



Conditional Use Permit Application
City of Rochester, New Hampshire

5/19/2022

Date: _____

Property information

Tax map #: 131; Lot #(s): 7; Zoning district: Neighborhood Mixed Use

Property address/location: 717 Columbus Ave

Name of project (if applicable): _____

Property owner

Name (include name of individual): RFC MFC 717 Columbus Avenue LLC

Mailing address: P.O. Box 888 Lakeville, Ma 02347

Telephone #: 508-946-1873 Fax: _____

Applicant/developer (if different from property owner)

Name (include name of individual): Rick Hanna

Mailing address: 190 Commerce Way Portsmouth NH 03801

Telephone #: 603-369-2802 Fax #: rick.hanna@irvingoil.com

Engineer/designer

Name (include name of individual): NeoKraft Signs Inc.

Mailing address: 647 Pleasant St Lewiston ME 04240

Telephone #: 207-576-2684 Fax #: _____

Email address: annette@neokraft.com Professional license #: _____

Proposed Project

Please describe the proposed project: Section 275 -29.14 Requirements by Zoning District

B. Nonresidential Zoning Districts (10)

~~A corner lot may have one additional free standing sign with a maximum area of 24 sq ft on the second frontage provided the property across the street on that second frontage is zoned non-residential~~

Please describe the existing conditions: Site currently has one sign , 20 Square Feet,
8 Feet High

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: Margaret Chan

Date: 5-23-22

Signature of applicant/developer: Rick Hanna

Date: 5/19/2022

Signature of agent: _____

Date: _____

Project Narrative

At 717 Columbus Ave in Rochester NH , Irving Oil Operates a gas station newly opened in March 2022. As the property is zoned Neighborhood Mixed Use (NMU) we are allowed one sign , 20 square feet in size and 8 feet in height. We currently have a sign permit for this sign on-site. Attached is the approved drawing and photo of this sign.

The Conditional Use Permit (CUP) we are applying for today refers to Section 275 – 29.14.B line 10 of the zoning ordinance attached. It reads as follows:

(10) Corner or multiple frontage lots. By conditional use permit issued by the Planning Board, any corner lot or a rear frontage lot (or double frontage) may have one additional freestanding sign with a maximum area of 24 square feet on the second frontage provided the property across the street on that second frontage is not zoned residential.

The property at 717 Columbus Ave is a corner lot abutting Columbus Ave (Rt.125) and Brock Street at their intersection. According to the zoning ordinance this property is allowed an additional freestanding sign 24 square feet in size, provided the property across the street is not zoned residential.

The property across the street from Brock Street frontage is 703 Columbus Ave , currently occupied by Advanced Auto Parts and zoned Neighborhood Mixed Use or not residential. The property card of 703 Columbus Ave is attached for planning board reference.

Thank you, Rick Hanna

Construction Project Manager , Irving Oil

Email: rick.hanna@irvingoil.com

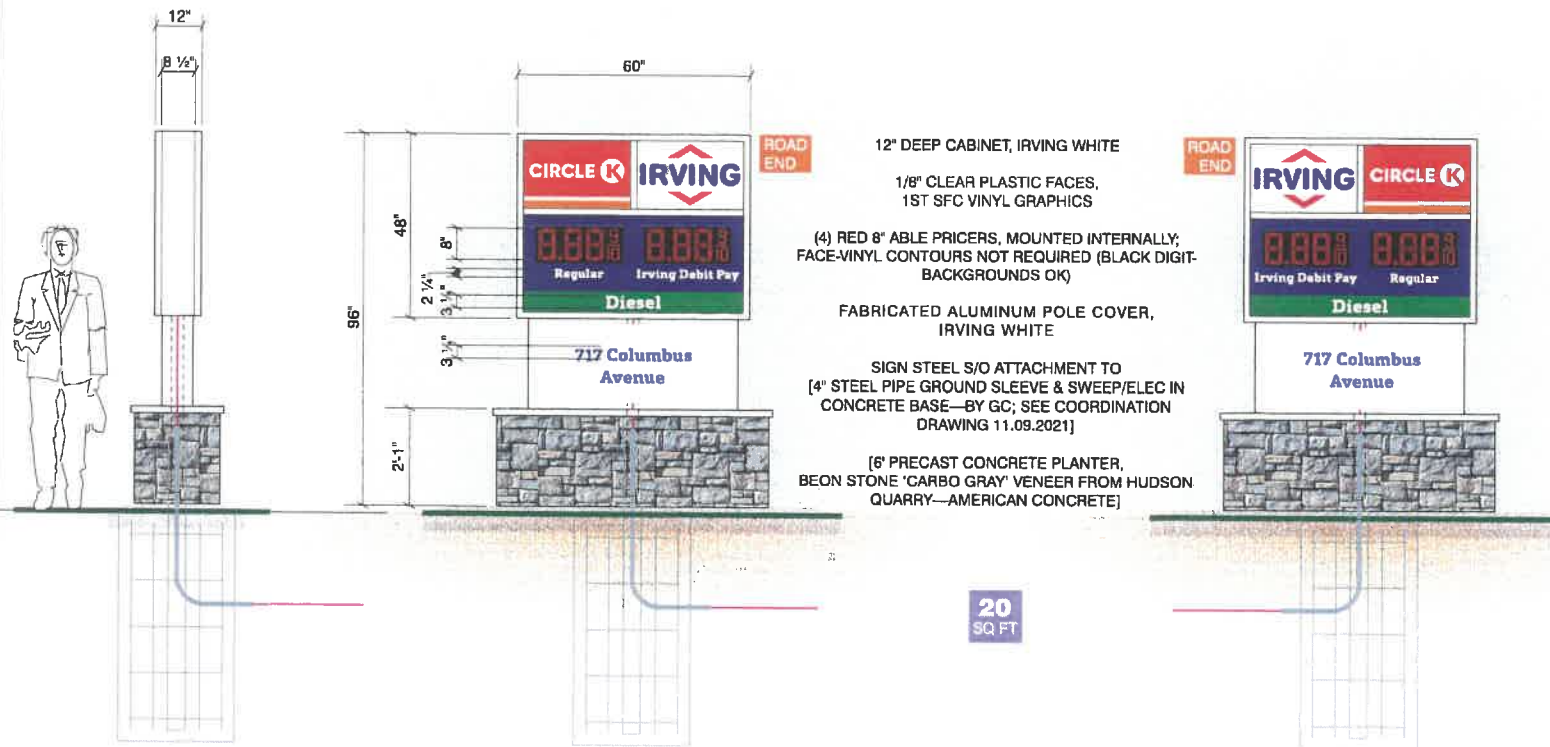
Cell: 603-369-2802

IRVING COLORS:

BLUE PMS 2746: AKZO 'SIGN70408'
3M 'IRV. BLUE' (3630-8779)
RED PMS 485: 3M 'RED' (3630-33)
WHITE: AKZO 'SIGN10038'

CIRCLE K COLORS:

RED PMS 485C: 3M 'RED' 3630-33
ORANGE PMS 144C: 3M 'KUMQUAT' 3630-74
WHITE: KO WHITE

**DOUBLE-FACE INT. ILLUM. MID/FUEL-PRICE**

SCALE: 3/8" = 1'-0" (1) REQUIRED

SHOP DRAWING**IRVING CIRCLE K
6981.2**

ACCT ID:	012681
LOCATION:	717 COLUMBUS AVENUE ROCHESTER, NH
DRAWING NO:	1 OF 1
DRAWN BY:	DS REP.: AB
DATE:	11.30.2021
REVISED:	01.17.2022
QUOTE:	@10084-4
GEN REF:	19 4724 ENFIELD NH (ABLE) 18 4453 LEWISTON ME. (ABLE) 4348 AUBURN ME

**NEOKRAFT
SIGNS**

NEOKRAFT SIGNS INC. 207.782.9654
647 PLEASANT ST. | 70 COMMERCIAL ST
LEWISTON, MAINE 04240 800.339.2258
NEOKRAFT.COM

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CIRCLE K

4.25⁹/₁₀

4.35⁹/₁₀

Irving Debit Pay

Regular

Diesel

**717 Columbus
Avenue**

**CASH
CENTER
TRADE
\$75**

- T. Special event signs in public ways. Signs advertising a special community event shall be allowed in or over public rights-of-way, subject to approval by the City Manager as to the size, location and method of erection. The City Manager may not approve any special event signage that would impair the safety and convenience of use of public rights-of-way or obstruct traffic visibility.
- U. Window signs. Window signs shall be permitted for any nonresidential use in all Downtown Commercial and Industrial Districts, subject to the following limitations:
 - (1) The aggregate area of all such signs shall not exceed 25% of the window area on which such signs are displayed within the Historic District.
- V. Yard sale signs.
 - (1) Yard sale signs may not be placed prior to three days before the sale and must be removed within 24 hours after the sale. The date and time of the yard sale must be on the sign.
 - (2) They may not exceed six square feet and may not be illuminated.
 - (3) The signs may be placed off premises for noncommercial sales related to a single residential dwelling unit (or informal joint sales among neighbors) provided they are not placed on utility poles, are not a distraction to traffic, and comply with § 275-29.14, Requirements by zoning district.

§ 275-29.14 Requirements by zoning district. ^[1]

The following special requirements shall apply in each respective zoning district:

A. Residential zoning districts.

- (1) For permitted nonresidential uses one freestanding sign with a maximum area of six square feet per side plus one attached sign not to exceed 12 square feet is permitted. Signs shall have a maximum height of six feet.
- (2) Internally illuminated signs (including neon signs and signage placed in a window) are not permitted.
- (3) No sign may be illuminated between the hours of 9:00 p.m. and 7:00 a.m. with the exception of signage:
 - (a) Showing property addresses;
 - (b) For residential communities; and
 - (c) For businesses and organizations during any specific hours in that time period that the businesses are open.

B. Nonresidential zoning districts.

- (1) Baseline. The following advertising signage is permitted for one nonresidential use occupying a single building in commercial and industrial zoning districts (except as otherwise indicated in this article). Additional allowances beyond these limitations or other restrictions for various situations are shown in the subsequent subsections. Dimensional standards are as follows:

Zoning District	Maximum Area (square feet)	Maximum Height (feet)
Highway Commercial	75	30
General Industrial		
Hospital		
Granite Ridge Development		
Airport	50	20
Recycling Industrial		
Downtown Commercial	25	15
Neighborhood Mixed-Use	20	8
Office Commercial		

Note: All signs that are to be located in the Historic District are also subject to the provisions of Article 14, Historic Overlay District.

- (2) Freestanding signs. Only one freestanding sign shall be permitted on a lot even if there is more than one building or use on that lot. No part of any freestanding sign shall be located within five feet of any property line.
- (3) Wall signs. No wall sign shall exceed 10% of the area of the building frontage as measured by the width of the wall containing the main public entrance by the height (measured from the floor level to the top of the first floor cornice area, or to one foot below secondary story window) of the building to which it is attached. For buildings with multiple tenants having store fronts only, the facade rented by the tenant shall be considered as wall area for a sign.
[Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. II)]
 - (a) A maximum of four signs. Buildings located in the Granite Ridge Development District, between the service road and Route 11, are allowed one additional wall-mounted sign per tenant on the rear facade. The same size restrictions as applied to the front facade shall determine the size of sign.
- (4) Temporary signs. One temporary sign is allowed at any one time, including portable and banner signs. For portable signs (where they are permitted; see below) the maximum area is eight square feet and the maximum height is four feet. Banner signs, not exceeding 60 square feet, are permitted for grand openings of new business only, and may be displayed for a maximum of 30 consecutive days. Permits are required for these signs with a fee set by the City Council.
[Amended at time of adoption of Code (see Ch. 1, General Provisions, Art. II)]
- (5) Directory signs. For each additional independent enterprise on a site beyond one, an additional 10 square feet may be added to one freestanding directory sign not to exceed 100 square feet. Property owners of separate adjoining lots may also elect to have one joint directory sign.
- (6) Attached directory signs. One additional attached directory sign of the principal uses within a multi-tenant building is permitted on the exterior wall at each entrance to the building. It shall not exceed three square feet plus one square foot for each independent enterprise.
- (7) Upper floor units. Each upper floor occupant may use one attached sign placed at no higher than the second floor level, not to exceed six square feet per side for each occupant plus window signs. Window signage shall not exceed 25% of the total window area.
- (8) Multiple occupant sites. On multiple occupant sites up to three portable signs for independent enterprises may be placed at the same time.
- (9) Secondary entrance. By conditional use permit issued by the Planning Board, any site with at least 300 feet of linear lot frontage and with a second driveway entrance located at least 200 feet from the primary entrance may have a second freestanding sign at the second entrance not to exceed 16 square feet and eight feet in height.
- * (10) Corner or multiple frontage lots. By conditional use permit issued by the Planning Board, any corner lot or a rear frontage lot (or double frontage) may have one additional freestanding sign with a maximum area of 24 square feet on the second frontage provided the property across the street on that second frontage is not zoned residential.
- (11) Specific zoning districts. Internally illuminated signs are permitted only in the Highway Commercial, Downtown Commercial, Granite Ridge Development, and Industrial Districts.

[1] Editor's Note: See also Table 29-A, Signs, included as an attachment to this chapter.



BLUE PMS 2746: AKZO 'SIGN70408'
3M 'IRV. BLUE' (3630-6779)
RED PMS 485: 3M 'RED' (3630-33)
WHITE: AKZO 'SIGN10838'

RED PMS 485C: 3M "RED" 3630-33
ORANGE PMS 144C: 3M "KUMQUAT" 3630-74
WHITE: KO WHITE



Neokraft Signs, Inc.
647 Pleasant Street
Lewiston, Maine 04240
207.782.9654 | 800.339.2258
neokraft.com

Custom Sign Fabrication

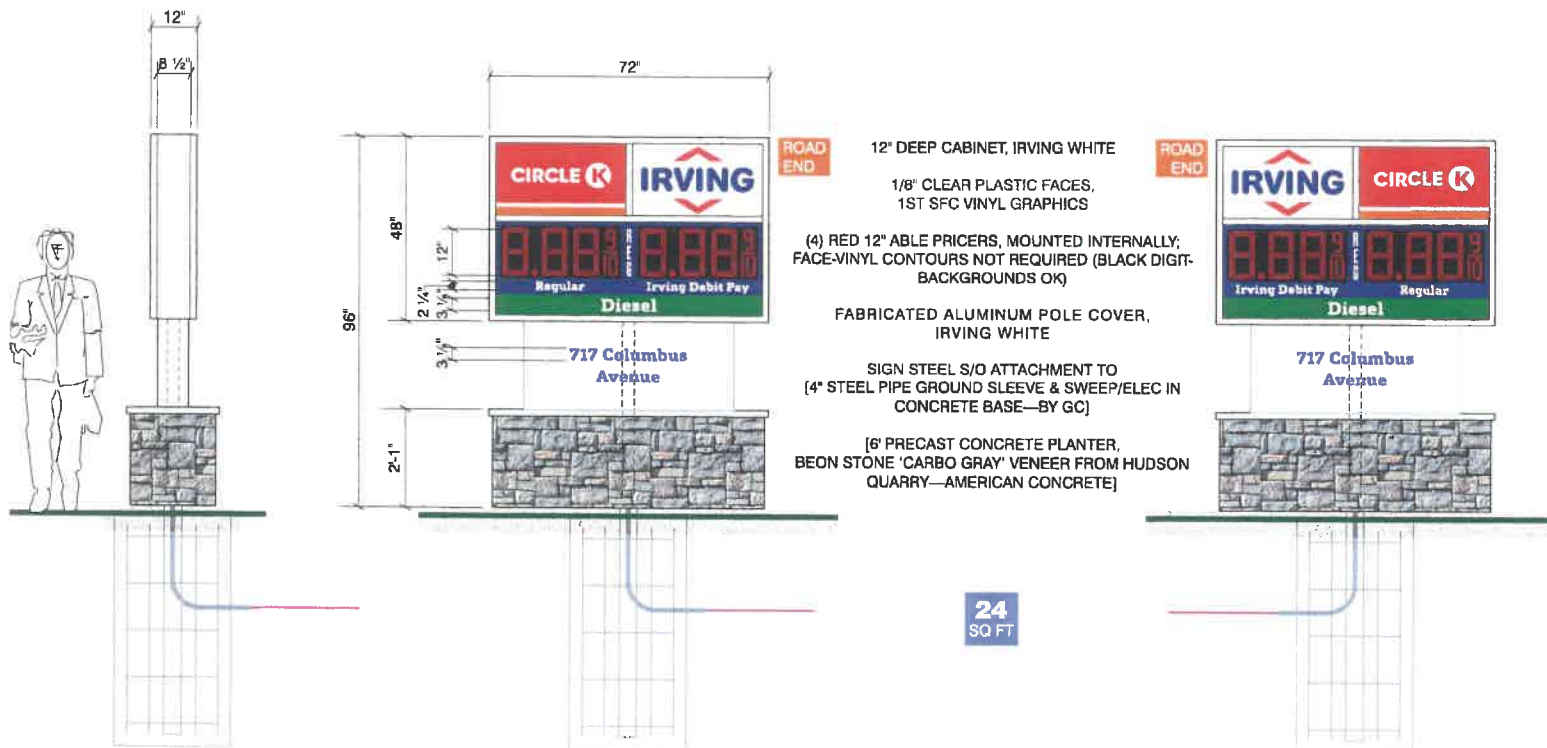
These plans are the exclusive property of Neokraft Signs, Inc. and are the result of the original work of its employees. They are submitted to Neokraft's client for the sole purpose of consideration of whether to purchase these plans or to purchase from Neokraft a sign manufactured according to these plans.

Distribution or exhibition of these plans to anyone other than employees of said client, or use of these plans to construct a sign similar to the one embodied herein, is expressly forbidden. In the event that such exhibition or construction occurs, Neokraft expects to be reimbursed \$1500 in compensation for time and effort entailed in creating these plans

PRESENTATION

IRVING CIRCLE K
@10855

ACCT ID: 012681
LOCATION: 717 COLUMBUS AVENUE
ROCHESTER, NH
DRAWING NO: 1 OF 1
DRAWN BY: DS REP: AB
DATE: 05.19.2021
QUOTE: @10855
GEN REF: 22|6981, 19|4724 ENFIELD NH



DOUBLE-FACE INT. ILLUM. MID/FUEL-PRICE

SCALE: $3/8" = 1'-0"$ (1) REQUIRED

Land Use 3310
Print Date 11/5/2021 9:48:35 AM

Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

Land Use 3310
Print Date 11/5/2021 9:48:35 AM

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Model	94	Commercial	Half Bath Ratin	A	SAME
Style	C33	DISC STORE	Extra Fixture(s)	0	
Grade	B+	Good (+)	Extra Fix Rating		
Stories	1				
Units			MIXED USE		
Residential Unit	0		Code	Description	Percentage
Comm Units	1.00		3310	AUTO SUPPLY	100
Wall Height	12.00				0
Exterior Wall 1	08	BRICK VENR			0
Exterior Wall 2			COST / MARKET VALUATION		
2nd Ext Wall %	0		RCN		551,566
Roof Structure	04	FLAT	Year Built		2006
Roof Cover	11	MEMBRANE	Depreciation Code		A
Interior Wall 1	06	AVERAGE	Remodel Rating		
Interior Wall 2			Year Remodeled		
Interior Floor 1	08	AVERAGE	Depreciation %		14
Interior Floor 2			Functional Obsol		
Basement Floor			Economic Obsol		
% Heated	100.00		Trend Factor		1.000
Heat Fuel	02	GAS	Special Adj		
Heat Type	01	FORCED W/A	Condition %		
2nd Heat Type			Percent Good		86
2nd % Heated	0.00		RCNLD		474,300
# Heat Systems	1.00		Dep % Ovr		
AC Percent	100.00		Dep Ovr Comment		
Bedrooms			Misc Imp Ovr		
Full Bath(s)	0		Misc Imp Ovr Comment		
Bath Rating	A	SAME	Cost to Cure Ovr		
3/4 Bath(s)	0		Cost to Cure Ovr Comment		
3/4 Bath Rating					
Half Bath(s)	2				
Half Bath Ratin	A	SAME			
Extra Fixture(s)	0				

[illegible]

BUILDING SUB-AREA SUMMARY SECTION						
Code	Description	Living Area	Floor Area	Eft Area	Unit Cost	Undeprec Value
CNP FFL	CANOPY 1ST FLOOR	0 6,958	98 6,958	0 6,958	20.43 78.98	2,002 549,564
Ttl Gross Liv / Lease Area		6,958	7,056	6,958		551,566

