



NONRESIDENTIAL SITE PLAN APPLICATION City of Rochester, New Hampshire

	[office use only. Check #		Amount \$	D	ate paid]
Date:August 15, 2017	Is a conditional use (If so, we encourage y	needed? ou to subm	Yes: nit an appl	No: X	Unclear:oon as possible.)
Property information					
Tax map #:; Lot	#('s): <u>19</u> ;	Zoning d	istrict: _I	Downtown C	ommercial
Property address/location:	17 Signal Street, Ro	chester, NH	Ī		
Name of project (if applicab	e): City Beverage				
Size of site:0.56 acres	overlay zoning distric	ct(s)? Spe	cial Downt	own Overlay	District
Property owner					
Name (include name of indi	vidual): RIGZ Enterpr	rises, LLC	(Rich Riga	zio)	3
Mailing address: 167 Lafay	ette Road, Seabrook, NH	03874			
Telephone #: 603-475-5702		Email:_	rigazio4@	comcast.net	
Applicant/developer (if	different from property	owner)			
Name (include name of indi			(Greg Stev	vart)	
Mailing address: 68 NH 27, R	aymond, NH 03077				
Telephone #: 603-895-2412		_ Email:	gstewart@	jewettconstr	uction.com
Engineer/designer	.*				
Name (include name of indi	vidual):CLD Fuss & C	'Neill (Rick	Dolce)		
Mailing address: 316 US Rou	te 1, Suite D, York, ME 0	3909		전 -	
Telephone #: 207-363-0669 x	320	_ Fax #:	603-79	2-6962	
Email address:rickd@ clden	gineers.com	Profes	sional lic	ense#: _	15050
Proposed activity (check	(all that apply)				
New building(s):		er structu	res, park	ing, utilities	, etc.): X
Addition(s) onto existing buil	ding(s): X De	emolition:	-	Change	of use: X
	Page 1 (of 3				

Macintosh HD:Users:jaredrose:Desktop:Site Plan, NonResidential Application 4/11/2013

Updated

(Continued Nonresidential Site Plan application Tax Map: 120 Lot: 19 Zone DC)
Describe proposed activity/use: 1000 SF building addition to existing building with addition parking and stormwater infrastructure.
Describe existing conditions/use (vacant land?):Existing 4800+/- SF building with limited parking. Used as power equipment sales and service business.
Utility information City water? yes X no ; How far is City water from the site? 10+/- ft City sewer? yes X no ; How far is City sewer from the site? 30+/- ft If City water, what are the estimated total daily needs? TBD gallons per day If City water, is it proposed for anything other than domestic purposes? yes no X
If City sewer, do you plan to discharge anything other than domestic waste? yes no _X
Building information Type of building(s):S teel frame, with metal fascade Building height:20 - 12 + /- ft
<u>vveuanus</u> . is any iiii proposed (<u>N/A</u> , area to be filled. <u>N/A</u> , buffer impact (

Proposed <u>post-development</u> disposi	tion of site (should total	al 100%)
The second secon	Square footage	% overall site
Building footprint(s) – give for each building	5,887	24.1%
Parking and vehicle circulation	Development - 10,652 Neighbor's Parking Lot - 1,359	49.2%
Planted/landscaped areas (excluding drainage)	5,640	23.2%
Natural/undisturbed areas (excluding wetlands)	0.	0%
Wetlands	0	0%
Other – drainage structures, outside storage, etc.	856	3.5%

Macintosh HD:Users:jaredrose:Desktop:Site Plan, NonResidential Application 4/11/2013

Updated

Page 2 (of 3 pages)

120	10
	Zone)
Comments	
Please feel free to add any comments, additional information, or Current equipment sales and service business being replaced by retail beve	•
requires 1000 SF addition.	
Submission of application	
This application must be signed by the property owner, applicant property owner), and/or the agent.	developer (if different from
I(we) hereby submit this Site Plan application to the City of Roche	ester Planning Board
pursuant to the City of Rochester Site Plan Regulations and attes	st that to the best of my
knowledge all of the information on this application form and in th	ne accompanying application
materials and documentation is true and accurate. As applicant/o	developer (if different from
property owner)/as agent, I attest that I am duly authorized to act	in this capacity.
∯Signature of property owner:	
Date:	8/14/17
Signature of applicant/developer:	
Date: E	3/14/17
Signature of agent:	71111
Orginatare or agent.	9//
Date:	8/14/17
Authorization to enter subject property	
I hereby authorize members of the Rochester Planning Board, Zo	oning Board of Adjustment,
Conservation Commission, Planning Department, and other perti	
boards and agencies to enter my property for the purpose of eval	
including performing any appropriate inspections during the applications and appropriate inspections during the applications and appropriate inspections.	
post-approval phase, construction phase, and occupancy phase. specifically to those particular individuals legitimately involved in a	, ,
inspecting this specific application/project. It is understood that th	<u> </u>
reasonable care, courtesy, and diligence when entering the prope	
ASignature of property owner:	<u>/</u>
Macintosh HD:Users:jaredrose:Desktop:Site Plan, NonResidential Application 4/11/2013	Updated

Date: 8/14/17

Page 3 (of 3 pages)

Macintosh HD:Users:jaredrose:Desktop:Site Plan, NonResidential Application 4/11/2013

Updated

CLD | Fuss & O'Neill

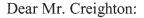
August 15, 2017

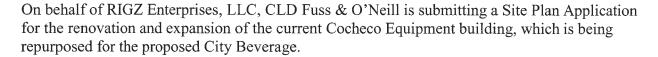
Mr. Seth Creighton, City Planner City of Rochester 31 Wakefield Street Rochester, New Hampshire 03867

Re: City Beverage Site Development RIGZ Enterprises, LLC 17 Signal Street, Rochester, NH 03867

Tax Map 120, Lot 19

Site Review Permit Application CLD Reference: 17-0235





The 0.56 acre project site is located at 17 Signal Street, within the Downtown Commercial (DC) Zone. This application proposes to renovate the existing equipment sales and service building, and add a 1000 sf addition off the rear of the existing building. The addition will house a new loading dock for deliveries and restrooms, with employee parking adjacent to the addition. The parking lot along Signal Street will remain a one-way traffic pattern, and delineate the parking striping while specifying handicapped parking spaces. Parallel parking will also be formalized with new pavement and striping on Old Farm Lane, adjacent to the existing building.

The impact to immediate areas will be minimal, as the essential function of the site will remain consistent. Existing underground utility lines will be installed underground to service the property. Signage and perimeter lighting will be updated to better serve the property and business, with some landscaping to accommodate the minor changes to the site.

Currently the property is mostly covered by impervious coverage, with the exception of the rear storage yard. Although, the surface material found there is so compacted it acts similar to impervious coverage. The intention of the proposed site development will increase impervious coverage, but with the implementation of the stormwater infiltration chambers, net flow and volume for the site will not increase. The infiltration system is designed to exceed the required New Hampshire Department of Environmental Services (NH DES) Water Quality Standards for this roof area. Stormwater which is not collected and directed to the stormwater chambers will continue to shed to the existing drainage infrastructure in Old Farm Lane and Signal Street.

CONNECTICUT | MAINE | MASSACHUSETTS | NEW HAMPSHIRE | NEW YORK | RHODE ISLAND | SOUTH CAROLINA | VERMONT

540 Commercial Street • Manchester, NH 03101 • ph: (603) 668-8223 • fx: (603) 668-8802 • www.cldengineers.com



CLD | Fuss & O'Neill

Mr. Seth Creighton CLD Reference No. 17-0235 August 15, 2017 Page - 2

As part of the City's submission documents, we have included a site plan review checklist. In addition, mailing labels in triplicate have been included, for use in notifying abutters as required per City of Rochester Site Plan Regulations, Chapter 42 requirements.

I look forward to the opportunity to present this project at the next available Planning Board meeting. If you have any questions, please do not hesitate to contact me at (207) 363-0669 x320 or rickd@cldengineers.com.

Very truly yours,

Rick S. Dolce, P.E.

FSD:rrl Enclosures

CONNECTICUT | MAINE | MASSACHUSETTS | NEW HAMPSHIRE | NEW YORK | RHODE ISLAND | SOUTH CAROLINA | VERMONT

540 Commercial Street • Manchester, NH 03101 • ph: (603) 668-8223 • fx: (603) 668-8802 • www.cldengineers.com

LEGEND

(STANDARD LEGEND - ALL SYMBOLS SHOWN DO NOT 2' CONTOUR 10' CONTOUR EDGE OF PAVEMENT DRAIN LINE SEWER LINE UNDERGROUND UTILITIES --- UGETC-GAS LINE WATER LINE OVERHEAD WIRES VERTICAL GRANITE CURB SLOPED GRANITE CURB FLUSH GRANITE CURB CHAIN LINK FENCE

SHRUB LINE X 200.0 SPOT GRADE x 200.0 SEWER MANHOLE (\$) SMH CATCH BASIN □ ¢B DRAIN MANHOLE @ DMH FIRE HYDRANT GAS REGULATOR GAS GATE WATER VALVE WATER VALVE THRUST BLOCK ELECTRIC MANHOLE STREET SIGN UTILITY POLE UTILITY POLE & GUY WIRE UTILITY POLE W/ LIGHT LIGHT POLE (ONE ARM) LIGHT POLE (TWO ARMS) LIGHT POLE (FOUR ARMS)

DECIDUOUS TREE CONIFER TREE TRAFFIC FLOW EDGE OF WETLANDS PROPERTY LINE SILT FENCE

ACCESSIBLE PARKING SPACE

IRON PIN.DRILL HOLE.BOUND

BOLL ARD

BORING TEST PIT

STONE CHECK DAM INLET PROTECTION

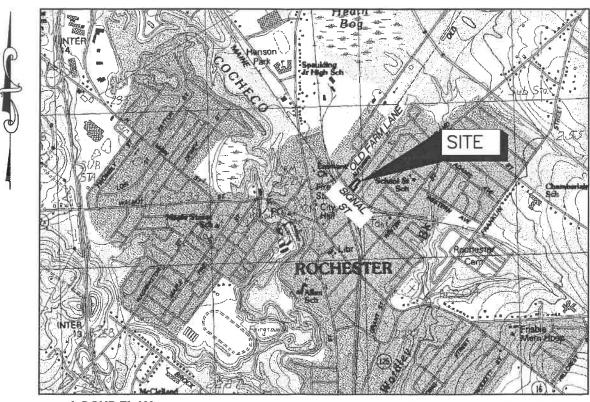
SEE LANDSCAPE PLAN

SITE DEVELOPMENT DRAWINGS

CITY BEVERAGE BUILDING RENOVATION & ADDITION

17 SIGNAL STREET ROCHESTER, NH

PREPARED FOR RIGZ ENTERPRISES, LLC



LOCUS PLAN

SCALE: 1"=1000

NPDES NOTES:

1. THIS PROJECT DISTURBS APPROXIMATELY 13,000 \pm SF (0.30 AC) OF LAND WHICH DOES NOT EXCEED THE NPDES THRESHOLD AMOUNT OF 43,560 SF (1 AC). THEREFORE, THE PROJECT WILL NOT BE REQUIRED TO OBTAIN NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT COVERAGE AS ISSUED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA).

INDEX

DWG	SHEET NAME	REVISION DAT
T1	COVER SHEET	_
CO	EXISTING CONDITIONS PLAN	_
C1	SITE PLAN	_
C2	GRADING AND DRAINAGE PLAN	-
C3	UTILITY PLAN AND SEDIMENT AND EROSION CONTROL PLAN	_
C4	DRAINAGE DETAILS	_
C5	DRAINAGE DETAILS - INFILTRATION CHAMBERS	-
C6	CONSTRUCTION DETAILS	_
C7	SEDIMENT & EROSION CONTROL MEASURES	-
C8	SEDIMENT & EROSION CONTROL MEASURES	_
L1	LANDSCAPING PLAN	_
L2	LIGHTING PLAN	_
S1	SURVEY PLAN	7/17
E1	ARCHITECTURAL ELEVATION DRAWINGS	8/14/17
R1	ARCHITECTURAL RENDERING DRAWING	8/14/17

ABUTTERS

LOCATION MAILING ADDRESS DEED REFERENCE 10 OLDE FARM LN MAP 120 LOT 11 THE SALVATION ARMY 10 OLDE FARM LANE, ROCHESTER 03867-2310 SCRD: 790-393 11 OLDE FARM LN 4 ALBERT ST, SOMERSWORTH, NH 03878 SCRD: 2067-212 17 SIGNAL ST 167 LAFAYETTE RD, SEABROOK, NH 03874-4511 SCRD: 4282-438 RIGZ ENTERPRISES LLC O SIGNAL ST DANIEL & LOUISE R THIBAUDEAU SCRD: 3324-299 REV LIVING TRUST 31 HANCOCK ST. ROCHESTER, NH 03867-3528 2 LEGNARD ST 12 PLEASANT ST APT 1, SAUGUS, MA 01906 SCRD: 4408-86 O SIGNAL ST 14 SIGNAL ST, ROCHESTER, NH 03867-2733 SCRD: 4394-359 28 SIGNAL ST MAP 120 LOT 317 THE SALVATION ARMY C/O MAJ DEJTRICK ARC COMMAND 30 WARREN AVE. PORTLAN ME 04103-1140 SCRD: 1082-759 MAP 120 LOT 315 LAM JW BROTHERS LLC 24 SIGNAL ST, ROCHESTER, NH 03867-2733 SCRD: 4300-243

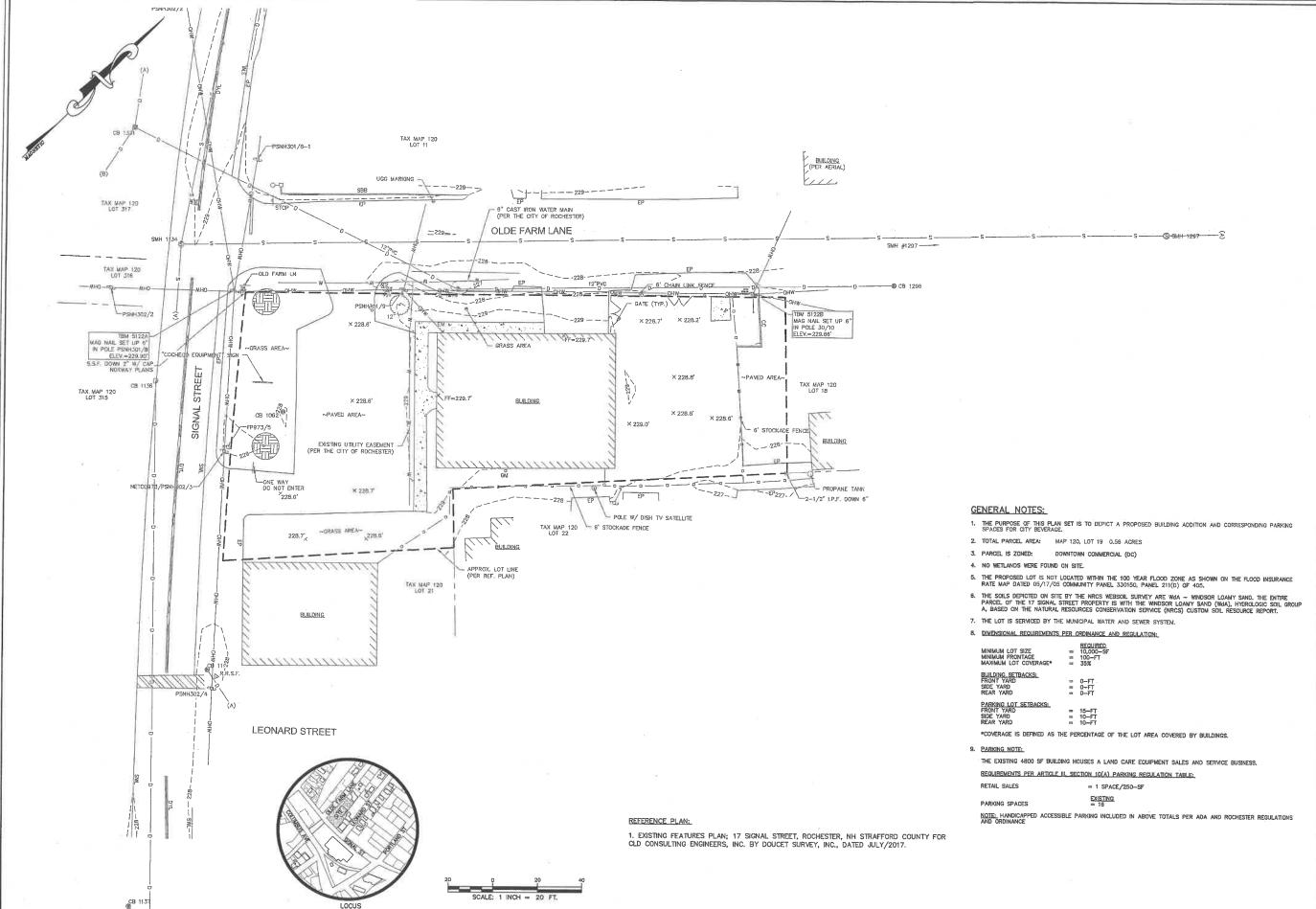




S N CONSTRUCTION, BOX ≅

> SHEE COVER

SCALE: JOB NO. 17-0235 DATE: DWG. AUG 15, 201



TAX MAP 120 LOT 19
GLENT
GITY BEVERAGE

EXISTING CONDITIONS

NC.

CONSTRUCTION,

405

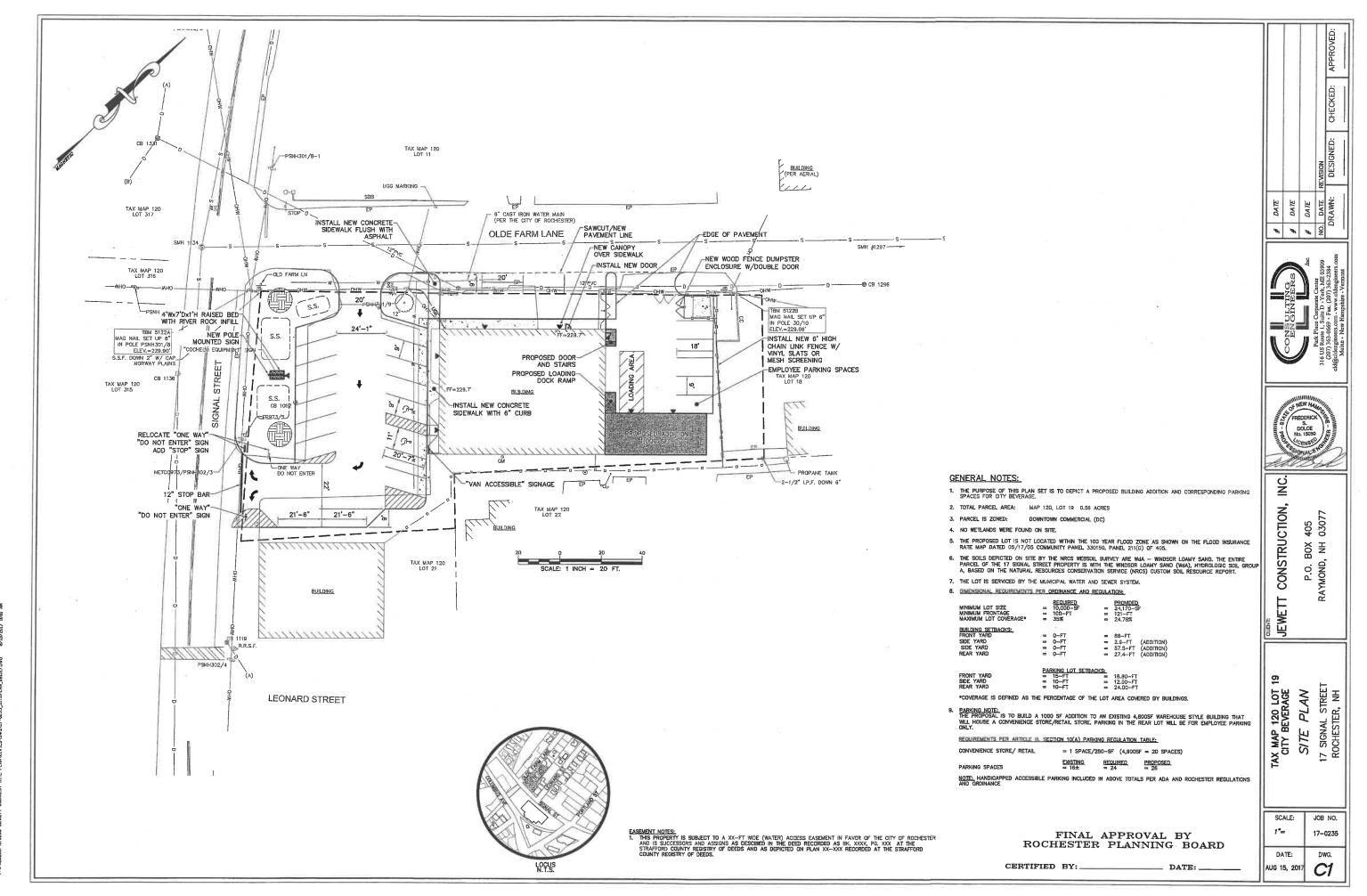
P.O. BOX RAYMOND, NH

> 17 SIGNAL STREET ROCHESTER, NH

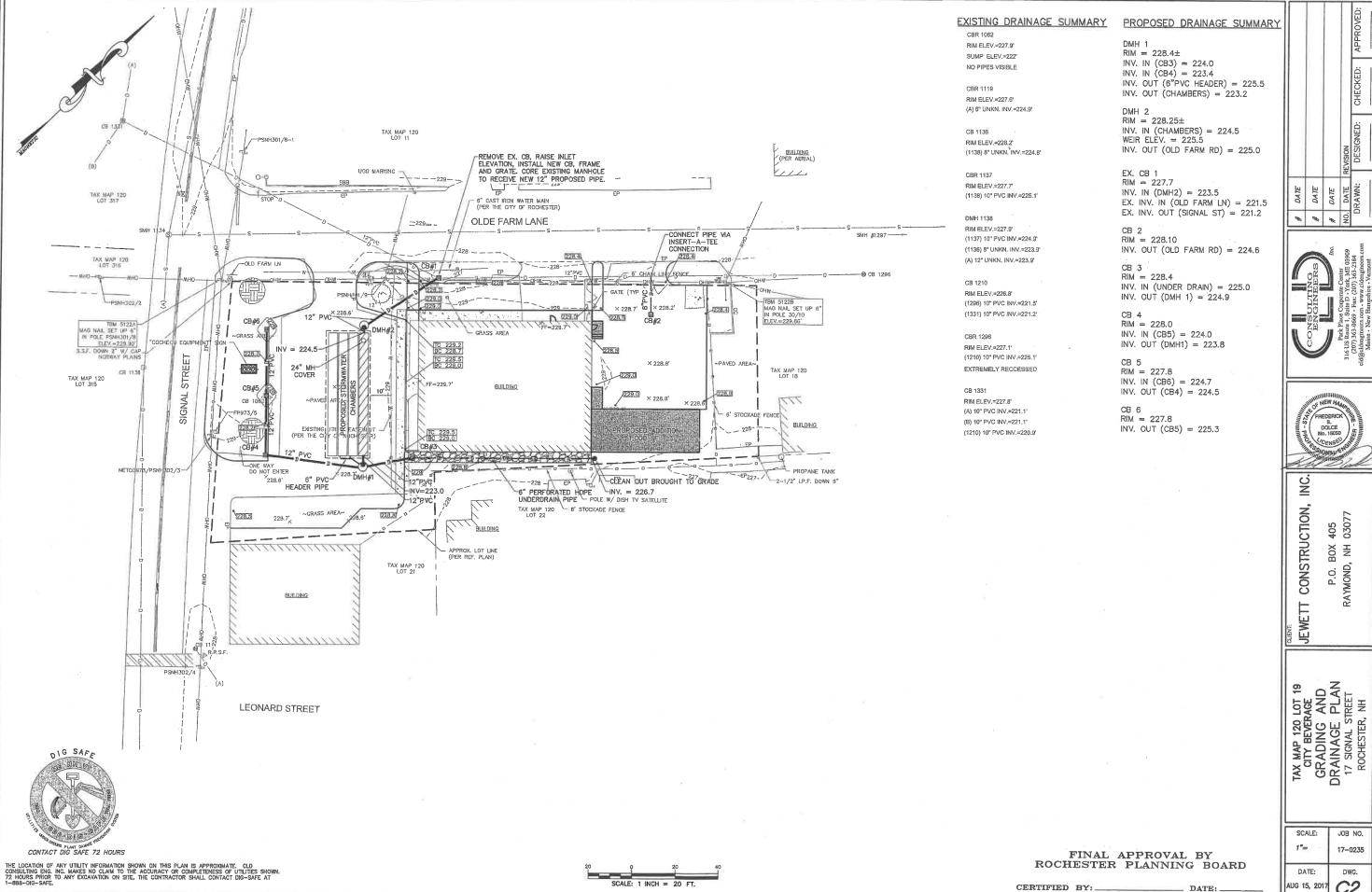
SCALE: JOB NO.

1"= 17-0235

DATE: DWG.
AUG 15, 2017



ENDORIONIZATIONS ELICITE STEAM OF TITE DIAMENTA OF MAINTING TO THE CONTINUE OF THE CONTINUE OF



JOB NO. 17-0235 DWG.

EXISTING SEWER STRUCTURE SUMMARY

SMH 1134 RIM ELEV.=228.8 (1297) 6" CLAY INV.=221.5" (A) 6" CLAY INV.=221.4" (1135) 6" CLAY INV.=221.4"

SMH 1135 RIM ELEV.=229.11 (1134) 6" CLAY INV.=220.6" (A) 6" CLAY INV.=220.6"

SMH 1297 RIM ELEV.=228.5* (1134) 6" CLAY INV.=222.2" (A) 6" CLAY INV.=222.2"

UTILITIES NOTES:

- CONTRACTOR SHALL NOTIFY DIG—SAFE (1-888 344-7233) 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN, THE CONTRACTOR SHALL VERIFY THEIR LOCATIONS AND ELEVATIONS.
- THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE IS NOT INTENDED OR IMPLIED.
- 4. ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH EVERSOURCE OR FAIRPOINT TELECOMMUNICATIONS.
- 5. PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE EXACT LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH EVERSOURCE AND OTHER PERTINENT UTILITY COMPANIES.
- IF NEW SERVICES LINES ARE FOUND TO BE NECESSARY, WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10—FT APART HORIZONTALLY.
- IF SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 9-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
- 8. WORK TO CONNECT INTO THE WATER OR SEWER MAINS REQUIRES A PERMIT FROM THE ROCHESTER PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE PRE-QUALIFIED.
- 9. CONTRACTOR SHALL COORDINATE EXCAVATION, STREET OBSTRUCTION AND CONNECTION PERMITS AS NECESSARY.
- 10. FIRE SPRINKLER SYSTEM SERVICING THE PROPOSED ADDITION SHALL BE TIED IN TO THE EXISTING BUILDING FIRE SPRINKLER SYSTEM.

	**	DATE			
	*	DATE			
	ģ	NO. DATE F	REVISION		
		DRAWN:	DESIGNED:	CHECKED:	APPR
\neg					





NC. CONSTRUCTION, 405 03077 BOX P.O. B RAYMOND, JEWETT

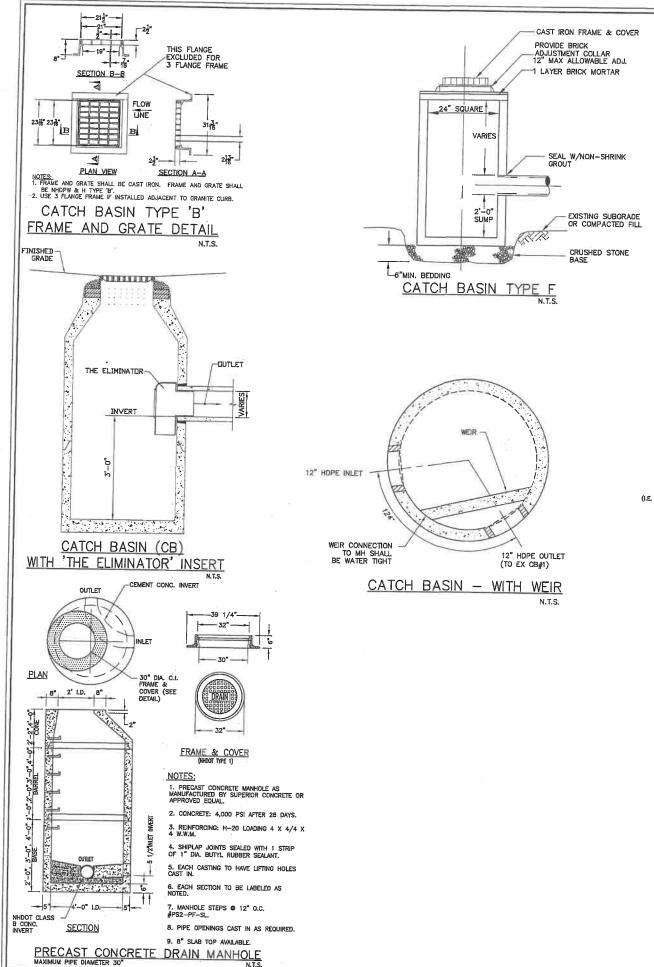
TAX MAP 120 LOT 19
CITY BEVERAGE
UTILITIES & SEDIMENT &
TEROSION CONTROL PLAN
17 SIGNAL STREET
ROCHESTER, NH

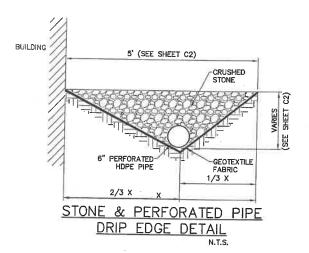
2 % JOB NO. SCALE: 17-0235 DATE: C3 AUG 15, 2017

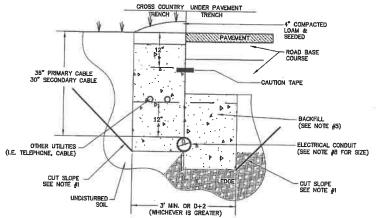
FINAL APPROVAL BY ROCHESTER PLANNING BOARD

DATE:

CERTIFIED BY:_

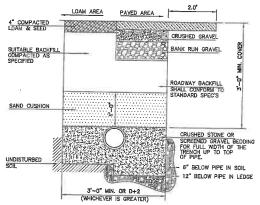




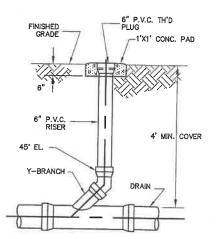


IT MAIN A CABLE CANNOT BE SUCCESSFULLY PULLED THROUGH THE COMPLETED CONDUIT SYSTEM DUE-FROR, IT WILL BE THE CONTRACTOR'S RESPONDEDITY TO LOCATE AND REPAIR THE INVOLVED COMPUT. SERVINGE FOR ALL RESULTING DEVENESS.
IS FOR FOR HALL FOR ALL RESULTING DEVENESS.
IS FOR FOR HALL FOR THESE FINANCY FOR ALL RESULTING DOES.
IS FOR FOR HALL FOR THESE FINANCY FINANCY AND SECONDARY VOLTAGE CABLES, 4—INCH FOR TONS MUST CONFORM TO THE CURRENT EDITION OF THE ANDIONAL ELECTRIC DOES.
INVOLVED BY SECONATING AN O'PEN TRENCH WITH SIDE SLOPES OF 1:1 MAXIMUM TO A DEPTH OF 4—FT.
THAN 4—FT RECURIE THE LUSS OF A TRENCH DAY.

ELECTRICAL & UNDERGROUND UTILITY TRENCH INSTALLATION DETAIL

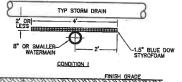


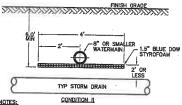
TYPICAL DRAINAGE PIPE TRENCH DETAIL



DRAINAGE PIPE CLEANOUT







NOTES: CONDITION II

1. YORK WATER DEPARTMENT RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC. 2.THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, MICKEYER IS 3.ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN - WATERMAIN INTERSECTING RUNS

DATE
DATE
DATE
DATE
DATE * * S



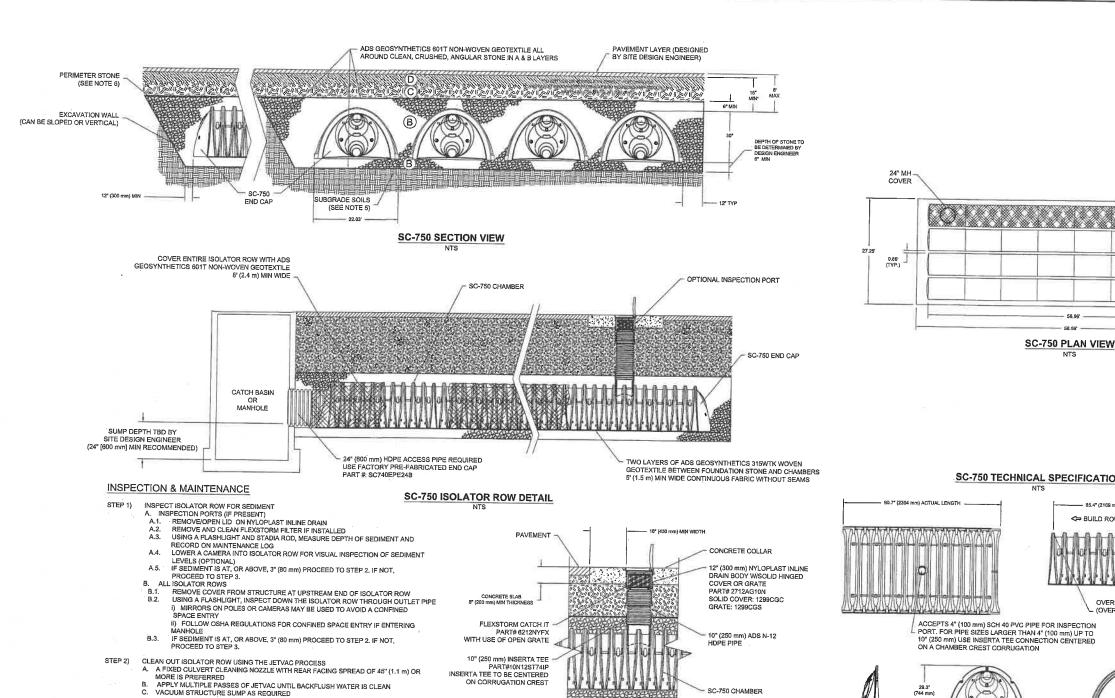


NC. CONSTRUCTION, 405 03077

BOX NH P.O. E JEWETT

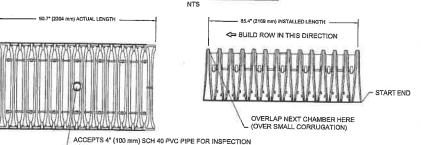
DETAILS 17 SIGNAL STREET ROCHESTER, NH TAX MAP 120 LOT CITY BEVERAGE DRAINAGE

SCALE: JOB NO. 17-0235 DATE: DWG. AUG 15, 201

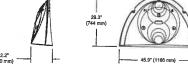


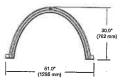
SC-750 INSPECTION PORT DETAIL

SC-750 TECHNICAL SPECIFICATION



ACCEPTS 4" (100 mm) SCH 40 PVC PIPE FOR INSPECTION PORT. FOR PIPE SIZES LARGER THAN 4" (100 mm) UP TO 10" (250 mm) USE INSERTA TEE CONNECTION CENTERED ON A CHAMBER CREST CORRUGATION





NOMINAL CHAMBER SPECIFICATIONS SIZE (W X H X INSTALLED LENGTH) CHAMBER STORAGE MINIMUM INSTALLED STORAGE

51.0" X 30.0" X 85.4" 45.9 CUBIC FEET 74.9 CUBIC FEET

(1295 mm X 762 mm X 2169 mm) (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS



STORMTECH

ISOLATOR ROW

INSPECTION

DATE
DATE
DATE
DATE
DATE * * 2

SC.

CONSTRUCTION,

JEWETT

405

BOX

P.O. E

TAX MAP 120 LOT 19
CITY BEVERAGE
DRAINAGE DETAILS
INFILTRATION CHAMBER?
17 SIGNAL STREET
ROCHESTER, NH SCALE: JOB NO. 17-0235 DWG.

NOTES

STEP 4)

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS

REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

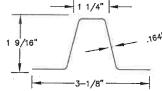
INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

DATE: C5 AUG 15, 201

LENGTH: P-12, 12'-0"; P-14, 14'-0"; P-16, 16'-0".
WEIGHT PER LINEAR FOOT: 2.50 LBS. (MIN.)
HOLES: 3/8" DIA. 1' C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080).
FINISH: SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN, BAKED ON OR AIR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.



DIMENSIONS SHOWN ARE NOMINAL

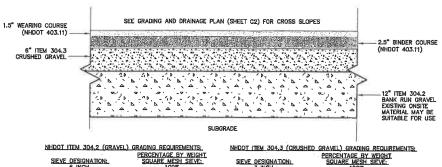
ALTERNATE SECTIONS MUST BE APPROVED PRIOR

TO USE. -1/4" BOLT VARIES MIN. 1/4" BOLT 84 GROUND -

NOTES

- POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OF DRIVEN.
- 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NO TO EXCEED 6" DEEP THOROUGHLY COMPACTED CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE
- 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST;
- REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC

SIGN POST



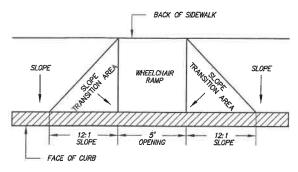
NO. 4 NO. 200 GRAVEL SHALL CONTAIN NO PARTICLES OF ROCK EXCEEDING SIX INCHES IN ANY DIMENSION. CRUSHED GRAVEL SHALL CONTAIN NO PARTICLES OF ROCK EXCEEDING THREE INCHES IN ANY DIMENSION.

PARKING LOT MATERIALS NOTES:

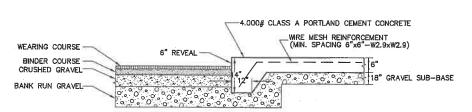
1. BANK RUN GRAVEL SHALL BE INSTALLED IN MAXIMUM 6 NICH LIFTS AND BE COMPACTED TO 95% MAXIMUM PROCTOR DENSITY TO A DEPTH OF 12 INCHES.

2. CRUSHED GRAVEL SHALL BE INSTALLED IN MAXIMUM 6 INCH LIFTS AND BE COMPACTED TO 95% MAXIMUM PROCTOR DENSITY TO FULL DEPTH.

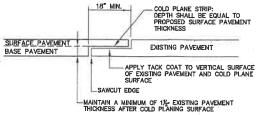
DRIVEWAY AND PARKING AREA CROSS-SECTION



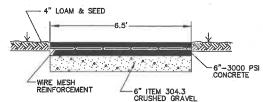
HANDICAP SIDEWALK RAMP

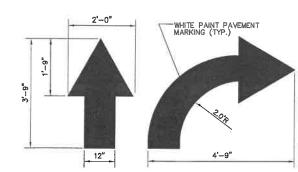


INTEGRAL CURB & SIDEWALK

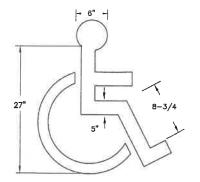


PAVEMENT END MATCH

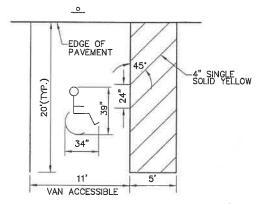




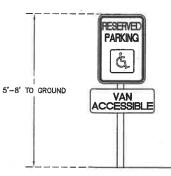
TRAFFIC FLOW ARROW



HANDICAPPED PARKING PAVEMENT MARKING



HANDICAP STRIPING DETAIL



NOTE: VAN ACCESSIBLE SIGN TO BE ATTACHED TO THE SIGN POST UNDER THE STANDARD HANDICAPPED PARKING SIGN WHERE NOTED ON DRAWINGS.

RESERVED PARKING -HANDICAP & VAN ACCESSIBLE SIGN N.T.S. DATE
DATE
DATE
SAWN: # # W ON





NC. CONSTRUCTION, 405 03077 BOX ™ P.O. E JEWETT

S / DETAILS TREET NH FAX MAP 120 LOT CITY BEVERAGE CONSTRUCTION 1 17 SIGNAL STRE ROCHESTER, N

SCALE: JOB NO. 17-0235 DATE: DWG. C6 AUG 15, 2017

BATTERED HEADS WILL NOT BE ACCEPTED.

4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED

5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE

6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.

OPTIONAL

NOTE: COLD PLANE LIMITS MAY BE EXPANDED BEYOND 18" WIDTH AT DIRECTION OF ENGINEER OR OWNER.

CONCRETE SIDEWALK DETAIL

MAINTENANCE REQUIREMENTS:

1. FENCES SHOULD BE INSPECTED AND MAINTAINED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALLS;

SEDIMENT DEPOSITION SHOULD BE REMOVED, AT A MINIMUM, WHEN DEPOSITION ACCUMULATES TO ONE-HALF THE HEIGHT OF THE FENCE, AND MOVED TO AN APPROPRIATE LOCATION SO THE SEDIMENT IS NOT READILY TRANSPORTED BOACK TOWARD THE SILT FENCE.

3. SILT FENCES SHOULD BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDMENT BARRIERS SHOULD BE REPLACED WITH A TEMPORARY CHECK DAM.

4. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY; THE FABRIC SHOULD BE REPLACED

5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE PREPARED AND SECUED.

IF THERE IS EVIDENCE OF END FLOW ON PROPERLY INSTALLED BARRIERS, EXTEND BARRIERS UPHILL OR CONSIDER REPLACING THEM WITH OTHER MEASURES, SUCH AS TEMPORARY DIVERSIONS AND SEDMENT TRAPS.

SILT FENCES HAVE A USEFUL LIFE OF ONE SEASON, ON LONGER CONSTRUCTION PROJECTS, SILT FENCE SHOULD BE REPAIRED PERIODICALLY AS REQUIRED TO MAINTAIN EFFECTIVENESS.

CONSTRUCTION SECRETARIONS:

1. FENCES SHOULD BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE FENCE.
SEDIMENT BARRIERS SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

- THE MAXIMUM CONTRIBUTING DRAINAGE AREA ABOVE THE FENCE SHOULD BE LESS THAN 1A ACRE PER 100 LINEAR FEET OF FENCE;
- 3. THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET;
- 4. THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1:
- 5. FENCES SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE, AND A. THE ENDS OF THE FENCE SHOULD BE FLARED UPSLOPE;

 B. THE FABRIC SHOULD BE EMBEDDED A MINIMUM OF A INCRES IN DEPTH AND INCHES IN WIDTH IN A TRENCH EXCAVATED INTO THE GROUND, OR IF SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE, OR THE RESENCE OF HEAVY ROOTS, THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM MITICKNESS OF 8 INCHES OF 3/4—INCH STONE;

 C. THE SOIL SHOULD BE COMPACTED OVER THE EMBEDDED FABRIC;

 D. SUPPORT POSTS SHOULD BE SIZED AND ANCHORED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS WITH MAXIMUM POST SPACING OF 8 FEET;

 E. ADJOINING SECTIONS OF THE FENCE SHOULD BE OVERLAPPED BY A MINIMUM OF 6 INCHES (24 INCHES IS PREFERRED), FOLDED AND STAPLED TO A SUPPORT POST. IF METAL POSTS ARE USED, FABRIC SHOULD BE WIRE—TIED DIRECTLY TO THE POSTS WITH THREE DIAGONAL TIES.

- 6. SILT FENCING SHOULD NOT BE STAPLED OR NAILED TO TREES.
- THE FILTER FABRIC SHOULD BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE YARN AND SHOULD BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.
- THE FILTER FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 DEGREES FAHRENHEIT TO 120 DEGREES FAHRENHEIT.
- 9. POSTS FOR SILT FENCES SHOULD BE EITHER 4-INCH DIAMÉTER WOOD OR 1.33 POUNDS PER LINEAR FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHOULD HAVE, PROJECTIONS FOR FASTENING WIRE TO THEM. POSTS SHOULD BE PLACED ON THE DOWN SLOPE SIDE OF THE FABRIC.
- 10. THE HEIGHT OF A SILT FENCE SHOULD NOT EXCEED 36 INCHES AS HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
- 11. THE FILTER FABRIC SHOULD BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY; FILTER CLOTH SHOULD BE SPUCED TOGETHER ONLY AT SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY !
- 12. A MANUFACTURED SILT FENCE SYSTEM WITH INTEGRAL POSTS MAY BE USED.
- 13. POST SPACING SHOULD NOT EXCEED 6 FEET.
- 14. A TRENCH SHOULD BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UP GRADIENT FROM THE BARRIER.
- 15. THE STANDARD STRENGTH OF FILTER FABRIC SHOULD BE STAPLED OR WIRED TO THE POST, AND 8 INCHES OF THE FABRIC SHOULD BE EXTENDED INTO THE TRENCH. THE FABRIC SHOULD NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 16. THE TRENCH SHOULD BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 17. SILT FENCE MAY BE INSTALLED BY "SLICING" USING MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR THIS PROCEDURE. THE SLICING METHOD USES AN IMPLEMENT TOWED BEHIND A TRACTOR TO "PLOW" OR SLICE THE SLIT FENCE MATERIAL INTO THE SOLL. THE SLICING METHOD MINIMALTY DISRUPTS THE SOIL UPWARD AND SLICHTLY DISPLACES THE SOIL, MAINTAINING THE SOIL'S PROFILE AND CREATING AN OPTIMAL CONDITION FOR SUBSEQUENT MECHANICAL COMPACTION.
- 18. SILT FENCES SHOULD BE INSTALLED WITH "SMILES" OR "J-HOOKS" TO REDUCE THE DRAINAGE AREA THAT ANY SEGMENT WILL IMPOUND.
- 19. THE ENDS OF THE FENCE SHOULD BE TURNED UPHILL.
- 20. SILT FENCES PLACED AT THE TOE OF A SLOPE SHOULD BE SET AT LEAST 6 FEET FROM THE TOE M ALLOW SPACE FOR SHALLOW PONDING AND TO ALLOW FOR MAINTENANCE ACCESS WITHOUT DISTURBING THE SLOPE.
- 21. SILT FENCES SHOULD BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STARKIZED.

SILT FENCE BARRIER

PROJECT SPECIFIC CONSTRUCTION PHASING:

- REFER TO THE "GENERAL CONSTRUCTION PHASING" NOTES PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING PHASING. THE "GENERAL CONSTRUCTION PHASING" NOTES APPLY TO THE OVERALL CONSTRUCTION AND SHALL BE ADHERED TO.
- INSTALL ALL TEMPORARY SEDIMENT CONTROL BARRIERS (I.E. SILT FENCE, EROSION CONTROL MIX BERMS, STONE CHECK DAMS, ETC.) AROUND THE OUTER PERIMETER OF THE CONSTRUCTION SITE AS DEPICTED ON SHEET CZ.
- CLEAR, GRUB AND STRIP THE SITE. STUMPS, BRUSH AND OTHER ORGANIC WASTE SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- INSTALL A TEMPORARY CONSTRUCTION EXIT AT THE LOCATION OF THE PROPOSED BUILDING ADDITION.
 MAINTAIN AS DIRECTED BY THE TEMPORARY CONSTRUCTION EXIT DETAIL.
- STOCKPILE STRIPPED TOPSOIL AND CUT MATERIAL TO BE REUSED ON SITE IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH THE "SOIL STOCKPILES PRACTICES". MAINTAIN THE STOCKPILES AS DIRECTED IN THE "SOIL STOCKPILE PRACTICES".
- PERFORM THE NECESSARY CUTS AND FILLS TO CONSTRUCT THE INFILTRATION CHAMBERS AS DEPICTED ON SHEET C2 AND IN ACCORDANCE WITH THE INFILTRATION BASIN CHAMBER DETAILS.
- 7. CONSTRUCT THE MANHOLES (W/WEIR) FOR THE INFILTRATION CHAMBER SYSTEM.
- 8. PERFORM THE NECESSARY CUTS AND FILLS TO SUBGRADE IN THE BUILDING AND PARKING LOT AREAS. A) INSTALL REQUIRED FILLS IN MAXIMUM 8-INCH LIFTS AND COMPACT EACH LIFT TO 95% MAXIMUM PROCTOR DENSITY.
- AS SUBGRADE IS ACHIEVED INSTALL REMAINING SEDIMENT CONTROL BARRIERS WITHIN THE SITE (I.E.
 ADDITIONAL SILT FENCE, EROSION CONTROL MIX BERMS, CHECK DAMS AND SEDIMENT CONTROLS AND
 CATCH BASINS, ETC.)
- 10. INSTALL ALL UTILITIES AND CLOSED DRAINAGE SYSTEM COMPONENTS (I.E. CATCH BASINS, PIPE CULVERTS, DRIP EDGE, ETC.) PER THE CORRESPONDING DETAILS AND AS SHOWN ON SHEET CZ. AS EACH STRUCTURE IS COMPLETED INSTALL THE CORRESPONDING TEMPORARY SEDIMENT CONTROL BARRIER DEPICTED ON SHEET CZ.
- 11. ALL CUT AND FILL SLOPES AND LAWN AREAS NOT TO BE PAVED SHALL BE LOAMED AND SEEDED FOR PERMANENT VEGETATION AND STABILIZATION AS DESCRIBED UNDER THE **PERMANENT VEGETATION PRACTICES** WITHIN 3 DAYS OF ACHIEVING FINAL GRADE.
- 12. INSTALL ALL GRAVEL BASE AND CRUSHED GRAVEL MATERIALS FOR THE PARKING AREA AND SIDEWALK AS SPECIFIED IN THE CORRESPONDING DETAILS.
- 13. THE PARKING AREAS SHALL BE STABILIZED (CONSTRUCTED TO GRAVEL BASE COURSE) WITHIN 3 DAYS OF ACHIEVING FINISHED SUBGRADE ELEVATIONS.
- 14. INSTALL PAVEMENT SURFACES AS SOON AS POSSIBLE AFTER INSTALLATION OF GRAVEL BASE AND CRUSHED GRAVEL INSTALLATION, IN ORDER TO LIMIT SOIL EROSION AND POLLUTION OF THE GRAVEL MATERIALS WITH ORGANIC MATERIALS. IN NO CASE SHALL AREAS TO BE PAVED BE LEFT UNPROTECTED THROUGH THE WINTER MONTHS.
- 15. ALL DISTURBED AREAS EXCLUDING AREAS TO BE PAYED SHALL BE STABILIZED AS SOON AS POSSIBLE. IN NO CASE SHALL ANY DISTURBED AREA BE LEFT UN-STABILIZED FOR LONGER THAN 21 DAYS. IF NECESSAY TEMPORARY STABILIZATION MEASURES AS DISCUSSED IN THE "GENERAL CONSTRUCTION PHASING NOTES" AND NHSMM, VOL. 3 SHOULD BE EMPLOYED.

MAINTENANCE AND INSPECTION:
15. DURING CONSTRUCTION ALL TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMMARTER MANAGEMENT PRACTICES SHOULD BE INSPECTED WEEKLY, AFTER EVERY 1/2 INCH OF RAINFALL, AND ANNUALLY.

- 17. EXCESS SEDIMENT SHOULD BE REMOVED FROM TEMPORARY SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES WHEN IT REACHES PRESCRIBED THRESHOLDS DISCUSSED IN THE DETAILS FOR EACH PRACTICE.
- ALL DAMAGED TEMPORARY AND PERMANENT SEDIMENT, EROSION CONTROL AND STORMWATER MANAGEMENT PRACTICES SHOULD BE REPAIRED OR REPLACED IMMEDIATELY UPON NOTICE.
- 19. SEDIMENT SHALL BE DISPOSED OF PROPERLY EITHER ON SITE OR OFF SITE.
- PROJECT COMPLETION AND STABILIZATION.

 20. UPON PROJECT COMPLETION, ONCE THE SITE IS DEEMED STABILIZED (VEGETATION IS GERMINATED), THE TEMPORARY SEDIMENT CONTROL BARRIERS AND EROSION CONTROL PRACTICES SHALL BE REMOVED. ANY DISTURBANCE CREATED DURING REMOVAL SHALL BE REPAIRED IN AN APPROPRIATE MANNER.
- 21. THE ISOLATOR ROW SHALL BE JETTED AND VACUUMED OUT OF ALL SEDIMENT.
- 22. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL ON SITE CATCH BASINS AND THE DANDY BAG SEDIMENT INSERTS PROPERLY DISPOSED OF

WINTER STABILIZATION & CONSTRUCTION PRACTICES:

- MAINTENANCE REQUIREMENTS:

 1. MAINTENANCE MEASURES SHOULD BE PERFORMED THROUGHOUT CONSTRUCTION, INCLUDING OVER THE WINTER PERIOD. AFTER EACH RANFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT INSPECTION OF ALL INSTALLED EROSION CONTROL PRACTICES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUED FUNCTION.
- FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF THE VEGETATION AND REPAIR ANY DAMAGED AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY,

SPECIFICATIONS.
THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15

- 1. THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO 0.5-ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DISCUSSED IN NHSMM, VOL. 3 AND ELSEWHERE IN THIS PLAN SET. PRIOR TO ANY THAW OR SPRING MELT EVENT. STRBILIZATION AS POLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5
- DAYS:
 ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHOULD BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MUCH PER ACRE SECURED WITH ANHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (REFER TO NHSMM, VOL. 3 FOR SPECIFICATION).
- 3. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OR ARE DISTURBED AFTER OCTOBER 15 SHOULD BE SEEDED AND COVERED WITH A PROPERTY INSTALLED EROSION CONTROL BLANKET OR WITH A MINIMUM OF 4 INCHES OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OF THEY MAY OVERHEAT.

 4. ALL STONE COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY COTOBER 15.
- INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH.
- 6. ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (I.E. BY NETTING, TRACKING, WOOD CELLULOSE
- . WITHIN 24 HOURS OF STOCKPILING SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A 4 INCH LAYER OF EROSION CONTROL MIX. MULCH SHOULD BE RE-ESTABLISHED PRIOR TO ANY RAIN OR SNOWFALL NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100-FT OF ANY WETLAND OR OTHER WATER RESOURCE AREA.
- FROZEN MATERIAL (I.E. FROST LAYER RÉMOVED DURING WINTER CONSTRUCTION) SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION AWAY FROM ANY AREA NEEDING PROTECTION. FROZEN MATERIAL STOCKPILES CAN MELT IN SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO HIGH SOIL MOISTURE CONTENT.
- 9. INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN 1 INCH IN DEPTH OR ON FROZEN GROUND.
- 10. ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED BY SEPTEMBER 1. ALL DITCHES AND SWALES WHICH DO NOT DEVIBIT BOX VEGETATIVE OROUTH BY OR ARE DISTURBED AFTER OCTOBER 15, SHOULD BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS AS DETERMINED BY A PROFESSIONAL ENGINEER. IF STONE LINNS IS NECESSARY, CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
- 11. ALL STONE LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- 12. AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER SHOULD BE PROTECTED WITH A MINIMUM 3 INCH LAYER OF SAND AND GRAVEL WITH A GRADATION THAT IS LESS THAN 12% OF THE SAND PORTION, OR MATERIAL PASSING THE NUMBER 4 SIEVE, BY WEIGHT, PASSES THE NUMBER 200 SIEVE.
- 1.3. SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSIGN CONTROL MIX BERNAS, OR CONTINUOUS CONTAINED BERNAS, SILT FENCES AND HAY BES HOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BRARIERS.

DUST CONTROL PRACTICES:

- 1. APPLY DUST CONTROL MEASURES AS NECESSARY TO MAINTAIN CONTROL OF DUST ON SITE.
- WATER APPLICATION:
 A) MOISTEN EXPOSED SOIL SURFACES PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
 B) AVOID EXCESSIVE APPLICATION OF WATER THAT WOULD RESULT IN MOBILIZING SEDIMENT AND SUBSEQUENT DEPOSITION IN NATURAL WATERBOOKS.
- STONE APPLICATION:
 OVER SURFACE WITH CRUSHED OR COARSE GRAVEL.
 IN AREAS NEAR WATERWAYS USE ONLY CHEMICALLY STABILIZED OR WASHED AGGREGATE.
- 4. REFER TO "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS, DECEMBER 2008" FOR OTHER ALLOWABLE DUST CONTROL PRACTICES (I.E. COMMERCIAL TACKIFIERS OR CHEMICAL TREATMENTS SUCH AS CALCIUM CHLORIDE, ETC.)

INVASIVE SPECIES NOTE:

THE CONTRACTOR SHALL TAKE STEPS TO PREVENT THE SPREAD OF INVASIVE PLANT, INSECT, AND FUNGAL SPECIES BY MEETING THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES. http://gencourt.state.nh.us/rules/state_agencies/agr3800.htm

GENERAL CONSTRUCTION PHASING:

- STABILIZATION:
 A STE IS DEEMED STABILIZED WHEN IT IS IN A CONDITION IN WHICH THE SOIL ON SITE WILL NOT EXPERIENCE ACCELERATED OR UNNATURAL EROSION UNDER THE CONDITIONS OF A 10—YEAR STORM EVENT, SUCH AS BUT NOT LIMITED TO:
- A) IN AREAS THAT WILL NOT BE PAVED:

 1) A MINIMUM OF 85% VEGETATIVE COVER HAS BEEN ESTABLISHED;
- ii) A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR A CERTIFIED COMPO BLANKET HAS BEEN INSTALLED, OR;
- iii) EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- B) IN AREAS TO BE PAVED:

 1) BASE COURSE GRAVELS HAVE BEEN INSTALLED.
- TEMPORARY STABILIZATION:
 ALL AREAS OF EXPOSED OR DISTURBED SOIL SHOULD BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS FROM THE TIME OF INITIAL DISTURBANCE UNLESS A SHORTER TIME IS SPECIFIED BY LOCAL AUTHORITIES, THE CONSTRUCTION SEQUENCE APPROVED AS PAR' OF THE ISSUED PERMIT OR AN INDEPENDENT MONITOR.
- 3. <u>Permanent Stabilization:</u>
 All areas of exposed or disturbed soil should be <u>Permanently</u> stabilized as soon as Practicable but <u>No Later Than 3 Days Following Final Grading</u>.
- 4. MAXIMUM AREA OF DISTURBANCE: THE AREA OF UNSTABILIZED SOIL SHOULD NOT EXCEED 5 ACRES AT ANY TIME.
- 5. ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION.
- A) FLAG OR OTHERWISE DELINEATE AREAS NOT, TO BE DISTURBED.
- B) EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL
- 6. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHOULD BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDMENT CONTROL PLAN DEPICTED.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND MEASURES SHOULD BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN DEPICTED ON SLEET C.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHOULD BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND BE PROTECTED FROM EROSION.
- 9. STOCKPILES, BORROW AREAS AND SPOILS SHALL BE STABILIZED AS DESCRIBED UNDER "SOIL STOCKPILE
- 10. SLOPES SHOULD NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATE PROTECTION AGAINST SEDIMENTATION, EROSION, SUPPAGE, SETTLEMEN SUBSIDENCE OR OTHER RELATED DAMAGE.
- 11. AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, EGETATION, ROOTS AND/OR OTHER OBJECTIONABLE MATERIALS.
- 12. AREAS SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF 3-INCHES PRIOR TO PLACEMENT OF TOPSOIL SHOULD BE PLACED WITHOUT SIGNIFICANT COMPACTION TO PROVIDE A LOOSE BEDDING FOR PLACEMENT OF SEED.
- 1.3. ALL FILLS SHOULD BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS TO REDUCE EROSION SUPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, SITE UTILITIES, CONDUITS AND THER FACILITIES, SHOULD BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 14. IN GENERAL, FILLS SHOULD BE COMPACTED IN LAYERS RANGING FROM 6 TO 24 INCHES IN THICKNESS. THE CONTRACTOR SHOULD REVIEW THE PROJECT GEOTECHNICAL REPORT AND/OR THE "PROJECT SPECIFIC SEQUENCING NOTES". FOR SPECIFIC GUIDANCE.
- 15. ANY AND ALL FILL MATERIAL SHOULD BE FREE OF BRUSH, RUBBISH, ROCKS (LARGER THAN 3/4 THE DEPTH OF THE LIFT BEING INSTALLED), LOGS, STUMPS, BUILDING DEBRIS, FROZEN MATERIAL AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTUR LIFTS.
- 16. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE (I.E. CLAY, SILT) MATERIALS ARE SUSCEPTIBLE TO ACCELERATED SETTLEMENT AND POTENTIAL ACCELERATED EROSION. WORK IN AREAS OF THESE MATERIALS SHOULD BE PERFORMED UNDER THE DIRECTION OF A <u>PROFESSIONAL ENGINEER</u>.
- 17. THE OUTER FACE OF THE FILL SLOPE SHOULD BE ALLOWED TO STAY LOOSE, NOT ROLLED OR COMPACTED, OR BLADE SMOOTHED. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TREADS (CLEAT TRACKS) CREATE GROOVES PERPPHINICIAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR. SEE "SURFACE ROUGHERING". IN THE SINESMOOTH OF THE SOIL SHEWN, VOL.3.
- 18. ROUGHEN THE SURFACE OF ALL SLOPES DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION AND FACILITATE VEGETATION ESTABLISHMENT.
- 19. USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE TO REDUCE THE LENGTH OF CUT-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GUILY EROSION. ALL BENCHES SHOULD BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF CONSTRUCTION.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHOULD BE EVALUATED BY A <u>PROFESSIONAL</u> <u>ENGINEER</u> (PREFERABLY THE DESIGN ENGINEER) TO DETERMINE IF THE PROPOSED DESIGN SHOULD BE REVISED TO PROPERLY MANAGE THE CONDITION.
- 21. STABILIZE ALL GRADED AREAS (AS ABOVE) WITH VECETATION, CRUSHED STONE, COMPOST BLANN OTHER GROUND COVER AS SOON AS GRADING IS COMPLETE OR IF WORK IS INTERRUPTED FOR 2 WORKING DAYS OR MORE. USE MULCH OR OTHER APPROVED METHODS TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED. 22. ALL GRADED AREAS SHOULD BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- ABOVE NOTES EXCERPIED, ADAPTED AND REFERENCED FROM "NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3 CONSTRUCTION PHASE EROSION AND SEDMENT CONTROLS, DECEMBER 2008" (HEBMM, VOL. 3)

SOIL STOCKPILE PRACTICES:

- LOCATE STOCKPILES A MINIMUM OF 50-FT. AWAY FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES OR INLETS.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-ON USING TEMPORARY PERIMETER MEASURES SUCH AS DIVERSIONS, BERMS, SANDBAGS OR OTHER APPROVED PRACTICES.
- STOCKPILES SHOULD BE SURROUNDED BY SEDIMENT BARRIERS AS DESCRIBED ON THE PLANS AND IN NHSMM VOL. 3. TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILE.
- 4. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL.
- 5. PLACE BAGGED MATERIALS ON PALLETS OR UNDERCOVER.

PROTECTION OF INACTIVE STOCKPILES.

6. INACTIVE SOIL STOCKPILES SHOULD BE COVERED WITH ANCHORED TARPS OR PROTECTED WITH SOIL STABILIZATION MEASURES (TEMPORARY SEED AND MULCH OR OTHER TEMPORARY STABILIZATION PRACTICE) AND TEMPORARY PERIMETER SEDIMENT BARRIERS (I.E. SILT FENGE, ETC.) AT ALL TIMES.

7. INACTIVE STOCKPILES OF CONCRETE RUBBLE, ASPHALT CONCRETE RUBBLE, AGGREGATE MATERIALS, AND SIMILAR MATERIALS SHOULD BE PROTECTED WITH TEMPORARY SEDIMENT PERIMETER BARRIERS (I.E. SILT FENCE, ETC.) AT ALL TIMES. IF THE MATERIALS ARE A SOURCE OF DUST, THEY SHOULD ALSO BI COVERD.

PROTECTION OF ACTIVE STOCKPILES:

8. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY LINEAR SEDIMENT BARRIERS (I.E. SILT FENCE, ETC.) PRIOR TO THE ONSET OF PRECIPITATION, PERIMETER BARRIERS SHOULD BE ONSET OF PRECIPITATION, PERIMETER BARRIERS SHOULD BE AND ADJUSTED AS MEEDED TO ACCOMMODATE THE DELIVERY, AND REMOVED AND THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 9. WHEN A STORM IS PREDICTED, STOCKPILES SHOULD BE PROTECTED WITH AN ANCHORED PROTECTIVE

DATE
DATE
DATE
DATE
DATE
DRAWN: * * * N

APPROVED:





 \mathbf{Z} TRUCTION, 405 BOX NH CONS RAYMOND, P.0.

S_S TAX MAP 120 LOT 19
CITY BEVERAGE
SEDIMENT AND EROSIO
CONTROL MEASURES
17 SIGNAL STREET
ROCHESTER, NH

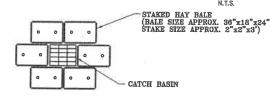
SCALE: J08 NO. 1"= 17~0235 DATE: DWG. C7 AUG 15, 2017



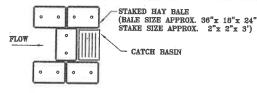
EXISTING PAVEMENT

10'

<u>USDA - SCS STABILIZED CONSTRUCTION ENTRANCE</u> N.T.S.



EROSION PROTECTION - CATCH BASINS AT LOW POINTS



FOR USE AROUND CATCH BASINS IN AREAS TO BE PAVED, WHICH ARE NOT LOCATED

EROSION PROTECTION - CATCH BASINS ON SLOPES

CONSTRUCTION SPECIFICATIONS:

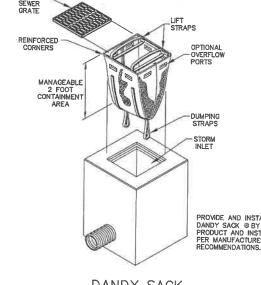
1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDE IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED. INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, ODEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4-INCH, 8-INCH AND 12-INCH WIDE BLOCK. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH AND NO GREATER THAN 24 INCHES HIGH.

- WHEN MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEBBING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE HOLES IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WHEN MESH WITH 1/2—INCH OPENINGS SHALL BE USED.
- STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN ABOVE, STONE GRADATION SHALL BE WELL GRADED WITH THE MAXIMUM STONE SIZE OF 6 INCHES AND MINIMUM STONE SIZE OF 1 INCH.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED.

MAINTENANCE NOTES: 1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT
 HAS ACCUMULATED TO 1/2 THE DESION DEPTH OF THE TRAP, REMOVED SEDIMENT SHALL BE DEPOSITED IN A
 SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SEDIMENTATION CONTROL AT CATCH BASINS



PERMANENT VEGETATION:

SPECIFICATIONS:

SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BASINS, SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.

- GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- 3. RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
- ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR O THE DIRECTION OF THE SLOPE TO CATCH SEED. AND REDUCE RUNOFF.

SEEDBED PREPARATION:

1. WORK LIME AND FETRILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY AND SILT SOILS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.

- REMOVE FROM THE SURFACE ALL STONES 2 MOHES OR LARGER IN ANY DIMENSION. REMOVE ALD THE DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, CONCRETE CLODS, LUMPS, TRASH OR OTHER WONTERSTAND.
- 3. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED; THE AREA MUST BE
- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (138 LB./1,000-SF)*

*EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM DXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)*

*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

7. FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

SEEDING: 1: INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE OF INOCULANT.

- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SELURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE.
- WHERE FEASIBLE EXCEPT WHERE EITHER CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.
- SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGLMES. PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO FIRST KILLING FROST. WHEN CROWN VETCH IS SEEDED IN LATE SUMMER AT LEAST 35% OF THE SEED SHOULD BE HARD SEED (UNSCARFIED). IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, WILCH ACCORDING TO THE "TEMPORARY AND FERMANENT MULCHING" PRACFORCE DESCRIBED IN THE NHSSM, VOL 3. AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL 3.
- VEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS CONDITION IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINTER PROTECTION.

HYDROSEEDING:

- WHEN HYDROSEEDING (HYDRAULIC APPLICATION), PREPARE THE SEEDBED AS SPECIFIED ABOVE OR BY HAND RAKING TO LOOSEN AND SMOOTH THE SOIL AND REMOVE SURFACE STONES LARGER THAN 2 INCHES IN DIAMETER.
- 2. SLOPES BUST BE NO STEEPER THAN 2:1 (2 FEET HORIZONTALLY BY 1 FOOT VERTICALLY
- 3. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. THE USE OF FIBER MULCH ON CRITICAL AREAS IS NOT RECOMMENDED (UNLESS IT IS USED TO HOLD STRAW OR HAY). BETTIER PROTECTION IS GAINED BY USING STRAW MULCH AND HOLDING IT WITH ADHESIVE MATERIALS OR 500 POUNDS PER ACRE OF WOOD FIBER MULCH.
- 4. SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

- MAINTENANCE REQUIREMENTS:

 1. PERMANENT SEEDED AREAS SHOULD BE INSPECTED AT LEAST MONTHLY DURING THE COURSE OF CONSTRUCTION, INSPECTION, MAINTENANCE AND CORRECTIVE ACTIONS SHOULD CONTINUE UNTIL THE OWNER ASSUMES PERMANENT OPERATION OF THE SITE.
- SEEDED AREAS SHOULD BE MOWED AS REQUIRED TO MAINTAIN A HEALTHY STAND OF VEGETATION. MOWING HEIGHT AND FREQUENCY DEPEND OF TYPE OF GRASS COVER.
- 3. BASED ON INSPECTION, AREAS SHOULD BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
- 4. AT A MINIMUM 85% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION.
- IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESEEDED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VEGETATION ESTABLISHMENT.

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

A	TALL FESCUE CREEPING RED FESCUE REDTOP	20	0.45
	TOTAL	20 2 42	0.45 0.05 0.95
A	TALL FESCUE	20	0.45
	CREEPING RED FESCUE	20	0.45
	REDTOP	2	0.05
	TOTAL	42	0.95
, A	TALL FESCUE	20	0.45
	CREEPING RED FESCUE	20	0.45
	REDTOP	2	0.05
	TOTAL	42	0.95
F	CREEPING RED FESCUE	50	1.15
	KENTUCKY BLUEGRASS	50	1.15
	TOTAL	100	2.30
		A TALL FESCUE CREEPING RED FESCUE REDTOP TOTAL F CREEPING RED FESCUE KENTUCKY BLUEGRASS	REDTOP

TEMPORARY VEGETATION:

SPECIFICATIONS:

SITE PREPARATION:

1. INSTALL NEEDED EROSION AND SEDIMENT CONTROL MEASURES SUCH AS SILTATION BASINS, SILTATION BARRIERS, DIVERSIONS, AND SEDIMENT TRAPS.

- GRADE AS NEEDED FOR THE ACCESS OF EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING.
- 3. RUNOFF SHOULD BE DIVERTED FROM THE SEEDBED AREA.
- 4. ON SLOPES 4:1 OR STEEPER, THE FINAL PREPARATION SHOULD INCLUDE CREATING HORIZONTAL GROOVES PERPENDICULAR O THE DIRECTION OF THE SLOPE TO CATCH SEED AND REDUCE RUNOFF.

SEEDBED PREPARATION: 1. STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA.

- WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2
 INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
- 3. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING SEASON.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NO FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL FERTILIZER AND LIMESTONE MAY BE APPLIED AT THE FOLLOWING RATES:

LIMESTONE APPLICATION RATE = 3 TONS/ACRE (13B LB./1,000-SF)* *EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE

FERTILIZER APPLICATION RATE = 600 LB./ACRE (13.8 LB./1,000-SF)*

*LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT

5. FERTILIZER SHOULD BE RESTRICTED TO LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER WHEN APPLIED TO AREAS BETWEEN 25 AND 250-FT FROM A SURFACE WATER BODY. NO FERTILIZER EXCEPT LIMESTONE SHOULD BE APPLIED WITHIN 25-FT OF A SURFACE WATER BODY. THESE ARE THE REQUIREMENTS FOR ANY WATER BODY PROTECTED BY THE COMPREHENSIVE SHORELAND PROTECTION ACT.

SEEDING:

1. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER OR HYDRO SEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RAYES MUST SE INCREASED BY 10% WHEN HYDROSEEDING.

- 2. TEMPORARY SEED SHOULD TYPICALLY OCCUR PRIOR TO SEPTEMBER 15.
- AREAS SEEDED BETWEEN MAY 15 AND AUGUST 15 SHOULD BE COVERED WITH HAY OR STRAW MULCH, ACCORDING TO THE "TEMPORARY AND PERMANENT MULCHING" PRACTICE DESCRIBED IN THE NHSSM, VOL
- YEGETATED GROWTH COVERING AT LEAST 85% OF THE DISTURBED AREA SHOULD BE ACHIEVED PRIOR TO OCTOBER 15. IF THIS COMBINON IS NOT ACHIEVED, IMPLEMENT OTHER TEMPORARY STABILIZATION MEASURES FOR OVERWINEE PROTECTION.

- MAINTENANCE REQUIREMENTS:

 1. TEMPORARY SEEDING SHOULD BE INSPECTED WEEKLY AFTER ANY RAINFALL EXCEEDING 1/2 INCH IN 24 HOURS ON ACTIVE CONSTRUCTION SITES. TEMPORARY SEEDING SHOULD BE INSPECTED JUST PRIOR TO SEPTEMBER 15, TO ASCERTAIN WHETHER ADDITIONAL SEEDING IS REQUIRED TO PROVIDE STABILIZATION OVER THE WINTER PERIOD.
- BASED ON INSPECTION, AREAS SHOULD BE RESEEDED TO ACHIEVE FULL STABILIZATION OF EXPOSED SOILS.
 IF IT IS 100 LATE IN THE PLANTING SEASON TO APPLY ADDITIONAL SEED, THEN OTHER TEMPORARY
 STABILIZATION MEASURES SHOULD BE IMPLEMENTED.
- IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHOULD BE MADE AND AREAS SHOULD BE RESECRED, WITH OTHER TEMPORARY MEASURES (I.E. MULCH, ETC.) USED TO PROVIDE EROSION PROTECTION DURING THE PERIOD OF VECETATION ESTABLISHMENT.

TEMPORARY VEGETATION SEEDING RECOMMENDATIONS

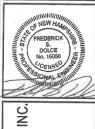
SPECIES	PER ACRE BUSHELS (BU) OR POUNDS (LBS.)	PER 1,000-SF	REMARKS
WINTER RYE	2.5 BU OR 112 LBS.	2.5 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.
OATS	2.5 BU OR 80 LBS.	2.0 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1. INCH.
ANNUAL RYEGRASS	40 LBS,	1.0 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPTEMBER 15, COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL
PERENNIAL RYEGRASS	30 LBS.	0.7 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPTEMBER 15 FOR BEST COVER. SEED TO A DEPTH OF 1 INCH.

UNCES: NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLE MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

DATE * * ON

CHECKED:





CONSTRUCTION, 405 BOX P.O. E JEWETT

NO/ S TAX MAP 120 LOT 19
CITY BEVERAGE
SEDIMENT AND EROSIO
CONTROL MEASURES
17 SIGNAL STREET
ROCHESTER, NH

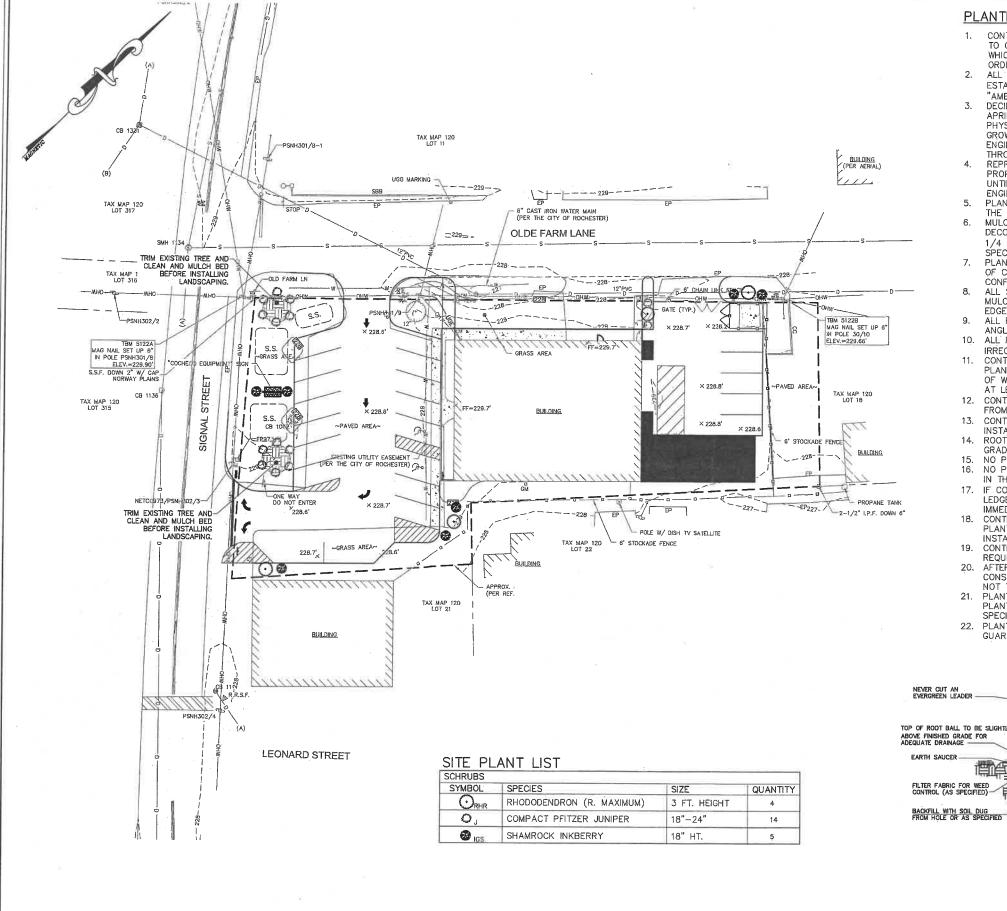
SCALE: JOB NO. 17-0235 1"= DATE: DWG. C8 AUG 15, 2017

NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, TABLES 4-2 AND 4-3

MINNICK, E.L. AND H.T. MARSHALL, (AUGUST 1992)

PROVIDE AND INSTALL DANDY SACK @ BY DANDY PRODUCT AND INSTALL PER MANUFACTURES

DANDY SACK

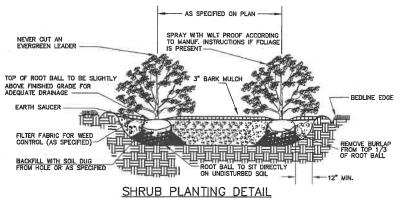


PLANTING NOTES:

- CONTRACTOR SHALL SUPPLY PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS SHOWN ON THESE DRAWINGS OR PLANT LIST — WHICH EVER IS GREATER. CLARIFY DISCREPANCIES PRIOR TO PLACING PURCHASE ORDER.
- 2. ALL PLANT MATERIALS SHALL CONFORM AT A MINIMUM TO GUIDELINES ESTABLISHED BY LATEST EDITION OF AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD OF NURSERY STOCK".
- 3. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 1 WILL NOT BE REVIEWED FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL ONLY BEGIN AFTER ACCEPTANCE BY ENGINEER. EVERGREEN PLANT MATERIAL SHALL BE PLANTED APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH NOVEMBER 15.
- THROUGH JUNE 1 OR AUGUST 15 THROUGH NOVEMBER 15.

 4. REPRESENTATIVE PLANT MATERIAL OF SPECIES SHALL BE LEGIBLY TAGGED WITH PROPER COMMON AND BOTANICAL NAMES. TAGS SHALL REMAIN ON PLANTS UNTIL ACCEPTANCE. PLANTS NOT TAGGED ARE SUBJECT TO REJECTION BY ENGINEER.
- PLANT MATERIAL IS SUBJECT TO APPROVAL AND OR REJECTION OF ENGINEER AT THE NURSERY OR AT PROJECT SITE.
- MULCH FOR PLANTED AREAS SHALL BE AGED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH UNLESS OTHERWISE SHOWN ON DRAWINGS OR NOTED IN SPECIFICATIONS.
- 7. PLANT MATERIAL SHALL BE LOCATED OUTSIDE BUILDING DRIP—LINE AND POINTS OF CONCENTRATION TO PREVENT DAMAGE FROM CONCENTRATED FLOW. CLARIFY CONFLICTS WITH ENGINEER PRIOR TO INSTALL.
- ALL SHRUB GROUPINGS SHALL BE INCORPORATED INTO PLANTING BEDS. WHERE MULCHED PLANT BED ABUTS LAWN CONTRACTOR SHALL PROVIDE A TURF CUT EDGE.
- ALL PLANT BED EDGES SHALL INTERSECT WITH PAVEMENTS AT 90 DEGREE ANGLES UNLESS OTHERWISE SHOWN ON DRAWINGS.
- 10. ALL PLANT BED EDGES SHALL BE SMOOTH AND CONSISTENT IN LAYOUT.
 IRREGULAR, "WAVEY" EDGES WILL NOT BE ACCEPTED.
 11. CONTRACTOR SHALL BEGIN WATERING AND MAINTENANCE IMMEDIATELY AFTER
- 11. CONTRACTOR SHALL BEGIN WATERING AND MAINTENANCE IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE PLANTINGS ARE TO BE THOROUGHLY WATERED AT LEAST TWICE IN THE FIRST 48 HRS.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- 13. CONTRACTOR SHALL REMOVE ALL TREE STAKING (IF INCLUDED) ONE YEAR AFTER INSTALLATION.
- ROOT BALL SHALL BEAR SAME RELATIONSHIP TO NEW GRADE AS TO ORIGINAL GRADE UNLESS OTHERWISE NOTED.
- 15. NO PLANTS SHALL BE PLANTED BEFORE ACCEPTANCE OF AND ROUGH GRADING.
 16. NO PLANTS SHALL BE PLANTED BEFORE CONSTRUCTION HAS BEEN COMPLETED IN THAT AREA.
- 17. IF CONTRACTOR ENCOUNTERS POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE WITHIN ANY PLANTING BED, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY FOR DIRECTION PRIOR TO INSTALLATION.
- IMMEDIATELY FOR DIRECTION PRIOR TO INSTALLATION.

 18. CONTRACTOR SHALL STAKE OR PLACE ON SURFACE OF GROUND ALL PROPOSED PLANT MATERIAL LOCATIONS AS PER PLAN. CONTACT ENGINEER PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.
- 19. CONTRACTOR SHALL NOTIFY ENGINEER 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
- AFTER DEVELOPMENT IS COMPLETED, NO GROUND DISTURBED AS A RESULT OF CONSTRUCTION WILL BE LEFT AS EXPOSED BARE SOIL. ALL DISTURBED SURFACES NOT TREATED WILL FOLLOW THE PERMANENT VEGETATION SPECIFICATIONS.
 PLANTS REQUIRING MALE AND FEMALE SPECIES TO PRODUCE FRUIT SHALL BE
- 21. PLANTS REQUIRING MALE AND FEMALE SPECIES TO PRODUCE FRUIT SHALL BE PLANTED WITHIN PROXIMITY AND NECESSARY RATIOS TO EACH OTHER, AS SPECIFIED BY THE AMERICAN STANDARD OF NURSERY STOCK.
- 22. PLANTINGS SHALL BE MANUALLY WATERED AFTER ONE (1) YEAR PLANT GUARANTEF



FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY:_____

DATE: ____





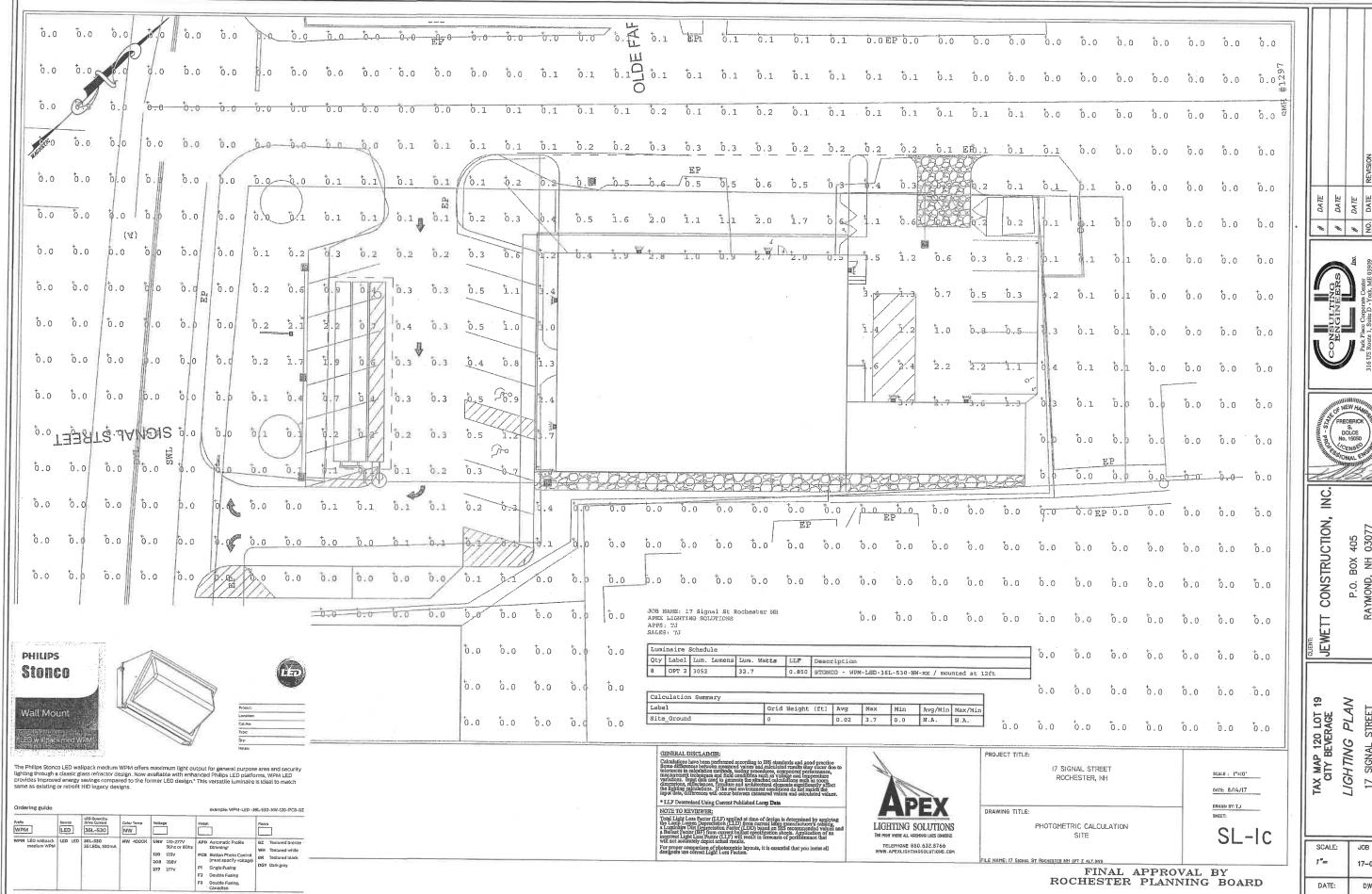
JEWETT CONSTRUCTION, INC.
P.O. BOX 405
RAYMOND, NH 03077

TAX MAP 120 LOT 19
CITY BEVERAGE

LANDSCAPING PLAN
17 SIGNAL STREET
ROCHESTER, NH

SCALE: JOB NO.
1"= 17-0235

DATE: DWG.
AUG 15, 2017



DATE:

CERTIFIED BY:_

SCALE: JOB NO. 17-0235 DATE: DWG. AUG 15, 2017

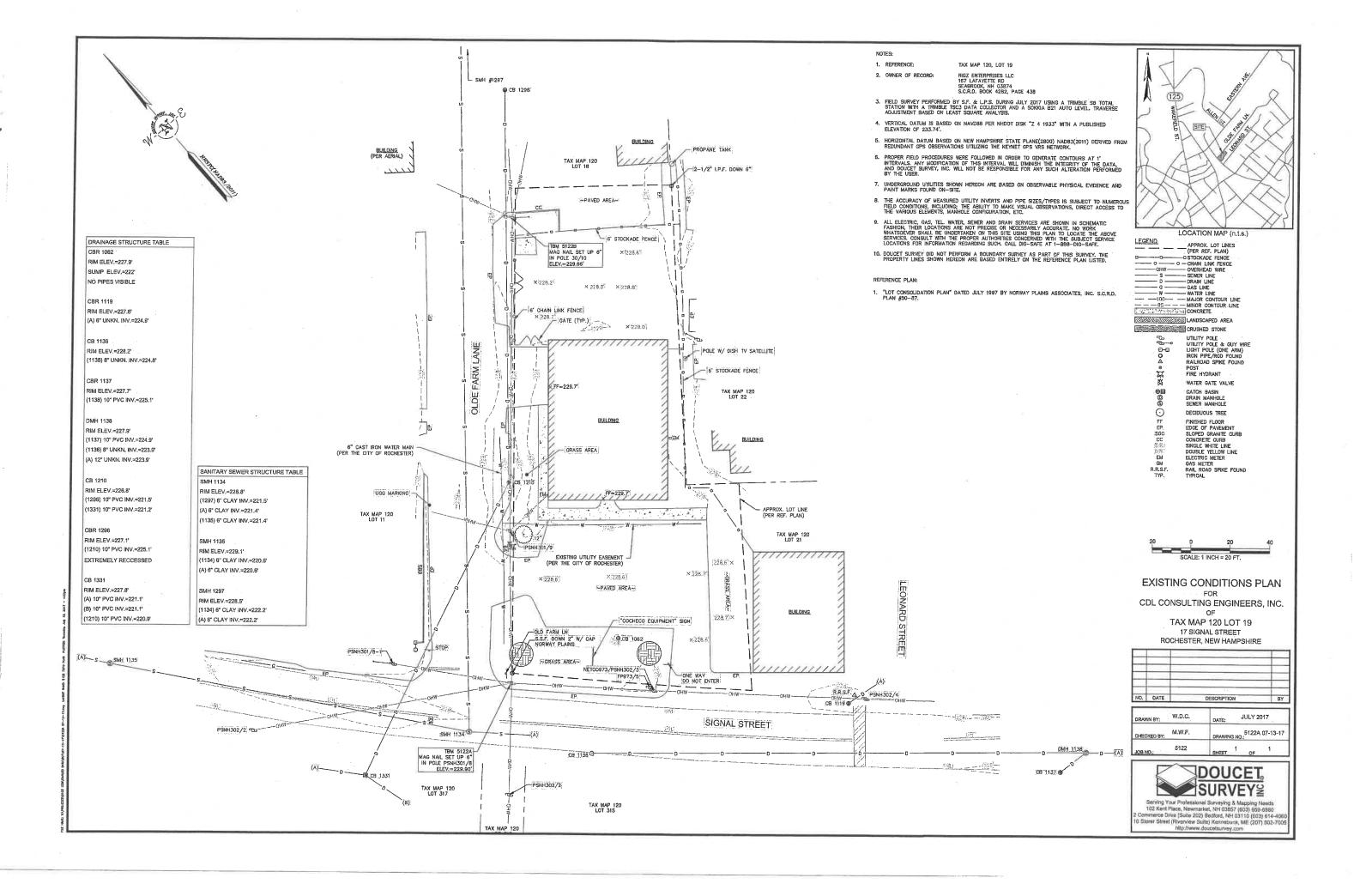
LIGHTING PLAN

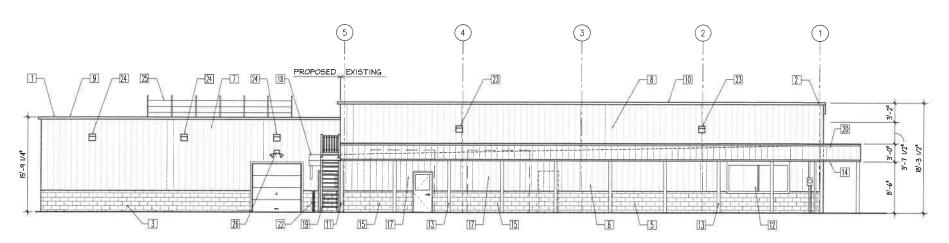
7

N S

CONSTRUCTION,

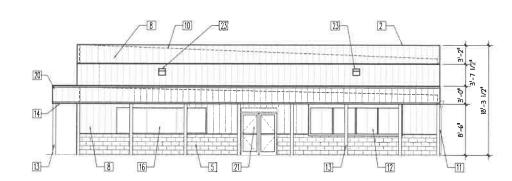
405 03077 BOX ™ P.O. B RAYMOND,





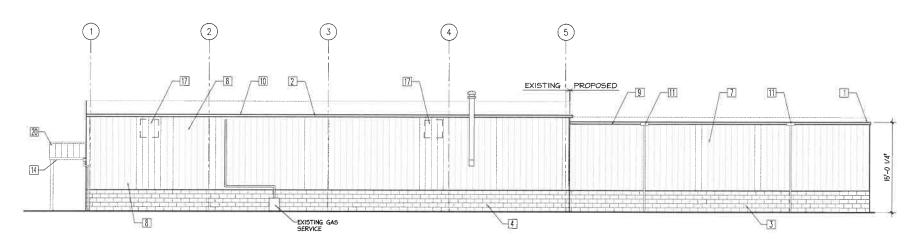
PROPOSED LEFT ELEVATION





PROPOSED FRONT ELEVATION





PROPOSED RIGHT ELEVATION



3 22-11 13

PROPOSED REAR ELEVATION



MATERIALS LEGEND

- NEW PRE. FINISHED ALUMINUM FASCIA, TO MATCH EXISTING 2 EXISTING FASCIA
- | 15 | FILL IN EXISTING OPENING WITH CMU TO MATCH EXISTING | EXISTING ALUMINUM & GLASS FRAMING
- 3 NEW CONCRETE BLOCK, TO MATCH #4
 - 17 FILL IN EXISTING OPENING WITH METAL SIDING TO MATCH EXISTING
- EXISTING CONCRETE BLOCK,
 PAINTED GRAY

 S EXISTING SPLIT FACE CONCRETE
 BLOCK
- 18 CANOPY WITH METAL ROOF
- STEEL GRATE STAIR AND DECK TO MEZZANINE, GALVANIZED 20 NEW CANOPY
- 6 NEW SPLIT FACE CONCRETE BLOCK TO MATCH #5 7 NEW METAL SIDING TO MATCH #8
 - 21 EXISTING ENTRANCE DOOR SYSTEM 22 CONCRETE FILLED PAINTED STEEL PIPE BOLLARD
- 8 EXISTING METAL SIDING, PAINTED 9 NEW METAL ROOFING TO MATCH #10
 - 23 NEW EXTERIOR LED WALL PACK TO REPLACE EXISTING
- 10 EXISTING METAL ROOFING
- NEW EXTERIOR LED WALL PACK AT NEW ADDITION
- | METAL GUTTER AND DOWNSPOUT SEE CIVIL PLANS FOR DRAINAGE PLAN | 12 | NEW DISPLAY WINDOWS | PAINT TO MATCH EXISTING
 - 25 SAFETY RAIL, PAINTED [25] MOTION ACTIVATED FLOOD LIGHT

- PT POST W PVC TRIM TO WRAP 4 SIDES

 14 VENTED VINYL INVISIVENT SOFFIT
 - * NOTE: FOR PROPOSED SIGNAGE DESIGN INTENT, SEE COLORED ELEVATIONS

CONSTRUCTION CO., INC. DESIGN BUILDERS CONSTRUCTION MANAGERS P.O. Box 405 · Raymond, NH 03077 (603) 895-2412 · www.jewettconstruction.com

THE CITY BEVERAGE

ROCHESTER, NEW HAMPSHIRE AUGUST II, 2017

ARCHITECTURE LAND PLANNING INTERIOR DESIGN 3D VISUALIZATION BRUCE RONAYNE HAMILTON ARCHITECTS

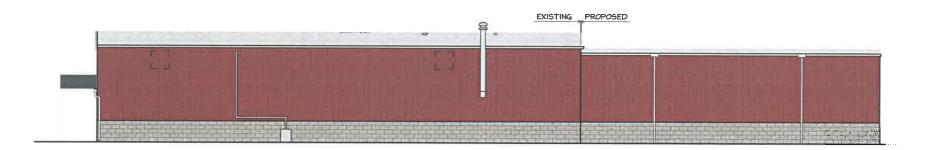
833 TURNPIKE ROAD P.O. BOX 104 NEW IPSWICH NEW HAMPSHIRE 03071



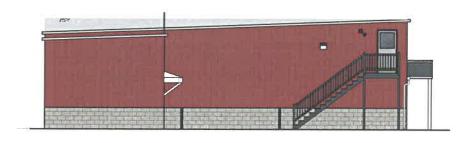
PROPOSED LEFT ELEVATION















P.O. Box 405 • Raymond, NH 03077 (603) 895-2412 • www.jewettconstruction.com



ROCHESTER, NEW HAMPSHIRE AUGUST 14, 2017

ARCHITECTURE LAND PLANNING INTERIOR DESIGN 3D VISUALIZATION



WIRNOR ROAD FOUR ROX 104 WIRSWICH NEW HAMPSHIRE 03071