

## **NONRESIDENTIAL SITE PLAN APPLICATION**

### **City of Rochester, New Hampshire**

[office use only. Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date paid \_\_\_\_\_]

Date: August 15, 2017 Is a conditional use needed? Yes: \_\_\_\_\_ No: X Unclear: \_\_\_\_\_  
(If so, we encourage you to submit an application as soon as possible.)

#### **Property information**

Tax map #: 120; Lot #(s): 19; Zoning district: Downtown Commercial

Property address/location: 17 Signal Street, Rochester, NH

Name of project (if applicable): City Beverage

Size of site: 0.56 acres; overlay zoning district(s)? Special Downtown Overlay District

#### **Property owner**

Name (include name of individual): RIGZ Enterprises, LLC (Rich Rigazio)

Mailing address: 167 Lafayette Road, Seabrook, NH 03874

Telephone #: 603-475-5702 Email: rigazio4@comcast.net

#### **Applicant/developer** (if different from property owner)

Name (include name of individual): Jewett Construction, Inc. (Greg Stewart)

Mailing address: 68 NH 27, Raymond, NH 03077

Telephone #: 603-895-2412 Email: gstewart@jewettconstruction.com

#### **Engineer/designer**

Name (include name of individual): CLD Fuss & O'Neill (Rick Dolce)

Mailing address: 316 US Route 1, Suite D, York, ME 03909

Telephone #: 207-363-0669 x320 Fax #: 603-792-6962

Email address: rickd@cldengineers.com Professional license #: 15050

#### **Proposed activity** (check all that apply)

New building(s): \_\_\_\_\_ Site development (other structures, parking, utilities, etc.): X

Addition(s) onto existing building(s): X Demolition: \_\_\_\_\_ Change of use: X

Describe proposed activity/use: 1000 SF building addition to existing building with addition parking and stormwater infrastructure.

Describe existing conditions/use (vacant land?): Existing 4800+/- SF building with limited parking.  
Used as power equipment sales and service business.

**Utility information**

City water? yes ☒ no ☐; How far is City water from the site? 10+/- ft

City sewer? yes ☒ no ☐; How far is City sewer from the site? 30 +/- ft

If City water, what are the estimated total daily needs? TBD gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☒

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? Yes to adjacent infrastructure in ROW.

**Building information**

Type of building(s): 5 steel frame, with metal fascade

Building height: 20 - 12+/- ft Finished floor elevation: 229.7

**Other information**

# parking spaces: existing: 16 total proposed: 30; Are there pertinent covenants? ☐

Number of cubic yards of earth being removed from the site None anticipated.

Number of existing employees: N/A; number of proposed employees total: TBD

Check any that are proposed: variance ☐; special exception ☐; conditional use ☐

Wetlands: Is any fill proposed? N/A; area to be filled: N/A; buffer impact? ☐

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	5,887	24.1%
Parking and vehicle circulation	Development - 10,652 Neighbor's Parking Lot - 1,359	49.2%
Planted/landscaped areas (excluding drainage)	5,640	23.2%
Natural/undisturbed areas (excluding wetlands)	0	0%
Wetlands	0	0%
Other – drainage structures, outside storage, etc.	856	3.5%

(Continued Nonresidential Site Plan application Tax Map: 120 Lot: 19 Zone DC )

### Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Current equipment sales and service business being replaced by retail beverage and variety retail store, which requires 1000 SF addition.

### Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

*I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.*

X Signature of property owner: 

Date: 8/14/17

Signature of applicant/developer: 

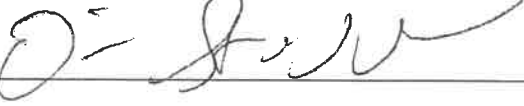
Date: 8/14/17

Signature of agent: 

Date: 8/14/17

### Authorization to enter subject property

*I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.*

X Signature of property owner: 

Date: 8/14/17

Page 3 (of 3 pages)

August 15, 2017

Mr. Seth Creighton, City Planner  
City of Rochester  
31 Wakefield Street  
Rochester, New Hampshire 03867



Re: City Beverage Site Development  
RIGZ Enterprises, LLC  
17 Signal Street, Rochester, NH 03867  
Tax Map 120, Lot 19  
Site Review Permit Application  
CLD Reference: 17-0235

Dear Mr. Creighton:

On behalf of RIGZ Enterprises, LLC, CLD Fuss & O'Neill is submitting a Site Plan Application for the renovation and expansion of the current Cocheco Equipment building, which is being repurposed for the proposed City Beverage.

The 0.56 acre project site is located at 17 Signal Street, within the Downtown Commercial (DC) Zone. This application proposes to renovate the existing equipment sales and service building, and add a 1000 sf addition off the rear of the existing building. The addition will house a new loading dock for deliveries and restrooms, with employee parking adjacent to the addition. The parking lot along Signal Street will remain a one-way traffic pattern, and delineate the parking striping while specifying handicapped parking spaces. Parallel parking will also be formalized with new pavement and striping on Old Farm Lane, adjacent to the existing building.

The impact to immediate areas will be minimal, as the essential function of the site will remain consistent. Existing underground utility lines will be installed underground to service the property. Signage and perimeter lighting will be updated to better serve the property and business, with some landscaping to accommodate the minor changes to the site.

Currently the property is mostly covered by impervious coverage, with the exception of the rear storage yard. Although, the surface material found there is so compacted it acts similar to impervious coverage. The intention of the proposed site development will increase impervious coverage, but with the implementation of the stormwater infiltration chambers, net flow and volume for the site will not increase. The infiltration system is designed to exceed the required New Hampshire Department of Environmental Services (NH DES) Water Quality Standards for this roof area. Stormwater which is not collected and directed to the stormwater chambers will continue to shed to the existing drainage infrastructure in Old Farm Lane and Signal Street.

Mr. Seth Creighton  
CLD Reference No. 17-0235  
August 15, 2017  
Page - 2

As part of the City's submission documents, we have included a site plan review checklist. In addition, mailing labels in triplicate have been included, for use in notifying abutters as required per City of Rochester Site Plan Regulations, Chapter 42 requirements.

I look forward to the opportunity to present this project at the next available Planning Board meeting. If you have any questions, please do not hesitate to contact me at (207) 363-0669 x320 or [rickd@cldengineers.com](mailto:rickd@cldengineers.com).

Very truly yours,



Rick S. Dolce, P.E.

FSD:rrl  
Enclosures

SITE DEVELOPMENT DRAWINGS  
FOR  
**CITY BEVERAGE**  
**BUILDING RENOVATION & ADDITION**

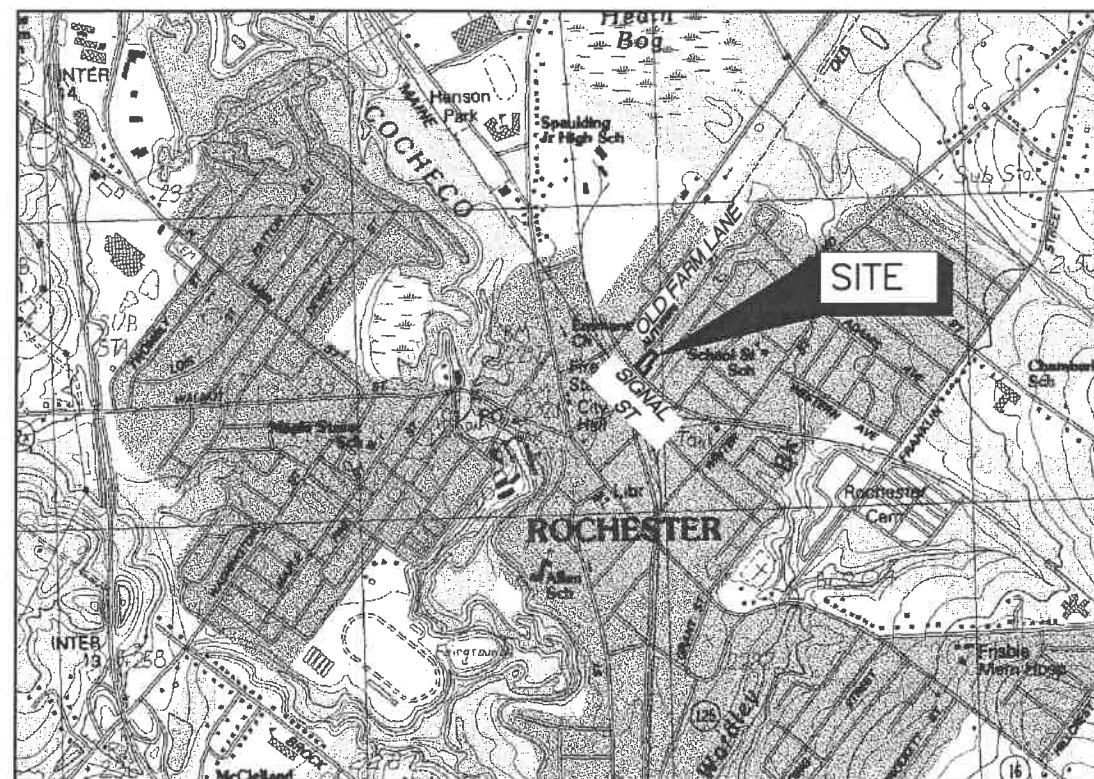
17 SIGNAL STREET  
ROCHESTER, NH  
PREPARED FOR  
**RIGZ ENTERPRISES, LLC**

NPDES NOTES:

1. THIS PROJECT DISTURBS APPROXIMATELY 13,000± SF (0.30 AC) OF LAND WHICH DOES NOT EXCEED THE NPDES THRESHOLD AMOUNT OF 43,560 SF (1 AC). THEREFORE, THE PROJECT WILL NOT BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA).

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DWG	SHEET NAME	REVISION DATE
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C4	DRAINAGE DETAILS	-
C5	DRAINAGE DETAILS - INFILTRATION CHAMBERS	-
C6	CONSTRUCTION DETAILS	-
C7	SEDIMENT & EROSION CONTROL MEASURES	-
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L1	LANDSCAPING PLAN	-
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LOCUS PLAN

SCALE: 1"=1000'

ABUTTERS

LOCATION	TAX MAP	OWNER	MAILING ADDRESS	DEED REFERENCE
10 OLDE FARM LN	MAP 120 LOT 11	THE SALVATION ARMY	10 OLDE FARM LANE, ROCHESTER 03867-2310	SCRD: 790-393
11 OLDE FARM LN	MAP 120 LOT 18	LABBE DEVELOPMENT INC	4 ALBERT ST, SOMERSWORTH, NH 03878	SCRD: 2087-212
17 SIGNAL ST	MAP 120 LOT 19	RIGZ ENTERPRISES LLC	167 LAFAYETTE RD, SEABROOK, NH 03874-4511	SCRD: 4282-438
0 SIGNAL ST	MAP 120 LOT 21	DANIEL & LOUISE R THIBAUDEAU REV LIVING TRUST	31 HANCOCK ST, ROCHESTER, NH 03867-3528	SCRD: 3324-299
2 LEONARD ST	MAP 120 LOT 22	2 LEONARD ST LLC & MOSER DOLLUNAY	12 PLEASANT ST APT 1, SAUGUS, MA 01906	SCRD: 4408-86
0 SIGNAL ST	MAP 120 LOT 316	LAM JW BROTHERS LLC	14 SIGNAL ST, ROCHESTER, NH 03867-2733	SCRD: 4384-359
28 SIGNAL ST	MAP 120 LOT 317	THE SALVATION ARMY C/O MAJ DETTRICK ARC COMMAND	30 WARREN AVE, PORTLAND, ME 04103-1140	SCRD: 1082-759
24 SIGNAL ST	MAP 120 LOT 315	LAM JW BROTHERS LLC	24 SIGNAL ST, ROCHESTER, NH 03867-2733	SCRD: 4300-243

LEGEND

(STANDARD LEGEND - ALL SYMBOLS SHOWN DO NOT NECESSARILY APPEAR IN THE PLAN SET)

	EXISTING	PROPOSED
2' CONTOUR	-148-	-148-
10' CONTOUR	-150-	-150-
EDGE OF PAVEMENT	-D-	-D-
DRAIN LINE	-S-	-S-
SEWER LINE	-UGETC-	-UGETC-
UNDERGROUND UTILITIES	-XG-	-G-
GAS LINE	-XW-	-W-
WATER LINE	-OHW-	-OHW-
OVERHEAD WIRES	-VGC-	-PGC-
VERTICAL GRANITE CURB	-SGC-	-PSGC-
SLOPED GRANITE CURB	-FGC-	-PFGC-
FLUSH GRANITE CURB		
CHAIN LINK FENCE		
SHRUB LINE		
SPOT GRADE	x 200.0	x 200.0
SEWER MANHOLE	SMH	SMH
CATCH BASIN	CB	CB
DRAIN MANHOLE	DMH	DMH
FIRE HYDRANT		
GAS REGULATOR		
GAS GATE		
WATER VALVE		
WATER VALVE		
THRUST BLOCK		
ELECTRIC MANHOLE		
STREET SIGN		
UTILITY POLE		
UTILITY POLE & GUY WIRE		
UTILITY POLE W/ LIGHT		
LIGHT POLE (ONE ARM)		
LIGHT POLE (TWO ARMS)		
LIGHT POLE (FOUR ARMS)		
ACCESSIBLE PARKING SPACE		
BOLLARD		
BORING		
TEST PIT		
IRON PIN, DRILL HOLE, BOUND		
DECIDUOUS TREE		
CONIFER TREE		
TRAFFIC FLOW		
EDGE OF WETLANDS		
PROPERTY LINE		
SILT FENCE		
STONE CHECK DAM		
INLET PROTECTION		
SNOW STORAGE		

SEE LANDSCAPE PLAN

S.S.



CONTACT DIG-SAFE 72 HOURS

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. OLD CONSULTING ENG. INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.

DATE	DATE	DATE	REVISION	DESIGNED	CHECKED	APPROVED
#	#	#	NO.	NO.	NO.	NO.

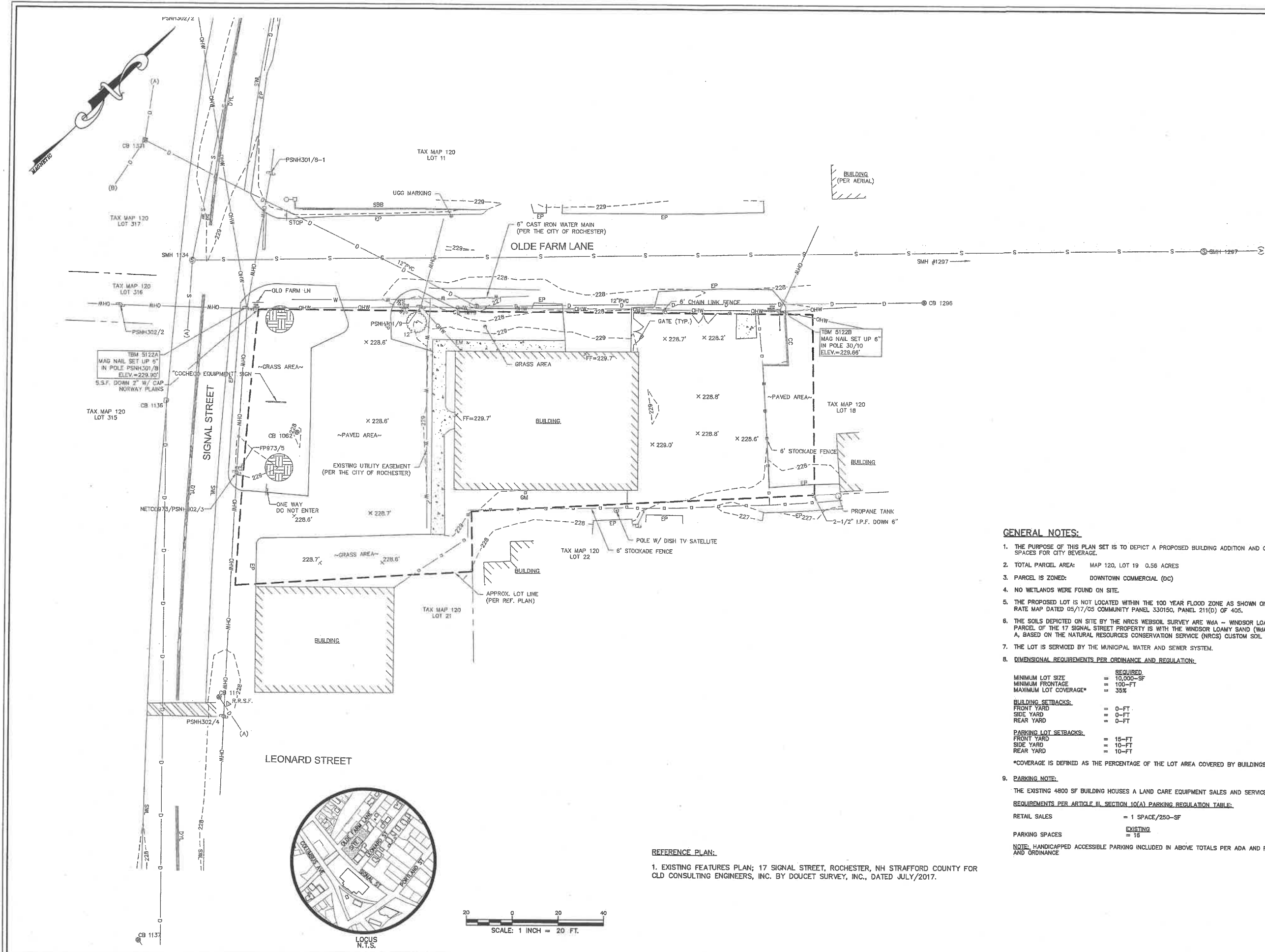


CLIENT: **JEWETT CONSTRUCTION, INC.**  
P.O. BOX 405  
RAYMOND, NH 03077

TAX MAP 120 LOT 19  
CITY BEVERAGE  
COVER SHEET  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE: 1"=	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. T1





**GENERAL NOTES:**

1. THE PURPOSE OF THIS PLAN SET IS TO DEPICT A PROPOSED BUILDING ADDITION AND CORRESPONDING PARKING SPACES FOR CITY BEVERAGE.
2. TOTAL PARCEL AREA: MAP 120, LOT 19 0.56 ACRES
3. PARCEL IS ZONED: DOWNTOWN COMMERCIAL (DC)
4. NO WETLANDS WERE FOUND ON SITE.
5. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/05 COMMUNITY PANEL 330150, PANEL 211(D) OF 405.
6. THE SOILS DEPICTED ON SITE BY THE NRCS WEBSOIL SURVEY ARE W4A - WINDSOR LOAMY SAND. THE ENTIRE PARCEL OF THE 17 SIGNAL STREET PROPERTY IS WITH THE WINDSOR LOAMY SAND (W4A), HYDROLOGIC SOIL GROUP A, BASED ON THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) CUSTOM SOIL RESOURCE REPORT.
7. THE LOT IS SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
8. DIMENSIONAL REQUIREMENTS PER ORDINANCE AND REGULATION:

MINIMUM LOT SIZE	=	REQUIRED
MINIMUM FRONTAGE	=	10,000-SF
MAXIMUM LOT COVERAGE*	=	100-FT
	=	35%

<u>BUILDING SETBACKS:</u>	
FRONT YARD	= 0-FT
SIDE YARD	= 0-FT
REAR YARD	= 0-FT

<u>PARKING LOT SETBACKS:</u>	
FRONT YARD	= 15-FT
SIDE YARD	= 10-FT
REAR YARD	= 10-FT

\*COVERAGE IS DEFINED AS THE PERCENTAGE OF THE LOT AREA COVERED BY BUILDINGS.

9. PARKING NOTE:  
THE EXISTING 4800 SF BUILDING HOUSES A LAND CARE EQUIPMENT SALES AND SERVICE BUSINESS.

REQUIREMENTS PER ARTICLE III, SECTION 10(A) PARKING REGULATION TABLE:

RETAIL SALES	= 1 SPACE/250-SF
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PARKING SPACES	EXISTING
	= 18

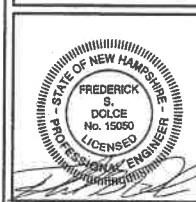
NOTE: HANDICAPPED ACCESSIBLE PARKING INCLUDED IN ABOVE TOTALS PER ADA AND ROCHESTER REGULATIONS AND ORDINANCE

REFERENCE PLAN:

1. EXISTING FEATURES PLAN: 17 SIGNAL STREET, ROCHESTER, NH STRAFFORD COUNTY FOR CLD CONSULTING ENGINEERS, INC. BY DOUCET SURVEY, INC., DATED JULY/2017.

DATE	DATE	DATE	REVISION	CHECKED	DESIGNED	APPROVED
#	#	#	NO.	DATE	DATE	DATE

**CLD CONSULTING ENGINEERS, INC.**  
Park Place Corporate Center  
315 US Route 1, Suite D - York, ME 03999  
(207) 365-6665 • Fax: (207) 365-2384  
clde@clde-engineers.com  
Maine • New Hampshire • Vermont

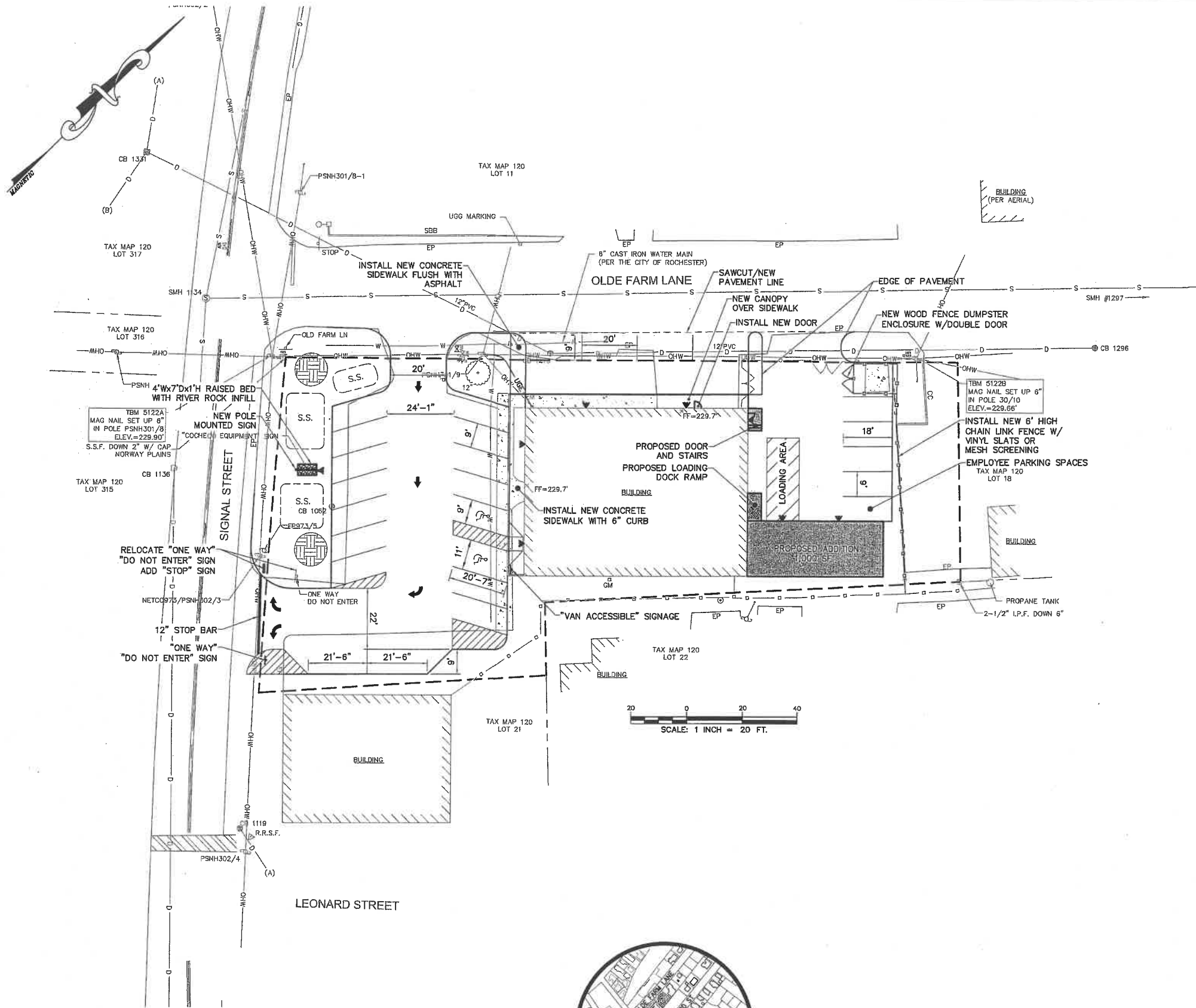


CLIENT: **JEWETT CONSTRUCTION, INC.**  
P.O. BOX 405  
RAYMOND, NH 03077

**TAX MAP 120 LOT 19  
CITY BEVERAGE  
EXISTING CONDITIONS**  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE: 1"=	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. CO





SCALE: 1 INCH = 20 FT.



**EASEMENT NOTES:**  
1. THIS PROPERTY IS SUBJECT TO A XX-FT WIDE (WATER) ACCESS EASEMENT IN FAVOR OF THE CITY OF ROCHESTER AND IS SUCCESSORS AND ASSIGNS AS DESCRIBED IN THE DEED RECORDED AS BK. XXXX, PG. XXX AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AND AS DEPICTED ON PLAN XX-XXX RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS.

#### GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN SET IS TO DEPICT A PROPOSED BUILDING ADDITION AND CORRESPONDING PARKING SPACES FOR CITY BEVERAGE.
2. TOTAL PARCEL AREA: MAP 120, LOT 19 0.56 ACRES
3. PARCEL IS ZONED: DOWNTOWN COMMERCIAL (DC)
4. NO WETLANDS WERE FOUND ON SITE.
5. THE PROPOSED LOT IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED 05/17/05 COMMUNITY PANEL 330150, PANEL 21(D) OF 405.
6. THE SOILS DEPICTED ON SITE BY THE NRCS WEBSOIL SURVEY ARE W6A - WINDSOR LOAMY SAND. THE ENTIRE PARCEL OF THE 17 SIGNAL STREET PROPERTY IS WITH THE WINDSOR LOAMY SAND (W6A), HYDROLOGIC SOIL GROUP A, BASED ON THE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) CUSTOM SOIL RESOURCE REPORT.
7. THE LOT IS SERVICED BY THE MUNICIPAL WATER AND SEWER SYSTEM.
8. **DIMENSIONAL REQUIREMENTS PER ORDINANCE AND REGULATION:**

	REQUIRED	PROVIDED
MINIMUM LOT SIZE	= 10,000-SF	= 24,170-SF
MINIMUM FRONTAGE	= 100-FT	= 121-FT
MAXIMUM LOT COVERAGE*	= 35%	= 24.78%
<b>BUILDING SETBACKS:</b>		
FRONT YARD	= 0-FT	= 88-FT
SIDE YARD	= 0-FT	= 2.9-FT (ADDITION)
REAR YARD	= 0-FT	= 57.5-FT (ADDITION)
		= 27.4-FT (ADDITION)

	REQUIRED	PROVIDED
FRONT YARD	= 15-FT	= 18.80-FT
SIDE YARD	= 10-FT	= 12.50-FT
REAR YARD	= 10-FT	= 24.00-FT

\*COVERAGE IS DEFINED AS THE PERCENTAGE OF THE LOT AREA COVERED BY BUILDINGS.

9. **PARKING NOTE:**  
THE PROPOSAL IS TO BUILD A 1000 SF ADDITION TO AN EXISTING 4,800SF WAREHOUSE STYLE BUILDING THAT WILL HOUSE A CONVENIENCE STORE/RETAIL STORE. PARKING IN THE REAR LOT WILL BE FOR EMPLOYEE PARKING ONLY.

#### REQUIREMENTS PER ARTICLE III, SECTION 10(A) PARKING REGULATION TABLE:

CONVENIENCE STORE/ RETAIL = 1 SPACE/250-SF (4,800SF = 20 SPACES)

	EXISTING	REQUIRED	PROPOSED
PARKING SPACES	= 16±	= 24	= 25

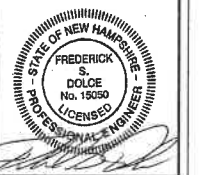
NOTE: HANDICAPPED ACCESSIBLE PARKING INCLUDED IN ABOVE TOTALS PER ADA AND ROCHESTER REGULATIONS AND ORDINANCE

FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE	DATE	DATE	NO.	REVISION	DESIGNED	CHECKED	APPROVED
#	#	#	#	#	#	#	#

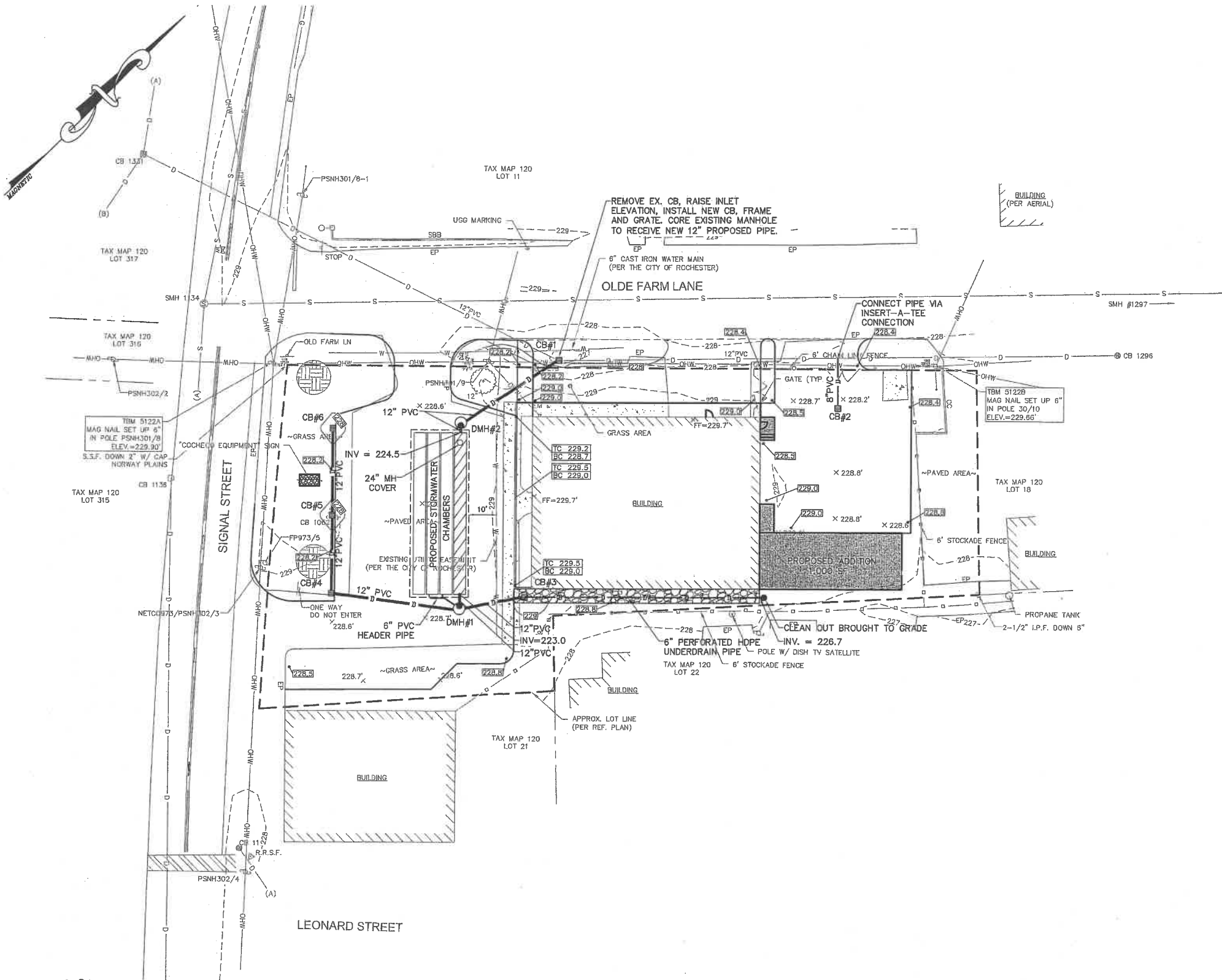
**CLD CONSULTING ENGINEERS, INC.**  
316 US Route 104, Suite D, Raymond, NH 03077  
603.883.3344  
clde@cldeengineers.com • www.cldeengineers.com  
Maine • New Hampshire • Vermont



CLIENT: **JEWETT CONSTRUCTION, INC.**  
P.O. BOX 405  
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TAX MAP 120 LOT 19  
CITY BEVERAGE  
SITE PLAN  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE: 1"=	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. C1



EXISTING DRAINAGE SUMMARY

CBR 1062  
RIM ELEV.=227.9'  
SUMP ELEV.=222'  
NO PIPES VISIBLE  
  
CBR 1119  
RIM ELEV.=227.6'  
(A) 6" UNKN. INV.=224.9'  
  
CB 1136  
RIM ELEV.=228.2'  
(1136) 8" UNKN. INV.=224.8'

PROPOSED DRAINAGE SUMMARY

DMH 1  
RIM = 228.4±  
INV. IN (CB3) = 224.0  
INV. IN (CB4) = 223.4  
INV. OUT (6"PVC HEADER) = 225.5  
INV. OUT (CHAMBERS) = 223.2  
  
DMH 2  
RIM = 228.25±  
INV. IN (CHAMBERS) = 224.5  
WEIR ELEV. = 225.5  
INV. OUT (OLD FARM RD) = 225.0

CBR 1137  
RIM ELEV.=227.7'  
(1137) 10" PVC INV.=224.9'  
(1136) 8" UNKN. INV.=223.9'  
(A) 12" UNKN. INV.=223.9'  
  
DMH 1138  
RIM ELEV.=227.9'  
(1137) 10" PVC INV.=224.9'  
(1136) 8" UNKN. INV.=223.9'  
(A) 12" UNKN. INV.=223.9'

EX. CB 1  
RIM = 227.7  
INV. IN (DMH2) = 223.5  
EX. INV. IN (OLD FARM LN) = 221.5  
EX. INV. OUT (SIGNAL ST) = 221.2

CB 1210  
RIM ELEV.=226.8'  
(1296) 10" PVC INV.=221.5'  
(1331) 10" PVC INV.=221.2'

CB 2  
RIM = 228.10  
INV. OUT (OLD FARM RD) = 224.6

CBR 1296  
RIM ELEV.=227.1'  
(1210) 10" PVC INV.=225.1'  
EXTREMELY RECESSED

CB 3  
RIM = 228.4  
INV. IN (UNDER DRAIN) = 225.0  
INV. OUT (DMH 1) = 224.9

CB 1331  
RIM ELEV.=227.8'  
(A) 10" PVC INV.=221.1'  
(B) 10" PVC INV.=221.1'  
(1210) 10" PVC INV.=220.9'

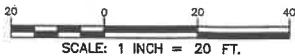
CB 4  
RIM = 228.0  
INV. IN (CB5) = 224.0  
INV. OUT (DMH1) = 223.8

CB 5  
RIM = 227.8  
INV. IN (CB6) = 224.7  
INV. OUT (CB4) = 224.5

CB 6  
RIM = 227.8  
INV. OUT (CB5) = 225.3



THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. CLD CONSULTING ENG. INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.



FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

DATE	DATE	DATE	REVISION	DESIGNED	CHECKED	APPROVED
#	#	#	NO.	DATE	DATE	DATE

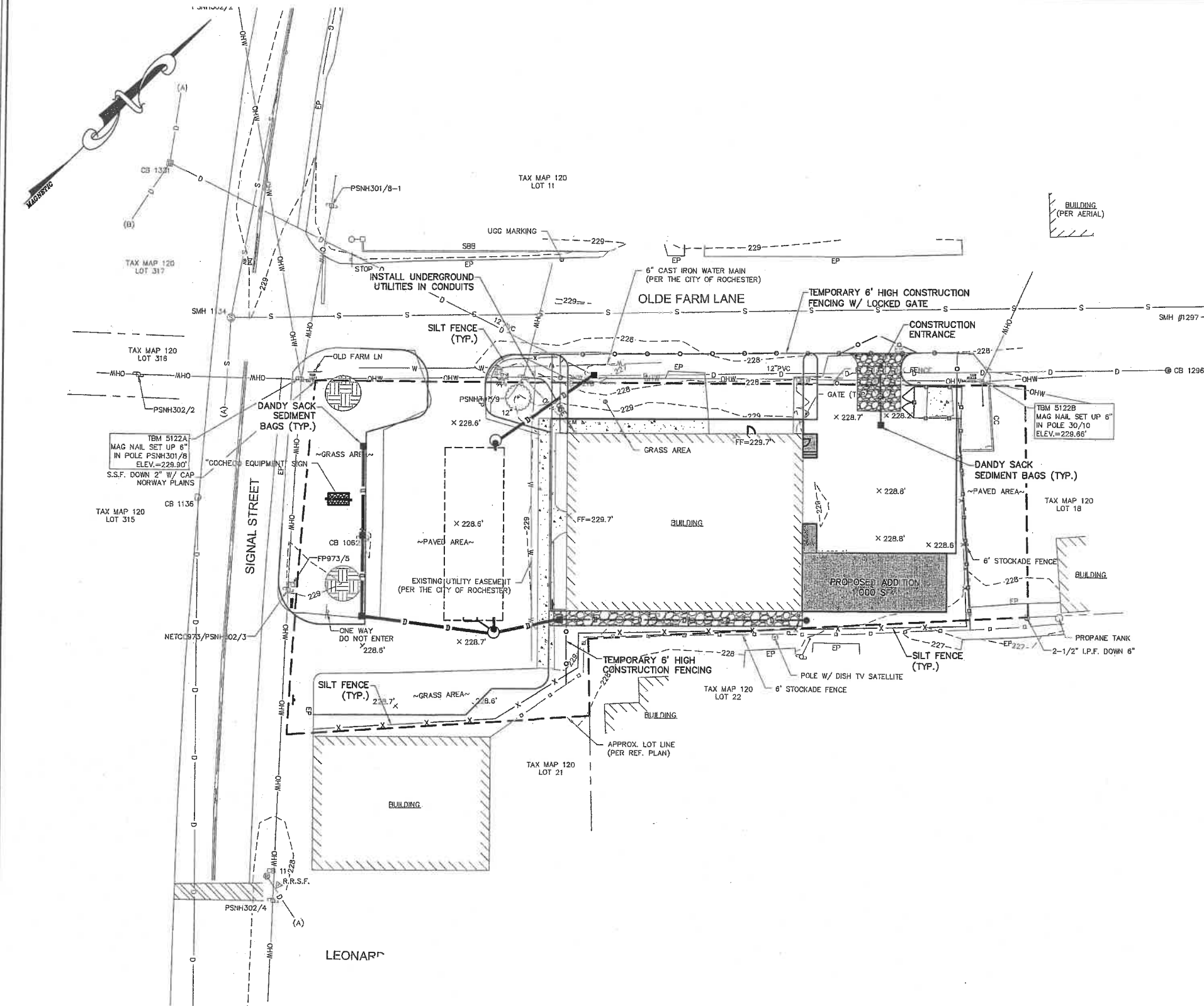


CLIENT: JEWETT CONSTRUCTION, INC.  
P.O. BOX 405  
RAYMOND, NH 03077

TAX MAP 120 LOT 19  
CITY BEVERAGE  
GRADING AND  
DRAINAGE PLAN  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE: 1"=	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. C2

F:\PROJECTS\170235 JEWETT SIGNAL SITE PLANNING\DWG\17-0235\_SITPLAN\_081517.DWG 8/15/2017 8:59 AM



### EXISTING SEWER STRUCTURE SUMMARY

SMH 1134  
RIM ELEV.=228.8'  
(1297) 6" CLAY INV.=221.5'  
(A) 6" CLAY INV.=221.4'  
(1135) 6" CLAY INV.=221.4'

SMH 1135  
RIM ELEV.=229.1'  
(1134) 6" CLAY INV.=220.8'  
(A) 6" CLAY INV.=220.8'

SMH 1297  
RIM ELEV.=228.5'  
(1134) 6" CLAY INV.=222.2'  
(A) 6" CLAY INV.=222.2'

### UTILITIES NOTES:

1. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888 344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS.
3. THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE IS NOT INTENDED OR IMPLIED.
4. ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH EVERSOURCE OR FAIRPOINT TELECOMMUNICATIONS.
5. PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE EXACT LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH EVERSOURCE AND OTHER PERTINENT UTILITY COMPANIES.
6. IF NEW SERVICES LINES ARE FOUND TO BE NECESSARY, WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10-FT APART HORIZONTALLY.
7. IF SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 9-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
8. WORK TO CONNECT INTO THE WATER OR SEWER MAINS REQUIRES A PERMIT FROM THE ROCHESTER PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE PRE-QUALIFIED.
9. CONTRACTOR SHALL COORDINATE EXCAVATION, STREET OBSTRUCTION AND CONNECTION PERMITS AS NECESSARY.
10. FIRE SPRINKLER SYSTEM SERVICING THE PROPOSED ADDITION SHALL BE TIED IN TO THE EXISTING BUILDING FIRE SPRINKLER SYSTEM.



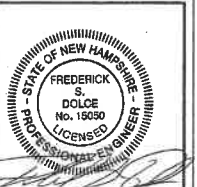
THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. OLD CONSULTING ENG. INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.

SCALE: 1 INCH = 20 FT.

FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

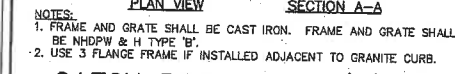
DATE	DATE	DATE	NO.	REVISION	DESIGNED:	CHECKED:	APPROVED:
#	#	#	#				



CLIENT:  
**JEWETT CONSTRUCTION, INC.**  
P.O. BOX 405  
RAYMOND, NH 03077

TAX MAP 120 LOT 19  
CITY BEVERAGE  
**UTILITIES & SEDIMENT &  
& EROSION CONTROL PLAN**  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE: 1" =	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. <b>C3</b>

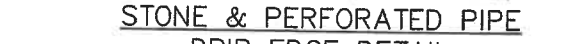


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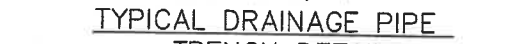
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- N. MANHO

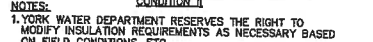


- ELECTRICAL &

## N. I. S.



## N. I. S.



- STORM DRAIN - WATERM

## N. I. S.

**CD CONSULTING ENGINEERS Inc.**  
Park Place Corporate Center  
316 US Route 1, Suite D • York, ME 03909  
(207) 363-0669 • Fax: (207) 363-2384  
cld@cdengineers.com • www.cldengineers.com  
Maine • New Hampshire • Vermont

Page 10

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SCALE: 1" =	JOB NO. 17-0235
DATE: AUG 15, 2017	DWG. <b>C4</b>



DATE	DATE	DATE	DATE	REVISION	DESIGNED:	CHECKED:	APPROVED:
#	#	#	#	NO.	DRAWN:		

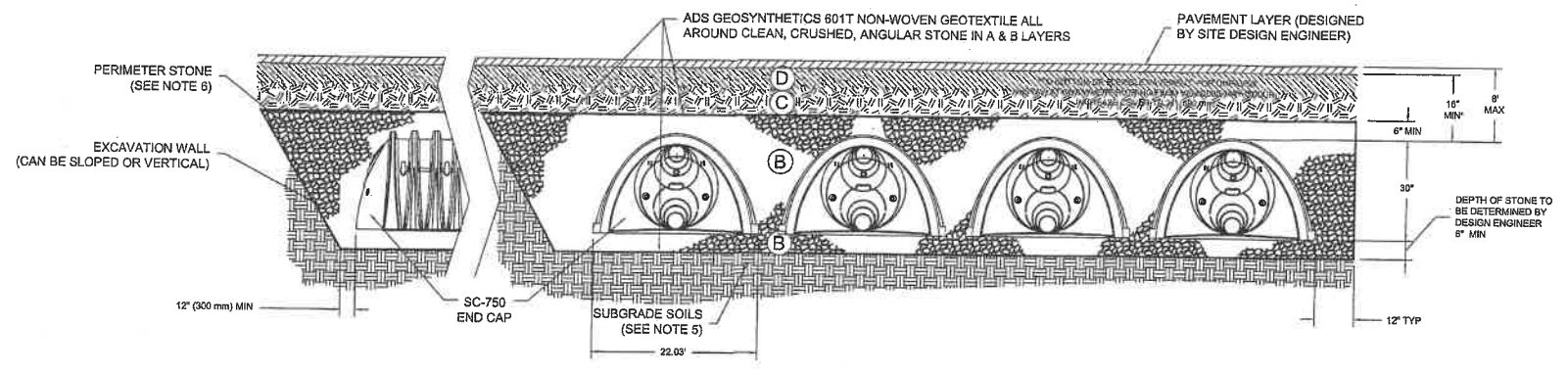
**CONSULTING ENGINEERS**  
 Inc.  
 Park Place Corporate Center  
 316 US Route 1, Suite D - York, ME 03909  
 (207) 363-0609 • Fax: (207) 363-2384  
 dd@cdengineers.com • www.cdengineers.com  
 Maine • New Hampshire • Vermont

STATE OF NEW HAMPSHIRE  
 FREDERICK S. DOLCE  
 No. 19090  
 LICENSED PROFESSIONAL ENGINEER

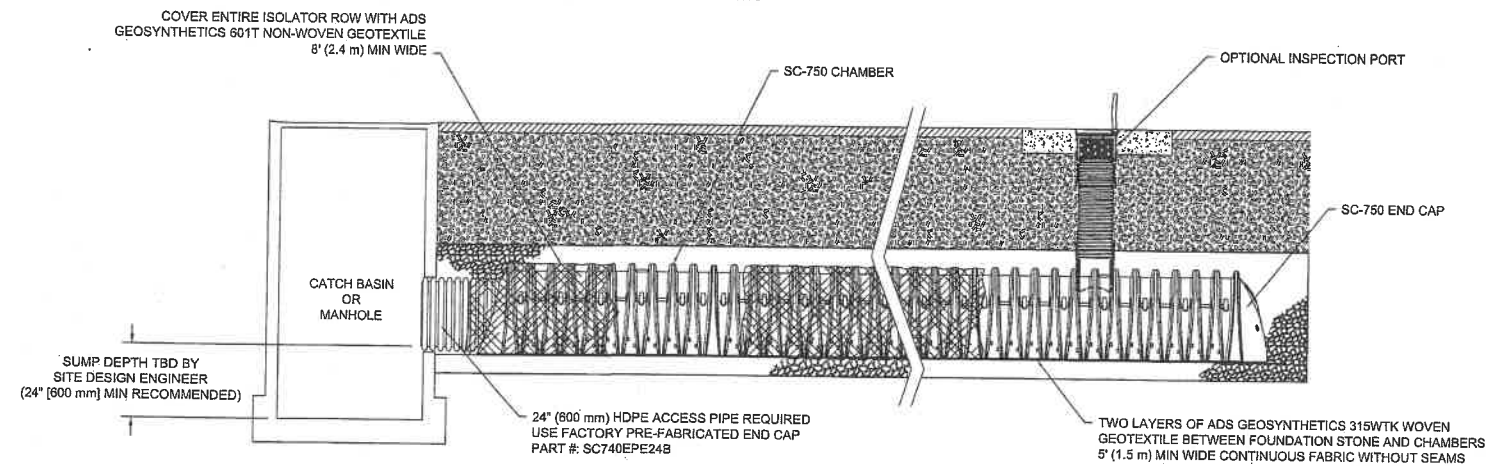
CLIENT: **JEWETT CONSTRUCTION, INC.**  
 P.O. BOX 405  
 RAYMOND, NH 03077

TAX MAP 120 LOT 19  
 CITY BEVERAGE  
**DRAINAGE DETAILS**  
**INFILTRATION CHAMBERS**  
 17 SIGNAL STREET  
 ROCHESTER, NH

SCALE: 1" = 10'  
 JOB NO. 17-0235  
 DATE: AUG 15, 2017  
 DWG. CS



**SC-750 SECTION VIEW**  
NTS



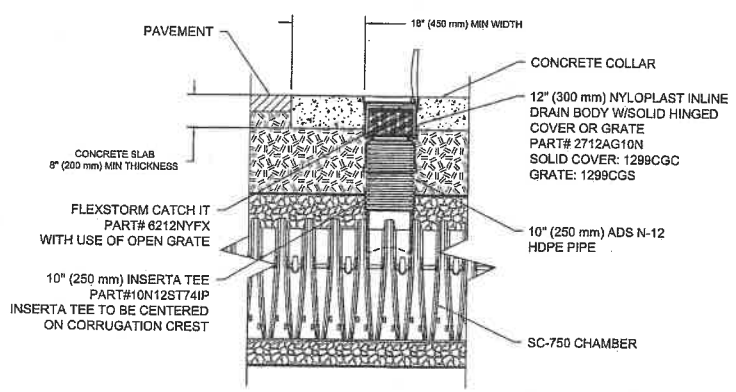
**SC-750 ISOLATOR ROW DETAIL**  
NTS

**INSPECTION & MAINTENANCE**

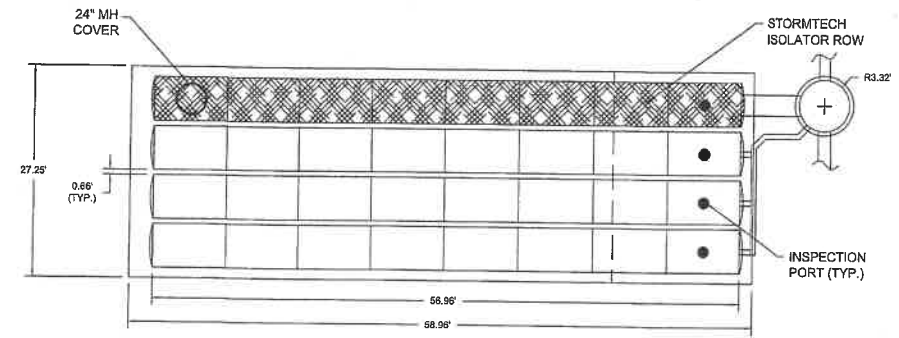
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT**
- A. INSPECTION PORTS (IF PRESENT)
    - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
    - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
    - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
    - A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
  - B. ALL ISOLATOR ROWS
    - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
    - B.2. i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
    - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
    - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS**
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.**
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.**

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

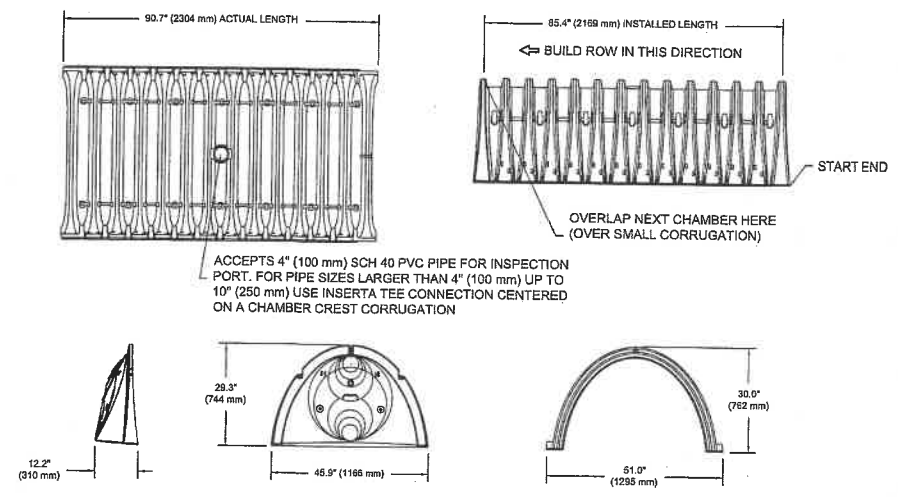


**SC-750 INSPECTION PORT DETAIL**  
NTS



**SC-750 PLAN VIEW**  
NTS

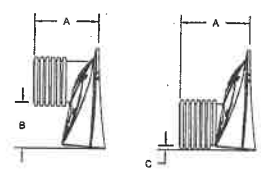
**SC-750 TECHNICAL SPECIFICATION**  
NTS



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET	(1.30 m³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12 m³)
WEIGHT	75.0 lbs.	(33.6 kg)

\*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

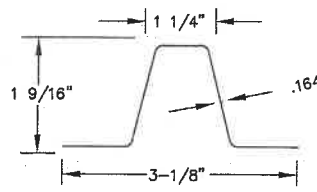


ITEM NO.	SIGN SIZE		TEXT	NO. SIGNS REQ'D
	HEIGHT	WIDTH		
R1-1	24"	24"	STOP	1
R7-8a	18"	12"		8
R7-8b	6"	12"	VAN ACCESSIBLE	4
R8-3	18"	12"	NO PARKING	4

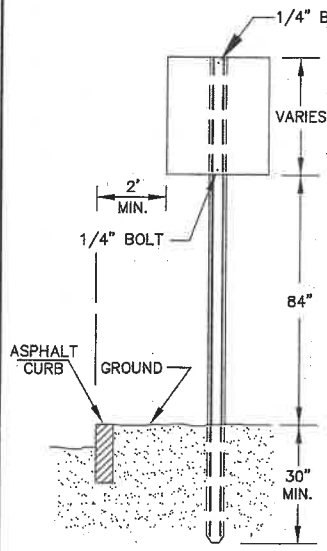
NOTES:  
 1. ALL SIGNS SHALL BE PER "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.  
 2. COAST BUS STOP SIGN TO BE PER COAST BUS PROGRAM.

**SIGN SCHEDULE**  
N.T.S.

LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".  
 WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)  
 HOLES: 3/8" DIA. 1" C-C FULL LENGTH  
 STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).  
 FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

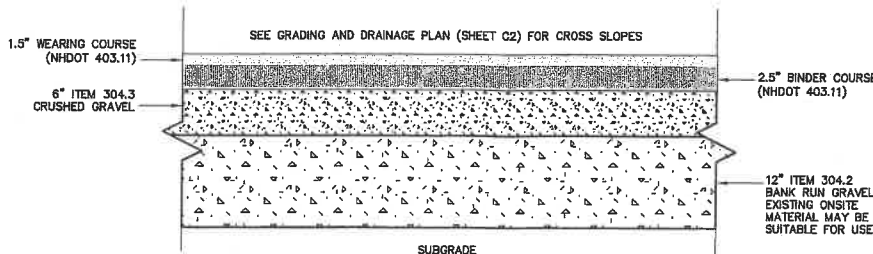


DIMENSIONS SHOWN ARE NOMINAL  
 ALTERNATE SECTIONS MUST BE APPROVED PRIOR TO USE.



**SIGN POST**  
N.T.S.

- NOTES
1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OF DRIVEN.
  2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
  3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
  4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
  5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.

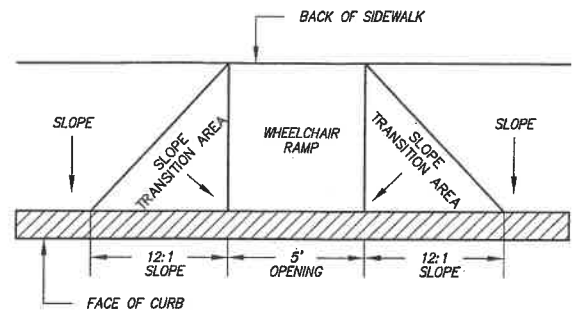


NHDOT ITEM 304.2 (GRAVEL) GRADING REQUIREMENTS:  
 SIEVE DESIGNATION: 6 INCH NO. 4 NO. 200  
 PERCENTAGE BY WEIGHT: 100% 25-70% 0-12%  
 GRAVEL SHALL CONTAIN NO PARTICLES OF ROCK EXCEEDING SIX INCHES IN ANY DIMENSION.

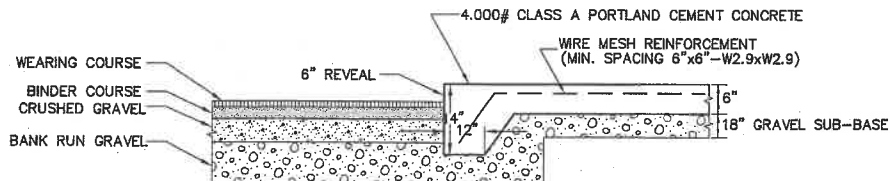
NHDOT ITEM 304.3 (CRUSHED GRAVEL) GRADING REQUIREMENTS:  
 SIEVE DESIGNATION: 3 INCH 2 INCH 1 INCH NO. 4 NO. 200  
 PERCENTAGE BY WEIGHT: 100% 95-100% 85-95% 27-52% 0-12%  
 CRUSHED GRAVEL SHALL CONTAIN NO PARTICLES OF ROCK EXCEEDING THREE INCHES IN ANY DIMENSION.

- PARKING LOT MATERIALS NOTES:
1. BANK RUN GRAVEL SHALL BE INSTALLED IN MAXIMUM 6 INCH LIFTS AND BE COMPACTED TO 95% MAXIMUM PROCTOR DENSITY TO A DEPTH OF 12 INCHES.
  2. CRUSHED GRAVEL SHALL BE INSTALLED IN MAXIMUM 6 INCH LIFTS AND BE COMPACTED TO 95% MAXIMUM PROCTOR DENSITY TO FULL DEPTH.

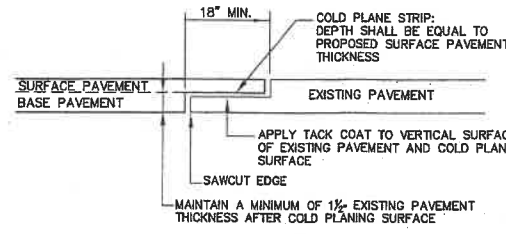
**DRIVEWAY AND PARKING AREA CROSS-SECTION**  
N.T.S.



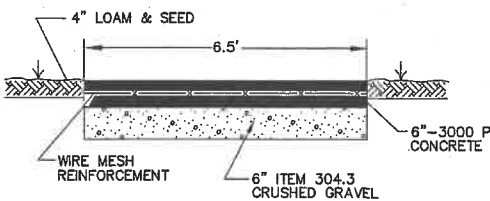
**HANDICAP SIDEWALK RAMP**  
N.T.S.



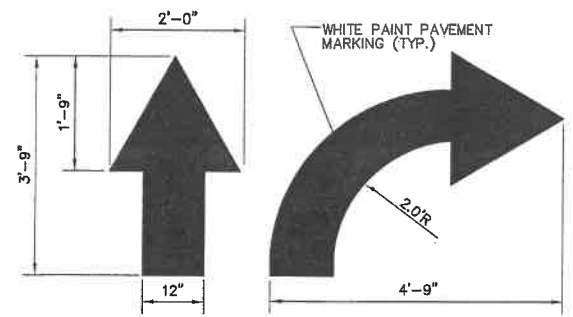
**INTEGRAL CURB & SIDEWALK**  
N.T.S.



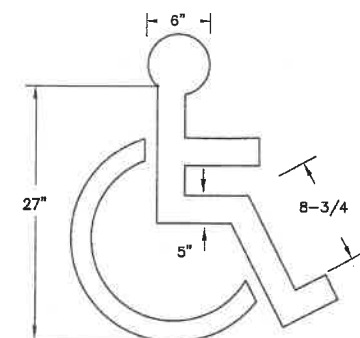
**PAVEMENT END MATCH**  
N.T.S.



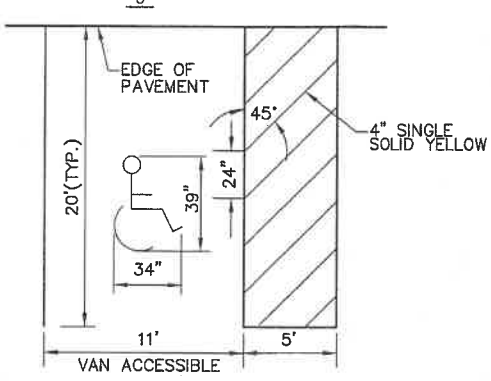
**CONCRETE SIDEWALK DETAIL**  
N.T.S.



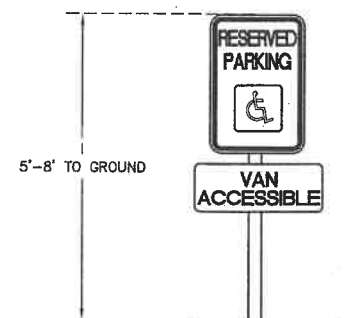
**TRAFFIC FLOW ARROW**  
N.T.S.



**HANDICAPPED PARKING PAVEMENT MARKING**  
N.T.S.



**HANDICAP STRIPING DETAIL**  
N.T.S.

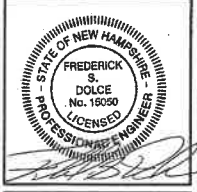


**RESERVED PARKING - HANDICAP & VAN ACCESSIBLE SIGN**  
N.T.S.

NOTE: VAN ACCESSIBLE SIGN TO BE ATTACHED TO THE SIGN POST UNDER THE STANDARD HANDICAPPED PARKING SIGN WHERE NOTED ON DRAWINGS.

DATE	DATE	DATE	DATE	DATE
#	#	#	#	#
NO.	NO.	NO.	NO.	NO.
DESIGNED:	DESIGNED:	DESIGNED:	DESIGNED:	DESIGNED:
CHECKED:	CHECKED:	CHECKED:	CHECKED:	CHECKED:
APPROVED:	APPROVED:	APPROVED:	APPROVED:	APPROVED:

**Inc.**  
**CONSULTING ENGINEERS**  
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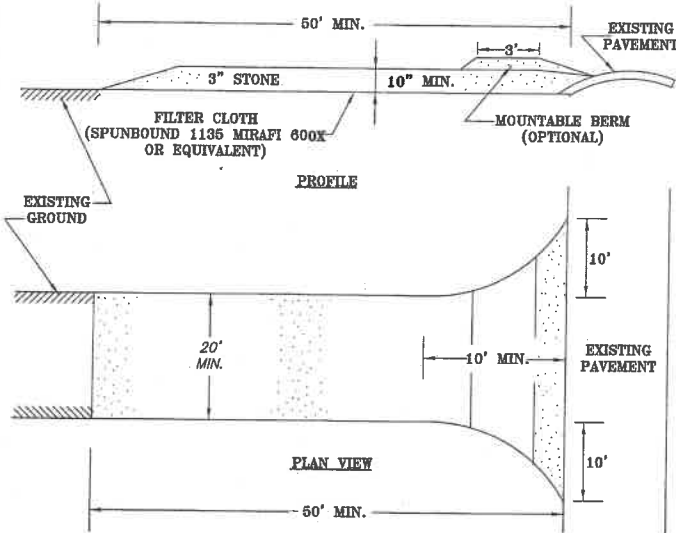
CLIENT: **JEWETT CONSTRUCTION, INC.**  
 P.O. BOX 405  
 RAYMOND, NH 03077

TAX MAP 120 LOT 19  
 CITY BEVERAGE  
**CONSTRUCTION DETAILS**  
 17 SIGNAL STREET  
 ROCHESTER, NH

SCALE:	JOB NO.
1"=	17-0235
DATE:	DWG.
AUG 15, 2017	<b>C6</b>







#### MAINTENANCE REQUIREMENTS:

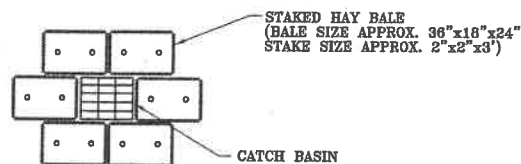
1. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHOULD BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL, REGRADED ON SITE, AND STABILIZED. THE ENTRANCE SHOULD THEN BE RECONSTRUCTED.
2. THE CONTRACTOR SHOULD SWEEP THE PAVEMENT AT EXITS WHENEVER SOIL MATERIALS ARE TRACKED ONTO THE ADJACENT PAVEMENT OR TRAVELED WAY.
3. WHEN WHEEL WASHING IS REQUIRED, IT SHOULD BE CONDUCTED ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS.

#### CONSTRUCTION SPECIFICATIONS:

1. THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
2. THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH MOUNTABLE BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE PAD SHOULD BE THE FULL WIDTH OF CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
4. THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
5. THE PAD SHOULD BE AT LEAST 10 INCHES THICK.
6. THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
7. THE PAD SHOULD BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
8. NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.

### USDA - SCS STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

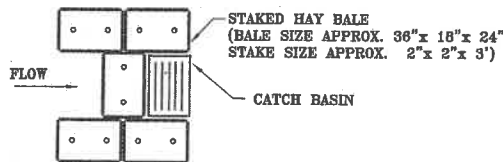


STAKED HAY BALE  
(BALE SIZE APPROX. 36"x18"x24")  
STAKE SIZE APPROX. 2"x2"x3")

CATCH BASIN

### EROSION PROTECTION - CATCH BASINS AT LOW POINTS

N.T.S.



STAKED HAY BALE  
(BALE SIZE APPROX. 36"x 18"x 24")  
STAKE SIZE APPROX. 2"x 2"x 3")

CATCH BASIN

FOR USE AROUND CATCH BASINS IN AREAS  
TO BE PAVED, WHICH ARE NOT LOCATED  
AT PROFILE LOW POINTS

### EROSION PROTECTION - CATCH BASINS ON SLOPES

N.T.S.

#### CONSTRUCTION SPECIFICATIONS:

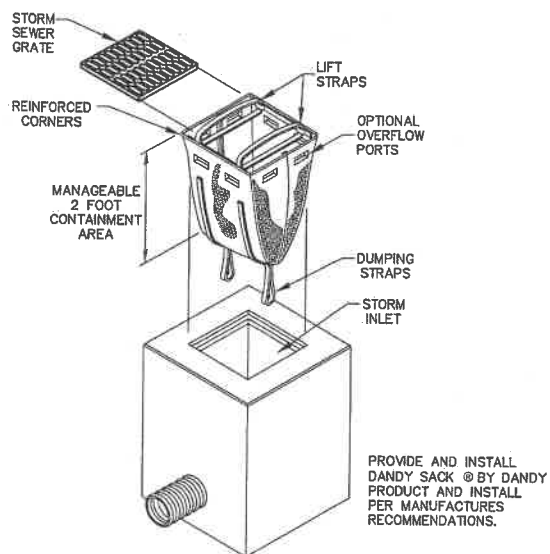
1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF THE BLOCKS ADJUTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24 INCHES HIGH.
2. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED.
3. STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN ABOVE. STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 6 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

#### MAINTENANCE NOTES:

1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

### SEDIMENTATION CONTROL AT CATCH BASINS

N.T.S.



### DANDY SACK

N.T.S.

PROVIDE AND INSTALL  
DANDY SACK @ BY DANDY  
PRODUCT AND INSTALL  
PER MANUFACTURES  
RECOMMENDATIONS.

### PERMANENT VEGETATION:

#### SPECIFICATIONS:

##### SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BASINS, SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

##### SEEDBED PREPARATION:

1. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY AND SILT SOILS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
2. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE CLOUDS, LUMPS, TRASH OR OTHER UNSUITABLE MATERIAL.
3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED; THE AREA MUST BE TILLED AND FIRMED AS ABOVE.
4. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
5. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
6. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)\*

\*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)\*

\*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

7. FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

##### SEEDING:

1. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT.
2. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE.
3. WHERE FEASIBLE EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
4. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDING IN LATE SUMMER AT LEAST 35% OF THE SEED SHOULD BE HARD SEED (UNSCARIFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3, AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
5. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
6. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.

##### HYDROSEEDING:

1. WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND RAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.
2. SLOPES MUST BE NO STEEPER THAN 2:1 (2 FEET HORIZONTALLY BY 1 FOOT VERTICALLY).
3. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF FIBER MULCH ON CRITICAL AREAS IS NOT RECOMMENDED (UNLESS IT IS USED TO HOLD STRAW OR HAY). BETTER PROTECTION IS GAINED BY USING STRAW MULCH AND HOLDING IT WITH ADHESIVE MATERIALS OR 500 POUNDS PER ACRE OF WOOD FIBER MULCH.
4. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

##### MAINTENANCE REQUIREMENTS:

1. PERMANENT SEEDED AREAS SHOULD BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION. INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHOULD CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
2. SEEDED AREAS SHOULD BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION. MOWING HEIGHT AND FREQUENCY DEPEND OF TYPE OF GRASS COVER.
3. BASED ON INSPECTION, AREAS SHOULD BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
4. AT A MINIMUM 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION.
5. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

### PERMANENT VEGETATION SEEDING RECOMMENDATIONS

USE	MIXTURE	SPECIES	LBS./ACRE	LBS./1,000-SF
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY RECREATION SITES	A	TALL FESCUE	20	0.45
		CREeping RED FESCUE	20	0.45
		REDTOP	2	0.05
		TOTAL	42	0.95
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL ESSENTIAL FOR GOOD TURF)	F	CREeping RED FESCUE	50	1.15
		KENTUCKY BLUEGRASS	50	1.15
		TOTAL	100	2.30

##### SOURCES:

1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

### TEMPORARY VEGETATION:

#### SPECIFICATIONS:

##### SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BASINS, SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.
2. GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
3. RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR TO THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

##### SEEDBED PREPARATION:

1. STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.
2. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
3. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
4. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)\*

\*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)\*

\*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

5. FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

##### SEEDING:

1. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.
2. TEMPORARY SEED SHOULD TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
3. AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL. 3.
4. VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.

##### MAINTENANCE REQUIREMENTS:

1. TEMPORARY SEEDING SHOULD BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHOULD BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
2. BASED ON INSPECTION, AREAS SHOULD BE RESEED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS. IF IT IS TOO LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY STABILIZATION MEASURES SHOULD BE IMPLEMENTED.
3. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESEED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

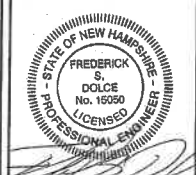
### TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 INCH.
ANNUAL RYEGRASS	40 LBS.	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15, COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.
PERENNIAL RYEGRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

##### SOURCES:

1. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE 4-1
2. MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

DATE	DATE	DATE	NO.	REVISION	DESIGNED	CHECKED	APPROVED
#	#	#	#	#	#	#	#

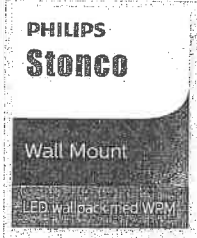


CLIENT: **JEWETT CONSTRUCTION, INC.**  
P.O. BOX 405  
RAYMOND, NH 03077

TAX MAP 120 LOT 19  
CITY BEVERAGE  
**SEDIMENT AND EROSION CONTROL MEASURES**  
17 SIGNAL STREET  
ROCHESTER, NH

SCALE:	JOB NO.
1"=	17-0235
DATE:	DWG.
AUG 15, 2017	C8





The Philips Stonco LED wallpack medium WPM offers maximum light output for general purpose area and security lighting through a classic glass refractor design. Now available with enhanced Philips LED platforms, WPM LED provides improved energy savings compared to the former LED design.\* This versatile luminaire is ideal to match same as existing or retrofit HID legacy designs.

Ordering guide									
Profile	Source	LED Quantity	Color Temp	Voltage	Finish	Finish	Finish	Finish	Finish
WPM	LED	36L-530	NW	4000K	UMV	120-277V	50Hz or 60Hz	APD	Automatic Profile Dimming
WPM	LED	36L-530	NW	4000K	UMV	120-277V	50Hz or 60Hz	PCB	Button Photo Control (burst capacity voltage)
WPM	LED	36L-530	NW	4000K	UMV	120-277V	50Hz or 60Hz	F1	Single Fusing
WPM	LED	36L-530	NW	4000K	UMV	120-277V	50Hz or 60Hz	F2	Double Fusing
WPM	LED	36L-530	NW	4000K	UMV	120-277V	50Hz or 60Hz	F3	Double Fusing, Canadian

\* Automatic profile dimming (APD) is only available in 120-277V.



Project:  
Location:  
City:  
Notes:



OLDE FAF

JOB NAME: 17 Signal St Rochester NH  
APEX LIGHTING SOLUTIONS  
APPS: TJ  
SALES: TJ

Luminaire Schedule					
Qty	Label	Lum. Lumens	Lum. Watts	LLF	Description
8	OPT 2	3052	32.7	0.850	STONCO - WPM-LED-36L-530-NW-xx / mounted at 12ft

Calculation Summary						
Label	Grid Height (ft)	Avg	Max	Min	Avg/Min	Max/Min
Site Ground	0	0.02	3.7	0.0	N.A.	N.A.

#### GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

#### \* ILL Determined Using Current Published Lamp Data

#### NOTE TO REVIEWER:

Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in miscalculations of performance that will not accurately depict actual results. For proper comparison of photometric layouts, it is essential that you input all design data correct Light Loss Factors.



PROJECT TITLE:

17 SIGNAL STREET  
ROCHESTER, NH

DRAWING TITLE:

PHOTOMETRIC CALCULATION  
SITE

FILE NAME: 17 SIGNAL ST ROCHESTER NH OPT 2 ALT.DWG

SCALE: 1"=10'

DATE: 8/14/17

DRAWN BY: TJ

SHEET:

SL-1c

FINAL APPROVAL BY  
ROCHESTER PLANNING BOARD

CERTIFIED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CLIENT: JEWETT CONSTRUCTION, INC.

P.O. BOX 405  
RAYMOND, NH 03077

TAX MAP 120 LOT 19  
CITY BEVERAGE  
LIGHTING PLAN  
17 SIGNAL STREET  
ROCHESTER, NH

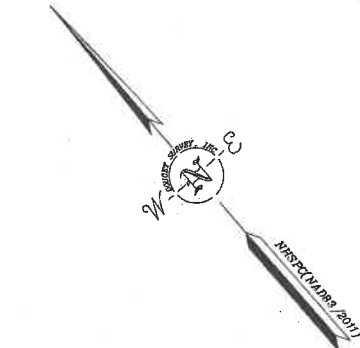
SCALE: 1"=10'  
JOB NO. 17-0235

DATE: AUG 15, 2017  
DWG. L2



DATE	DATE	DATE	DATE	REVISION	DESIGNED	CHECKED	APPROVED
#	#	#	#	NO.			





DRAINAGE STRUCTURE TABLE

CBR 1062
RIM ELEV.=227.9'
SUMP ELEV.=222'
NO PIPES VISIBLE

CBR 1119
RIM ELEV.=227.6'
(A) 6" UNKN. INV.=224.6'

CB 1136
RIM ELEV.=228.2'
(1136) 8" UNKN. INV.=224.8'

CBR 1137
RIM ELEV.=227.7'
(1138) 10" PVC INV.=225.1'

DMH 1138
RIM ELEV.=227.9'
(1137) 10" PVC INV.=224.9'
(1136) 8" UNKN. INV.=223.9'
(A) 12" UNKN. INV.=223.9'

CB 1210
RIM ELEV.=228.8'
(1296) 10" PVC INV.=221.5'
(1331) 10" PVC INV.=221.2'

CBR 1296
RIM ELEV.=227.1'
(1210) 10" PVC INV.=225.1'
EXTREMELY RECESSED

CB 1331
RIM ELEV.=227.8'
(A) 10" PVC INV.=221.1'
(B) 10" PVC INV.=221.1'
(1210) 10" PVC INV.=220.9'

SANITARY SEWER STRUCTURE TABLE

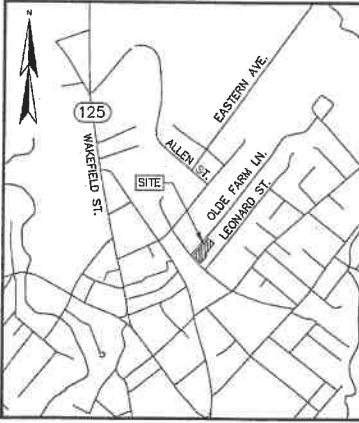
SMH 1134
RIM ELEV.=228.8'
(1297) 6" CLAY INV.=221.5'
(A) 6" CLAY INV.=221.4'
(1135) 6" CLAY INV.=221.4'

SMH 1135
RIM ELEV.=229.1'
(1134) 6" CLAY INV.=220.6'
(A) 6" CLAY INV.=220.6'

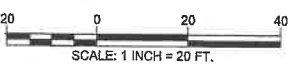
SMH 1297
RIM ELEV.=228.5'
(1134) 6" CLAY INV.=222.2'
(A) 6" CLAY INV.=222.2'

- NOTES:
1. REFERENCE: TAX MAP 120, LOT 19
  2. OWNER OF RECORD: RIGZ ENTERPRISES LLC  
167 LAFAYETTE RD  
SEABROOK, NH 03874  
S.C.R.D. BOOK 4282, PAGE 438
  3. FIELD SURVEY PERFORMED BY S.F. & L.P.S. DURING JULY 2017 USING A TRIMBLE S8 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
  4. VERTICAL DATUM IS BASED ON NAVD88 PER NHDOT DISK "Z 4 1933" WITH A PUBLISHED ELEVATION OF 233.74'.
  5. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
  6. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA. AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
  7. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
  8. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
  9. ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
  10. DOUCET SURVEY DID NOT PERFORM A BOUNDARY SURVEY AS PART OF THIS SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ENTIRELY ON THE REFERENCE PLAN LISTED.

- REFERENCE PLAN:
1. "LOT CONSOLIDATION PLAN" DATED JULY 1997 BY NORWAY PLAINS ASSOCIATES, INC. S.C.R.D. PLAN #50-87.



- LEGEND
- APPROX. LOT LINES (PER REF. PLAN)
  - STOCKADE FENCE
  - CHAIN LINK FENCE
  - OVERHEAD WIRE
  - SEWER LINE
  - DRAIN LINE
  - GAS LINE
  - WATER LINE
  - MAJOR CONTOUR LINE
  - MINOR CONTOUR LINE
  - CONCRETE
  - LANDSCAPED AREA
  - CRUSHED STONE
  - UTILITY POLE
  - UTILITY POLE & GUY WIRE
  - LIGHT POLE (ONE ARM)
  - IRON PIPE/ROD FOUND
  - RAILROAD SPIKE FOUND
  - POST
  - FIRE HYDRANT
  - WATER GATE VALVE
  - CATCH BASIN
  - DRAIN MANHOLE
  - SEWER MANHOLE
  - DECIDUOUS TREE
  - FINISHED FLOOR
  - EDGE OF PAVEMENT
  - SLOPED GRANITE CURB
  - CONCRETE CURB
  - SINGLE WHITE LINE
  - DOUBLE YELLOW LINE
  - ELECTRIC METER
  - GAS METER
  - RAIL ROAD SPIKE FOUND
  - TYP.



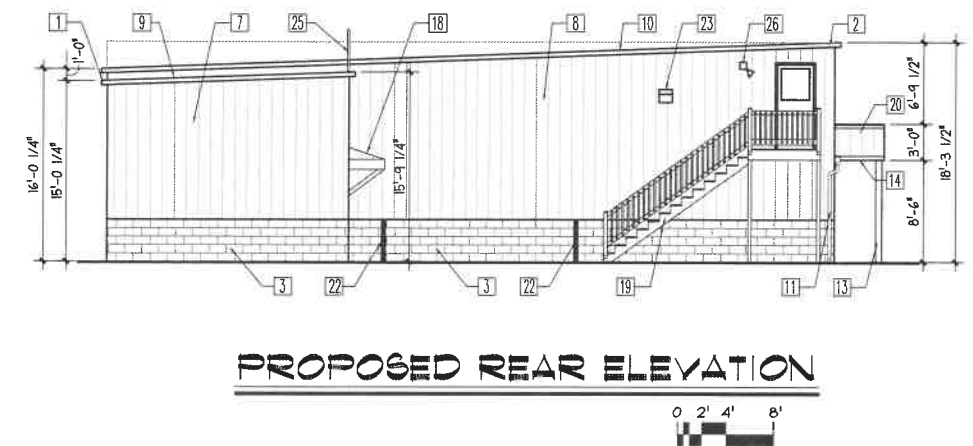
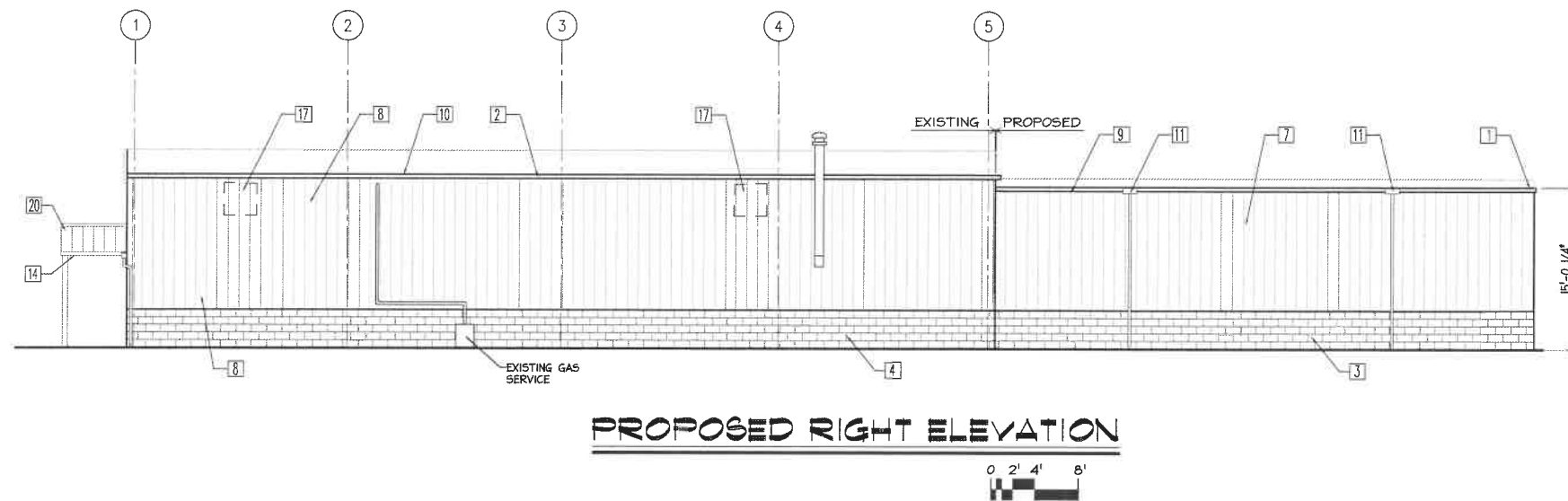
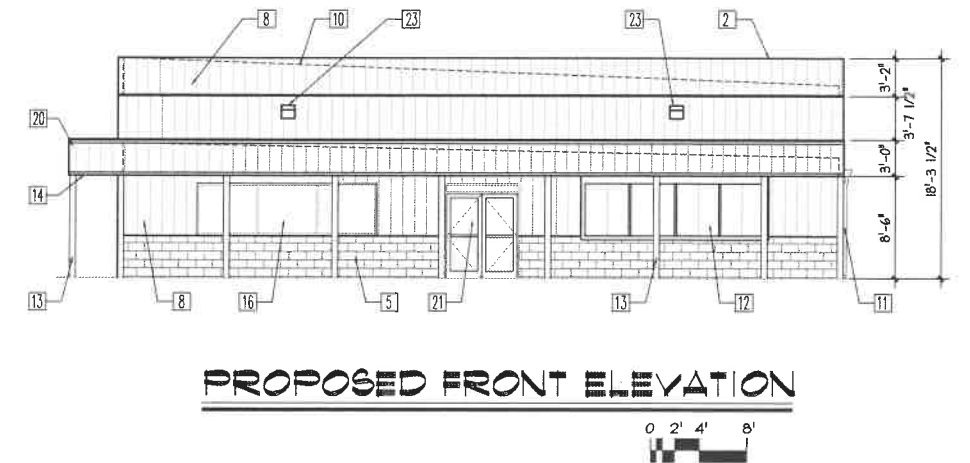
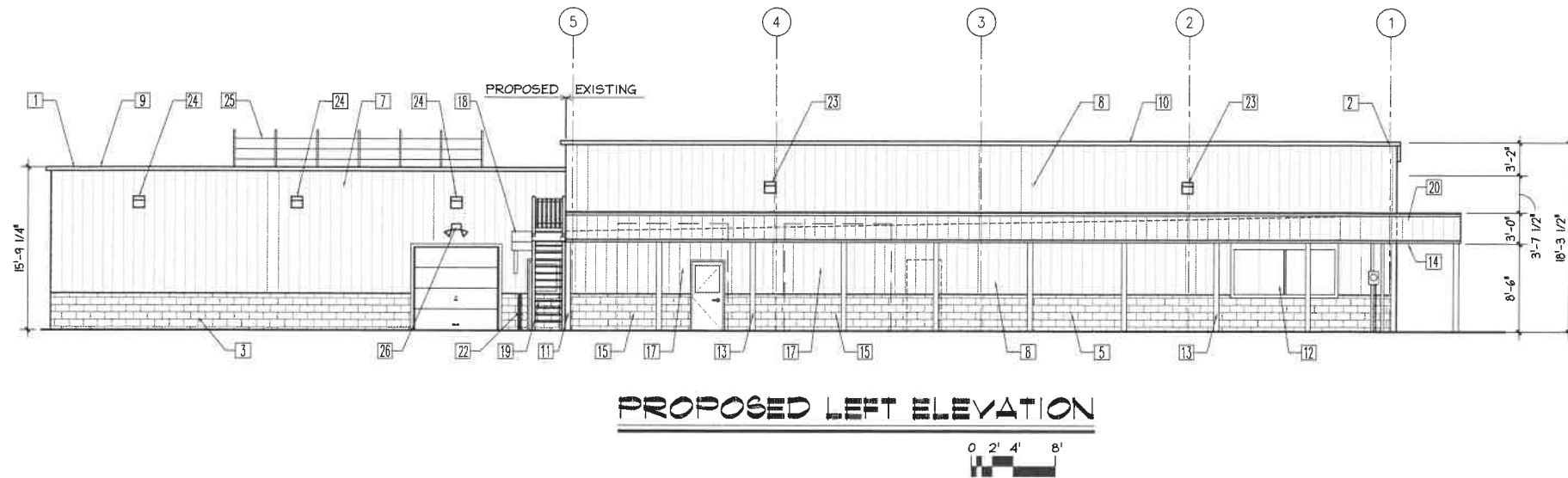
EXISTING CONDITIONS PLAN  
FOR  
CDL CONSULTING ENGINEERS, INC.  
OF  
TAX MAP 120 LOT 19  
17 SIGNAL STREET  
ROCHESTER, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: W.D.C.	DATE: JULY 2017
CHECKED BY: M.W.F.	DRAWING NO.: 5122A 07-13-17
JOB NO.: 5122	SHEET 1 OF 1

**DOUCET SURVEY**  
Serving Your Professional Surveying & Mapping Needs  
102 Kent Place, Newmarket, NH 03857 (603) 659-6560  
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060  
10 Storers Street (Riverview Suite) Kennebunk, ME (207) 932-7005  
<http://www.doucetsurvey.com>

FILE NAME: W:\PROJECTS\17 SIGNAL STREET\17 SIGNAL STREET.dwg PLOTTED: Thursday, July 13, 2017 1:43:29pm PLOTTER: HP DesignJet T1100e



#### MATERIALS LEGEND

- |   |   |
|---|---|
| 1 NEW PRE. FINISHED ALUMINUM FASCIA, TO MATCH EXISTING          | 15 FILL IN EXISTING OPENING WITH CMU TO MATCH EXISTING          |
| 2 EXISTING FASCIA   | 16 EXISTING ALUMINUM & GLASS FRAMING                            |
| 3 NEW CONCRETE BLOCK, TO MATCH #4                               | 17 FILL IN EXISTING OPENING WITH METAL SIDING TO MATCH EXISTING |
| 4 EXISTING CONCRETE BLOCK, PAINTED GRAY                         | 18 CANOPY WITH METAL ROOF                                       |
| 5 EXISTING SPLIT FACE CONCRETE BLOCK                            | 19 STEEL GRATE STAIR AND DECK TO MEZZANINE, GALVANIZED          |
| 6 NEW SPLIT FACE CONCRETE BLOCK TO MATCH #5                     | 20 NEW CANOPY   |
| 7 NEW METAL SIDING TO MATCH #8                                  | 21 EXISTING ENTRANCE DOOR SYSTEM                                |
| 8 EXISTING METAL SIDING, PAINTED                                | 22 CONCRETE FILLED PAINTED STEEL PIPE BOLLARD                   |
| 9 NEW METAL ROOFING TO MATCH #10                                | 23 NEW EXTERIOR LED WALL PACK TO REPLACE EXISTING               |
| 10 EXISTING METAL ROOFING                                       | 24 NEW EXTERIOR LED WALL PACK AT NEW ADDITION                   |
| 11 METAL GUTTER AND DOWNSPOUT SEE CIVIL PLANS FOR DRAINAGE PLAN | 25 SAFETY RAIL, PAINTED   |
| 12 NEW DISPLAY WINDOWS PAINT TO MATCH EXISTING                  | 26 MOTION ACTIVATED FLOOD LIGHT                                 |
| 13 PT POST W/ PVC TRIM TO WRAP 4 SIDES                          |   |
| 14 VENTED VINYL INVISIBENT SOFFIT                               |   |
- \* NOTE: FOR PROPOSED SIGNAGE DESIGN INTENT, SEE COLORED ELEVATIONS

**JEWETT**  
CONSTRUCTION CO., INC.  
DESIGN BUILDERS  
CONSTRUCTION MANAGERS  
P.O. Box 405 • Raymond, NH 03077  
(603) 895-2412 • [www.jewettconstruction.com](http://www.jewettconstruction.com)

#### THE CITY BEVERAGE

ROCHESTER, NEW HAMPSHIRE  
AUGUST 11, 2017

ARCHITECTURE  
LAND PLANNING  
INTERIOR DESIGN  
3D VISUALIZATION

833 TURNPIKE ROAD P.O. BOX 104  
NEW IPSWICH NEW HAMPSHIRE 03071

BRUCE  
RONAYNE  
HAMILTON  
ARCHITECTS

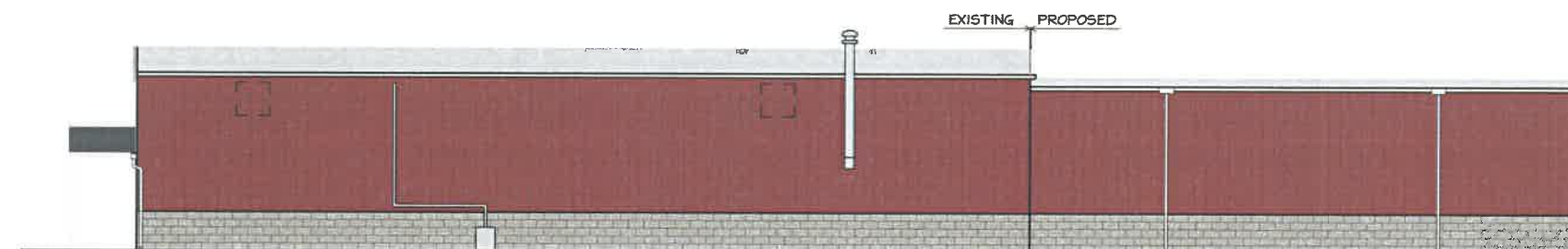


**PROPOSED LEFT ELEVATION**



**PROPOSED FRONT ELEVATION**

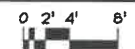
NOTE: SIGNAGE IS SHOWN FOR  
DESIGN INTENT ONLY



**PROPOSED RIGHT ELEVATION**



**PROPOSED REAR ELEVATION**



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**THE CITY BEVERAGE**

ROCHESTER, NEW HAMPSHIRE  
AUGUST 14, 2017

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