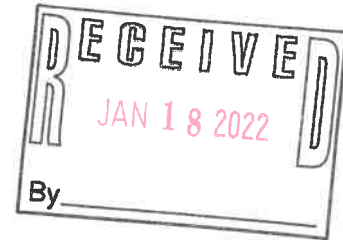


JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 18, 2022

Rochester Planning Board
Attn. Nel Sylvian
31 Wakefield Street
Rochester, NH 03867



RE: Response Letter 2
Wadleigh Road, Rochester, NH
Tax Map 137, Lot 35-1
JBE Project No. 21137

Dear Mr. Sylvian,

We are in receipt of comments from Rochester Planning Staff dated January 3, 2022. We are also in receipt of comments from Renee Bourdeau, P.E. At Geosyntec dated January 11, 2022. Review comments are listed below with our responses in bold.

COMPLETENESS COMMENTS:

1. *Traffic study in coordination with NHDOT because of 125 in this area being a State Urban Compact Highway and the proximity of the access drive to the Rte 16 on-ramp. Offsite improvements may result. Work within the NHDOT right-of-way requires NHDOT excavation permit. The applicant indicated that NHDOT advised them to submit a driveway permit to modify the intersection of Wadleigh Road and Columbus Avenue and that the city must be listed as the applicant. Proposed drainage to Route 125 and other modifications in the NHDOT ROW must be reviewed by the state. The drainage from this intersection is owned and maintained by the state but connects to City owned piping and outlets to an existing stormwater pond.*

RESPONSE: We have been working with the city to complete this necessary NHDOT driveway permit application so we can clarify any DOT concerns.

2. *Pedestrian safety analysis with recommendations for off-site improvements, particularly for crossings of Rte. 125 to access the Convenience Store.*

RESPONSE: A pedestrian safety analysis will be completed.

3. *Study including design flow calculations for proposed sewer connection to City's system. The applicant shall contract with City's consultant Weston & Sampson to evaluate the impact of the development on the existing system in conjunction with other proposed and approved development outside this project. The project's flows would be conveyed to the Old Route 125 sewer pump station and the associated forcemain, which have capacity concerns.*

RESPONSE: We have contracted with Weston & Sampson to evaluate the existing sewer system and are waiting for their report.

4. *Study including design flow and pressure requirements for domestic water and fire protection needs, prepared by professional engineer. The City's on-call water system consultant is Wright-Pierce and should be contacted to perform impact analysis using the City's hydraulic water system model. The applicant may need to perform hydrant fire flow test by qualified vendor. Landscape plan mentions irrigation system. If proposed, the water usage should be estimated and added to water demand for analysis. High hazard backflow device is required for irrigation connection.*

RESPONSE: We have contacted with Wright-Pierce and are waiting for their response. A hydrant fire flow test has been conducted and the results are attached. It is not clear at this time if irrigation will be proposed. We will review this need and make adjustments.

5. *Deed research to determine if this lot has frontage on Wadleigh Road.*

RESPONSE: Our licensed surveyor has written a letter to summarize the road frontage and it is included in this submission.

6. *Stormwater design third party review.*

RESPONSE: We have recently received comments from the third-party reviewer of the stormwater design and will be working on design revisions in the near future.

7. *Recommendation from Con Com regarding the CUP submitted (this CUP needs additional info, such as the functions and values report, prior to the January 12th deadline for the meeting)*

RESPONSE: The Functions and Values Report is attached to this submittal and was forwarded to the Conservation Commission on January 12, 2022.

STAFF COMMENTS:

1. Plan Modifications:

- a. *Reserved for plan change regarding the amenity package ("wooded recreation area on C3" only.)*

RESPONSE: The "Wooded Recreation Area" has been labeled on all sheets.

- b. *Wadleigh Road is proposed to be widened, holding the north pavement edge and moving south pavement edge more than 5 feet closer to the Anchorage Inn property. Currently, the Anchorage Inn is accessed with a steep driveway which curves around to parking at the front of the property. The slope between paved parking and existing road is very steep, and the Anchorage Inn has proposed to extend the pavement even closer to top of slope. The two developments will need to work together to ensure the slope is stabilized and safe or retaining walls are designed to allow for wider Wadleigh Road and extension of paved parking. Guard rails at the top of slope are recommended. In addition, the water service to Anchorage Inn travels through the steep bank at unknown depth and may need to be relocated to provide 5 feet cover over the service.*

RESPONSE: We will be working with the owners of the Anchorage Inn on the above matter.

- c. *Sheet C-5 shows drainage and grading plan for the development. Provide grading and drainage plan for the remainder of the proposed Wadleigh Road modifications including detailed grading at the Anchorage Inn entrance.*

RESPONSE: Grading and Drainage plan has been added to show the remainder of the proposed Wadleigh Road modifications including detailed grading at the Anchorage Inn entrance.

- d. *The master water meter structure is shown in the City ROW. This structure will be owned and maintained by the applicant and should be located on applicant's property near the ROW. The master meter structure must have parallel backflow prevention devices to allow for testing. Contact DPW to determine layout detail for structure. Hazard class determination will be made by the Water Department. If high hazard determination is made, the meter and backflow will be in an above-grade structure and cannot be located in the traveled way. If vault is determined to be acceptable, it should be located to allow traffic to pass safely when vault access is needed. Meters larger than 1-in shall be Sensus Omni C2.*

RESPONSE: The water meter pit vault has been relocated to be on the site with enough clearance for cars to maneuver around should access be needed. We have added a meter pit layout detail from DPW to the plan on Sheet D4.

- e. *Pavement details for Wadleigh must meet City infrastructure standards. Work in NHDOT ROW needs to meet state standard.*

RESPONSE: The pavement details included with the plan meet City infrastructure standards. We will add NHDOT details after the extent of work within the DOT ROW is determined.

- f. *Provide retaining wall details showing fence, drainage system for the wall and discharge points. Structural design stamped by PE, and reviewed and approved by Jones and Beach, shall be submitted to DPW prior to construction. The drainage analysis should take into account the free draining soils behind the wall and the point discharges.*

RESPONSE: A Retaining walls detail for a "Stone Strong" retaining wall is included on Sheet D1. A fence is shown on the retaining wall closest to the building where pedestrian traffic could occur. Guard Rail is shown on the retaining wall adjacent to the road. Outlets for the retaining wall

underdrain is now shown on the Grading Plan Sheet C5. Elevations will be determined during wall design prior to construction. Structural designs for the wall will be submitted to DPW prior to construction.

- g. *Landscape plan shows lawn areas where rip rap is shown on erosion control plan, and some planting on steep slopes. Please amend.*

RESPONSE: Landscape plan has been amended per request.

- h. *Hydrant detail references Epping Water Dept. Hydrants in City ROW should be Kennedy K 81-D.*

RESPONSE: Hydrant details have been revised per request.

- i. *Culvert structural design stamped by PE, and reviewed and approved by Jones and Beach, shall be added to the plan. It appears the retaining wall for the road over the culver will be more than 12 feet height. Provide design details and address vehicular and pedestrian safety with fall protection.*

RESPONSE: The movement of the road with the last submittal allowed the retaining wall to be lowered. The wall is now a maximum of 8' high. A culvert detail is on Sheet D5. A guard rail is located in front of the retaining wall to protect vehicles and pedestrians and is noted on the Grading Plan Sheet C5. The guard rail detail on Sheet D1 has been revised to show distance from guard rail to retaining wall. In addition, cross sections of the road near the culvert crossing have been added on Sheet D6, along with road cross sections near the cemetery and near the end of the wall at Station 9+00.

- j. *The curb ramps for accessibility in the parking lot are preferred at the striped access aisles between handicapped parking spaces, rather than requiring users to enter the traveled way to find the ramps.*

RESPONSE: Additional curb ramps for accessibility have been added near the handicap spaces along with Handicap signs.

- k. *The sidewalk and curb ramps to be relocated at Wadleigh and Columbus must meet city and ADA standards including detectable warnings.*

RESPONSE: The sidewalk and curb ramps will meet city and ADA standards including detectable warnings.

2. Plan Notes:

- a. *On page E1, winter stabilization is said to begin on October 15th, indicate that those requirements will be in effect until May 15th*

RESPONSE: E1 has been updated to state that winter stabilization begins October 15th and ends May 15th.

- b. *Please indicate that wetland buffers will be marked by orange construction fence*
RESPONSE: Wetland buffers will be marked by orange construction fence.

- c. *On Sheet C2 please add a note that should the city wish, the historical marker will be restored at the expense of the applicant prior to the first CO.*

RESPONSE: Note #20 has been added to Sheet C3 that should the city wish the historical marker will be restored at the expense of the applicant prior to the first CO.

3. *Reserved for conditions about Water Infrastructure*

RESPONSE: Waiting for water analysis.

4. *Reserved for conditions about Sewer Infrastructure*

RESPONSE: Waiting for sewer analysis.

5. *Reserved for conditions about Stormwater Infrastructure*

RESPONSE: A separate response letter will be provided.

6. *Reserved for conditions about Traffic/Roadway/Intersection Infrastructure. Police are particularly concerned about the Rte 125/Wadleigh Rd intersection. DPW would like to see more pedestrian infrastructure.*

RESPONSE: A meeting will be held with NHDOT to review the Wadleigh Road intersection.

7. *Reserved for conditions about frontage on Wadleigh Road*

RESPONSE: We will meet with NHDOT.

8. *Reserved for conditions from Con Com regarding the CUP.*

RESPONSE: We are scheduled to meet on January 26th.

9. *State plane coordinates. The plans are to be tied into the State Plane Coordinate System.*

RESPONSE: The plans have been tied into the State Plane Coordinate System.

10. *Inspections. The applicant must sign the Agreement for Payment of Inspection Fees and make a cash deposit to cover the expected costs of inspections, in an amount that is determined by the Public Works Department. (The inspections will be conducted by the City of Rochester Public Works Department or its designee. The applicant must pay for inspections – at an hourly rate as determined by the Public Works Department – of the site, including all new infrastructure serving the site).*

RESPONSE: An agreement of payment of inspection fees and a cash deposit will be submitted.

11. *In accordance with RSA 676:4-b the Public Works Department may, at its discretion, dependent on project complexity, require 3rd Party Construction inspection of all subdivision plan improvements. Payment of construction inspection services by the applicant whether performed by a 3rd Party firm or DPW will be via a signed Construction Inspection Services agreement. All required subdivision plan improvements shall additionally be subject to inspection by the City Engineer or designee who shall act as the agent of the Board in enforcing the standards and specifications called for in these regulations.*

RESPONSE: A Construction Inspection Service agreement will be signed.

12. Other permits. All required Municipal, State and Federal permits must be obtained – including any Driveway/Curb Cut permit, Water Service Connection Permit, Stormwater Permit, Cross Connection Control Permit, etc., as appropriate – with copies of permits or confirmation of approvals delivered to the Planning Department. DPW Stormwater Permit required in accordance with Ch 218. Other DPW permits include water and sewer connection, sewer assessment, ROW excavation, and driveway permit to modify access to Wadleigh Road from the proposed site.

RESPONSE: A list of the required permits has been added as note #22 to the Site Plan Sheet C3.

13. Drainage maintenance. If applicable, a drainage maintenance agreement approved by Public Works must be executed. In order to comply with the Stormwater Management Ordinance, Chapter 218, DPW staff shall be allowed periodic access to the parking areas for inspections related to the annual stormwater infrastructure report compiled for the City Engineer.

RESPONSE: A Drainage Maintenance Agreement will be signed if required.

14. Final Drawings. (a) four sets of large black-line plus (b) one set of 11" x 17" final approved site plan drawings plus (c) one electronic version by pdf or flash drive must be on file with the city. Each individual sheet in every set of drawings must be stamped and signed by the land surveyor, engineer, or architect responsible for the site plans. (The applicant need only submit additional black-line sets of drawings or individual sheets, as needed, to make five complete sets – consult the Planning Department). At the discretion of the Planning Department minor changes to drawings (as required in the precedent conditions, above) may be marked by hand. Note: If there are significant changes to made to the plans, as specified above, one full size paper check print must be sent to the Planning Department for review prior to producing these final drawings. Once the plan is recorded at the Registry of Deeds, submit two 11x17 recorded copies of the plan. Assessing will need an 11x17 recorded copy of the plan.

RESPONSE: Final plans will be submitted once the project has been approved.

GENERAL COMMENTS:

1. Erosion control shall be properly installed on site PRIOR to any construction. Erosion control shall be properly maintained throughout construction; any breaks or breeches shall be repaired within 48 hours of the storm event.

RESPONSE: Erosion control will be installed onsite prior to any construction.

Notes to this effect are on the Plans.

2. Active and substantial development for this project is defined as, "Construction of the road and utilities. These improvements must be completed within 24 months of the Planning Board approval date".

RESPONSE: Agreed.

3. *Pre-Construction meeting. A preconstruction meeting is required prior to the start of work. Please contact the Department of Planning and Development to schedule this no more than 2 week prior to breaking ground; The pre-construction meeting agreement is to be signed by the property owner prior to signing of final plans. IN ADDITION: Please submit a full phasing and winter stabilization plan two weeks prior to the pre-construction meeting.*

RESPONSE: A pre-construction meeting will be scheduled once the project is approved by the Planning Board. Phasing and Winter Stabilization Plans will be submitted prior to the per-construction meeting.

4. *Please submit a Road Name Application for the roads within the development. Once it has been determined where the driveway will be located the Planning Department will provide an address for this new parcel.*

RESPONSE: There are no roads proposed within this development. We are extending the existing Wadleigh Road to the Property Line and the access will be a private driveway from the end of Wadleigh Road.

5. *Prior to the issuance of any building permit for this subdivision, the developer shall post: a) construction zone signs per the Manual of Uniform Traffic Control Devices Standards; and b) street acceptance signs with the following language at all entry points to the subdivision: "POSTED. This subdivision is under construction. Theses streets have not yet been accepted by the City of Rochester and are not eligible for City services. Travel at your own risk. (Per order of Planning Board)". The location and design of the signs shall be as stipulated by the Public Works Department, but in no case shall they be less than 2' by 4'. The signs shall be erected prior to the issuance of any building permits.*

RESPONSE: Construction zone signs will be posted prior to the issuance of any building permit; however, this development is not a subdivision. There are no public or private roads planned.

6. *In accordance with City Ordinance 19.3, the City of Rochester (through its arrangement with Waste Management) will not collect rubbish generated from houses within this subdivision until the new street is formally accepted as a city street. Until such time as the new street is accepted: a) the developer shall be responsible for making arrangements for the collection of rubbish, either from a dumpster that he/she shall place in an appropriate location on site or via curbside pick-up; and b) individual property owners may not place any rubbish at the street (or on any other public street in the city), unless approval is granted from the Public Works Director or private arrangements are made with Waste Management or another private hauler for pick up at the street.*

RESPONSE: There are no individual houses planned for this site. A dumpster has been centrally located to provide waste management for the apartment building. This dumpster will be privately maintained.

7. *Wetland buffer areas shall not be impacted by any construction activities (other than those impacts permitted under the CUP and DES wetlands permit). Wetland buffers shall be marked with orange snow fence prior to any onsite activity, and such markers shall be maintained throughout construction. Wetland Buffers shall be marked with Conservation Overlay District tags prior to CO's for homes (available for a nominal fee at the Rochester Planning Office), and such markers shall be maintained in perpetuity.*

RESPONSE: Orange Construction fence locations along wetland buffers have been added to the plans. Conservation Overlay Tags will be placed along the wetland buffers. A note has been added to the Plans.

8. *Landscaping: All landscaping shown on plans shall be maintained and any dead or dying vegetation shall be replaced in a timely manner as long as this site plan remains valid;*

RESPONSE: All landscaping on plans shall be maintained and any dead or dying vegetation shall be replaced in a timely manner. A note has been added to the Landscape Plan.

9. *All outdoor lighting (including security lights) shall be down lit and shielded so no direct light is visible from adjacent properties and roadways;*

RESPONSE: All outdoor lighting will be down lit and shielded so no direct light is visible from adjacent properties or roadways. A note to that effect is on the Lighting plan.

10. *Snow storage - Snow shall be removed and stored such that the drainage structures can function properly and the required parking spaces can be utilized. Snow storage may not impact the City's access to the sewer pump station.*

RESPONSE: Snow shall be removed and will not impact the site's drainage system.

11. *The new drainage infrastructure must be constructed prior to construction of the new building and associated parking. If the infrastructure is used as a temporary settling area during construction, the infrastructure shall be cleaned out and brought down to proposed bottom elevation prior to CO of new building.*

RESPONSE: The new infrastructure will be constructed prior to construction of the new building and associated parking. Care will be taken to not impact the subsurface drainage system during construction. A note has been added to the Plans.

12. *A Surveyor is to submit a signed letter to the Planning Department stating that the new lot corner monuments have been set (Subdivision Regulation 6.1) and that reference pins have been set on all easement bounds (Subdivision Regulation 5.7.4)*

RESPONSE: A letter will be submitted to the city from the surveyor stating that the new lot corner monuments have been set.

13. *Construction Cost estimate for this project shall be submitted for review and approval. Estimate shall be based on the Department of Public Works Construction Surety Schedule and shall include a 10% Contingency. Costs for items not specifically addressed in the Surety Schedule will be based on 1) City standards, 2) NHDOT weighted averages, 3) industry standards, or 4) contractor estimates.*

RESPONSE: Construction cost estimate will be submitted for this project.

14. *Performance Guarantee. If applicable, prior to issuance of a building permit or beginning site work, the applicant shall provide site improvement and restoration security. The performance guarantee shall be an amount equal to 10% of the approved Construction Cost Estimate (including a 10% contingency) to ensure the proper and timely completion of site work and site restoration within the development. Before the subdivision/site plan can be recorded, lots deeded to third parties, or structures occupied the applicant shall provide a cost estimate of remaining site work including labor, and provide the City with a security in the form of either letter of credit or cash equal to 110% of the estimated cost for remaining work. (Any existing surety being held at this time may be converted toward this amount). This amount shall include preparation of as-built plans. Construction Cost estimate for this project shall be submitted for review and approval. Estimate shall be based on the Department of Public Works Construction Surety Schedule and shall include a 10% Contingency. Costs for items not specifically addressed in the Surety Schedule will be based on 1) City standards; 2) NHDOT weighted averages; 3) industry standards; or 4) contractor estimates. This full surety must remain in place until the road is accepted or a Home Owner Association is created to define ownership and responsibility of the road and road drainage. If phased, the surety can be permitted per phase.*

RESPONSE: A Site Improvement and Restoration Security shall be posted prior to issuance of a Building Permit.

15. *As-Built. Three sets of full size (measuring at least 22" x 34") or black line paper plus 1 set of 11" x 17" plus one digital pdf copy of the as-built site plans (or "record drawings") stamped and signed by the Engineer or Surveyor are to be submitted to the Planning Department prior to issuance of the Certificate of Occupancy (or use/occupancy of the site where no CO is required). The as-built drawings must include the following language or equivalent: "This as-built drawing substantially conforms with the final plans approved by the City of Rochester Planning Board and certified by the Planning and Development Department except for the following significant modifications: ...". If no significant modifications were made simply state "none". Otherwise, itemize the modifications on the as-built or on an accompanying letter. The Department relies on the good judgement and good faith of the Engineer/Surveyor in determining which modifications should be considered significant (for example, minor adjustments in locations of plant materials would not be significant whereas relocation of a catch basin would be).*

As-builts are to include State Plane Coordinates. A copy of the As-built line work is also to be submitted as a CAD file that is georeferenced to that same coordinate system.

RESPONSE: As-Built plans will be submitted to the city and include all state plane coordinates upon completion of the project.

16. Execution. *The project must be built and executed exactly as specified in the approved application unless changes are approved by the city.*

RESPONSE: Agreed.

17. Approvals. *All of the documentation submitted in the application package by the applicant and any requirements imposed by other agencies are part of this approval unless otherwise updated, revised, clarified in some manner, or superseded in full or in part. In the case of conflicting information between documents, the most recent documentation and this notice herein shall generally be determining.*

RESPONSE: Agreed

18. Violations. *In the event of any violations of these conditions of approval or of any pertinent local, state, or federal laws – such as those regarding erosion and sedimentation control, wetlands, stormwater management, and general site development standards – the City of Rochester reserves the right to take any appropriate permissible action, including, but not limited to, withholding of building permits, withholding of certificates of occupancy, withholding of driveway permits, revocations of permits/approvals, referring violations to other agencies, and calling of bonds.*

RESPONSE: Agreed

19. Other permits. *It is the responsibility of the applicant to obtain all other local, state, and federal permits, licenses, and approvals which may be required as part of this project. Contact the City of Rochester's Building, Zoning and Licensing Department at 332-3508 regarding building permits. Please also contact the City of Rochester Fire Department at 330-7182 to ensure that the proposed building meets all Fire Codes. Finally, please contact the Department of Public Works for any stormwater, sewer, or water permits or fees that are required.*

RESPONSE: The appropriate departments will be notified prior to a Building Permit request.

20. APPEAL PROCESS: *Pursuant to RSA 677:15, an aggrieved party may appeal this decision to the Strafford County Superior Court within 30 days of the date the Board voted to approve or disapprove the application, or to the ZBA pursuant to RSA 676:5, III within 30 days of the date the Board made its decision.*

RESPONSE: Agreed

Included with this response letter are the following:

1. Three (3) Full Size Plan Sets.
2. Sixteen (16) Half-Size Plan Sets.
3. Wetland Functions and Values Report
4. Deed Research for Wadleigh Road
5. Hydrant Flow Test
6. Architectural Plans.

Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

A handwritten signature in dark ink, appearing to read 'Brad Jones', with a stylized flourish extending to the right.

Brad Jones
Vice President

cc: Fenton Groen, Groen Construction (via email)



November 18, 2021

RE: Wadeleigh Road Rochester, NH

Please be advised that Superior Fire Protection has conducted a fire hydrant flow test at the above mentioned property. Please note the following results:

Location:	at location of site entrance
Static Pressure :	90 PSI
Residual Pressure:	85 PSI
Flow:	1060 GPM
Main Size:	6" Main
Conducted By:	S.F.P & Rochester Water Dept.
Date &Time:	11-18-2021 at 10:00am

Respectfully,

Eddy S. Caron
President
Superior Fire Protection



GOVE ENVIRONMENTAL SERVICES, INC.

January 11, 2022

Bradford Jones
Jones & Beach Engineers
85 Portsmouth Avenue
PO Box 219
Stratham, NH 03885

**Subject: Wetland Assessment
29 Wadleigh Road
Rochester, NH**

Dear Mr. Jones:

As requested, I am pleased to provide the following functional assessment on the wetland resources associated with the above referenced Site. The context of this report is the current proposal to construct a 52 unit (+/-) residential apartment building on the central portion of the property. This report includes a description of the resource areas on the property and a functional assessment of the wetlands with a focus on the core functions of water quality and habitat. The enclosed sketch plan depicts the proposed development and the wetlands areas which have been labeled for purposes of discussion.

SITE AND WETLAND DESCRIPTION

The site consists of 8.4 acres of land adjacent to Route 16 just north of Exit 12 (Route 125). Access to the site is via an existing gravel driveway extending from the current end of Wadleigh Road which also serves as an access to an existing communications tower. The northwest and southeast portions of the property are wooded but the central portion, clearly once open field, continues to be irregularly maintained and is currently overgrown to varying degrees with shrub species and weedy perennials common to fallow fields and abandoned land. Some portions of this area are thickly overgrown and include invasive species.

The dominant resource area associated with the property is Axe Handel Brook, a perennial tributary to the Cocheco River which forms the northern boundary of the property. A stone dam located about midway along the property line maintains a small pond and deeper, slower water upstream in this area. A portion of the property along the brook also lies within the designated 100-year floodplain of this waterway. Except for the existing access driveway and adjacent steep embankment, the 50-foot buffer area of this section of Axe Handle Brook is generally mature forest. Several informal trails exist along the dam and waterway.

Two primary areas of wetland lie in the wooded areas of to either side of the central upland area where the main portion of the development is proposed. These have been labeled *Wetland A* and *Wetland B* on the attached sketch. *Wetland A* is young forested wetland situated on a shallow slope extending from the highway to the existing access driveway. This area of the site appears to have been cleared field in the past but not maintained like the central portion of the property. The dominant species are indicative of such areas and include young red maple, gray birch, poplar and the invasive shrub glossy buckhorn, which dominates the understory. The wetland drains to Axe Handle Brook at a single point via an existing culvert under the driveway and down a steep embankment to the brook. The 50-foot buffer to

this wetland overlaps with that of Axe Handle Brook encompassing the existing access road. The buffer along the northwest edge of the wetland is thickly overgrown with large shrubs and vines. Both of these buffer areas contain numerous invasive species including Japanese knotweed, Glossy buckthorn, multiflora rose, and oriental bittersweet.

Wetland B is a more mature and natural forest, also predominantly red maple but containing greater variety of species and generally lacking invasive species such as glossy buckthorn. It is also more closely associated with Axe Handle Brook, as there is no artificial barrier on this property separating it from the waterway. It is directly connected to the brook at several locations. The 50-foot buffer to this wetland consists of mature forest along Axe Handle Brook and irregularly maintained, overgrown field just south of the existing stone wall in this area.

WETLAND FUNCTION & VALUE ASSESSMENT

A functional assessment of wetlands can consider a board range of characteristics and interests which are typically not all relevant at any given site. The US Army Corps Highway Methodology guidelines include 13 categories, many of which are not relevant or are closely related in most circumstances. Given the presence of a major stream adjacent to the site and two distinct areas of associated wetland, water quality, wildlife habitat, and flood attenuation potential stand out as the most important to understand in the context of the proposed development. The following sections provide an assessment of how each wetland and its relevant buffer areas support these core functions and within the context for the proposed development.

Axe Handle Brook

Axe Handle Brook is the predominant resource area associated with the site. The waterway, its associated wetlands, and upland buffer areas support important water quality and flood attenuation function for the Cocheco River. The waterway also serves as an important wildlife corridor connecting habitat within the block of forest generally between Brock Street and Route 16. Broader wildlife connectivity is hampered by the highway, by the dam near the site, and by the downstream crossing under Route 125 prior to its confluence with the Cocheco. The larger crossing structures at the highway and Route 125 should, however, provide some connectivity between the Cocheco River, this stretch of Axe Handle Brook, and more extensive habitat to the west.

Wetland A

Although Wetland A drains into Axe Handel Brook it, separated by a steep embankment and the existing driveway, well above the waterway and outside the floodplain. Minor capacity to store runoff is likely present in the wetland by virtue of the restricted outlet under the driveway but the wetland is otherwise situated on a shallow slope and lacks basin topography that could provide meaningful storage. For these reasons, the wetland does not support a flood attenuation function, either directly by being within the floodplain or through storage of runoff.

Separation of the wetland from the brook also diminishes the habitat function of the wetland which would derive from a close association between wetland and surface water. Proximity to the highway, existing development on Wadleigh Road, and the existing communications tower further limit the internal habitat area and connectivity to other habitat areas. The young forested wetland also lacks internal variability and wetland types which would support species more dependent on surface water. The wildlife habitat supported in this wetland is therefore very limited and not much different that of the adjacent uplands.

The current habitat is likely only suitable for small mammals, insects, and songbirds which may use the wetlands for foraging and are able to tolerate the close proximity of development. Songbirds in particular may make use of the densely overgrown areas along the northwest edge of the wetland for cover.

The Primary functions of Wetland A is that of water quality protection. This is highlighted by the drainage that it apparently receives from the highway and its direct connection to the brook. Runoff entering this wetland flows through dense shrub vegetation before encountering the restricted outlet under the existing access road. Effectively trapping sediment, nutrients, and pollutants before they can enter Axe Handle Brook.

Wetland B

Wetland B also supports water quality function similar to that of Wetland A. It also apparently receives runoff from the highway and is able to trap sediment and pollutants before reaching the brook via several narrow wetland connections. Despite these narrow direct connections, Wetland B has a much closer association to the waterway overall than Wetland A due to the undisturbed forest of both wetland and upland along the entire edge facing the brook. This greatly increase the habitat value of the wetland and the adjacent reach of Axe Handle Brook since it provides multiple habitat types and allows free movement between them. Direct association with the waterway and location in the 100-year floodplain also mean that the wetland is able to accept floodwater during flood events. Wetland B also has broader basin-like topography which will also serve to store floodwater or runoff from adjacent areas. Flood attenuation is therefore another important function of this wetland.

CONCLUSION & RELATION TO PROPOSED DEVELOPMENT

The proposed development is located in the central upland portion of the site, largely outside of buffers, and otherwise utilizing currently disturbed areas. The most significant wetland function associated with the natural interface between Axe Handel Brook and Wetland B will not be altered, nor will the mature natural forested buffer along Axe Handle Brook in other upland areas of the site. The habitat, flood attenuation, and water quality function supported by Wetland B will be maintained within the wetland. The proposed storm water management system for the development should compensate for any small loss of water quality function due to buffer impacts and ensure that no greater pressure is placed on these wetlands in carrying out this function. The effect of the proposed buffer impacts for grading around the parking area will likely be limited to a small impact to the quality of wildlife habitat through loss of screening between the wetland and the development. This will be limited to the area of the buffer being impacted and can be mitigated with native plantings on the proposed slope to replace screening.

The proposed impacts for access are located along and existing driveway and are necessary to improve the sole access point to the site. The existing small culvert connecting Wetland A to Axe Handle Brook will be replaced with a larger 18-inch box culvert which will improve connectivity. The minor direct wetland impacts at this location should have negligible effects of the already modest habitat value or the water quality function of Wetland A which will also be supplemented by the stormwater management system.

Lastly, there are two additional construction related concerns which have the potential to impact resources on this site. Given the proximity of the brook, installation and maintenance of erosion control and construction term stormwater management will be important. This is particularly true at the steep embankment down to Axe Handle Brook by the wetland impacts. Second, the invasive species Japanese Knotweed is present along the driveway and potentially in other area of the site. This species is typically

*Wetland Assessment
29 Wadleigh Road
Rochester, NH*

spread through the introduction of contaminated fill or topsoil (the likely origin of this plant on the existing driveway). Although no major infestations were observed this species is very difficult to eradicate once established and poses a real threat to resource areas, especially along the brook. Special procedures should be established for conducting work in any areas with Japanese Knotweed.

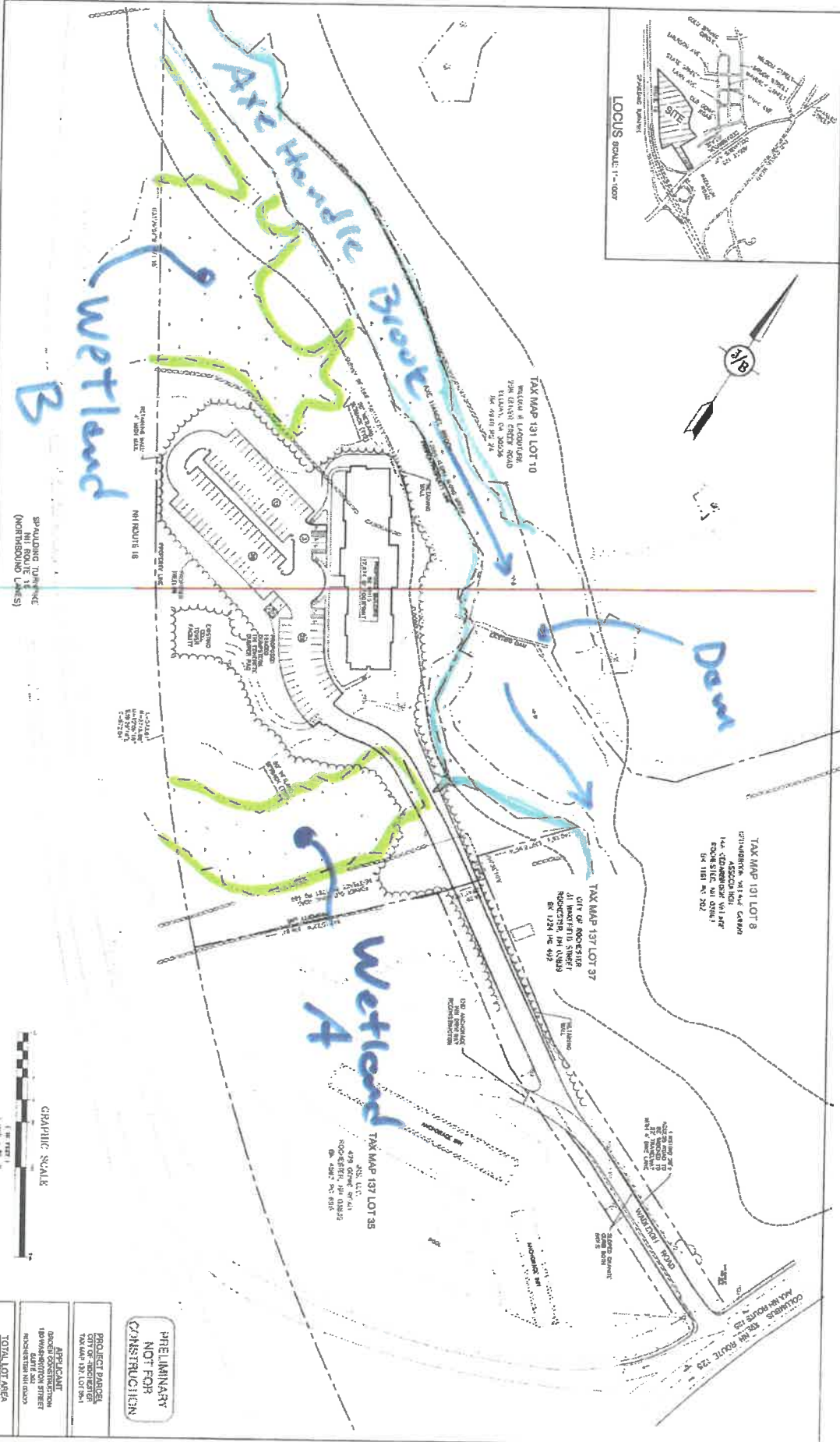
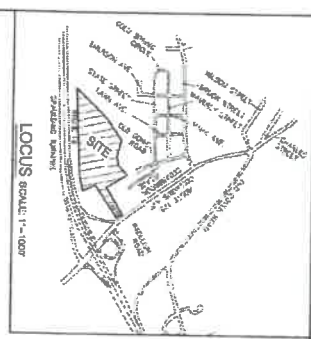
This concludes the functional assessment of the wetlands on this site. If you have any questions please feel free to contact me at (603) 778-0644.

Sincerely,



Brendan Quigley, NHCWS
Gove Environmental Services, Inc.

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz



PROJECT NAME: OVERVIEW SITE PLAN PROJECT: WADLEIGH ROAD APARTMENTS OWNER: MR. & MRS. FREDERICK GREEN ADDRESS: 120 WASHINGTON STREET, ROCHESTER, NH 03605		SHEET NO. C2 OF 11
PREPARED BY: J. B. Jones & Beach Engineers, Inc. 100 Park Street, Suite 200 Rochester, NH 03605 TEL: 603-333-2200 FAX: 603-333-2201 WWW.JBEBE.COM		
CHECKED BY: [Signature] DATE: 11/11/03		
APPROVED BY: [Signature] DATE: 11/11/03		



PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 137 LOT 35

APPLICANT
GREEN CONSTRUCTION
120 WASHINGTON STREET
ROCHESTER, NH 03605

TOTAL LOT AREA
5.4 ACRES

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 17, 2022

Rochester Planning & Development Department
Attn. Shanna B. Saunders
City Hall Annex
33 Wakefield Street
Rochester, NH 03867

**RE: Response Letter – Wadleigh Road Frontage
Wadleigh Road, Rochester, NH
Tax Map 137, Lot 35-1
JBE Project No. 21137**

Dear Shanna Saunders,

We are in receipt of comments from the Rochester Planning and Development Department, dated January 3, 2022. The review comment regarding Wadleigh Road Frontage has been reviewed by our office and research on the issue has been completed. The section of Old Gonic Road between Lot 35-1 and Lot 35 as indicated on the City of Rochester Tax Map 137 was abandoned (discontinued) per Resolution as indicated on pages 22 and 23 of the minutes for the Regular City Council Meeting held on August 16, 1994. A recorded deed was found at the Strafford County Registry of Deeds as Book 1781, Page 669 which was granted from the City of Rochester to Jen-Scot Realty. The section of Old Gonic Road situated between the previous mentioned Lots and referencing the same plans as indicated on our submitted plan. Per our research, we have determined that Jen-Scot Realty then sold that tract being indicated as Tract II and said previous mentioned Lot 35-1 being indicated as Tract I in a recorded deed at Strafford County Registry of Deeds as Book 4605, Page 408 to SSG, LLC. With this record information along with other supportive evidence referenced on the submitted plan and research performed by this office, we have shown the title boundaries indicated on the submitted plan.

Included with this letter are the following:

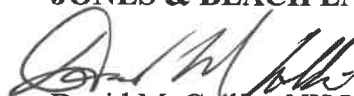
1. Regular City Council Meeting Minutes dated August 16, 1994.
2. Book 1781 PG 0669 Deed to Jen-Scot Realty, Inc dated December 8, 1994.
3. Book 4605, Page 0408 Deed to SSG, LLC dated October 1, 2018

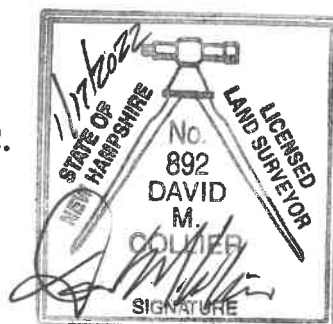
Please let us know if there are any further questions relative to the frontage along Wadleigh Road that we indicate on our submitted plan.

Thank you very much for your time.

Sincerely,

JONES & BEACH ENGINEERS, INC.


David M. Collier, NH LLS 892
Survey Manager



cc: Fenton Groen, Groen Construction (via email)

Regular City Council Meeting
August 16, 1994
City Council Chambers

Members Present

Councilor Harry Germon
Councilor James McManus, Jr.
Councilor Edgar Raab
Councilor Sandra Keans
Councilor James Twombly
Councilor Henry Kirouac
Councilor Edward Saputa
Councilor Omer Ouellette, Jr.
Councilor Bernard Veno
Councilor Ralph Torr
Councilor Bruce Lindsay
Mayor Frederick Steadman

Members Absent

None

Others Present

Mr. Gary Stenhouse, City Manager
Atty. Danford Wensley, City Solicitor

- 1-2. Deputy Mayor Steadman called the meeting to order at 7:30 PM and he then led the Council in the Pledge of Allegiance.
3. The opening prayer was delivered by Rev. Michael Hickcox and was offered in memory of Mayor Roland Roberge, who perished in a fire at his summer residence in Milton, NH, on August 7.
4. A roll call was conducted by the City Clerk, with all members present.

Death of Mayor Roberge

Councilor Twombly then read the following prepared statement:

Deputy Mayor Steadman, City Manager Stenhouse, Fellow Members of the Rochester City Council:

I know that you all join with me in expressing sorrow at the death of Mayor Roland Roberge, and that you join with me in conveying to his family our deep gratitude to Roland for the countless contributions that he made to the City. Having served with him and watched his unflagging efforts on behalf of the City, I am sure that one of Roland's strongest wishes would be that his untimely death not cause any disruption in the operation of the Rochester City government.

Under the provisions of Section 9 of the Rochester City Charter, the Deputy Mayor acts as Mayor in the absence of the Mayor. It is my understanding that upon the City Council declaring the Office of Mayor "vacant," the Deputy Mayor

becomes Mayor and serves as such for the balance of the unexpired term of the former Mayor. Therefore, in order to meet the requirements of the Charter, I would offer the following motion:

I move that, in light of the tragic and untimely death of our esteemed Mayor, Roland R. Roberge, the City Council of the City of Rochester, in accordance with the provisions of Section 9 of the Rochester City Charter, hereby declares the office of Mayor vacant.

Councilor Twombly's motion was seconded by Councilor Raab and was passed by a unanimous voice vote in favor.

The Oath of Office was then administered to Mayor Steadman by Atty. Wensley.

Mr. William Taylor, Master of the Rochester Masonic Temple, Humane Lodge #21, then presented Mayor Steadman with a personalized gavel from that organization, in recognition of his new role as Chairman of the City Council.

5. Councilor McManus moved to dispense with the reading of the minutes of the June 7 regular meeting and the June 21, June 29, and July 13 special meetings and to accept them as recorded and as already distributed to the Council. That motion was seconded by Councilor Twombly and was unanimously passed.

6. COMMUNICATIONS FROM THE MAYOR

a. City Hall Collection of Mayors' Portraits

Mayor Steadman noted that Mayor Roberge had utilized proceeds from his inaugural ball to fund completion of the mayoral portrait collection in City Hall. He then presented framed photographs of former Mayors Joseph Warren (1910, 1911), James Young (1918, 1919, 1920), William Davis (1924), John Shaw (1953, 1954, 1955, 1968, 1969, 1972 through 1979) and Bert George (1970-1971).

Mr. Steadman noted that the photographs of Mayors Warren, Young and Davis had been reproduced from the 3 x 4 Mayoral portraits in the City's annual reports while the photographs of Mayors Shaw and George had been reproduced from snapshots taken by newspaper photographers during each Mayor's term of office. He further pointed out that all camera work, and all enlarging, printing and touch-up work, had been accomplished by Mr. Robert Leclair of East Rochester and that the photos had been framed by "The Town Framer" on Wallace Street.

The Mayor also noted that a portrait of Mayor Louis McDuffee (1929, 1930, 1931, 1932) had also been donated by Mrs. Carolyn Garnsey, a relative of the former Mayor. Mayor Steadman pointed out that the collection now contained portraits of every Mayor from 1891 through 1989, and he noted that the pictures would be hung in chronological sequence in City Hall.

7. COMMUNICATIONS FROM THE CITY MANAGER

a. Letter of Condolence/Letter of Thanks

Mr. Stenhouse stated that a letter of condolence had been received from Strafford Hospice, recognizing "Mayor Roberge's community spirit that had been felt by many." He noted, too, that a card of thanks had been received from the Roberge family "for the flowers and for the love and support shown them by City officials and City employees following the death of the Mayor."

b. City Department Reports

Mr. Stenhouse noted that copies of the following reports had been included in this meeting's agenda binders or had been distributed this evening:

1. Assessors' Report
(May and June, 1994)
2. City Clerk's Report
(May and June, 1994)
3. Code Enforcement/Health/Building Inspection Report
(May and June, 1994), including the following Residential Certificates of Occupancy Report:

1994 RESIDENTIAL CERTIFICATES OF OCCUPANCY
NEW UNITS

<u>Month</u>	<u>Single Family Units</u>	<u>Multi- Family Units</u>	<u>Mobile Homes</u>	<u>Condo Units</u>	<u>Total Units</u>
JAN	0	0	4	0	4
FEB	4	0	2	0	6
MAR	6	0	0	0	6
APR	3	0	9	0	12
MAY	4	0	5	0	9
JUN	<u>2</u>	<u>0</u>	<u>3</u>	<u>0</u>	<u>5</u>
JUL	19	0	23	0	42

4. Fire Department Report
(May and June, 1994)
5. Information Systems Report
(May and June, 1994)
6. Planning Department Report
(May and June, 1994)
7. Police Department Report
(May and June, 1994)

Councilor Keans noted that the number of "domestic disturbances" reported by the Police Department each month was quite high. She asked if general information relative to that issue could be supplied to the Council, including "the Police Department's protocol for handling such incidents" and what proportion of the calls were repeat instances. Mr. Stenhouse agreed that an "inordinate number of domestic disturbances occurred not only in Rochester but throughout the entire area," and he stated that Ms. Keans' request would be forwarded to the Police Chief.

8. Public Library Report
(May and June, 1994)

9. Tax Collection Report

July 1, 1994

1994 Uncollected:	\$4,194,563.94	(\$12,781,962.00 Warrant; 67% Collected)
1993 Uncollected:	\$1,735,547.33	(\$25,611,050.50 Warrant; 93% Collected)
1992 Uncollected:	\$ 953,493.23	(\$24,746,736.00 Warrant; 96% Collected)
1991 Uncollected:	\$ 221,739.34	(\$24,296,284.00 Warrant; 99% Collected)
1990 Uncollected:	\$ 58,497.06	(\$21,888,492.75 Warrant; 99% Collected)

August 1, 1994

1994 Uncollected:	\$1,921,498.13	(\$12,781,962.00 Warrant; 85% Collected)
1993 Uncollected:	\$1,640,714.52	(\$25,611,050.50 Warrant; 94% Collected)
1992 Uncollected:	\$ 904,044.71	(\$24,746,736.00 Warrant; 96% Collected)
1991 Uncollected:	\$ 196,758.89	(\$24,296,284.00 Warrant; 99% Collected)
1990 Uncollected:	\$ 59,218.12	(\$21,888,492.75 Warrant; 99% Collected)

10. Water Plant and Wastewater Plant Flow Data Report
(May, 1994), as follows:

<u>May, 1994</u>	<u>Water Plant</u>	<u>Wastewater Plant*</u>
Maximum Flow	2,824,000 gal.	4,884,000 gal.
Minimum Flow	2,133,000	2,510,000
Average Daily Flow	2,464,000	3,654,000
Total Monthly Flow	76,386,000	113,276,000

* Total Moisture (12 days): 4.42"

Total of plant capacity for 12-month period from June, 1993, to present: Water Plant 47.2%; Wastewater Plant 70.0%

Water and Sewer Divisions, Activity Report
(May, 1994)

11. Welfare Department Report
(May and June, 1994)

c. Employee of the Month: July

Mr. Stenhouse announced that Mr. Roland Connors, the junior accountant in

the Business Office, had been selected as Employee of the Month for July. He stated that Mr. Connors had worked for the City for over seven years, beginning his employment with the Water Department. He pointed out that Mr. Connors had since earned a degree and was now employed in the Business Office. Mr. Stenhouse credited Mr. Connors with formatting the FY95 budget packet, including the design of all graphs and charts, and he labeled him "as one of the City's best employees."

Mr. Connors was present to personally accept his certificate and was applauded by all in attendance.

d. Arena Department: Zamboni Purchase

Mr. Stenhouse reminded the Council that a three-year lease/purchase arrangement had originally been approved relative to a new Zamboni machine for the Arena Department. He pointed out, however, that that Department's retained earnings now exceeded \$95,000.00 and could "easily provide for the outright purchase of that piece of equipment." He then recommended that the Council "approve the cash purchase of the Zamboni" so that nearly \$10,000.00 in finance charges could be avoided.

Councilor Keans moved that the City Manager's recommendation be approved by the Council. That motion was seconded by Councilor McManus.

Councilor Twombly asked if the funds for this purchase "were entirely enterprise funds and not tax dollars." Mr. Stenhouse responded in the affirmative and he noted that a balance of approximately \$35,000.00 would exist in the Arena Department's retained earnings account after this purchase that would be available for unanticipated repairs and expenses.

Councilor Keans' motion was then passed by a unanimous voice vote in favor.

8. PRESENTATION OF PETITIONS

a. Street Acceptance Request: Sullivan Farm Drive

Mr. Stenhouse noted that copies of the following memo, as submitted by the City Engineer, had been distributed at this meeting relative to Sullivan Farm Drive, located off the Salmon Falls Road:

The roadwork at Sullivan Farm Drive has been completed as of this date. The roadway has been constructed to the approved plans. It is my recommendation to accept Sullivan Farm Drive as a City street.

/s/ David Bulva, City Engineer

Mr. Stenhouse further noted that a deed had been submitted to the City by the developer and was currently being reviewed by the City Solicitor. He then recommended that the Council accept Sullivan Farm Drive as a City street, pending final approval of the deed by Atty. Wensley.

Councilor Kirouac moved that the City Manager's recommendation be approved by the Council. That motion was seconded by Councilor Saputa.

A brief discussion then ensued relative to street light placements in new developments. Mr. Stenhouse reminded the Council that street light approval "was a separate legislative act," and that the Council "was under no obligation to authorize street lights simply because they were requested." He pointed out, also, that no such request had been submitted in this instance.

Councilor Kirouac's motion was then passed by a unanimous voice vote in favor.

b. Street Acceptance Request: Nicole Street, Kirsten Avenue, Kim Lane

Mr. Stenhouse noted that copies of the following memo, as submitted by the City Engineer, had been distributed at this meeting relative to the above-captioned streets, located off Brock Street:

The roadwork at Nicole Street, Kirsten Avenue, and Kim Lane has been completed as of this date.

It is my recommendation that these streets be accepted as City streets with the stipulation that a fully executed deed for the property be presented to the City at the appropriate time.

/s/ David Bulva, City Engineer

Mr. Stenhouse further noted that a deed had been submitted to the City by the developer and would be reviewed by the City Solicitor. He then recommended that the Council accept Nicole Street, Kirsten Avenue, and Kim Lane as City streets, pending final approval of the deed by Atty. Wensley.

Councilor Veno moved that the City Manager's recommendation be approved. That motion was seconded by Councilor Raab and was passed by a unanimous voice vote in favor.

c. Parking Limitation Request: Charles Street

The City Clerk noted that Mayor Roberge had received a verbal request from residents of Charles Street, in the area of the Rochester Day Care Center and the Rochester Visiting Nurse office. She stated that the residents had requested signs that limited parking times on Charles Street, during the hours that those two agencies were in operation. She pointed out that Mayor Roberge had supported the request and had instructed her to list it on this evening's agenda.

Mayor Steadman recommended that the issue be referred to the Public Safety Committee for review and recommendations. Councilor McManus moved that the Chair's recommendation be approved. That motion was seconded by Councilor Twombly and was unanimously passed.

9. COMMITTEE REPORTS

a. Public Safety Committee

1. Traffic Light, Request for Pattern Change: Wakefield Street/Columbus Avenue

Councilor McManus then cited the following excerpt from the minutes of the Committee's August 2 meeting:

After discussion, it was voted to recommend that the traffic light be changed to add a left turn green arrow for traffic traveling south on Wakefield Street onto Columbus Avenue, with a delayed green light for northbound traffic. It was also voted to recommend the elimination of a left-hand turn onto Wakefield Street from Columbus Avenue.

Councilor Keans spoke in support of the delayed green and the left turn signals on Wakefield Street, but she expressed concerns "about eliminating the left turn from Columbus Avenue onto Wakefield Street." She expressed her belief that the latter was necessary, "especially in view of the number of businesses located in that area, ranging from a florist to an inn, to the State liquor store."

Councilor Twombly noted that prohibiting left-hand turns from Columbus Avenue onto Wakefield Street would allow the traffic light in the south bound lane on Wakefield Street [for traffic traveling from the high school area to Union Street] to remain permanently green, thereby "eliminating the current bottleneck in that area."

Councilor Saputa expressed concerns that if the Wakefield Street traffic light remained permanently green for south bound traffic, traffic congestion would then likely result at the Union Street/Wakefield Street intersection. Councilor Keans agreed and also noted that greater traffic congestion would also be likely at the Union Street/North Main Street/Bridge Street intersection.

Councilor Twombly labeled the issue "a complex signalization matter that needed to be reviewed by people experienced with such issues."

Councilor McManus stated that the Committee had attempted to address a safety issue and to "get the traffic moving better in that area." He stated, however, that he "would have no problem leaving the issue in Committee for further review."

A lengthy discussion then ensued relative to changing the Columbus Avenue/Wakefield Street traffic lights, with the City Manager offering to determine "if the present traffic light actuator would be capable of doing what the Committee was recommending," and what the cost would be to reprogram or to replace that actuator.

Councilor Saputa moved that the issue remain in Committee, with input being requested from both the Police Department and the Planning Department, and with the cost of altering the signalization patterns being determined prior to final Council action. That motion was seconded by Councilor Veno and was passed by a unanimous voice vote in favor.

Councilor Keans also pointed out that motorists were utilizing the Union Street parking lot "as a short-cut around the Union Street/North Main Street traffic light," by entering the lot on Union Street and by exiting on North Main Street near the former Wok Restaurant. She stated that the Committee "might want to reexamine the current entrances/exits to that parking lot."

Councilor Torr pointed out that traffic problems in the entire downtown area "would be eliminated if the City built a road over the Cocheco River, connecting Rt. 11 with Chestnut Hill Road and Rt. 125."

2. Street Light Request: Capitol Circle

Councilor McManus reported that the Public Safety Committee was continuing to review the above-captioned street light request and had no recommendation to present to the Council at this meeting. He also noted that Planning Board records would be checked to determine if the developer in this instance "had been required to install street lights as part of the project approval process."

3. Truck Traffic Restriction/Speed Limit Sign/Road Resurfacing Requests: Flat Rock Bridge Road

Councilor McManus then cited the following excerpt from the minutes of the Committee's August 2 meeting:

Mr. Ramsey of Flat Rock Bridge Road explained the problem of trucks using that road for through traffic coming from Maine and Salmon Falls Road and also between Milton Road and Salmon Falls Road. This truck traffic is late at night and very early in the morning and disturbs the residents of the road by the noise, speed, and destruction of the road which results from the weight and size of the trucks. After discussion, it was voted to recommend to restrict through truck traffic on Flat Rock Bridge Road between 7:00 PM and 6:00 AM for trucks weighing over 10,000 lbs. G.V.W., with signs being posted on each end of Flat Rock Bridge Road to that effect.

Councilor McManus spoke in support of the Committee's recommendation, pointing out that the proposed restrictions would limit commercial vehicle traffic during specific times, as a means "of protecting the residential nature of that street."

Councilor Keans questioned how much traffic and what share of the problems, including road deterioration, "resulted from traffic going to and from the campground located on the Maine side of the River." Councilor McManus pointed out that the restriction proposed by the Committee would affect only commercial vehicles with a G.V.W. over 10,000 pounds, such as tractor trailers and dump trucks, but would not apply to motor homes and recreational vehicles.

Councilor Twombly moved that the Committee's recommendations be approved

by the Council. That motion was seconded by Councilor Ouellette and was passed by a majority voice vote in favor, with two members voting in opposition, namely Councilors Torr and Germon.

4. Traffic Sign Request: Estes Road (Blind Driveway)

Councilor McManus reported that the Public Safety Committee had recommended that a "blind driveway" sign be authorized for Estes Road, with the stipulation that the City would install the sign if "the petitioner paid for the sign and the post." He expressed concerns that the City "would be inviting a multitude of similar requests if it assumed the full cost of purchasing and installing the sign."

Councilor McManus moved that the Committee's recommendation be approved as presented. That motion was seconded by Councilor Keans and was passed by a unanimous voice vote in favor.

5. No Parking Sign Request: Wakefield Street

Councilor McManus reported that the Committee had recommended that a "no parking" zone be painted "between the crosswalk and the nearest parking space in front of Bernier Insurance Office on Wakefield Street." He noted that parking was not permitted in that area but that street markings were lacking and motorists were often issued parking tickets as a result. Councilor McManus pointed out that Mr. Bernier had submitted a written request to the Police Department relative to this issue "which had not, in turn, been promptly forwarded to the Council or to the Committee."

Mr. Stenhouse stated that the request had been forwarded to him and that he had authorized the installation of a "no parking" sign during the preceding week. He further noted that the area would also be painted when pavement markings were redone in the fall.

6. Crosswalk Request: Rt. 125

Councilor McManus noted that the Committee was reviewing a crosswalk request for Rt. 125, in the Old Dover Road/Hancock Street/Charles Street area, and had no recommendations to offer to the Council at this meeting.

7. Crosswalk Request: Rochester Hill Road

Councilor Keans pointed out that a crosswalk on Rochester Hill Road, in the vicinity of the hospital, had not been repainted this spring.

A brief discussion then ensued regarding whether crosswalks were permitted in areas where there were no sidewalks.

Mayor Steadman noted that several requests for crosswalks in the East Rochester area, particularly on Green Street and near the Annex School, had been denied since no sidewalks existed in the specified areas.

Mr. Stenhouse stated that he would ask that the City Solicitor review

that issue and he pointed out that if sidewalks were not required, crosswalks would be painted in the above-noted areas.

Councilor Saputa suggested that sidewalk construction be included in any street reconstruction project in the future.

8. Rt. 125 [Formerly Rt. 16]: No Passing Zone - Councilor McManus

Councilor McManus noted that a no passing zone had been approved by the Council for Milton Road, from Martin's Drive-In to Rancourt Estates. He pointed out, however, that white paint, rather than yellow, had been used and that the highway markings then had to be repainted. He questioned "how much that mistake had cost the City."

Mr. Stenhouse stated that the City had done the work itself so the cost had been minimal. He pointed out that "a simple mistake had been involved and had been promptly corrected."

9. Miscellaneous Issues

Councilor Keans noted that a number of streets in the Colonial Pines development (Balsam Street, Hemlock Street, a portion of Meadow Lane, etc.) had no street lights since the roads had never been accepted by the City. She questioned how that issue might be resolved.

Councilor Saputa suggested that the City Engineer investigate these streets "to determine what must be done to bring them up to grade."

Mr. Stenhouse pointed out that resolving many of these street acceptance issues could be legally complex and could, in some instances, result in the taxpayers assuming the cost of bringing the streets up to grade since some developers could no longer be found.

A brief discussion then ensued relative to providing City services (i.e. rubbish pick-up, snowplowing, street lights) on unaccepted streets.

Mr. Stenhouse noted that in some instances, the Council "might be forced to take away services that had been provided for many years to residents living on unaccepted streets."

Councilor Keans requested that the Public Safety Committee review this issue.

Councilor Keans also requested that the Public Safety Committee review the Lowell Street/Tebbetts Road intersection to see what might be done to improve safety in that area.

Councilor McManus moved that the two recommendations offered by Councilor Keans be referred to the Public Safety Committee for review. That motion was seconded by Councilor Twombly and was unanimously passed.

Councilor Lindsay expressed his belief that the Council had recently

authorized the replacement of the angled parking spaces on South Main Street, in front of "Tilley's Restaurant," with parallel parking spaces. He pointed out, however, that such action had not been taken. Mr. Stenhouse stated that he would investigate that issue.

b. Codes & Ordinances Committee

1. Enrolled Bills:

- a. Amendment to Chapter 29 of the General Ordinances Relative to Dogs Running at Large
- b. Amendment to Chapter 42 (Zoning) of the General Ordinances Relative to Special Downtown District

Councilor Lindsay reported that the above-captioned Ordinance Amendments, as adopted at the June 7 meeting, had been reviewed by the Committee and by the City Solicitor and had been found "to be in accordance with and not repugnant to the Ordinances and Charter of the City of Rochester and the Statutes of the State of New Hampshire."

2. Bills in Second Reading

- a. Amendments to Chapters 22 and 23 of the General Ordinances Relative to Fire Department Organization and Fire Safety Measures

Councilor Lindsay reported that at its August 3 meeting, the Codes and Ordinances Committee had unanimously voted to table the above-captioned Amendments and to invite a representative of the Fire Department to meet with the Committee to explain and discuss the proposals. He pointed out that Committee members had "various questions concerning the proposed amendment changes."

- b. Amendment to Chapter 43 of the General Ordinances Relative to Mobile Home Parks

Councilor Lindsay reported that the Committee had voted unanimously to table the above-captioned proposal "due to the lack of sufficient information," and to request that "the originator of this proposal meet with the Committee at its next meeting."

- c. Amendment to Chapter 42 (Zoning) of the General Ordinances Relative to Overlay Zoning Districts

Councilor Lindsay reported that the required public hearing relative to the above-captioned Zoning Ordinance Amendment had been conducted on July 18. He further noted that at its August 3 meeting, the Committee had requested that the Planning Director attend the Committee's next meeting to explain and discuss this proposed Amendment.

- d. Amendment to Chapter 42 (Zoning) of the General Ordinances Relative to Classification of Land Situate Adjacent to the Milton Road and Old Milton Road in the vicinity of the Intersection of Such Roads

Councilor Lindsay reported that the required public hearing relative to

the above-captioned Zoning Ordinance Amendment had been conducted on July 18 and that the Committee, at its August 3 meeting, had recommended that the Amendment be approved as submitted.

Councilor Lindsay then read the Amendment to Chapter 42 for the second time, as follows, noting that the first reading had occurred at the June 7 meeting:

AMENDMENT TO ZONING ORDINANCE
RELATIVE TO CLASSIFICATION OF LAND SITUATE ADJACENT TO
THE MILTON ROAD AND OLD MILTON ROAD
IN THE VICINITY OF THE INTERSECTION OF SUCH ROADS

THE CITY OF ROCHESTER ORDAINS:

That Section 42.2(b) of the General Ordinances of the City of Rochester, as presently amended, be further amended by adding thereto the following sub-subsection to be known as sub-subsection (12) of section 42.2(b):

(12) Amendment Relating to Land Adjacent to the Milton Road and Old Milton Road in the Vicinity of the Intersection of such Roads. That the following described parcel be reclassified from its current "Residential-1 (R-1) Zone" classification and "Agricultural (A) Zone" classification to a "Business-2 (B-2) Zone" classification:

Beginning at a point which is the intersection of the centerlines of Old Milton Road and the New Hampshire Northcoast Railroad; thence running northerly on the centerline of said railroad to a point which is 400' from the centerline of Old Milton Road; thence turning and running northeasterly on a line parallel with and 400' from the centerline of Old Milton Road to a point which is the westerly corner of the existing southerly terminus of the B-2 zone on the westerly side of Milton Road/Rt. 125; thence turning and running southeasterly about 225' along the southerly terminus of the B-2 zone to the easterly corner of said terminus at the easterly side of Milton Road/Rt. 125; thence turning and running in a general northerly direction following the easterly side of Milton Road/Rt. 125 and along the existing B-2 zone to a point which is the westerly corner of the southerly terminus of the B-2 zone on the easterly side of Milton Road/Rt. 125; thence turning and running northeasterly along the southerly terminus of the B-2 zone to a point which is 200' from the centerline of Milton Road/Rt. 125; thence turning and running southerly about 730'+/- to a point which is 200' easterly from the existing B-2 zone to a point on the westerly sideline of the Spaulding Turnpike off-ramp at land shown on Tax Map

215 as Lot 53; thence turning and running southerly and westerly by said lot 53 and lot 54 to a point which is 200' from the centerline of Old Milton Road; thence turning and running southwesterly on a line parallel with and 200' from Old Milton Road to a point on the centerline of the New Hampshire Northcoast Railroad; thence turning and running northerly along the centerline of the New Hampshire Northcoast Railroad to its intersection with the centerline of Old Milton Road at the point of beginning.

Councilor Kirouac moved that the Amendment to Chapter 42 be approved as presented and as recommended by the Codes and Ordinances Committee. That motion was seconded by Councilor Saputa and was passed by a unanimous voice vote in favor.

e. Ordinance Amendment Procedure

Councilor Lindsay noted that the Codes and Ordinances Committee "felt that a policy needed to be established" relative to the process of proposing Ordinance Amendments, since the present procedure "was inefficient, not clear, and confusing."

Mayor Steadman stated that this concern had been raised by Councilor Lindsay and by other Committee members on a number of different occasions in the past. He agreed that the Committee "was not being involved early enough in the process," and that often there was no one at the Committee meetings to explain "what was being proposed and why." He stated that the Committee and the City Council "should be made aware of the intent of these changes from the beginning."

Councilor Keans pointed out that proposed Ordinance Amendments were often introduced to the Council in final form. She noted that when the City Council subsequently defeated those proposals, "the City Solicitor's time had been needlessly wasted."

Atty. Wensley agreed that Ordinance Amendments were often submitted in a form that "could be enacted," but he pointed out that those proposals were "merely the starting point" and that the final form "was what the Council ultimately decided to include in the Ordinance."

A lengthy discussion then ensued relative to the process of introducing Ordinance amendments.

Councilor Kirouac suggested that a Resolution be adopted establishing such a process.

Mr. Stenhouse cautioned the Council against "limiting what the staff could suggest as Ordinance amendments."

Councilor Lindsay stated that the Committee "simply wanted to be involved in the process from the beginning" so that Committee members "would be better educated about each proposal and would have the opportunity to offer input throughout the process."

Councilor Keans stated that "Ordinance amendments that won't go anywhere should be identified from the beginning" so that time, effort and money wouldn't be wasted by asking the City Solicitor "to put them into an adoptable form."

Councilor Torr agreed and he pointed out, for example, that the proposed Amendment to Chapter 43 (page 17) "reflected an Amendment that was a waste of time since it made no sense at all."

Atty. Wensley reminded the Council that Amendments to the Zoning Ordinance (Chapter 42) that were initiated by petition were required to follow a prescribed process, within a specified and limited time-frame.

Mr. Stenhouse stated that he would request that department heads discuss their proposed Ordinance amendments with him first, and next with the Codes and Ordinances Committee.

c. Fiscal Affairs Committee

Mayor Steadman reported that the Fiscal Affairs Committee had not conducted a regular meeting in July and had no report to present to the Council this evening.

d. Space Utilization Committee

Councilor Twombly reported that no meeting of the Space Utilization Committee had been scheduled in July and that no report would be presented at this meeting.

10. APPOINTMENTS TO BOARDS AND COMMISSIONS

a. Local Emergency Planning Committee (Superfunds Amendments and Reauthorization Act)

Mayor Steadman stated that the following memo had been submitted to the Council by the Fire Chief, Mark Dellner:

I wish to submit the following list of names for appointment to the Rochester Local Emergency Planning Committee (LEPC) in accordance with the Superfunds Amendments and Reauthorization Act of 1986.

This committee is formulated to assist our community in reviewing, recommending and assisting local businesses and manufacturers who generate hazardous materials to meet their mandated requirements for reporting, contingency and emergency planning efforts under Federal law.

After the general committee is established, a steering committee and a chairperson will be selected for the LEPC.

Gary Stenhouse
George Brown
Michael Hopkins

Local Official/City Manager
Elected State Official
Assistant School Superintendent

Martin Laferte	Public Works Commissioner
David Dubois	Police Department, Lieutenant
Mark Dellner	Emergency Mgmt, Director
John Cook	Emergency Mgmt, Dep. Director
Frank Carpentino	Fire Department, Asst. Chief
Norman Sanborn	Fire Department, Dep. Chief
EMS Coordinator/FMH	Hospital/Emergency Med. Services
Nathan Taylor	American Red Cross
Mark Clark	Frisbie Memorial Hospital
John Stowell	Code Enforcement Officer
George Bailey	Environmentalist
Ray Roy	School Dept. Transportation
Roland Rancourt	Cable TV Station Manager
Paul Villa	Radio Station Manager
Nicholas Littlefield	FOSTER'S DAILY DEMOCRAT
Mike Seaver	Chamber of Commerce
Donald Gagnon	Chamber of Commerce
Mike Haley	Hazardous Material Facility
Alan Davis	Hazardous Material Facility
Brian Boudreau	Hazardous Material Facility
Harry Tagen	Citizen
Annette Plaisted	Citizen
Norman Marcotte	Citizen
Roy Nieder	NHOEM Representative

Mayor Steadman stated that he had appointed the above individuals to the Local Emergency Planning Committee. No comments or objections were expressed by the Council to those appointments.

b. Election of Deputy Mayor

The Chair then called for nominations for the position of Deputy Mayor.

Councilor Lindsay nominated Councilor Ralph Torr to that position. That nomination was seconded by Councilor Germon.

Councilor Raab nominated Councilor James Twombly as Deputy Mayor. That nomination was seconded by Councilor Saputa.

There were no other nominations offered by the Council and the Chair called for a ballot vote.

Ballots were collected and tallied by the City Solicitor with the following results:

Councilor Ralph Torr received seven (7) votes
Councilor James Twombly received five (5) votes

The Chair declared Councilor Torr elected as Deputy Mayor, term to expire January 2, 1996. Mr. Torr was applauded by all in attendance.

11. OLD BUSINESS

a. Financial Plan

Mayor Steadman recommended that the City Manager's Financial Plan, as introduced to the Council at the May 3 meeting, be referred to the August 29 work session for discussion.

Councilor Twombly moved that the Chair's recommendation be approved by the Council. That motion was seconded by Councilor Saputa and was passed by a unanimous voice vote in favor.

b. Feasibility/Cost Study: Traffic Light Relocation, Lowell Street/Hancock Street/Columbus Avenue Area

Mr. Stenhouse noted that information relative to the above-captioned issue had been requested from an outside firm and that no report had yet been received.

Councilor Keans moved that the issue be tabled until the report was received. That motion was seconded by Councilor McManus and was unanimously passed.

Councilor McManus asked if the "hideous looking barriers" closing off the portion of Lowell Street between Hancock Street and Columbus Avenue would be replaced by some permanent, more attractive arrangement. Mr. Stenhouse stated that the City Council "had tabled final action on this issue until the results of the ongoing study were made available."

c. Resolution Relative to Closing of Old Gonic Road

Mr. Stenhouse noted that when the discontinuance of a portion of the Old Gonic Road had first been requested, the issue of whether the City should maintain an underground utility easement in that area had been discussed. He stated that the following letter, as submitted by the Public Works Commissioner, had been received in response to that question and that copies had been distributed at this meeting:

We have reviewed our needs for a sewer easement on the portion of Old Gonic Road that is under consideration for discontinuance by the City. At this time, we have no plans, either current or future, that would require a sewer easement in that location.

/s/ Martin Laferte
Commissioner of Public Works

Mr. Stenhouse recommended that all references to an underground utility easement be removed from the Resolution that had been included in this meeting's agenda binders. No objections were expressed by the Council to that recommendation.

The Mayor then read the Resolution, as follows:

RESOLUTION RELATIVE TO CLOSING OF OLD GONIC ROAD

BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF ROCHESTER:

That in accordance with and pursuant to the provisions of RSA 231:43, the Class VI portion of the so-called Old Gonic Road, a/k/a Old Concord State Road, lying in Rochester, New Hampshire, between the northeasterly sideline of the Spaulding Turnpike right-of-way and the extension of the northeasterly sideline of Axe Handle Road, a/k/a Wadleigh Road, is hereby discontinued. That, further, the unpaved Class VI portion of Old Gonic Road is hereby abandoned and the City Manager of the City of Rochester is hereby authorized to execute a quitclaim deed(s) of any and all interest that the City of Rochester may have in said unpaved, Class VI portion of Old Gonic Road to the abutter(s) thereof. The City Manager is hereby authorized to execute any and all conveyances necessary to accomplish the aforesaid discontinuance and abandonment. Such a discontinuance and abandonment is contingent upon the City's issuance to the abutter(s) of the aforementioned quitclaim deed(s) of the City's interest in such Class VI portion of Old Gonic Road.

Councilor McManus moved that the Resolution be approved as read. That motion was seconded by Councilor Saputa and was passed by a unanimous voice vote in favor.

12. NEW BUSINESS

a. NHMA: Legislative Policy

Mayor Steadman noted that a packet of information relative to the proposed adoption of a "legislative policy" by the New Hampshire Municipal Association had been included in this evening's agenda binders. He noted that the recommendations had been formulated by three NHMA policy committees which had considered "issues and problems derived from their own experiences as local officials, issues sent in by other members or brought to them by staff, and issues resulting from the most recent legislative session." Mr. Steadman also noted that on September 15, the 1995-96 Municipal Legislative Policy Conference would be held in Concord and that each member community had been asked to appoint one (1) voting delegate to cast its vote at this conference.

The Mayor then suggested that the recommendations proposed by the three NHMA Policy Committees be discussed by the Council at the August work session.

Councilor Keans moved that the Chair's recommendation be approved. That motion was seconded by Councilor Lindsay and was passed by a unanimous voice vote in favor.

b. Amendments to Merit Plan/Employment Policy Handbook

Mr. Stenhouse noted that he had proposed a number of changes to the Merit Plan Employment Policy Handbook, as follows, and that copies had been included in this evening's agenda binders. Mr. Stenhouse also noted that a revised copy of those changes had been distributed at this meeting, with actual text changes underlined for easy reference.

Mr. Stenhouse pointed out that in accordance with Section 60 of the City Charter "Merit Plan amendments submitted by the City Manager shall become effective one (1) month after their submission unless vetoed by the City Council within that period."

TO: Mayor and City Council
FROM: Gary Stenhouse, City Manager
REGARDING: Amendments to Rules and Regulations for
Non-union City Staff

Enclosed are recommendations for amendments to the Employment Policy Handbook which were prepared by the Employee Advisory Committee and approved by me. This represents the first update of the rules since they were established in July 1991. These amendments are basically of three types which are:

1. Mandated Changes We are required to follow the Family Medical Leave Act of 1993 and also to provide for Temporary Alternate Duty under the NH Workers' Compensation Laws.
2. Housekeeping Changes Examples of these are changes in certain definitions such as changing the word "permanent employee" to "regular employee" or deleting some language that is no longer germane.
3. Policy Changes There are a few areas where actual changes are proposed that either improve working conditions or set requirements for staff.

The Council's role under these rules is stated in Article II of the Rules. Once I submit the recommendations they become effective in 30 days unless you veto any one of the changes within that time period. The actual date of submittal to you is August 16, 1994 which is the date of the regular August meeting.

The changes as recommended:

ARTICLE III "DEFINITIONS"

1. (Add) Anniversary Date shall mean the date of hire.

2. (Add) Promotion Date shall mean the date the employee started his/her present position.
3. (Change definition) The words "Full-time Permanent Employee" shall be changed to read "Full-time Regular Employee."
4. (Change definition) The words "Part-time Permanent Employee" shall be changed to read "Part-time Regular Employee."
5. Based upon 3 and 4 above the word "permanent" will be changed to "regular" wherever it appears in the text of the rules.

ARTICLE V "EMPLOYMENT"

1. (Rewrite section 7) to read as follows:
Transfer: If an employee possessing the qualifications necessary to fill a vacant position within the employ of the City wishes to be transferred from his/her present department to the department with the vacancy, the employee shall notify the Personnel Officer. Said employee shall be considered for the appointment by the appointing authority in the best interests of the City.

ARTICLE VI "CLASSIFICATION AND COMPENSATION"

1. (Rewrite section 3) to read as follows:
Compensation Adjustment: The compensation of each employee shall be reviewed annually by his/her department head, or by the City Manager in the case of department heads, to determine if an increase in pay is to be made in accordance with the established City's Pay Plan for non-union employees. Any increase in pay will be based upon and in conjunction with the employee's annual performance evaluation and will be effective at the beginning of the pay period immediately following the employee's anniversary date or date of promotion, whichever applies. The pay schedule of wages paid to employees shall be governed by the Pay Plan of the City of Rochester which may be upgraded from time to time by the City Council in conjunction with the annual budget.

Any merit salary increase so awarded shall be based upon a rating of employees by their superior using a systematic and formal evaluation process. Performance found to be meritorious shall be certified by the supervisor and a pay adjustment made in accordance with the Pay Plan.

ARTICLE VII "HOURS OF WORK AND LEAVE"

1. (Change last sentence of Section 3 to read) Holidays - The provisions of this section shall apply to full-time regular employees and, on a pro-rata basis, to part-time regular employees. Shift employees whose duties require seven (7) day a week, twenty-four (24) hour coverage may receive lump sum compensation in lieu of days off for holidays. Police communications personnel are an example of this class of employee.
2. (Add first sentence to read) Vacation - The provisions of this section shall apply to full-time regular employees and, on a pro-rata basis, to part-time regular employees who work a minimum of 40 hours a pay period.
3. (Rewrite to read as follows) Sick Leave - The provisions of this section shall apply to full-time regular employees and, on a pro-rata basis, to part-time regular employees. Sick leave shall be computed and accrued on a monthly basis, including the probationary period of an employee. Sick leave with pay shall be granted to all employees at the rate of one (1) day per calendar month worked, credited at the end of the month. Sick leave may be accumulated up to one hundred and twenty (120) days.

Employees completing twelve (12) consecutive months of employment without taking sick leave will be granted one (1) non-accumulative personal day. Personal days may be taken for any purpose except as substitution for suspension as a result of disciplinary action. Personal days must be scheduled and approved by the Department Head in accordance with the employee's preference and the needs of the Department, so long as at least forty-eight (48) hours notice is provided.

Up to three additional days each year (non-accumulative from year to year) may be taken by an employee when the ill health of a member of the employee's immediate family requires the employee's care. For purposes of this section, an employee's immediate family shall be deemed to be the spouse, child, step-child, mother, father, or other dependents living in the same household. An exception may be made by the Department Head where extenuating circumstances exist.

Employees who terminate their employment through retirement shall be entitled to a lump sum payment for three-quarters of the number of accumulated days due at the rate of pay at the time of termination of service, not to exceed seventy-five percent (75%) of one hundred

and twenty (120) days accumulated sick leave. For the purpose of this section, retirement shall be defined as having completed ten (10) consecutive years of service with the City of Rochester and being eligible to retire under the New Hampshire Retirement System.

Employees who terminate their employment by voluntary resignation, and who have served at least ten (10) years with the City of Rochester, shall be entitled to a lump sum payment for one-half of the accumulated sick leave due them, at the employee's rate of pay at the time of termination, not to exceed fifty (50%) percent of one hundred and twenty (120) days accumulated sick leave. In the event of termination by reason of death, said payment in the amount of 50% of accrued sick leave shall be made to his/her beneficiary.

Sick leave shall be considered a matter of grace and not privilege and shall be allowed only in the case of actual illness or to keep necessary medical appointments. Sick leave shall be used in minimum blocks of two (2) hours.

To receive compensation while absent on sick leave, the employee shall notify his/her Department Head prior to the time set for beginning his/her daily duties or as may be specified by the Department Head. At the discretion of the Department Head, a doctor's certificate may be required for absence due to illness in excess of three (3) days. If the Department Head has a reasonable basis to believe or suspect an employee has abused sick leave privileges, he/she may require a doctor's certificate for an illness of less than three (3) days. Proof of illness or disability may be required at any time by the City Manager, Department Head, or Division Head.

Abuse of sick leave privilege may be cause for dismissal. Sick leave shall be recorded regularly in the personnel records and the Personnel Officer shall review all sick leave records periodically and shall investigate cases which indicate abuse of the privilege.

4. (New section 5a to read) Sick Leave Transfer - The City Manager may grant a sick leave transfer to an employee if it is determined to be in the best interests of the City and if the following conditions are met.

1. The request must be in writing and for an extended illness of three or more weeks duration.
2. The employee must first use all other available

paid leave.

3. Employees recovering from a Workers' Compensation injury or illness are not eligible.
 4. Employees who wish to donate sick leave must still have 30 days left after the donation is made and may donate no more than 5 days in one year.
 5. Donations are strictly voluntary and anonymous.
 6. Donations of leave under this section do not affect eligibility for receipt of a personal day for not using sick leave in a twelve month period.
5. (Substitute for existing section 7) Temporary Alternative Duty - In accordance with RSA 281-A:23-b, employees will be provided temporary alternative work opportunities if disabled by a work related injury or illness. As soon as the treating physician has released the employee to lighter duties than his/her current position requires, the employee will be called upon to return to employment in a temporary alternative position. Such re-assignment may be to different duties or a different work schedule and may include assignment to a different division or position within the City of Rochester.
6. (Substitute for existing section 13) Family and Medical Leave - Employees who have worked for the City a minimum of one year, and have worked 1,250 hours or more during the twelve months prior to requesting leave, are eligible for family and medical leave. Eligible employees may take up to 12 weeks of leave within a "rolling" twelve month period for the birth or adoption of a child, or to care for a child, parent or spouse with a serious health condition, or for their own serious health condition. Leave for the birth or placement of a child by adoption or foster care must conclude within twelve months of the event. Leave may begin prior to birth or placement, depending on the circumstances. To qualify for medical leave, the health condition or treatment must be such that it requires inpatient care, or ongoing treatment by a health care professional, or an absence of more than a few days for recovery and/or treatment. Employees must provide the City with 30 days advance written notice, or as soon as possible under emergency circumstances.

Intermittent or Reduced Leave Employees may take leave intermittently or on a reduced work schedule if medically necessary in the event of his/her own or a family member's serious health condition. Intermittent leave or a reduced work schedule may be taken for the birth or adoption of a child only with management approval. If leave is requested on an intermittent or reduced

work schedule basis, the employee may be required to schedule time off to cause the least disruption to the work flow and may also be required to transfer temporarily to an equivalent position that would more easily accommodate an intermittent leave.

Certification Medical documentation will be required in order to take leave for personal serious illness or the serious illness of a family member. Certification from a health care provider must include the following:

- The date the serious health condition began.
- The expected duration of the condition.
- A statement that the employee is unable to perform the functions of the job, or a statement that the employee is needed to care for the ill person.
- If applicable, the medical reasons for the need for an intermittent or reduced work schedule.

The City may require a second opinion at the City's expense. If a third opinion is required, the third physician must be agreed upon by the employee and the City, and the City will bear the expense. A release to return to work will be required for medical absences of a week or longer.

If leave is requested for the birth or adoption of a healthy child, or to care for a sick parent, a combined total of 12 weeks will be allowed. If leave is requested for an employee's own serious health condition, or to care for a sick child or spouse, the employee will be entitled to 12 weeks of leave.

Use of Paid Time-Off Benefits Employees may elect to use paid accrued leave during their absence. If the employee does not elect to use accrued benefits, the leave will be without pay.

Employee Benefits Health care benefits will be continued during this leave. The employee will be responsible for paying his/her portion of the premiums while on leave. Under certain circumstances, employees who do not return from leave may be required to repay the City's portion of the premium payment.

Job Restoration In most cases, upon returning from leave, the employee will be restored to the same or an equivalent position with the equivalent pay, benefits, and other terms and conditions of employment. Certain key employees may be denied restoration if necessary to prevent substantial and grievous economic injury to the City's operations. An employee will be notified if he/she is a key employee when requesting a leave.

Problem Resolution It is the City's policy to comply fully with the Family and Medical Leave Act. Employees who have been denied leave inappropriately or otherwise treated unfairly, should contact the City Manager's Office.

ARTICLE XIII MISCELLANEOUS PROVISIONS

1. (Delete section 2 in its entirety)
2. (Delete section 3 in its entirety)

Councilor Keans moved that the proposed amendments be referred to the Fiscal Affairs Committee for review. That motion was seconded by Councilor McManus and was passed by a unanimous voice vote in favor.

c. Relocation Agreement with Prime Tanning Co. Inc.

Mayor Steadman noted that copies of a proposed "Relocation Inducement Agreement between the City of Rochester and Prime Tanning Co., Inc." had been included in this evening's agenda binders. He then recommended that the issue be discussed at the upcoming work session on August 29.

Councilor Keans moved that the Chair's recommendation be approved by the Council. That motion was seconded by Councilor McManus and was unanimously passed.

d. Temporary Building Inspector for Major Projects

The Mayor noted that copies of the following memo had been included in this evening's agenda binders:

I am requesting permission to employ a part-time building inspector in the Code Enforcement Department. This additional position will be used to inspect the new Prime Tanning Company facility at the Granite State Industrial Park and will greatly assist the Department in properly inspecting this construction project.

This position will be on a subcontracted basis for approximately 20 hours per week for the duration of the project, which is estimated at six to eight months. The hourly rate of pay will be \$15.00 per hour and will be paid with a portion of the \$16,768.00 building permit fee.

Thank you for consideration of this request.

Councilor McManus moved that the request be referred to the Fiscal Affairs Committee for review and recommendations. That motion was seconded by Councilor Keans and was passed by a unanimous voice vote in favor.

e. NPDES Permit: Metals Consultant

Mr. Stenhouse requested that the Council consider the possibility of contracting a "metals consultant" with regard to the metals limits included in the NPDES permit.

Councilor Keans moved that the issue be discussed at a future work session. That motion was seconded by Councilor McManus and was unanimously passed.

f. Resolution Relative to Corrective Deed Regarding Premature Tax Deed

Mr. Stenhouse noted that copies of the following memo, as submitted by the City Solicitor, had been distributed at this meeting in regard to the above-captioned agenda item:

Attached to this memorandum is a Resolution which would authorize you to transfer "26 House Lots" located on Wakefield Street, and currently part of the parcel on which the Wendy's Restaurant is being constructed, to Ian Robinson, the current owner of the lot.

The need for this corrective deed stems from the fact that on May 15, 1963, the then Tax Collector of the City of Rochester issued a Tax Collector's Deed of these "26 House Lots" to the City of Rochester for non-payment of 1960 taxes levied on such property. At the time that the 1960 taxes were assessed on this property, it was owned by one William York. Since, however, the tax sale for non-payment of 1960 real estate taxes did not occur until June 27, 1961, the requisite two years from the date of the tax sale required by New Hampshire statutes had not elapsed when the Tax Collector's Deed was issued on May 15, 1963.

Consequently, on June 4, 1963, the City of Rochester issued a deed of the "26 House Lots" and certain other parcels deeded to the City on May 15, 1963 to "Downing Osborne, Tax Collector of the City of Rochester." The apparent intent of this deed was to undo the premature transfer which had occurred on May 15, 1963. Unfortunately, no deed was ever issued from Downing Osborne, Tax Collector of the City of Rochester, to William York or any of his successors in interest with respect to those "26 House Lots." The absence of such a deed in the chain of title has created a potential title defect which is of concern to the current owner of the property, Ian Robinson, who is in the process of developing a Wendy's Restaurant on the site. Mr. Robinson has, therefore, requested that the City correct the above-described oversight by issuing a Quitclaim Deed of the "26 House Lots" to him to clear up any title concerns that exist with respect to this property.

Marianne Douglas has informed me that it appears that all taxes which were due on this property during the early 1960's have, in fact, been paid. If adopted, the accompany-

ing Resolution would merely authorize you to issue a Quit-claim Deed of any interest that the City had in this property. If the City, in fact, has no interest in the property, then such a conveyance would transfer nothing to Mr. Robinson.

Mayor Steadman then read the following Resolution, noting that copies had been included in this meeting's agenda binders:

**RESOLUTION RELATIVE TO CORRECTIVE DEED
REGARDING PREMATURE TAX DEED**

**BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY
OF ROCHESTER:**

WHEREAS, by Tax Collector's Deed dated May 15, 1963, recorded at Book 762, Page 98 of the Strafford County Records, Downing W. Osborne, Collector of Taxes for the City of Rochester, conveyed certain real estate therein described as "26 House Lots," which real estate was taxed to one William York, to the City of Rochester purportedly for the non-payment of 1960 real estate taxes; and,

WHEREAS, by subsequent deed dated June 4, 1963, recorded at Book 763, Page 108 of the Strafford County Records, the City of Rochester conveyed the property referred to in the preceding paragraph, as well as certain other property purportedly tax deeded to the City of Rochester on May 15, 1963 to "Downing Osborne, Tax Collector of the City of Rochester," the purpose of such deed being stated therein as "... to correct any error made by the said Tax Collector for a premature conveyance to the said City of Rochester of the above-described realty for unpaid taxes due the City of Rochester"; and,

WHEREAS, it does not appear that the said Downing W. Osborne, acting in his capacity as Tax Collector for the City of Rochester, or any of his successors as Tax Collector of the City of Rochester, ever reconveyed the aforesaid "26 House Lots" to the aforementioned William York and/or his successors in interest, despite the fact that the real estate taxes on said property were, in fact, apparently paid to the City of Rochester prior to the date upon which a tax deed with respect to such property could legally be issued to the City of Rochester; and,

WHEREAS, the failure to reconvey the aforesaid property to the aforementioned William York and/or his successors in title, has created a cloud upon the title to said real property.

NOW, THEREFORE, in light of the fact that the taxes owing on the aforementioned real estate to the City of Rochester have been paid, and in order to remove any cloud created by the failure of the City of Rochester to reconvey the "26 House Lots" conveyed to the City of Rochester by premature

Tax Collector's Deed dated May 15, 1963, recorded at Book 762, Page 98 of the Strafford County Records, to William York or his successors in title, the City Manager is hereby authorized, on behalf of the City of Rochester, to execute a Quitclaim Deed of the aforementioned "26 House Lots" to Ian Robinson, the current owner of and successor in title to William York of the aforementioned "26 House Lots."

Councilor Keans moved that the Resolution be referred to the Fiscal Affairs Committee for review and recommendations. That motion was seconded by Councilor McManus.

At the request of the City Manager, the City Solicitor briefly explained this issue, pointing out that action was needed "to remove a cloud on the title to the property." He pointed out that the Resolution "would authorize a quitclaim deed that would convey any interest the City may have in the parcel, if the City has any interest." Atty. Wensley further noted that the developer "could not obtain final financing for the Wendy's Restaurant project until the deed was issued."

Councilor Keans withdrew her motion; Councilor McManus withdrew his second to the motion.

Councilor Kirouac moved that the Resolution be approved as read. That motion was seconded by Councilor Saputa and was passed by a unanimous voice vote in favor.

g. Amendment to Rules of Order: Councilor Kirouac

Councilor Kirouac then proposed an amendment to Section 4.1 of the Rules of Order which would substitute "12 days" in place of the present "7 days" and would also substitute "10 days" in place of the present "5 days," so that Section 4.1 would then read as follows:

SECTION 4.1: AGENDA PREPARATION

The agenda for each Council meeting shall be prepared by the Mayor and the City Manager in conjunction with the City Clerk. Any Councilor may place an item on the agenda provided that the item be submitted in writing to the City Clerk, the Mayor, or the City Manager twelve (12) days prior to the meeting of the City Council. The City Clerk shall provide Council members with copies of the agenda at least ten (10) days before the meeting of the Council. All resolutions to be presented to the Council shall be made available to the members prior to said Council meeting.

Councilor Kirouac expressed his belief that this amendment "would provide more time for Councilors to review and study agenda items prior to each meeting."

Mr. Stenhouse pointed out that the change "could result in agendas that

were so old that the Council would not be acting on current business" and he expressed his belief that the amendment "might ultimately serve to stifle public discussion rather than encourage it."

The City Clerk also noted that citizens often objected to the present seven day cut-off for agenda items and would likely be far more upset by a twelve day deadline.

Councilor McManus expressed concerns that if the submission deadline were extended, "the amount of information distributed at the meeting itself would triple." He expressed his belief that the latter "had to stop" and that the deadline "had to be enforced."

Mr. Stenhouse noted that except for one memo, all information distributed at this meeting was additional information regarding items already listed on this evening's agenda.

Councilor Kirouac moved that his proposed amendment to the Rules of Order be included on the agenda for the September 6 regular meeting. That motion was seconded by Councilor Keans and was passed by a unanimous voice vote in favor.

13. COUNCIL CONCERNS AND DIRECTIVES

a. Truck Traffic, Church Street (Gonic) - Councilor Kirouac

Councilor Kirouac noted that in the past, the City Council had approved truck traffic restrictions for Church Street in Gonic. He pointed out, however, that even though signs had been posted to that effect, violations were regularly occurring. He questioned if perhaps the signs were too small to be readily visible.

Mr. Stenhouse expressed his belief that an enforcement problem existed and he stated that he would discuss this issue with Police Department personnel.

b. City Council Vacancy - Councilor Saputa

Councilor Saputa moved that the At-Large City Council seat, formerly held by Mayor Steadman, be declared vacant and that the City Clerk be instructed to publish notice of the vacancy in the usual manner. That motion was seconded by Councilor Twombly and was passed by a unanimous voice vote in favor.

Atty. Wensley pointed out that Section 68 of the City Charter required that the City Council fill the vacancy "until the next municipal election," with such action occurring "not later than the second regular City Council meeting following the creation of such vacancy." He further noted that the Council may act to fill the vacancy only at a regular meeting.

c. No Parking Signs/South Main Street (Dunkin' Donuts Area) - Councilor Kirouac

Councilor Kirouac noted that "no parking" signs had been installed on

South Main Street, in front of Dunkin' Donuts, but that the City Council minutes did not reflect any Council vote authorizing those signs.

Mr. Stenhouse stated that he would look into that matter.

d. Recycling Issues - Councilor Ouellette

Councilor Ouellette requested that the TV/VCR unit be available at the August 29 work session so that the Council could view a video tape relative to the recycling of tires.

Councilor Keans noted that many items had been referred to the August 29 work session and she suggested that that meeting begin at 7:00 PM rather than at 7:30 PM. No objections were expressed by the Council to that suggestion.

e. Cats Running at Large - Councilor Raab

Councilor Raab reported that he had received a complaint from a constituent relative to cats running at large throughout the City. He reported that this citizen believed that "the City Council had an obligation to establish regulations that would prevent cats from running freely through her yard."

f. Railroad Crossing Improvements - Councilor Raab

Councilor Raab noted that funds had been included in the FY95 budget for the above-captioned projects and he questioned when the work would begin.

Mr. Stenhouse reported that he had met with Railroad officials on August 15 and that he had intended to have the final project plans presented to the Council at the August 29 work session.

g. Fiscal Affairs Committee Meetings - Mayor Steadman

Mayor Steadman stated his intent to conduct Fiscal Affairs Committee meetings in the evening rather than during the day. He stated that he would reschedule the August 29 Committee meeting since that was the date of the work session.

h. Work Sessions - Mayor Steadman

Mayor Steadman then asked if any Council members objected to having two work sessions each month. Councilors Raab and Torr spoke in support of that suggestion. No objections were expressed by any Council members.

Councilor Ouellette moved that "two work sessions be conducted this month." That motion was seconded by Councilor Veno and was unanimously passed.

Councilor McManus expressed his hope that the first 15 minutes of every work session would continue to be devoted to public input, as originally intended when the work session format was first established.

i. Relocation of Council Chambers/Meeting Room - Councilor Torr

Councilor Torr recommended that the City Council begin utilizing space at the Community Center for its meetings and that the present Council Chambers be used by a municipal department that required more space. He pointed out that the present Council Chambers "were too small to accommodate large crowds, such as the large group that had turned out for the public hearing relative to hunting restrictions in the City." He also suggested that the Mayor's Office be relocated to a part of the City Hall building that was more readily visible and accessible to the public. He then moved that his suggestions be referred to the Space Utilization Committee for review and recommendations. That motion was seconded by Councilor Keans.

Councilor Ouellette suggested that the Committee also investigate the cost of such changes.

Councilor Saputa expressed his belief that "nothing would be gained from referring this to Committee" since no funds had been budgeted "for restructuring this building." He further noted that "funding for such a project would not be likely in the immediate future, considering the City's other priorities," and that the present Council Chambers was large enough to accommodate the usual audiences. Councilor Saputa pointed out that large crowds could generally be anticipated prior to a specific public hearing or meeting, with those meetings then being scheduled for larger facilities.

Councilor Torr's motion was then passed by a majority voice vote in favor. Councilor Twombly recommended that the City Manager be actively involved in the Committee's discussions. Mr. Stenhouse agreed.

14. NON-PUBLIC SESSION

a. Collective Bargaining Agreement: Police Department/IBPO

At the request of the Mayor, Councilor Twombly moved that the Council go into non-public session, with the Police Commissioners and Major Ted Blair also in attendance, for purposes of discussing the collective bargaining agreement between the City and the International Brotherhood of Police Officers (IBPO). That motion was seconded by Councilor Raab and was passed by a unanimous roll call vote in favor at 9:24 PM.

Mayor Steadman stated that the non-public session would begin in the Council conference room following a short recess.

The non-public session began at 9:35 PM.

During the non-public session, the City Council, the Police Commissioners, and Major Blair discussed the collective bargaining agreement between the City and the IBPO.

The Council took no action during the non-public session.

Councilor Keans moved to return to public session at 10:20 PM. That motion was seconded by Councilor Twombly and was unanimously passed.

Councilor Twombly moved that "\$20,000.00 be used from the Contingency Account to fund the Police contract through June 30, 1995." That motion was seconded by Councilor Keans but was defeated by a majority roll call vote in opposition, with seven (7) members voting in opposition (Councilors Germon, McManus, Kirouac, Ouellette, Veno, Torr and Mayor Steadman) and with five (5) members voting in favor (Councilors Raab, Keans, Twombly, Saputa and Lindsay).

Mayor Steadman, who had voted on the prevailing side with respect to the prior motion, then moved for reconsideration of that motion. The motion for reconsideration was seconded by Councilor Keans and was passed by a majority voice vote in favor, with nine (9) members voting in favor and with three (3) members voting in opposition.

Mayor Steadman moved that "\$20,000.00 be used from the Contingency Account to fund the Police contract through June 30, 1995." That motion was seconded by Councilor Keans and was passed by a majority roll call vote in favor, with eight (8) members voting in favor (Councilors Germon, McManus, Raab, Keans, Twombly, Saputa, Lindsay and Mayor Steadman) and with four (4) members voting in opposition (Councilors Kirouac, Ouellette, Veno and Torr).

There was no other business to come before the Council.

Councilor Kirouac moved to adjourn at 10:50 PM. The motion for adjournment was seconded by Councilor Raab and was passed by a unanimous voice vote in favor.

A true record,

Attest:


Gail M. Varney, City Clerk

94 DEC -8 AM 9:22
REGISTER OF DEEDS
STRAFFORD COUNTY

018087

BK 178 | PG 0669

REINER AND BOUFFARD
74 STATE ROAD
P O BOX 159
KITTEEV, MAINE 03904

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, That the CITY OF ROCHESTER, located in the County of Strafford and State of New Hampshire, and having a business address of 31 Wakefield Street, Rochester, New Hampshire 03867, for consideration paid, grants to JEN-SCOT REALTY, INC., a corporation organized and existing under the laws of the State of New Hampshire with a place of business at 80 Main Street, Route 125, Gonic, New Hampshire 03839, with QUITCLAIM COVENANTS, a certain tract or parcel of land, together with any improvements located thereon, situated in the City of Rochester, County of Strafford and State of New Hampshire, and being more specifically bounded and described as follows:

A certain parcel of land located at the northerly end of Axe Handle Road, formerly known as Wadleigh Road, and on the easterly sideline of the Spaulding Turnpike, now also known as New Hampshire Route 16, in the City of Rochester, Strafford County, State of New Hampshire; said parcel being shown as "OLD GONIC ROAD, a.k.a. OLD CONCORD STATE ROAD" on a certain plan entitled "Plan of Land, Parcel No. 5, Tax Assessor's Map No. 59 and Parcel No. 2, Tax Assessor's Map No. 8, New Hampshire Route 125, a.k.a. Gonic Road, City of Rochester, County of Strafford, New Hampshire", dated September 7, 1989, as prepared by CIVILWORKS, INC., and recorded in the Strafford County Registry of Deeds as Plan No. 37A-28, and being more particularly bounded and described as follows:

Beginning at an iron rod set in the ground on the easterly sideline of said Spaulding Turnpike and the southwesterly corner of land now or formerly of Jen-Scot Realty, Inc. and the westerly corner of the herein conveyed premises; thence running

North 37° 55' 18" East, 331.00 feet along a stone wall and land now or formerly of said Jen-Scot Realty, Inc. to a drill hole set in said stone wall; thence running on the same line

North 37° 55' 18" East, 60.93 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence turning and running

South 57° 58' 38" East, 31.98 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence running on the same line

South 57° 58' 38" East, 31.97 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence turning and running

South 37° 02' 44" West, 66.25 feet along the northerly end of said Axe Handle Road to a drill hole set in a stone wall; thence turning and running

South 41° 51' 33" West, 337.13 feet along said stone wall and land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground on the easterly sideline of said Spaulding Turnpike;

thence turning and running on a curve to the right with a radius of 2,715.00 feet, an arc distance of 41.68 feet to an iron rod set in the ground and being the point of beginning. Said parcel containing 21,800 square feet of land, more or less.

This property is being conveyed pursuant to a vote of the City Council of the City of Rochester on the 16th day of August, 1994. This is a non-contractual transfer made pursuant to NH RSA 78-B:2(IX) and is therefore exempt from transfer taxes.

The above described property having been a portion of the so-called Old Gonic Road, with the delivery of this deed it is the intent of the Grantor that the discontinuance and abandonment of such portion of said Old Gonic Road as authorized by the aforementioned vote of the Rochester City Council shall become effective.

IN WITNESS WHEREOF, the City of Rochester has caused this instrument to be executed by its City Manager duly authorized this 7th day of December, 1994.

Witness

CITY OF ROCHESTER

By:

Its

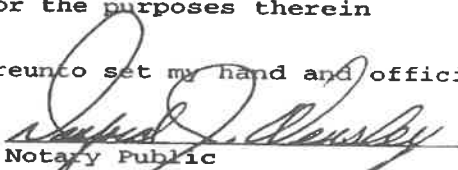
City Manager

BK1781PG0670

STATE OF NEW HAMPSHIRE
COUNTY OF STRAFFORD

On this 7th day of December, 1994, personally appeared the above-named Gary Stenhouse, City Manager of the City of Rochester, known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

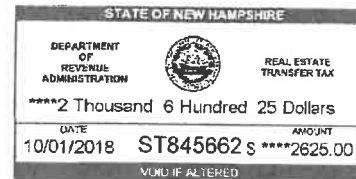

Notary Public

Print Name: Sanford J. Winsley


REGISTER OF DEEDS
STRAFFORD COUNTY

BK 1781 PG 0671

Return to:
Wensley & Jones, P.L.L.C.
40 Wakefield Street
Rochester, NH 03867



DEED AND
ASSIGNMENT AND ASSUMPTION OF EASEMENT(S)

KNOW ALL MEN BY THESE PRESENTS, that **JEN-SCOT REALTY, INC.**, a New Hampshire corporation with a mailing address of P. O. Box 632, New Castle, New Hampshire 03854 (hereinafter referred to as the "Grantor"), for consideration paid, grants to **SSG, LLC**, a New Hampshire limited liability company with an address of 120 Washington Street, Suite #302, Rochester, New Hampshire 03839 (hereinafter referred to as the "Grantee"), with *warranty covenants and quitclaim covenants* as to TRACT I and with *quitclaim covenants* as to TRACT II:

Rochester, New Hampshire (2 Tracts):

A. TRACT I (conveyed with *warranty covenants* and *quitclaim covenants*):

A certain tract or parcel of land, situated in the City of Rochester, County of Strafford and State of New Hampshire on the northeasterly side of the Spaulding Turnpike. Said parcel appearing on a plan of land for Normand Ramsey, Rochester, New Hampshire, prepared by Berry Const. Co. dated May 29, 1981.

This parcel is designated on said plan as "AREA 8.0 acres +/-", and bounded and described as follows:

Beginning at a point on the northeasterly side of the Spaulding Turnpike which point is the southerly corner of said lot and in the center of "Old Concord State Road", so-called, thence running by said Spaulding Turnpike along a curve to the right with a radius of two thousand eight hundred sixty-five (2865) feet, a distance of five hundred forty-seven (547) feet to a point; thence continuing by said Spaulding Turnpike North 21° 43' 07" West a distance of six hundred eighty-eight and ninety-three hundredths (688.93) feet to the southerly side of Axe Handle Brook; thence turning and following said Brook in a generally southeasterly direction a distance

of one thousand three hundred twenty (1320) feet to a point approximately in the center of Old Concord State Road, so-called; thence turning and running South 51° 31' 33" West a distance of one hundred ninety-two and eighty-eight hundredths (192.88) feet to a point; thence continuing South 52° 57' 45" West a distance of three hundred forty-two (342) feet to the point of beginning.

Said parcel containing eight (8) acres, more or less.

Meaning and intending to describe and convey the same premises conveyed in Warranty Deed of Normand H. Ramsey and Pamela H. Ramsey to Jen-Scot Realty, Inc. dated January 3, 1985 and recorded in the Strafford County Registry of Deeds at Book 1167, Page 674.

B. TRACT II (conveyed with quitclaim covenants):

A certain parcel of land located at the northerly end of Axe Handle Road (formerly, and sometimes currently, known and referred to as Wadleigh Road), and on the easterly sideline of the Spaulding Turnpike, now also known as New Hampshire Route 16, in the City of Rochester, Strafford County, State of New Hampshire; said parcel being shown as "**OLD GONIC ROAD, a.k.a OLD CONCORD STATE ROAD**" on a certain plan entitled "Plan of Land, Parcel No. 5, Tax Assessor's Map No. 59 and Parcel No. 2, Tax Assessor's Map No. 8, New Hampshire Route 125, a.k.a. Gonic Road, City of Rochester, County of Strafford, New Hampshire", dated September 7, 1989, as prepared by CIVILWORKS, INC., and recorded in the Strafford County Registry of Deeds as Plan No. 37A-28, and being more particularly bounded and described as follows:

Beginning at an iron rod set in the ground on the easterly sideline of said Spaulding Turnpike and the southwesterly corner of land now or formerly of Jen-Scot Realty, Inc. and the westerly corner of the herein conveyed premises; thence running North 37° 55' 18" East, 331.00 feet along a stone wall and land now or formerly of said Jen-Scot Realty, Inc. to a drill hole set in said stone wall; thence running on the same line North 37° 55' 18" East, 60.93 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence turning and running South 57° 58' 38" East, 31.98 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence running on the same line South 57° 58' 38" East, 31.97 feet along land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground; thence turning and running South 37° 02' 44" West, 66.25 feet along the northerly end of said Axe Handle Road to a drill hole set in a stone wall; thence turning and running South 41° 51' 33" West, 337.13 feet along said stone wall and land now or formerly of said Jen-Scot Realty, Inc. to an iron rod set in the ground on the easterly sideline of said Spaulding Turnpike; thence turning and running on a curve to the right with a radius of 2,715.00 feet, an arc distance of 41.68 feet to an iron rod set in the ground and being the point of beginning.

Said parcel containing 21,800 square feet, more or less.

To the extent that the real property described as part of this TRACT II overlaps with the real property described as a part of TRACT I above, such real property is conveyed solely with

quitclaim covenants and without warranty covenants.

Meaning and intending to describe and convey with quitclaim covenants the same premises conveyed in Quitclaim Deed of the City of Rochester to Jen-Scot Realty, Inc. dated December 7, 1994 and recorded in the Strafford County Registry of Deeds at Book 1781, Page 669.

With regard to both TRACT I and TRACT II above, further reference is made to plan entitled, "Plan of Land, Parcel No. 5, Tax Assessor's Map 59 and Parcel No. 2, Tax Assessor's Map No. 8, New Hampshire Route 125 a.k.a. Gonic Road, City of Rochester, County of Strafford, New Hampshire as prepared for Owner of Record: Jen-Scot Realty, Inc." dated September 7, 1989 and recorded in the Strafford County Registry of Deeds as Plan #37A-28.

C. ASSIGNMENT AND ASSUMPTION OF EASEMENT(S):

WHEREAS, Grantor and Unison Site Management, L.L.C., a Delaware limited liability company ("Unison"), entered into that Easement and Assignment Agreement dated October 7, 2004 ("Easement Agreement"), which was recorded in Book 3107, Page 524 in the Strafford County Registry of Deeds ("Registry"), for that property located in Rochester, Strafford County, New Hampshire, in which Grantor granted to Unison an exclusive perpetual easement for an approximately 3,400 square foot portion (said portion being the "Communication Easement") of that property identified as Tax ID Number 65140-0137-0035-0001, and being described in Book 1167, Page 674 in the Registry (the "Grantor's Property"), together with a non-exclusive perpetual easement for ingress, egress and utilities over a portion of the Grantor's Property leading from Wadleigh Road to the Easement Area ("Access and Utility Easement"); and

WHEREAS, Unison assigned its right, title and interest in the Easement Agreement to Cell Tower Lease Acquisition LLC, a Delaware limited liability company ("Cell Tower"), pursuant to that Assignment of Easement dated October 13, 2004, and recorded in Book 3107, Page 536 in the Registry; and

WHEREAS, Cell Tower assigned its right, title and interest in the Easement Agreement to Global Signal Acquisitions IV LLC, a Delaware limited liability company ("Global"), pursuant to that Assignment and Assumption of Easements and Leases dated November 8, 2011, and recorded in Book 3970, Page 226 in the Registry; and

WHEREAS, Grantor and Global entered into a First Amendment to Easement and Assignment Agreement dated October 23, 2014 ("First Amendment"), which was recorded in Book 4266, Page 126 in the Strafford County Registry of Deeds ("Registry"), and, among other things, made certain changes and/or amendments to the provisions of the Easement and Assignment Agreement dated October 7, 2004 and recorded in the Registry at Book 3107, Page 524; and

WHEREAS, this conveyance is specifically made subject to the Easement Agreement referred to above, and dated October 7, 2004 and recorded in Book 3107, Page 524 of the

Registry, as the same shall have been modified, amended and/or otherwise changed since the Easement Agreement's execution on October 7, 2004 (the "Existing Easements").

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor, being the current owner of the real property described as above as TRACT I and TRACT II, and with respect to which the Existing Easements are located, the said Grantor does by these presents hereby grant, bargain, convey, sell, assign, transfer, set over and deliver unto the said Grantee, as Assignee, its successors, transferees, and assigns forever, and Grantee, as Assignee, does, by its acceptance hereof, assume and accept all of the rights, title, interest and responsibilities and obligations of said Grantor under, in and to the Existing Easements, together with any and all ingress/egress, utilities or other rights related to the said Existing Easements.

Dated this 28th day of September, 2018.

JEN-SCOT REALTY, INC.

By: [Signature]
Normand H. Ramsey, Duly Authorized
President

STATE OF NEW HAMPSHIRE

Stafford, SS.

2018

Sept. 28

Personally appeared Normand H. Ramsey, duly authorized President of Jen-Scot Realty, Inc., known to me or satisfactorily proven to be the same person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes therein contained on behalf of Jen-Scot Realty, Inc.

Before me,



[Signature]
Notary Public/Justice of the Peace

Print Name: _____

My Commission Expires: _____

DEED AND ASSIGNMENT AND ASSUMPTION OF EASEMENT(S) ACCEPTED BY:

Date: 9/28/28

Inc.,

SSG, LLC, by

Groen Construction, as d/b/a for Groen Construction,
Manager

By: [Signature]

Print Name: Fenton Groen
Title: President of Groen Construction Inc.
Duly Authorized

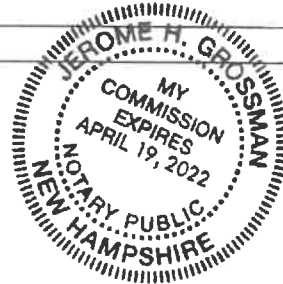
STATE OF NEW HAMPSHIRE
COUNTY OF STRAFFORD

On SEPT 28, 2018, before me, the undersigned officer, personally appeared Fenton Groen, President of Groen Construction, Inc. d/b/a Groen Construction, and who acknowledged Groen Construction to be the Manager of SSG, LLC, and acting in said capacity, and being authorized so to do, executed the foregoing instrument on behalf of SSG, LLC as its voluntary act and deed for the purposes therein contained.

Before me, [Signature]
~~Justice of the Peace~~/Notary Public

Print Name: _____

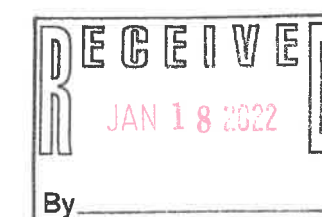
My Commission Expires: _____



COLOR LEGEND

- 1 Bedroom Apt.
- 2 Bedroom Apt.
- Office
- Commons
- Service
- Corridors
- Vertical Circulation

Axe Handle Brook Side
Garden Level Apartments



Building Areas:

Level 1	17,874sf
Level 2	17,874sf
Level 3	17,505sf
Level 4	17,505sf
Total	70,758sf

Apartment Count:

	1 Bedroom	2 Bedrooms	Total
Level 1	3	5	8
Level 2	3	11	14
Level 3	4	11	15
Level 4	4	11	15
Totals	14	38	52

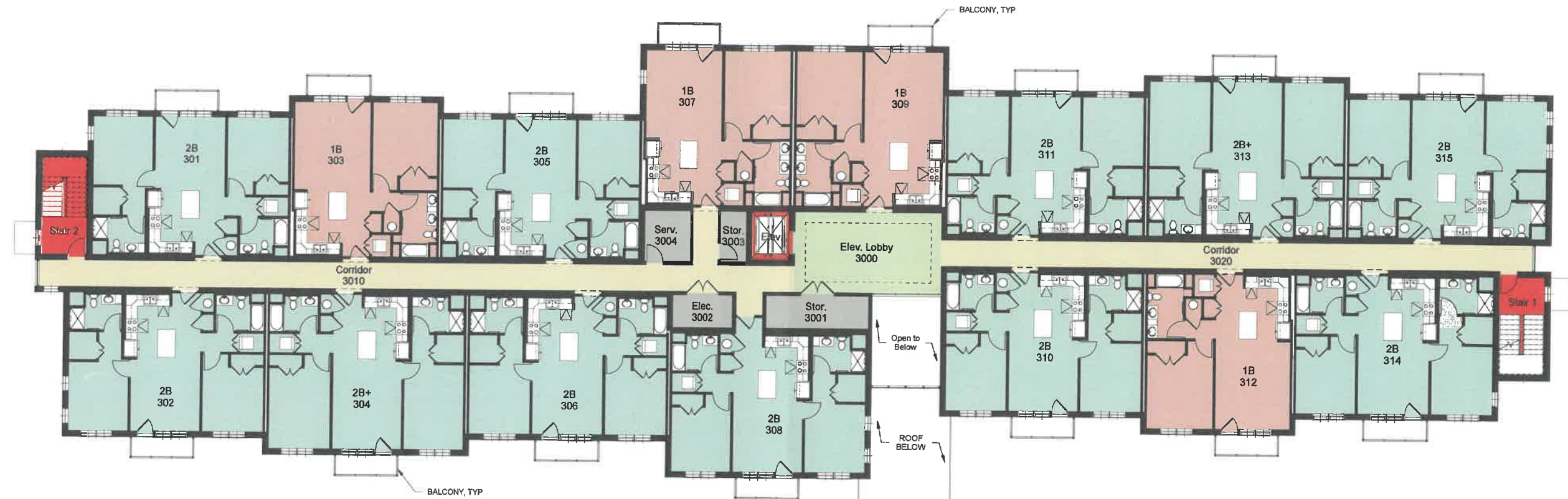
COLOR LEGEND

- 1 Bedroom Apt.
- 2 Bedroom Apt.
- Office
- Commons
- Service
- Corridors
- Vertical Circulation



COLOR LEGEND

- 1 Bedroom Apt.
- 2 Bedroom Apt.
- Office
- Commons
- Service
- Corridors
- Vertical Circulation





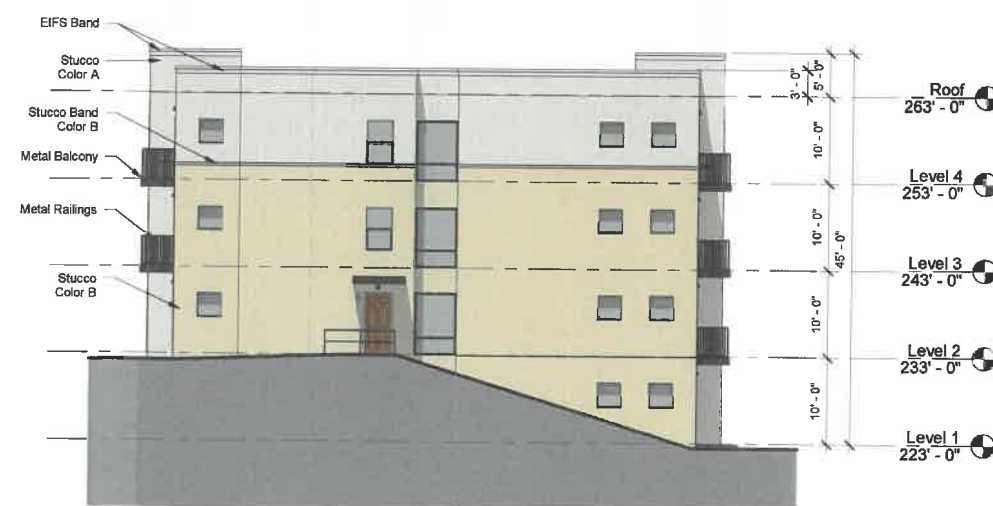
① West Elevation
3/32" = 1'-0"



② East Elevation
3/32" = 1'-0"



③ North Elevation
3/32" = 1'-0"



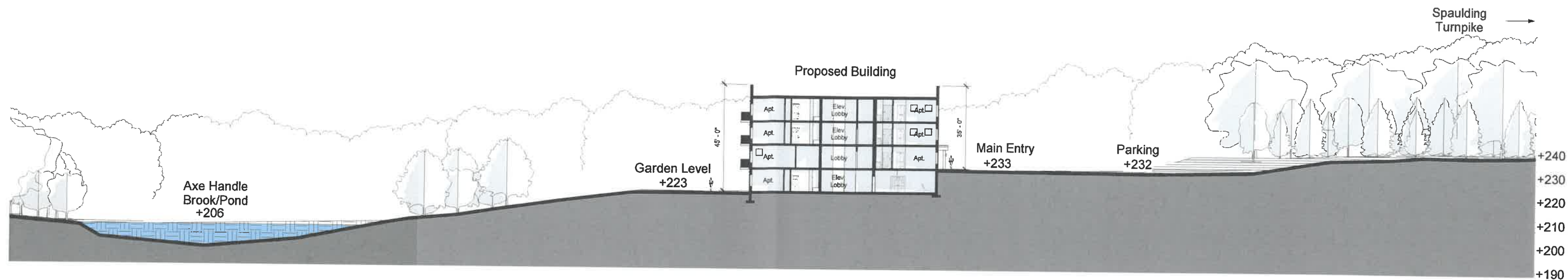
④ South Elevation
3/32" = 1'-0"



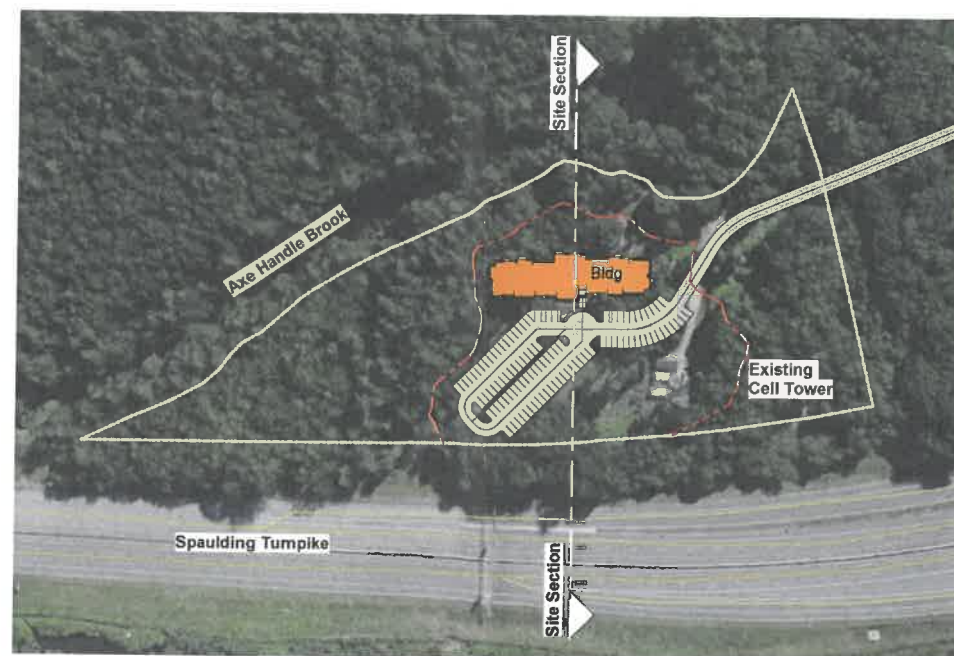
Wadleigh Road Apts

Wadleigh Rd.
 Rochester, NH

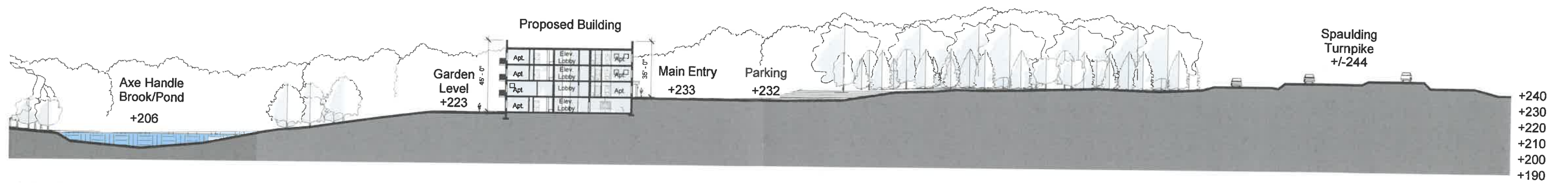
Rendering



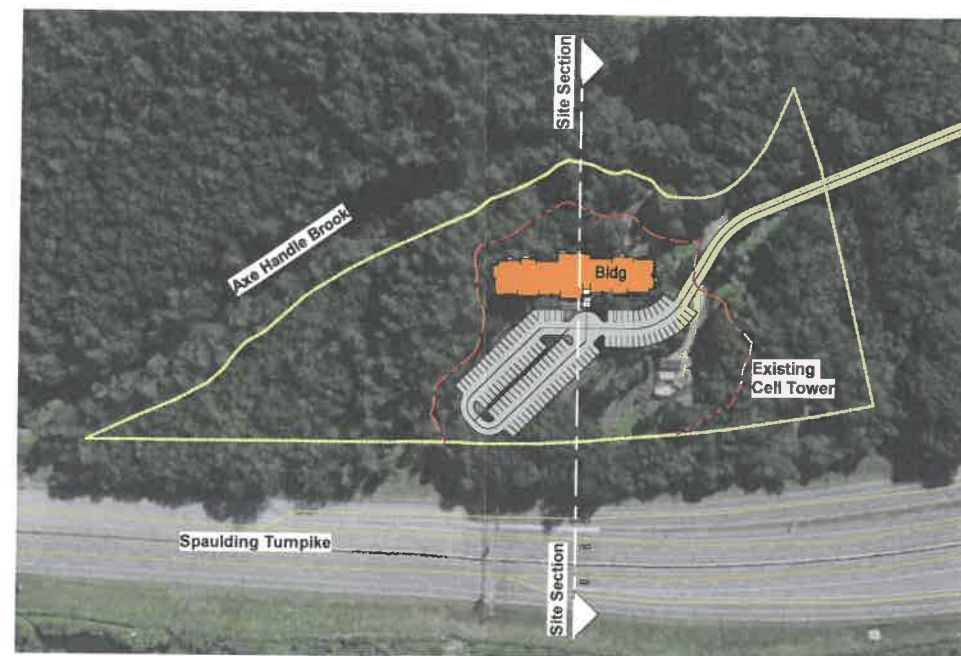
1 Site Section
1" = 20'-0"



KEY PLAN

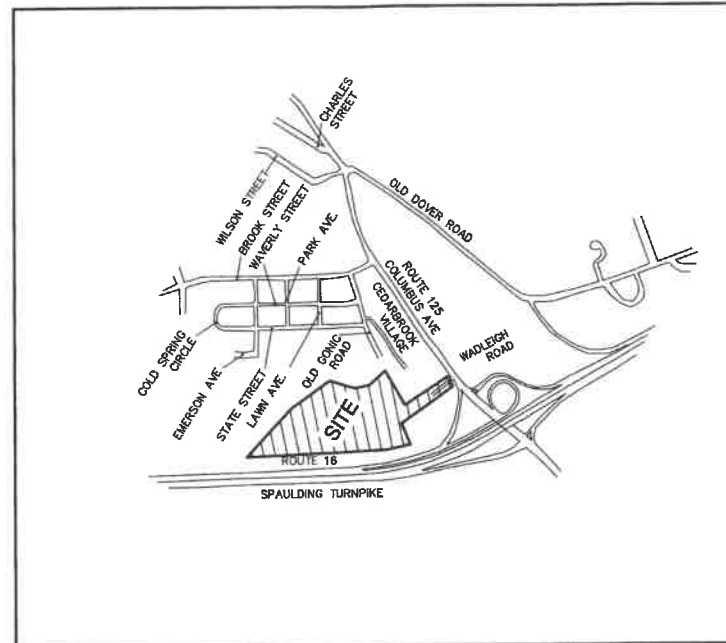


① Site Section to Turnpike
1" = 30'-0"



KEY PLAN

GENERAL LEGEND		
EXISTING	PROPOSED	DESCRIPTION
----	----	PROPERTY LINES
----	----	SETBACK LINES
----	----	CENTERLINE
----	----	FRESHWATER WETLANDS LINE
----	----	STREET CHANNEL
----	----	TREE LINE
----	----	STONEWALL
----	----	FENCE
----	----	SOIL BOUNDARY
----	----	FLOOD PLAIN LINE
----	----	EASEMENT
100	100	MAJOR CONTOUR
SB	SB	MINOR CONTOUR
----	----	EDGE OF PAVEMENT
----	----	VERTICAL GRANITE CURB
----	----	SLOPE GRANITE CURB
X	X	SLOPE FENCE
----	----	DRAINAGE LINE
S	S	SEWER LINE
----	----	GAS LINE
----	----	WATER LINE
----	----	WATER SERVICE
----	----	OVERHEAD ELECTRIC
----	----	UNDERGROUND ELECTRIC
----	----	GUARDRAIL
----	----	UNDERDRAIN
----	----	FIRE PROTECTION LINE
----	----	THRUST BLOCK
----	----	IRON PIPE/IRON ROD
----	----	DRILL HOLE
----	----	IRON ROD/DRILL HOLE
----	----	STONE/GRANITE SOUND
100.00	100.00	PAVEMENT SPOT GRADE
----	----	BERM (BTR)
TP 1	TP 1	DOUBLE POST SIGN
----	----	SINGLE POST SIGN
TP 1	TP 1	TEST PIT
----	----	FAILED TEST PIT
----	----	MONITORING WELL
----	----	TREES AND BUSHES
----	----	UTILITY POLE
----	----	LIGHT POLES
----	----	DRAIN MANHOLE
----	----	SEWER MANHOLE
----	----	HYDRANT
----	----	WATER GATE
----	----	WATER SHUT OFF
----	----	REDUCER
----	----	SINGLE GRATE CATCH BASIN
----	----	DOUBLE GRATE CATCH BASIN
----	----	TRANSFORMER
----	----	CULVERT W/WWALLS
----	----	CULVERT W/FLARED END SECTION
----	----	CULVERT W/STRAIGHT HEADWALL
----	----	STONE CHECK DAM
----	----	DRAINAGE FLOW DIRECTION
----	----	WETLAND IMPACT
----	----	RIPRAP
----	----	OPEN WATER
----	----	FRESHWATER WETLANDS
----	----	STABILIZED CONSTRUCTION
----	----	ENTRANCE
----	----	CONCRETE
----	----	GRAVEL
----	----	SNOW STORAGE
----	----	RETAINING WALL



CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: BRAD JONES
EMAIL: BJONES@JONESANDBEACH.COM

TRAFFIC ENGINEER
STEPHEN G. PERNAW & COMPANY, INC.
P.O. BOX 1821
CONCORD, NH 03302
(603) 731-8500
CONTACT: STEPHEN G. PERNAW
EMAIL: SGP@PERNAW.COM

WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BUILDING 2, UNIT H
EXETER, NH 03833-7526
(603) 778-0644
CONTACT: JAMES GOVE
EMAIL: JGOVE@GESINC.BIZ

LANDSCAPE DESIGNER
LM LAND DESIGN, LLC
11 SOUTH ROAD
BRENTWOOD, NH 03833
(603) 770-7728
CONTACT: LISE McNAUGHTON
LMLANDDESIGN@GMAIL.COM

WATER AND SEWER
ROCHESTER DEPARTMENT OF PUBLIC WORKS
45 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 332-4096
CONTACT: MICHAEL BEZANSON, P.E.

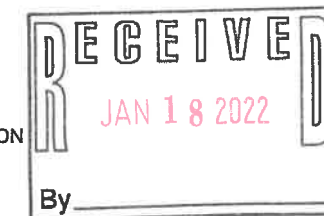
ELECTRIC
EVERSOURCE ENERGY
74 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 332-7507
CONTACT: PIERRE BOUGIE

TELEPHONE
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 879-5695

NATURAL GAS
UNITIL SERVICE CORP.
325 WEST ROAD
PORTSMOUTH, NH 03801
(603) 294-5261
MACLEAND@UNITIL.COM

CS	COVER SHEET
OVR EX	OVERVIEW EXISTING CONDITIONS PLAN
C1-C2	EXISTING CONDITIONS PLAN
OVR S	OVERVIEW SITE PLAN
C3-C4	SITE PLAN
C5-C6	GRADING AND DRAINAGE PLAN
C7	EROSION CONTROL PLAN
P1-P2	ROAD PLAN AND PROFILE
P3-P4	SEWER PROFILE
U1-U2	UTILITY PLAN
L1	LANDSCAPE PLAN
L2-L3	LIGHTING PLAN
D1-D5	DETAIL SHEETS
D6	SELECT CROSS SECTIONS
E1	EROSION AND SEDIMENT CONTROL DETAILS



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 137, LOT 35-1

APPLICANT
GROEN CONSTRUCTION
120 WASHINGTON STREET
SUITE 302
ROCHESTER NH 03839

TOTAL LOT AREA
8.4 ACRES±

APPROVED - ROCHESTER, NH
PLANNING BOARD

DATE: _____

4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/8/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ
REV	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

65 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

803-772-4748
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

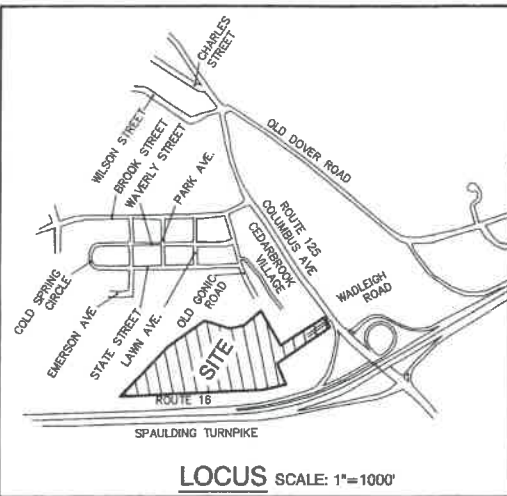
Plan Name:	COVER SHEET
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.

CS

SHEET 1 OF 26
THE PROJECT NO. 21137

PROJECT NAME AND LOCATION
JUBE # 21137 REVISION 12/14/21

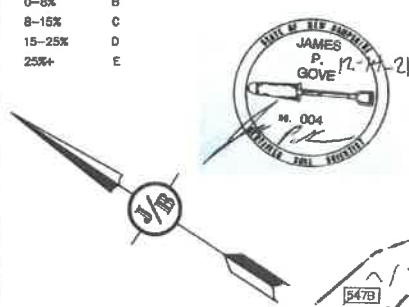


SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED NOVEMBER 2, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 29 WADLEIGH ROAD, ROCHESTER, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX. HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDROLOGIC SOIL GRP.
32	BOXFORD SILT LOAM	343	D
141	HOLLIS-ROCK OUTCROP-CHATFIELD COMPLEX	228	C
449	SCITUATE VERY STONY	323	C
547	WALPOLE VERY STONY	523	C

SLOPE PHASE:	
0-6%	B
6-15%	C
15-25%	D
25%+	E

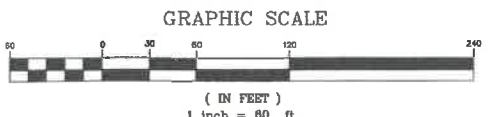
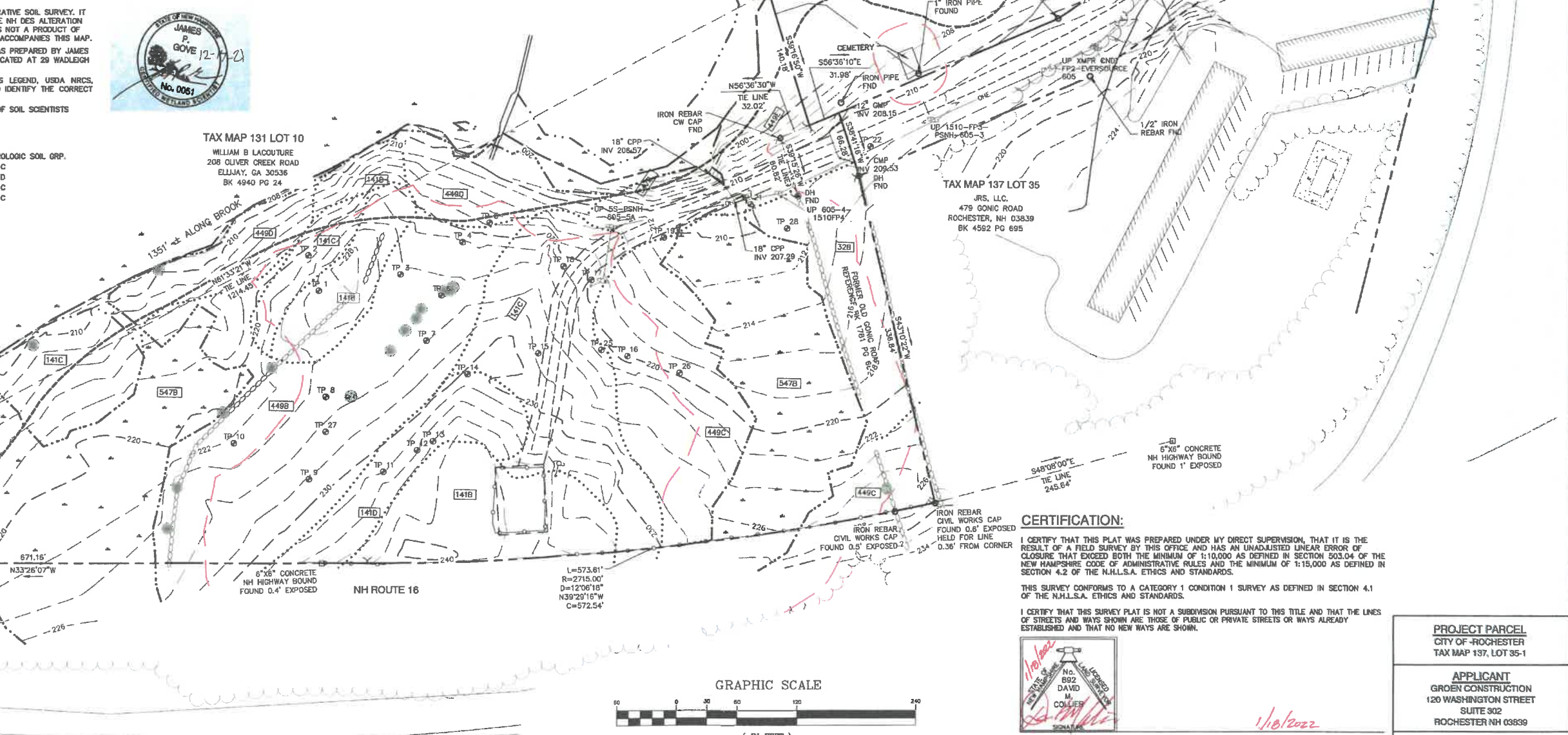


EXISTING CONDITIONS NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AND BOUNDARY ON TAX MAP 137, LOT 35-1. EXISTING CONDITIONS SURVEY WAS PERFORMED IN AUGUST THROUGH NOVEMBER, 2021.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- SUBJECT PROPERTY IS PARTIALLY LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33017 C0211D, DATED MAY 17, 2005.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL DURING SUMMER, 2021, USING (EQUIPMENT) AND IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE U.S. FISH AND WILDLIFE SERVICE.
- A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
- WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
- TEST PITS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC., 10/1/21.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- BASIS OF BEARING: HORIZONTAL - SPCS NH. VERTICAL - NAVD 88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF ROCHESTER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF ROCHESTER ASSESSOR'S OFFICE AND THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY THE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- THE EDGE OF BROOK AS SHOWN HEREON WAS HELD PER RECORD PLAN REFERENCE #1 AND DEED, HOWEVER RIPARIAN RIGHTS MAY EXTEND TO THE CENTER OF SAID BROOK.

PLAN REFERENCES:

- "PLAN OF LAND PARCEL NO. 5 TAX ASSESSOR'S MAP NO. 59 AND PARCEL NO. 2 TAX ASSESSOR'S MAP NO. 8 NEW HAMPSHIRE ROUTE 125 PREPARED FOR JEN-SOOT REALTY, INC.", PREPARED BY CIVILWORKS ENGINEERS AND SURVEYORS, DATED NOVEMBER 8, 1989 RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P37A-C28.
- "CEDARBROOK VILLAGE CONDOMINIUM DEVELOPMENT BOUNDARY SURVEY FOR ROUNHOUSE REALTY TRUST ROCHESTER, NH", PREPARED BY BERRY CONST. CO., INC.; DATED APRIL 23, 1986; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P23-059.
- "THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, PROJECT NO. 10820-D, SPAULDING TURNPIKE, NH ROUTE 16" BY STANTEC, SCALE 1"=50', DATED JANUARY 11, 2011, PLAN 10820-D ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBMISSION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/18/2022

Design: LAZ	Draft: LAZ	Date: 9/6/21
Checked: BAJ	Scale: 1"=30'	Project No.: 21137
Drawing Name: 21137-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

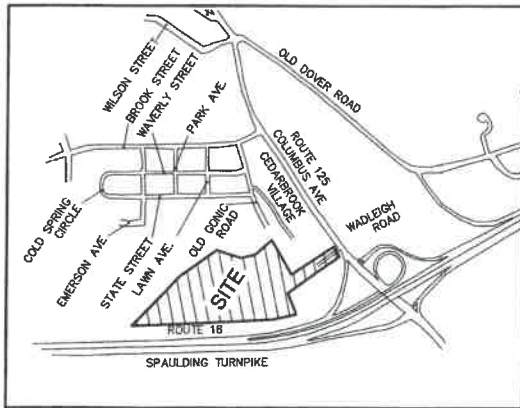


REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/8/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

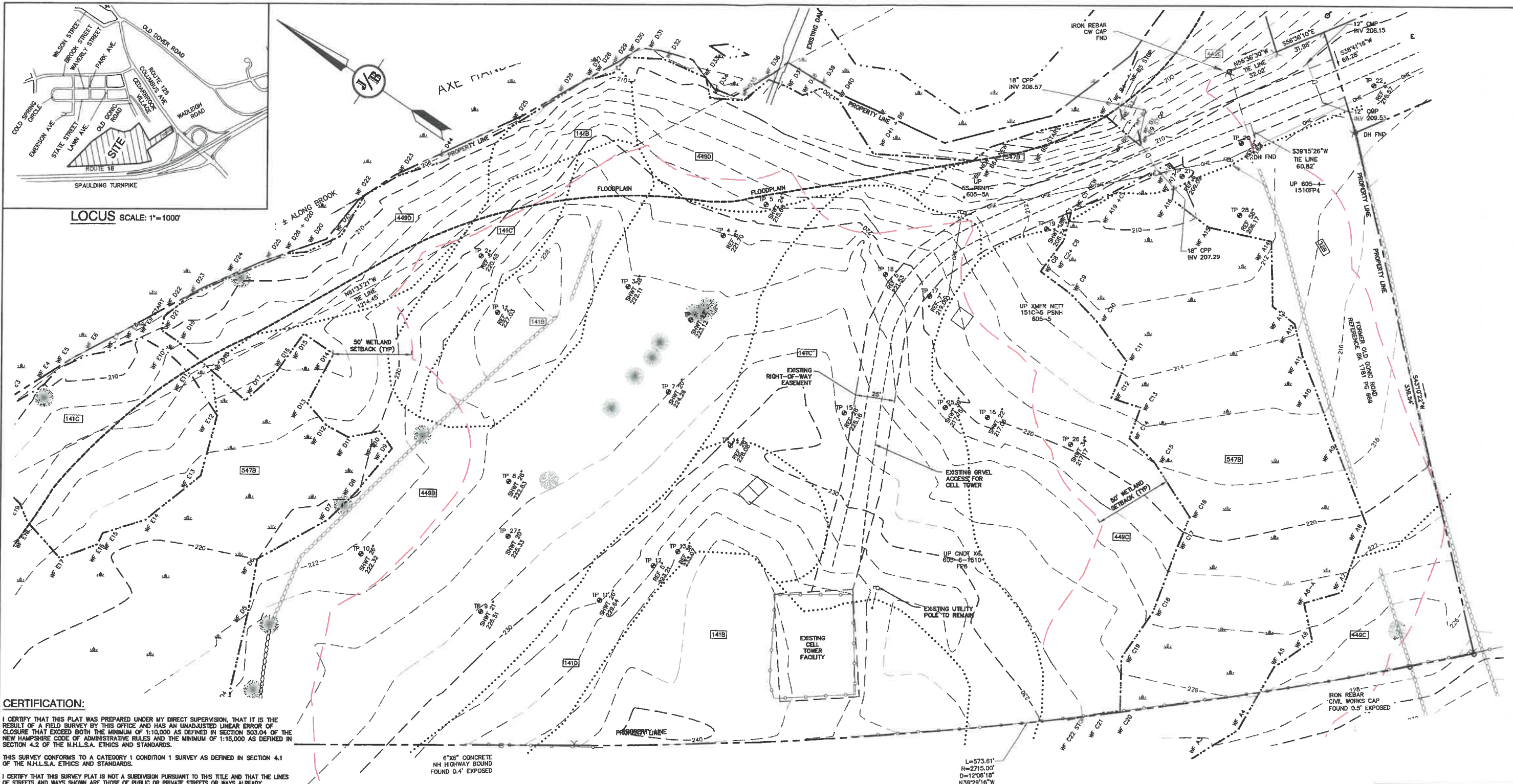
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS OVERVIEW PLAN
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
OVR EX
SHEET 2 OF 28
JBE PROJECT NO. 21137



LOCUS SCALE: 1"=1000'



CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

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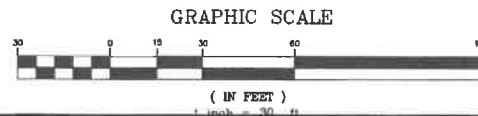


DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:



NH ROUTE 16



Design: LAZ Draft: LAZ Date: 9/8/21
Checked: BAJ Scale: 1"=30' Project No.: 21137
Drawing Name: 21137-PLAN.dwg
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REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/8/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**
Project: **WADLEY ROAD APARTMENTS
ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN
120 WASHINGTON STREET, ROCHESTER, NH 03839**

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 137, LOT 35-1

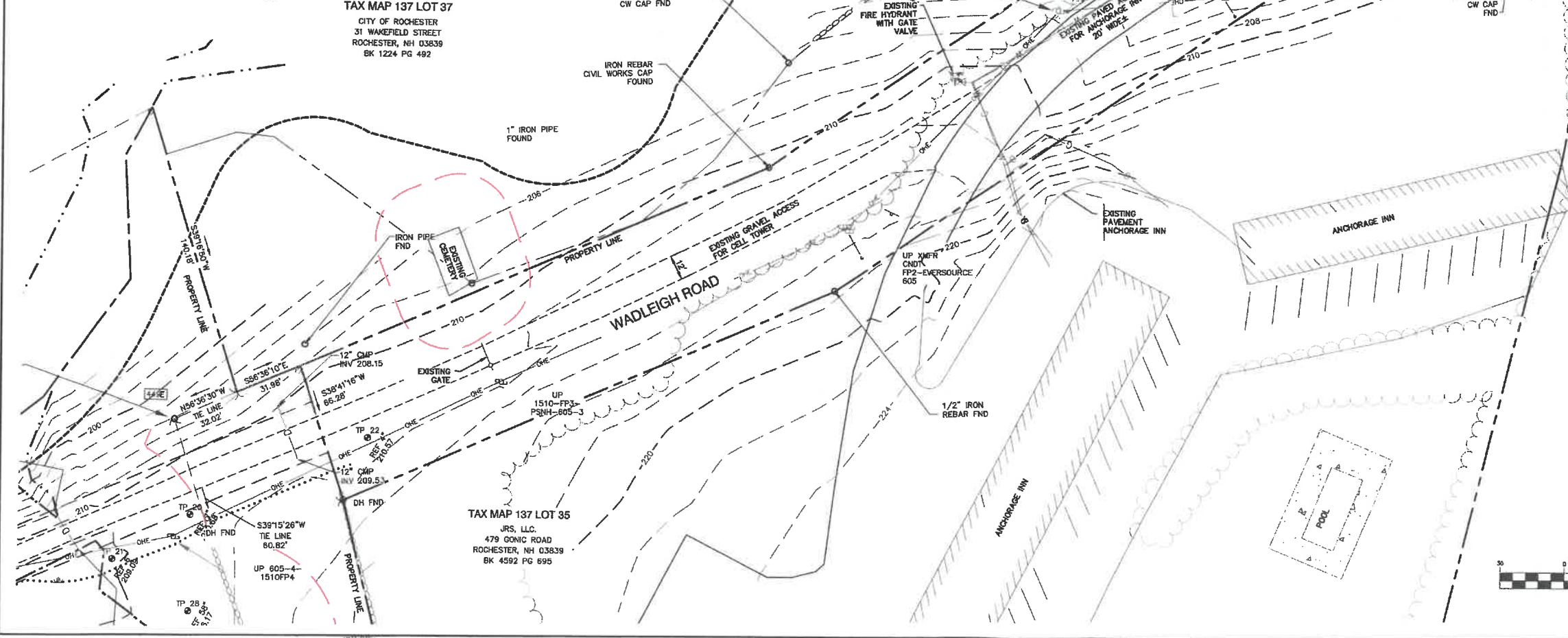
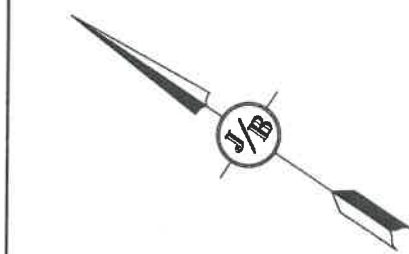
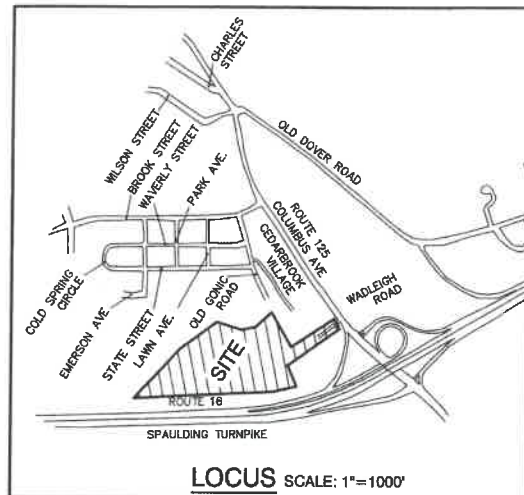
APPLICANT
GROEN CONSTRUCTION
120 WASHINGTON STREET
SUITE 302
ROCHESTER NH 03839

TOTAL LOT AREA
8.4 ACRES±

DRAWING No.

C1

SHEET 3 OF 26
JBE PROJECT NO. 21137



CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

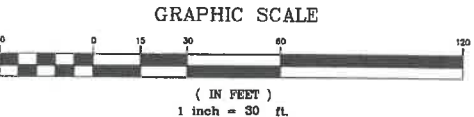
THIS SURVEY CONFORMS TO A CATEGORY 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBMISSION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/12/2022



Design: LAZ Draft: LAZ Date: 9/8/21
Checked: BAJ Scale: 1"=30' Project No.: 21137
Drawing Name: 21137-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



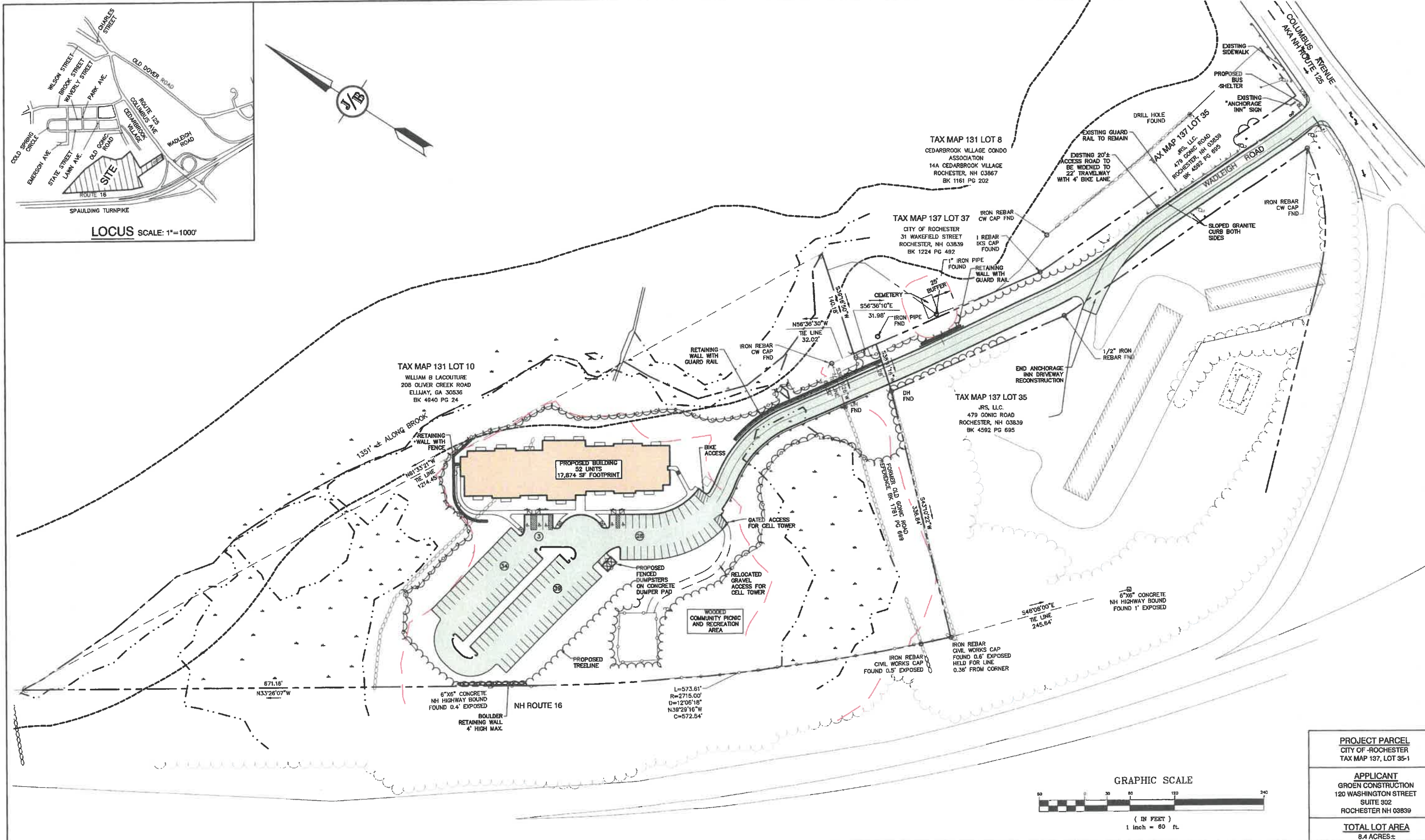
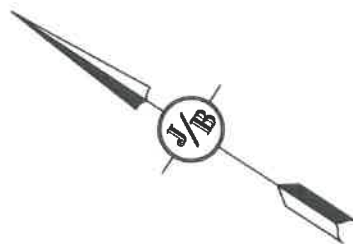
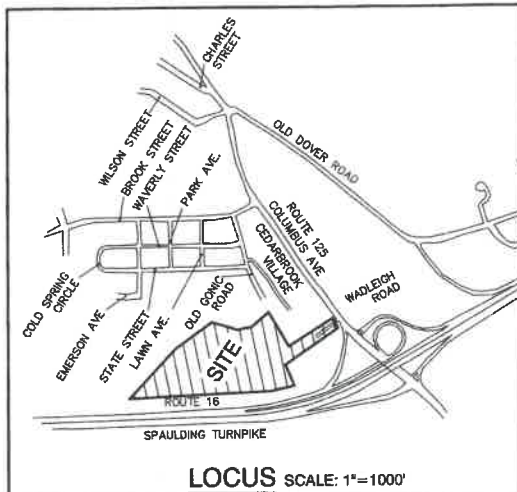
REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
C2
SHEET 4 OF 26
JBE PROJECT NO. 21137

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 137, LOT 35-1
APPLICANT GROEN CONSTRUCTION 120 WASHINGTON STREET SUITE 302 ROCHESTER NH 03839
TOTAL LOT AREA 8.4 ACRES±

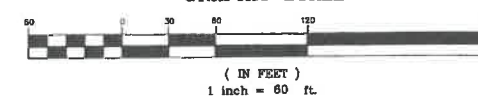


PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 137, LOT 35-1

APPLICANT
GROEN CONSTRUCTION
120 WASHINGTON STREET
SUITE 302
ROCHESTER NH 03839

TOTAL LOT AREA
8.4 ACRES±

GRAPHIC SCALE



Design: LAZ Draft: LAZ Date: 9/8/21
Checked: BAJ Scale: 1"=30' Project No.: 21137
Drawing Name: 21137-PLAN.dwg
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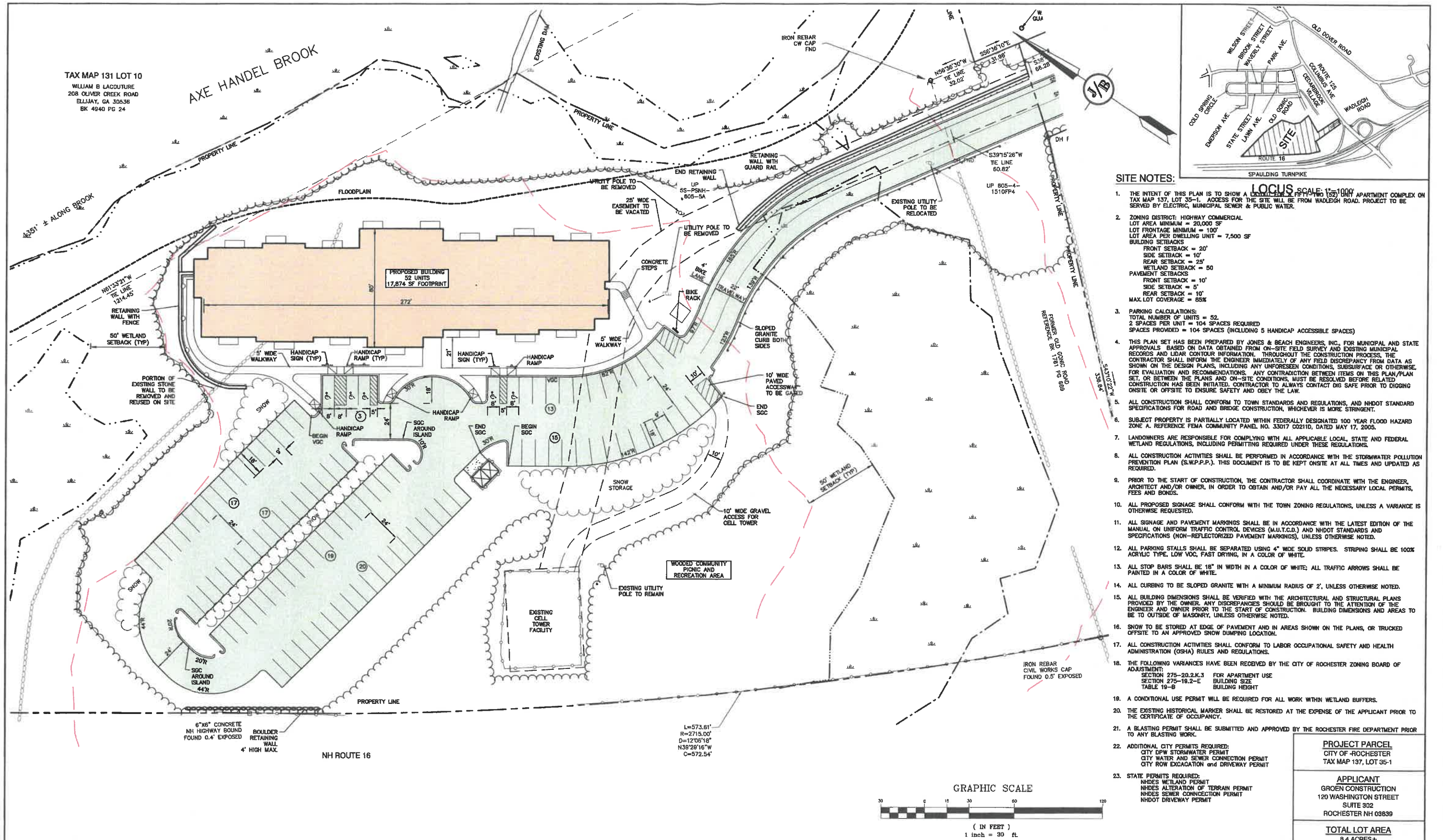


REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW SITE PLAN**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No.
C2
SHEET 5 OF 26
JBE PROJECT NO. 21137



Design: LAZ Draft: LAZ Date: 9/8/21
Checked: BAJ Scale: 1"=30' Project No.: 21137
Drawing Name: 21137-PLAN.dwg
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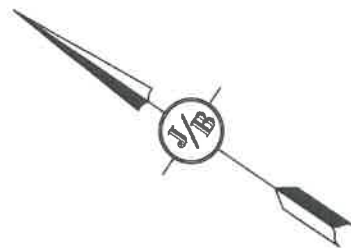
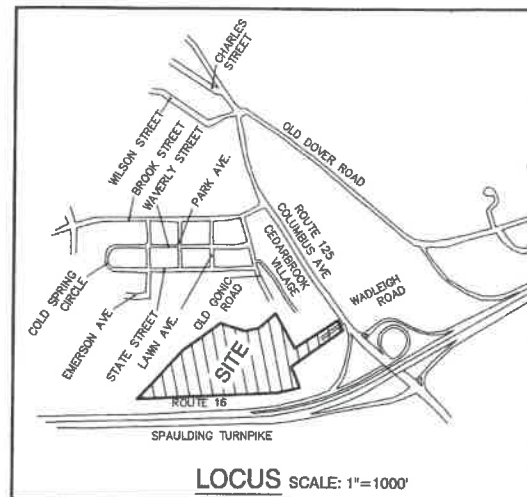


REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

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Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

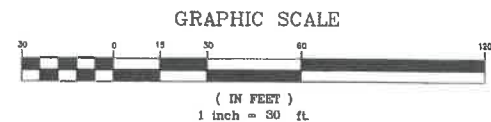
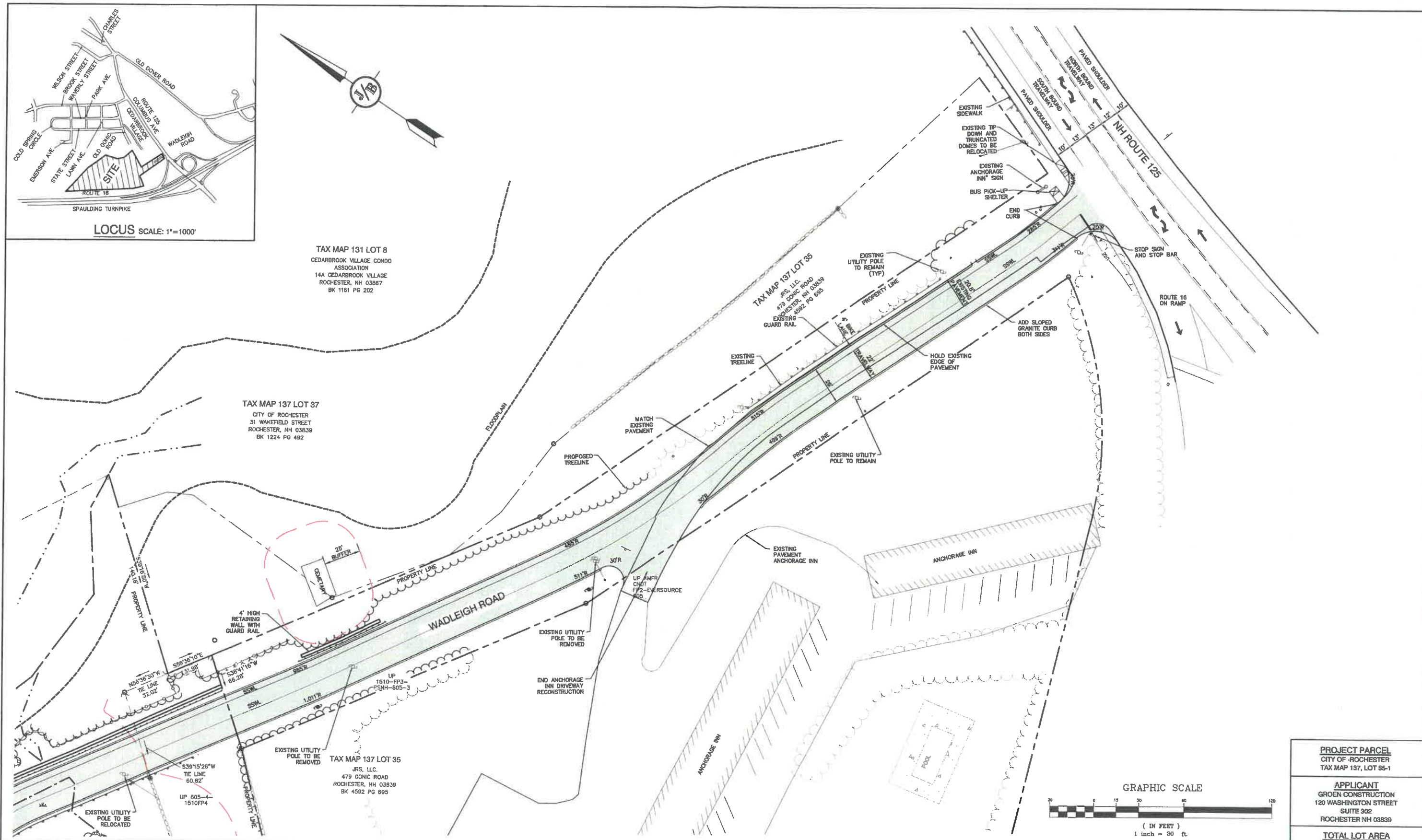
DRAWING No. **C3**
SHEET 6 OF 26
JBE PROJECT NO. 21137



TAX MAP 131 LOT 8
CEDARBROOK VILLAGE CONDO
ASSOCIATION
14A CEDARBROOK VILLAGE
ROCHESTER, NH 03867
BK 1161 PG 202

TAX MAP 137 LOT 37
CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03839
BK 1224 PG 492

TAX MAP 137 LOT 35
JRS, LLC
479 CONIC ROAD
ROCHESTER, NH 03839
BK 4582 PG 695



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 137, LOT 35-1

APPLICANT
GROEN CONSTRUCTION
120 WASHINGTON STREET
SUITE 302
ROCHESTER NH 03839

TOTAL LOT AREA
8.4 ACRES±

Design: LAZ Draft: LAZ Date: 9/8/21
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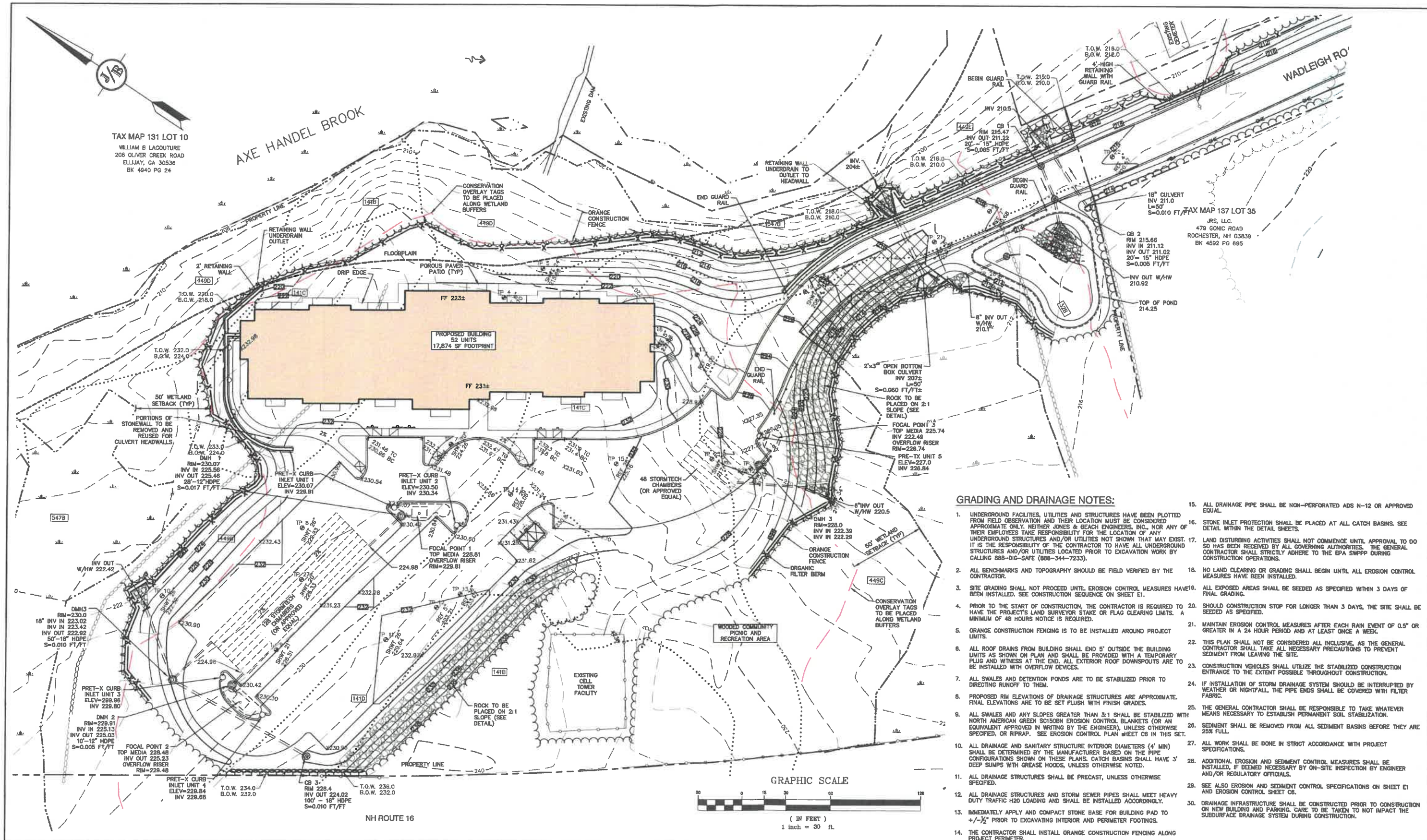


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Plan Name:	SITE PLAN
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
C4
SHEET 7 OF 26
JBE PROJECT NO. 21137



GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ORANGE CONSTRUCTION FENCING IS TO BE INSTALLED AROUND PROJECT LIMITS.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SCI508N EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED, OR RIPRAP. SEE EROSION CONTROL PLAN SHEET C6 IN THIS SET.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO $\pm 1/2$ " PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROJECT PERIMETER.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1 AND EROSION CONTROL SHEET C6.
- DRAINAGE INFRASTRUCTURE SHALL BE CONSTRUCTED PRIOR TO CONSTRUCTION ON NEW BUILDING AND PARKING. CARE TO BE TAKEN TO NOT IMPACT THE SUBSURFACE DRAINAGE SYSTEM DURING CONSTRUCTION.

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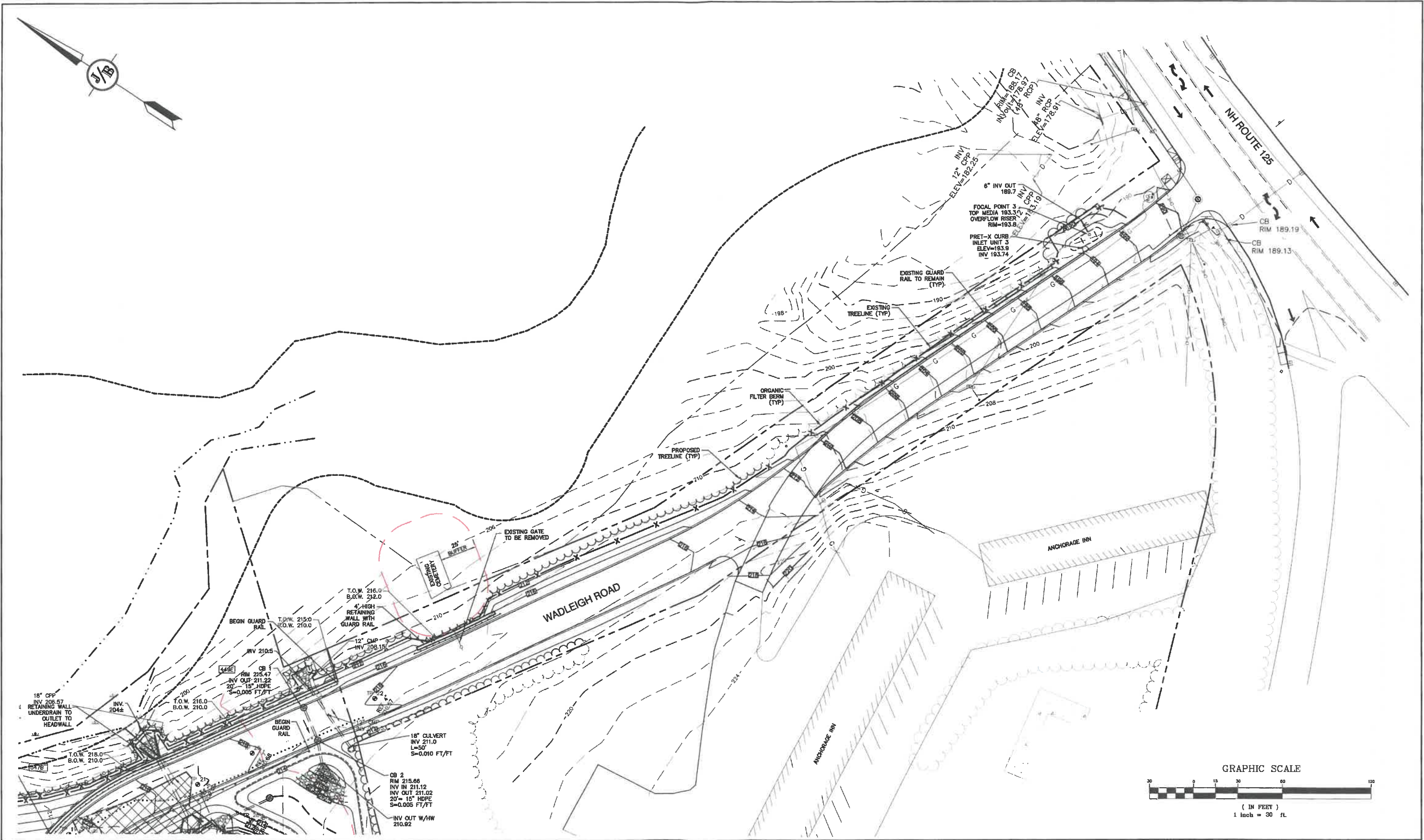


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Plan Name: **GRADING AND DRAINAGE PLAN**
 Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
 Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No. **C5**
 SHEET 8 OF 28
 JBE PROJECT NO. 21137



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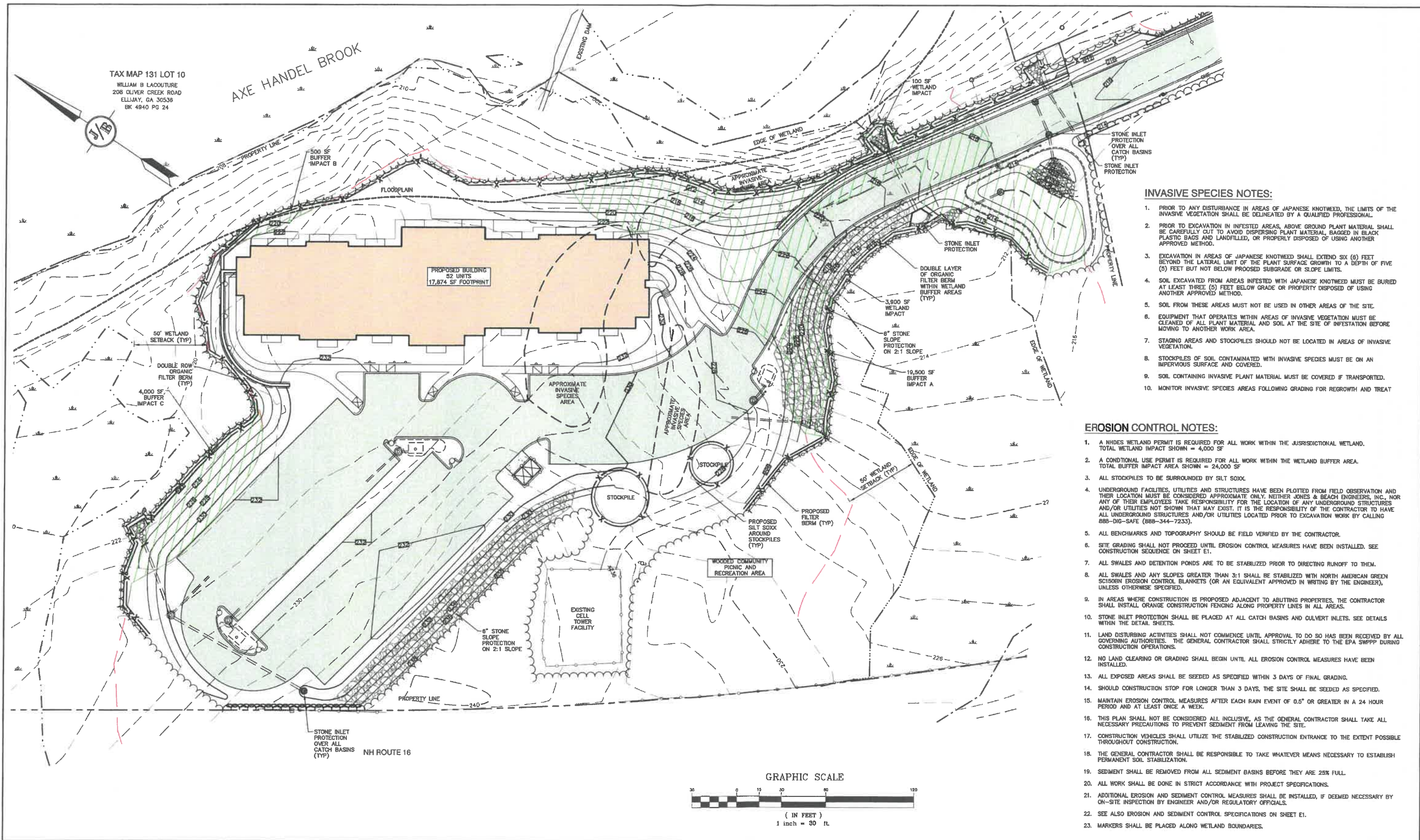
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Plan Name:	GRADING AND DRAINAGE PLAN
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
C6
 SHEET 9 OF 26
 JBE PROJECT NO. 21137



INVASIVE SPECIES NOTES:

1. PRIOR TO ANY DISTURBANCE IN AREAS OF JAPANESE KNOTWEED, THE LIMITS OF THE INVASIVE VEGETATION SHALL BE DELINEATED BY A QUALIFIED PROFESSIONAL.
2. PRIOR TO EXCAVATION IN INFESTED AREAS, ABOVE GROUND PLANT MATERIAL SHALL BE CAREFULLY CUT TO AVOID DISPERSING PLANT MATERIAL, BAGGED IN BLACK PLASTIC BAGS AND LANDFILLED, OR PROPERLY DISPOSED OF USING ANOTHER APPROVED METHOD.
3. EXCAVATION IN AREAS OF JAPANESE KNOTWEED SHALL EXTEND SIX (6) FEET BEYOND THE LATERAL LIMIT OF THE PLANT SURFACE GROWTH TO A DEPTH OF FIVE (5) FEET BUT NOT BELOW PROPOSED SUBGRADE OR SLOPE LIMITS.
4. SOIL EXCAVATED FROM AREAS INFESTED WITH JAPANESE KNOTWEED MUST BE BURIED AT LEAST THREE (3) FEET BELOW GRADE OR PROPERLY DISPOSED OF USING ANOTHER APPROVED METHOD.
5. SOIL FROM THESE AREAS MUST NOT BE USED IN OTHER AREAS OF THE SITE.
6. EQUIPMENT THAT OPERATES WITHIN AREAS OF INVASIVE VEGETATION MUST BE CLEANED OF ALL PLANT MATERIAL AND SOIL AT THE SITE OF INFESTATION BEFORE MOVING TO ANOTHER WORK AREA.
7. STAGING AREAS AND STOCKPILES SHOULD NOT BE LOCATED IN AREAS OF INVASIVE VEGETATION.
8. STOCKPILES OF SOIL CONTAMINATED WITH INVASIVE SPECIES MUST BE ON AN IMPERVIOUS SURFACE AND COVERED.
9. SOIL CONTAINING INVASIVE PLANT MATERIAL MUST BE COVERED IF TRANSPORTED.
10. MONITOR INVASIVE SPECIES AREAS FOLLOWING GRADING FOR REGROWTH AND TREAT

EROSION CONTROL NOTES:

1. A NHDES WETLAND PERMIT IS REQUIRED FOR ALL WORK WITHIN THE JURISDICTIONAL WETLAND. TOTAL WETLAND IMPACT SHOWN = 4,000 SF
2. A CONDITIONAL USE PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WETLAND BUFFER AREA. TOTAL BUFFER IMPACT AREA SHOWN = 24,000 SF
3. ALL STOCKPILES TO BE SURROUNDED BY SILT SOXK.
4. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
5. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
6. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
7. ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
8. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SC150BN EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
9. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS.
10. STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS AND CULVERT INLETS. SEE DETAILS WITHIN THE DETAIL SHEETS.
11. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
12. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
13. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
14. SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
15. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
16. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
17. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
19. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
21. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
22. SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
23. MARKERS SHALL BE PLACED ALONG WETLAND BOUNDARIES.

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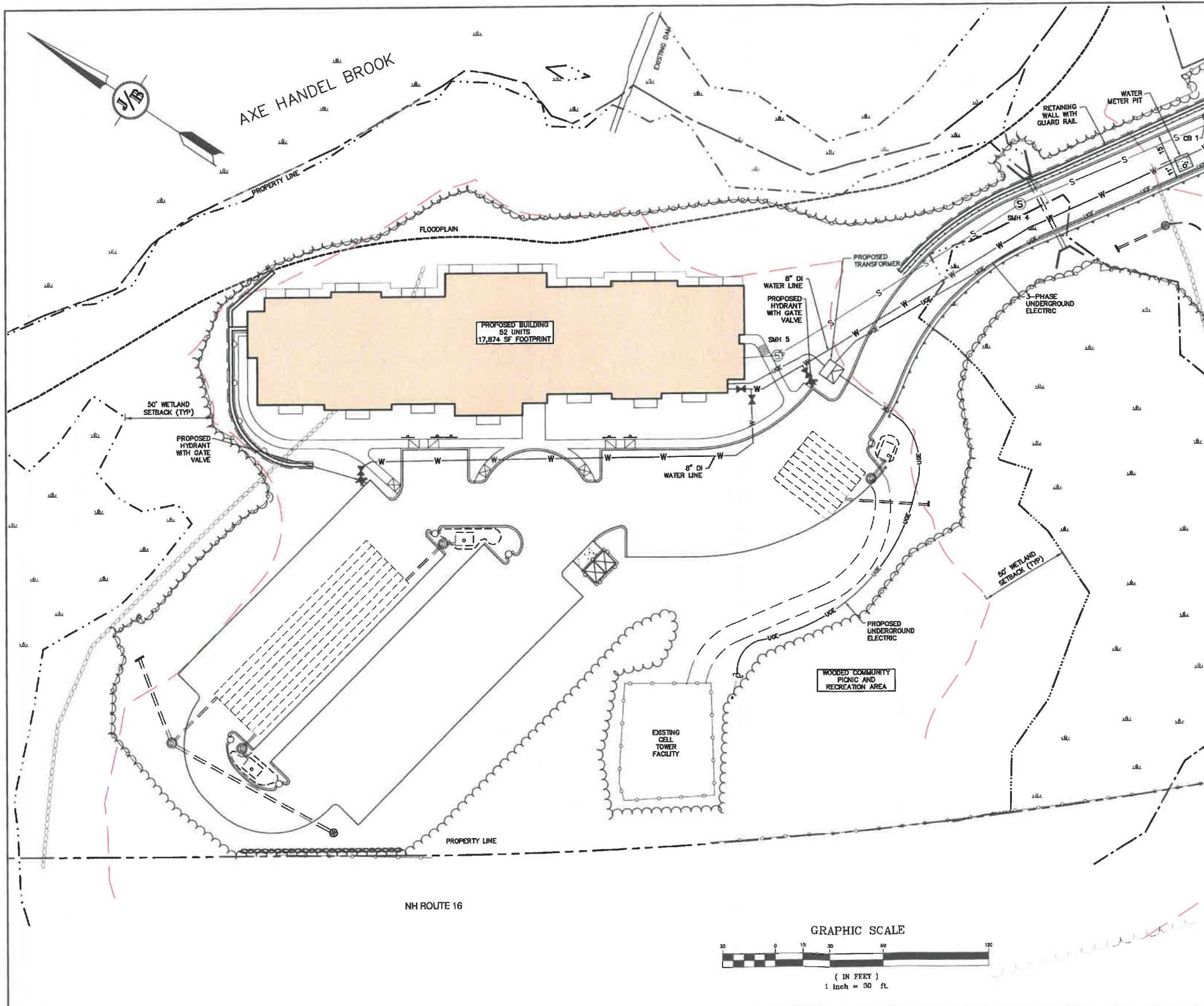


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Plan Name: **EROSION CONTROL PLAN**
Project: **WADLEIGH ROAD APARTMENTS
ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN
120 WASHINGTON STREET, ROCHESTER, NH 03839**

Drawing No.
C7
SHEET 10 OF 26
JBE PROJECT NO. 21137



UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL. UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- SANITARY SEWER FLOW CALCULATIONS:
38 - TWO BEDROOM UNITS @ 150 GPD/BEDROOM = 11,400 GPD
14 - ONE BEDROOM UNITS @ 150 GPD/BEDROOM = 2,100 GPD
TOTAL FLOW = 13,500 GPD
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISINFECTED BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO BUILDING. TESTABLE BACKFLOW PREVENTION DEVICES MUST BE REGISTERED WITH THE CITY UTILITY BILLING OFFICE. TEST RESULTS SHALL BE SUBMITTED TO UTILITY BILLING PRIOR TO DPW SIGN-OFF ON CERTIFICATE OF OCCUPANCY.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700. ADOPTED ON 10-15-14.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 8% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
- ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- DISINFECTION OF WATER MAINS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH AWWA STANDARD C651, LATEST EDITION. THE BASIC PROCEDURE TO BE FOLLOWED FOR DISINFECTING WATER MAINS IS AS FOLLOWS:
a. PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR.
b. REMOVE, BY FLUSHING OR OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAINS.
c. CHLORINATE ANY RESIDUAL CONTAMINANT THAT MAY REMAIN, AND FLUSH THE CHLORINATED WATER FROM THE MAIN.
d. PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
e. DETERMINE THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION.
f. MAKE FINAL CONNECTION OF THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM.

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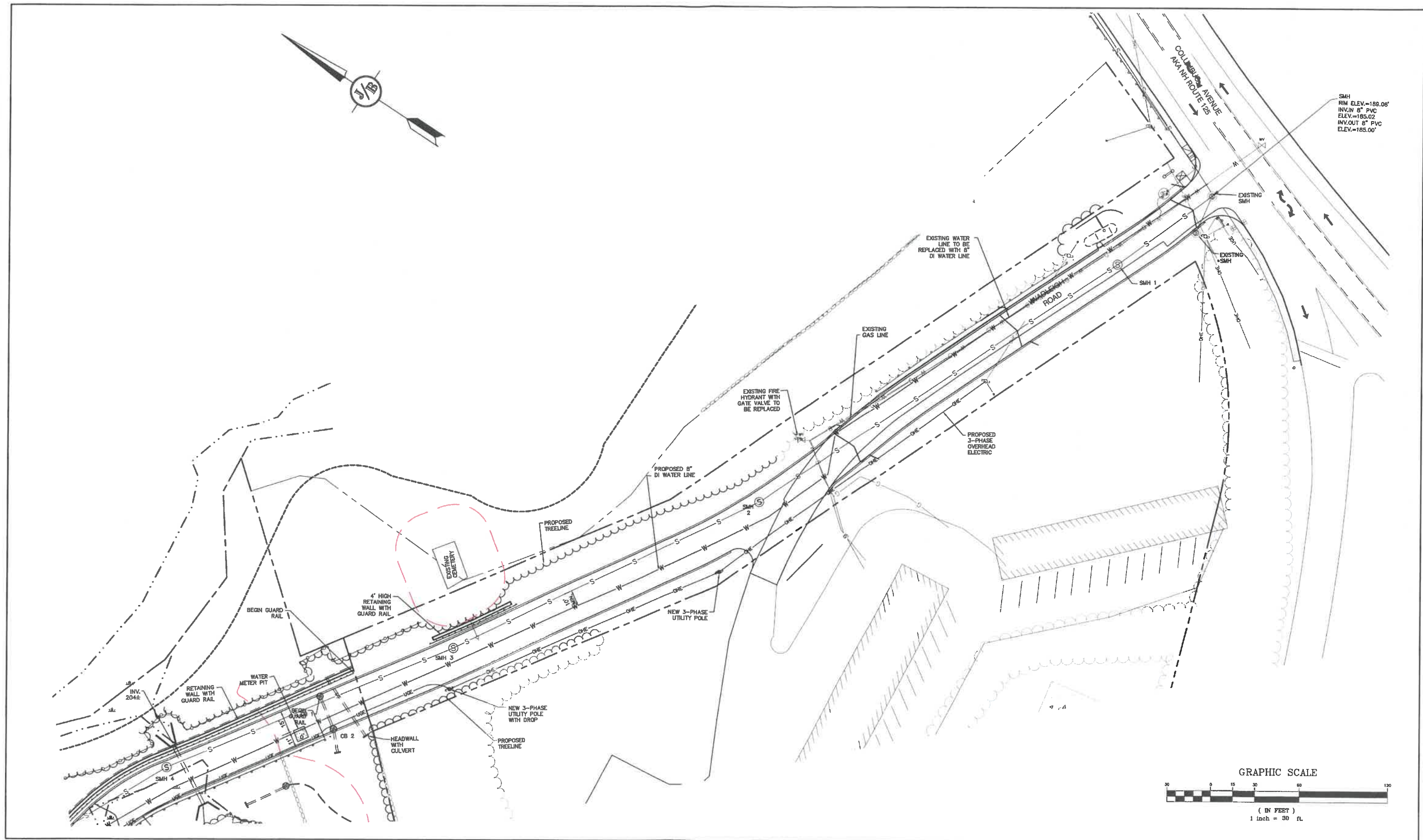


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2	12/8/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No.
U1
SHEET 11 OF 26
JBE PROJECT NO. 21137



Design: LAZ Draft: LAZ Date: 9/8/21
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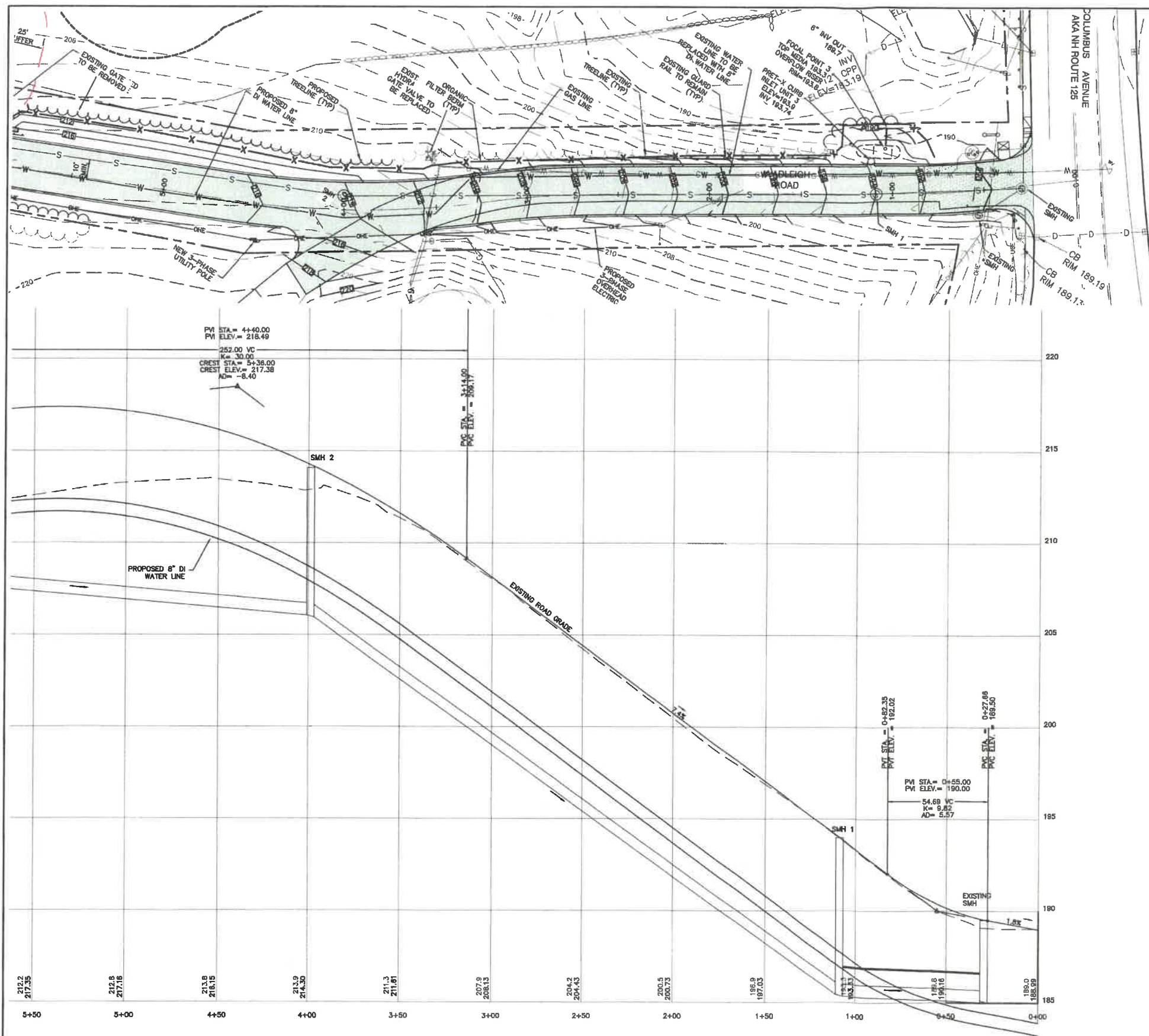


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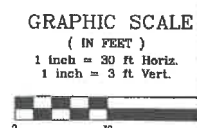
Plan Name: **UTILITY PLAN**
Project: **WADLEIGH ROAD APARTMENTS
ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN
120 WASHINGTON STREET, ROCHESTER, NH 03839**

Drawing No.
U2
SHEET 12 OF 28
JBE PROJECT NO. 21137



NOTES:

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT <http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm>. AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
- THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY DISCREPANCY BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
- ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
- FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURBS SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
- RETAINING WALLS SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL COORDINATE WITH MANUFACTURER PRIOR TO INSTALLATION.
- 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT. CONTRACTOR TO INCLUDE 3000 LF IN BID PRICE.
- ENGINEER TO INSTALL PERMANENT BENCHMARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
- DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
- ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
- DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
- THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
- EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OF ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-28% (IN TOTAL SAMPLE).
- EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
- COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.



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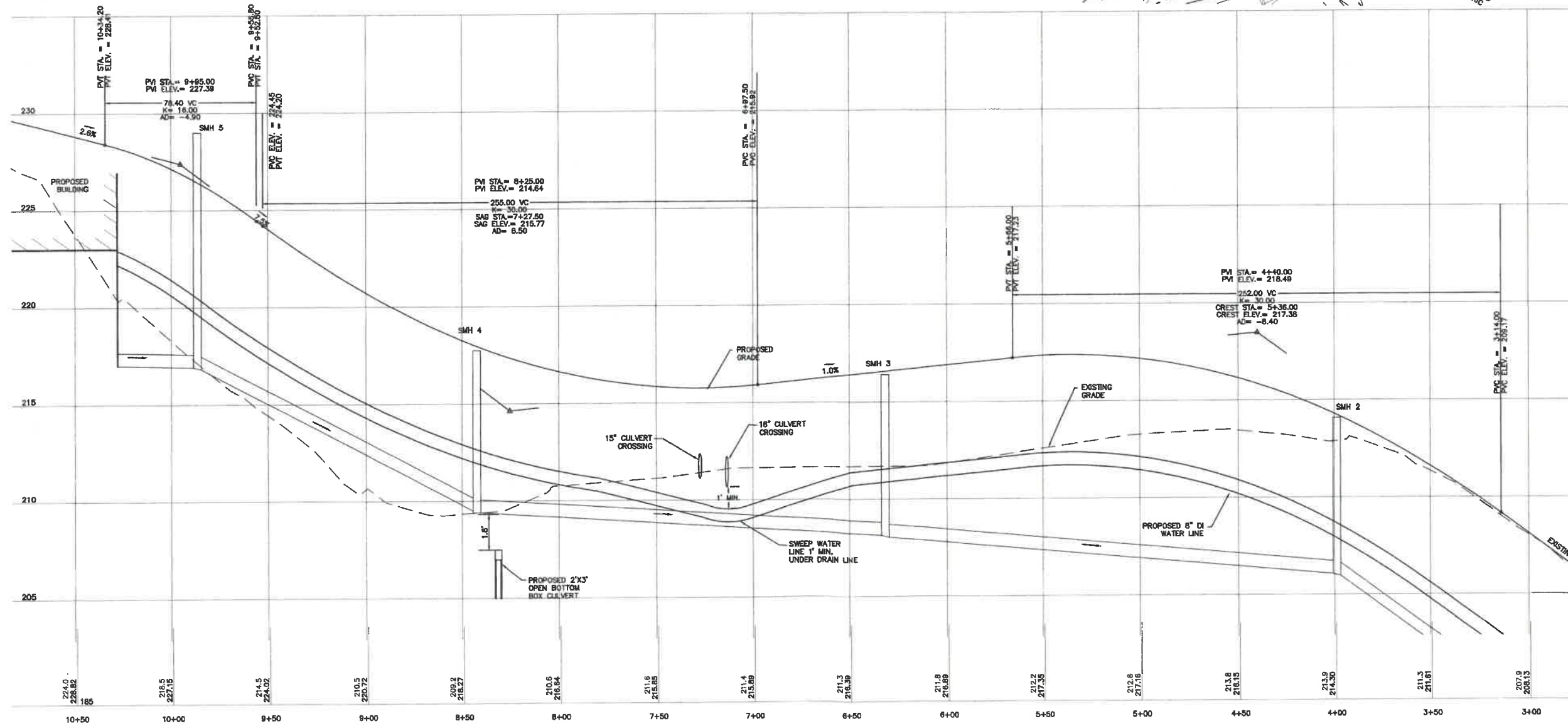
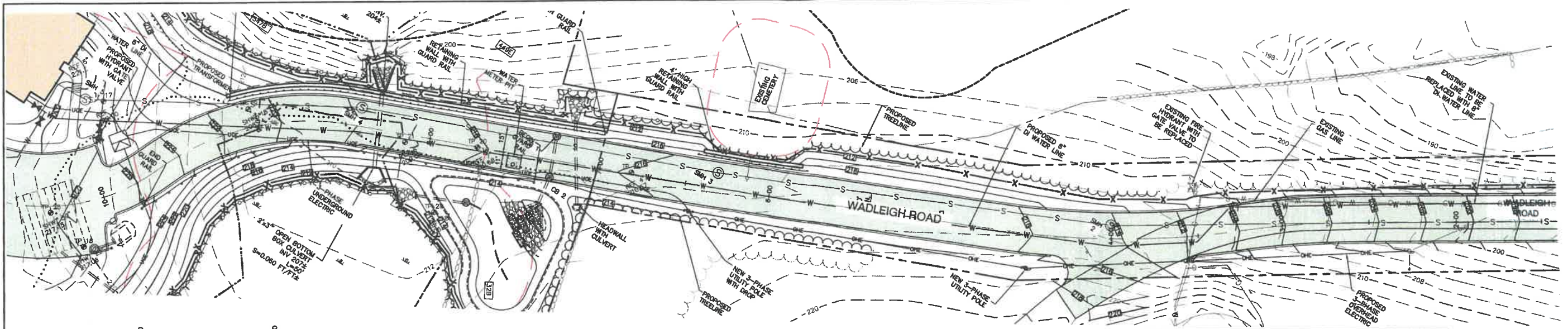
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN AND PROFILE
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.	P1
SHEET 13 OF 26	JBE PROJECT NO. 21137



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft Horiz.
1 inch = 3 ft Vert.

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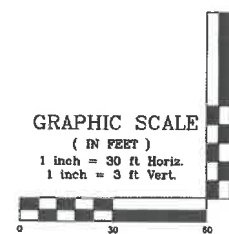
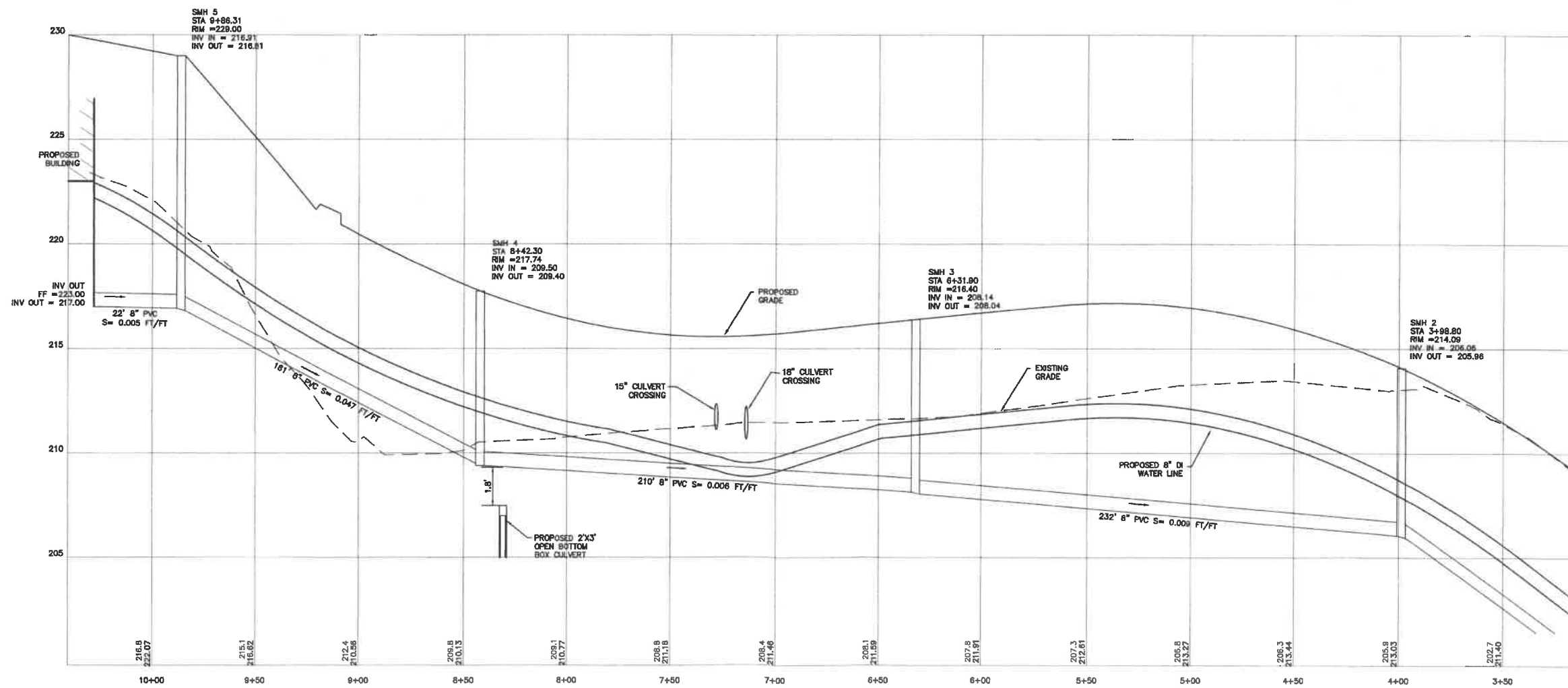
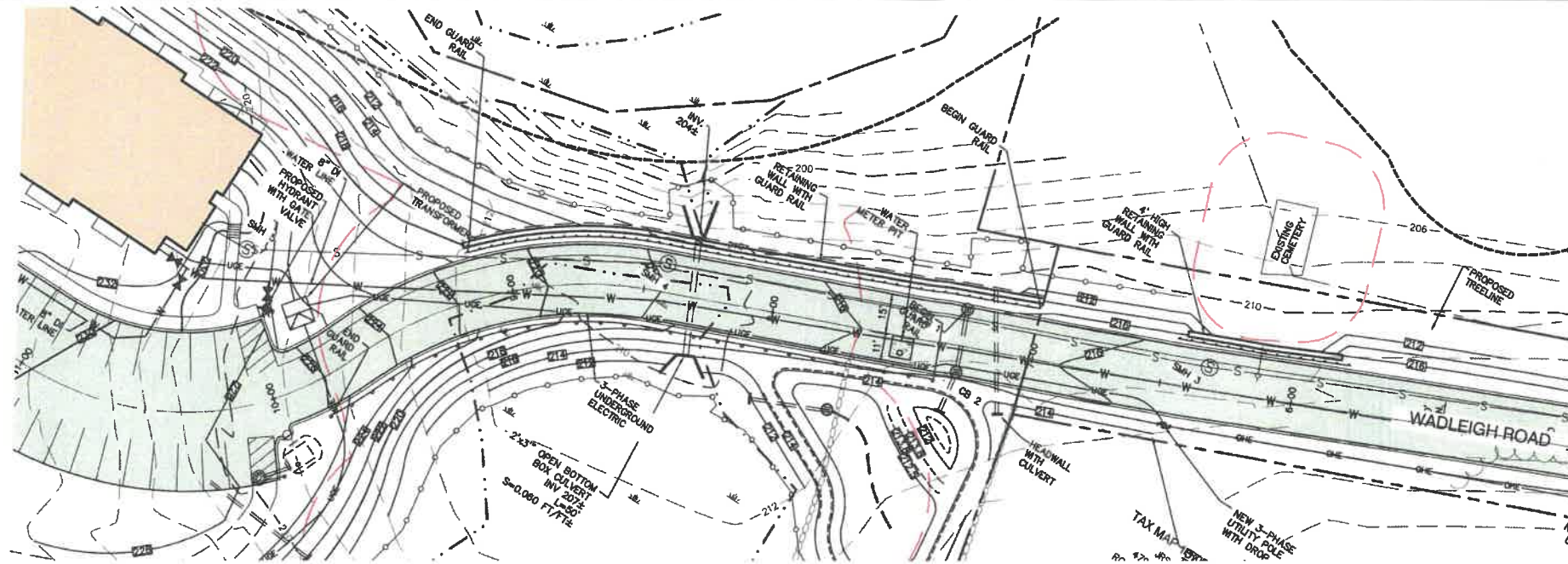


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Plan Name: **PLAN AND PROFILE**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No.
P2
SHEET 14 OF 26
JBE PROJECT NO. 21137



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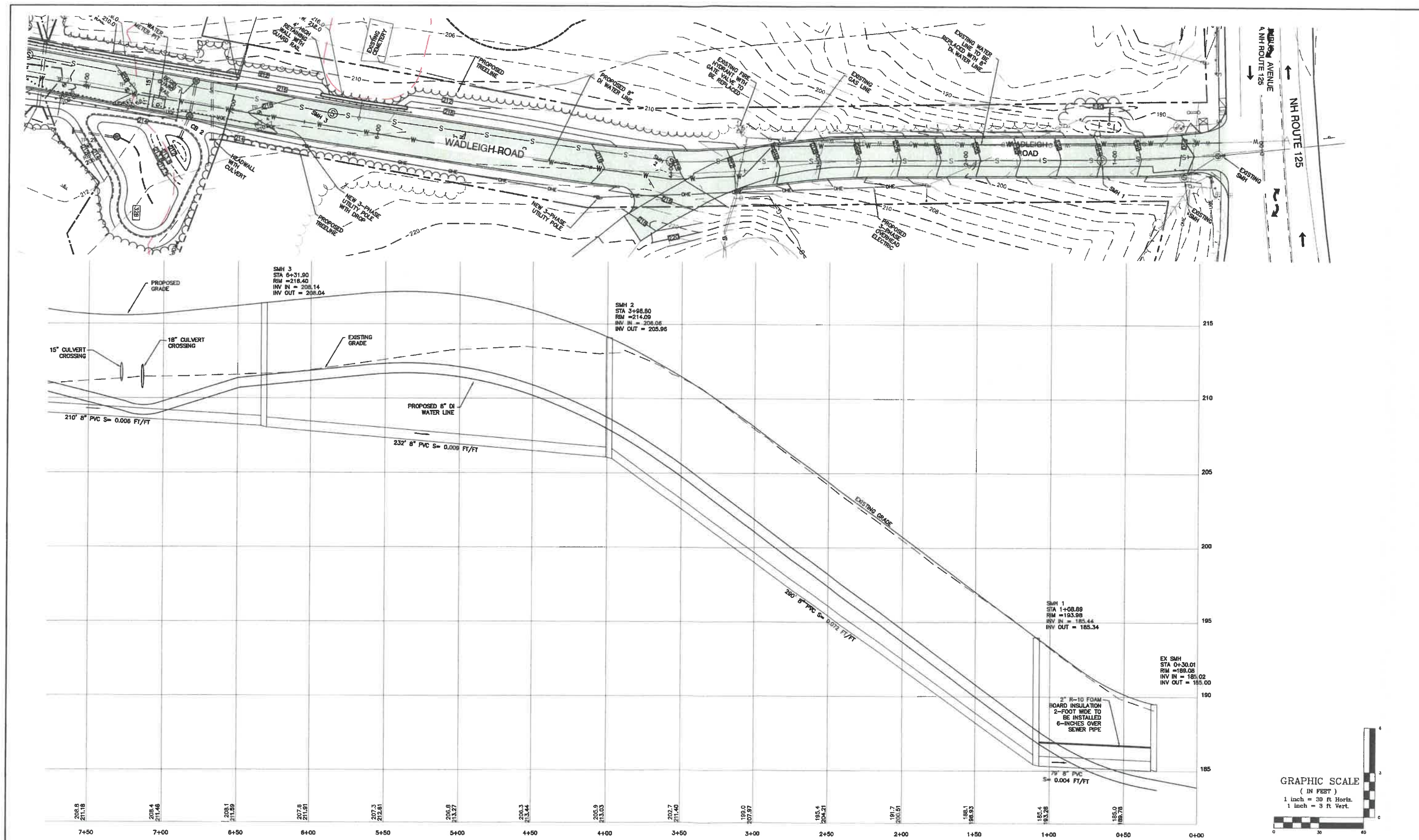


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REV.	DATE	REVISION	BY

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Plan Name: **SEWER PLAN AND PROFILE**
 Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
 Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No. **P3**
 SHEET 15 OF 26
 JBE PROJECT NO. 21137



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Plan Name:	SEWER PLAN AND PROFILE
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN

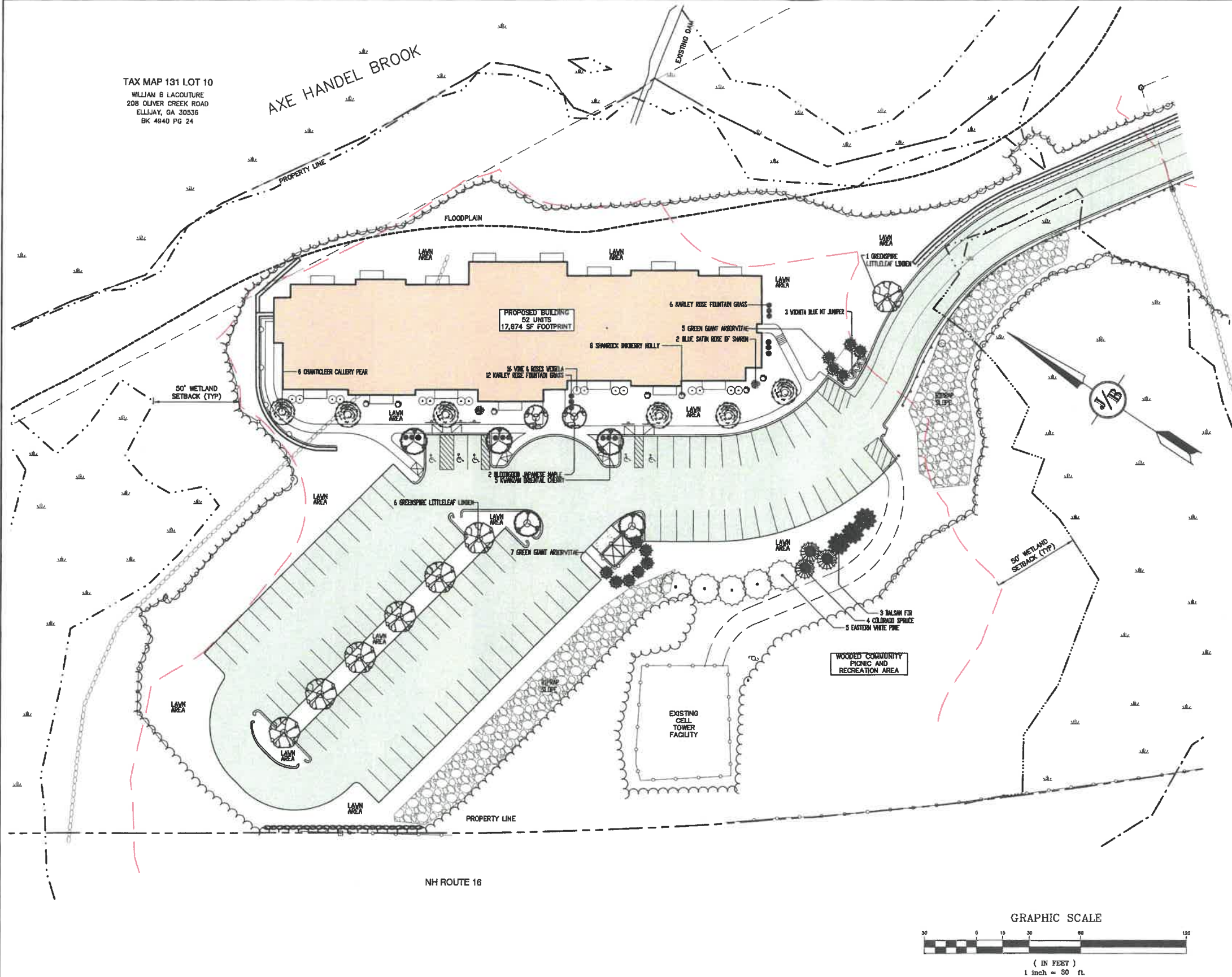
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P4

SHEET 16 OF 26

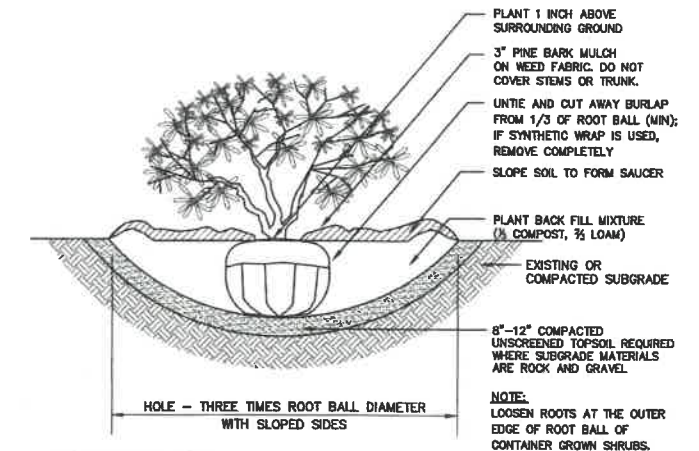
TAX MAP 131 LOT 10
WILLIAM B LACOUTURE
208 OLIVER CREEK ROAD
ELLIJAY, GA 30536
BK 4840 PG 24

AXE HANDEL BROOK



LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
4. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
5. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
6. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
7. ALL LANDSCAPING ON THE PLANS SHALL BE MAINTAINED AND DEAD OR DYING VEGETATION SHALL BE REPLACED IN A TIMELY MANNER.
8. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
9. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
10. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
11. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
12. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
13. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
14. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.



SHRUB PLANTING

NOT TO SCALE

WADLEIGH RD APARTMENT BUILDING PLANT LIST

Quantity	Botanical Name	Common Name	Size
3	Abies balsamea	BALSAM FIR	8-10 FT. HT.
2	Acer palmatum 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	15 GALLON
3	Juniperus scopulorum 'Wichita Blue'	WICHITA BLUE MT JUNIPER	7-8 FT. HT.
4	Picea pungens	COLORADO SPRUCE	8-10 FT. HT.
5	Pinus strobus	EASTERN WHITE PINE	10-12 FT. HT.
5	Prunus serrulata 'Kwanzan'	KWANZAN ORIENTAL CHERRY	2.5" CALIPER
6	Pyrus calleryana 'Chanticleer'	CHANTICLEER CALLERY PEAR	2.5" CALIPER
12	Thuja plicata 'Green Giant'	GREEN GIANT ARBORVITAE	7-8 FT. HT.
7	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" CALIPER
2	Hibiscus syriacus 'DVPazum'	BLUE SATIN ROSE OF SHARON	5 GALLON
8	Ilex glabra 'Shamrock'	SHAMROCK INKBERY HOLLY	5 GALLON
18	Pennisetum orientale 'Karley Rose'	KARLEY ROSE FOUNTAIN GRASS	2 GALLON
16	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	5 GALLON

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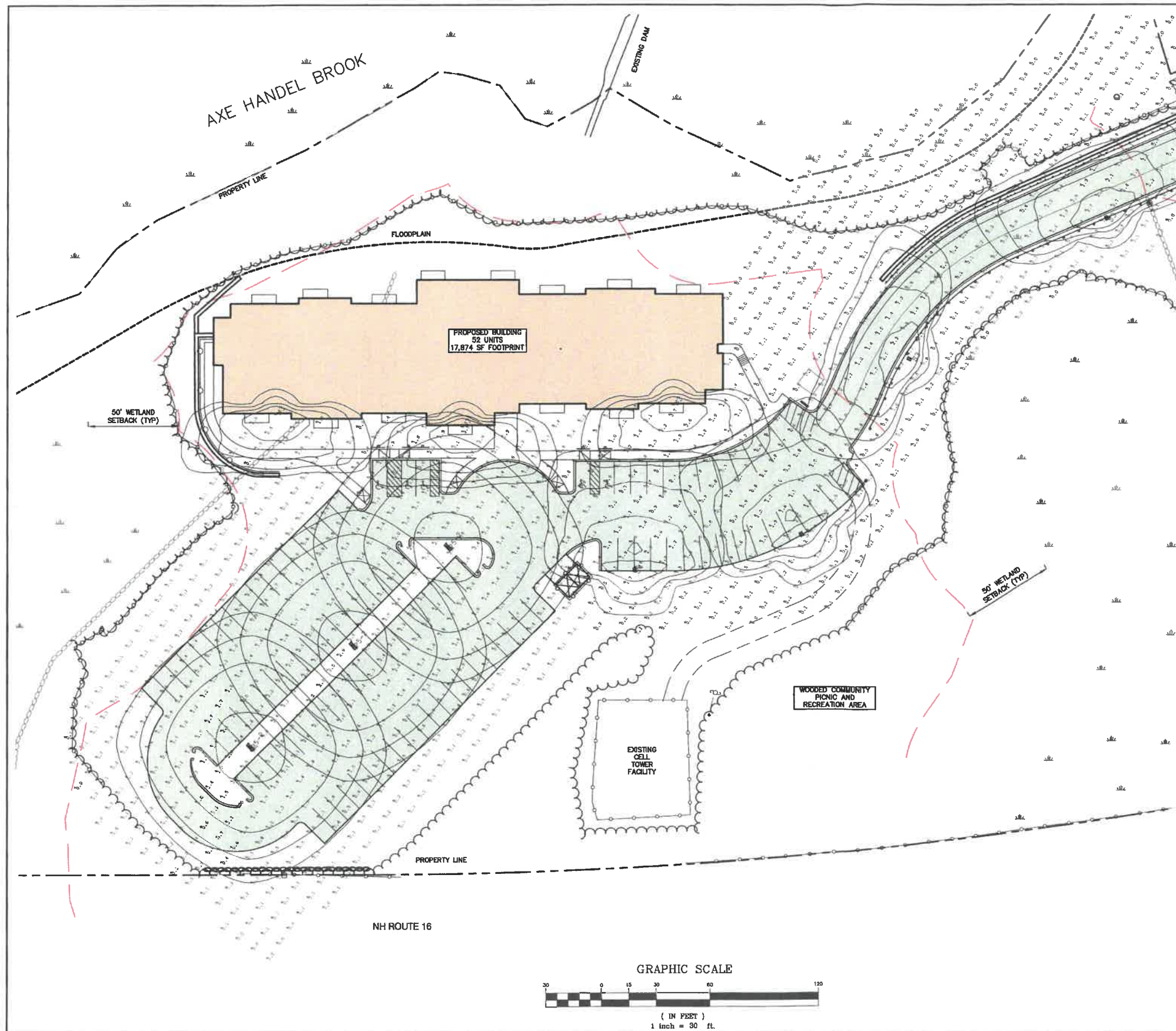


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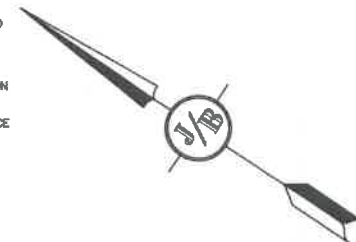
Plan Name: **LANDSCAPE PLAN**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No.
L1
SHEET 17 OF 26
JBE PROJECT NO. 21137



LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL OUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. NL INDICATES THAT THIS LUMINAIRE SHALL BE ON A NIGHT LIGHT CIRCUIT. FL INDICATES THAT THIS LUMINAIRE SHALL BE A FLOOD LIGHT FIXTURE. MOUNTING BRACKET FOR THIS FL FIXTURE SHALL BE MOUNTED 25' ABOVE BOTTOM OF POLE BASE FOR ALL LIGHT POLES CLOSEST TO STOREFRONT. THESE DESIGNATIONS INDICATE WHAT PHASE LIGHTS ARE WIRED TO (TYP).
9. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.



McGraw-Edison
GLEON Galleon
Area / Site Luminaire

Typical Applications:
Outdoor - Parking Lots, Walkways, Backyard, Building Entry

Product Certifications:
UL, ETL, cUL, CE, FCC, RoHS, REACH, Energy Star, DLC, ENEC, TUV, IEC, VDE, BSI, KEMA, SAA, JIS, CCC, CB, PSE, KC, GBT, BSMI, NRTL, and others.

Product Features:
• Ordering Information.pdf
• Mounting Details.pdf
• Optical Distribution.pdf
• Product Specifications.pdf
• Energy and Performance Data.pdf
• Control Options.pdf

Control Options:
• Photocell
• Manual On/Off
• Occupancy Sensor
• Time Switch

Dimensions:
18" H x 18" W x 18" D
24" H x 24" W x 24" D
30" H x 30" W x 30" D
36" H x 36" W x 36" D
42" H x 42" W x 42" D
48" H x 48" W x 48" D
54" H x 54" W x 54" D
60" H x 60" W x 60" D
66" H x 66" W x 66" D
72" H x 72" W x 72" D
78" H x 78" W x 78" D
84" H x 84" W x 84" D
90" H x 90" W x 90" D
96" H x 96" W x 96" D
102" H x 102" W x 102" D
108" H x 108" W x 108" D
114" H x 114" W x 114" D
120" H x 120" W x 120" D

COOPER Lighting

McGraw-Edison
GWC Galleon Wall
Wall Mount Luminaire

Typical Applications:
Building Wall - Walkway

Product Certifications:
UL, ETL, cUL, CE, FCC, RoHS, REACH, Energy Star, DLC, ENEC, TUV, IEC, VDE, BSI, KEMA, SAA, JIS, CCC, CB, PSE, KC, GBT, BSMI, NRTL, and others.

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102" H x 102" W x 102" D
108" H x 108" W x 108" D
114" H x 114" W x 114" D
120" H x 120" W x 120" D

COOPER Lighting

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	3	PS-2	Back-Back	GLEON-SA1D-740-U-5W0 / SSS4A20SFN2 (20' AFG)
	4	S3	Single	GLEON-SA1C-740-U-SL3 / SSS4A20SFN1 (20' AFG)
	2	S4	Single	GLEON-SA1C-740-U-T4FT / SSS4A20SFN1 (20' AFG)
	3	W3	Single	GWC-SA1A-740-U-SL3 / WALL MTD 15' AFG

Design: LAZ Draft: LAZ Date: 9/8/21
Checked: BAJ Scale: 1"=30' Project No: 21137
Drawing Name: 21137-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

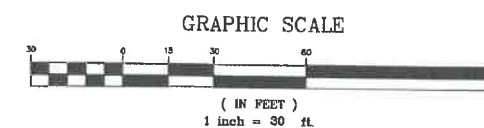
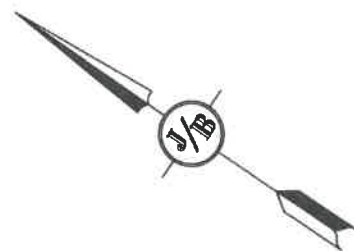
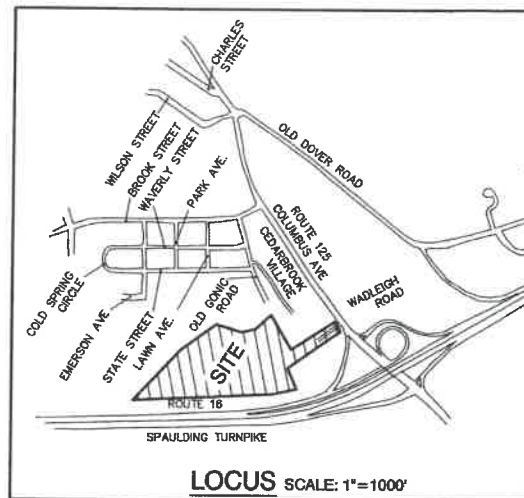


REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/9/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. P.O. Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**
Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No. **L2**
SHEET 18 OF 26
JBE PROJECT NO. 21137



Design: LAZ Draft: LAZ Date: 9/8/21
 Checked: BAJ Scale: 1"=30' Project No.: 21137
 Drawing Name: 21137-PLAN.dwg
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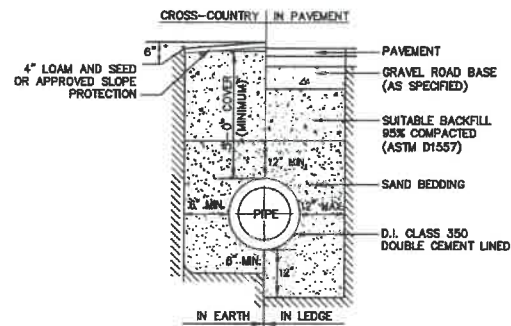


4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
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0	9/8/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
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 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
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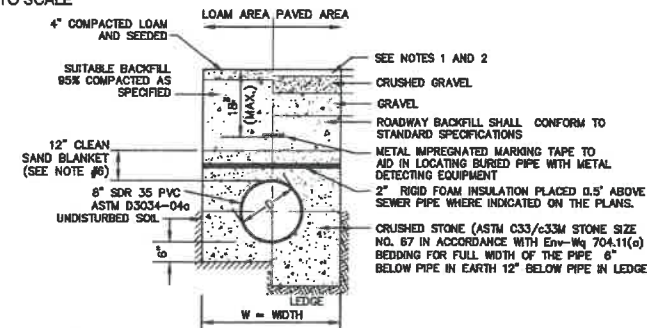
Plan Name: **LIGHTING PLAN**
 Project: **WADLEIGH ROAD APARTMENTS ROCHESTER, NH**
 Owner of Record: **SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839**

DRAWING No. **L3**
 SHEET 19 OF 28
 JBE PROJECT NO. 21137



WATER SYSTEM TRENCH

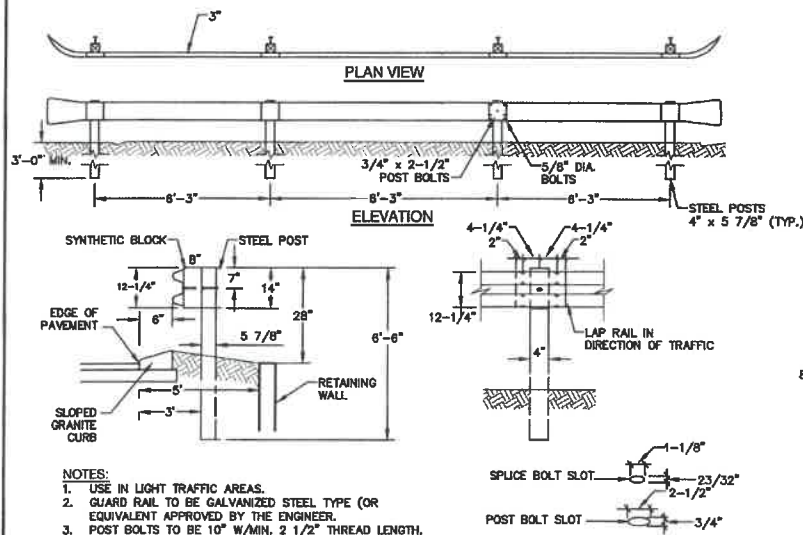
NOT TO SCALE



- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 - TRENCH BACKFILL SHALL CONFORM WITH ENV. WQ 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 - W- MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4", PURSUANT TO DES WAIVER BEING ISSUED.
 - PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-WQ 704.11(b).
 - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-WQ 704.05 (c).

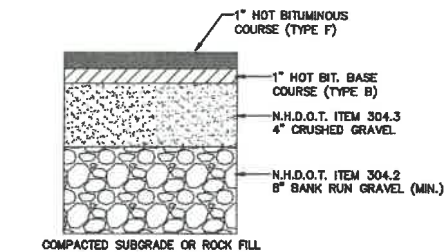
SEWER TRENCH

NOT TO SCALE



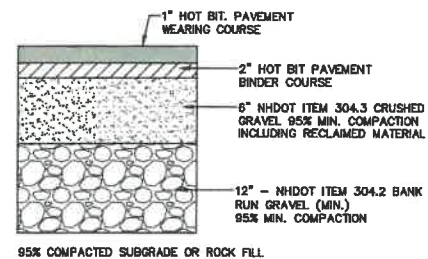
GUARD RAIL (STEEL)

NOT TO SCALE



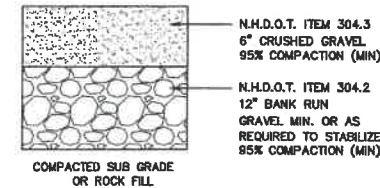
BITUMINOUS SIDEWALK DETAIL

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

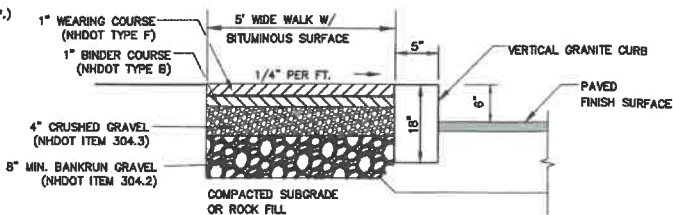
NOT TO SCALE



NOTE: IN AREAS OF ROCK EXCAVATION, MINIMUM 9" BANK RUN GRAVEL SHALL BE PLACED

GRAVEL SECTION

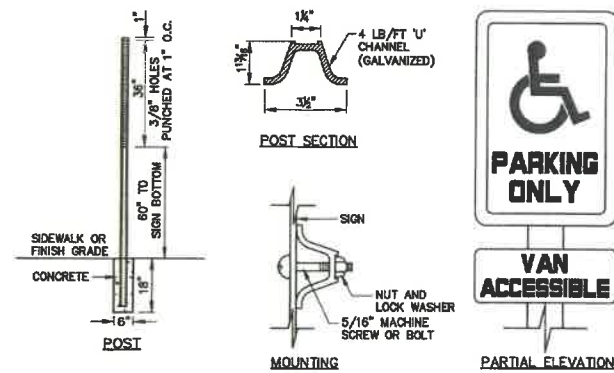
NOT TO SCALE



- NOTES:**
- JOINTS BETWEEN STONES SHALL BE MORTARED.
 - EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.

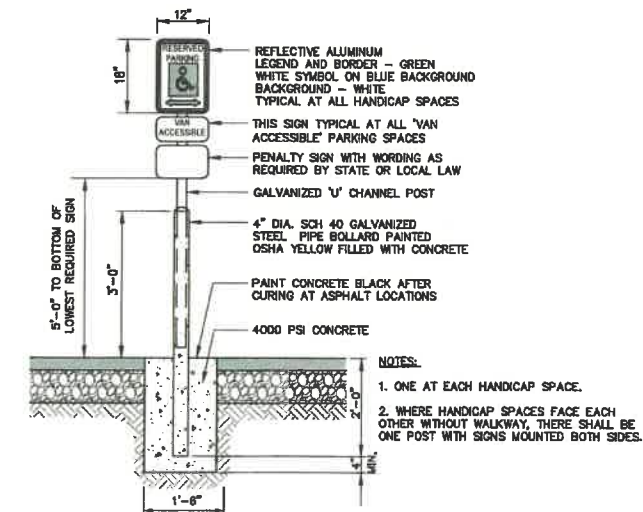
BIT. SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



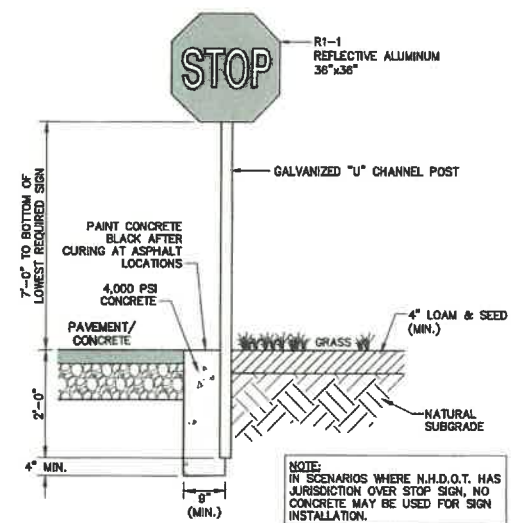
HANDICAP SIGN DETAILS

NOT TO SCALE



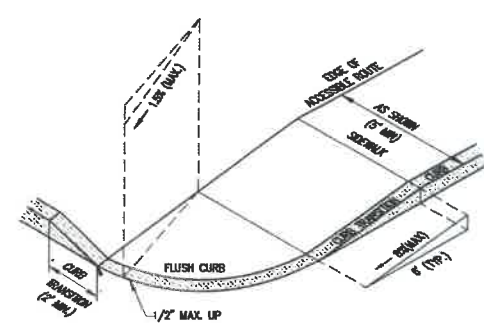
HANDICAP PARKING SIGN (R7-8)

NOT TO SCALE



STOP SIGN (R1-1)

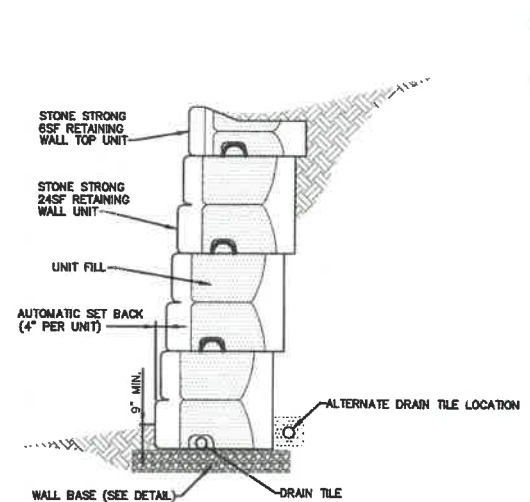
NOT TO SCALE



- NOTES:**
- THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1:50.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8%.
 - A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 - SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE CURB RAMP (TYPE B)

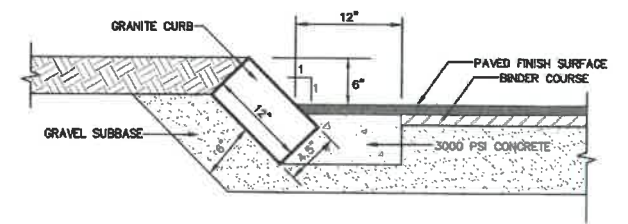
NOT TO SCALE



GRAVITY WALL CROSS SECTION

STONE STRONG RETAINING WALL

NOT TO SCALE



- NOTES:**
- CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 - JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPED GRANITE CURB

NOT TO SCALE

Design: LAZ	Draft: LAZ	Date: 9/8/21
Checked: BAJ	Scale: AS NOTED	Project No.: 21137
Drawing Name: 21137-PLAN.dwg		
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4	1/14/22	REVISED PER CITY COMMENTS	LAZ
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REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

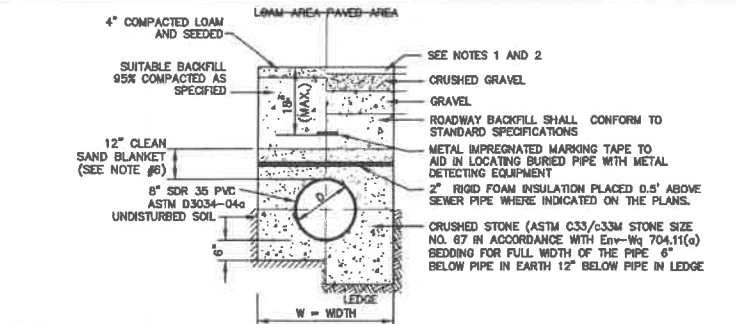
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

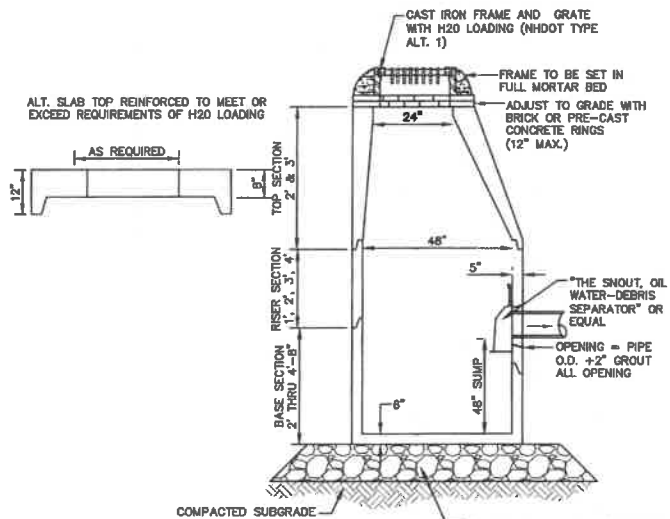
Drawing No.	D1
SHEET 20 OF 28	JBE PROJECT NO. 21137



- NOTES:**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. TRENCH BACKFILL SHALL CONFORM WITH ENV-WQ 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 4. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 5. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4", PURSUANT TO DES WAIVER BEING ISSUED.
 6. PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-WQ 704.11(b).
 7. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL, AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-WQ 704.05 (e).

SEWER TRENCH

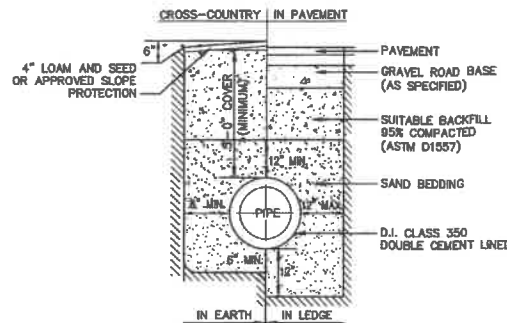
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED, ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

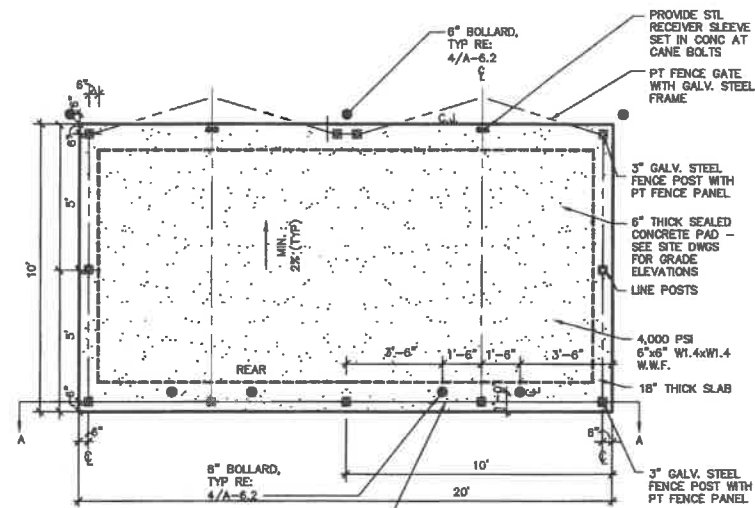
CATCH BASIN WITH GREASE HOOD

NOT TO SCALE



WATER SYSTEM TRENCH

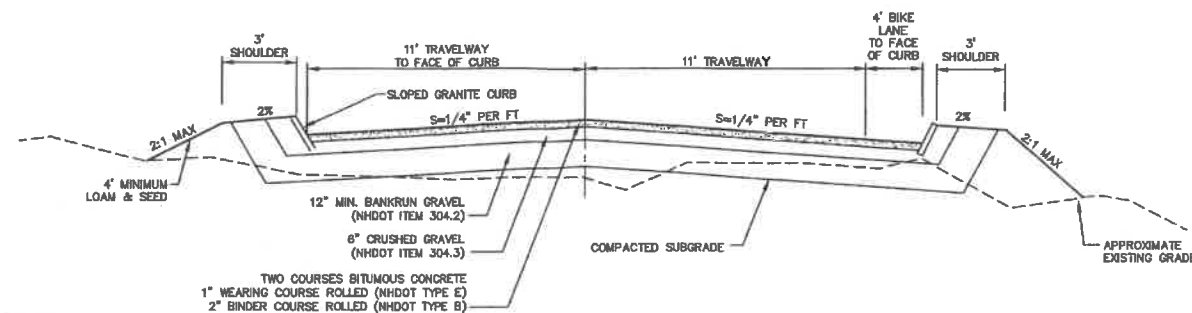
NOT TO SCALE



- NOTES:**
1. ALL LUMBER TO BE PRESSURE TREATED.
 2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
 3. DUMPSTER SIZE VARIES, SEE SITE PLANS FOR SCREENING SIZE.

DUMPSTER ENCLOSURE PLAN

NOT TO SCALE

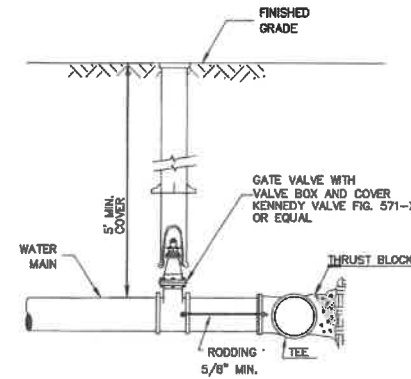


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.

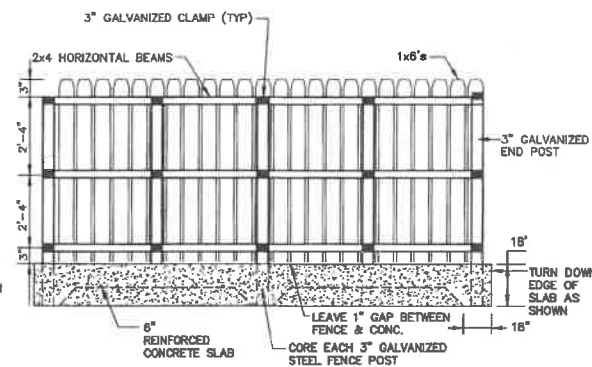
TYPICAL ROADWAY SECTION W/CURBING

NOT TO SCALE

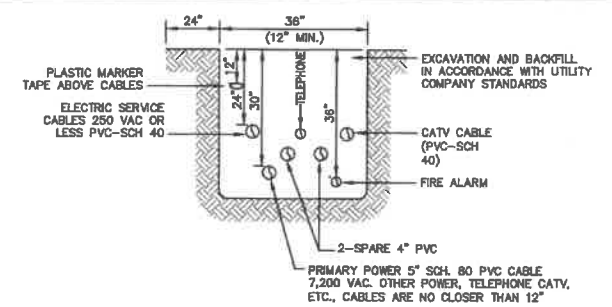


BURIED GATE VALVE DETAIL

NOT TO SCALE



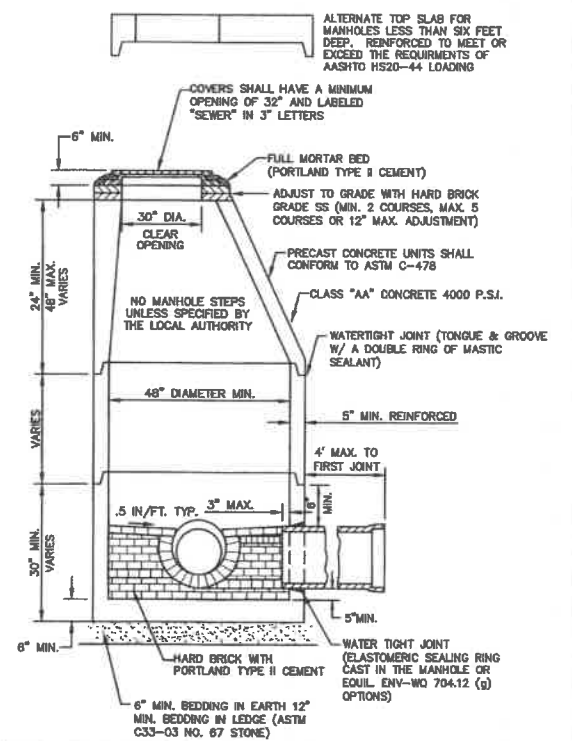
SECTION A-A



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

NOT TO SCALE



NOTES:

1. PER RHODES ENV-WQ 704.13(C), MORTAR USED IN MANHOLE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
a. MORTAR SHALL BE COMPOSED OF TYPE II PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION.
b. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE PER TABLE 704-4:
(1) 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
(2) 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
c. CEMENT SHALL BE TYPE II PORTLAND CEMENT THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C150/C150M STANDARD IN EFFECT AT THE TIME THE CEMENT WAS MANUFACTURED.
d. HYDRATED LIME SHALL BE TYPE S THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C207 STANDARD IN EFFECT AT THE TIME THE HYDRATED LIME WAS PROCESSED.
e. SAND SHALL CONSIST OF INERT NATURAL SAND THAT IS CERTIFIED BY ITS SUPPLIER AS CONFORMING TO THE ASTM C33 STANDARD IN EFFECT AT THE TIME THE SAND IS PROCESSED BY STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES.
f. CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AVAILABLE AT:
[HTTP://WWW.NH.GOV/DOE/ORG/PROJECTDEVELOPMENT/HIGHWAYDESIGN/SPECIFICATIONS/INDEX.HTM](http://www.nh.gov/dot/org/projectdevelopment/highwaydesign/specifications/index.htm)
2. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
3. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (a) THROUGH (e).
4. SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48/48M WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (a) (8).
5. ALL PRECAST SECTIONS SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING IN ACCORDANCE WITH ENV-WQ 704.12 (J).
6. ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDULGIBLY MARKED ON THE INSIDE WALL PER ENV-WQ 704.12(I).
7. BRICK MASONRY SHALL CONFORM TO ASTM C32 (ENV-WQ 704.12(a)(9)).

SEWER MANHOLE

NOT TO SCALE

Design: LAZ	Draft: LAZ	Date: 9/8/21
Checked: BAJ	Scale: AS NOTED	Project No.: 21137
Drawing Name: 21137-PLAN.dwg		
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3	12/14/21	REVISED PER CITY COMMENTS	LAZ
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1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

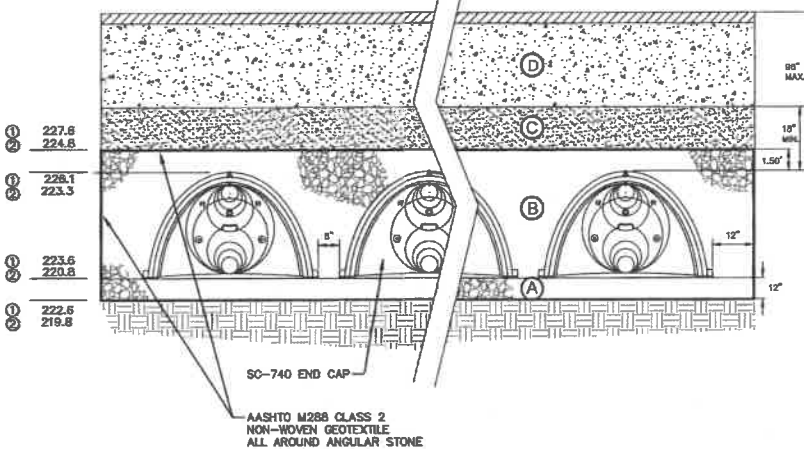
DRAWING No.	D2
SHEET 21 OF 28	JBE PROJECT NO. 21137

ACCEPTABLE FILL MATERIALS STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE, DEPTHS PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FROM 1.5' ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 8, 87, 88, 7, 76, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 1.5' ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 12" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

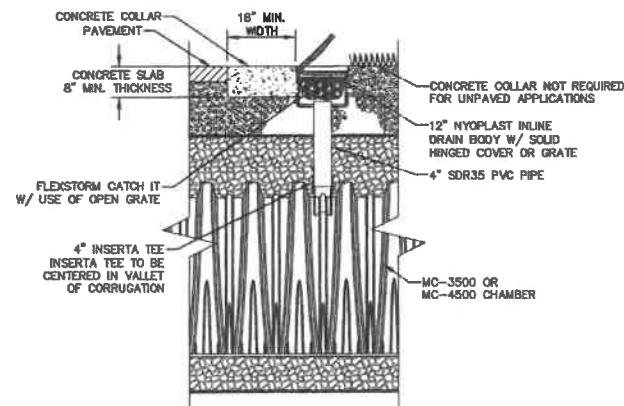
PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

CHAMBER SYSTEM #1 & #2 (SC-740)



TYPICAL SC-740 CROSS-SECTION (OR EQUAL)

NOT TO SCALE



TYPICAL SC-740 4" INSPECTION PORT

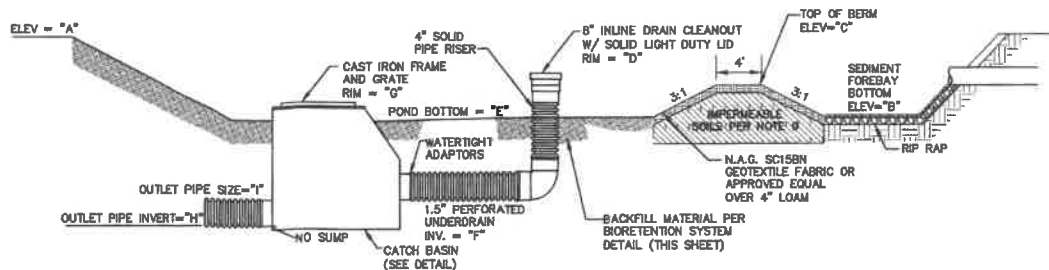
NOT TO SCALE

NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.

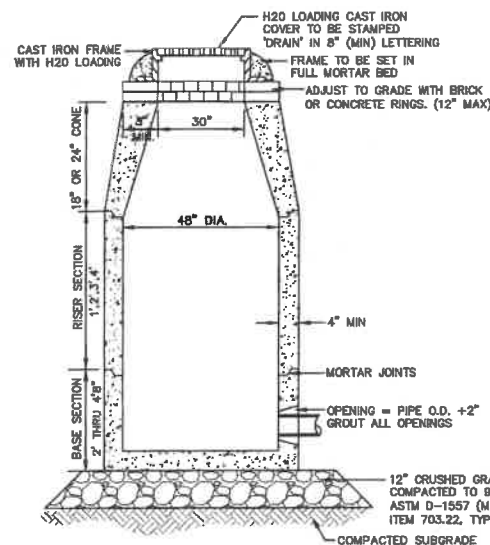


BIORETENTION SYSTEM TABLE

	ELEVATIONS/DIMENSIONS							
	A	B	C	D	E	F	G	H
SYSTEM P3	214.25	212.0	213.8	214.0	212.50	210.83	213.0	210.50

BIORETENTION SYSTEM SECTION

NOT TO SCALE



NOTES:

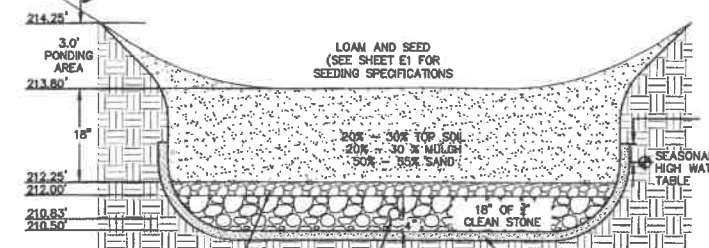
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE KENNAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
- STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

DRAIN MANHOLE (4' DIAM.)

NOT TO SCALE

SAND SPECIFICATION	TOPSOIL SPECIFICATION
SIEVE SIZE	LOAMY SAND TOPSOIL WITH MINIMAL CLAY CONTENT AND BETWEEN 15 TO 25% FINES PASSING THE #200 SIEVE.
#4	100
#10	95-100
#20	80-100
#40	50-85
#60	25-60
#100	10-30
#200	2-10
	0-5

MULCH SPECIFICATION
MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.



DESIGN CONSIDERATIONS

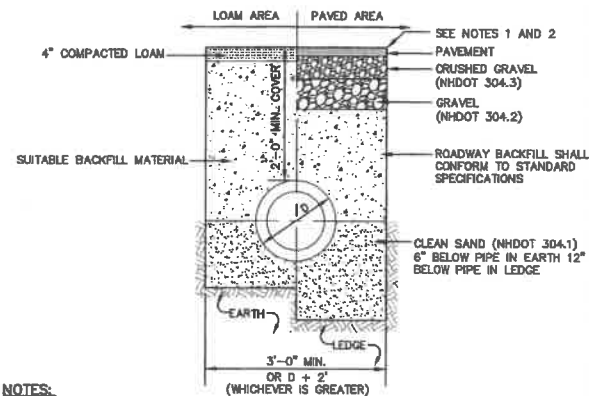
- DO NOT PLACE BIORETENTION SYSTEMS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 8" PASSING 100% #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-60%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -8 CM/SEC.
- COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



NOTES:

- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
- NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
- ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

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2	12/8/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
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0	9/8/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
P.O. Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.	D3
SHEET 22 OF 26	JBE PROJECT NO. 21137

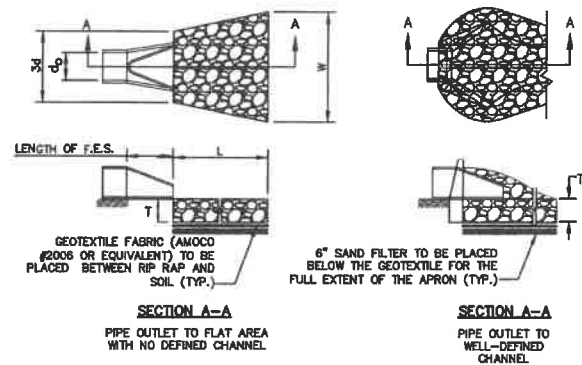


TABLE 7-24—RECOMMENDED RIP RAP GRADATION RANGES

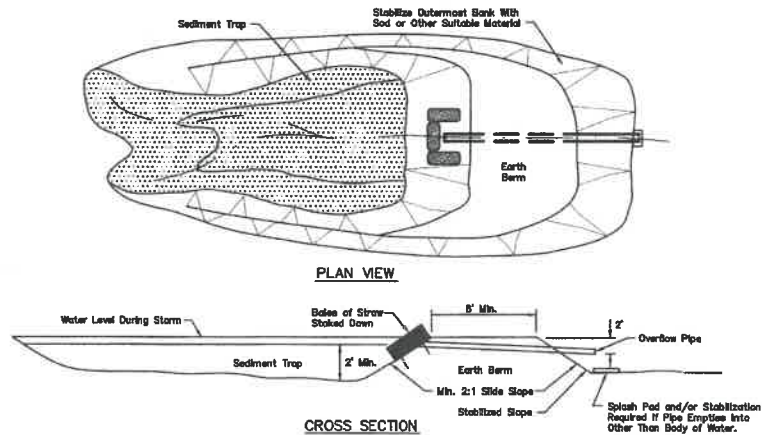
THICKNESS OF RIP RAP = 1.5 FEET

d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

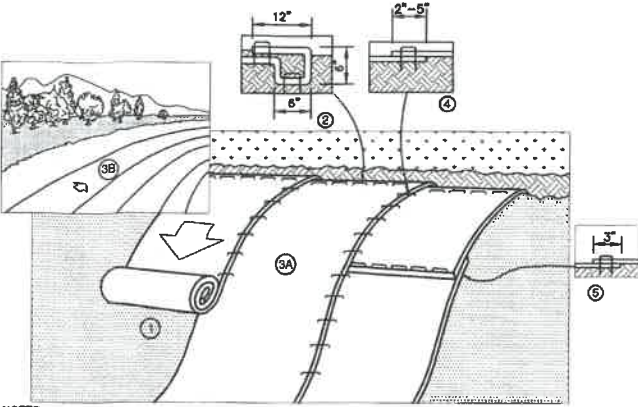
- NOTES:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

TEMPORARY SEDIMENT BASIN

NOT TO SCALE



TEMPORARY CATCH BASIN INLET PROTECTION

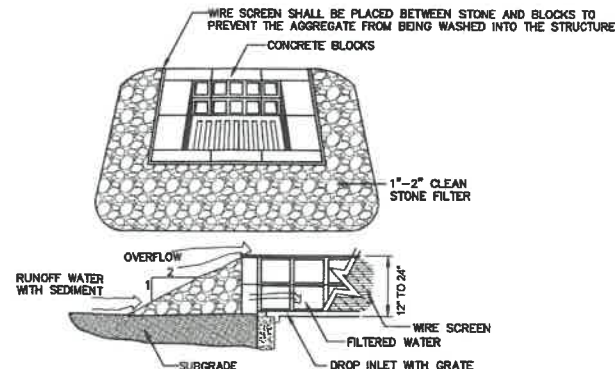


- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP. DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
NORTH AMERICAN GREEN (800) 772-2040

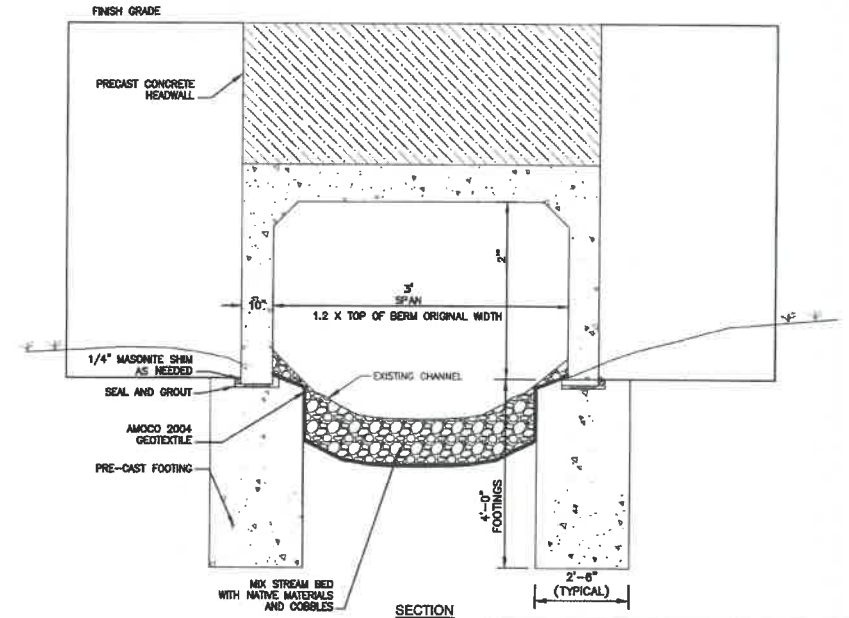
NOT TO SCALE



- MAINTENANCE NOTE:**
1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION

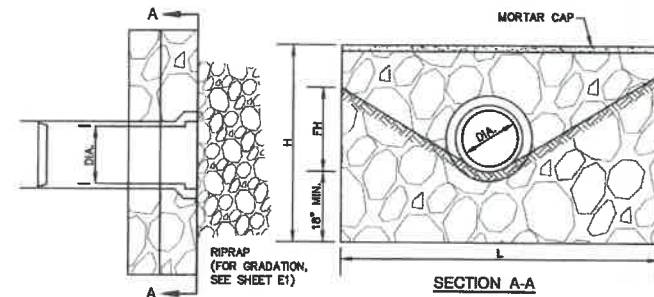
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- NOTES:**
1. STRUCTURE TO BE DESIGNED FOR H20 LOADING.
 2. THIS DETAIL IS FOR ILLUSTRATIVE PURPOSES ONLY. PRECAST CULVERT & WINGWALLS TO BE DESIGNED AND STAMPED BY A LICENSED STRUCTURAL ENGINEER.
 3. SHOP DRAWINGS & DETAILS STAMPED BY A LICENSED STRUCTURAL ENGINEER SHALL BE REVIEWED & APPROVED FOR PLAN COMPLIANCE BY JONES & BEACH ENGINEERS, INC. (JBE) PRIOR TO INSTALLATION. JBE TAKES NO LIABILITY FOR THE DESIGN OF THIS BRIDGE STRUCTURE OR ITS COMPONENTS.

PRECAST RIGID FRAME BOX CULVERT W/ WINGWALLS

NOT TO SCALE



DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-3"	3'-9"	1'-1"	1'-3"	2'-0"
15"	6'-0"	4'-3"	1'-7"	1'-6"	2'-1"
18"	7'-0"	4'-6"	1'-10"	1'-6"	2'-2"
24"	9'-0"	5'-0"	2'-4"	1'-6"	2'-3"
30"	11'-0"	5'-6"	2'-10"	1'-6"	2'-5"
36"	13'-0"	6'-0"	3'-4"	1'-6"	2'-6"
42"	15'-0"	6'-6"	4'-1"	1'-6"	2'-9"
48"	17'-0"	7'-3"	4'-7"	1'-6"	2'-10"

- NOTES:**
1. ALL DIMENSIONS GIVEN IN FEET AND INCHES.
 2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 3. RIPRAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

MORTAR RUBBLE MASONRY HEADWALL

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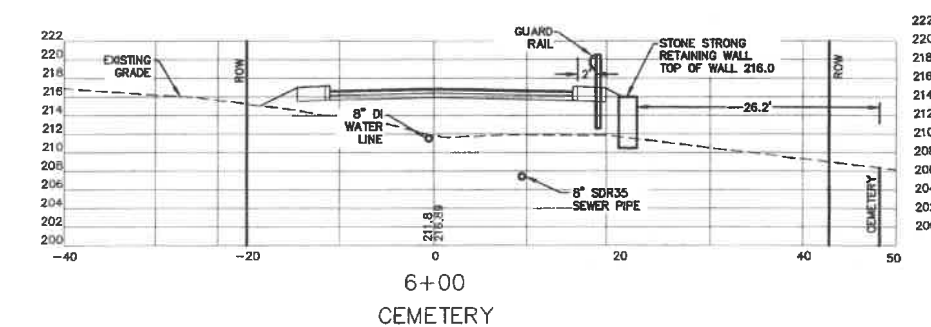
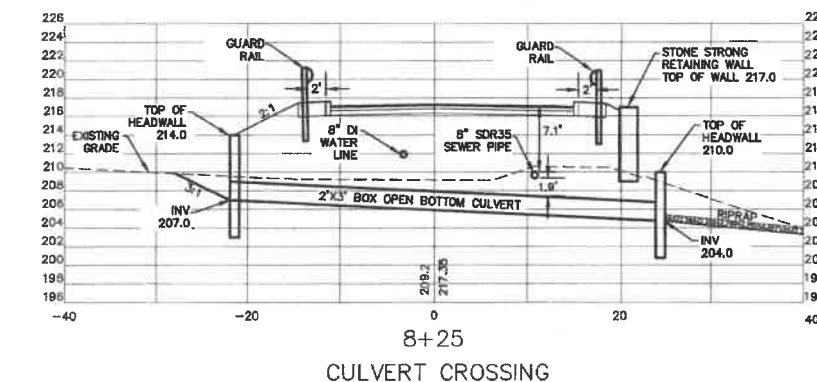
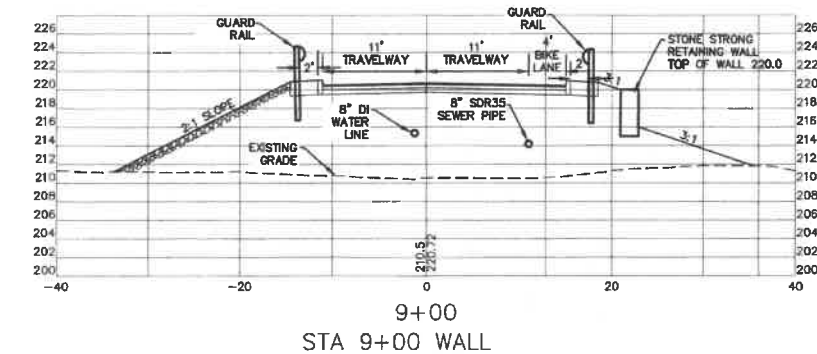


REV.	DATE	REVISION	BY
4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/6/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ

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Plan Name:	DETAIL SHEET
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
D5
SHEET 24 OF 26
JBE PROJECT NO. 21137



SELECT CROSS SECTIONS
SCALE: 1"=10'

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0	9/8/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

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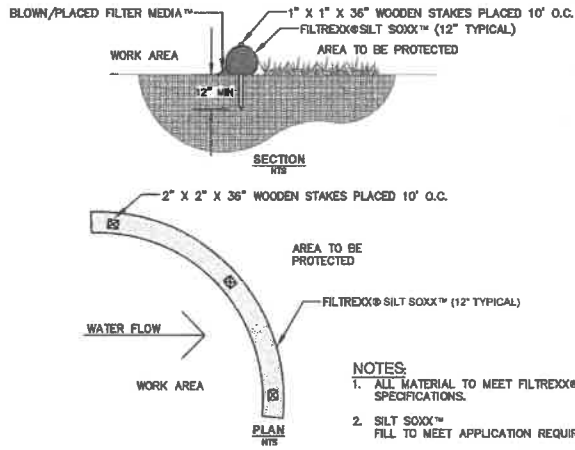
85 Portsmouth Ave. Civil Engineering Services 603-772-4748
P.O. Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET CROSS SECTIONS
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.
D6
SHEET 25 OF 26
JBE PROJECT NO. 21137

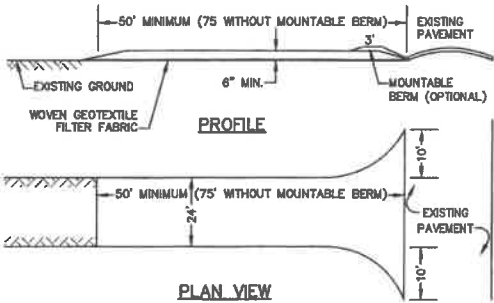
TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED BETWEEN OCTOBER 15 AND MAY 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER NOVEMBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER MNDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
12. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
13. PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
14. IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
- A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RDGELY.MAUCK@DES.NH.GOV).
 - THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.



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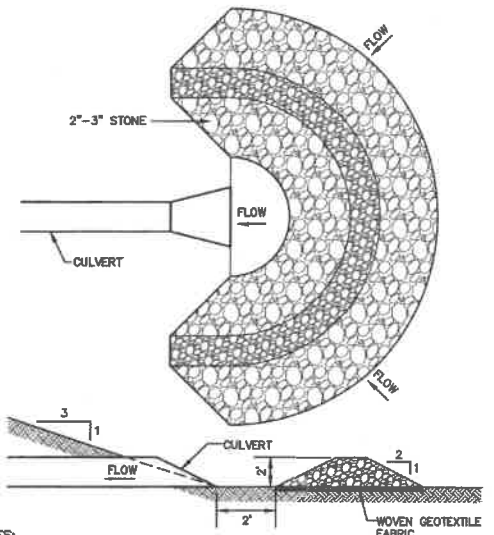


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 6:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

- TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
- INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING

- SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
- WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDING PREPARATION

- SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND

- LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAINING.
- REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNFETCH, BIRDSFOOT, TREFOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
- WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.

4. MULCH

- HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
- MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.

5. MAINTENANCE TO ESTABLISH A STAND

- PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
- FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
- IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, OOD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

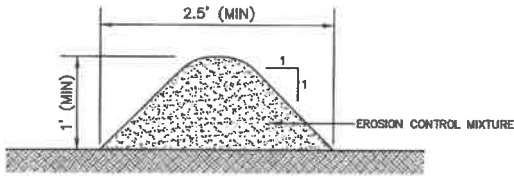
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES



NOTES:

- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - THE PH SHALL BE BETWEEN 5.0 AND 8.0.
- ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
- ON SLOPES LESS THAN 5%, OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
- FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC FILTER BERM

NOT TO SCALE

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

Design: LAZ	Draft: LAZ	Date: 9/8/21
Checked: BAJ	Scale: AS NOTED	Project No.: 21137
Drawing Name: 21137-PLAN.dwg		
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4	1/14/22	REVISED PER CITY COMMENTS	LAZ
3	12/14/21	REVISED PER CITY COMMENTS	LAZ
2	12/9/21	REVISED PER CONSERVATION COMMISSION COMMENTS	LAZ
1	9/21/21	ISSUED FOR PLANNING BOARD	LAZ
0	9/8/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

Designed and Produced in NH

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Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	WADLEIGH ROAD APARTMENTS ROCHESTER, NH
Owner of Record:	SSG, LLC ATTN: FENTON GROEN 120 WASHINGTON STREET, ROCHESTER, NH 03839

DRAWING No.	E1
SHEET 26 OF 28 JBE PROJECT NO. 21137	