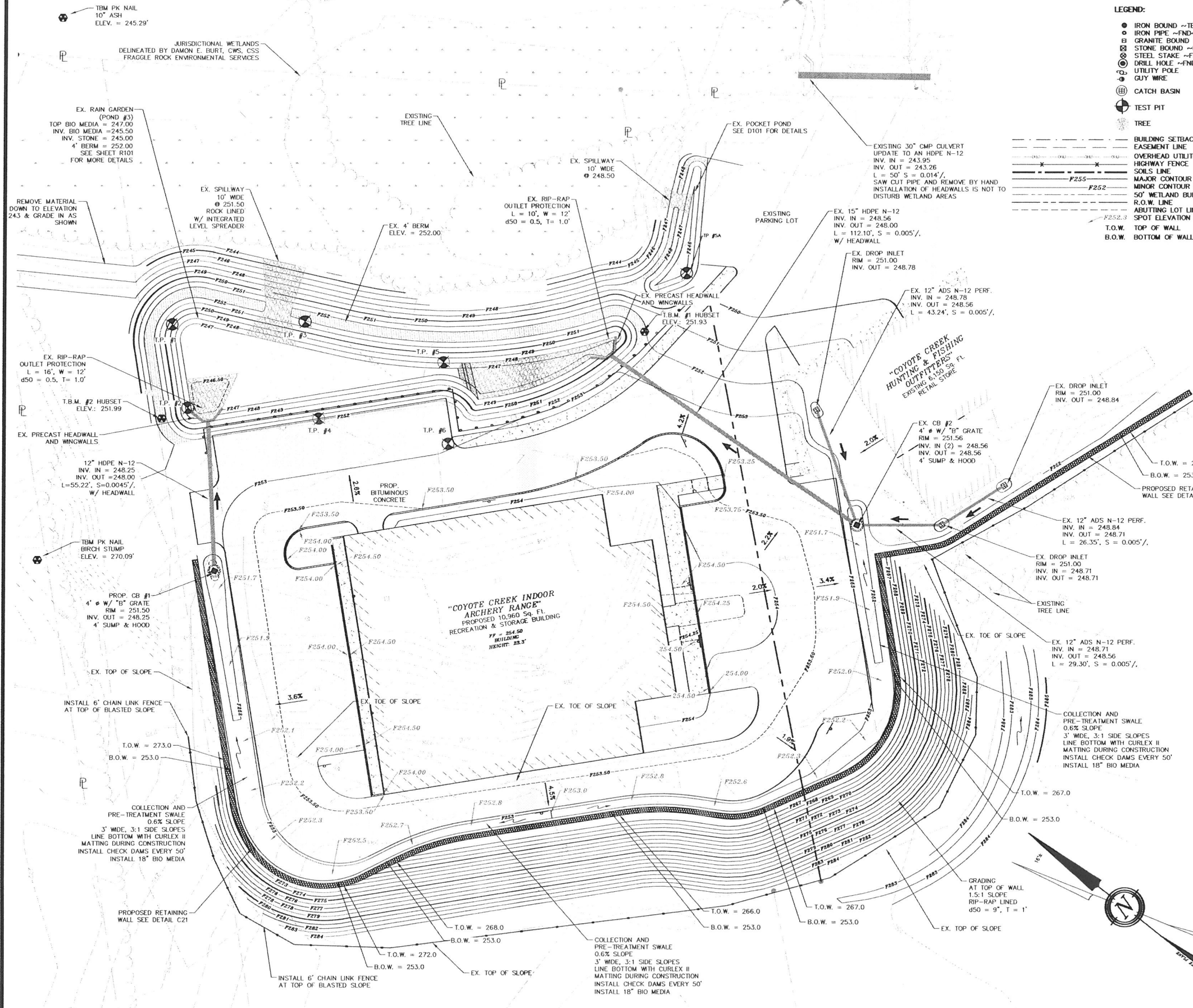
WAIVERS:
WIDTH OF DRIVE AISLE (10-E-3): PENDING

REVISION	DATE	DESCRIPTION
#1	12-4-18	

SITE PLAN
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

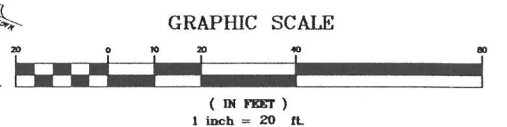
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: OCTOBER 9, 2018
FILE NO.: DB 2015 - 057





- LEGEND:
- IRON BOUND ~TBS~
 - IRON PIPE ~FND~
 - GRANITE BOUND ~FND~
 - ⊗ STONE BOUND ~FND~
 - ⊙ STEEL STAKE ~FND~
 - ⊕ DRILL HOLE ~FND~
 - ⊖ UTILITY POLE
 - ⊙ GUY WIRE
 - ⊕ CATCH BASIN
 - ⊙ TEST PIT
 - ⊙ TREE
- BUILDING SETBACK LINE
EASEMENT LINE
OVERHEAD UTILITIES
HIGHWAY FENCE
SOILS LINE
MAJOR CONTOUR LINE
MINOR CONTOUR LINE
50' WETLAND BUFFER
R.O.W. LINE
ABUTTING LOT LINES
SPOT ELEVATION
T.O.W. TOP OF WALL
B.O.W. BOTTOM OF WALL

- NOTES:
- 1.) THE INTENT OF THIS PLAN IS TO DEMONSTRATE THE GRADING, AND DRAINAGE FOR THE AMENDED SITE PLAN.
 - 2.) CURRENT OWNER: DAVID S. THAYER
22 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NH 03867
TAX MAP 216, LOT 2 & 3
 - 3.) THE PROJECT PARCELS ARE MAP 216, LOTS 2 & 3 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS.
 - 4.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 5.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 6.) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SEDIMENT AND EROSION CONTROLS.
 - 7.) ALL CATCH BASINS SHALL BE PRE-CAST H-20 LOADING AND SHALL BE EQUIPPED WITH DEEP SUMPS (4" MIN.) AND HOODS UNLESS OTHERWISE NOTED (SEE DETAILS). HOODS ARE TO BE "THE ELIMINATOR" BY KLEANSYSTEM. RIMS ARE TO BE NHDOT "B" STYLE AND SHALL BE SET FLUSH WITH FINISH GRADE, UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY ROCHESTER DPW. RIMS ABOVE FINISH GRADE WILL NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE REXUS, OR APPROVED EQUAL.
 - 8.) ALL DRAINAGE PIPE IS TO BE HDPE N-12 ASTM F2648. INDIVIDUAL PIPE SIZES ARE SPECIFIED.
 - 9.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
 - 10.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
 - 11.) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
 - 12.) ALL BASINS AND DRAINS ARE TO HAVE BOOTS INSTALLED ON ALL INLETS AND OUTLETS.
 - 13.) SNOW STORAGE IS NOT TO IMPEDE DRAINAGE.
 - 14.) IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATION. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
 - 15.) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
 - 16.) ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION. FILTREXX SOX IS PREFERRED OVER THE USE OF SILT FENCE. FENCING IS TO BE USED ON SITE ONLY AS REQ. AND DIRECTED BY THE SWPPP INSPECTOR.
 - 17.) SEE EROSION & SEDIMENT CONTROL PLAN FOR INLET PROTECTION DETAILS.
 - 18.) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA NPDES PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
 - 19.) UPON FINAL COMPLETION AND 85% STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SUMPS.
 - 20.) THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK, AS APPLICABLE.
 - 21.) ALL TREATMENT SWALES TO BE CONSTRUCTED SHALL HAVE 500 BOTTOMS.
 - 22.) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS, AS MAY BE APPLICABLE.
 - 23.) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND THE CITY ENGINEER SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
 - 24.) WRITTEN DIMENSION ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR IS TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - 25.) THIS PLAN SET ASSUMES A VERTICAL BLASTED FACE IS NOT Viable. A LOCK BLOCK RETAINING WALL IS PROPOSED TO CREATE THE NEARLY VERTICAL SECTION. IF DURING CONSTRUCTION THE APPLICANT/CONTRACTOR HIRES A GEO-TECHNICAL ENGINEER QUALIFIED TO DETERMINE STABILITY OF THE BLASTED SLOPE THIS RETAINING FEATURE MAY BE REMOVED WITH APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS. (603-335-7575) A 1.5:1 SLOPE IS PROPOSED AT THE TOP OF THIS WALL AND IS TO BE STABILIZED USING RIP-RAP.



GRADING PLAN LAND OF DAVID S. THAYER 22-24 FARMINGTON ROAD, ROUTE 11 ROCHESTER, NH 03867 TAX MAP 216, LOTS 2 & 3	
REVISED PER NO	DESCRIPTION
#1	12-4-18
REVISION	DATE

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE : 1 IN. EQUALS 20 FT. DATE : OCTOBER 9, 2018 FILE NO. : DB 2015 - 057	
STATE OF NEW HAMPSHIRE KENNETH A. BERRY No. 14263 LICENSED PROFESSIONAL ENGINEER	

SHEET 4 OF 16

SOILS & DRAINAGE:

CLB - GLOUCESTER FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES, HSG A, DISTURBED: K=17
 Jb-B - HINCKLEY LOAMY SAND, 3 TO 8 PERCENT SLOPES, DISTURBED: K=17
 L-B - LEICESTER-RIDGEBURY VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES, HSG A, DISTURBED: K=43
 SEE WEBSOIL USDA-NRCS
 ERODIBILITY FACTOR - K, CPESC MANUAL, ENVROCERT INTERNATIONAL INC.

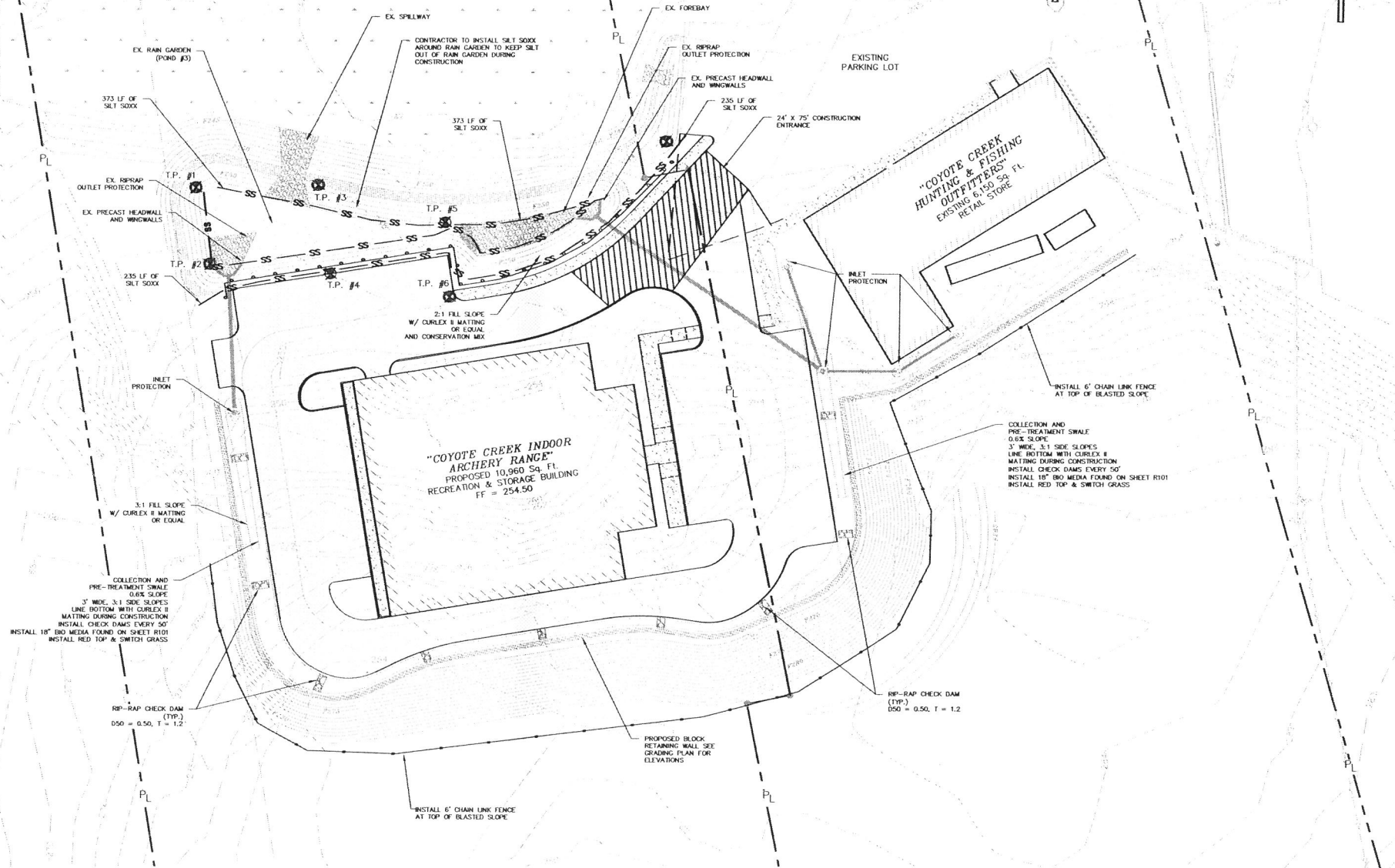
THE SOIL ERODIBILITY FACTOR (K) OF THE SOILS VARY FROM RELATIVELY LOW (K=0.17) TO RELATIVELY HIGH (K=43) CONTRACTOR TO BE AWARE OF THE SOIL PROFILES AND ENSURE THAT PROPER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TAKEN AT ALL TIMES. ANY DEWATERING REQUIREMENTS IN NEW HAMPSHIRE REQUIRE SPECIAL PROVISIONS IN ACCORDANCE WITH THE "CLARIFICATION OF SECTION 9.1.2 (STATE OF NEW HAMPSHIRE CONDITIONS) AND OTHER NH SPECIFIC INFORMATION FOR THE U.S. EPA 2012 NPDES CONSTRUCTION GENERAL PERMIT (CGP)" DATED MAY 3, 2012 INCLUDED IN THE SWPPP.

COVER MANAGEMENT DURING CONSTRUCTION FOR EXPOSED SOIL WILL INCLUDE HAY / STRAW APPLIED AT A RATE OF 2.0 TONS PER ACRE, TEMPORARY SEEDING OF ANNUAL RYE GRASS, AND PERMANENT SEEDING AT THE EARLIEST OPPORTUNITY. SEE ADDITIONAL REQUIREMENT FOR STABILIZATION ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS, E-101 AND E-102.

THE CONSTRUCTION SCHEDULE WILL BE MANAGED SO THAT ALL STORMWATER STRUCTURES WILL BE BUILT AND STABILIZED PRIOR TO RECEIVING SURFACE WATER RUNOFF. CONTRACTOR TO BE RESPONSIBLE FOR ALL DIVERSIONS DURING CONSTRUCTION AND FOR INTERIM SEDIMENT AND EROSION CONTROL MEASURES.

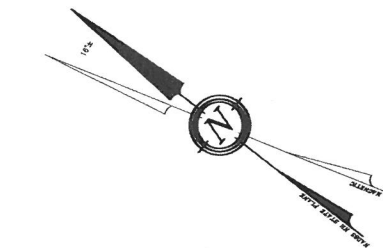
NOTES:

- 1.) THE INTENT OF THIS PLAN SET IS TO DEMONSTRATE THE EROSION AND SEDIMENT CONTROL DESIGN OF THE AMENDED SITE AT 22 FARMINGTON ROAD.
- 2.) CURRENT OWNER: DAVID S. THAYER
22 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NH 03667
TAX MAP 216, LOT 2 & 3
- 3.) THE PROJECT PARCELS ARE MAP 216, LOTS 2 & 3 OF THE CITY OF ROCHESTER TAX ASSESSOR'S MAPS
- 4.) THE PROJECT PARCELS CONTAIN 111,634.4 Sq. Ft. (2.56 Ac.) AND 129,173.3 Sq. Ft. (2.97 Ac.) OF LAND, RESPECTIVELY.
- 5.) SEE NOTE SHEET FOR EROSION AND SEDIMENT CONTROL NOTES
- 5.) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 6.) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 7.) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 8.) UPON FINAL COMPLETION AND 85% STABILIZATION, THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS. SEDIMENT CONTROL PRACTICES REMOVED AND DISPOSED OF PROPERLY, AND ANNUAL MAINTENANCE PERFORMED ON ALL DRAINAGE PRACTICES.
- 9.) EROSION AND SEDIMENT CONTROL INSPECTIONS TO BE CONDUCTED ONCE PER EVERY SEVEN DAYS AND AT AN INCREASED FREQUENCY INCLUDING WITHIN 24-HOURS OF A 0.25 INCH RAIN EVENT. INSPECTIONS TO BE CONDUCTED BY A "QUALIFIED PERSON" AS DEFINED BY EPA CGP 4.1.1 AND INSPECTION REPORTS SUBMITTED TO THE CITY OF ROCHESTER, NH, ENGINEERING DEPARTMENT WITHIN 24 HOURS IN ACCORDANCE WITH CGP 4.1.7 AND MAINTAINED BY THE OWNER FOR A PERIOD OF THREE YEARS AFTER THE NOTICE OF TERMINATION (NOT) IS SUBMITTED. SEE ALSO CITY OF ROCHESTER ADDITIONAL INSPECTION REQUIREMENTS BELOW.

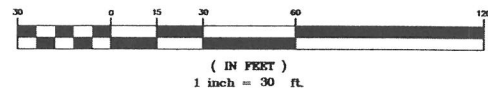


LEGEND:

- (R) RAIN GARDEN BIO-MEDIA PROTECTION
- (P) PERIMETER CONTROL
- (C) RESIDENTIAL/ROADWAY CONSTRUCTION
- (I) IRON PIPE (FND)
- (B) IRON BOUND (FND)
- (R) REBAR (FND)
- (U) UTILITY POLE
- (G) GUY WIRE
- (W) WELL
- (B) BENCHMARK
- (C) CONIFEROUS TREE
- (D) DECIDUOUS TREE
- (S) SILT FENCE
- (F) FILTERED SILT/SOIL TREE LINE



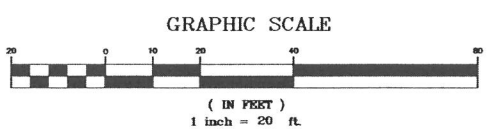
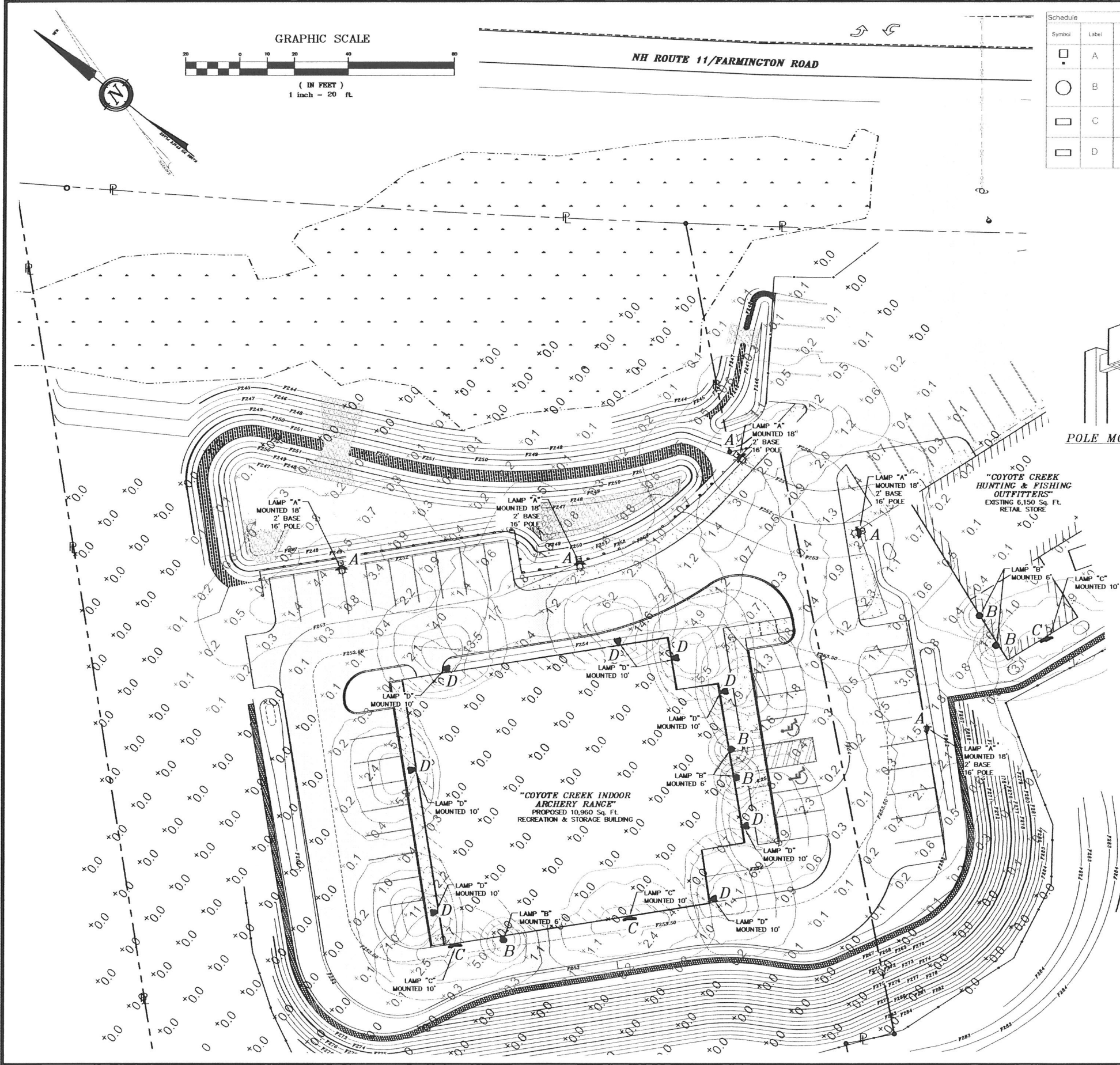
GRAPHIC SCALE



EROSION AND SEDIMENT CONTROL PLAN
 LAND OF
 DAVID S. THAYER
 22-24 FARMINGTON ROAD, ROUTE 11
 ROCHESTER, NH 03667
 TAX MAP 216, LOTS 2 & 3

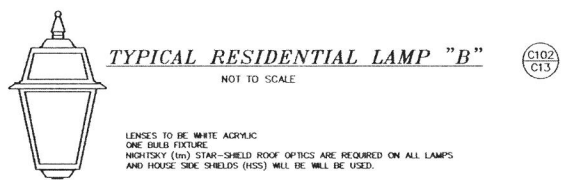
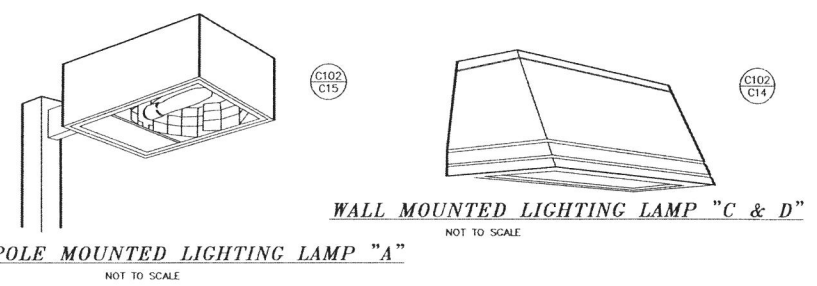
BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : 1 IN. EQUALS 30 FT.
 DATE : OCTOBER 9, 2018
 FILE NO. : DB 2015 - 057





Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	A	5	KSE1 100M R3	ARM MOUNTED FIXTURE WITH PREMIUM SEGMENTED OPTICS MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 100-WATT CLEAR E-17 METAL HALIDE HORIZONTAL POSITION	1	8500	0.81	140
○	B	5	ODSL10 SRC	CRAFTSMAN WALL MOUNTED SMALL DECORATIVE LANTERN, ONE LAMP 13W SPIRAL COMPACT FLUORESCENT, WHITE GLASS DIFFUSER 4.25\" DIA. X 8.65\" HIGH, ELECTRONIC BALLAST	ONE 13\" WATT T4 SPIRAL COMPACT FLUORESCENT, VERTICAL BASE UP POSITION	1	900	1	12.6
□	C	3	WST 100M WT	ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS, CLEAR LAMP MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 100-WATT CLEAR ED-17 METAL HALIDE HORIZONTAL POSITION	1	8500	0.81	140
□	D	8	WST 150M FT (PULSE START)	ARCHITECTURAL SCONCE WITH FORWARD THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS, CLEAR LAMP MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 150-WATT CLEAR ED17 PULSE START METAL HALIDE, HORIZONTAL POS	1	12900	0.81	185

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	14.6 fc	0.0 fc	N/A	N/A



9403 STATE SERIES

6-289

Lanterns

SPECIFICATIONS

GENERAL
The 9403TF State series is a historical four-sided fixture. It consists of a decorative cast curved roof, a cast cage with acrylic lenses and a lift hinge access door and/or hinged roof for redecking. The roof shall be appointed with a decorative cast finial.

POST FITTER
The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to fit a 1\"/>

FIXTURE HOUSING
The 9403 fixture shall be 15 1/2\" wide and the overall height shall be 36\". It shall be made of heavy wall cast aluminum, 356 alloy, and lenses shall be made of vandal resistant acrylic, available in clear (CA), clear seeded (CSA), clear textured (CTA), prismatic (PA), and white (WA) acrylic. The fixture cage shall be cast in one piece. The Model 9403 shall be appointed with a cast square cupola house and roof finial. The Model 9403FF shall be appointed with a decorative cast 6\"/>

OPTICAL OPTIONS
Refractors shall be 6\" diameter biconvex glass with an I.E.S. Type 3 (RE3) or Type 5 (RE5) distribution. It shall be secured to the socket stem with 1/8\" plated steel threaded pipe nipple and rest on a cast aluminum holder with anti-shock gasket. The refractor will be secured to cast hold-er with a quarter-inch internal aluminum T-slot ring, for ease of maintenance.

The NIGHTSKY® OPTI-SHIELD® Louver Optic System (LOS) shall be a multi-tier reflector (continued on back page)

REVISION
#1
12-4-18
DATE

REVISOR
#1
12-4-18
DATE

DESCRIPTION
REVISED PER NOD

LIGHTING PLAN
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057

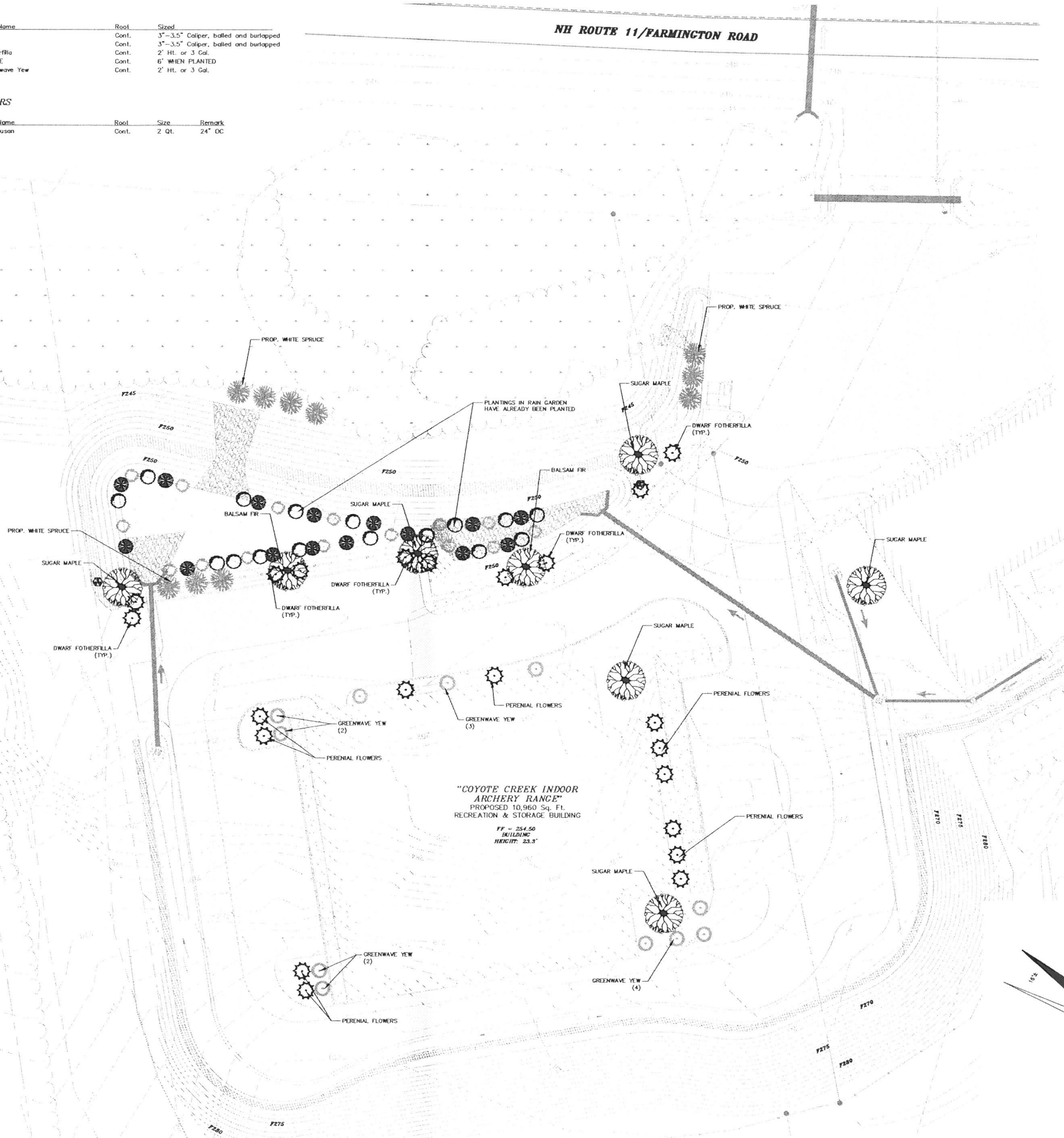
SHEET 7 OF 16

TREES AND SHRUBS

Qty	Botanical Name / Common Name	Root	Size
2	abies balsamea / BALSSAM FIR	Cont.	3"-3.5" Caliper, balled and burlapped
6	acer saccharum / Sugar Maple	Cont.	3"-3.5" Caliper, balled and burlapped
10	Fotherella gardenii / Dwarf Fotherella	Cont.	2' Ht. or 3 Cal.
10	PRICA glauca / White SPRUCE	Cont.	6" WHEN PLANTED
11	Taxus media "Greenwave" / Greenwave Yew	Cont.	2' Ht. or 3 Cal.

PERENNIALS & GROUND COVERS

Qty	Botanical Name / Common Name	Root	Size	Remark
68	Rudbeckia fulgida / Black-Eyed Susan	Cont.	2 Qt.	24" OC

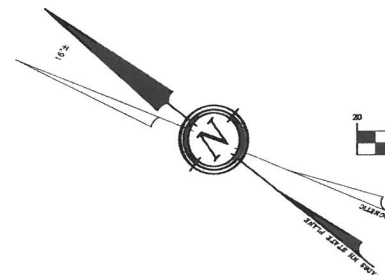


NH ROUTE 11/FARMINGTON ROAD

"COYOTE CREEK INDOOR
ARCHERY RANGE"
PROPOSED 10,960 Sq. Ft.
RECREATION & STORAGE BUILDING
FF = 254.50
INCLDING
HEIGHT: 23.5'

NOTES:

- 1.) CURRENT OWNER: DAVID S. THAYER
22 FARMINGTON ROAD (ROUTE 11)
ROCHESTER, NH 03867
TAX MAP 216, LOT 2 & 3
- 2.) ROCHESTER TAX MAP 29, LOT 2 & 3
- 3.) S.C.R.D BOOK 4152, PAGE 849 & BOOK 4503, PAGE 288
- 4.) CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 5.) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- 6.) PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 7.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- 8.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 9.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 10.) ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 11.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUAL) AROUND EXISTING TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SNOW STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE DRIP LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 12.) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
- 13.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 4" CLEAN SHREDDED AGED PINEBARK
- 14.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- 15.) MAINTENANCE OF NEW PLANTINGS AND LAWNS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE GUARANTEED FOR AND ADDITIONAL YEAR FROM TIME OF INSTALLATION.
- 16.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION MEASURES AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 17.) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE GUYING MATERIAL ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 18.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MOWINGS FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM UNIFORM 75% CATCH OF TURF IS REQUIRED FOR ACCEPTANCE.
- 19.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 20.) SHRUBS OR TREES WHICH DIE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 21.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 22.) EVERGREEN TREES ARE TO BE 6' TALL AT PLANTED AND DECIDUOUS TREES ARE TO BE 3-3.5" CALIPER 6" ABOVE ROOT BALL.
- 23.) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 24.) PLANT-PIT BACK-FILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK-FILL WHEN AVAILABLE.
- 25.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH LOAM AND SEED.
- 26.) TOPSOIL WILL BE TESTED FOR FERTILIZATION REQUIREMENTS, AND SLOW RELEASE ENVIRONMENTALLY FRIENDLY FERTILIZER WILL BE APPLIED AT THE RECOMMENDED RATES.
- 27.) ALL DISTURBED WETLAND BUFFER AREAS, EXCEPT FOR AREAS THAT ARE PART OF THE DRAINAGE SYSTEM, ARE TO BE RESEEDING WITH A CONSERVATION SEED MIX AND ONLY MOWED TWICE PER YEAR.



GRAPHIC SCALE



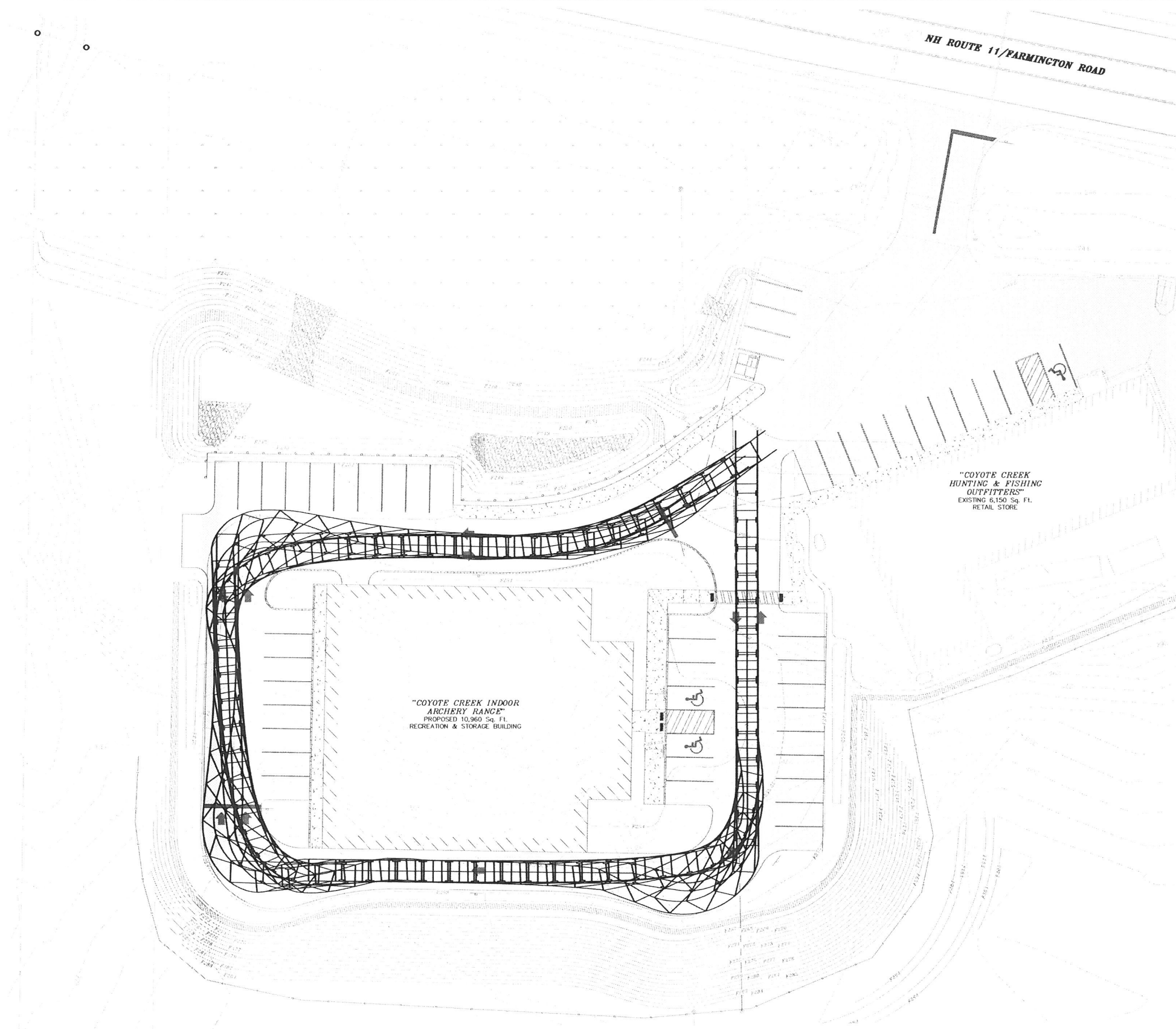
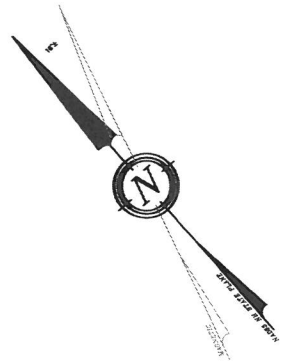
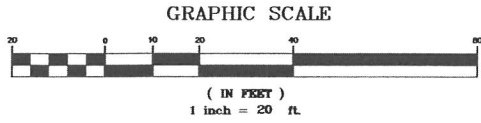
(IN FEET)
1 inch = 20 ft

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

LANDSCAPING PLAN
OF
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057





"COYOTE CREEK INDOOR
ARCHERY RANGE"
PROPOSED 10,960 Sq. Ft.
RECREATION & STORAGE BUILDING

"COYOTE CREEK
HUNTING & FISHING
OUTFITTERS"
EXISTING 6,150 Sq. Ft.
RETAIL STORE

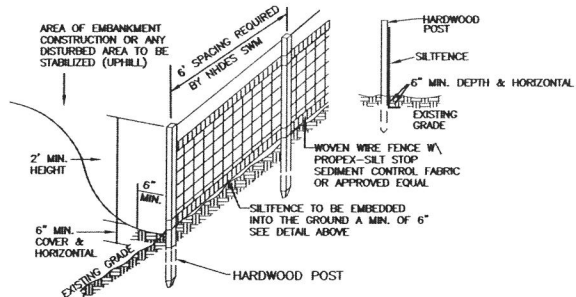
BERRY SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057



ROCHESTER FIRE TRUCK TURNING TEMPLATE
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP #16, LOTS 2 & 3

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

E1

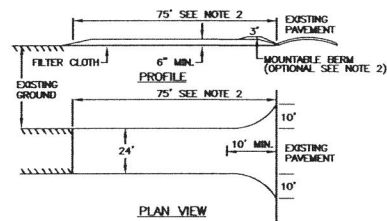


SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE MAINTENANCE

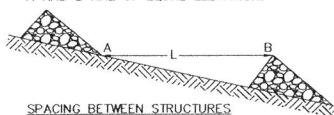
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL
NOT TO SCALEE5 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

STONE CHECK DAM
NOT TO SCALE

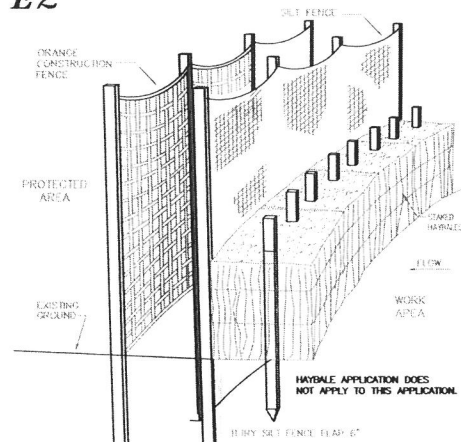
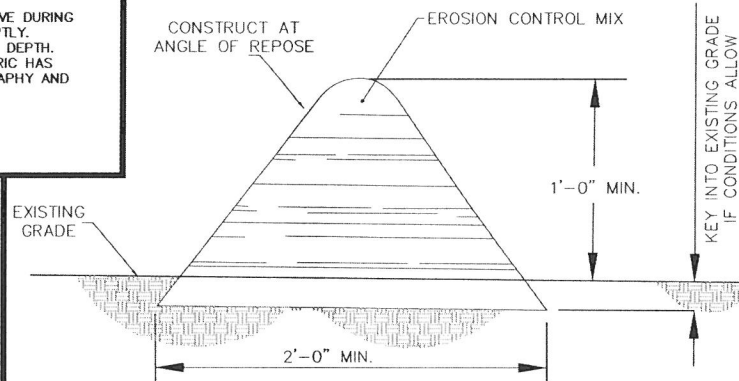
THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION.



1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
3. THE MAXIMUM HEIGHT OF THE DAM SHOULD BE TWO FEET.
4. THE CENTER OF THE DAM SHOULD BE AT LEAST SIX INCHES LOWER THAN THE OUTER EDGES.
5. THE MAXIMUM SPACING IS AS SHOWN ON THE PROJECT SITE PLANS.
6. CHECK DAMS WILL NOT BE USED IN A FLOWING STREAM.
7. TEMPORARY CHECK DAMS WILL BE REMOVED ONCE THE SWALE OR DITCH IS DETERMINED STABLE.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CHECK DAMS, PAGE 114.

STONE GRADE STABILIZATION STRUCTURE

E2

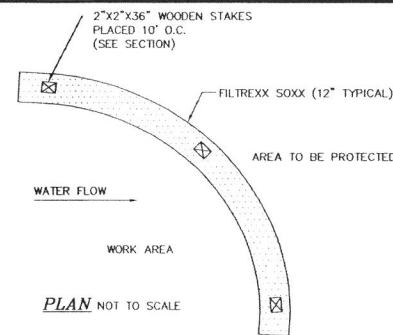
SILT FENCE/HAYBALE BARRIER DETAIL
THIS METHOD TO BE USED ALONG THE REAR OF THE PROPERTY
NOT TO SCALEE6 EROSION CONTROL MIX BERM
NOT TO SCALE

EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK OR EQUIVALENT MANUFACTURED PRODUCTS.
5. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
6. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
7. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
8. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
9. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
10. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E9

E10

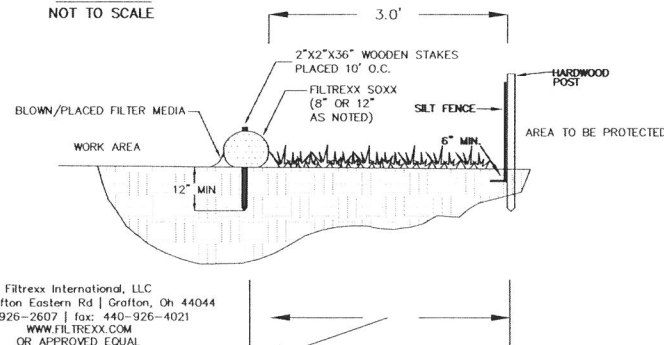


PLAN NOT TO SCALE

NOTES

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILT/ROCK MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILT/ROCK COMPOST/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
7. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
8. TO BE CONSTRUCTED IAW FILTREXX, SECTION 1-EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL

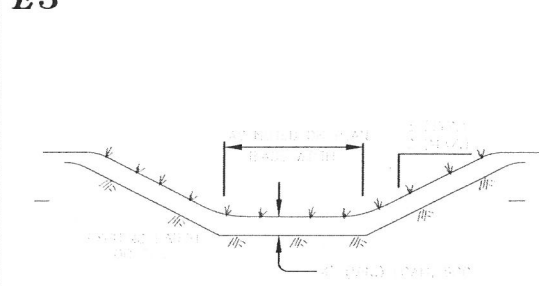
Filtrex International, LLC
35481 Grafton Eastern Rd | Grafton, Oh 44044
440-926-2607 | fax: 440-926-4021
WWW.FILTREXX.COM
OR APPROVED EQUAL

FILTREXX SEDIMENT CONTROL
NOT TO SCALE

SECTION NOT TO SCALE

TO BE CONSTRUCTED IAW NH SWM #2 CHAPTER 4, #5
TREATMENT SWALES, PAGE 123.

E3

SWALE
NOT TO SCALE

INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.

MOW GRASS ANNUALLY TO A DEPTH OF 4".

INSTALL STABILIZATION MATTING DURING CONSTRUCTION

E7

DEFINITION OF STABLE:

PER ENV-WQ 1500 ALTERATION OF TERRAIN

1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
3. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

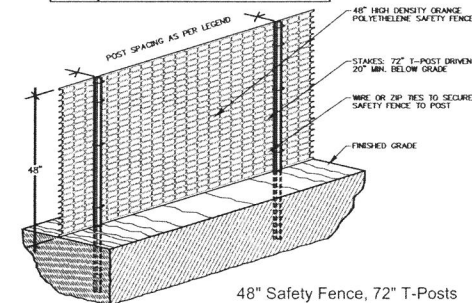
5. HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
6. DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (7) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN FIFTY (50) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E4

CONSTRUCTION SAFETY FENCE
NOT TO SCALE

LEGEND

SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



48" Safety Fence, 72" T-Posts

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE Drip LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

E8 TEMPORARY EROSION CONTROL MEASURES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA (SEE SEED SPECIFICATIONS THIS SHEET).
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS, AT ANY ONE TIME, NO MORE THAN 5 ACRES, (217,800 Sq. Ft.) WILL BE DISTURBED.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA CDP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY B&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.5" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
10. DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
 - 11.1 BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - 11.2 A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - 11.3 A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
 - 11.4 OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

E11

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

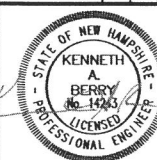
d50 SIZE=	0.5	FEET	6	INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM			TO
100%	9			12
85%	8			11
50%	6			9
15%	2			3

SEDIMENT AND EROSION CONTROL DETAILS

DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP #16, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

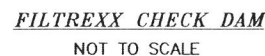
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DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057



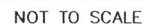
E-101

SHEET 10 OF 16

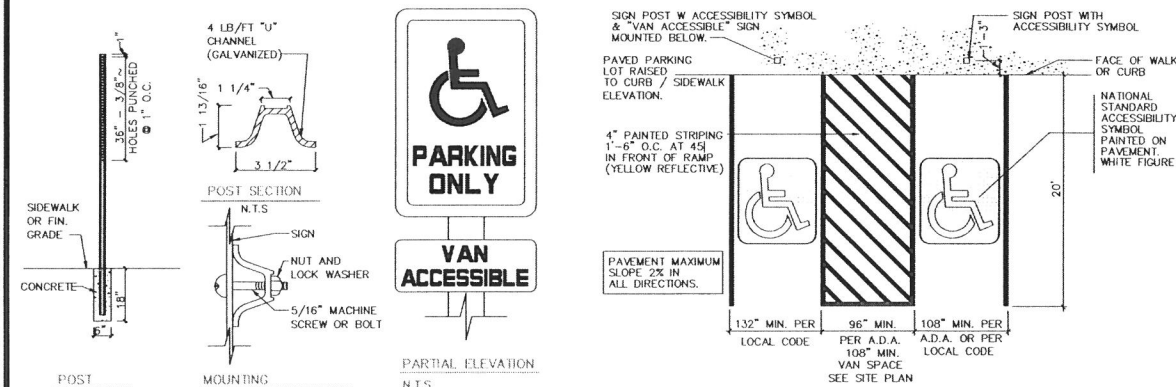
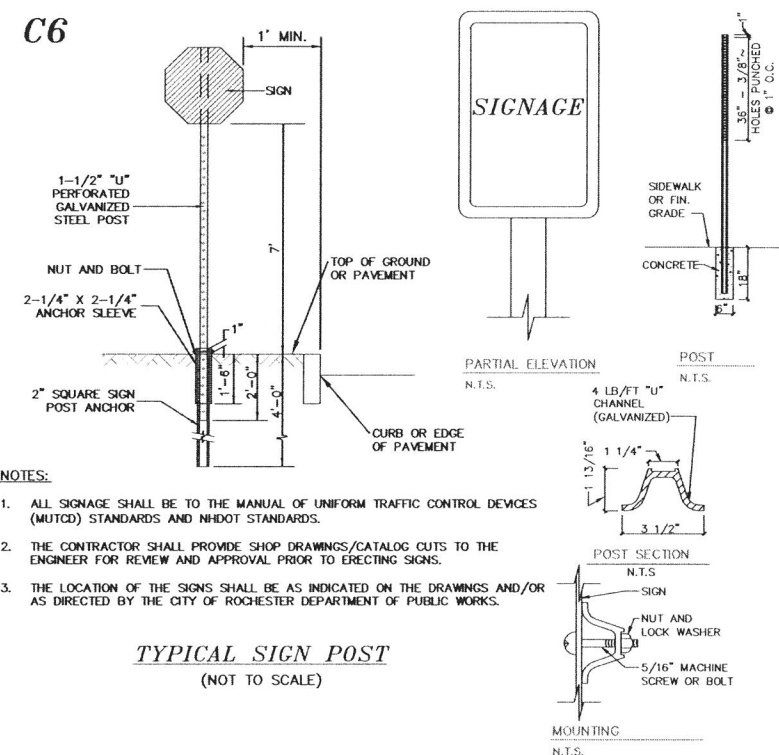
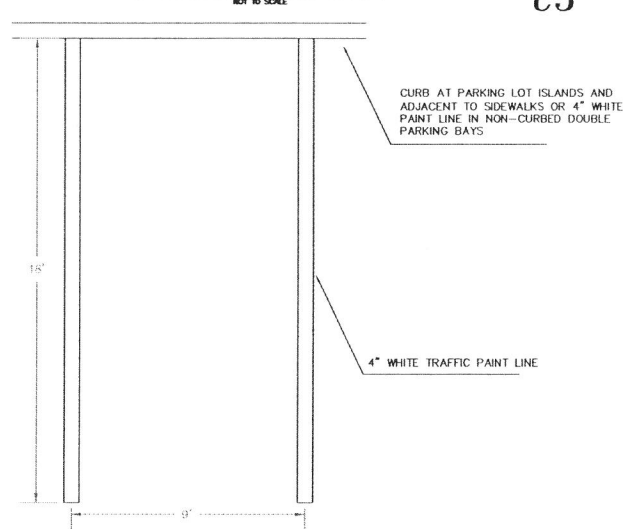
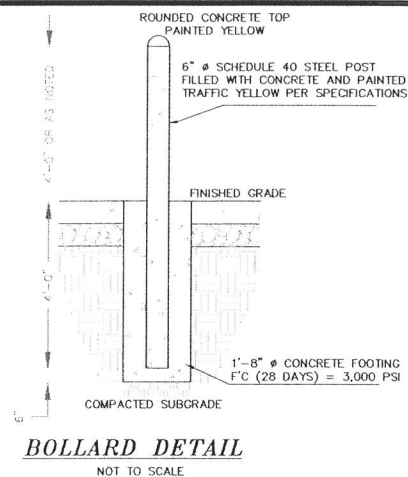
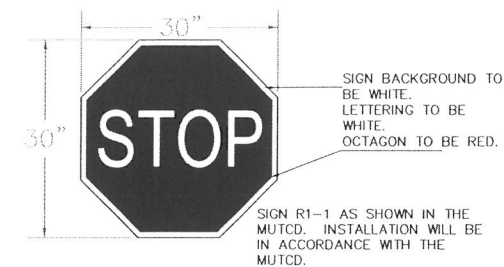
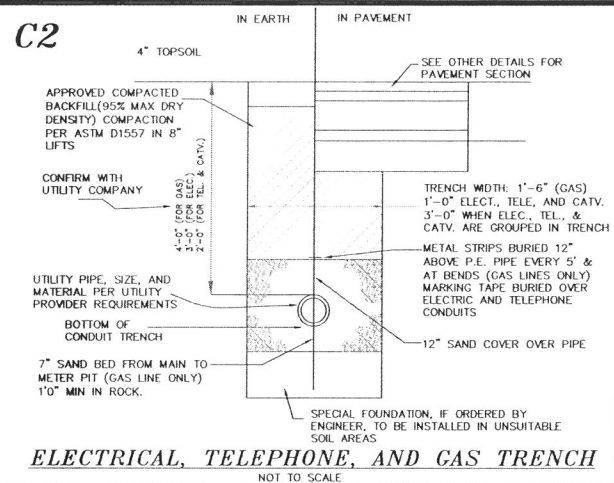
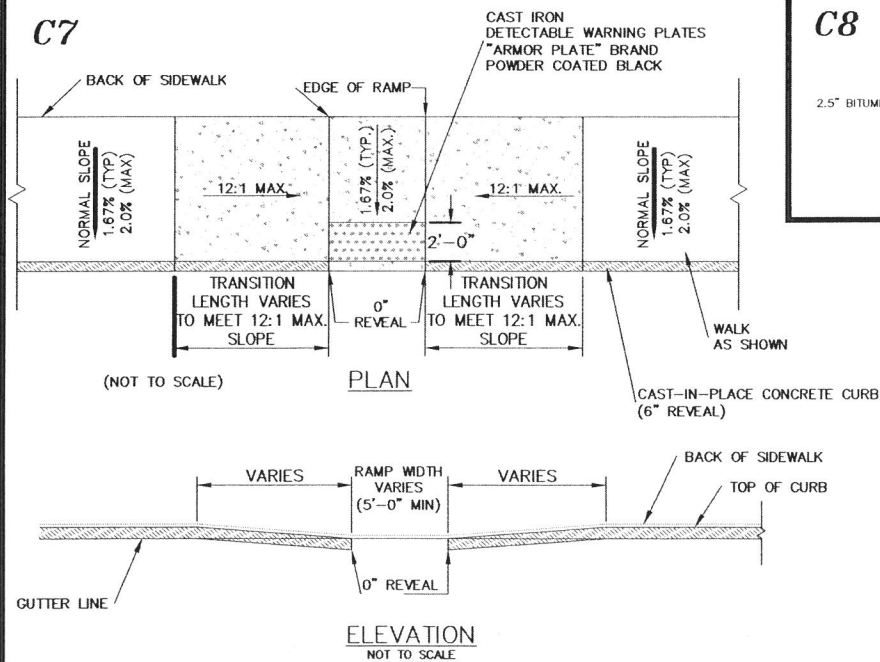
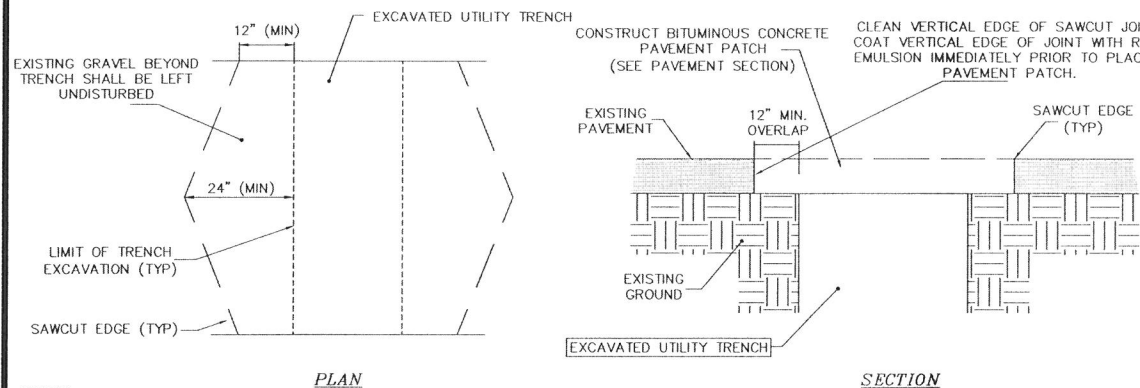
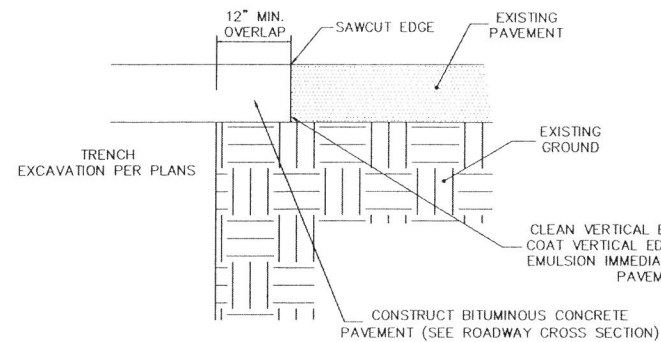




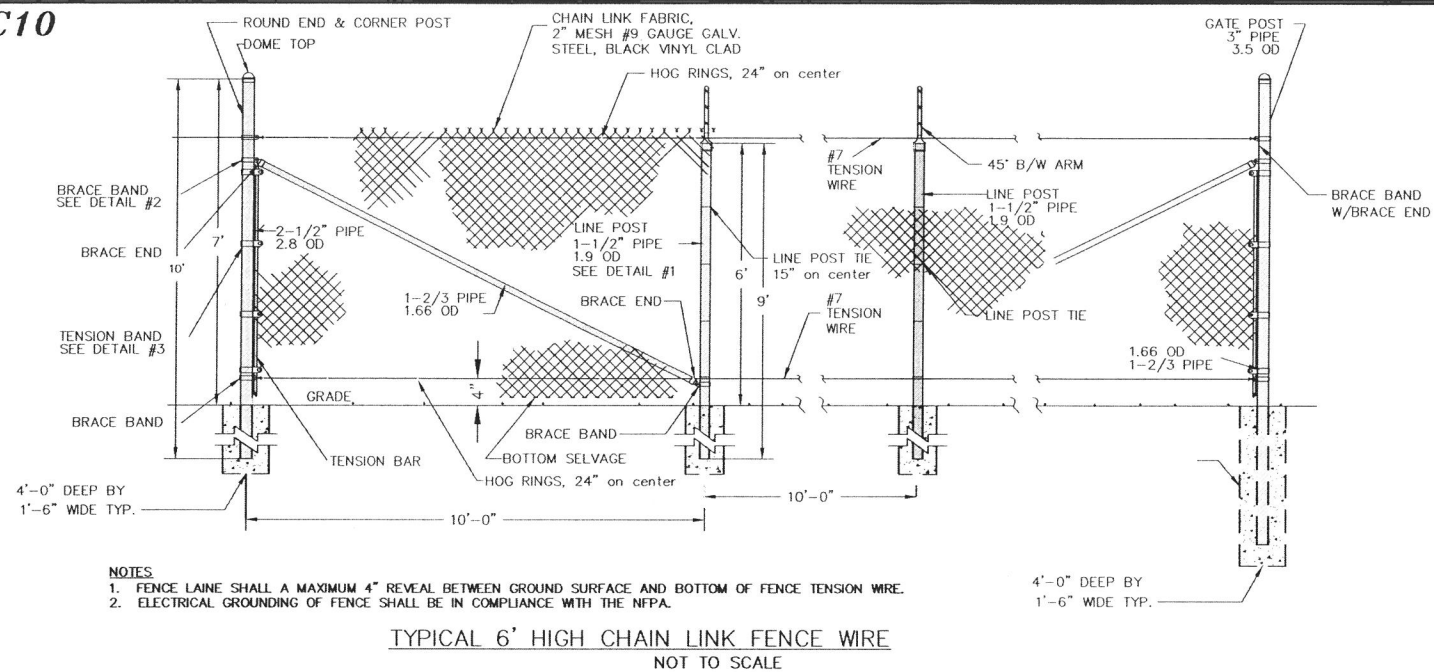




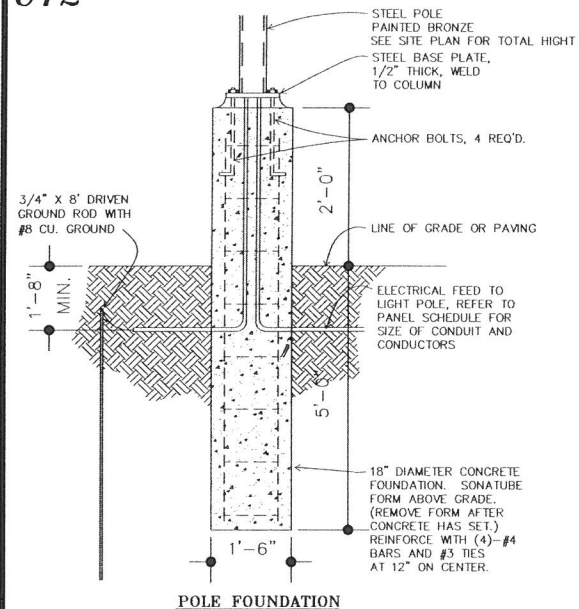




C10



C12

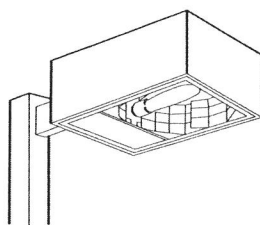


LIGHT BASE DETAIL
SCALE: NONE



TYPICAL RESIDENTIAL LAMP "B"
NOT TO SCALE

WALL MOUNTED LIGHTING LAMP "C & D"
NOT TO SCALE



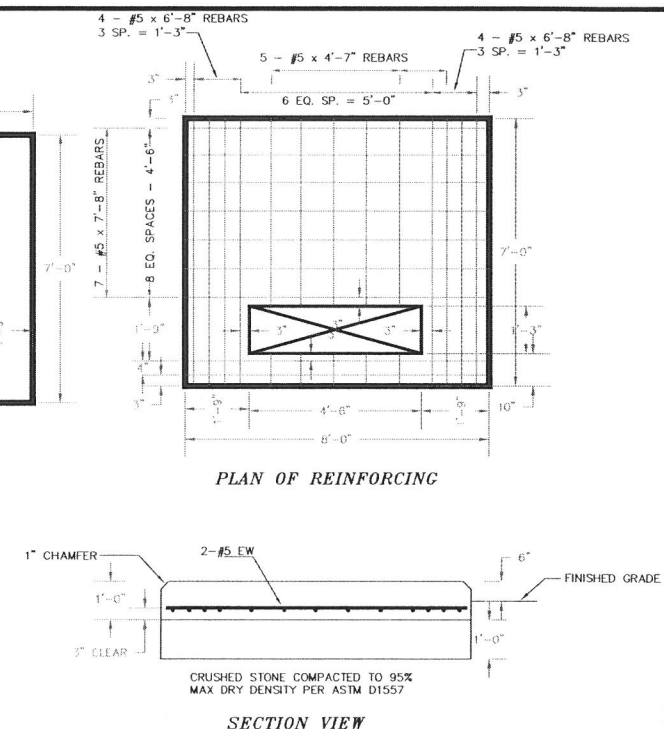
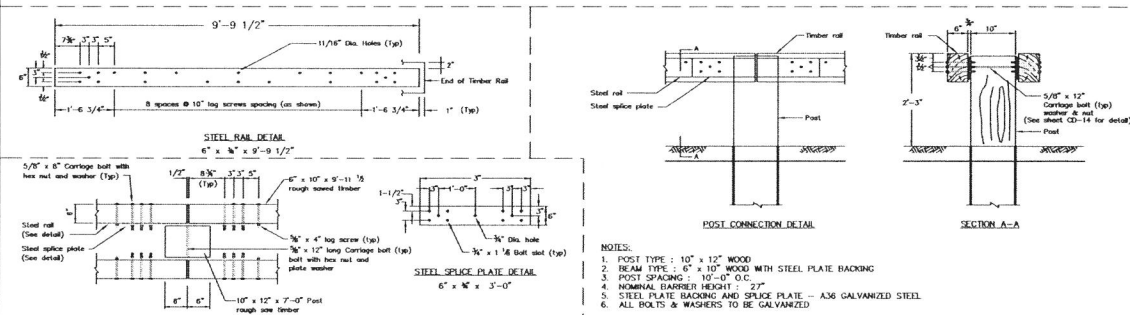
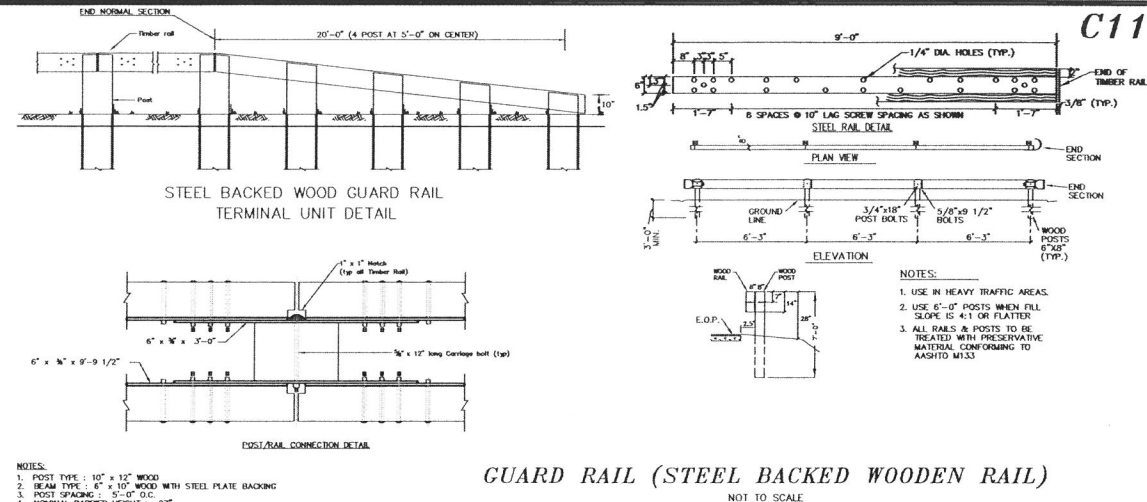
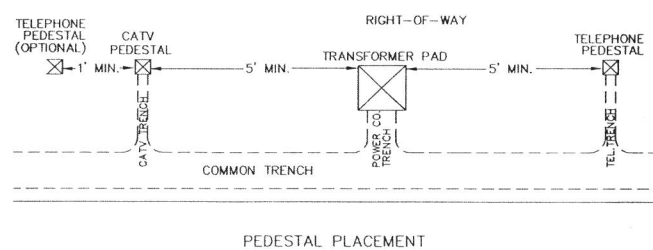
POLE MOUNTED LIGHTING LAMP "A"
NOT TO SCALE

C13

C14

C15

C16



NOTES:

- CONFIRM SIZE WITH ELECTRIC COMPANY BEFORE CONSTRUCTION.
- USE LOCAL ELECTRIC COMPANY DETAILS AS REQUIRED.

TRANSFORMER PAD DETAIL
NOT TO SCALE

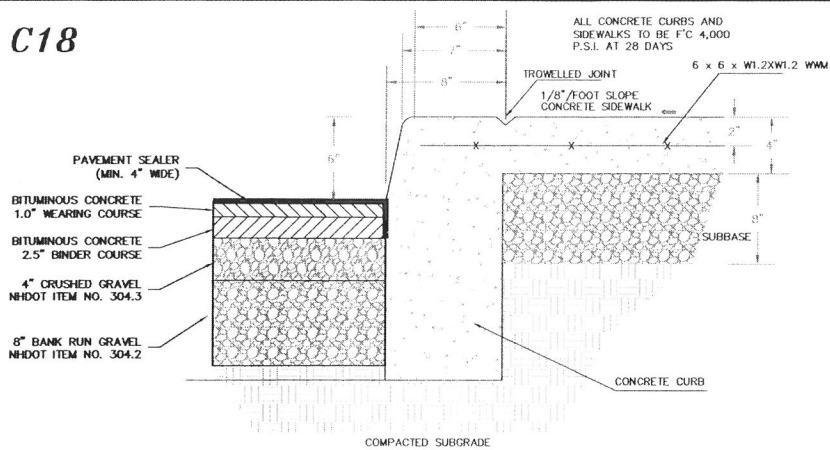
C11

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

CONSTRUCTION DETAILS LAND OF DAVID S. THAYER 22-24 FARMINGTON ROAD, ROUTE 11 ROCHESTER, NH 03867 TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603) 332-2863 SCALE: AS MARKED DATE: OCTOBER 9, 2018 FILE NO.: DB 2015 - 057

C18



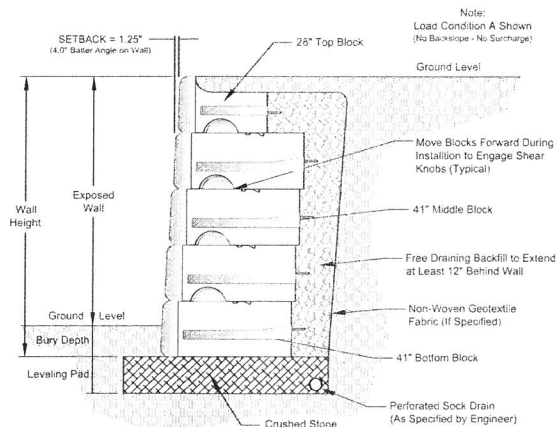
CURB DETAIL WITH MONOLITHIC SIDEWALK
NOT TO SCALE

C20

- NOTES:
- 1.) THE PROPOSED APPLICATION FOR THIS LOCK BLOCK OR EQUAL (AS DETERMINED BY THE DESIGN ENGINEER WITH APPROVAL BY DEPARTMENT OF PUBLIC WORKS (BS&E 603-332-2863) (DPW 603-335-7575) IS FOR A WALL THAT RANGES IN HEIGHT FROM 13 FEET TO 20 FEET IN HEIGHT.
 - 2.) USE THE 41" BOTTOM BLOCK TO INSTALL THE FIRST COURSE. NOTE EMBEDMENT REQUIREMENT. COURSE DEPTH IS 1.5'
 - 3.) USE 41" MIDDLE BLOCK FOR MIDDLE ROWS, APPROXIMATELY 7 COURSES DEPENDING ON WALL HEIGHT.
 - 4.) USE 41" TOP BLOCK ALONG TOP OF WALL. NOTE WALL DROPS ARE TO BE FULL BLOCK DEPTHS.
 - 5.) USE 41" HALF BLOCKS FOR RADIAL TURNS AND END SECTIONS.
 - 6.) THE WALL MANUFACTURER TYPICALLY PROVIDES WALL PROFILE AND BLOCK COUNT TO THE CONTRACTOR AS REQUIRED FOR CONSTRUCTION. THIS IS TO BE REVIEWED BY BOTH DPW AND DESIGN ENGINEER FOR CORRELATION WITH PROJECT SITE PLANS.

Typical Gravity Wall
with 41" Blocks

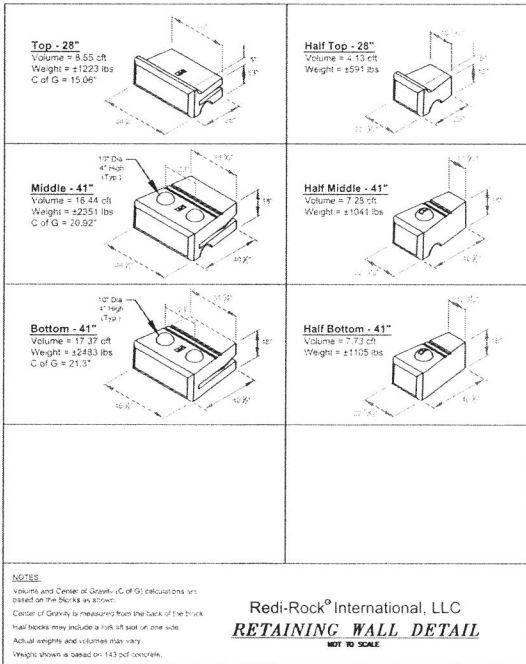
No Scale



See Redi-Rock.com for Detailed
Section Drawings of Each Condition
Shown in the Design Charts

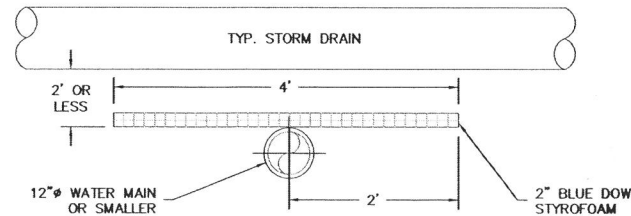
NOTE: RETAINING WALL TO BE DESIGNED BY A LICENSED
PROFESSIONAL STRUCTURAL ENGINEER.

41" SERIES BLOCKS



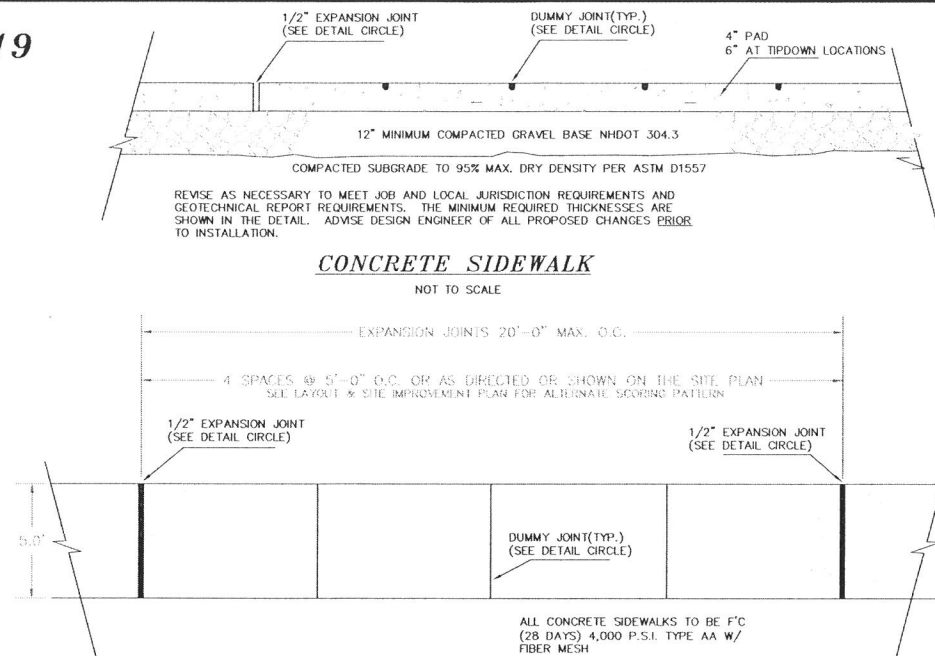
Redi-Rock® International, LLC
RETAINING WALL DETAIL
NOT TO SCALE

C23



INSULATE WATER PIPE WHERE CROSSING UNDER CULVERT

C19

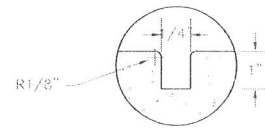


CONCRETE SIDEWALK

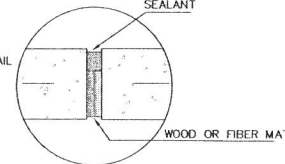
NOT TO SCALE

NOTES:

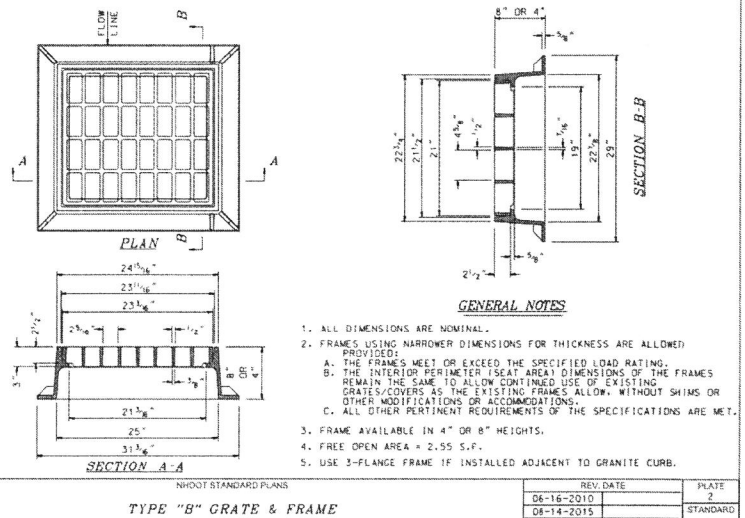
- 1.) PROVIDE EXPANSION JOINT MATERIAL WHERE CURB RAMP ADJOINS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER PLUS SEALANT FLUSH WITH ADJACENT CONCRETE SURFACE.
- 2.) SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
- 3.) PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMP.
- 4.) CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK PITCH.
- 5.) WHENEVER POSSIBLE, CONSTRUCT THE TRANSITION SLOPE FROM THE CURB RAMP AND FLARE SIDES TO ADJOINING SURFACES WITH A GRADUAL CURVE RATHER THAN AN ABRUPT ANGLE.



EXPANSION JOINT DETAIL
(N.T.S.)



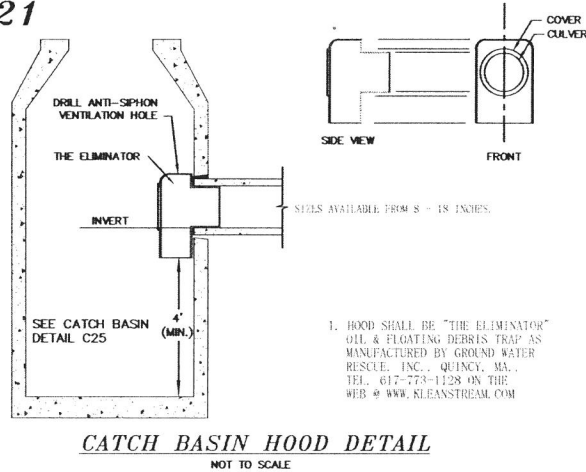
C22



GENERAL NOTES

1. ALL DIMENSIONS ARE NOMINAL.
2. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
 - A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 - B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING CRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 - C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
3. FRAME AVAILABLE IN 4" OR 8" HEIGHTS.
4. FREE OPEN AREA = 2.95 S.F.
5. USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.

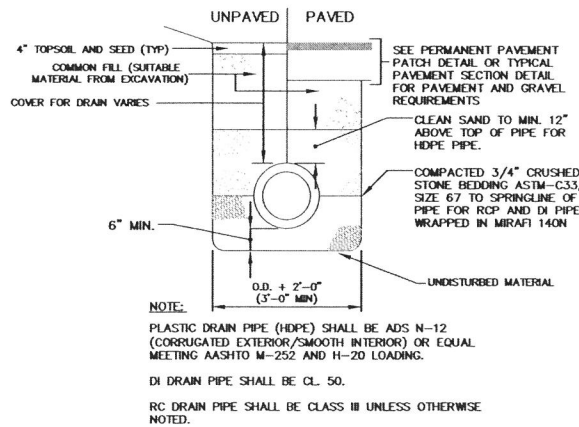
C21



CATCH BASIN HOOD DETAIL

NOT TO SCALE

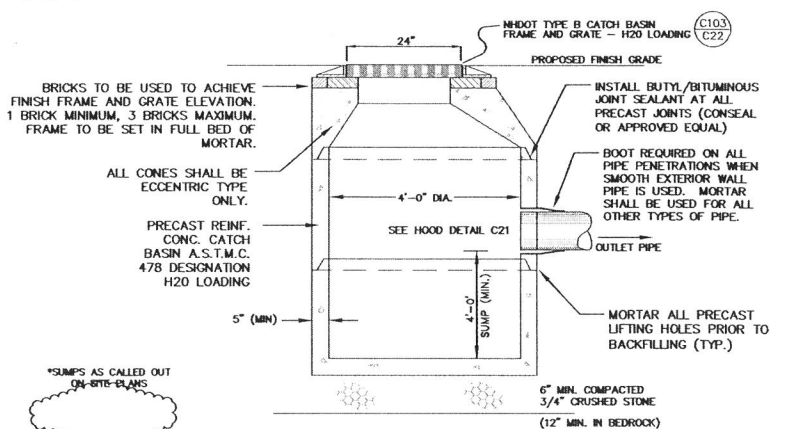
C24



TYPICAL DRAIN PIPE TRENCH

NOT TO SCALE

C25



CATCH BASIN DETAIL

NOT TO SCALE

C-103

REVISED PER NOD
#1 12-4-18

REVISION
DATE

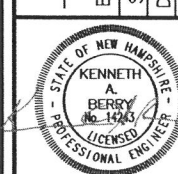
CONSTRUCTION DETAILS
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : AS MARKED

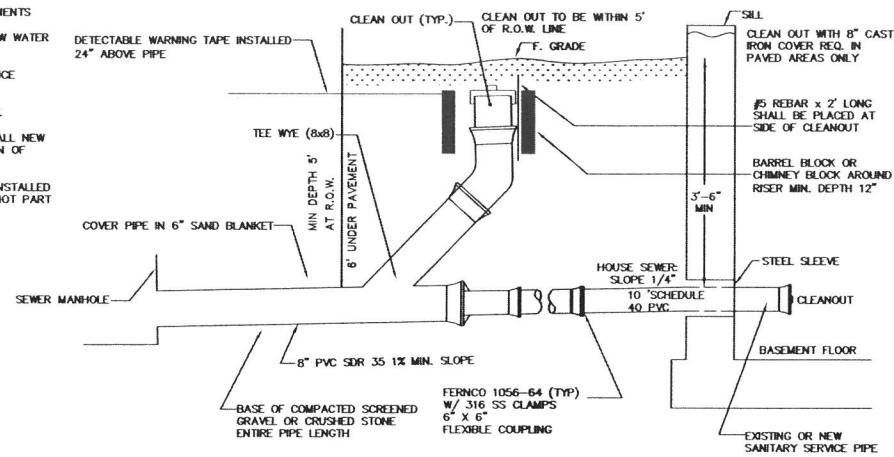
DATE : OCTOBER 9, 2018

FILE NO. : DB 2015 - 057

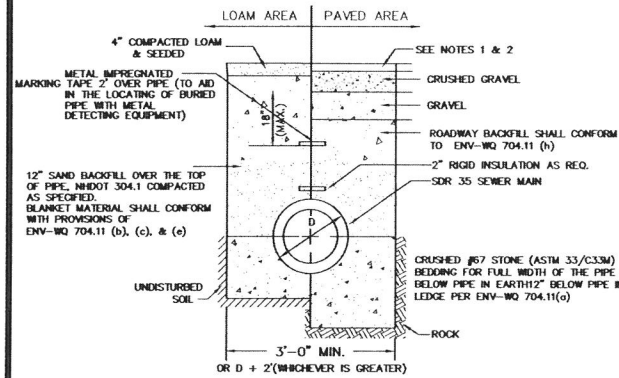


U1

- 1.) SEE DETAILS FOR SERVICE CONNECTION REQUIREMENTS
- 2.) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE.
- 3.) CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION.
- 4.) REBAR SHALL BE PLACED AT SIDE OF CLEANOUT.
- 5.) CLEANOUT SHALL BE USED TO PLUG AND TEST ALL NEW LATERALS WITH MINIMAL INTERRUPTION TO OPERATION OF HOMEOWNER SANITARY SYSTEM
- 6.) CLEANOUT RISER PIPE AND FITTINGS SHALL BE INSTALLED AT THE TIME OF RESIDENTIAL CONNECTION, AND IS NOT PART OF ROAD CONSTRUCTION.



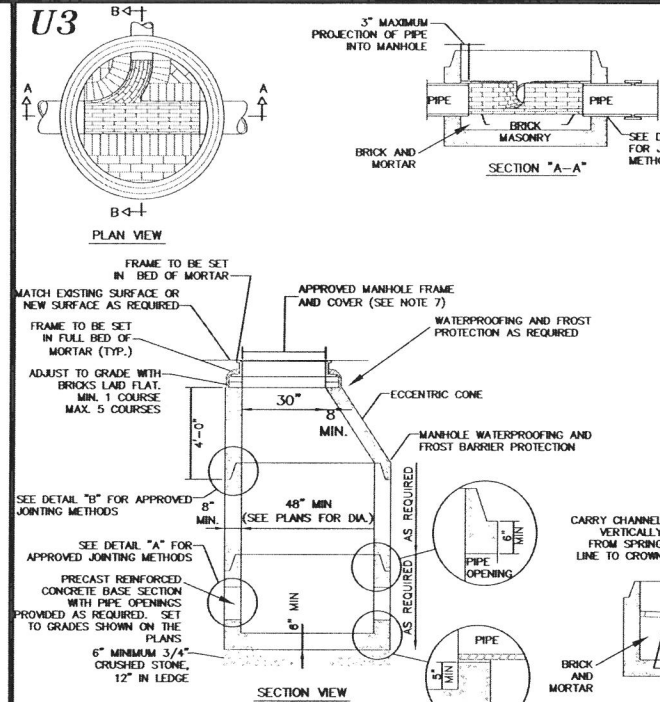
U2



- NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

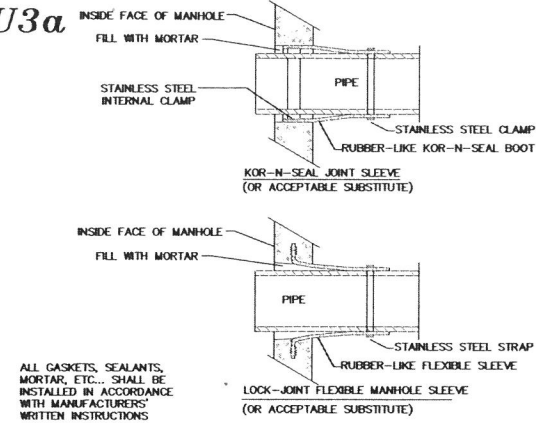
TYPICAL SEWER TRENCH DETAIL
NOT TO SCALE

U3

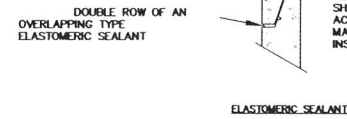


TYPICAL SEWER MANHOLE
NOT TO SCALE

U3a



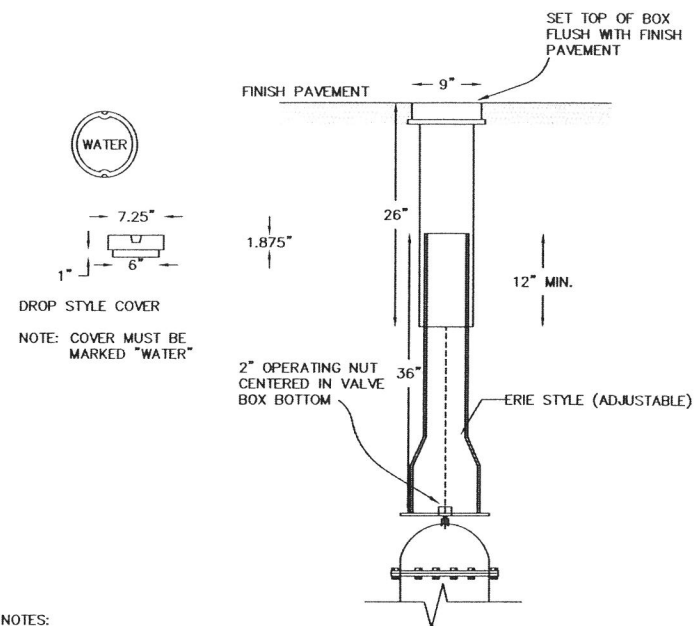
DETAIL "A" - PIPE TO MANHOLE JOINTS
NOT TO SCALE



DETAIL "B" HORIZONTAL JOINTS
NOT TO SCALE

- NOTES ON MANHOLE CONSTRUCTION
1. IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE, SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT AND ADEQUATE JOINTING. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND HS-20-44 LOADING, INCLUDING THE COVER, ALL SHM CONSTRUCTION AND MATERIALS WILL BE IAW ENV-WQ 704.13 ADOPTED OCTOBER 15, 2014.
 2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE. (IAW ENV-WQ 704.12 (g))
 3. SEWER MANHOLE DIAMETER SHALL BE AS INDICATED ON THE PLANS.
 4. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
 5. GRAVITY SEWER PIPE TESTING WILL BE IN ACCORDANCE WITH ENV-WQ 704.06 AND MAN HOLE TESTING IAW ENV-WQ 704.17 DATED OCTOBER 15, 2014.
 6. INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. INVERT BRICKS SHALL BE LAID ON EDGE AND THE BASE SECTION SHALL BE FULL. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. CARE SHALL BE TAKEN TO ENSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY. (IAW ENV-WQ 704.13 (g))
 7. FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. 3-INCH (MINIMUM HEIGHT) LETTERS WITH THE WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH MANHOLE COVER. (IAW ENV-WQ 704.13 (g) (4)-(6)) SEWER MAN HOLE COVERS ARE TO PAVED.
 8. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.
 9. HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ROCHESTER DPW, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATERTIGHTNESS UPON A DOUBLE ROW OF AN OVERLAPPING TYPE ELASTOMERIC OR MASTIC-LIKE GASKET. APPROVED ELASTOMERIC SEALANTS ARE: RAM-NEK, KENT SEAL NO. 2, EZ, OR EQUAL.
 10. IN CROSS COUNTRY AREAS OUTSIDE OF THE PAVED ROADWAY SURFACE, THE MANHOLE FRAME ELEVATION SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE MANHOLE.
 11. ALL FRAMES AND GRATES ARE TO BE U.S.A. MADE. MANHOLE STEPS ARE PROHIBITED IN THE CITY OF ROCHESTER.

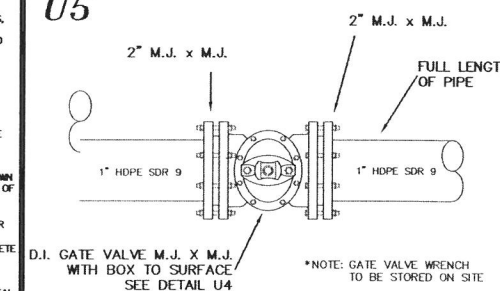
U4



- NOTES:
- 1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.
 - 2.) ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 6' FROM TOP OF PIPE TO FINISH GRADE.

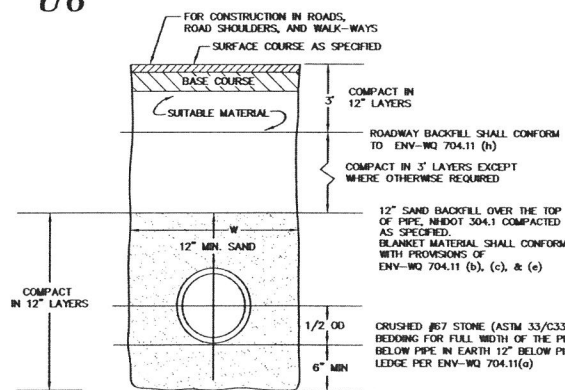
VALVE BOX DETAIL
NOT TO SCALE

U5

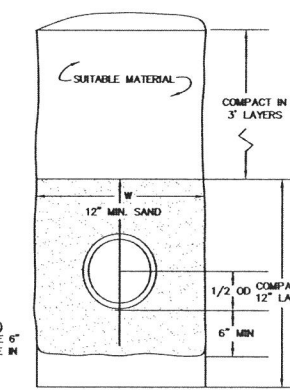


SHUTOFF VALVE DETAIL
NOT TO SCALE

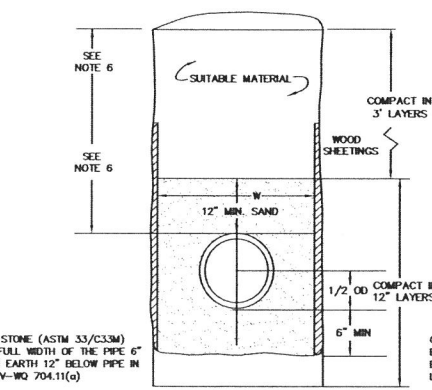
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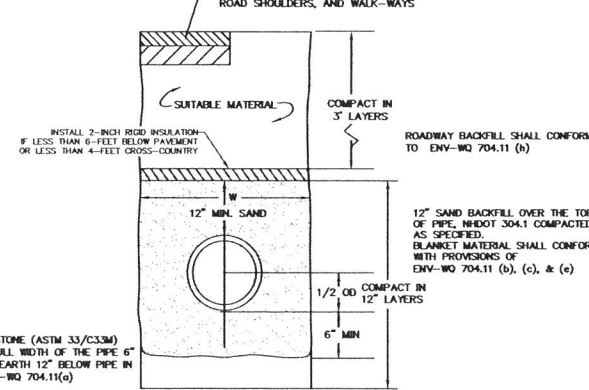
LEDGE CONSTRUCTION
NOT TO SCALE



EARTH CONSTRUCTION
NOT TO SCALE

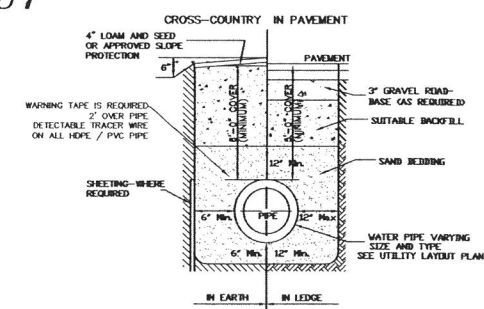


EARTH CONSTRUCTION WITH SHEETING
NOT TO SCALE



TRENCH INSULATION
NOT TO SCALE

U7



TYPICAL TRENCH DETAIL FOR WATER SYSTEM
NOT TO SCALE

U-101

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

UTILITY DETAILS
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03667
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603) 332-2863
SCALE: AS MARKED
DATE: OCTOBER 9, 2018
FILE NO.: DB 2015 - 057

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
No. 19243
LICENSED PROFESSIONAL ENGINEER

SHEET 15 OF 16

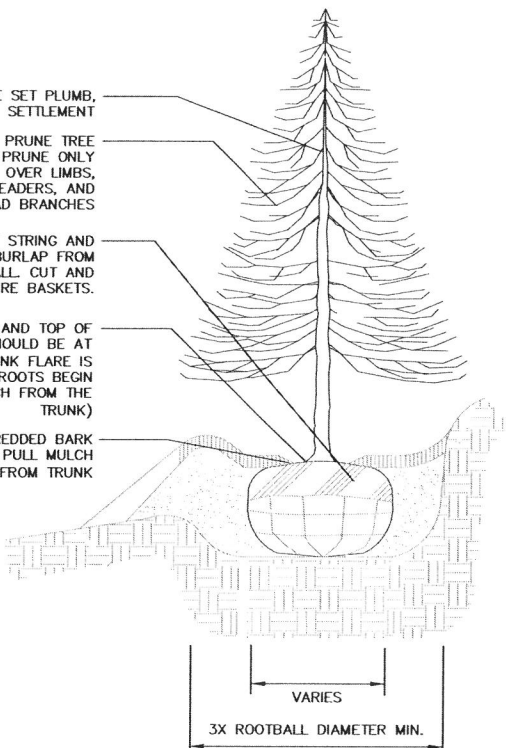
L1

TREE TO BE SET PLUMB, AFTER SETTLEMENT
DO NOT HEAVILY PRUNE TREE AT PLANTING PRUNE ONLY CROSS OVER LIMBS, CO-DOMINANT LEADERS, AND DAMAGED OR DEAD BRANCHES

REMOVE STRING AND BURLAP FROM ROOTBALL CUT AND REMOVE WIRE BASKETS.

TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT GRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK)

3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK



NOTES:

- DO NOT STAKE EVERGREEN TREES.
- LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
- TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.

EVERGREEN TREE PLANTING

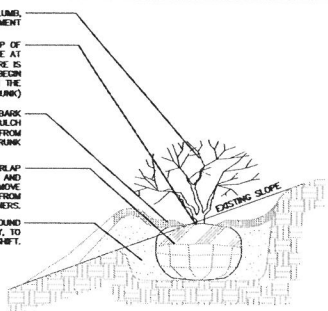
L4

SHRUB TO BE SET PLUMB, AFTER SETTLEMENT
TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT GRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK)

3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK

REMOVE STRING AND BURLAP FROM ROOTBALL CUT AND REMOVE WIRE BASKETS. REMOVE CONTAINERIZED PLANTS FROM THEIR CONTAINERS.

TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.



NOTE:

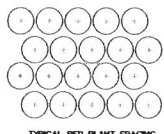
- DO NOT HEAVILY PRUNE SHRUB AT PLANTING PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES. BACKFILL WITH LOAM, AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
- SHRUBS & GROUND COVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENCRUMB INTO THE CITY'S SIDEWALK.

TYPICAL SHRUB PLANTING

12" LOAM BACKFILL (CONTINUOUS THROUGHOUT AREA)
3" DEEP SHREDDED BARK MULCH



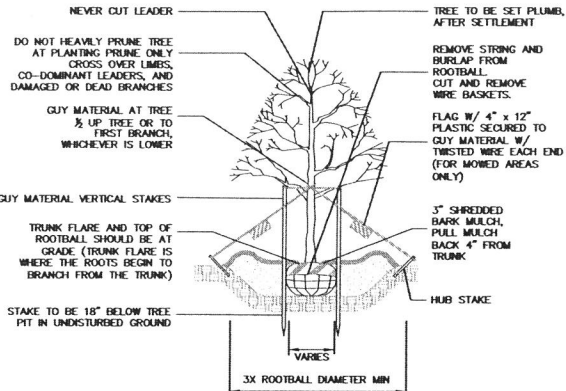
TYPICAL PERENNIAL PLANTING



TYPICAL BED PLANT SPACING

NOTE:
D = DIMENSION OF PLANT SPACING (SHRUBS OR GROUND COVER AS INDICATED ON PLANS)

L2

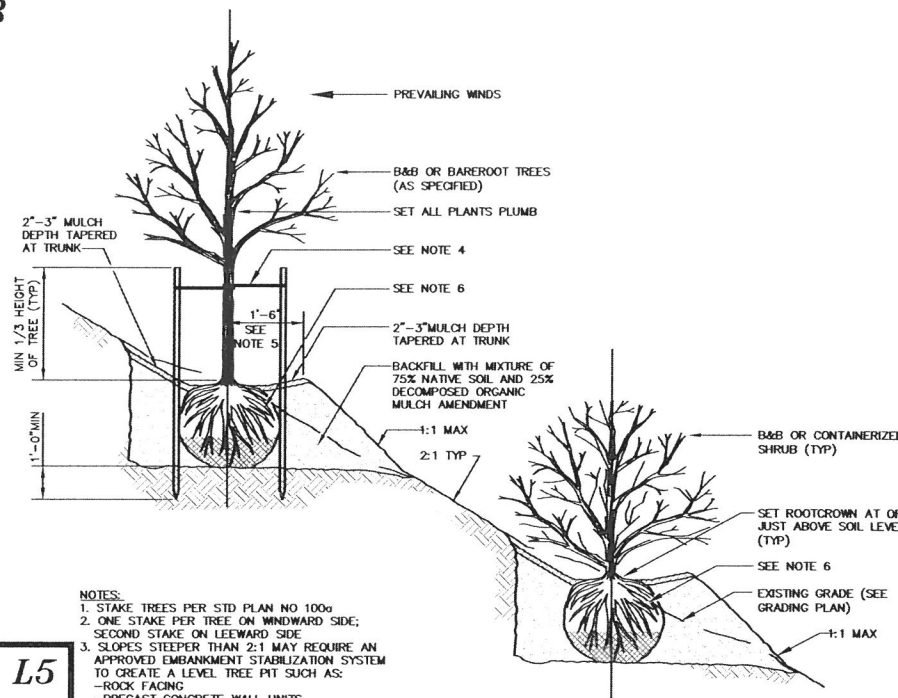


NOTES:

- GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
- TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
- ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
- TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
- LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
- CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

DECIDUOUS TREE PLANTING

L3

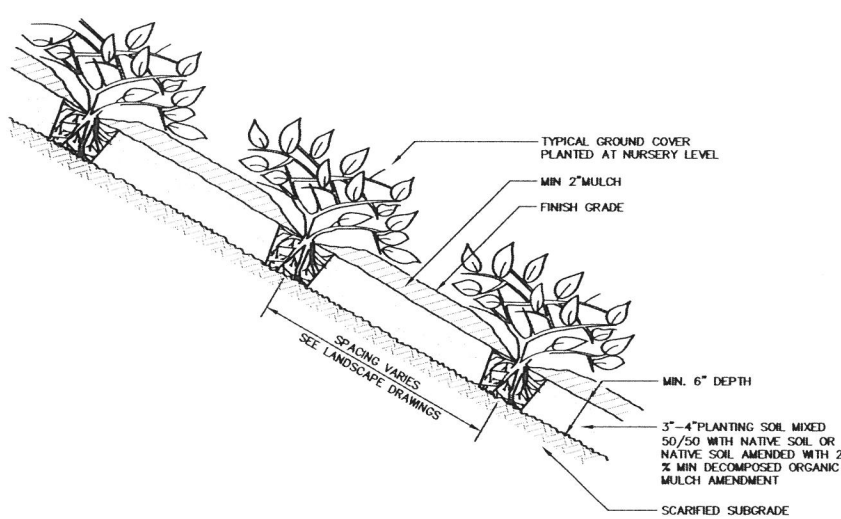


NOTES:

- STAKE TREES PER STD PLAN NO 1004
- ONE STAKE PER TREE ON WINDWARD SIDE; SECOND STAKE ON LEEWARD SIDE
- SLOPES STEEPER THAN 2:1 MAY REQUIRE AN APPROVED EMBANKMENT STABILIZATION SYSTEM TO CREATE A LEVEL TREE PIT SUCH AS:
-ROCK FACING
-PRECAST CONCRETE WALL UNITS
-TIMBER WALL
-MANUFACTURED SLOPE RETENTION UNITS
- CHAINLOCK TREE TIE, LOOP EACH TIE AROUND TREE LOOSELY TO PROVIDE 1" SLACK FOR DIAMETER GROWTH.
- SHAPE SOIL TO PROVIDE 3' DIAMETER OR ROOTBALL DIAMETER, WHICHEVER IS GREATER, WATERING RING.
- REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

TREE PLANTING ON SLOPES

L5



TYPICAL SLOPE GROUND COVER PLANTINGS

REVISION	DATE	DESCRIPTION
#1	12-4-18	REVISED PER NOD

LANDSCAPING DETAILS
LAND OF
DAVID S. THAYER
22-24 FARMINGTON ROAD, ROUTE 11
ROCHESTER, NH 03867
TAX MAP 216, LOTS 2 & 3

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : OCTOBER 9, 2018
FILE NO. : DB 2015 - 057



L-101

SHEET 16 OF 16