

BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
CHESTLEY HILL ROAD

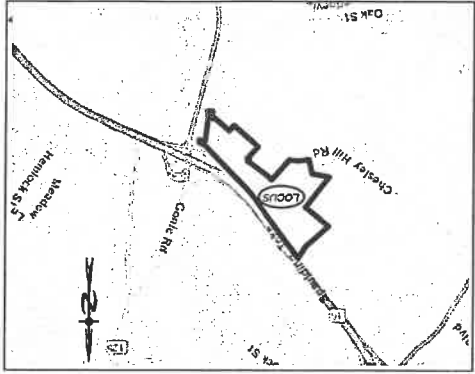
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OWNER OF RECORD & APPLICANT

MAKRIS R.E. DEVELOPMENT, LLC
11 WENTWORTH TERRACE
DOVER, NH 03820
TM 137, LOTS 09 & 10

LOCATION MAP



PLAN SET LEGEND

UTILITY POLE	Symbol: Circle with cross
SINGLE POST SIGN	Symbol: Circle with 'X'
MAPLES, ETC.	Symbol: Circle with 'M'
EXIST. SPOT GRADE	Symbol: Circle with 'S'
PROP. SPOT GRADE	Symbol: Circle with 'P'
TEST PIT	Symbol: Circle with 'T'
FENCING	Symbol: Dashed line
4000 SF SEPTIC	Symbol: Square with 'X'
RESERVE AREA	Symbol: Dotted line
DRAINAGE LINE	Symbol: Solid line with 'D'
EX. WATERMAIN	Symbol: Solid line with 'W'
UNDERGROUND ELEC./TELE	Symbol: Dashed line with 'U'
STONE WALL	Symbol: Dashed line with 'S'
TREE LINE	Symbol: Dashed line with 'T'
ABUT. PROPERTY LINES	Symbol: Dashed line with 'A'
EXIST. PROPERTY LINES	Symbol: Solid line with 'E'
BUILDING SETBACK LINES	Symbol: Dashed line with 'B'
EXIST. CONTOUR	Symbol: Dashed line with 'C'
PROP. CONTOUR	Symbol: Solid line with 'P'
SOIL LINES	Symbol: Dotted line with 'S'

CIVIL ENGINEERS:

BEATS • ASSOCIATES, PLLC
70 PORTSMOUTH AVE, STRATFORD, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

LAND SURVEYORS:

DOUCET SURVEYING
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857-0153
Voice (603) 659-6560, Data (603) 659-4118

WETLAND / SOIL
CONSULTANT:

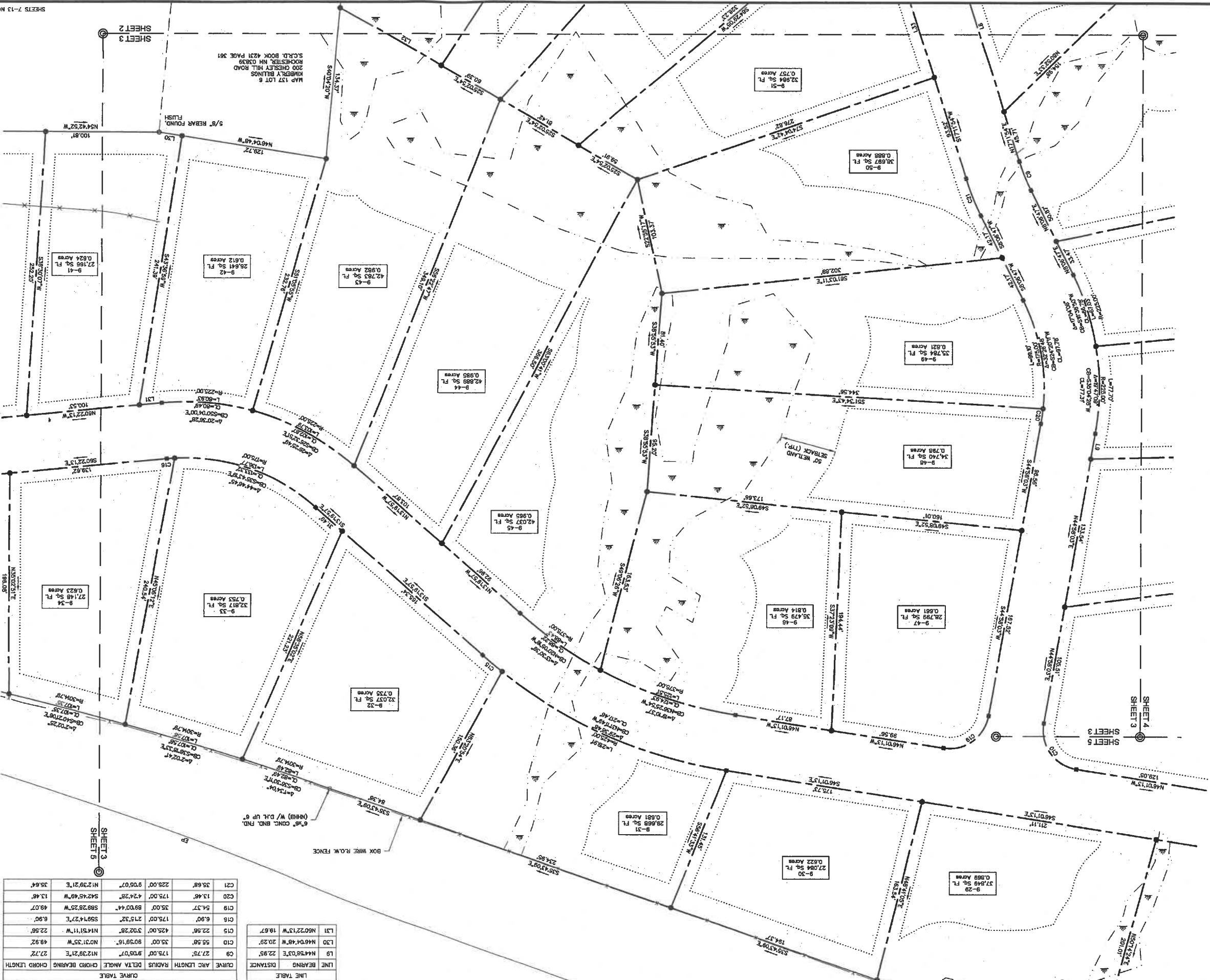
GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

REQUIRED PERMITS

NOI - NPDES APPROVAL NUMBER: NHR...
NHDES WETLAND PERMIT NUMBER: WPS...
NHDES SUBDIVISION APPROVAL NUMBER: SA2017.
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: Aot..

REVISIONS:	DATE:
1 REVISED ROAD PER TRG	2/2/17
2 REVISED PER REVIEW COMMENTS	3/14/17
3 REVISED PER REVIEW COMMENTS	4/17/17
4 REVISED PER REVIEW COMMENTS	5/24/17
5 REVISED PER REVIEW COMMENTS	6/27/17





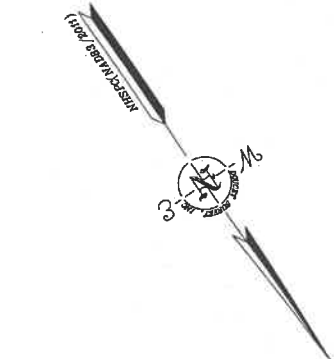
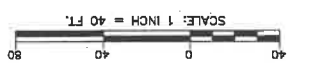
CURVE TABLE				
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C9	27.75'	175.00'	175.00°	N12.39°21'E
C10	55.56'	35.00'	90.59°16"	N07°31'35"W
C15	22.56'	425.00'	3°02'28"	N14°51'11"W
C16	6.90'	175.00'	27°5'32"	S89°42'27"E
C19	54.37'	35.00'	89°07'44"	S88°26'25"W
C20	13.46'	175.00'	4°24'28"	S42°45'49"W
C21	35.68'	225.00'	9°05'07"	N12°39'21'E

LINE TABLE		
LINE	BEARING	DISTANCE
L9	N44°56'03"E	22.95'
L30	N60°22'13"W	18.67'
L31	N60°22'13"W	20.29'



JOB NO. 4380		
CHECKED BY: J.L.K.	DRAWING NO. 4380F	
DATE: JANUARY 9, 2017		
DRAWN BY: M.T.L.		
NO.	DATE	DESCRIPTION
1	02/10/17	REVISED LOT LINES
2	06/28/17	REVISED PER T.R.G. COMMENTS
BY: M.T.L.		

MAKRIS REAL ESTATE DEVELOPMENT, LLC
LAND OF
BIRCHWOOD PONDS RESIDENTIAL DEVELOPMENT
TAX MAP 137, LOTS 9, 9-6, 9-6 & 10
CHELSEY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE



THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY REQUIREMENTS AND ARE NOT A GUARANTEE OF THE ACCURACY OF THE SURVEY. THE SURVEYOR HAS MADE A REASONABLE INVESTIGATION OF THE FACTS AND BELIEVES THE SURVEY TO BE CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION. WITH A PRECISION GREATER THAN 1:15,000.

DATE: 6/29/17
L.L.S. 8937

APPROVED BY THE ROCHESTER PLANNING BOARD ON _____
SIGNED BY _____
DATE _____

DATE 6/29/17
L.S. #937

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NC CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

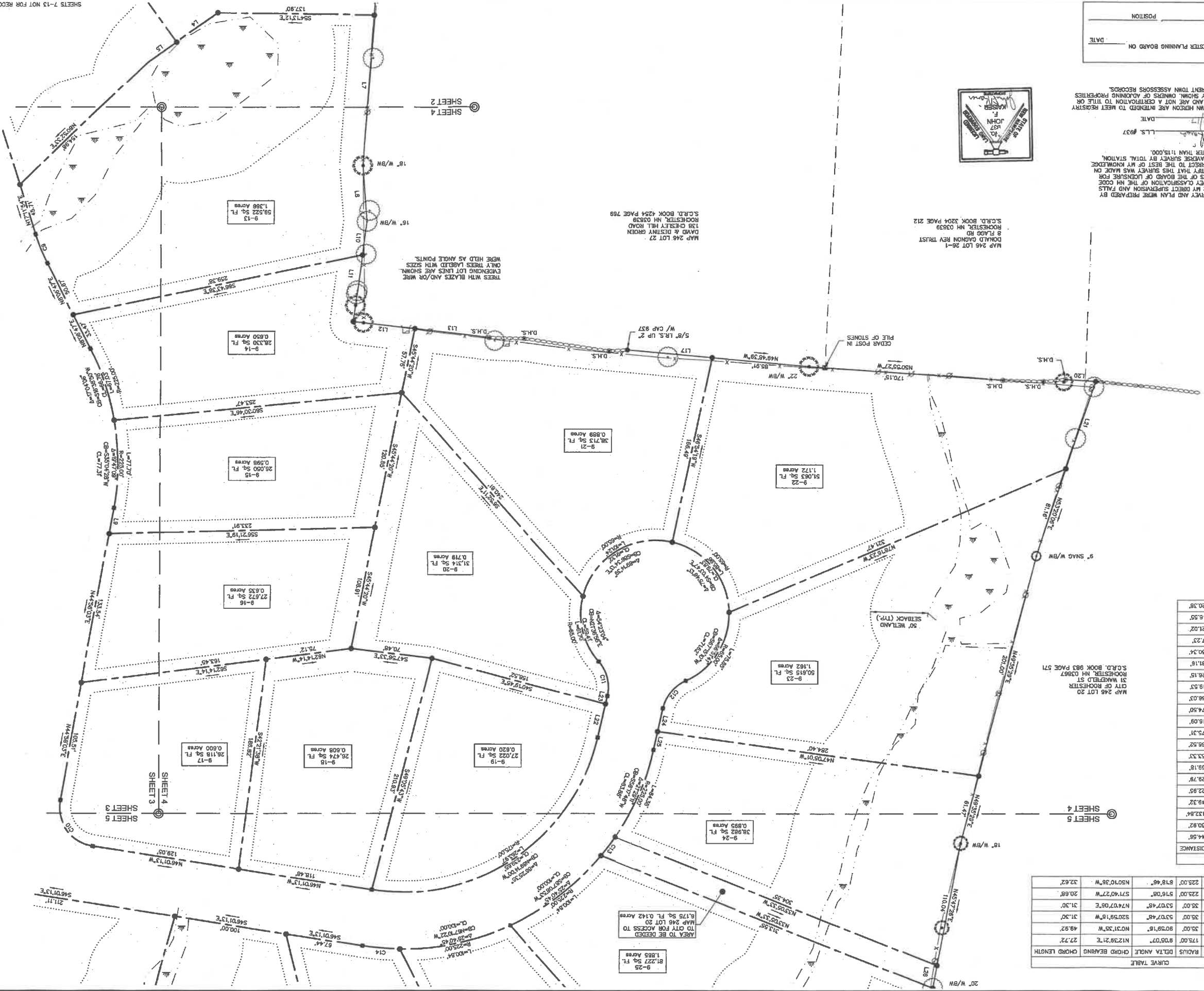
27
TINY GREEN
HILL ROAD
HI 03839
4254 PAGE 769

TREES WITH BLAZES AND/OR WIRE
EVIDENCING LOT LINES ARE SHOWN.
ONLY TREES LABELED WITH SIZES
WERE HELD AS ANGLE POINTS.

DRAWN BY: M.T.L.	CHECKED BY: J.F.K.	JOB NO.: 4380
DATE: JANUARY 9, 2017	DRAWING NO.: 4380F	SHEET 4 OF 13

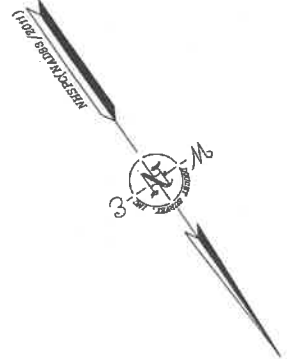
NO	DATE	DESCRIPTION	BY
1	02/10/17	REMOVED LOT LINES	M.T.L
2	06/26/17	REVISED PER T.R.G. COMMENTS	M.T.L

SCALE: 1 INCH = 40 FT.

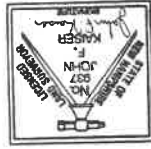


LINE	BEARINGS	DISTANCE
14	N89.55°17'E	44.55
15	N89.05°05'E	132.86
16	N30°14'E	48.35
17	N44.80°33'E	22.85
18	N42.22°35'E	53.33
19	N42.58°35'E	75.31
20	N58.03°05'E	16.03
21	N44.36°08'E	17.17
22	N53.10°28'E	36.03
23	N60.43°10'E	19.19
24	N59.10°24'E	12.00
25	N43.31°12'E	125.44
26	N45.47°24'E	20.35

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C9	27.75'	175.00'	9.0507°	N12.3912°E	27.72'
C10	55.98'	35.00'	90.9351°	N03.3151°W	48.92'
C11	32.46'	35.00'	93.0748°	S20.5818°W	31.30'
C12	32.46'	35.00'	93.0748°	N74.0748°E	31.30'
C13	20.68'	223.00'	S76.081°	S74.0727°W	20.66'
C14	33.64'	223.00'	S78.461°	N50.0738°W	33.62'



APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____
SIGNED BY _____ NAME _____ POSITION _____



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTATIVE RULES OF THE BOARD OF LICENSEE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.
DATE: 6/29/17
L.L.S. #937

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

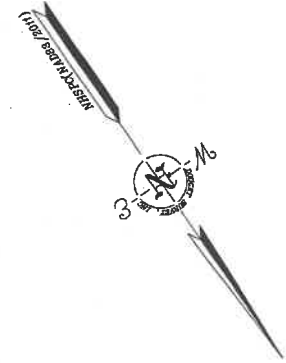
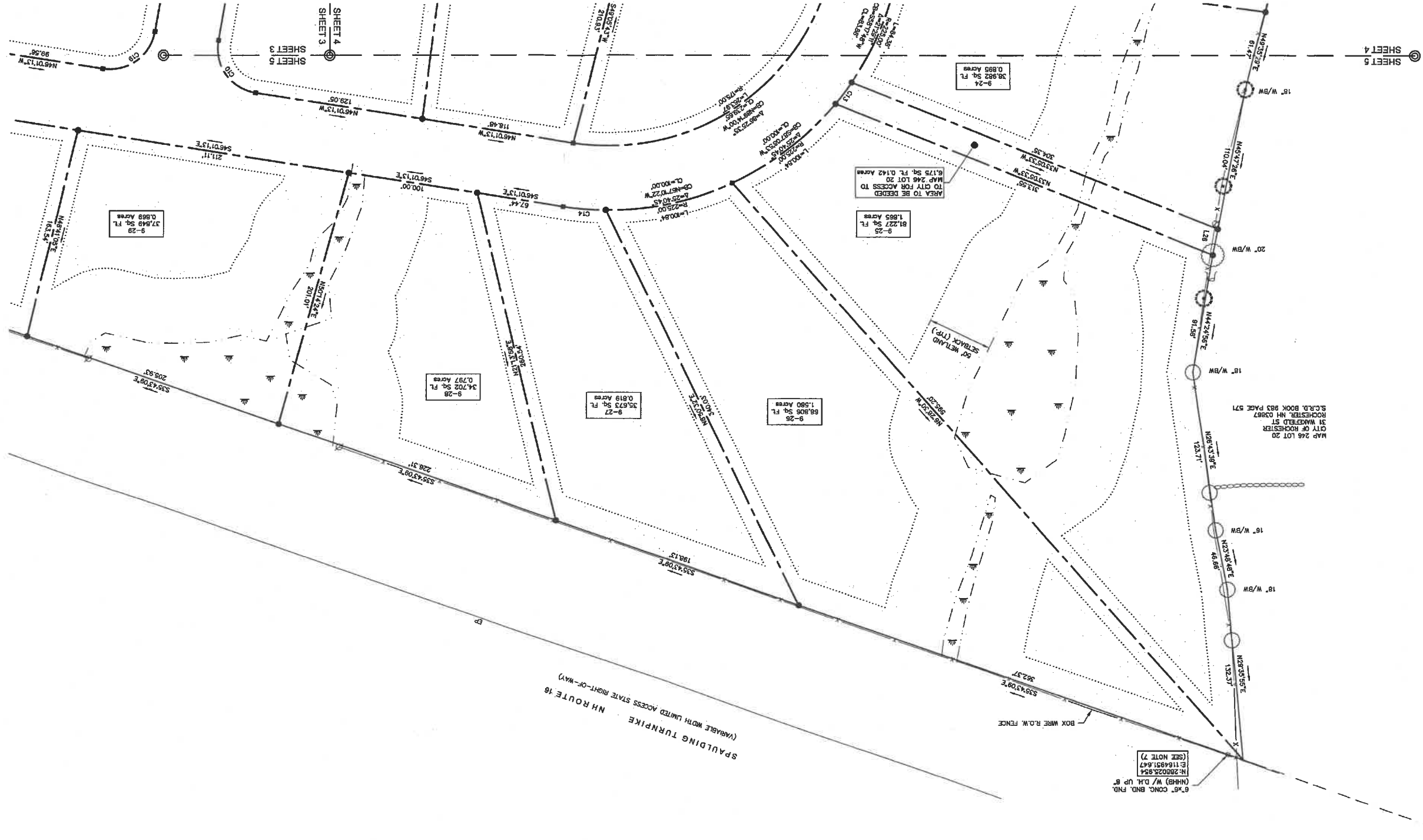
DRAWN BY: M.T.L.		DATE: JANUARY 9, 2017	
CHECKED BY: J.F.K.		DRAWING NO.: 4380F	
SHEET 5 OF 13			
JOB NO.: 4380			
NO. DATE DESCRIPTION BY			
1	02/10/17	REVISED LOT LINES	M.T.L.
2	06/28/17	REVISED PER T.R.C. COMMENTS	M.T.L.

Save Your Professional Surveying & Mapping Needs
102 Korte Road, Manchester, NH 03857 (603) 669-6580
2 Commerce Drive (Riverside Station) Portsmouth, NH (207) 502-7005
http://www.douceturvey.com

DOUCET SURVEY

SCALE: 1 INCH = 40 FT.
80 40 0 40 80

**BIRCHWOOD PONDS
SUBDIVISION PLAN**
LAND OF
MAKRIS REAL ESTATE
DEVELOPMENT, LLC
TAX MAP 137, LOTS 9, 9-5, 9-6 & 10
CHESLEY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE



SHEET 2

SHEET 3

SHEET 5

MAP 137 LOT 8
8 DONALD ST
CLEAN BUILDINGS
ROCHESTER, NH 03809
S.C.R.D. BOOK 4378 PAGE 001

MAP 137 LOT 10-1
11 WESTWORTH TERRACE
DOVER, NH 03820
S.C.R.D. BOOK 4371 PAGE 184

MAP 137 LOT 35
13 WILKINSON RD
CHRYSLER FINANCIAL INC
ROCHESTER, NH 03867
S.C.R.D. BOOK 3936 PAGE 158

SPAUDING TURNPIKE NH ROUTE 16
(VARIABLE WIDTH LIMITED ACCESS STATE RIGHT-OF-WAY)

6"6" CONC. BND. FND.
(NHHB) W/ D.H. UP 8"
N 286°15'0.143"
E 1166°41'3.333"
(SEE NOTE 7)

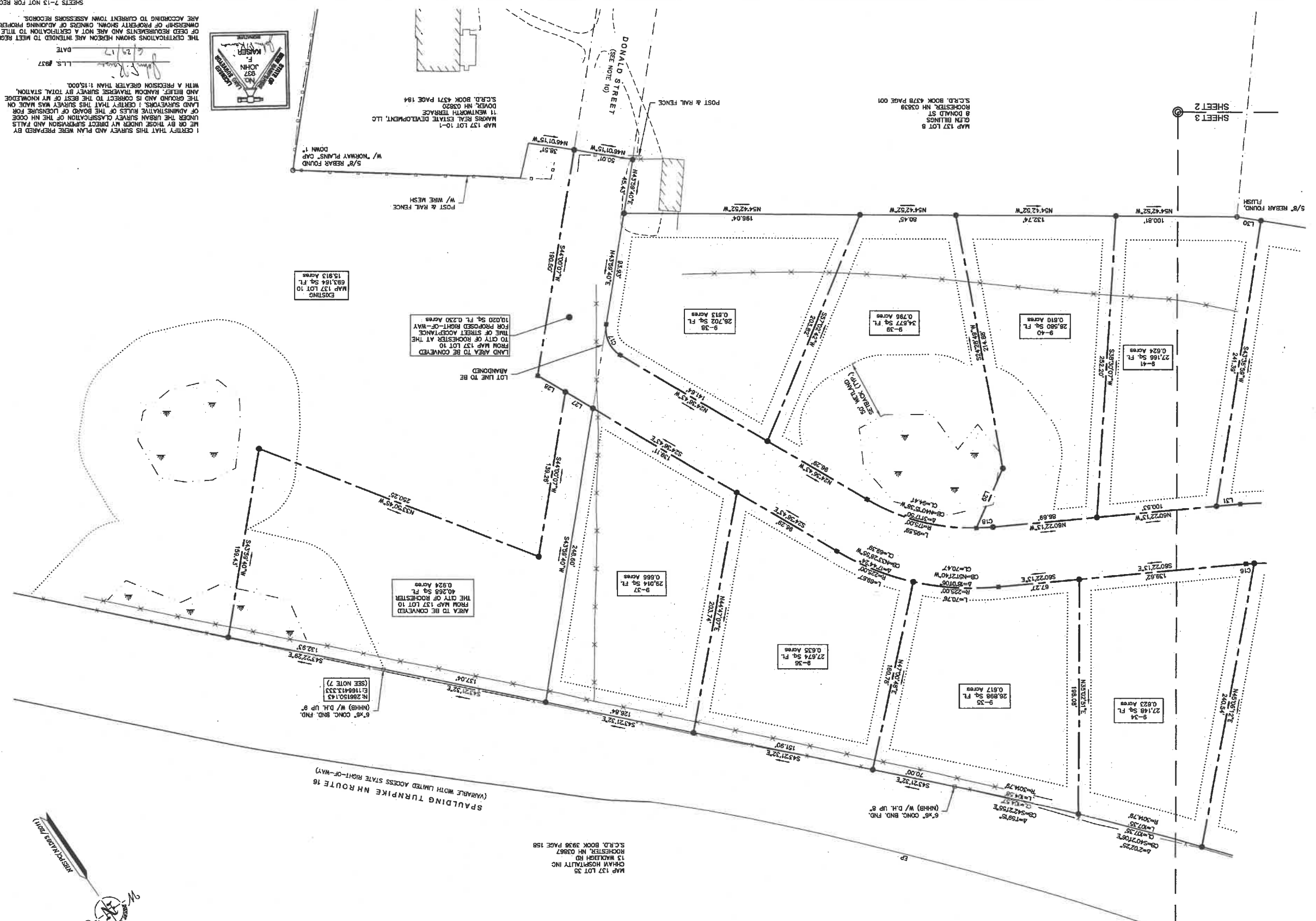
AREA TO BE CONVEYED
FROM MAP 137 LOT 10
TO CITY OF ROCHESTER
40,268 Sq. Ft.
0.924 Acres

LAND AREA TO BE CONVEYED
FROM MAP 137 LOT 10
TO CITY OF ROCHESTER AT THE
TIME OF STREET ACCEPTANCE
10,020 Sq. Ft. 0.230 Acres

EXISTING
MAP 137 LOT 10
683,184 Sq. Ft.
15.813 Acres

LINE	BEARING	DISTANCE
L27	S24°36'43"E	26.85'
L28	S24°36'43"E	26.85'
L29	S58°34'45"W	54.53'
L30	N46°04'48"W	20.29'
L31	N60°22'13"W	19.67'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C16	6.90'	175.00'	215°32'	S58°14'27"E	6.90'
C17	28.94'	25.00'	68°36'23"	N9°41'29"E	28.18'
C18	13.63'	175.00'	4°27'40"	N58°08'25"W	13.62'



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVEL SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

DATE: 1/17/17
L.S. #37

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

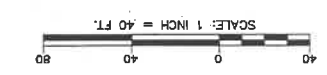
SHEETS 7-13 NOT FOR RECORDING

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10 Silver Street (Riverview Suite) Kennebunk, ME (207) 502-7005
http://www.doucetsurvey.com

NO.	DATE	DESCRIPTION	BY
1	02/10/17	REVISED LOT LINES	M.T.L.
2	06/29/17	REVISED PER T.R.G. COMMENTS	M.T.L.

DRAWN BY: M.T.L.
DATE: JANUARY 9, 2017
CHECKED BY: J.F.K.
DRAWING NO.: 4380F
SHEET 6 OF 13
JOB NO.: 4380

SUBDIVISION PLAN
BIRCHWOOD PONDS
LAND OF
MAKRIS REAL ESTATE
DEVELOPMENT, LLC
TAX MAP 137, LOTS 9, 9-5, 9-6 & 10
CHESELY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE



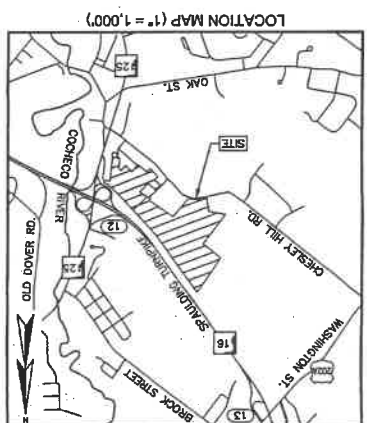
APPROVED BY THE ROCHESTER PLANNING BOARD ON _____ DATE _____
SIGNED BY _____ NAME _____ POSITION _____

[illegible]

EXISTING CONDITIONS PLAN
BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
LAND OF
MAKRIS REAL ESTATE
DEVELOPMENT, LLC
TAX MAP 137, LOTS 9, 9-5, 9-6 & 10
CHESLEY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE



157-33
NHHB
W/BW
EDGE
EDGE OF PAVEMENT
IRON ROD SET
IRON PIPE FOUND
DRILL HOLE SET
BOUND FOUND
CONC.
BMD. FMO.
TEST PIT
BOULDER
DECIDUOUS BUSH
CONIFEROUS TREE
TREE STUMP
WETLAND AREA
POST
WOOD POST
FENCE POST
IRON PIPE/POD FOUND
DRILL HOLE FOUND
GRAINITE BOUND FOUND
SIGN (TWO POSTS)
UTILITY POLE & GUY WIRE
MARS SOIL DESIGNATION
STRAW
EDGE OF WETLAND
SHRUB LINE
MINOR CONTOUR LINE
MAJOR CONTOUR LINE
DRAIN LINE
OVERHEAD WIRE
WIRE FENCE
STOCKADE FENCE
STONE WALL
APPROXIMATE RAYTHERS LOT LINE
LOT LINE

[illegible]

1. PROPOSED SUBDIVISION NORMANBY A & BEAC H, NORMANBY, NORMANBY STREET, GONIC, ROCHESTER, N.H., DATED 27 JUNE 1988 BY BEERY CONSL. INC. S.C.D. PLAN #25-88.

2. BERRY SUBDIVISION, GONIC, ROCHESTER, N.H., DATED MAY 5, 1988 BY BEERY SUBDIVISION & ENGINEERING, S.C.D. PLAN #27-88.

3. SUBDIVISION OF LAND LOTS 1-13, TAX ASSESSORS MAP 138, 88 GONIC ROAD, GONIC, NEW HAMPSHIRE COUNTY OF SUFFORDSHIRE, DATED 9-8-88 BY GUNAWAN, S.C.D. PLAN #37-88.

4. BEAC H, GONIC, ROCHESTER, N.H. PLAN OF LOT LAYOUT ON ROAD OF NORMANBY RAMSEY, 1955A, S.C.D. PLAN #27, FOLDER 4, FOLDER 1, BY T.M. CHESLEY, DATED SEPT. 1955 (REVISED APRIL, 1956).

5. SUBDIVISION OF LAND, ON CHESLEY-HILL ROAD, ROCHESTER, N.H. FOR RONALD P. LAVALLÉE, DATED NOV 13, 1971, S.C.D. PLAN #40, FOLDER 4, FOLDER 1.

6. SUBDIVISION OF LAND, ROCHESTER, N.H. WINGETT & LAMBERT, DATED JAN 24, 1986 BY JOHN W. DUGAN, S.C.D. PLAN #23-86.

7. SUBDIVISION OF LAND, GONIC STREET, ROCHESTER, N.H. FOR RAMSEY REALTY CO., INC., DATED SEPT. 1982 BY NORMAN PLAINS ASSOCIATES, INC. S.C.D. PLAN #45-82.

8. SUBDIVISION OF LAND, GONIC STREET, ROCHESTER, N.H. FOR NORMAN A. RAMSEY, DATED JUNE 1985 BY NORMAN PLAINS ASSOCIATES, INC. S.C.D. PLAN #47-85.

9. SUBDIVISION OF LAND, GONIC ST., DONALD ST., ROCHESTER, N.H. FOR NORMAN A. RAMSEY, DATED JULY 2000 BY NORMAN PLAINS ASSOCIATES, INC. S.C.D. PLAN #61-00.

10. SUBDIVISION OF LAND, GROVE STREET, ROCHESTER, N.H. FOR NORMAN A. RAMSEY, DATED MAY, 2000 BY NORMAN PLAINS ASSOCIATES, INC. S.C.D. PLAN #61-00.

11. STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLANS NH PROJECT NO. 10620-0 - SPALLING THROUGH IN ROUTE 16 DATED JANUARY 11, 2001, S.C.D. PLAN #101-001.

12. PLAN OF IMPROVEMENTS IS 1826 (1) N.H. NO. P-2682-7 SPALLING THROUGH, DATED 1985, ON FILE THROUGH THE NH DOT ONLINE PRODUCT CENTER.

13. ROADSIDE STREET PAVED, PRESERVED PUBLIC PER ABOVE RESEARCH, NO FORMAL ACCEPTANCE OR CONVEYANCE TO CITY FOUND OR PROVIDED DURING RESEARCH.

14. DONALD STREET PAVED IN PART, PRESERVED PUBLIC PER ABOVE RESEARCH, NO FORMAL ACCEPTANCE OR CONVEYANCE TO CITY FOUND OR PROVIDED DURING RESEARCH.

15. CHESLEY HILL ROAD (F.K.A. GROVE STREET), PAVED, PUBLIC, 4 ROADS (66') WIDE PER HIGHWAY BOOK 3 PAGE 52 IN THE WESTERLY CITY CLERKS OFFICE.

16. NORMAN STREET PAVED IN PART, PRESERVED PUBLIC PER ABOVE RESEARCH, NO FORMAL ACCEPTANCE FOUND OR PROVIDED DURING RESEARCH.

17. NORMAN STREET PAVED, PRESERVED PUBLIC PER ABOVE RESEARCH, NO FORMAL ACCEPTANCE FOUND OR PROVIDED DURING RESEARCH.

18. ROADWAY STATUS RESEARCH WAS PERFORMED AT STAFFORD COUNTY REGISTRY OF DEEDS, CITY OF ROCHESTER PLANNING DEPARTMENT AND CLERK'S OFFICE, AND THROUGH CORRESPONDENCE WITH CITY OF ROCHESTER ENGINEERING DEPARTMENT.

19. ROADWAY STATUS RESEARCH WAS CONDUCTED BY EASTERN TOPOGRAPHICS FROM MARKET TAKEN DURING DECEMBER 2015 WITH A PHOTO SCALE OF 1" = 40'. CONTOURS AND OBJECTS SHOWN WITHIN AREASOUND AREAS ARE APPROXIMATE AND SHOULD BE VERIFIED BEFORE USE FOR DESIGN OR CONSTRUCTION PURPOSES.

20. IN THE EASTERN VILLAGE AS REPRESENTED IN THE DEED, BOOK 1738, PAGE 388, THE EXACT LOCATION IS UNKNOWN, A 12" DRAINAGE PIPE WAS FOUND AND SHOWN HEREON.

21. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

22. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

23. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

24. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

25. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

26. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

27. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

28. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

29. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

30. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

31. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

32. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

33. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

34. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

35. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

36. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

37. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

38. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

39. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

40. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

41. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

42. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

43. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

44. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

45. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1737, LOT 137, LOT 3-4-5.

46. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF ROCHESTER RECORDED IN S.C.D. BOOK 1738, PAGE 388.

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74. THE EXACT LOCATION IS SUBJECT TO A FURTHER EVIDENCE TO THE CITY OF

1. REFERENCE: TAX MAP 127, LOTS 8-9-97-9-98 & 10 THESE PARCELS DO NOT APPEAR ON THE CITY OF ROCHESTER TAX MAPS

2. TOTAL PARCEL AREA: 63.832 ACRES

3. OWNER OF RECORD: MARSH REAL ESTATE DEVELOPMENT, LLC
11 WETWORK TERRACE
DOVER, NH 03820
S.C.R.D. BOOK 4371, PAGE 184

4. ZONE: RESIDENTIAL 1
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 10,000 sq.ft.
MIN. FRONT SETBACK 100 ft.
MIN. FRONT SETBACK 10 ft.
MIN. REAR SETBACK 20 ft.
MAX. BUILDING HEIGHT 35 ft.
WETLAND SETBACKS
WETLAND SETBACKS REQUIRED BY ATT. & L.P.S. DURING JANUARY & FEBRUARY, 2010 USING A TIMBERLE 5603 TOTAL STATION WITH A TIMBERLE TSC0 DATA COLLECTOR. TRAVELERS ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.

5. TIMBERLE SURVEY PERFORMED BY AT&T & L.P.S. DURING DECEMBER 2015 USING A TIMBERLE PRO XR SUB METER GPS UNIT WITH A RECON AND/OR A TSC-1 DATA COLLECTOR. ADOURNEY UNDER IDEAL CONDITIONS IS +/- 3 FEET. A FEW WETLAND PLACES NEAR PROPOSED DEVELOPMENT NEED TO BE CONVENTIONALLY SURVEY LOCATED PRIOR TO FINAL DESIGN AND/OR CONSTRUCTION.

7. TIMBERLE SURVEY PERFORMED TO ESTABLISH HORIZONTAL DATUM AND AERIAL CONTROL BY E.T.S. DURING DECEMBER 2010 USING A TIMBERLE RS SURVEY GRADE GPS UNIT WITH A TIMBERLE TSC0 DATA COLLECTOR.

8. JURISDICTIONAL WETLANDS DETERMINED BY GPS DRAINAGE/RELATIVES SERVICES, INC. DURING DECEMBER 2010 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS Delineation MANUAL, TECHNICAL REPORT Y-97-1.

9. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 8, 2016, AND WAS PREPARED BY JAMES P. COVE, CSS # 004, COVE ENVIRONMENTAL SERVICES, INC. THIS FIELD WORK WAS CONDUCTED NOVEMBER AND DECEMBER OF 2015, AND JANUARY OF 2016. PROJECT IS CEE # 2015170.

10. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011.

11. FLOOD HAZARD ZONE "X", PER NEW HAMPSHIRE FLOODING ACT, DATED MAY 15, 2005.

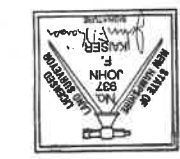
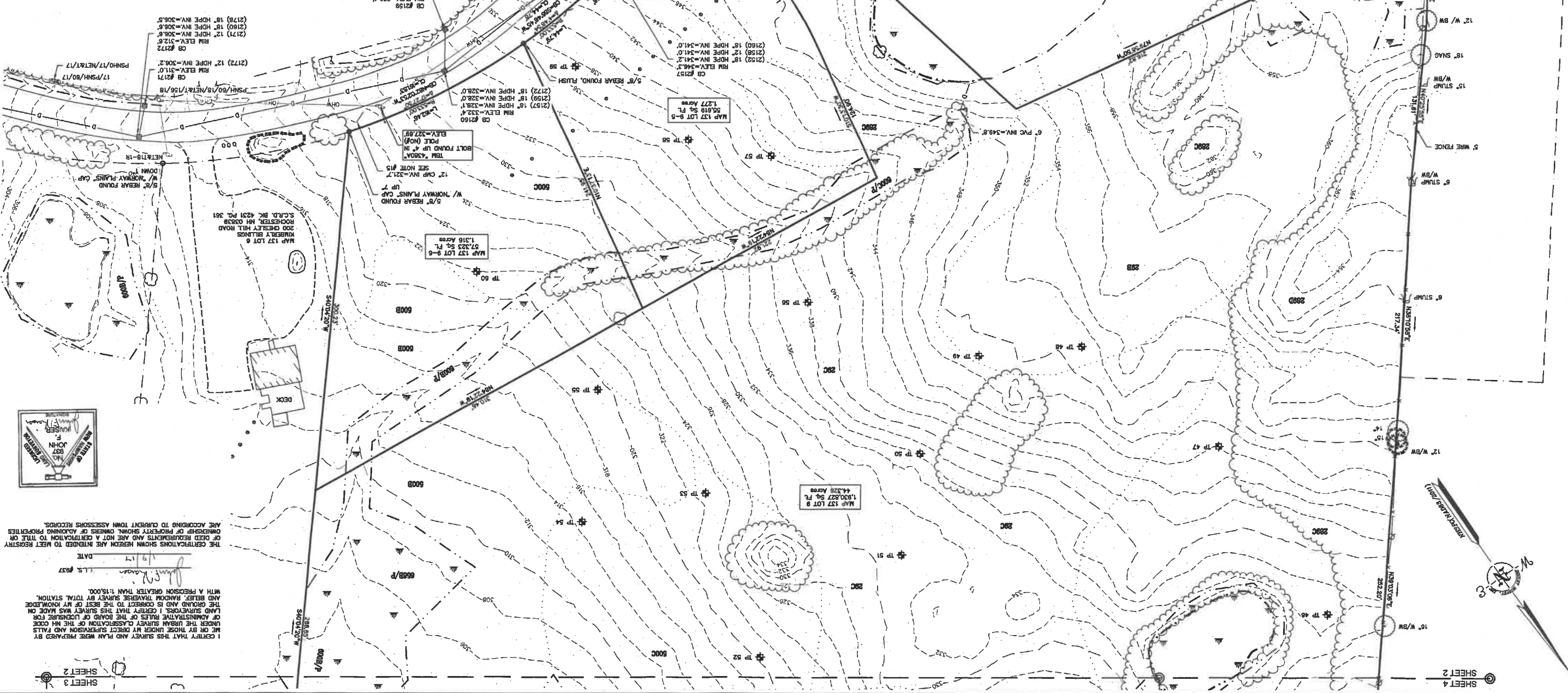


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2 Commerce Drive (Rte 1A) New Bedford, MA 01905
102 Kent Place, New Bedford, MA 01905
Tel: (508) 538-6500
Fax: (508) 538-6501
http://www.doucetsurvey.com

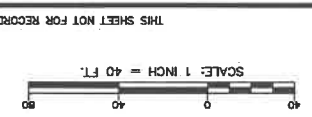
NO.	DATE	DESCRIPTION	BY

DATE: JANUARY 9, 2017
DRAWN BY: M.T.L.
CHECKED BY: J.F.K.
SHEET 8 OF 13
JOB NO.: 4380

EXISTING CONDITIONS PLAN
BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
LAND OF
MAKRIS REAL ESTATE
DEVELOPMENT, LLC
TAX MAP 137, LOTS 9, 9-6, 9-6 & 10
CHESLEY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE



1. CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEES FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.
DATE: 1/9/17
L.S. #537
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OWNERSHIP OF PROPERTY SHOWN, OWNERS OF A CONTRIBUTION TO TITLE OR OWNERSHIP OF ADJOINING PROPERTIES.
STATE OF NEW HAMPSHIRE
JAMES P. DOUCET
PROFESSIONAL SURVEYOR
No. 0051

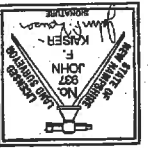
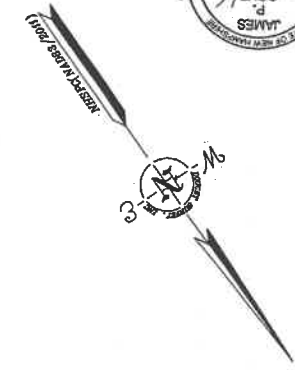


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 2 Commercial Drive (Suite 202) Bedford, NH 03110 (603) 614-0860
 10 Storrs Street (Riverside Square) Keene, NH 03431 (603) 352-7005
 http://www.doucetsurvey.com

JOB NO.: 4380	SHEET 9 OF 13
CHECKED BY: J.F.J.C.	DRAWING NO.: 4380F
DRAWN BY: M.T.L.	DATE: JANUARY 9, 2017
DESCRIPTION	
NO.	DATE

EXISTING CONDITIONS PLAN
 BIRCHWOOD PONDS
 LAND OF
 MAKRIAS REAL ESTATE
 DEVELOPMENT, LLC
 TAX MAP 137, LOTS 9, 9-5, 9-6 & 10
 CHESELEY HILL ROAD & DONALD STREET
 ROCHESTER, NEW HAMPSHIRE

SCALE: 1 INCH = 40 FT.



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.
 L.L.S. 1/17/17
 DATE: 1/17/17



PARCEL LINE TABLE	
LINE	DISTANCE
L1	N20°31'14"E 48.32'
L2	N42°28'21"E 88.97'
L3	N52°58'36"W 31.28'
L4	N50°37'05"W 16.08'
L5	N53°10'26"W 36.03'
L6	N60°43'04"W 19.53'
L7	N51°06'42"W 26.19'

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION. WITH A PRECISION GREATER THAN 1:15,000.

DATE: 11/17/2017
L.L.S. #337

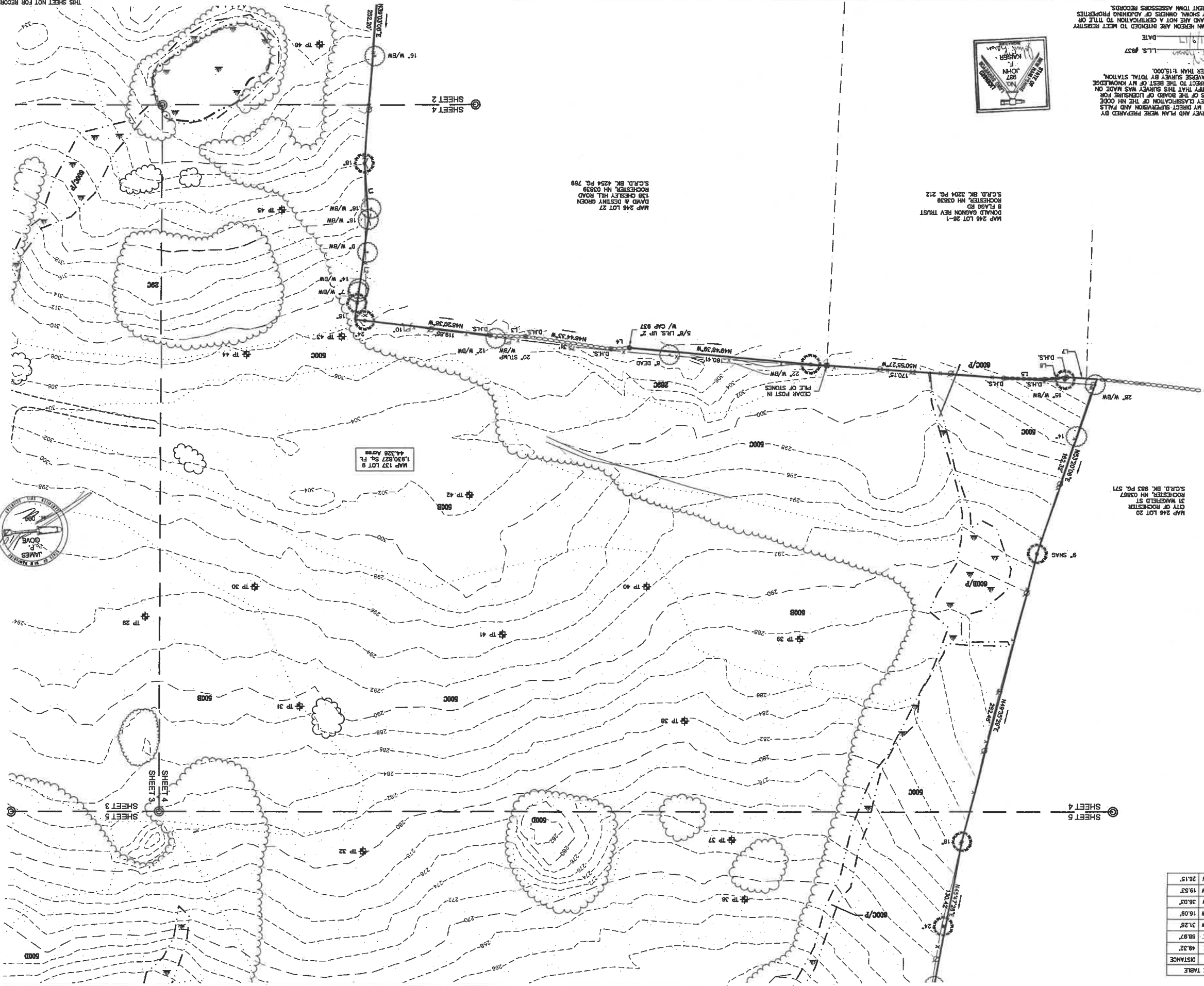
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



MAP 246 LOT 28-1
DONALD GAGNON REV TRUST
8 FLAGG RD
ROCHESTER, NH 03638
S.C.R.D. B.C. 3204 PG. 212

MAP 246 LOT 27
DAVID & DESTINY GREEN
138 CHESTLEY HILL ROAD
ROCHESTER, NH 03639
S.C.R.D. B.C. 4254 PG. 768

MAP 246 LOT 20
CITY OF ROCHESTER
31 WAKEFIELD ST
ROCHESTER, NH 03607
S.C.R.D. B.C. 883 PG. 571



MAP 137 LOT 9
1,930.827 SQ. FT.
48,328 ASBM



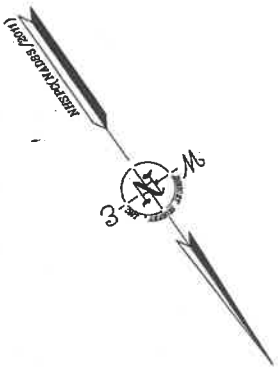
SCALE: 1 INCH = 40 FT.

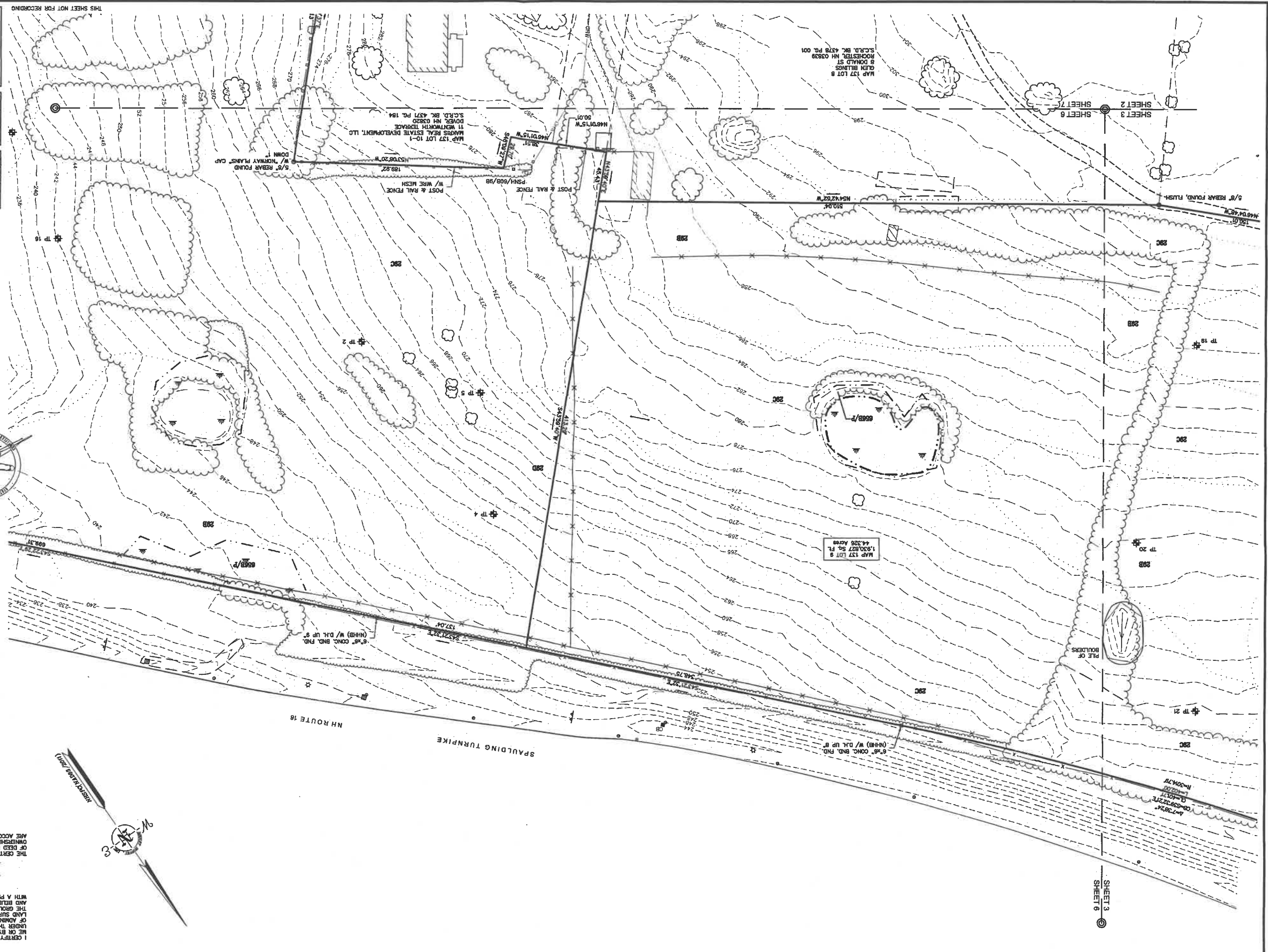
EXISTING CONDITIONS PLAN
BIRCHWOOD PONDS
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TAX MAP 137, LOTS 9, 9-5, 9-6 & 10
CHESTLEY HILL ROAD & DONALD STREET
ROCHESTER, NEW HAMPSHIRE

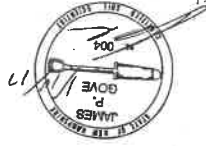
NO.	DATE	DESCRIPTION	BY

DRAWN BY: M.T.L. DATE: JANUARY 9, 2017
CHECKED BY: J.F.K. DRAWING NO.: 4380F
JOB NO.: 4380 SHEET 10 OF 19

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2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Street Street (RiverView Suite) Kennebunk, ME (207) 502-7005
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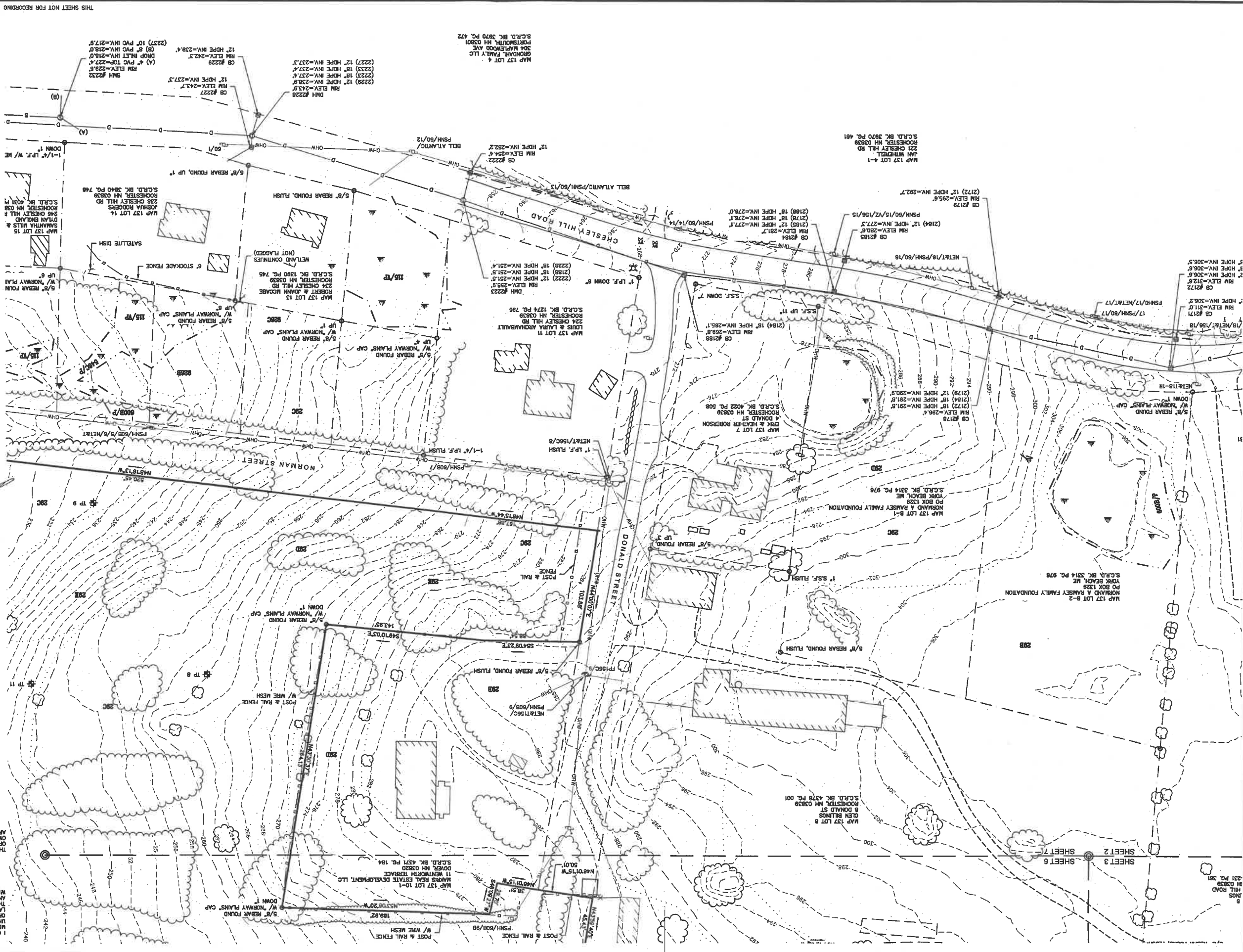




THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY
OF BEED REQUIREMENTS AND ARE NOT A CORRELATION TO TITLE OR
OWNERSHIP OF PROPERTY SHOWN, OWNERS OF ADJOINING PROPERTIES
ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

DATE 4/6/81 U.S. #357 4000

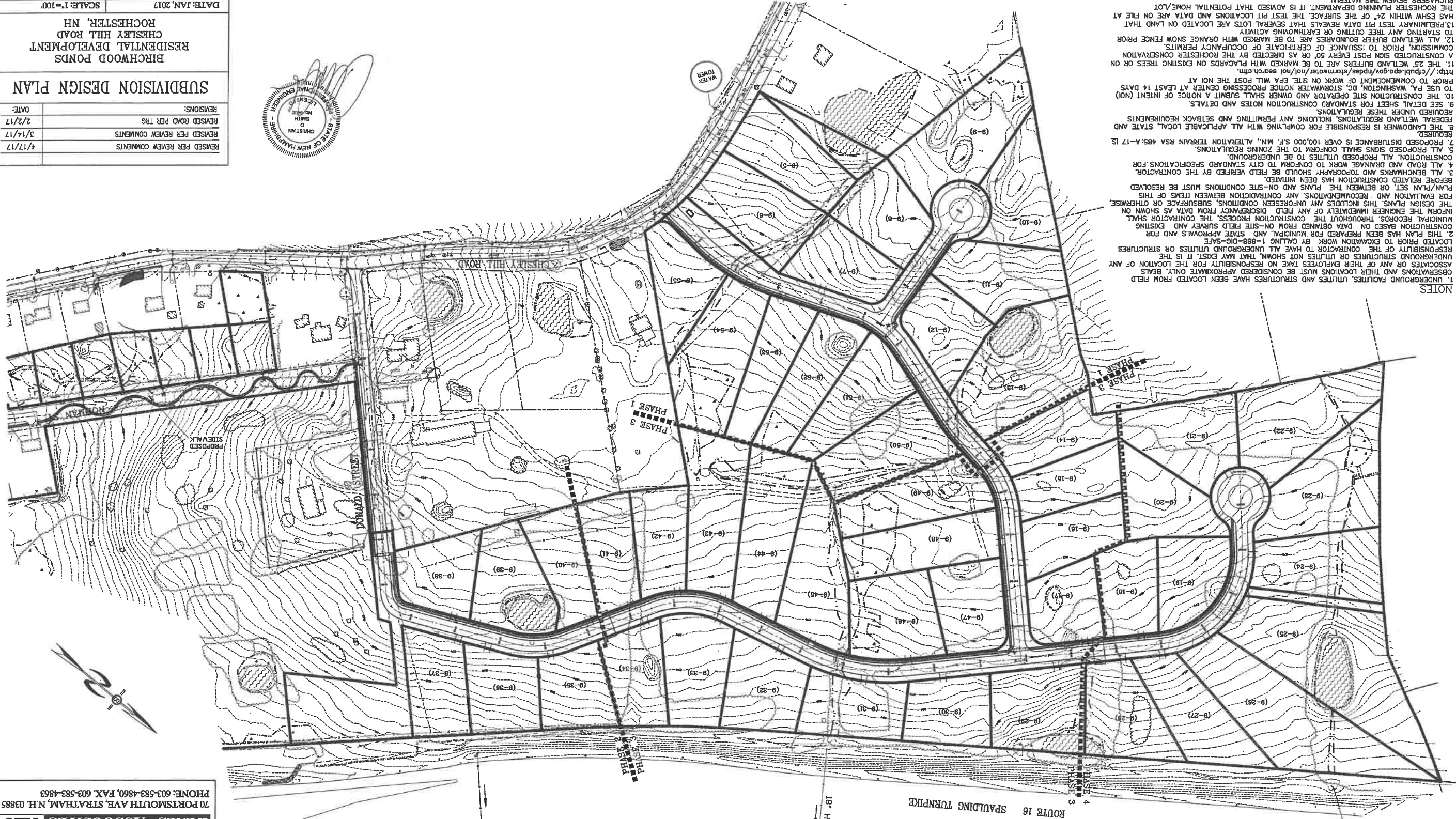
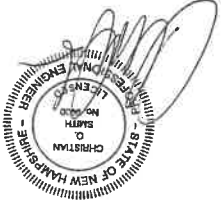
WITH A PRECISION GREATER THAN 1:15,000.
AND BEING RANDOMLY TRANSFERRED SURVEY BY TOTAL STATION
GROUND TO THESE 100' BY 100' LOTS.
[LAND SURVEYORS: I CERTIFY THAT THIS SURVEY WAS MADE ON
OR ADMINISTRATIVE RULES OF THE BOARD OF LAND SURVEYORS
UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE
BE OF THESE 100' BY 100' LOTS AND THE MEASUREMENT AND THIS
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY



NOTES

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN, THAT MAY EXIST, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE.
2. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN AND RECOMMENDATIONS. ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
3. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. ALL ROAD AND DRAINAGE WORK TO CONFORM TO CITY STANDARD SPECIFICATIONS. FOR CONSTRUCTION, ALL PROPOSED UTILITIES TO BE UNDERGROUND.
4. ALL PROPOSED SIGNS SHALL CONFORM TO THE ZONING REGULATIONS.
5. PROPOSED DISTURBANCE IS OVER 100,000 S.F. MIN. ALTERATION TERRAIN RSA 485-A-17 IS REQUIRED.
6. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
7. THE CONSTRUCTION SITE OPERATOR AND OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) TO USE PA WASHINGTON, DC, STORMWATER NOTICE PROCESSING CENTER AT LEAST 14 DAYS PRIOR TO COMMENCEMENT OF WORK ON SITE. EPA WILL POST THE NOI AT <http://cfdpub.epa.gov/nps/stormwater/notice/notsearch.cfm>.
8. THE 25' WETLAND BUFFERS ARE TO BE MARKED WITH PLACARDS ON EXISTING TREES OR ON A CONSTRUCTED SIGN POST EVERY 50' OR AS DIRECTED BY THE ROCHESTER CONSERVATION COMMISSION, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS.
9. ALL WETLAND BUFFER BOUNDARIES ARE TO BE MARKED WITH ORANGE SNOW FENCE PRIOR TO STARTING ANY TREE CUTTING OR EARTHMOVING ACTIVITY.
10. PRELIMINARY TEST PIT DATA REVEALS THAT SEVERAL LOTS ARE LOCATED ON LAND THAT HAS SHOWN WITHIN 24" OF THE SURFACE. THE TEST PIT LOCATIONS AND DATA ARE ON FILE AT THE ROCHESTER PLANNING DEPARTMENT. IT IS ADVISED THAT POTENTIAL HOME/LOT PURCHASERS REVIEW THIS MATERIAL.

PROJ. NO. NH-860	SHEET NO. 14 OF 38
DATE: JAN, 2017	SCALE: 1"=100'
BIRCHWOOD PONDS RESIDENTIAL DEVELOPMENT CHESTNEY HILL ROAD ROCHESTER, NH	
SUBDIVISION DESIGN PLAN	
REVISED PER REVIEW COMMENTS	4/17/17
REVISED PER REVIEW COMMENTS	3/14/17
REVISED ROAD PER TRG	2/2/17
REVISIONS:	DATE:



MAKRIS R.E. DEVELOPMENT, LLC
11 WENTWORTH TERRACE
DOVER, NH 03820

BEATS & ASSOCIATES PLLC
70 PORTSMOUTH AVE. STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

ZONING REQUIREMENTS

ZONE: R-1 (RESIDENTIAL)

LOT AREA: 10,000 SQ. FT. MINIMUM

LOT FRONTAGE: 100 FT.

FRONT YARD: 10 FT.

REAR YARD: 20 FT. MINIMUM

SIDE YARD: 10 FT.

WETLAND SETBACK: 50 FT. (25' NO-DISTURB)

BUILDING HEIGHT: 35 FT.

COVERAGE (FOOTPRINT): 30% MAX.

PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE AND SPECIFICATION
ACER FRAXINUS	RED SUNSET MAPLE	2.5"-3" CAL. B&B
FRAXINUS	REDSPICE PEAR	2.5"-3" CAL. B&B
ULMUS X LIBERTY (LE)	LIBERTY ELM	2.5"-3" CAL. B&B
ABIES CONCOLOR	WHITE FIR (WF)	6' HEIGHT
JUNIPERUS VIRGINIANA	EASTERN RED CEDAR (ERC)	6-7' HEIGHT

SEPARATION NOTE

1. PER CITY OF ROCHESTER REQUIREMENTS, NO TWO DWELLING UNITS SHALL BE CONSTRUCTED CLOSER THAN 30' FROM ONE ANOTHER.

LEGEND

- UTILITY POLE
LIGHT POLE
TEST PIT W/ NO. STONE WALL
TREE LINE
EXISTING CONTOUR - 10'
EXISTING CONTOUR - 2'
NATURAL WETLAND BOUNDARY
50' WETLAND SETBACK
SEPTIC SETBACK
BUILDING SETBACK
ABUTTER PROPERTY LINE
EXISTING PROPERTY LINE
PROPOSED PROPERTY LINE
RESERVE AREA

- RED SUNSET MAPLE
REDSPICE PEAR
LIBERTY ELM
WHITE FIR (WF)
EASTERN RED CEDAR (ERC)

ZONING REQUIREMENTS

- ZONE = R1 (RESIDENTIAL)
LOT AREA
10,000 SQ. FT. MINIMUM
100 FT. FRONTAGE
10 FT. FRONT YARD
20 FT. MINIMUM
50 FT. (25' NO-DISTURB)
35 FT. BUILDING HEIGHT
30% MAX. COVERAGE (FOOTPRINT)

PREPARED FOR:

MAKRIS R.E. DEVELOPMENT, LLC
11 WENTWORTH TERRACE
DOVER, NH 03820

BEATS • ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED MARCH 9, 2016, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. FIELD WORK WAS CONDUCTED NOVEMBER AND DECEMBER OF 2015, AND JANUARY OF 2016. PROJECT IS GCS # 2015170.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011.

SOIL LEGEND	MAP	UNIT NAME	HYDROLOGIC GROUP
ALPHA SLOPE RANGE			
E 25-50%			
D 15-25%			
C 8-15%			
B 0-8%			
A 0-2%			
SWPD = SOMEWHAT POORLY DRAINIED			
PD = POORLY DRAINIED			
V = WATER (POND)			

SPECIFIC EROSION CONTROL MEASURES PER PHASE

1. Obtain plan approval and any other applicable permits.
2. Flag the work limits and mark the buffer area for protection.
3. Hold a construction conference at least one week prior to starting construction.
4. Install temporary gravel construction entrances/exits.
5. Install sediment basins as the first construction activity (pond 1, 35' Storage Area 11 and 42', Grassed Drainage Channel).
6. Install erosion control with block and gravel. Inlet protection at construction entrances/exits.
7. Construct temporary diversions above proposed building sites.
8. Install level spreader and sediment trap and vegetative distributed areas.
9. Rough grade site, reconfigure topography, construct channels, install culverts and outlet protection, and install sediment fences as needed. Maintain diversions along top of fill slope and the grade of the grassed area to reduce slope length and the time it takes for water to reach the water body.
10. Finish the slopes around buildings as soon as rough grading is complete. Leave the surface slightly roughened and vegetated with gravel.
11. Complete final grading for roads and parking and stabilize with gravel.
12. Complete final grading for buildings.
13. Complete final grading of grounds, topographical areas, and permanently vegetate, landscape, and mulch.
14. Complete final grading of grounds, topographical areas, and permanently vegetate, landscape, and mulch.
15. Install riprap outlet channel and extend riprap to pipe outlet under entrance road.
16. All erosion and sediment control practices will be inspected weekly and after rainfall events. Needed repairs will be made immediately.
17. After site is stabilized, remove all temporary measures and install permanent vegetation on the disturbed areas.
18. Reclaimed time before final stabilization--9 months

REVISED PER REVIEW COMMENTS	DATE
5/24/17	REVISED PER REVIEW COMMENTS
4/17/17	REVISED PER REVIEW COMMENTS
3/14/17	REVISED PER REVIEW COMMENTS
2/2/17	REVISED ROAD PER TRS

SUBDIVISION SITE PLAN

BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
CHESTLEY HILL ROAD
ROCHESTER, NH

SCALE: 1"=50'

PROJ. NO. NH-860

SHEET NO. 15 OF 38

DATE: JAN. 2017

DATE: 5/24/17

DATE: 4/17/17

DATE: 3/14/17

DATE: 2/2/17

DATE: 1/17/17

DATE: 1/17/17

DATE: 1/17/17

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MAKRIS R. E. DEVELOPMENT, LLC
11 WENTWORTH TERRACE
DOVER, NH 03820

BEATS & ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

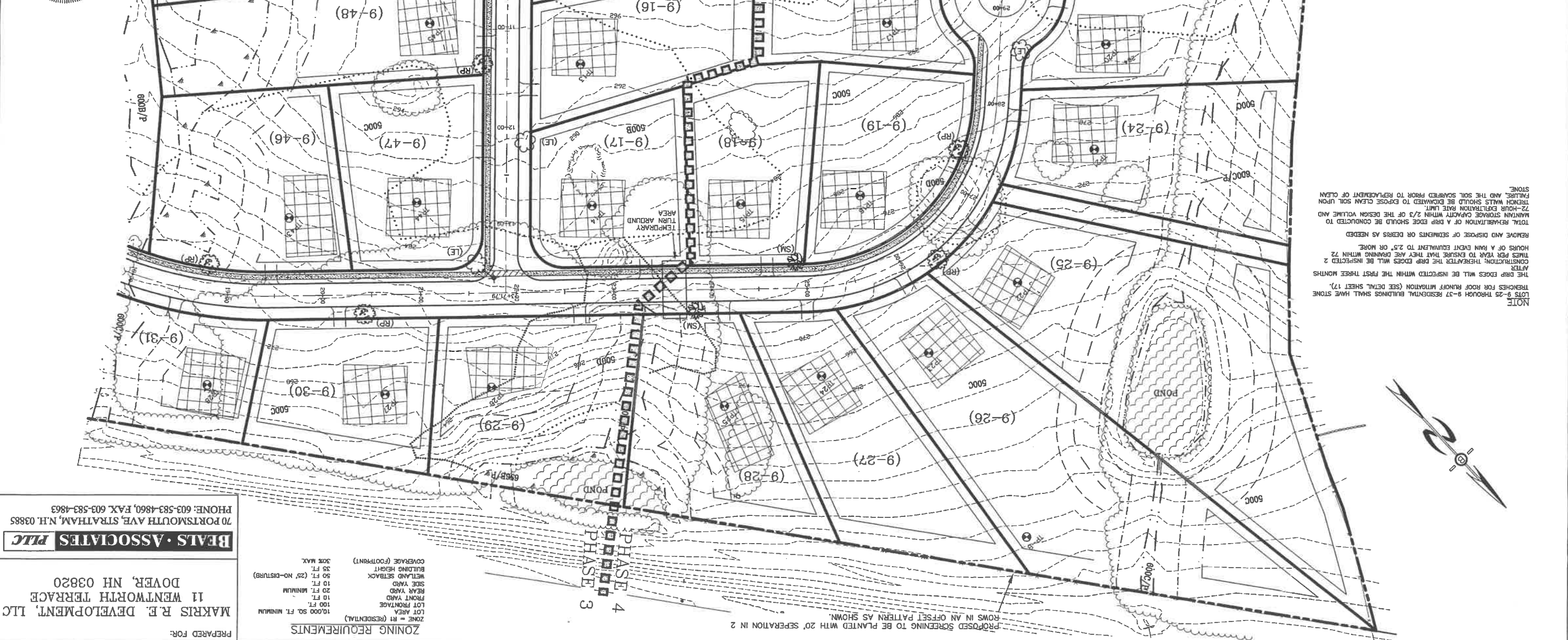
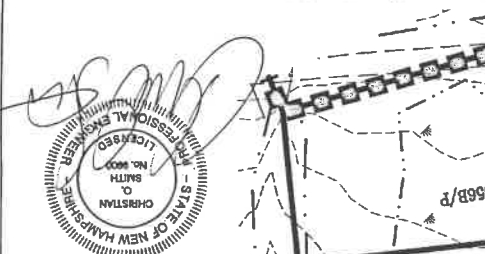
PREPARED FOR:

ZONING REQUIREMENTS
ZONE = R1 (RESIDENTIAL)
LOT AREA 10,000 SQ. FT. MINIMUM
LOT FRONTAGE 100 FT.
FRONT YARD 10 FT.
REAR YARD 20 FT. MINIMUM
SIDE YARD 10 FT.
WETLAND SETBACK 50 FT. (25' NO-DISTURB)
BUILDING HEIGHT 35 FT.
COVERAGE (FOOTPRINT) 30% MAX.

SUBDIVISION SITE PLAN

REVISIONS:	DATE:
REVISD PER REVIEW COMMENTS	8/30/17
REVISD PER REVIEW COMMENTS	5/24/17
REVISD PER REVIEW COMMENTS	3/14/17
REVISD ROAD PER TRG	2/2/17

BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
CHESLEY HILL ROAD
ROCHESTER, NH
DATE: JAN. 2017
SCALE: 1"=50'
PROJ. NO. NH-860
SHEET NO. 16 OF 38



NOTE
LOTS 9-25 THROUGH 9-27 RESIDENTIAL BUILDINGS SHALL HAVE STONE
TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL SHEET 17).
AFTER
CONSTRUCTION, THEREAFTER THE DRP EDGES WILL BE INSPECTED 2
TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 22
HOURS OF A RAIN EVENT EQUIVALENT TO 2.5" OR MORE.
REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED
TOTAL REHABILITATION OF A DRP EDGE SHOULD BE CONDUCTED TO
MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME AND
72-HOUR EXFILTRATION RATE LIMIT.
FRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON
FAILURE, AND THE SOIL SCARPED PRIOR TO REPLACEMENT OF CLEAN
STONE.

- LEGEND
- TEST PIT W/ NO.
 - UTILITY POLE
 - STONE WALL
 - TREE LINE
 - EXISTING CONTOUR - 10'
 - EXISTING CONTOUR - 2'
 - NATURAL WETLAND BOUNDARY
 - 25' NO DISTURB BUFFER
 - 50' WETLAND SETBACK
 - SOILS BOUNDARY LINE
 - SEPTIC SETBACK
 - BUILDING SETBACK
 - ABUTTER PROPERTY LINE
 - EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - 4,000 SF SEPTIC RESERVE AREA

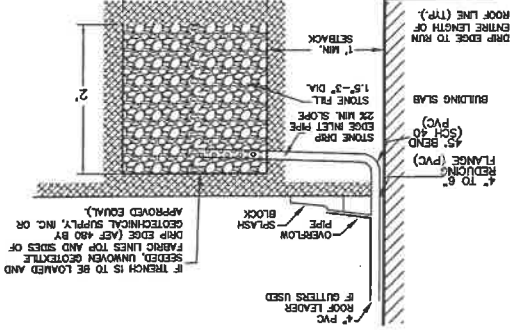
MAKRIS R.E. DEVELOPMENT, LLC
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DOVER, NH 03820

BEALS & ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATFORD, NH 03885
PHONE: 603-583-4860, FAX: 603-583-4863

PREPARED FOR:

ZONING REQUIREMENTS
LOT AREA 10,000 SQ. FT. MINIMUM
LOT FRONTAGE 100 FT.
FRONT YARD 10 FT.
SIDE YARD 10 FT. MINIMUM
REAR YARD 20 FT. MINIMUM
WETLAND SETBACK 50 FT. (25' NO-DISTURB)
BUILDING HEIGHT 35 FT.
COVERAGE (FOOTPRINT) 30% MAX.



STONE DRIP EDGE SECTION
NOT TO SCALE

NOTE
LOTS 9-29 THROUGH 9-37 RESIDENTIAL BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL THIS SHEET). AFTER DRIP EDGES WILL BE INSPECTED WITHIN THE FIRST THREE MONTHS OF CONSTRUCTION. THEREAFTER THE DRIP EDGES WILL BE INSPECTED 2 TIMES PER YEAR TO ENSURE THAT THEY ARE DRAINING WITHIN 72 HOURS OF A RAIN EVENT EQUIVALENT TO 2.5" OR MORE. REMOVE AND DISPOSE OF SEDIMENTS OR DEBRIS AS NEEDED. TOTAL RECALCULATION OF A DRIP EDGE SHOULD BE CONDUCTED TO MAINTAIN STORAGE CAPACITY WITHIN 2/3 OF THE DESIGN VOLUME AND 72-HOUR DRAINAGE RATE LIMIT. TRENCH WALLS SHOULD BE EXCAVATED TO EXPOSE CLEAN SOIL UPON FAILURE, AND THE SOIL SCOURED PRIOR TO REPLACEMENT OF CLEAN STONE.

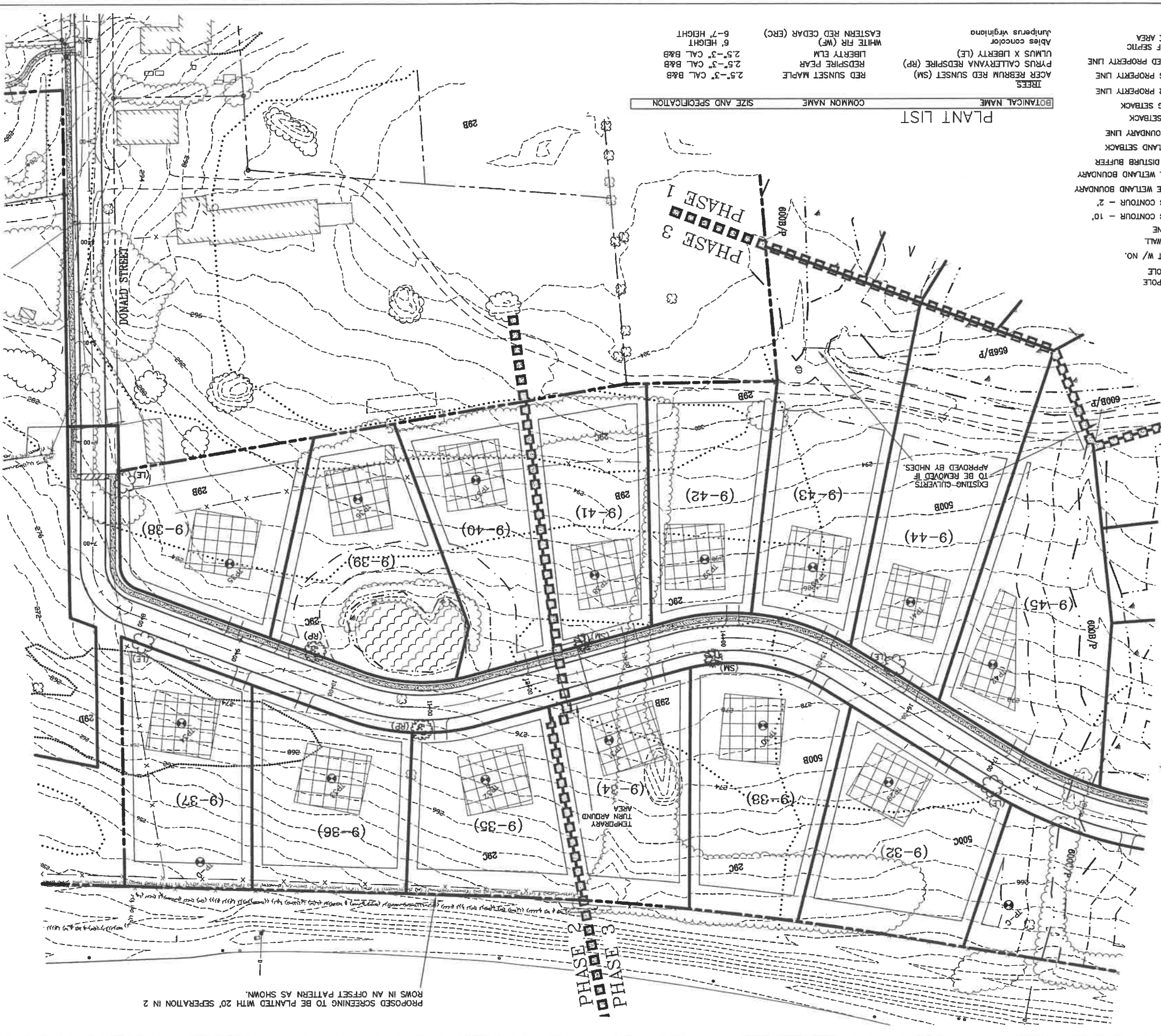


REVISED PER REVIEW COMMENTS	8/30/17
REVISED PER REVIEW COMMENTS	5/24/17
REVISED PER REVIEW COMMENTS	3/14/17
REVISED ROAD PER TRG	2/2/17

SUBDIVISION SITE PLAN

BIRCHWOOD PONDS
RESIDENTIAL DEVELOPMENT
CHESTNUT HILL ROAD
ROCHESTER, NH

DATE: JAN, 2017
SCALE: 1"=50'
SHEET NO. 17 OF 38
PROJ. NO: NH-860



BOTANICAL NAME	COMMON NAME	SIZE AND SPECIFICATION
RED SUNSET MAPLE	RED SUNSET MAPLE	2.5"-3" CAL. B&B
REDSPICE PEAR	REDSPICE PEAR	2.5"-3" CAL. B&B
LIBERTY ELM	LIBERTY ELM	2.5"-3" CAL. B&B
WHITE FIR (WF)	WHITE FIR (WF)	6" HEIGHT
EASTERN RED CEDAR (ERC)	EASTERN RED CEDAR (ERC)	6-7' HEIGHT

PLANT LIST

UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
TEST PT W/ NO.	TEST PT W/ NO.
STONE WALL	STONE WALL
TREE LINE	TREE LINE
EXISTING CONTOUR - 10'	EXISTING CONTOUR - 10'
EXISTING CONTOUR - 2'	EXISTING CONTOUR - 2'
NATURAL WETLAND BOUNDARY	NATURAL WETLAND BOUNDARY
25' NO DISTURB BUFFER	25' NO DISTURB BUFFER
50' WETLAND SETBACK	50' WETLAND SETBACK
SOILS BOUNDARY LINE	SOILS BOUNDARY LINE
SEPTIC SETBACK	SEPTIC SETBACK
BUILDING SETBACK	BUILDING SETBACK
ABUTTER PROPERTY LINE	ABUTTER PROPERTY LINE
EXISTING PROPERTY LINE	EXISTING PROPERTY LINE
PROPOSED PROPERTY LINE	PROPOSED PROPERTY LINE
4,000 SF SEPTIC RESERVE AREA	4,000 SF SEPTIC RESERVE AREA

LEGEND

PREPARED FOR:

MAKRIS R E DEVELOPMENT, LLC

11 WENTWORTH TERRACE

DOVER, NH 03820

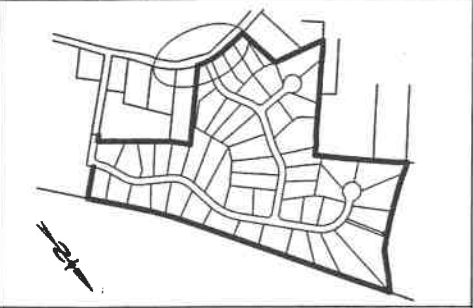
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PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION LEGEND 1"=600'

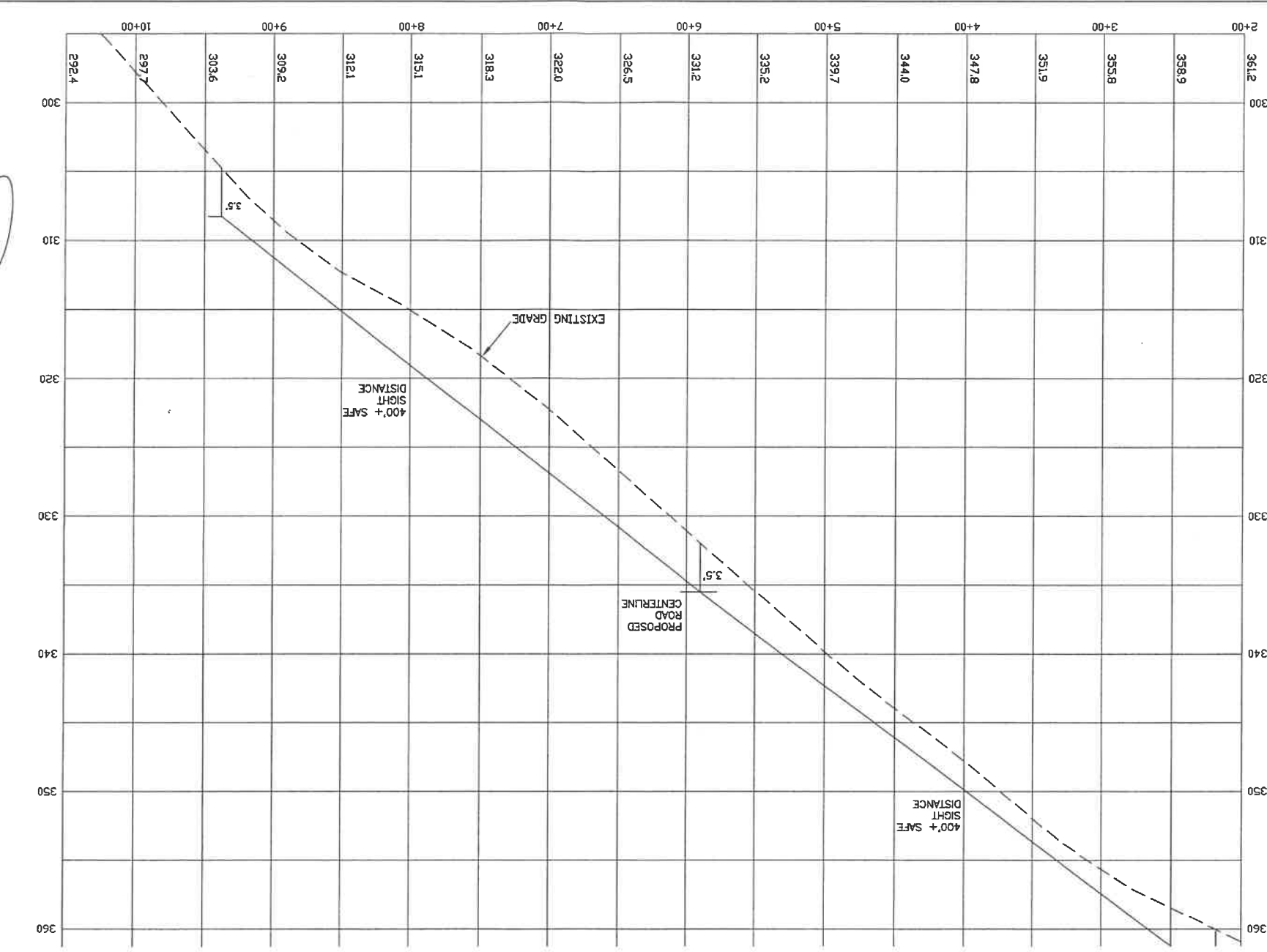
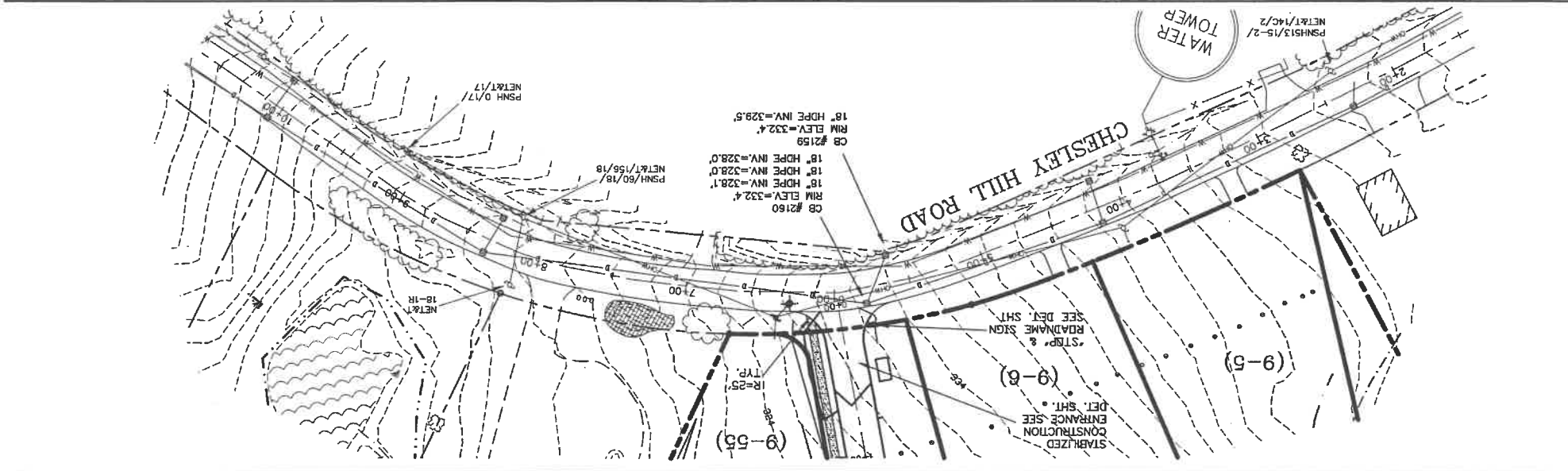
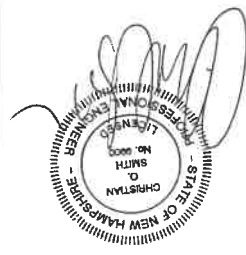


PROFILE SCALES:
HORIZONTAL 1"=50' VERTICAL 1"=5'

NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO STANDARD SPECIFICATIONS AND TO N.H.D.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.

REVISIONS:	
DATE:	
ROADWAY ACCESS PLAN	
BIRCHWOOD PONDS RESIDENTIAL DEVELOPMENT CHESLEY HILL ROAD ROCHESTER, NH	
DATE: JAN, 2017	
SCALE: 1" = 50'	
SHEET NO. 18 OF 38	
PROJ. NO. NH-860	

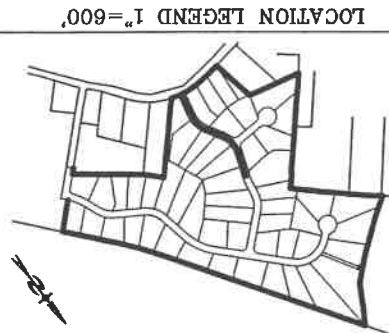


PREPARED FOR:

MAKRIS R.E. DEVELOPMENT, LLC
11 WENTWORTH TERRACE
DOVER, NH 03820

BEATS & ASSOCIATES PLLC

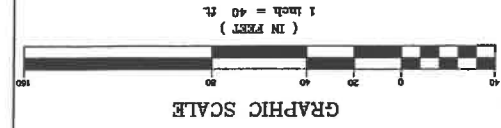
70 PORTSMOUTH AVE, STRATHAM, N.H. 03865
PHONE: 603-583-4860, FAX: 603-583-4863



PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'

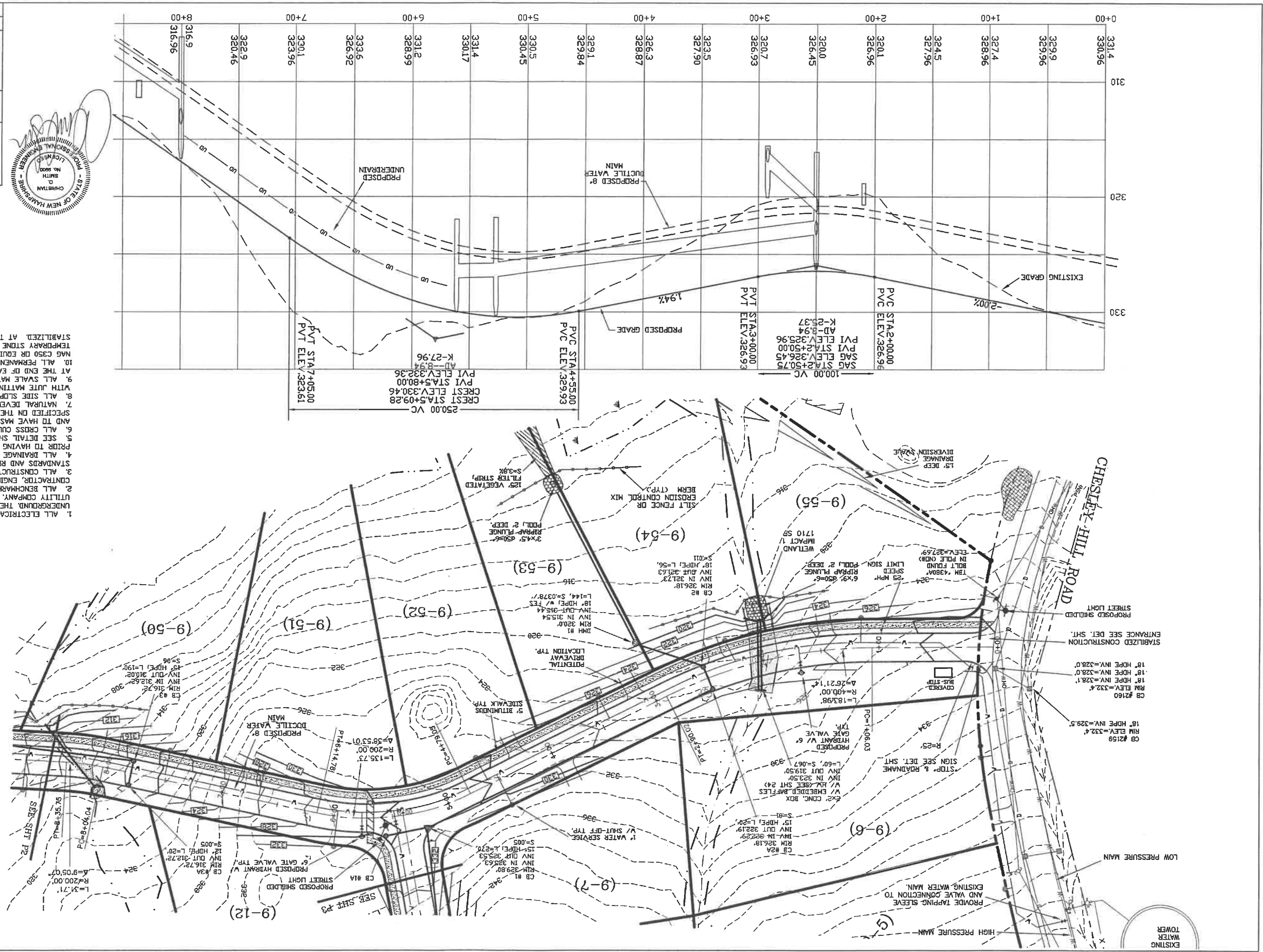
NOTES

1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO M.H.D.T. STANDARDS AND REGULATIONS.
4. ALL DRAINAGE STRUCTURES AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
6. ALL CROSS CULVERTS & DRIVEWAY CULVERTS TO BE MIN. 12" ADS N-12 AND TO HAVE MASONRY HEADWALLS UNLESS FLARED END SECTIONS ARE SPECIFIED ON THE PLANS.
7. NATURAL DEVELOPED AREA BUFFERS ARE TO REMAIN WOODED.
8. ALL SIDE SLOPES STEEPER THAN 3:1 (WETLAND CROSSINGS) TO BE LINED WITH JUTE MATTING OR EQUAL.
9. ALL SWALE MATTING WILL EXTEND TO THE LIP OF THE LEVEL SPREADER AT THE END OF EACH SWALE.
10. ALL PERMANENT EROSION CONTROL SWALE LINING MATERIAL SHALL BE MAG C350 OR EQUIVALENT. ALL OTHER SWALES WILL BE PROTECTED WITH TEMPORARY STONE CHECK DAMS (S.C.D.) UNTIL THE VEGETATION HAS FULLY STABILIZED. AT THIS TIME THE S.C.D.'S WILL BE REMOVED.



REVISIONS:	DATE:
UPDATED LOT NUMBERS	6/27/17
REVISED PER REVIEW COMMENTS	3/14/17
REVISED WATER MAIN CONNECTION	2/28/17
REVISED ROAD PER TRG	2/2/17

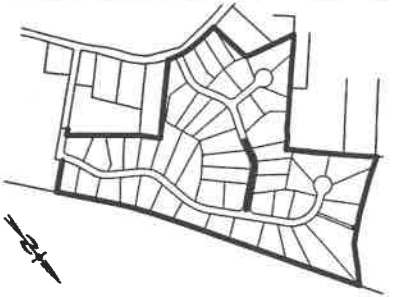
BIRCHWOOD PONDS
CHESTLEY HILL ROAD
ROCHESTER, NH
DATE: JAN. 2017
SCALE: 1" = 40'
SHEET NO. 19 OF 38
PROJ. NO. NH-860



PREPARED FOR:
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DOVER, NH 03820

BEALS ASSOCIATES PLLC

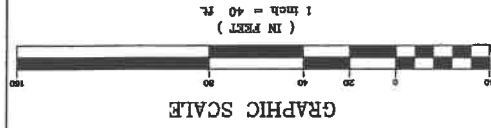
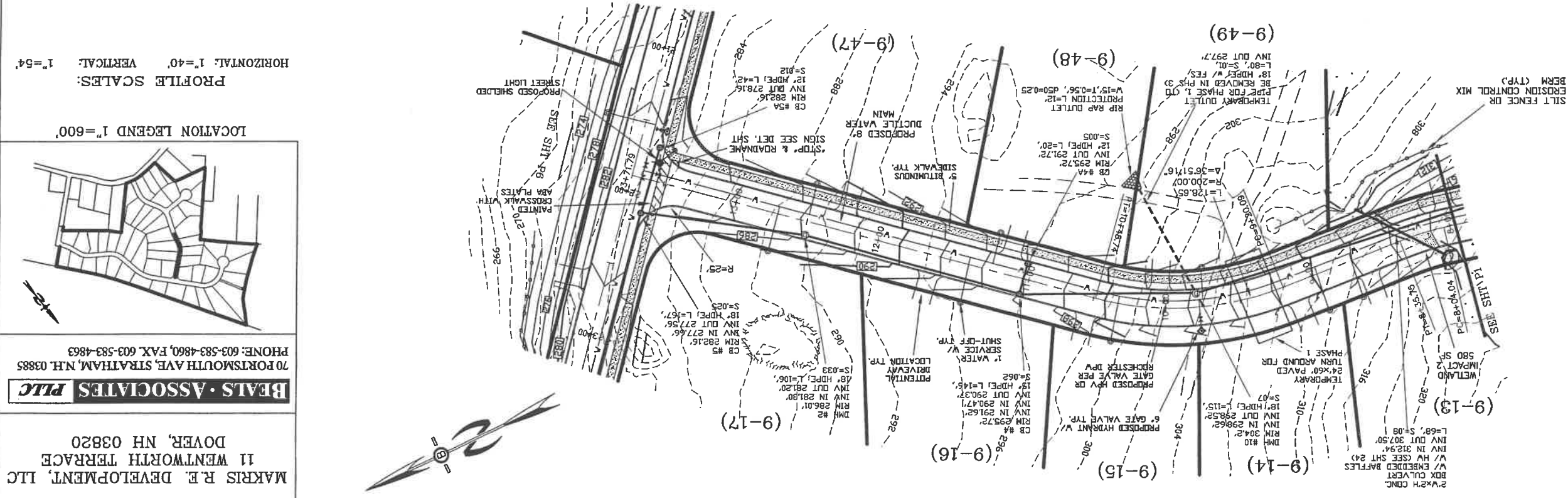
70 PORTSMOUTH AVE. STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION LEGEND 1"=600'

PROFILE SCALES:

HORIZONTAL: 1"=40' VERTICAL: 1"=5.4'



GRAPHIC SCALE

6/27/17	UPDATED LOT NUMBERS
5/24/17	REVISED PER REVIEW COMMENTS
4/17/17	REVISED PER REVIEW COMMENTS
3/14/17	REVISED PER REVIEW COMMENTS
DATE:	REVISIONS:

PLAN AND PROFILE-P2

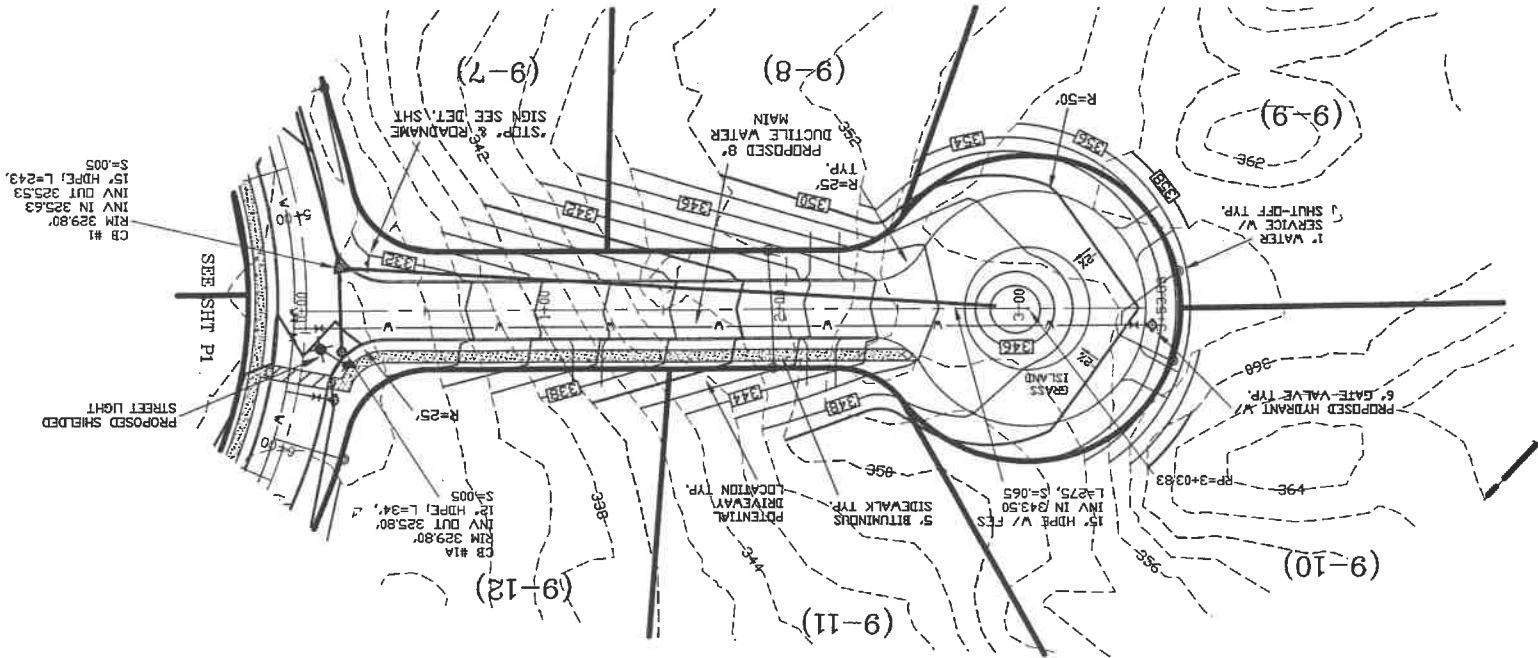
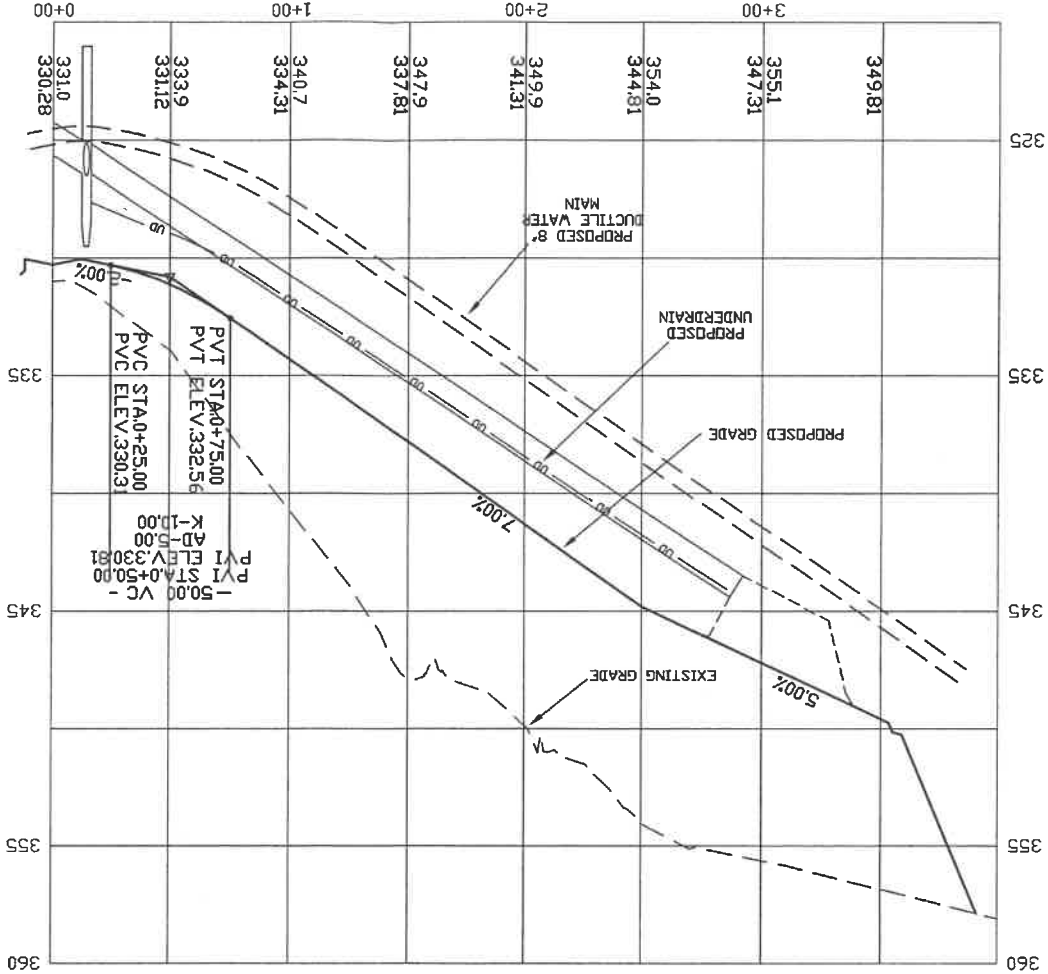
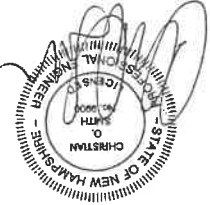
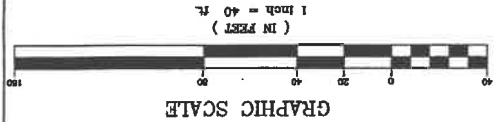
BIRCHWOOD PONDS
CHESTLEY HILL ROAD
ROCHESTER, NH

SCALE: 1"= 40'

DATE: JAN. 2017
SHEET NO. 20 OF 38
PROJ. NO. NH-860

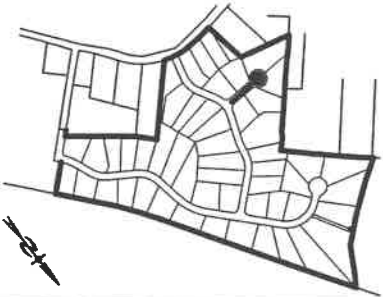


DATE: JAN, 2017		PROJ. NO. NH-860
SCALE: 1" = 40'		SHEET NO. 21 OF 38
BIRCHWOOD PONDS RESIDENTIAL DEVELOPMENT CHESTLEY HILL ROAD ROCHESTER, NH		
PLAN AND PROFILE-P3		
REVISED LOT NUMBERS	6/27/17	UPDATED PER REVIEW COMMENTS
REVISED ROAD PER TRG	2/2/17	REVISED PER REVIEW COMMENTS
DATE:	2/2/17	



PROFILE SCALES:
HORIZONTAL: 1"=40'
VERTICAL: 1"=54'

LOCATION LEGEND 1"=600'



PREPARED FOR:

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DOVER, NH 03820

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