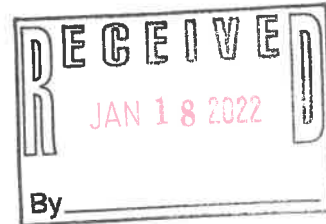


JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 18, 2022

Rochester Planning Board
Attn. Nel Sylvian
31 Wakefield Street
Rochester, NH 03867



RE: Response Letter
19 Old Gonic Road, Rochester, NH
Tax Map 131, Lot 1
JBE Project No. 21090

Dear Mr. Sylvian,

We are in receipt of comments from Ryan O'Connor, Conservation Commission dated December 2, 2021. We are also in receipt of comments from Shanna Saunders, City Planner dated December 13, 2021. We are also in receipt of comments from Dana Webber, Assistant City Engineer, Dated December 16, 2021. Review comments are listed below with our responses in bold.

CONSERVATION COMMISSION COMMENTS:

1. *"Verify stormwater drainage from pond two is outside of the 50' buffer from the brook. If not, a Conditional Use Permit would be needed."*

RESPONSE: Stormwater drainage from pond two is outside of the 50' buffer from the brook.

2. *The silt fence is delineated on the plans but since you're up against the buffer in several places we would need those areas protected with orange construction fence as well to try and clearly separate those areas.*

RESPONSE: We have added orange construction fence along the organic filter berm when disturbance is near the wetland buffer.

3. *When you submit your SWPPP you'll go into more detail for the phasing of the earth work, temp stormwater plans but as far as the site plan drawings could you include where your stockpiles are planned to be. Especially for winter, those piles can't be within 100 feet of any wetland or water source.*

RESPONSE: The location for the stockpiles have been added to the plans.

Consider submitting a certified winter stabilization plan. If not from Oct 15th to May 15th you're limited to one acre of ground disturbance. Outside of winter, any disturbance within 100 feet of wetlands or water must be stabilized within 5 days.

RESPONSE: A certified winter stabilization note #2 has been added to sheet OVRG.

4. *It would be good to see some type of invasive species plan, because of the size of the clear cut we like to have some plan in place in case this is an issue later.*

RESPONSE: An invasive species section of notes is included with this submission and can be found on the landscape plans.

5. *For perimeter controls, my recommendation would be a mulch berm around the project opposed to the silt fence. Because this could be a longer project, it would be good to have something that might require less maintenance.*

RESPONSE: We have switched all silt fence to organic filter berm.

6. *I saw you included a landscaping plan, but is there any opportunity to save trees in between some of the units or increase vegetation in unused open space to stabilize runoff leading to the river?*

RESPONSE: The remaining treeline is shown on the plan OVRG and other overview sheets. There are substantial wooded areas remaining along the river and no wetland buffer impact. Within the developed area of the site, the grading requires the removal of most of the trees in the middle of the site. The field area will remain and be used as a recreation field.

7. *Please try and shift snow storage away from wetlands, there's only two areas that are getting close to the buffer but with the slop of the land, it would be good to see that moved elsewhere or minimized in those spots.*

RESPONSE: Snow storage has been revised and is shown on the site plans.

8. *The phasing plans for the project will be important. Please include temporary stormwater management and indicate how water will flow prior to the permanent stormwater system being stabilized."*

RESPONSE: Phasing plan has been provided. Temporary sediment ponds will be outlined in the SWPPP and modified as needed during construction. SWPPP inspections will be required as part of this development as well.

PLANNING DEPARTMENT COMMENTS:

1. *As we talked about at TRG Traffic will be one of the major issues on this site. Traffic considerations must be made not only within the adjacent residential neighborhoods but at either end of Brock Street and the impact of additional traffic on those intersections. Pedestrian traffic and connection to existing pedestrian sidewalks must also be considered. Offsite improvements may be required. Construction traffic must also be taken into consideration when looking at overall site traffic.*

RESPONSE: A traffic analysis is included along with this submission. We have dedicated our Old Gonic Road connection as exit only have added Do Not Enter signs. The location of these signs should be discussed. We have added a sidewalk and striped crosswalks from Brock Street, all of Emerson and all the way to Old Gonic Road. For Offsite improvements, we have a sidewalk on Emerson, upgraded waterline on Emerson and a bypass lane on Brock Street.

2. *Utility impact, water, sewer and stormwater must also be carefully reviewed to make sure there is capacity.*

RESPONSE: These items are being reviewed and consulted with Third Party firms.

3. *Phasing was discussed at TRG. Please provide a proposed phasing plan.*

RESPONSE: A proposed phasing plan is included with this submission.

4. *Please add a key to the Landscaping Plan identifying which image is which kind of plant.*

RESPONSE: A key has been added to the Landscaping Plan identifying which image is which kind of plant.

5. *Per Section 5.B.12 of the Site Plan Regs 25% of the entire lot must be unaltered or landscaped. Please make sure you meet this requirement.*

RESPONSE: The unaltered or landscaped area is labeled in Note #2 on Sheet OVRS.

6. *Per Section 5.D landscape buffers are required on the front and side of the lot.*

RESPONSE: Landscape buffers have been added to the front and side of the lot.

7. *Per Section 5.E speaks to parking lot landscaping including landscaped peninsula and shade trees.*

RESPONSE: All parking areas are now enclosed with landscaped peninsula at least as wide as the parking spaces. Landscape trees are all around the parking areas as well.

8. *Please add bike racks to the plan per Section 11.B.*

RESPONSE: 2 Bike racks have been added to the plans.

9. *This amount of residential unit requires some sort of amenities. Trails, Playground, picnic areas, patios are all options.*

RESPONSE: Every unit has a deck; we have added a proposed trail that connects to an existing trail onsite near the river and a proposed recreation field located in the front of the site near Old Gonic Road.

10. *All lighting, both parking lot and building must be downcast and fully shielded to prevent glare. Please add fixture type to plan.*

RESPONSE: A fixture type has been added to Sheet L4 for the poles and the wall packs on the building. All are dark sky compliant and are noted as such on the plan.

11. *The architectural needs some work. Although I appreciate the New England style window and door casings, and placement, that is really the only good thing about the design. Please break up the building massing with variation and depth. Extensive areas of visible roof should be broken up. Broad expanses of blank walls are inappropriate (such as the sides of the buildings). Much attention should be given to create an attractive façade including horizontal sections like belt courses, vertical corner embellishments such as corner boards or quoins, vertical articulation such as columns or pilasters. Garages should be subordinate to the main building by reducing it in size, and recessing it beyond the main section of the building.*

RESPONSE: The architectural plans have been revised and are submitted along with this response letter.

SEWER COMMENTS:

1. *The city reviewed the Sewer Report prepared by Weston & Samson and send comments via email to Jones and Beach. The email included additional field investigation and draw down testing performed by the city which should be used to update the report*

RESPONSE: Weston & Samson submitted a report to the City regarding the sewer capacity. This was reviewed and additional comments were provided by DPW and those are being addressed by W/S. They will submit their revised report under separate cover.

2. *NHDES Sewer Connection Permit required, Rochester Sewer Connection Permit and Sewer Assessment Application required.*

RESPONSE: We will submit this to the State as soon as we can.

WATER COMMENTS:

1. *A master water meter vault or above grade structure will be required at the connection to the city water system. If two connections are proposed two master meters will be required, each with backflow prevention devices*

RESPONSE: A water meter has been shown on Sheet U2 near the connection at Emerson.

2. *Hydraulic evaluation by W-P is needed to assess impact on the water system and determine recommended upgrades. Determine water supply and pressure needs for the development, and model hydraulically. The hydraulic analysis must also look at effects on water supply, water quality and pressure in the surrounding neighborhood. Water infrastructure in the adjacent neighborhood is aged unlined cast iron, mainly 6-inch. The applicant will be required to improve the water main(s) in Emerson and Old Gonic depending upon final water connection layout.*

RESPONSE: We have solicited a proposal from Wright/Pierce and plan on working with them for the water system model. We are showing the watermain on Emerson being upgraded to an 8" line from Brock Street.

3. *NHDES Drinking Water Division will need to review water system extension prior to construction. Water Service Connection Permit required.*

RESPONSE: We will submit the utilities plans to the NHDES Drinking Water Division.

TRAFFIC AND ROADS COMMENTS:

1. *A traffic study is required with projected trip generation and evaluation of impacts to Brock Street intersections, Columbus Ave intersections and school traffic. Upon receipt of the traffic study, the City will coordinate 3rd party review. Escrow for the cost of the review will be required*

RESPONSE: A Traffic Impact Analysis is included along with this letter.

2. *DPW forwarded traffic counts performed along Columbus Ave in November 2018 to Jones and Beach.*

RESPONSE: These have been incorporated into the Traffic Report.

3. *NHDOT will also review the traffic study.*

RESPONSE: We have sent the traffic study to NHDOT for their review.

4. *Sidewalks connecting the development to Brock Street may be required as an off-site improvement*

RESPONSE: This sidewalk has been added on Emerson.

5. *Off-site roadway improvements such as width or layout modifications, may be required due to traffic impacts, sidewalk installation and/or infrastructure replacements. Improvements may require overlay or roadway reconstruction of impacted streets.*

RESPONSE: We have added a bypass lane on Brock Street to assist with cars turning left onto Emerson Ave.

6. *Sidewalks or other pedestrian or bicycle accommodations are not shown on the submitted plans. Adding sidewalks is supported by DPW. Drainage calculations would need to be updated for the added impervious and potential changes in grading.*

RESPONSE: We have added a sidewalk along from Emerson Ave. from the site to Brock Street. We have elected to have the Old Gonic Road access way be an exit only.

7. *Excavation Permits required for any work performed in the City right of way*

RESPONSE: This note has been added to Sheet OVRs.

STORMWATER COMMENTS:

1. *The development stormwater management and erosion control design must meet Rochester Chapter 218 Stormwater Ordinance. Drainage will be reviewed by 3rd party consultant, Geosyntec. Escrow for review fee is required and there is a two-week turnaround for review*

RESPONSE: Compliance with Chapter 218 Stormwater Ordinance has been reviewed. We understand that the plans and drainage have been sent to GeoSyntec for a Third-Party Review. Escrow fees were provided already.

2. *Provide status of state environmental permits. The City requires copies of all permit applications, review comments and responses, and issued permits. If review by state or federal agencies requires modifications to the plans, the city will need to review the changes in a revised submittal.*

RESPONSE: We will be submitting State permits shortly after this submittal is made.

3. *DPW Stormwater Permit required prior to construction*

RESPONSE: This note has been added to Sheet OVRs.

Included with this response letter are the following:

1. Three (3) Full Size Plan Sets.
2. Sixteen (16) 11x17 Plan Sets (Folded).
3. 3 Traffic Impact Analysis
4. Revised Architectural Plans.

Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

Joseph Coronati

Joseph Coronati

Vice President

cc: Green & Company (via email)
John O'Neil (via email)
Jim Gove, Gove Environmental Services (via email)
Steve Pernaw, Traffic Consultant (via email)
John Sykora, Weston & Sampson (via email)
Chris Berg, Wright-Pierce (via email)

RECEIVED
JAN 18 2022

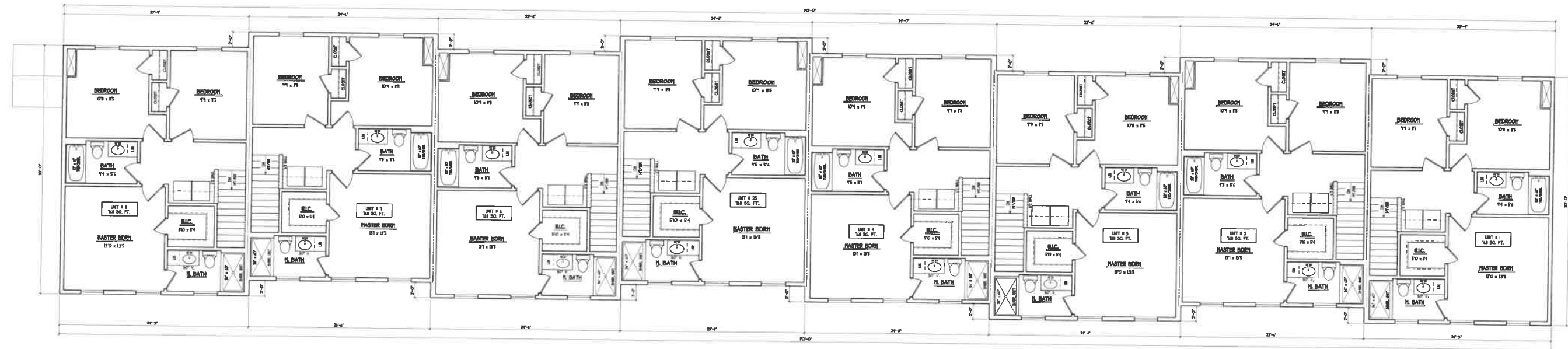


FRONT ELEVATION
SCALE 1/4" = 1'-0"



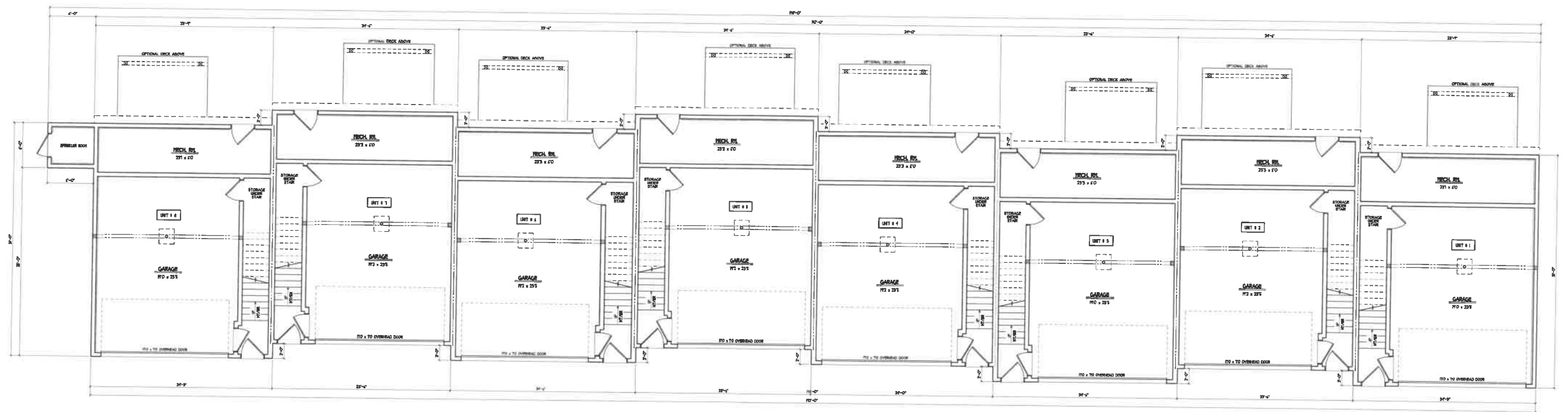
FRONT ELEVATION

SCALE 1/8" = 1'-0"

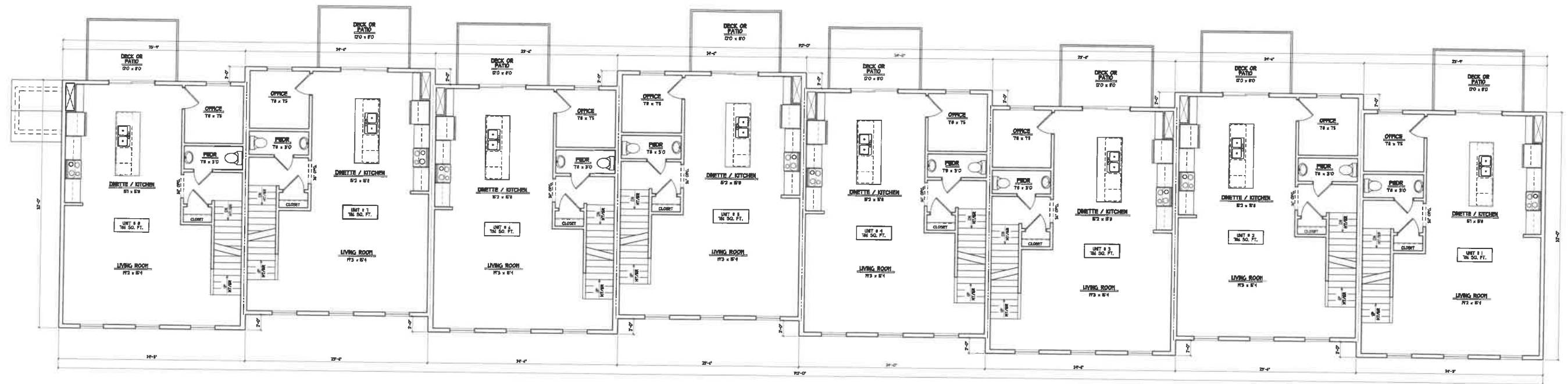


THIRD FLOOR PLAN

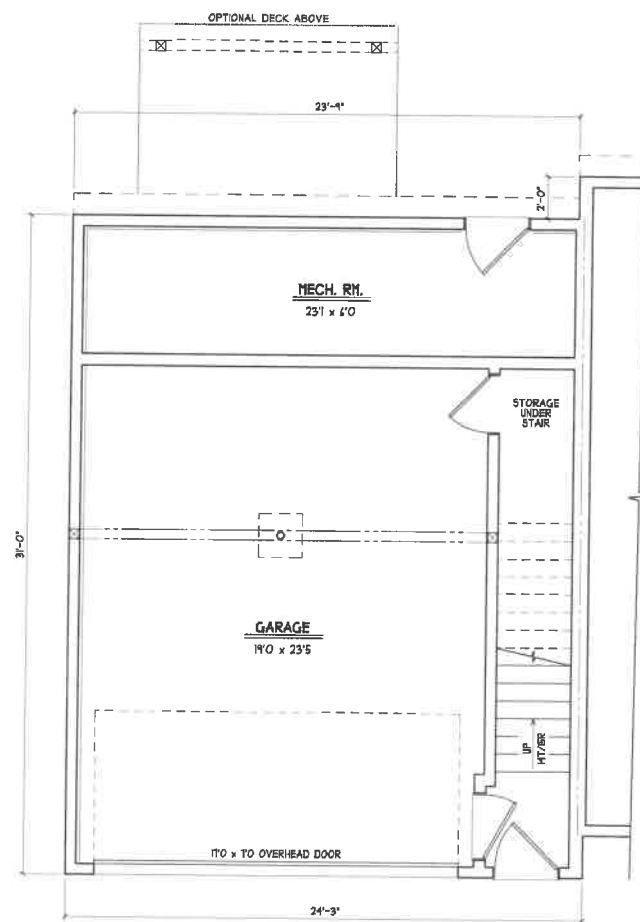
SCALE 1/4" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

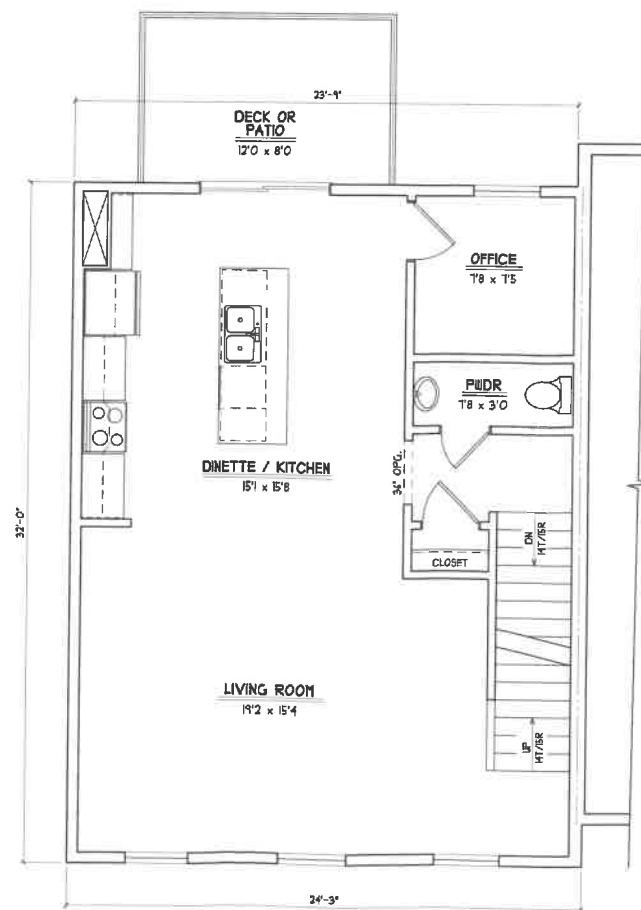


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



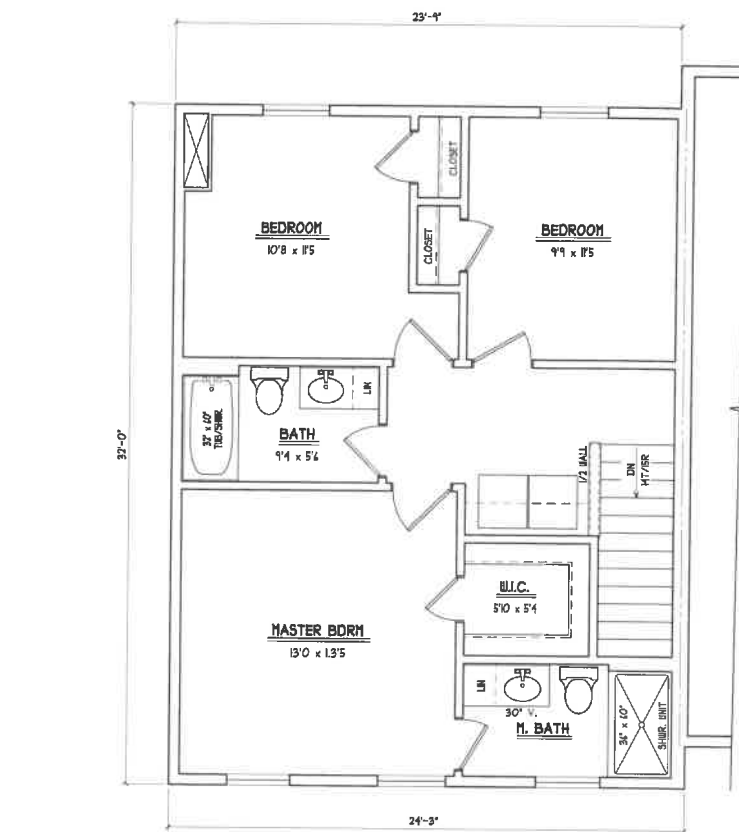
GROUND FLOOR PLAN

APPROX. 25 SQ. FT.
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

APPROX. 168 SQ. FT.
SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN

APPROX. 168 SQ. FT.
SCALE: 1/4" = 1'-0"

CEILING HGT.
27'-5 1/8" A.F.F.

THIRD FLR.
11'-4" A.F.F.

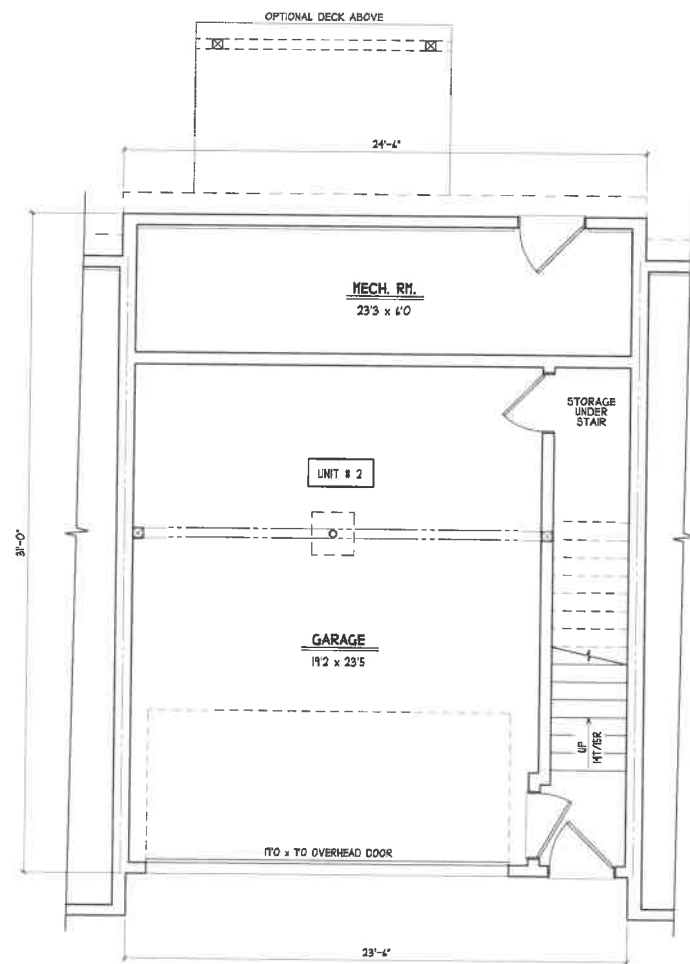
SECOND FLR.
9'-8" A.F.F.

GROUND FLR.
0'-0" A.F.F.



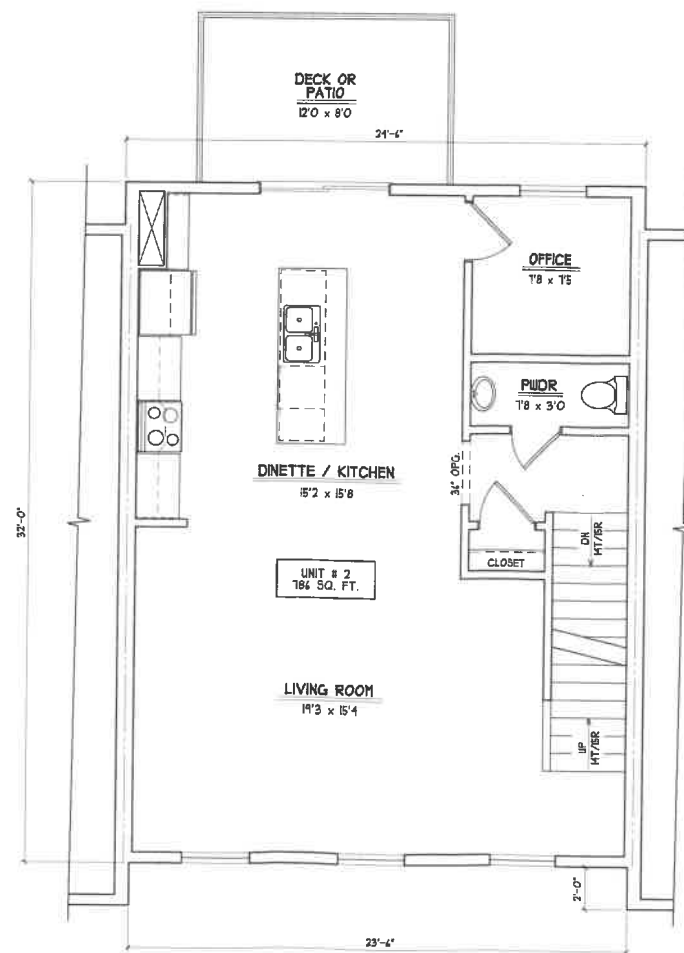
GROUND FLOOR PLAN

APPROX. 1541 SQ. FT.
SCALE: 1/4" = 1'-0"



GROUND FLOOR PLAN

APPROX. 38 SQ. FT.
SCALE: 1/4" = 1'-0"



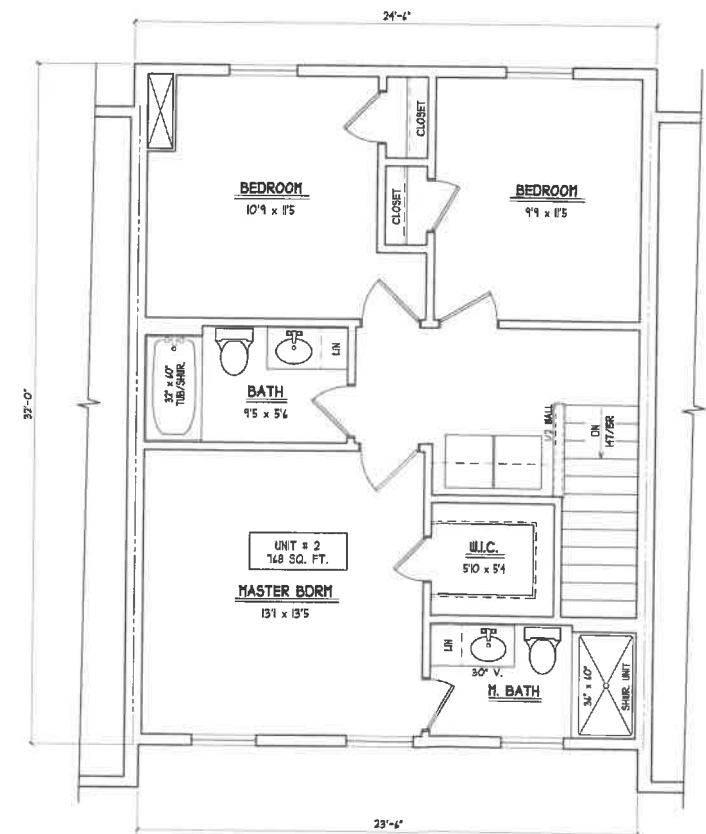
SECOND FLOOR PLAN

APPROX. 148 SQ. FT.
SCALE: 1/4" = 1'-0"



GROUND FLOOR PLAN

APPROX. 1541 SQ. FT.
SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN

APPROX. 148 SQ. FT.
SCALE: 1/4" = 1'-0"

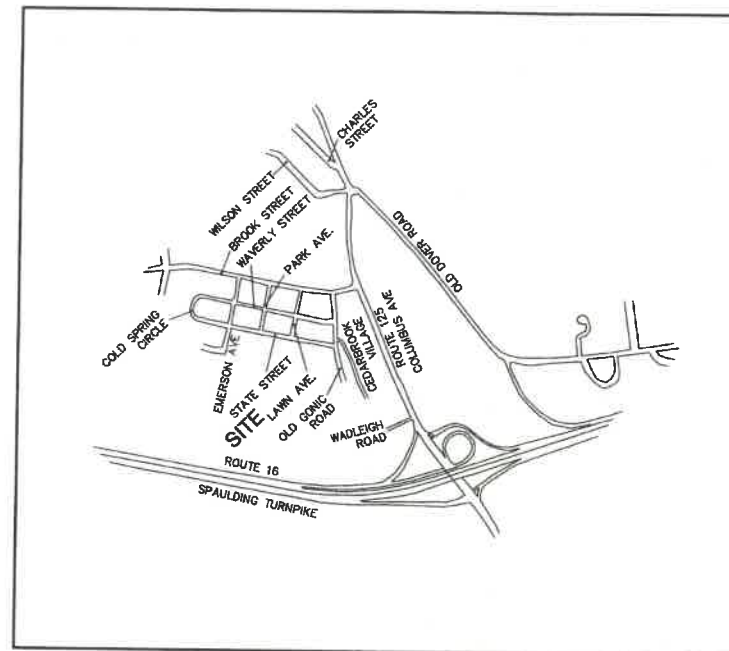
GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		CENTERLINE
		FRESHWATER WETLANDS LINE
		TIDAL WETLANDS LINE
		STREAM CHANNEL
		TREE LINE
		STONEWALL
		BARBED WIRE
		FENCE
		STOCKADE FENCE
		SOIL BOUNDARY
		AQUIFER PROTECTION LINE
		FLOOD PLAIN LINE
		ZONELINE
		EASEMENT
		MAJOR CONTOUR
		MINOR CONTOUR
		EDGE OF PAVEMENT
		VERTICAL GRANITE CURB
		SLOPE GRANITE CURB
		CAPE COD BERM
		POURED CONCRETE CURB
		ORGANIC FILTER BERM
		DRAINAGE LINE
		SEWER LINE
		SEWER FORCE MAIN
		GAS LINE
		WATER LINE
		WATER SERVICE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GUARDRAIL
		UNDERDRAIN
		FIRE PROTECTION LINE
		THRUST BLOCK
		IRON PIPE/IRON ROD
		DRILL HOLE
		IRON ROD/DRILL HOLE
		STONE/GRANITE BOUND
		SPOT GRADE
		PAVEMENT SPOT GRADE
		CURB SPOT GRADE
		BENCHMARK (TBM)
		DOUBLE POST SIGN
		SINGLE POST SIGN
		WELL
		TEST PIT
		FAILED TEST PIT
		MONITORING WELL
		PERC TEST
		PHOTO LOCATION
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		SEWER MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		TRANSFORMER
		CULVERT W/WINGWALLS
		CULVERT W/FLARED END SECTION
		CULVERT W/STRAIGHT HEADWALL
		STONE CHECK DAM
		DRAINAGE FLOW DIRECTION
		4K SEPTIC AREA
		WETLAND IMPACT
		VEGETATED FILTER STRIP
		RIPRAP
		OPEN WATER
		FRESHWATER WETLANDS
		TIDAL WETLANDS
		STABILIZED CONSTRUCTION ENTRANCE
		CONCRETE
		GRAVEL
		SNOW STORAGE
		RETAINING WALL

PROPOSED SITE PLAN "BAYBERRY COMMONS"

TAX MAP 131, LOT 1

19 OLD GONIC ROAD, ROCHESTER, NH



LOCUS MAP
SCALE 1" = 2000'

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI
EMAIL: JCORONATI@JONESANDBEACH.COM

TRAFFIC ENGINEER
STEPHEN G. PERNAW & COMPANY, INC.
P.O. BOX 1821
CONCORD, NH 03302
(603) 731-8500
CONTACT: STEPHEN G. PERNAW
EMAIL: SGP@PERNAW.COM

WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BUILDING 2, UNIT H
EXETER, NH 03833-7526
(603) 778-0644
CONTACT: JAMES GOVE
EMAIL: JGOVE@GESINC.BIZ

LANDSCAPE DESIGNER
LM LAND DESIGN, LLC
11 SOUTH ROAD
BRENTWOOD, NH 03833
(603) 770-7728
CONTACT: LISE McNAUGHTON
LMLANDDESIGN@GMAIL.COM

WATER AND SEWER
ROCHESTER DEPARTMENT OF PUBLIC WORKS
45 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 332-4096
CONTACT: MICHAEL BEZANSON, P.E.

ELECTRIC
EVERSOURCE ENERGY
74 OLD DOVER ROAD
ROCHESTER, NH 03867
(603) 555-5334
CONTACT: MARK BOUCHER

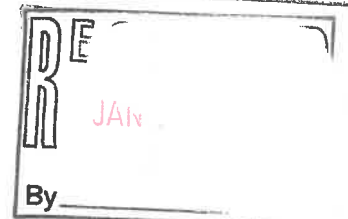
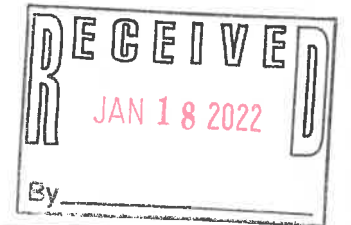
TELEPHONE
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

NATURAL GAS
UNITIL SERVICE CORP.
325 WEST ROAD
PORTSMOUTH, NH 03801
(603) 294-5261
MACLEAND@UNITIL.COM

SHEET INDEX

CS	COVER SHEET
OVEX	EXISTING CONDITIONS OVERVIEW PLAN
C1-C4	EXISTING CONDITIONS PLAN
DM1	DEMOLITION PLAN
OVR5	OVERVIEW SITE PLAN
C5-C8	SITE PLANS
OVRG	OVERVIEW GRADING PLAN
C9-C11	GRADING AND DRAINAGE PLAN
OVRU	OVERVIEW UTILITY PLAN
U1-U2	UTILITY PLAN
L1-L2	LANDSCAPE PLAN
L3-L4	LIGHTING PLAN
P1-P6	ROAD PLAN AND PROFILE
P7-P10	SEWER PROFILE
OFF-1-5	OFFSITE IMPROVEMENT PLANS
D1-D4	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
PH	PHASING PLAN



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,885 SQ. FT. ±
30.07 ACRES ±

APPROVED - ROCHESTER, NH
PLANNING BOARD

DATE:

Design: JAC Draft: LAZ Date: 04/28/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



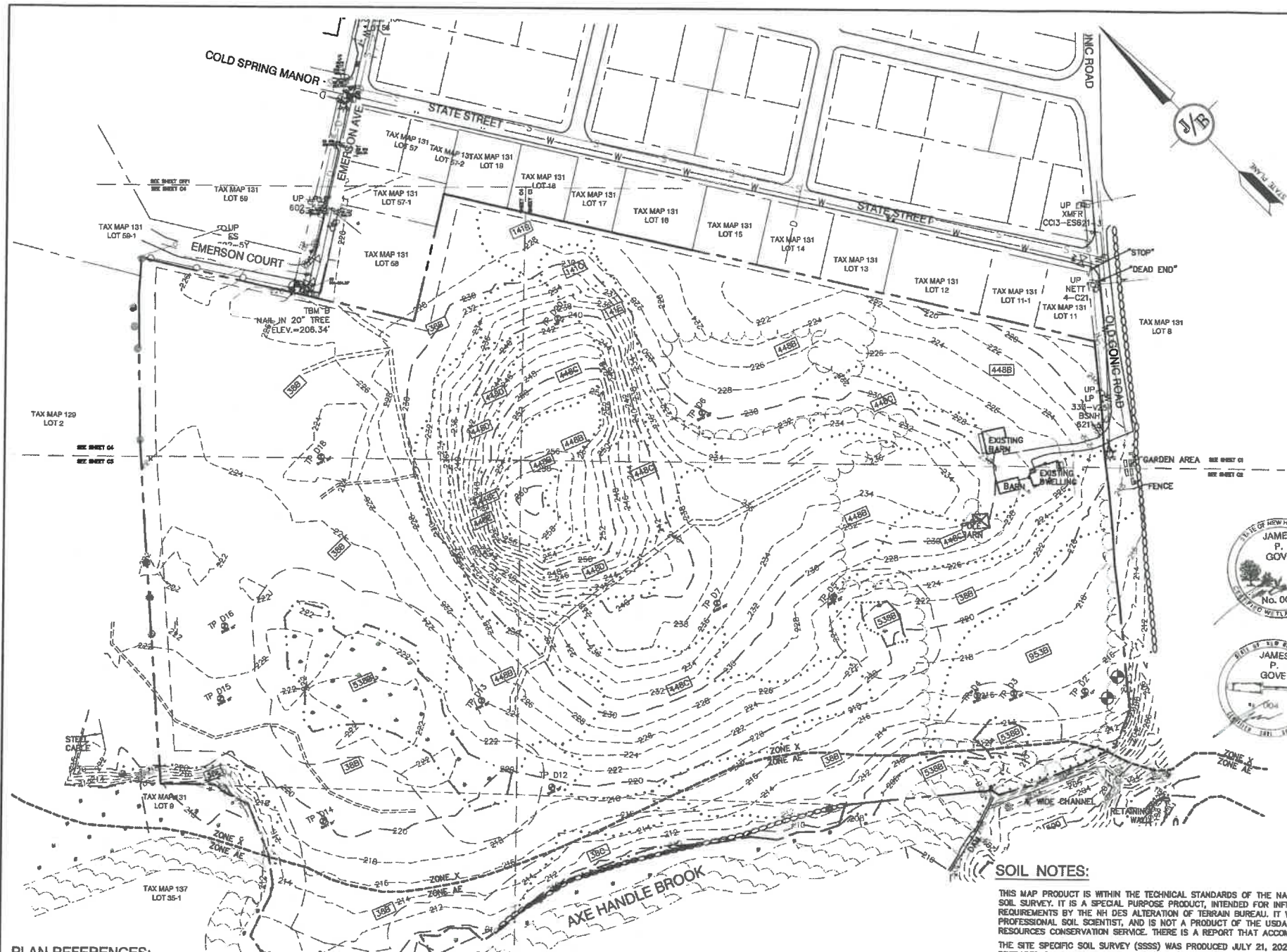
REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 FAX: 603-772-0227
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

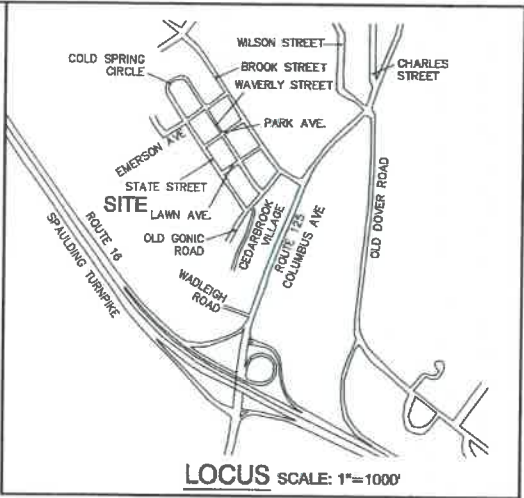
DRAWING No.
CS
SHEET 1 OF 48
JBE PROJECT NO. 21090

PROJECT NAME AND LOCATION:
JBE # 21090 REVISION 0, 11/23/21



EXISTING CONDITIONS NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-010-SAFE (1-888-344-7233).
- VERTICAL DATUM: NAVD 88. HORIZONTAL DATUM: STATE PLANE COORDINATES.
- THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN AN AREA HAVING A ZONE A DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33017C0210D, WITH EFFECTIVE DATE OF MAY 17, 2005 FOR COMMUNITY PANEL NO. 211 OF 405, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES GOVE DURING SPRING, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.



ABUTTERS:

- | | | | | |
|--|---|---|---|--|
| 131/08-1
JURA DATCHELL
1A CEDARBROOK AVE
ROCHESTER, NH 03867
4853/126 (5/9/19) | 131/08-17
ALIDA MANSON
3C CEDARBROOK AVE
ROCHESTER, NH 03867
4822/411 (11/27/18) | 131/08-33
DEBRA WELCH
6A CEDARBROOK AVE
ROCHESTER, NH 03867
4848/275 (4/3/19) | 131/08-48
MARISSA CORBIN
8E CEDARBROOK AVE
ROCHESTER, NH 03867
4848/275 (4/3/19) | 131/08-65
LYNE PARADIS
11A CEDARBROOK AVE
ROCHESTER, NH 03867
3120/280 (12/21/04) |
| 131/08-2
KATHRYN SOUSA
1B CEDARBROOK AVE
ROCHESTER, NH 03867
2985/618 (3/30/2004) | 131/08-18
EVANS FAMILY TRUST
3D CEDARBROOK AVE
ROCHESTER, NH 03867
4757/568 (4/9/20) | 131/08-34
JOSEPH ZUROMSKIS
6B CEDARBROOK AVE
ROCHESTER, NH 03867
2110/732 (5/26/1999) | 131/08-50
JUSTIN MANTEUFFEL
8F CEDARBROOK AVE
ROCHESTER, NH 03867
3522/214 (4/2/07) | 131/08-66
GRANT REALTY TRUST
ATTN: DAVID PAOLINI
242 CENTRAL AVE
DOVER, NH 03820
4178/531 (11/5/13) |
| 131/08-3
ANNA & ROBERT
1C CEDARBROOK AVE
ROCHESTER, NH 03867
4548/289 (1/31/18) | 131/08-19
JESSICA STENERI
3E CEDARBROOK AVE
ROCHESTER, NH 03867
4487/437 (8/22/17) | 131/08-35
ONGGOWARISO
8C CEDARBROOK AVE
ROCHESTER, NH 03867
4312/136 (7/24/15) | 131/08-51
JEFFREY BOOMER
9A CEDARBROOK AVE
ROCHESTER, NH 03867
4576/729 (8/17/18) | 131/08-67
LISA WHEAT
11E CEDARBROOK AVE
ROCHESTER, NH 03867
4588/836 (8/2/18) |
| 131/08-4
ANY SCHAEFFER
1D CEDARBROOK AVE
ROCHESTER, NH 03867
4387/484 (5/26/18) | 131/08-20
SEAN CONNORS
3F CEDARBROOK AVE
ROCHESTER, NH 03867
4598/273 (8/27/18) | 131/08-36
JOSHUA SWONGER
8D CEDARBROOK AVE
ROCHESTER, NH 03867
4956/1035 (9/21/21) | 131/08-52
KENNETH MAUSER
8B CEDARBROOK AVE
ROCHESTER, NH 03867
3935/102 (8/26/11) | 131/08-68
CHARLENE WHITEHOUSE
11F CEDARBROOK AVE
ROCHESTER, NH 03867
2417/55 (11/25/01) |
| 131/08-5
NATHANIEL PRIEBE
1E CEDARBROOK AVE
ROCHESTER, NH 03867
4855/795 (5/19/19) | 131/08-21
SRARH GIAMBRONE
4A CEDARBROOK AVE
ROCHESTER, NH 03867
3018/408 (8/20/04) | 131/08-37
LINDSEY NICKLESS
8E CEDARBROOK AVE
ROCHESTER, NH 03867
4814/926 (10/1/20) | 131/08-53
HOMER WOODBURY
9C CEDARBROOK AVE
ROCHESTER, NH 03867
3185/820 (3/31/05) | 131/08-69
CHRISTINE SENECHAL
12A CEDARBROOK AVE
ROCHESTER, NH 03867
4428/130 (10/25/16) |
| 131/08-6
DAVID PETTIS
27A CEDAR ST
ROCHESTER, NH 03867
4858/411 (5/30/19) | 131/08-22
BRIAN MCQUADE
1F CEDARBROOK AVE
ROCHESTER, NH 03867
3911/711 (1/13/11) | 131/08-38
JAMES BOUCHER
8F CEDARBROOK AVE
ROCHESTER, NH 03867
1977/283 (1/11/1998) | 131/08-54
JAMES SAULNIER
9D CEDARBROOK AVE
ROCHESTER, NH 03867
4579/933 (8/28/18) | 131/08-70
STEPHEN SMALL
12 B CEDARBROOK AVE
ROCHESTER, NH 03867
2543/142 (7/11/02) |
| 131/08-7
AMANDA LAMBERT
1G CEDARBROOK AVE
ROCHESTER, NH 03867
3931/316 (3/27/08) | 131/08-23
KERRY DESAUTEL
4C CEDARBROOK AVE
ROCHESTER, NH 03867
3935/932 (8/27/11) | 131/08-39
ERIN FERLAND
7G CEDARBROOK AVE
ROCHESTER, NH 03867
4963/870 (10/5/21) | 131/08-55
ALISON JESSEMAN
9E CEDARBROOK AVE
ROCHESTER, NH 03867
4363/989 (3/6/16) | 131/08-71
SARAH BENTON
12C CEDARBROOK AVE
ROCHESTER, NH 03867
4573/310 (6/3/18) |
| 131/08-8
CAROLINE LEWIS
1H CEDARBROOK AVE
ROCHESTER, NH 03867
4597/717 (8/30/19) | 131/08-24
PATRICK RILEY
4D CEDARBROOK AVE
ROCHESTER, NH 03867
2400/878 (10/30/01) | 131/08-40
ROBIN GARY
7B CEDARBROOK AVE
ROCHESTER, NH 03867
4541/660 (1/4/18) | 131/08-56
CHEN YU
9F CEDARBROOK AVE
ROCHESTER, NH 03867
4880/675 (8/14/19) | 131/08-72
ROBERT THOMAS
12D CEDARBROOK AVE
ROCHESTER, NH 03867
3032/39 (7/2/04) |
| 131/08-9
STEPHEN & PATRICIA
TALOR
2A CEDARBROOK AVE
ROCHESTER, NH 03867
2392/538 (10/15/01) | 131/08-25
PAULE PRATT
4E CEDARBROOK AVE
ROCHESTER, NH 03867
2916/48 (12/11/03) | 131/08-41
BRANDON MAINS
7C CEDARBROOK AVE
ROCHESTER, NH 03867
4628/242 (1/10/19) | 131/08-57
UNAMBYETI ESPERANCE
10A CEDARBROOK AVE
ROCHESTER, NH 03867
4980/191 (9/23/21) | 131/08-73
SUSAN WELSH
12E CEDARBROOK AVE
ROCHESTER, NH 03867
3032/39 (7/2/04) |
| 131/08-10
BRIAN HEBERT
2B CEDARBROOK AVE
ROCHESTER, NH 03867
4847/802 (12/13/20) | 131/08-26
TIMUR GAMIROV
4F CEDARBROOK AVE
ROCHESTER, NH 03867
4298/803 (5/28/15) | 131/08-42
IOLA FOREMAN
7D CEDARBROOK AVE
ROCHESTER, NH 03867
4598/155 (8/30/18) | 131/08-58
DANIEL DEGRANDPRE
10B CEDARBROOK AVE
ROCHESTER, NH 03867
4858/850 (5/29/18) | 131/08-74
MELINDA RIGGER REV.
TRUST
12F CEDARBROOK AVE
ROCHESTER, NH 03867
4304/153 (6/25/15) |
| 131/08-11
JUDI TANUDHARTHA
2C CEDARBROOK AVE
ROCHESTER, NH 03867
429/512 (5/7/15) | 131/08-27
HAYDEN GRACE KRISTY
5A CEDARBROOK AVE
ROCHESTER, NH 03867
4884/777 (8/19/19) | 131/08-43
MELANIE HOLT
7E CEDARBROOK AVE
ROCHESTER, NH 03867
4798/861 (8/17/20) | 131/08-59
RALPH STILLINGS
10C CEDARBROOK AVE
ROCHESTER, NH 03867
4625/478 (10/26/17) | 131/08-75
SSG LLC
12G CEDARBROOK AVE
ROCHESTER, NH 03867
3371/144 (4/10/06) |
| 131/08-12
GEORGE GATCOMB
2D CEDARBROOK AVE
ROCHESTER, NH 03867
3328/879 (1/28/06) | 131/08-28
LINDA LACHANCE
5B CEDARBROOK AVE
ROCHESTER, NH 03867
3477/108 (12/21/06) | 131/08-44
ALEXANDRA WICKMAN
JOSEPH WARREN
7F CEDARBROOK AVE
ROCHESTER, NH 03867
4765/858 (5/28/20) | 131/08-60
DENISE SELFE
10D CEDARBROOK AVE
ROCHESTER, NH 03867
2215/280 (4/16/2000) | 131/08-76
CITY OF ROCHESTER
31 WAKEFIELD ST
ROCHESTER, NH 03867
3371/144 (4/10/06) |
| 131/08-13
RAYMOND KING
2E CEDARBROOK AVE
ROCHESTER, NH 03867
3474/0028 (12/18/06) | 131/08-29
MICHAEL WALSH
5C CEDARBROOK AVE
ROCHESTER, NH 03867
4705/183 (10/30/19) | 131/08-45
KAREN BAILEY
8A CEDARBROOK AVE
ROCHESTER, NH 03867
3876/380 (10/27/10) | 131/08-61
RICHARD DUSSETT
33 ALEXANDRA LANE
ROCHESTER, NH 03867
1304/288 (4/15/1987) | 131/08-77
JOHN COLECHIA
10 F CEDARBROOK AVE
ROCHESTER, NH 03867
4792/125 (5/7/20) |
| 131/08-14
OAK BLUFF REALTY LLC
242 CENTRAL AVE
DOVER, NH 03820
3953/549 (9/8/11) | 131/08-30
SANDRA FOURNIER
5D CEDARBROOK AVE
ROCHESTER, NH 03867
2942/181 (2/11/04) | 131/08-46
MICHAEL GROVETTI
8B CEDARBROOK AVE
ROCHESTER, NH 03867
4715/120 (12/2/16) | 131/08-62
TARA CANFIELD
11A CEDARBROOK AVE
ROCHESTER, NH 03867
2443/74 (1/10/02) | 131/08-78
MOORE FAMILY REV.
TRUST
21 RIDGEWOOD ROAD
ELIOT, MAINE 03903 |
| 131/08-15
SEAN JACKSON
3A CEDARBROOK AVE
ROCHESTER, NH 03867
4581/644 (8/28/18) | 131/08-31
OLD DOG PROPERTIES
LLC
24 MORRISON LANE
DOVER, NH 03820
4027/158 (5/28/12) | 131/08-47
PHILIP LANG
8C CEDARBROOK AVE
ROCHESTER, NH 03867
4581/877 (8/28/18) | 131/08-63
ROBIN LORD
8D CEDARBROOK AVE
ROCHESTER, NH 03867
4923/162 (8/22/21) | |
| 131/08-16
CATHY HANSON
3B CEDARBROOK AVE
ROCHESTER, NH 03867
4457/435 (2/9/17) | 131/08-32
ELIZABETH RANKS
235 LONG POND ROAD
DANVILLE, NH 03819
3719/768 (3/10/09) | | | |

SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH.

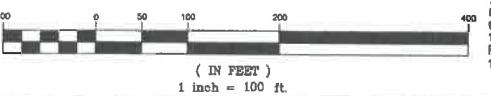
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HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
953	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATTFIELD	228	D
448	SCITUATE FINE SANDY LOAM	323	C
5	ODDORTMENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

SLOPE PHASE:
0-8% B 8-15% C 15-25% D
25%+ E

GRAPHIC SCALE



PLAN REFERENCES:

- "CEDARBROOK VILLAGE CONDOMINIUM DEVELOPMENT BOUNDARY SURVEY FOR ROUNHOUSE REALTY TRUST ROCHESTER, NH"; PREPARED BY BERRY CONST. CO., INC.; DATED APRIL 23, 1988; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P23-058.
- "PLAN OF LAND PARCEL NO. 5 TAX ASSESSOR'S MAP NO. 8 NEW HAMPSHIRE ROUTE 125 PREPARED FOR JEN-SCOTT REALTY, INC.; PREPARED BY CIVILWORKS ENGINEERS AND SURVEYORS; DATED NOVEMBER 8, 1989 RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P37A-028.
- "PROPOSED SUBDIVISION AND LOT LINE REVISION FOR ROCHESTER HOUSING AUTHORITY COLD SPRING MANOR BROOK STREET ROCHESTER, NH"; PREPARED BY BERRY SURVEYING & ENGINEERING; DATED FEBRUARY 13, 2001; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P61-056.
- "PROPOSED SUBDIVISION LAND OF THOMAS & JODI REMINGTON 15 OLD GONIC ROAD ROCHESTER, NH"; PREPARED BY BERRY SURVEYING & ENGINEERING; DATED AUGUST 17, 2009; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P81-0036.
- "SUBDIVISION PLAN TAX MAP 131, LOT 26 WAVERLY ST., OLD GONIC RD. ROCHESTER NH FOR BAYONNE CONSTRUCTION COMPANY, INC.; PREPARED BY NORWAY PLAINS ASSOCIATES, INC. DATED JULY 25, 2006; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P86-0100.
- "SUBDIVISION PLAN TAX MAP 131, LOT 57 STATE STREET & EMERSON COURT ROCHESTER NH FOR RUNNING WITH HAMMERS, LLC; PREPARED BY NORWAY PLAINS ASSOCIATES, INC.; DATED OCTOBER 17, 2007; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P92-014.
- "ROCHESTER HEIGHTS ROCHESTER, NH A.H. CHAPMAN LAND CO"; PREPARED BY E.H. SHEPHERD; DATED JULY 1929; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN #19 POCKET #10 FOLDER #3.

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/17/2022

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
2	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

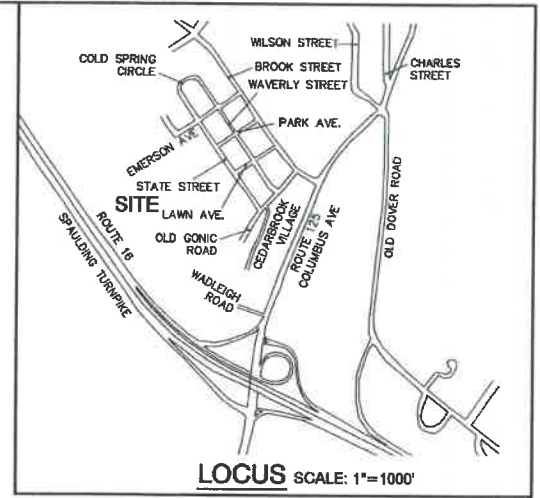
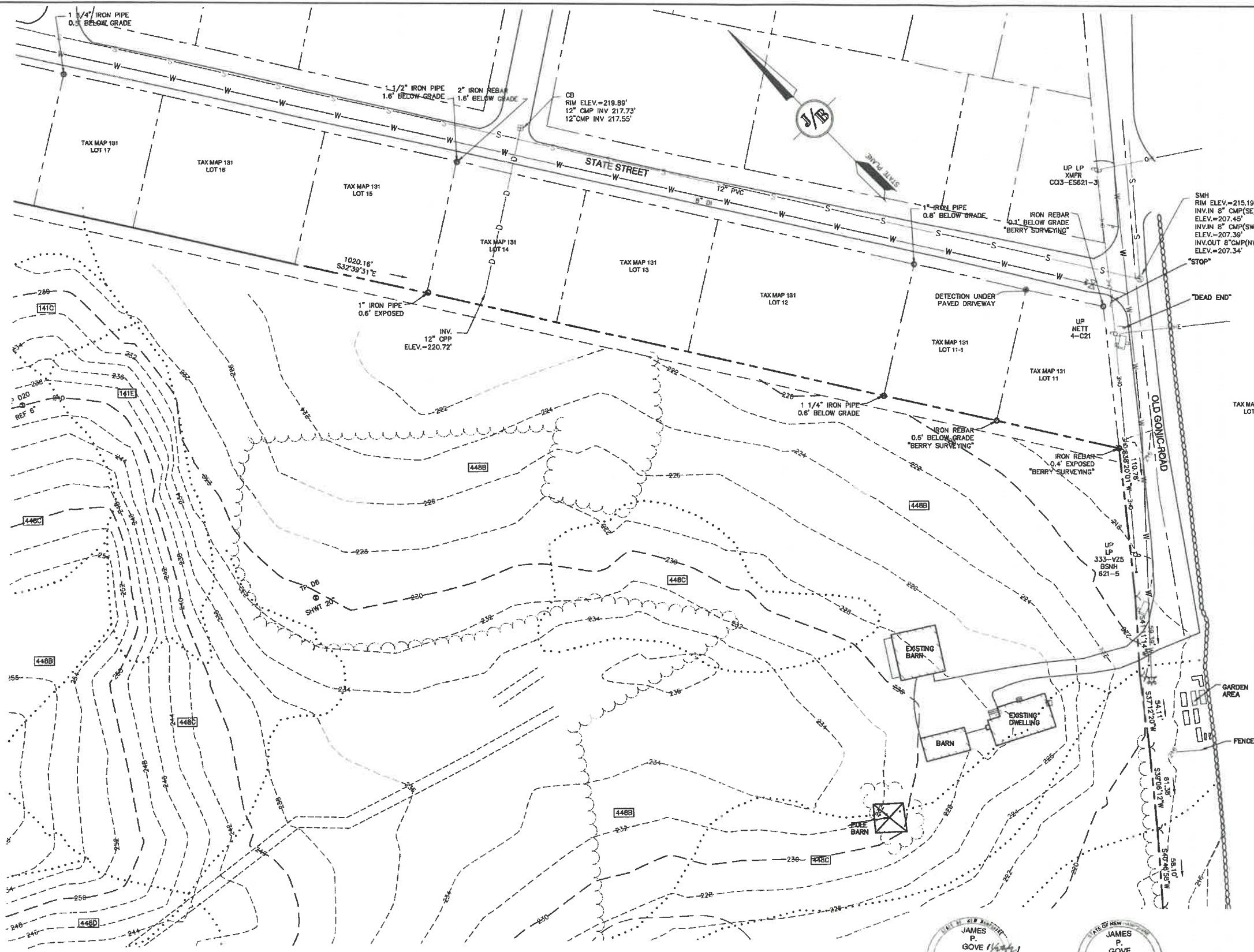
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,686 SQ. FT. ± 30.07 ACRES ±
DRAWING No. OVR SHEET 2 OF 48 JBE PROJECT NO. 21090



SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

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HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
053	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATFIELD	228	D
448	SCITUATE FINE SANDY LOAM	323	C
5	OODORTHENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

SLOPE PHASE:

0-8% B	8-15% C	15-25% D
25%+ E		

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

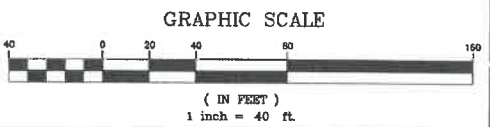
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DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/10/2022



Design: JAC | Draft: LAZ | Date: 04/29/21
Checked: JAC | Scale: AS NOTED | Project No.: 21090
Drawing Name: 21090-PLAN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

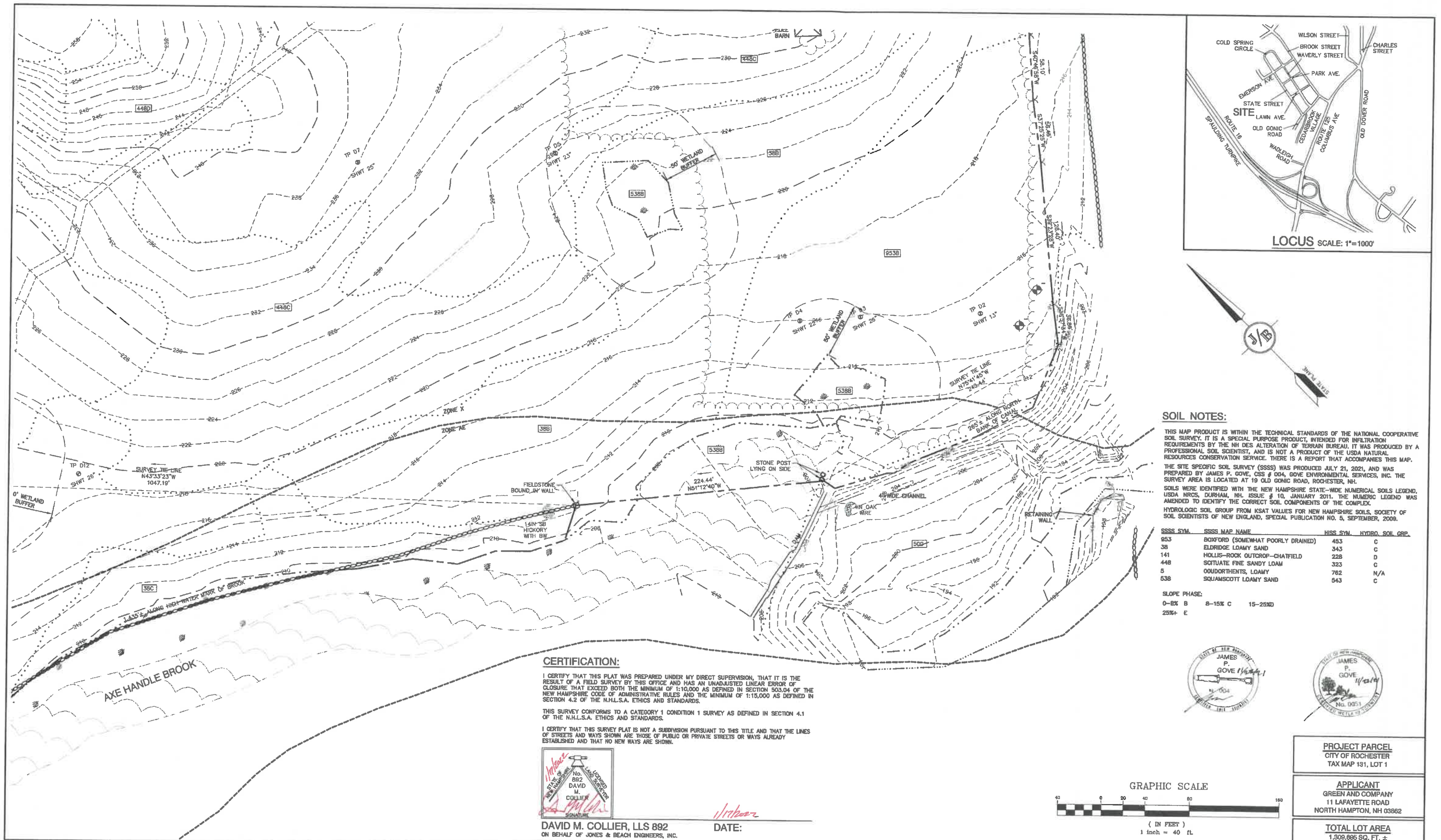
Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4083 PG 148

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

DRAWING No.
C1
SHEET 3 OF 48
JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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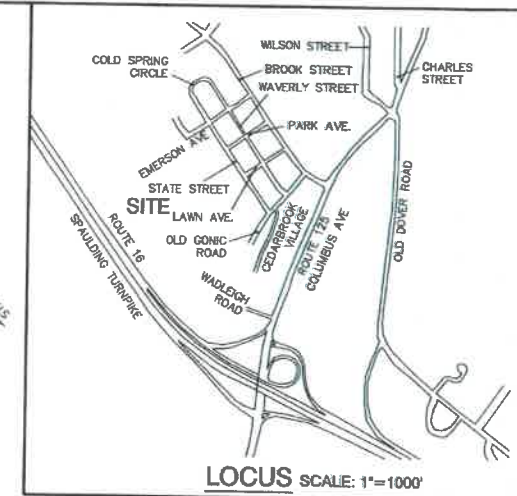
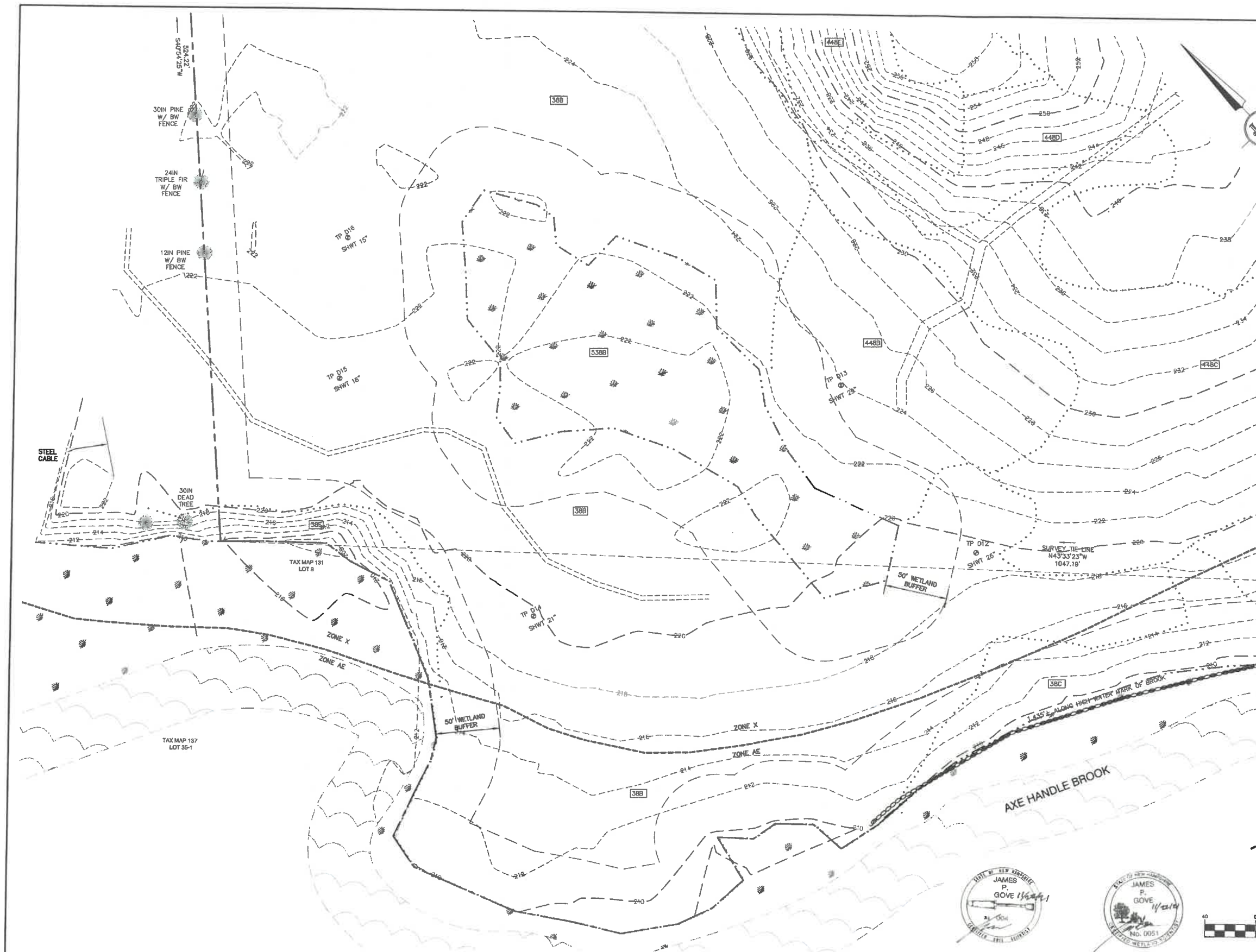


REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
C2
SHEET 4 OF 48
JBE PROJECT NO. 21090



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5	COUDORTHENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

SLOPE PHASE:
0-8% B 8-15% C 15-25% D
25%+ E

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I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

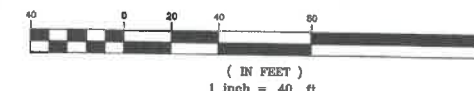
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 11/17/2022

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

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REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Designed and Produced In NH
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**
Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 191, LOT 1

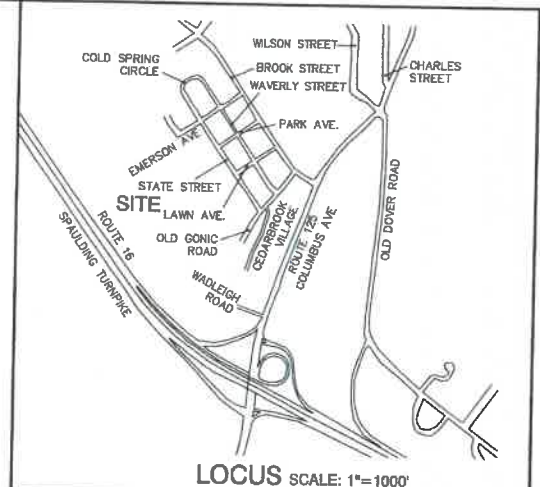
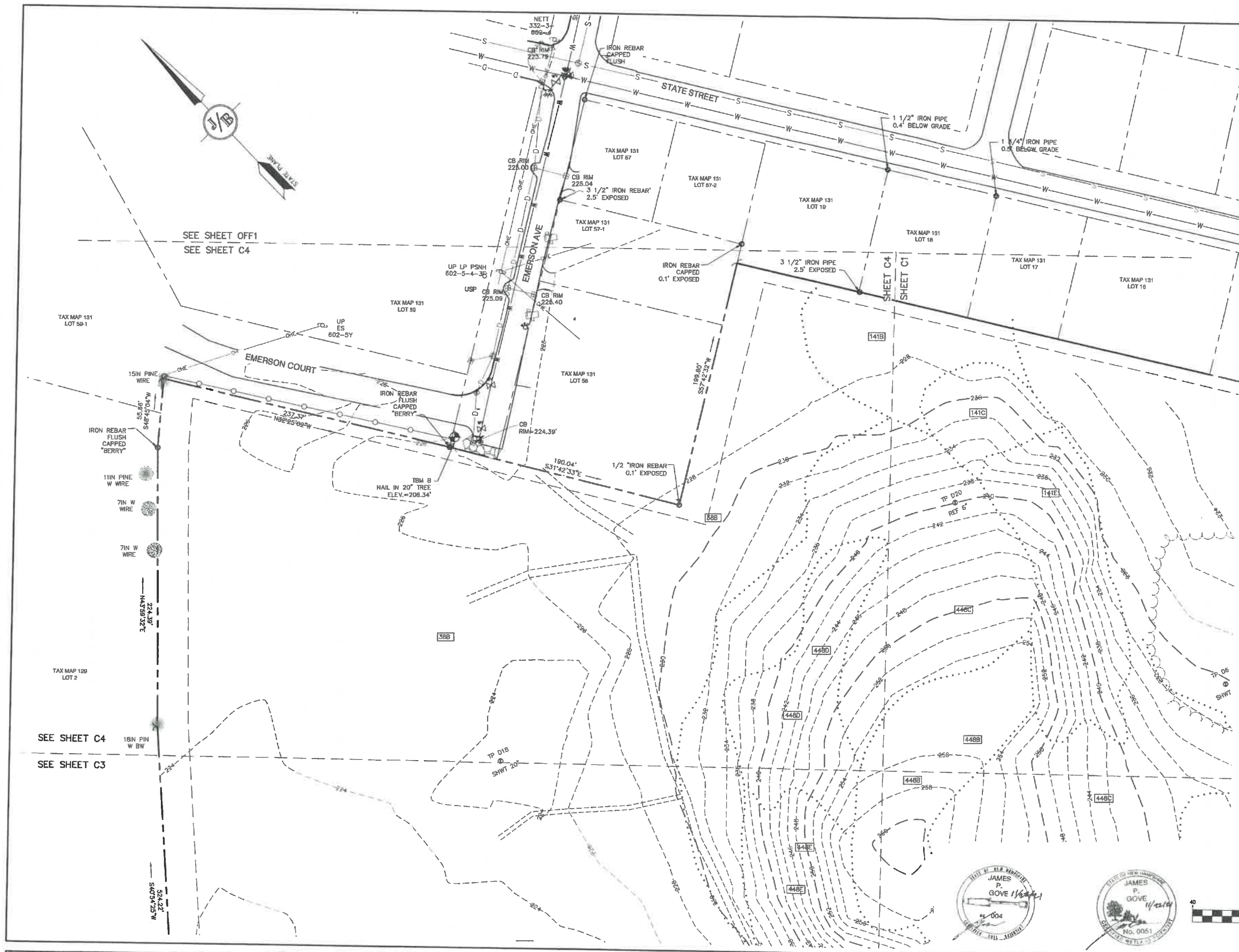
APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

DRAWING No.

C3

SHEET 5 OF 48
JBE PROJECT NO. 21090



SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX. HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2008.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO.	SOIL GRP.
653	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C	
38	ELDRIDGE LOAMY SAND	343	C	
141	HOLLIS-ROCK OUTCROP-CHATFIELD	228	D	
448	SCITUATE FINE SANDY LOAM	323	C	
5	ODDORTMENTS, LOAMY	782	N/A	
538	SQUAMSCOTT LOAMY SAND	543	C	

SLOPE PHASE:
0-8% B 8-15% C 15-25% D
25%+ E

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNDAUNTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

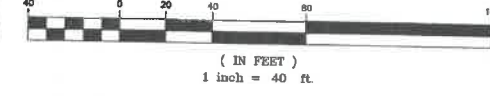
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/16/22

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,308,895 SQ. FT. ± 30.07 ACRES ±

DRAWING No.
C4
SHEET 6 OF 46
JBE PROJECT NO. 21090



DEMOLITION NOTES:

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
3. WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
5. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
6. ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
7. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
8. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS. IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS, THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
9. EXISTING WATERLINES AND HYDRANTS TO BE REMOVED SHALL BE CAPPED AT EXISTING WATERMAIN.
10. EXISTING GAS SERVICE LINES ARE TO BE REMOVED ON-SITE UP TO EXISTING GASMAIN LINES OR VALVES.
11. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
12. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
13. SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
14. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
15. CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
16. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
17. EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED OR MODIFIED AS NOTED ON PLANS. SEWER LINES SHALL BE DISCONNECTED IN ACCORDANCE WITH LOCAL STANDARDS AND REGULATIONS.
18. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
19. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,895 SQ. FT. ±
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

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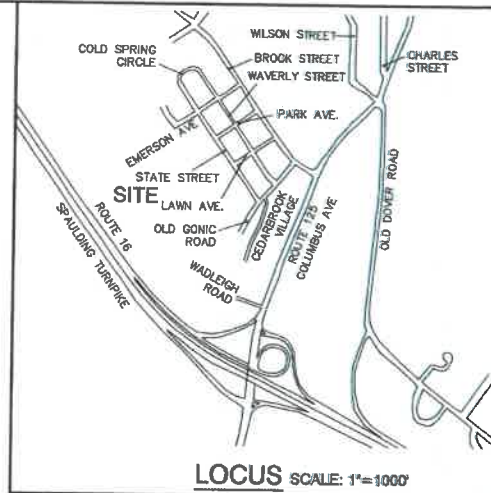
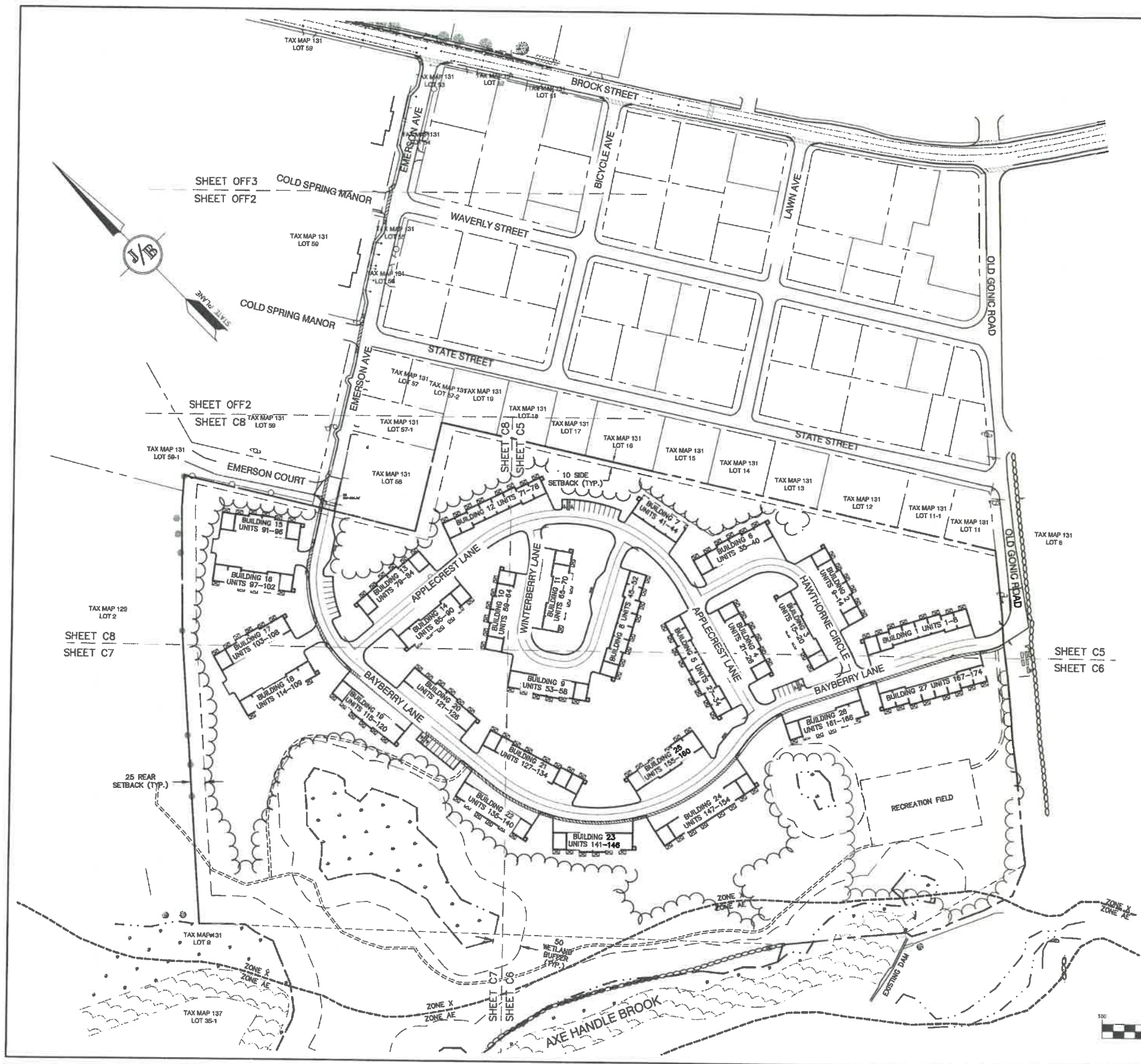


REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DEMOLITION PLAN**
Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.
DM-1
SHEET 7 OF 48
JBE PROJECT NO. 21090



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A 174-UNIT TOWNHOUSE DEVELOPMENT ON THE SUBJECT PARCEL. ALL UNITS TO HAVE 3 BEDROOMS. PROJECT TO BE SERVED BY CITY WATER AND SEWER AND UNDERGROUND UTILITIES.
- ZONING DISTRICT: RESIDENTIAL-2. USE: FIVE-OR MORE FAMILY
LOT AREA MINIMUM = 30,000 SF
LOT FRONTAGE MINIMUM = 100'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 15'
SIDE SETBACK = 10'
REAR SETBACK = 25'
WETLAND SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING FOOTPRINT = 30%
MAX. LOT COVERAGE = 80%
MIN. LOT AREA / DWELLING UNIT = 7,500 S.F.
BUILDING FOOTPRINT PROPOSED = 125,280 S.F. = 16.7% OF SITE
TOTAL LOT COVERAGE PROPOSED = 327,455 S.F. = 25% OF SITE
- DENSITY CALCULATION:
TOTAL LOT AREA = 1,309,695 S.F. / 7,500 S.F. = 175 UNITS ALLOWED
174 UNITS PROVIDED
- LOT COVERAGE CALCULATIONS

	AREA (S.F.)	AREA (AC)	PERCENT OF SITE
TOTAL AREA	1,309,695 S.F.	30.07 AC	
BUILDING AREA	125,280 S.F.	2.9 AC	8.6%
PAVEMENT	202,175 S.F.	4.6 AC	15.4%
WETLAND	58,994 S.F.	1.3 AC	4.5%
LANDSCAPING	387,840 S.F.	9.1 AC	30.4%
OTHER (DRAINAGE)	42,260 S.F.	1.0 AC	3.2%
UNDISTURBED	483,748 S.F.	11.1 AC	36.8%
- PARKING CALCULATIONS
ALL UNITS TO HAVE 2 GARAGE SPACES AND 2 SPACES IN FRONT OF UNIT PLUS 34 VISITOR SPACES INCLUDING 6 HANDICAP SPACES.
TOTAL PARKING ON SITE = 730 SPACES
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN AN AREA HAVING A ZONE A DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33017C021D, WITH EFFECTIVE DATE OF MAY 17, 2005 FOR COMMUNITY PANEL NO. 211 OF 405, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKID BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TYP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 16" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- TRASH TO BE HANDLED WITH TOTES AT EACH UNIT. TRASH TO BE PICKED UP BY A PRIVATE HAULER.
- STATE PERMITS REQUIRED:
NHDES ALTERATION OF TERRAIN PERMIT
NHDES SEWER EXTENSION PERMIT
NHDES DRINKING WATER PERMIT
- EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK PERFORMED WITHIN THE CITY RIGHT-OF-WAY.

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

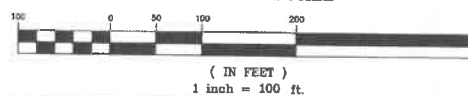
APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

APPROVED - ROCHESTER, NH
PLANNING BOARD

DATE:

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/28/21
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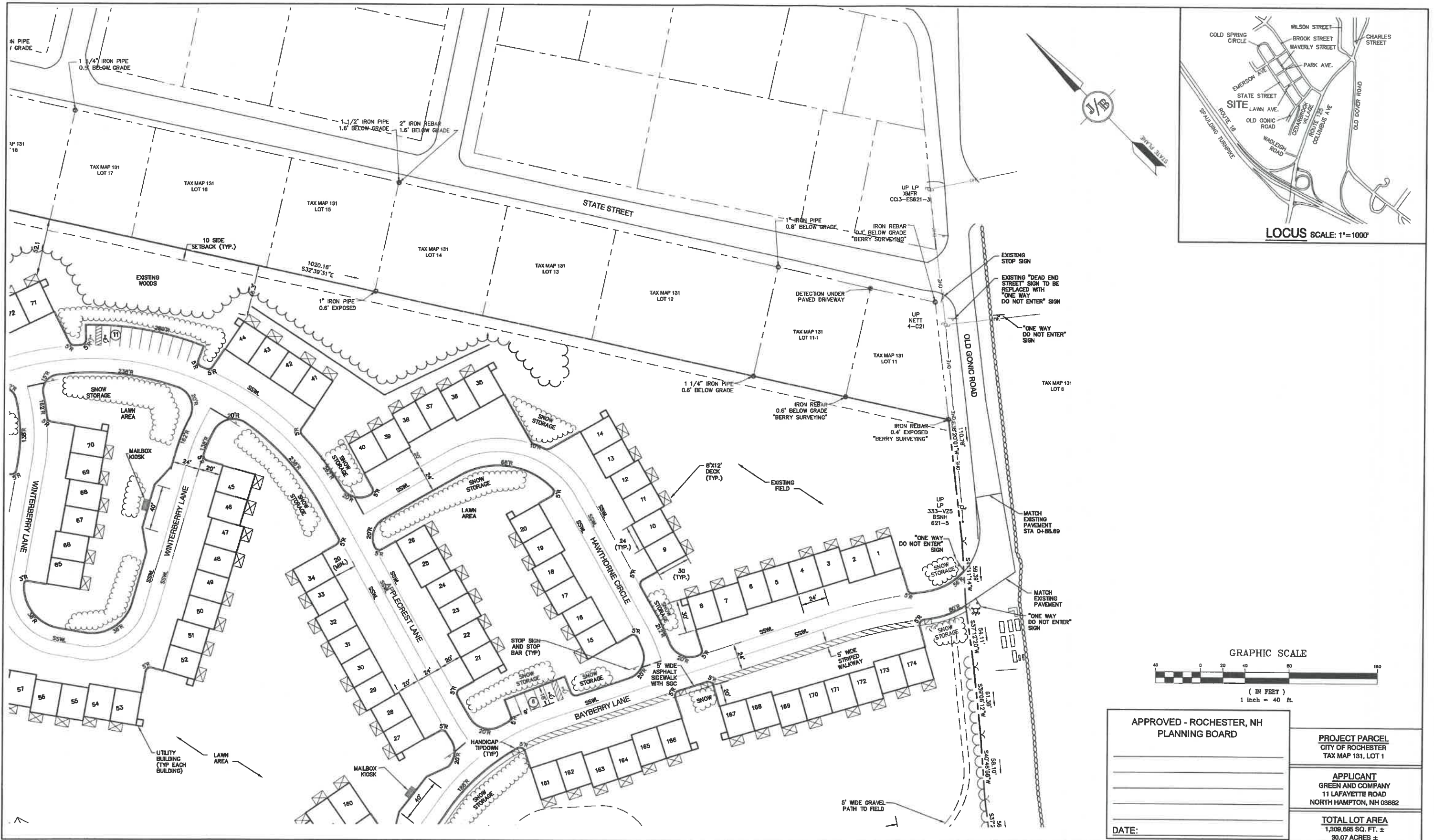


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Designed and Produced in NH
85 Portsmouth Ave.
P.O. Box 219
Stratham, NH 03885
Civil Engineering Services
803-772-4748
FAX: 803-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW SITE PLAN**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
OVRS
SHEET 8 OF 48
JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
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Jones & Beach Engineers, Inc.
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Designed and Produced in NH
Civil Engineering Services
603-772-4748
FAX: 803-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**

Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.
C5
SHEET 9 OF 48
JBE PROJECT NO. 21090

APPROVED - ROCHESTER, NH
PLANNING BOARD

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

DATE: _____





Design: JAC | Draft: LAZ | Date: 04/29/21
 Checked: JAC | Scale: AS NOTED | Project No.: 21090
 Drawing Name: 21090-PLAN.dwg
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 Civil Engineering Services
 85 Portsmouth Ave.
 PO Box 219
 Stratham, NH 03885
 603-772-4748
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
 Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
C7
 SHEET 11 OF 48
 JBE PROJECT NO. 21090

APPROVED - ROCHESTER, NH
 PLANNING BOARD

PROJECT PARCEL
 CITY OF ROCHESTER
 TAX MAP 131, LOT 1

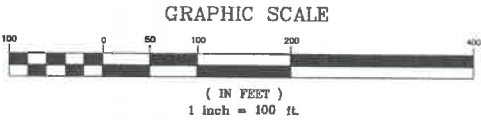
APPLICANT
 GREEN AND COMPANY
 11 LAFAYETTE ROAD
 NORTH HAMPTON, NH 03862

TOTAL LOT AREA
 1,309,896 SQ. FT. ±
 30.07 ACRES ±

DATE:

GRADING AND DRAINAGE NOTES:

- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPESES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/nepes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
- IF THIS CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 85 % MATURE VEGETATION COVER, OR RIPRAP BY OCTOBER 15, THEN THE SITE MUST BE PROTECTED WITH OVER-WINTER STABILIZATION. THE WINTER CONSTRUCTION PERIOD IS FROM OCTOBER 15 THROUGH MAY 15. WINTER EXCAVATION AND EARTHWORK ACTIVITIES SHALL BE LIMITED IN EXTENT AND DURATION, TO MINIMIZE POTENTIAL EROSION AND SEDIMENTATION IMPACTS.
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES AND ALONG WETLAND BUFFERS.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- ALL EXPOSED AREAS SHALL BE SEED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- PRIOR TO CLEARING OR GRADING DISTURBANCE, THE CONTRACTOR SHALL IDENTIFY ALL AREAS OF TYPE 2 INVASIVE SPECIES AS DEFINED BY NHDOT AND ADHERE TO THE PRACTICES OUTLINED IN BEST MANAGEMENT PRACTICES FOR THE CONTROL OF INVASIVE AND NOXIOUS PLANT SPECIES, NHDOT, 2018. THESE PRACTICES SHALL BE FOLLOWED FOR THE ENTIRE CONSTRUCTION TERM INCLUDING ESTABLISHMENT OF LANDSCAPING. AS THE SITE RE-VEGETATES AFTER CONSTRUCTION, LANDSCAPING CONTRACTOR TO INFORM THE OWNER IF ANY INVASIVE SPECIES START TO GROW. OWNER SHALL CONTACT A QUALIFIED REMOVAL COMPANY AND FOLLOW NHDOT'S BEST MANAGEMENT PRACTICES.



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

DRAWING No.

OVRG

SHEET 13 OF 46
JBE PROJECT NO. 21090

Plan Name:

OVERVIEW GRADING PLAN

Project:

**BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record:

**LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
803-772-4748
FAX: 803-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Designed and Produced in NH

Plan Name:

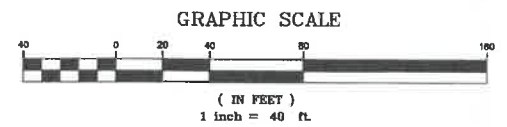
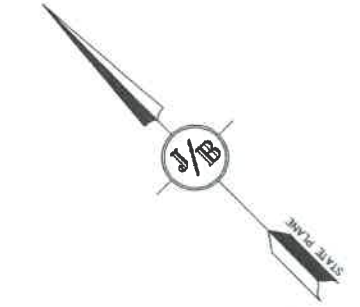
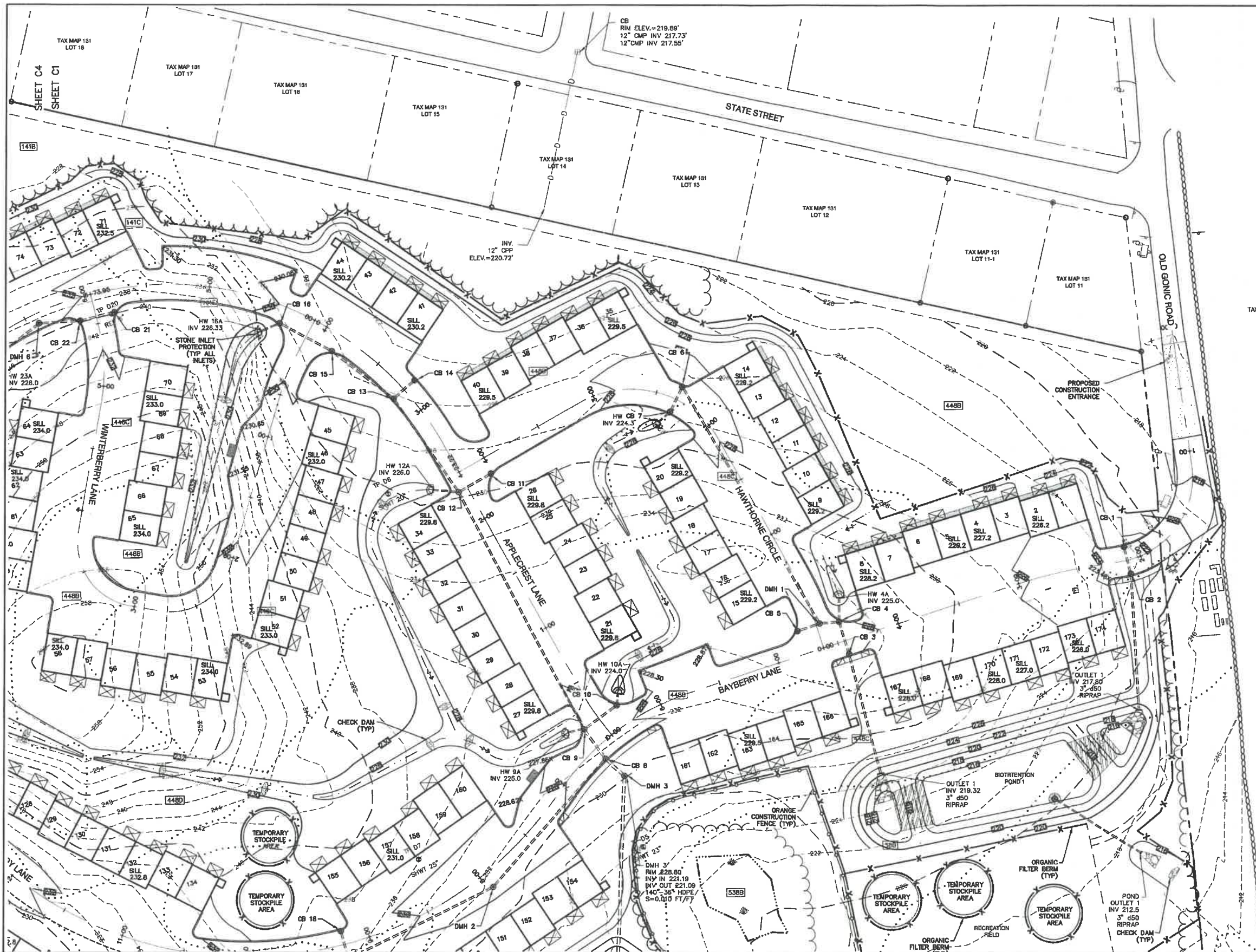
OVERVIEW GRADING PLAN

Project:

**BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record:

**LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03882

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

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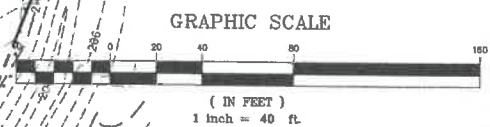
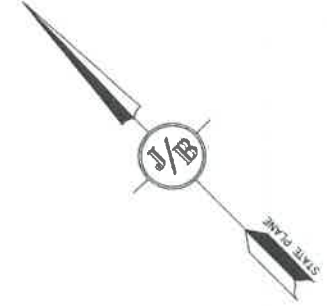
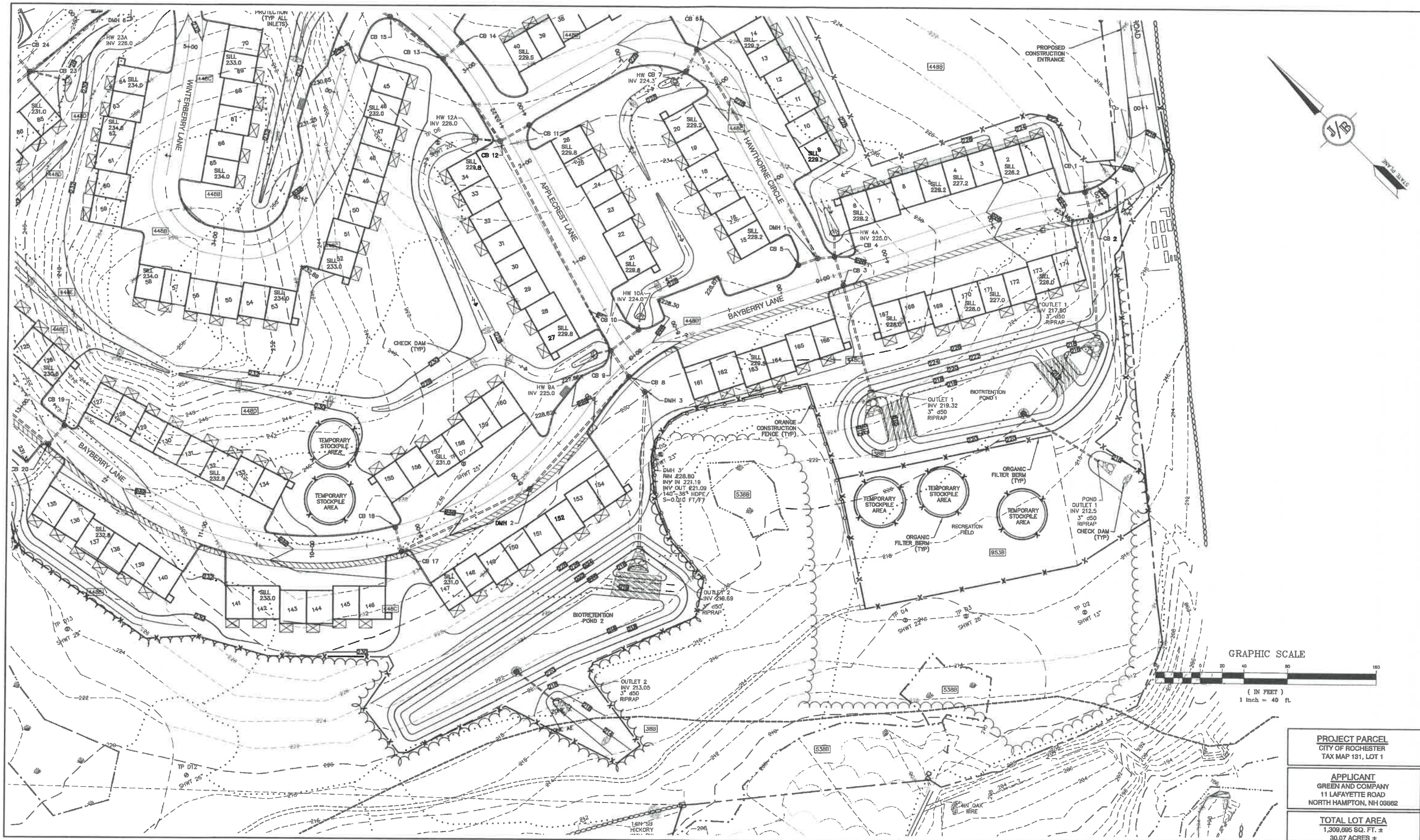
Plan Name: **GRADING & DRAINAGE PLAN**

Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.
C9

SHEET 14 OF 48
JBE PROJECT NO. 21090



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03882

TOTAL LOT AREA
1,309,895 SQ. FT. ±
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
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Drawing Name: 21090-PLAN.dwg

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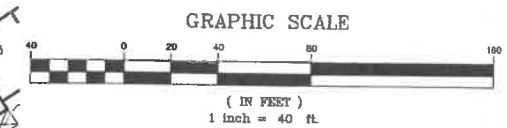
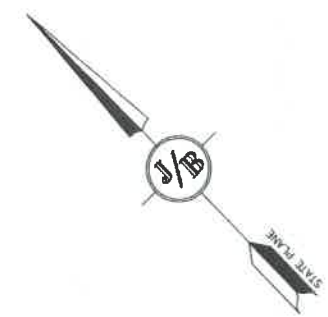
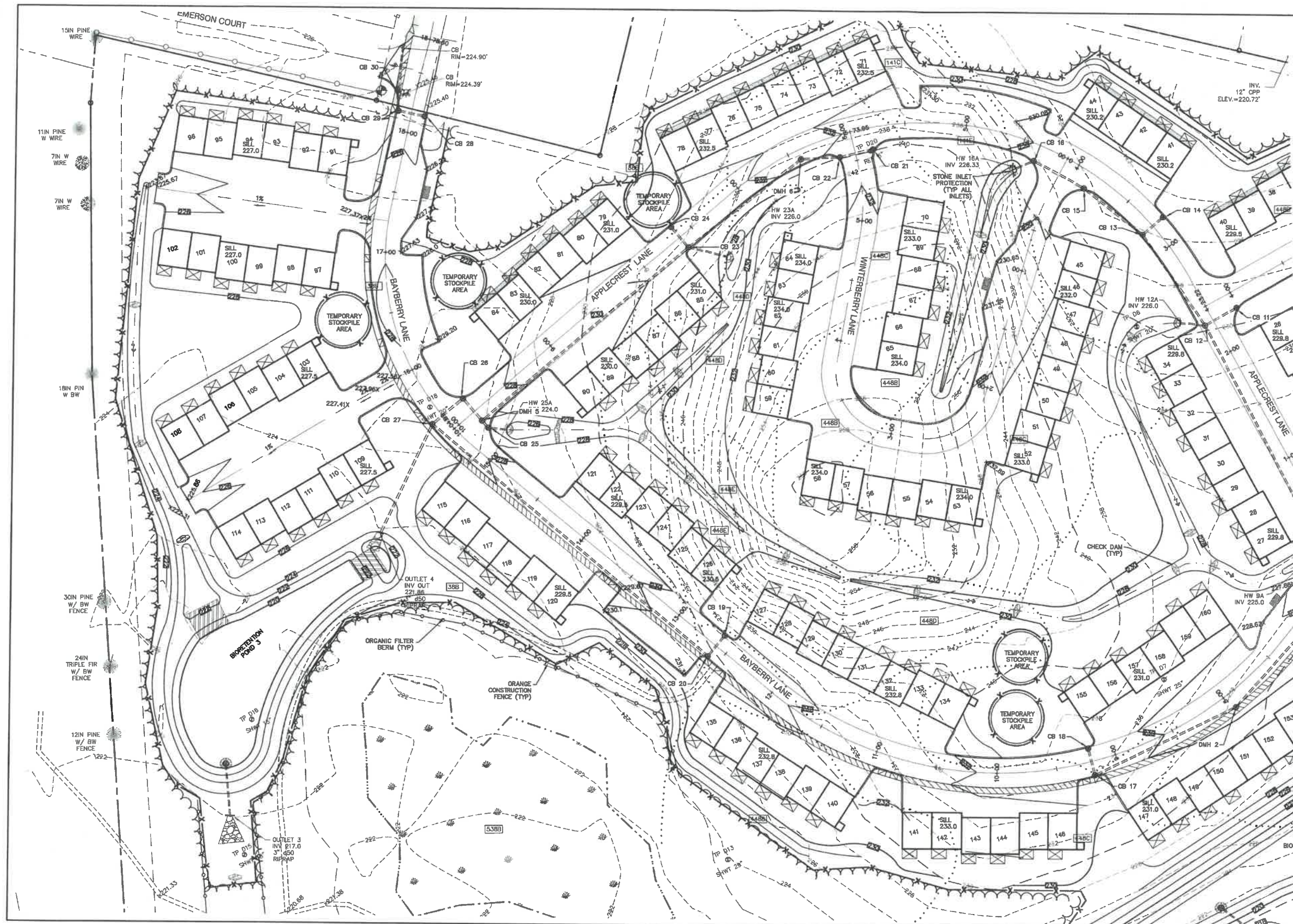
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Plan Name: **GRADING & DRAINAGE PLAN**

Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
C10
SHEET 15 OF 46
JBE PROJECT NO. 21090



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,895 SQ. FT. ±
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
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Drawing Name: 21090-PLAN.dwg

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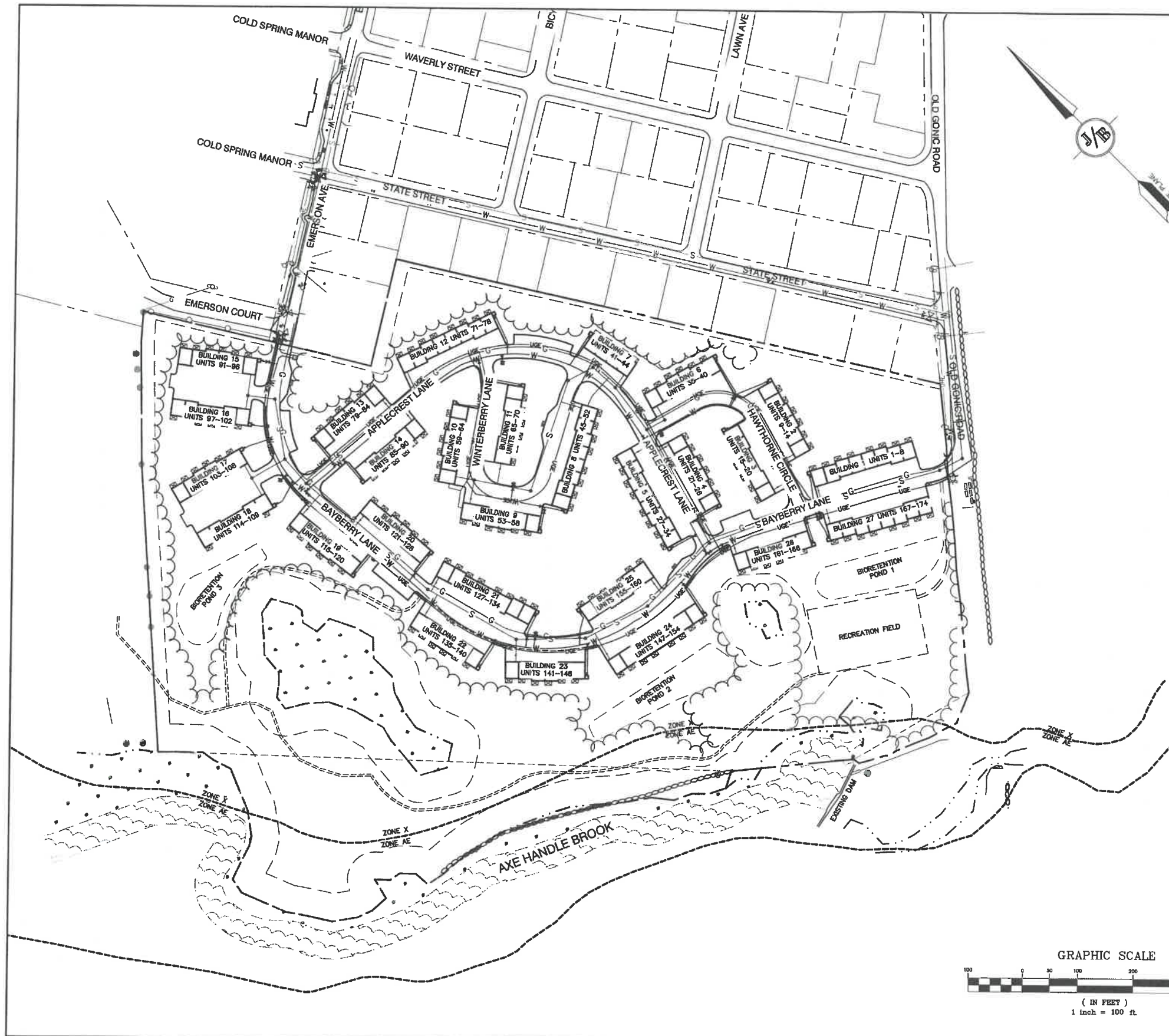
Plan Name: **GRADING & DRAINAGE PLAN**

Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.
C11

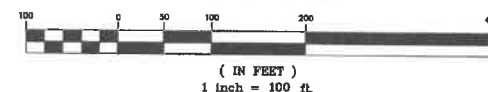
SHEET 16 OF 48
JBE PROJECT NO. 21090



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. INVERTS AND SHELVE: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVE SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
11. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER OR DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
12. SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
13. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
14. SANITARY SEWER FLOW CALCULATIONS:
174 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM = 78,300 GPD
15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
16. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
17. ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
18. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 800. WATERMAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
19. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
20. IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
21. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
22. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
23. REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING. FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM. AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
24. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
25. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPlicate TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
26. EXISTING UTILITIES SHALL BE DISINFECTED BEFORE CONSTRUCTION.
27. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
28. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, ADOPTED ON 10-15-14.
29. ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UN-BELL PVC PIPE ASSOCIATION UN-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
30. ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVE AND INVERTS.
31. SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
32. SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
33. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
34. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
35. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
36. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
37. DISINFECTION OF WATER MAINS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH AWWA STANDARD C651, LATEST EDITION. THE BASIC PROCEDURE TO BE FOLLOWED FOR DISINFECTING WATER MAINS IS AS FOLLOWS:
 - a. PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR.
 - b. REMOVE BY FLUSHING OR OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAINS.
 - c. CHLORINATE ANY RESIDUAL CONTAMINATION THAT MAY REMAIN, AND FLUSH THE CHLORINATED WATER FROM THE MAIN.
 - d. PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
 - e. DETERMINE THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION.
 - f. MAKE FINAL CONNECTION OF THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/28/21
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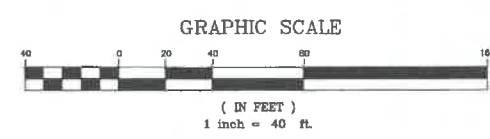
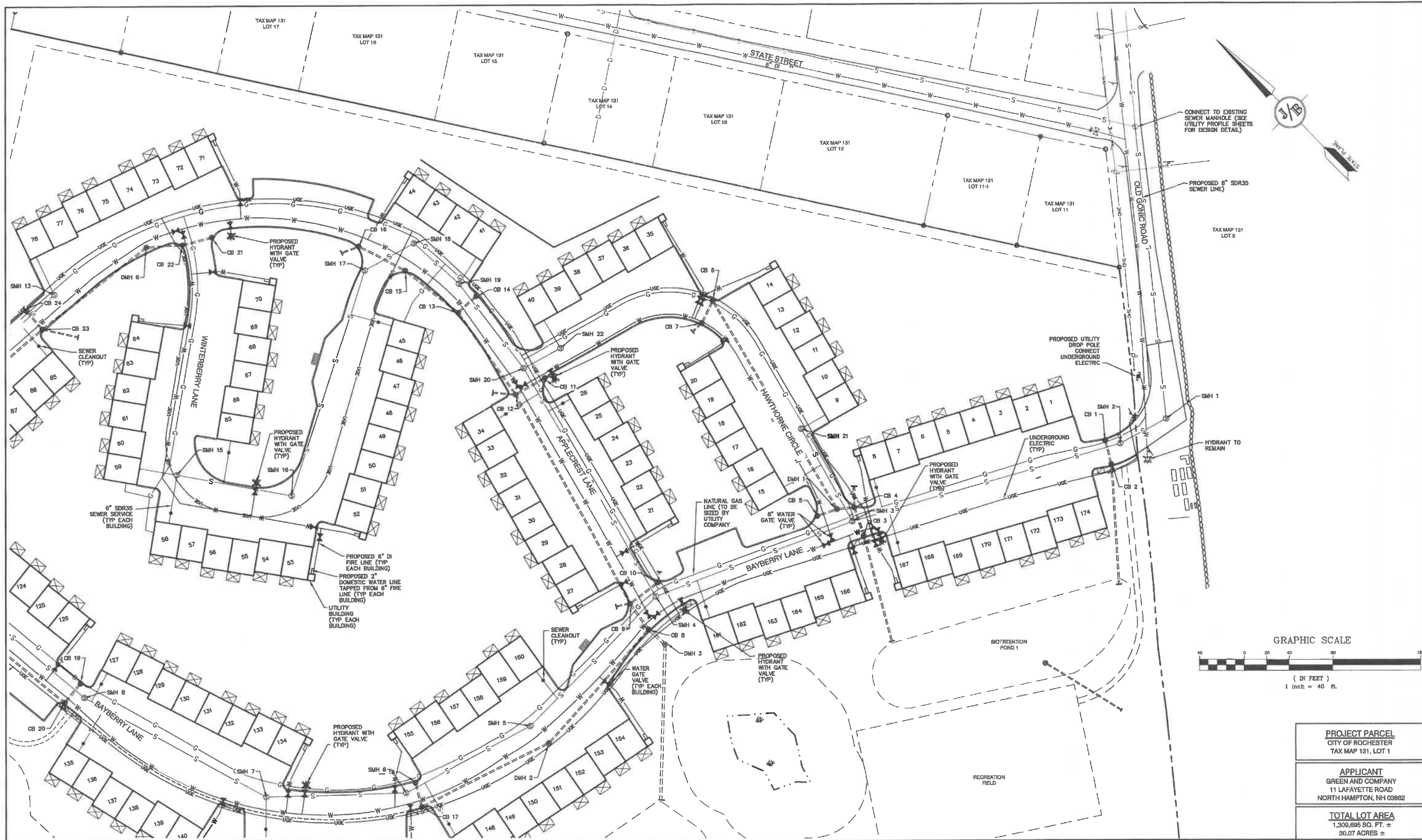


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Plan Name: **OVERVIEW UTILITY PLAN**
 Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No. **OVRU**
 SHEET 17 OF 48
 JBE PROJECT NO. 21090



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,308,695 SQ. FT. ±
30.07 ACRES ±

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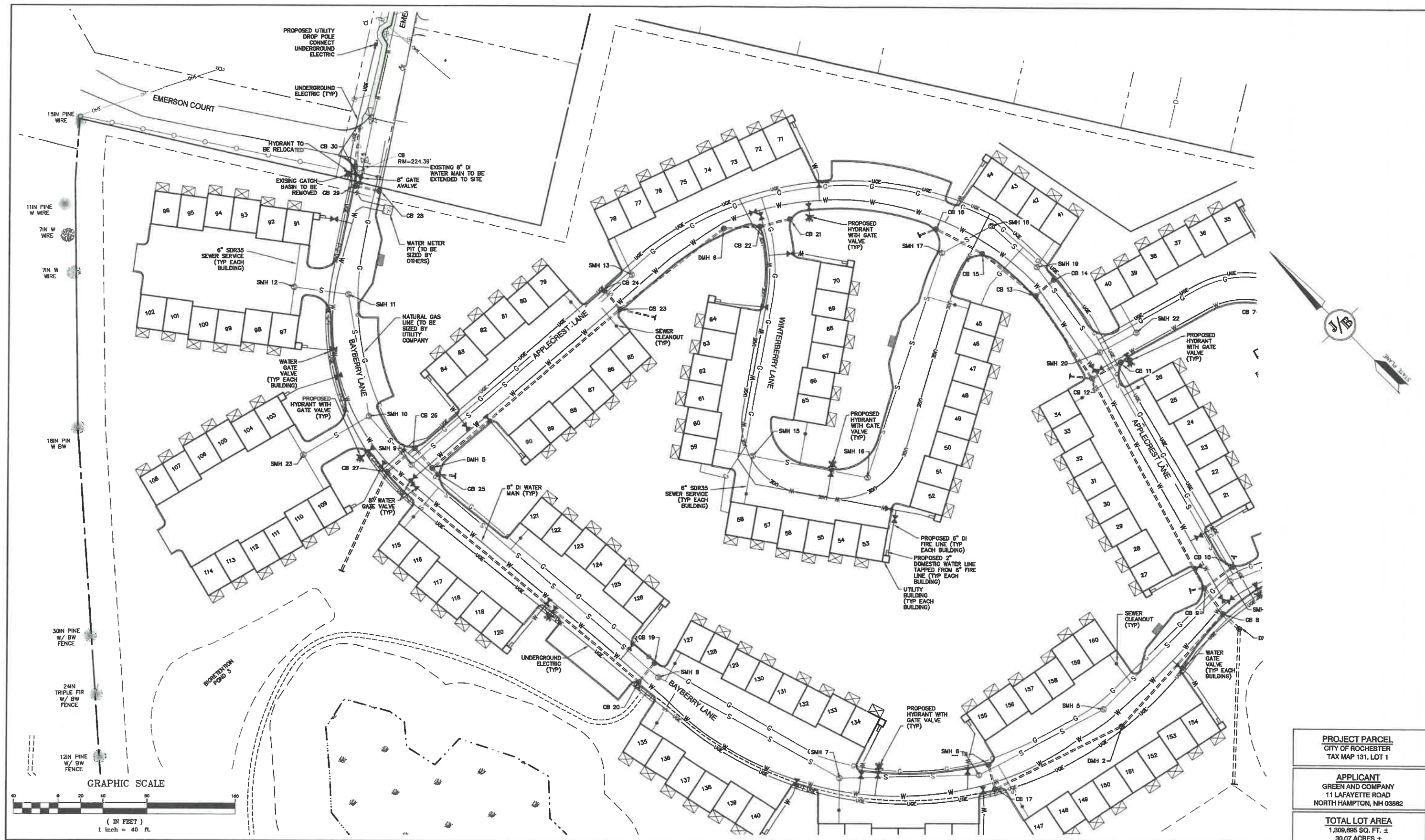


REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 14B

DRAWING No.
U1
SHEET 15 OF 46
JBE PROJECT NO. 21090



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,895 SQ. FT. ± 30.07 ACRES ±

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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PO Box 219
Stratham, NH 03885
603-772-4748
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.	U2
SHEET 19 OF 46	JBE PROJECT NO. 21090

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
5. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
7. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE.
8. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
9. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
10. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
11. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
12. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
13. ALL LANDSCAPING SHALL MEET THE CITY STANDARDS AND REGULATIONS.
14. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
15. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
16. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
17. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.

JBE 21090 - OLD GONIC RD TOWNHOUSES

TREES - EVERGREEN & DECIDUOUS

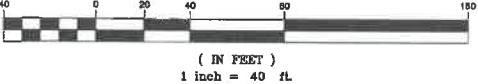
Quantity	Botanical Name	Common Name	Size
32	Abies concolor	WHITE FIR	9-10 FT. HT.
32	Acer saccharum 'Green Mountain'	GREEN MOUNTAIN SUGAR MAPLE	3" Caliper
12	Juniperus virginiana	EASTERN RED CEDAR	7-8 FT. HT.
23	Liquidambar styraciflua	SWEETGUM	3" Caliper
38	Picea abies	NORWAY SPRUCE	9-10 FT. HT.
21	Pinus strobus	EASTERN WHITE PINE	9-10 FT. HT.
6	Prunus serrulata 'Kwanzan'	KWANZAN ORIENTAL CHERRY	2.5" Caliper
35	Syringa reticulata 'Ivory Silk'	IVORY SILK TREE LILAC	2.5" Caliper
17	Thuja plicata 'Green Giant'	GREEN GIANT ARBORVITAE	7-8 FT. HT.
18	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" Caliper

SHRUBS - EVERGREEN & DECIDUOUS

108	Buxus microphylla var. 'koreana' 'Winter Green'	WINTER GREEN BOXWOOD	5 Gallon
20	Chamaecyparis pisifera 'Aurea'	GOLDEN THREAD CYPRESS	5 Gallon
12	Hydrangea arborescens 'Annabelle'	ANNABELLE HYDRANGEA	5 Gallon
100	Ilex glabra 'Shamrock'	SHAMROCK INKBERRY HOLLY	5 Gallon
12	Juniperus chinensis 'Sea Green'	SEA GREEN JUNIPER	5 Gallon
22	Pinus mugo 'Compacta'	COMPACTA MUGO PINE	5 Gallon
60	Rhododendron 'PJM'	PJM RHODODENDRON	5 Gallon
22	Syringa patula 'Miss Kim'	MISS KIM MANCHURIAN LILAC	5 Gallon
20	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	5 Gallon



GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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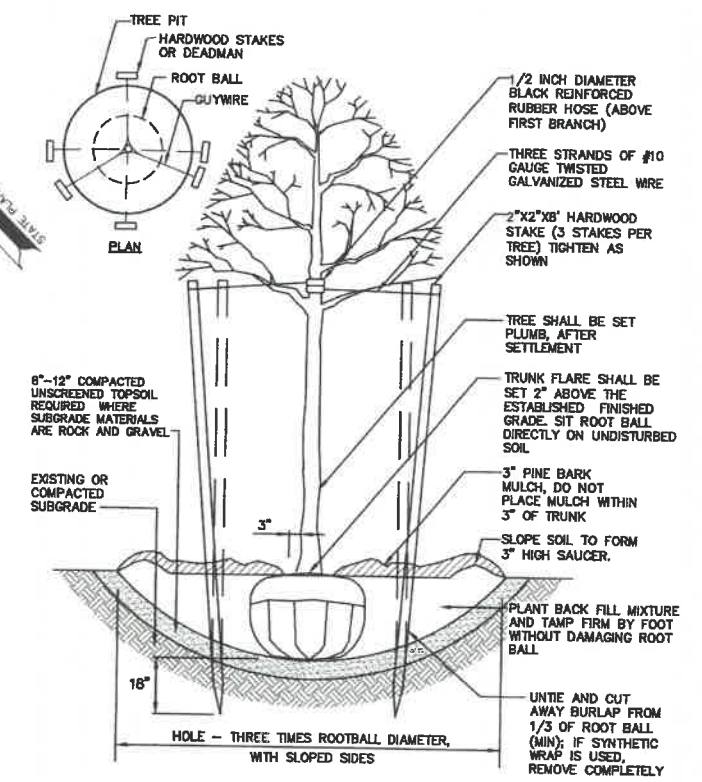
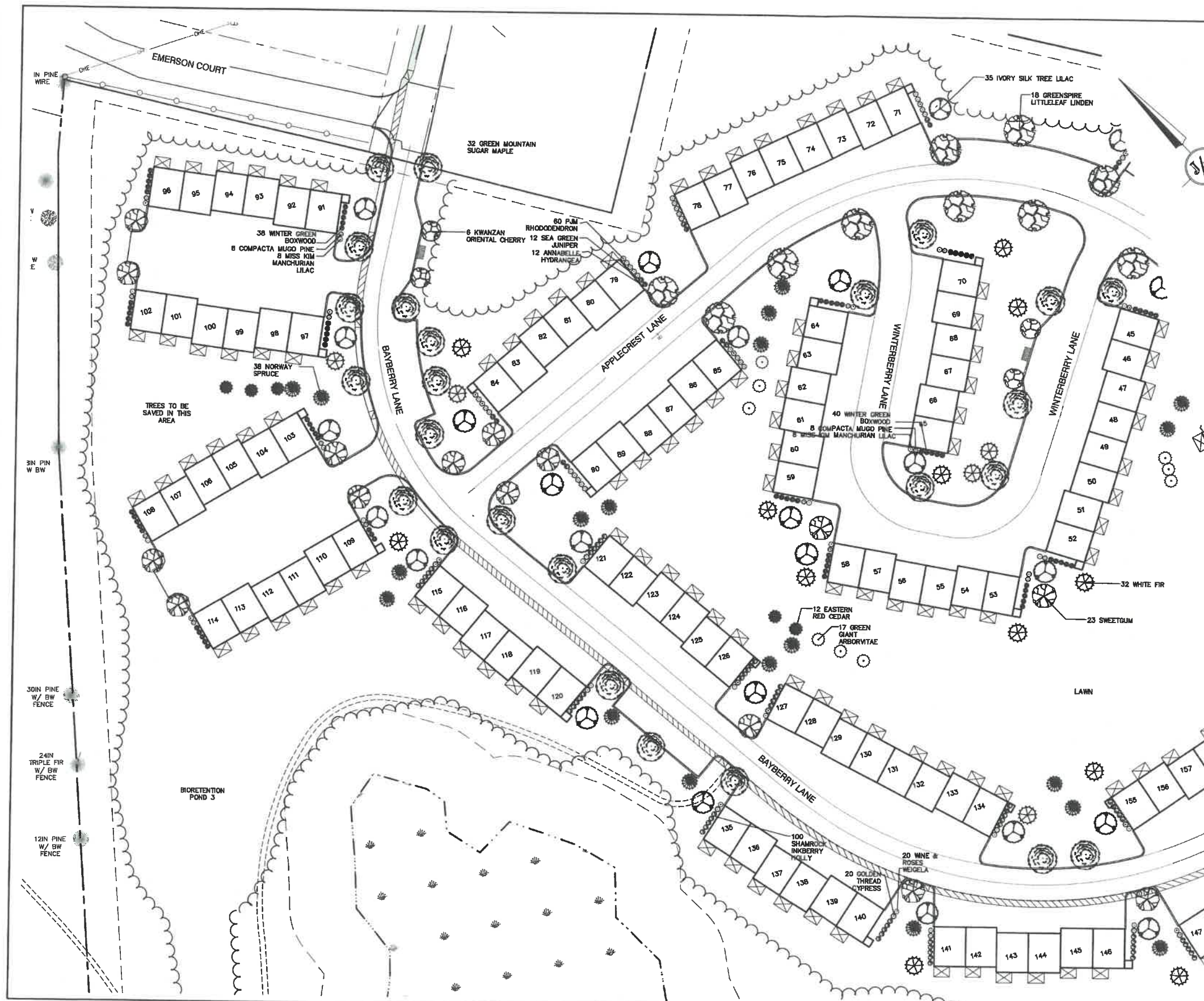


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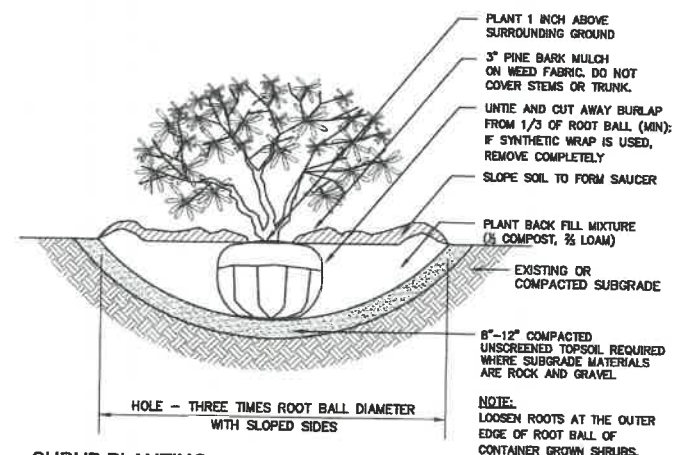
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE PLAN**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

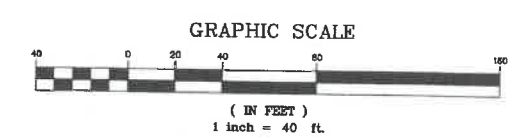
DRAWING No.
L1
SHEET 20 OF 48
JBE PROJECT NO. 21090



TREE PLANTING (FOR TREES UNDER 4" CALIPER)
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,308,696 SQ. FT. ±
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

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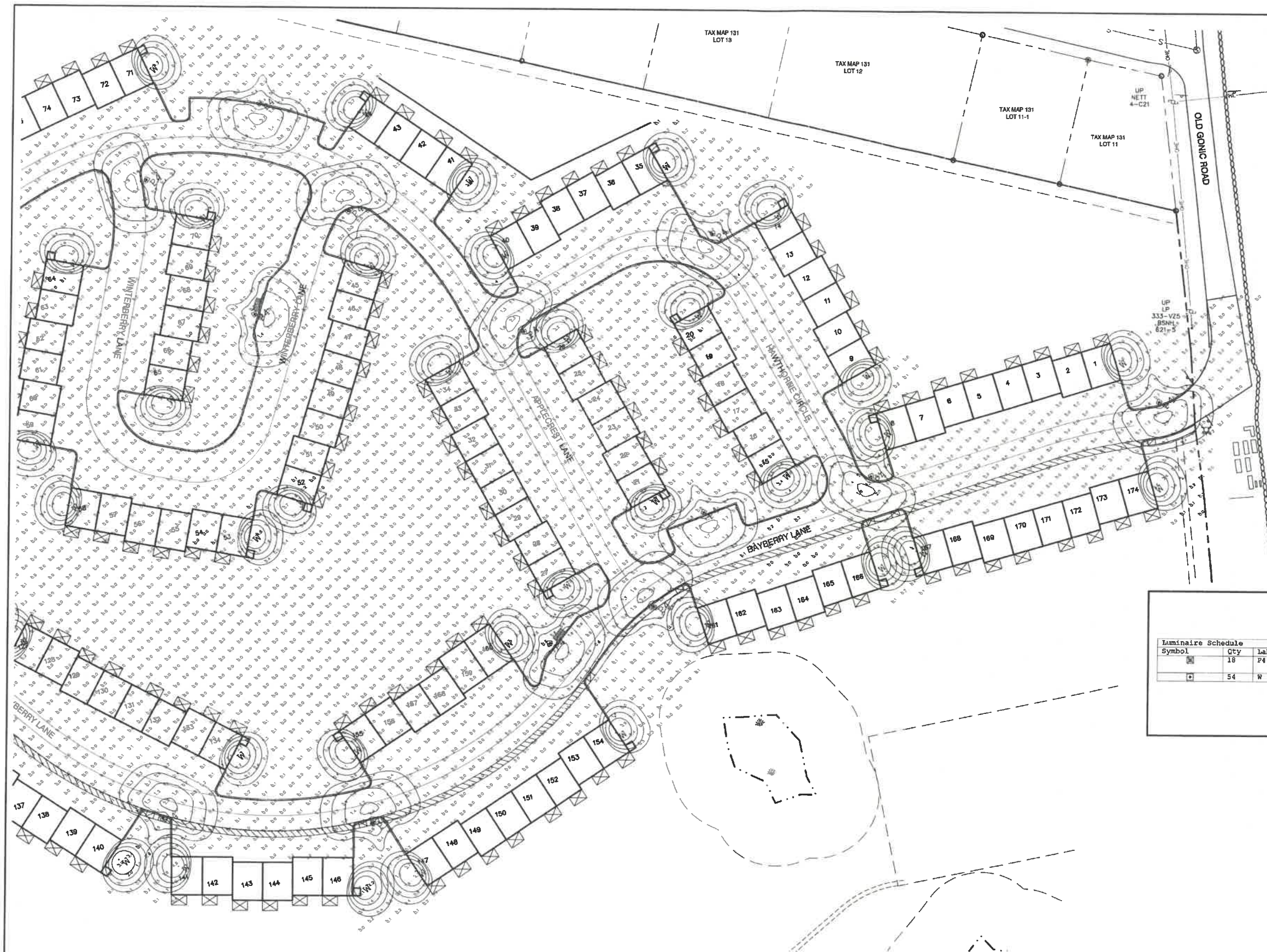


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J/B Jones & Beach Engineers, Inc.
Designed and Produced In NH
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE PLAN**
Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

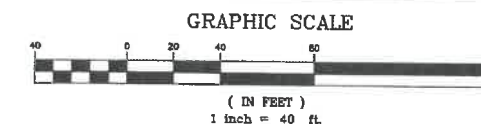
DRAWING No.
L2
SHEET 21 OF 46
JBE PROJECT NO. 21090



LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
[Symbol]	18	P4	Single	HER1-FA-40W3K-U-4-N-N-BK / FLB412-4-10-S-125-T300-N-BK (10' POLE)
[Symbol]	54	W	Single	AXCSLAW7-FC1 / WALL MTD 12' AFG



PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,308,695 SQ. FT. ±
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/26/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

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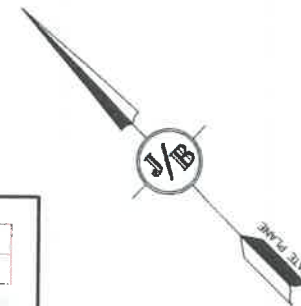
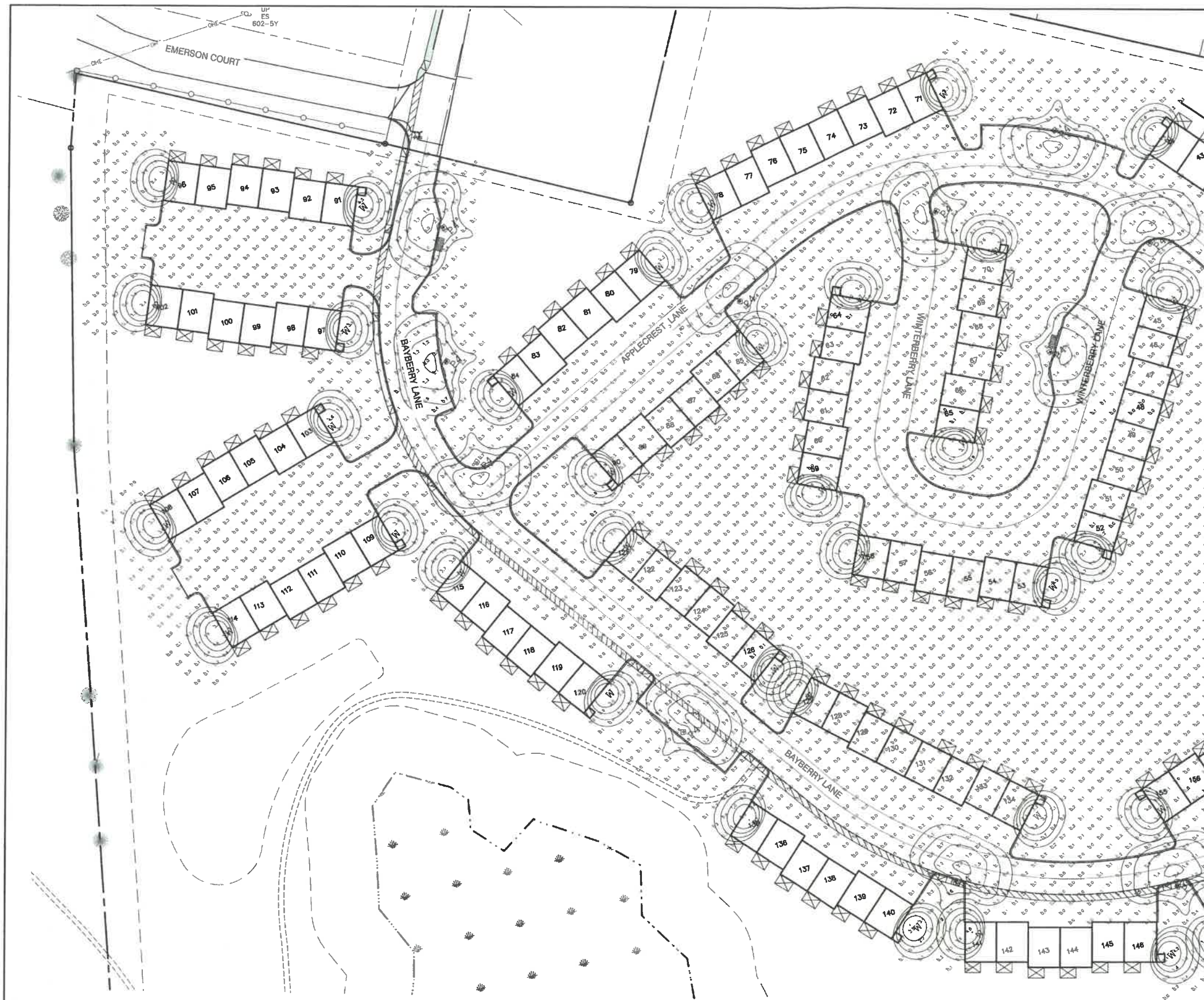


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85 Portsmouth Ave. Civil Engineering Services 603-772-4748
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**
Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.
L3
SHEET 22 OF 48
JBE PROJECT NO. 21090



Lumark
Accent
Well Mount Luminaire

Product Features

- Corrosion Resistant
- Available in 14W, 12W, 10W, 8W, 6W, 4W, 3W, 2W, 1W
- Full cutoff and reflective lens models available
- Energy and maintenance savings up to 90% compared to HPS
- Energy efficient luminaire results in up to 14.5 L/P/W
- Replaces 250W up to 400W HPS equivalents

Universal Mount Details

COOPER

PENCO
LIGHTING PRODUCTS
A DSB COMPANY

HERITAGE
POB

RADIANT™ LED POST TOPS

Specifications and Features:

- Radiant™ LED
- Conformal Coating LED light engine
- CCT: 3000K, 4000K, 5000K, 6000K, 7000K, 8000K, 9000K
- Static Colors Available - Certified Factory

Distribution

- Types 1 & 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146

Electrical

- Electronic Driver: 120-277V, 50/60Hz or 240VAC, 50/60Hz
- 0-10V Dimmable Driver
- Standard Surge Protection included (SPV) - 10A/100V, 10A/150V

Controls (Adder)

- Button eye photo control (PC)
- 7-pin infrared remote control (IRC) - mounts on top with GFI (1)
- 5-pin infrared remote control (IRC)

Housing

- Cast aluminum cage, red and 1" slip fit

Finish

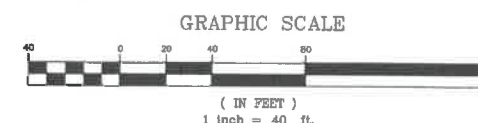
- Super durable polyester powder coat finish. Custom finishes available, including primers and all RAL colors.

Listings & Ratings

- ETL listed to UL 1599 standard for wet location
- LED to 100,000 Hours

Warranty

- 5 year limited warranty



Design: JAC Draft: LAZ Date: 04/29/21
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Drawing Name: 21090-PLAN.dwg

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Civil Engineering Services

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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**

Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**

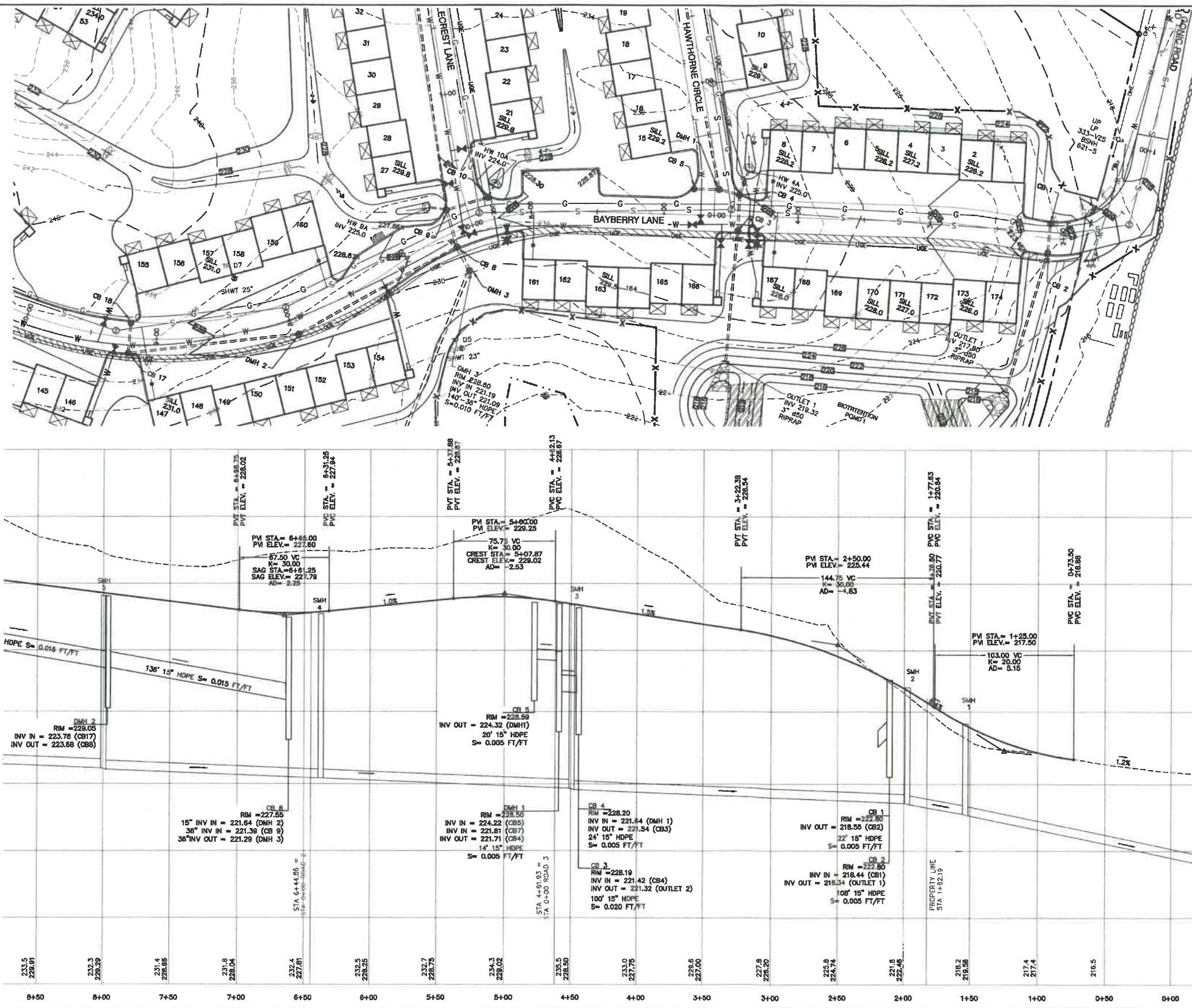
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

PROJECT PARCEL
CITY OF ROCHESTER
TAX MAP 131, LOT 1

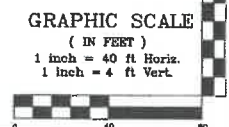
APPLICANT
GREEN AND COMPANY
11 LAFAYETTE ROAD
NORTH HAMPTON, NH 03862

TOTAL LOT AREA
1,309,695 SQ. FT. ±
30.07 ACRES ±

DRAWING NO.
L4
SHEET 23 OF 46
JBE PROJECT NO. 21090



- NOTES:**
- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - AS-BUILT PLANS TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE ROADWAY.
 - DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
 - THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
 - ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
 - FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
 - ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
 - RETAINING WALLS SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL COORDINATE WITH MANUFACTURER PRIOR TO INSTALLATION.
 - 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT.
 - ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET. ALL DRIVEWAYS TO HAVE CULVERTS UNLESS APPROVED BY THE CITY ROAD AGENT.
 - SIDEWALK TO BE INSTALLED AT TIME OF TOP COURSE PAVING ALONG WITH DRIVEWAY APRONS.
 - DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
 - ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
 - DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER, RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
 - THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
 - EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OF ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-28% (IN TOTAL SAMPLE).
 - EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
 - COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
 - SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR.



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Civil Engineering Services

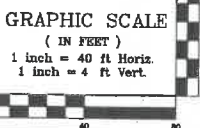
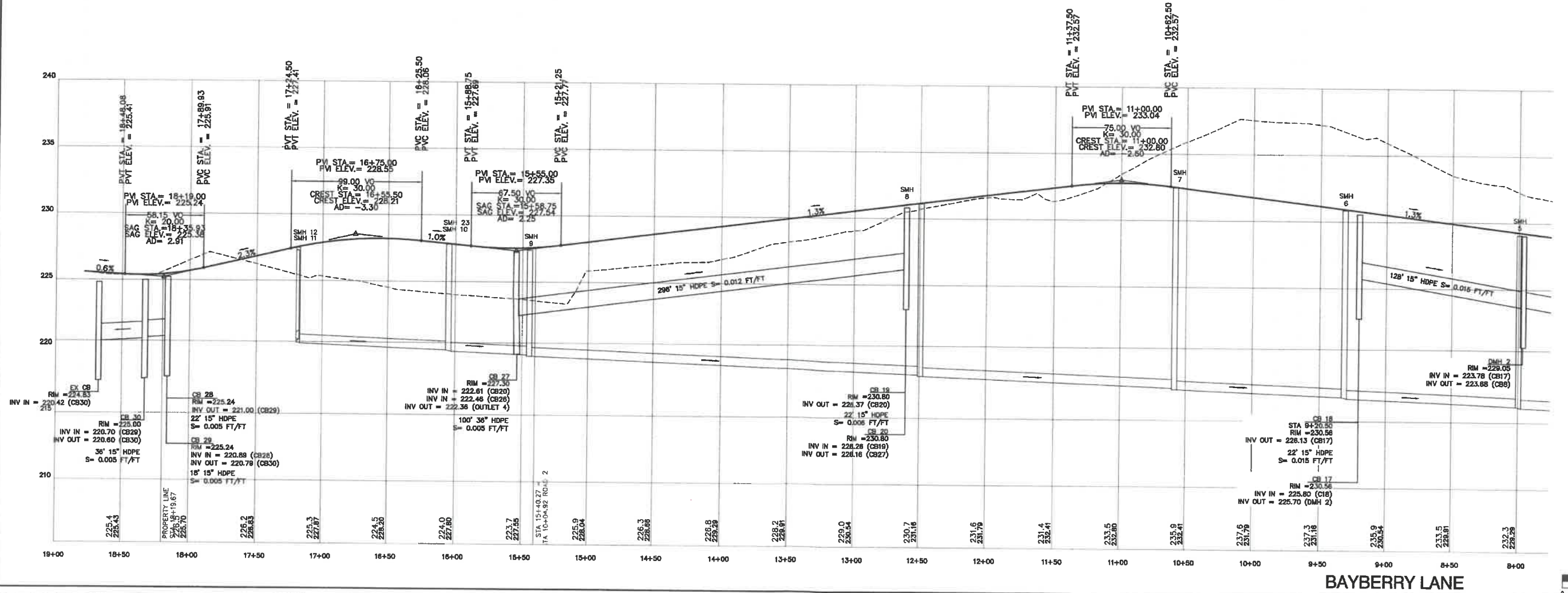
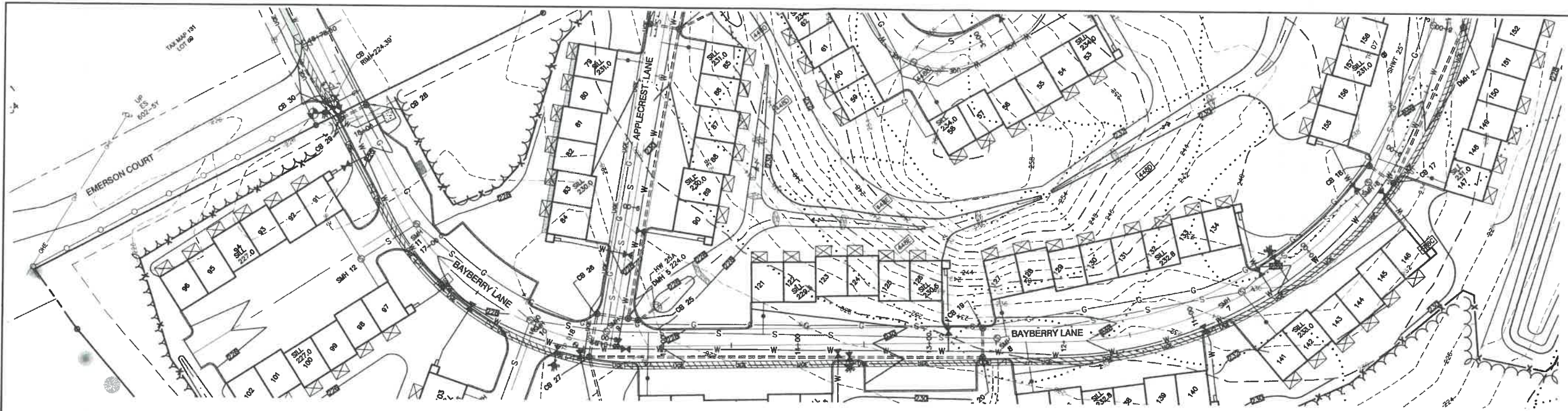
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN AND PROFILE
Project:	BAYBERRY COMMONS
Owner of Record:	19 OLD GONIC ROAD, ROCHESTER, NH
	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
	19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.

P1

SHEET 24 OF 48
JBE PROJECT NO. 21090



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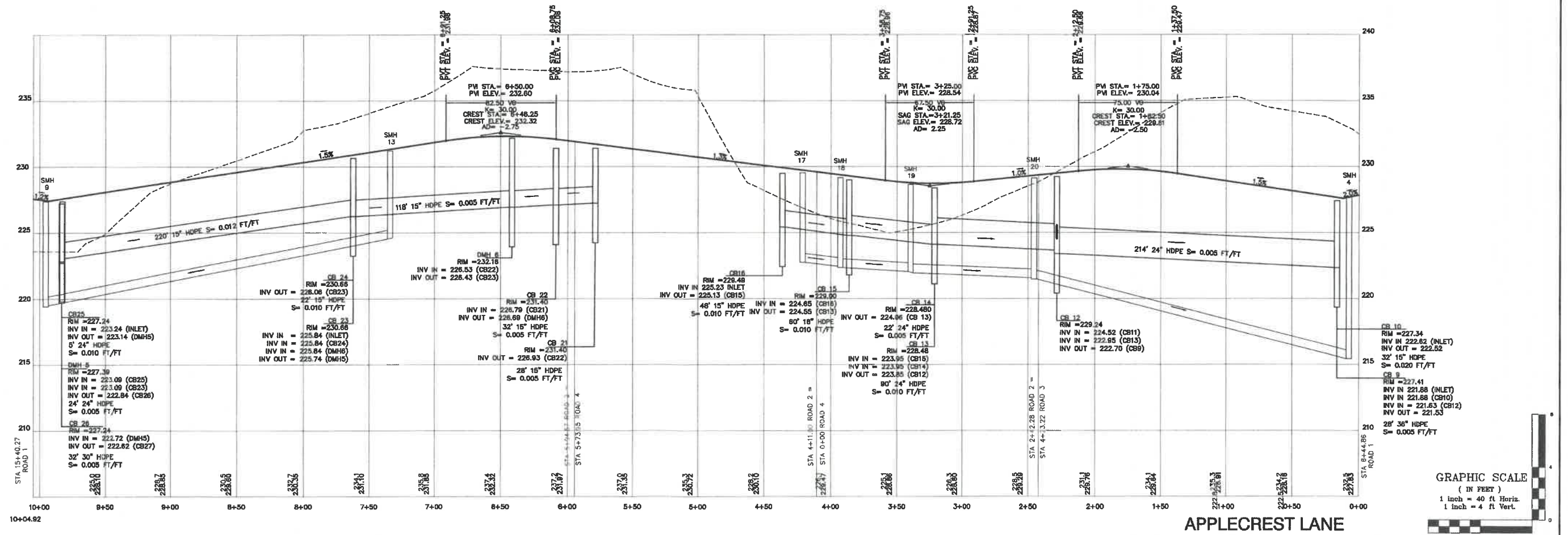
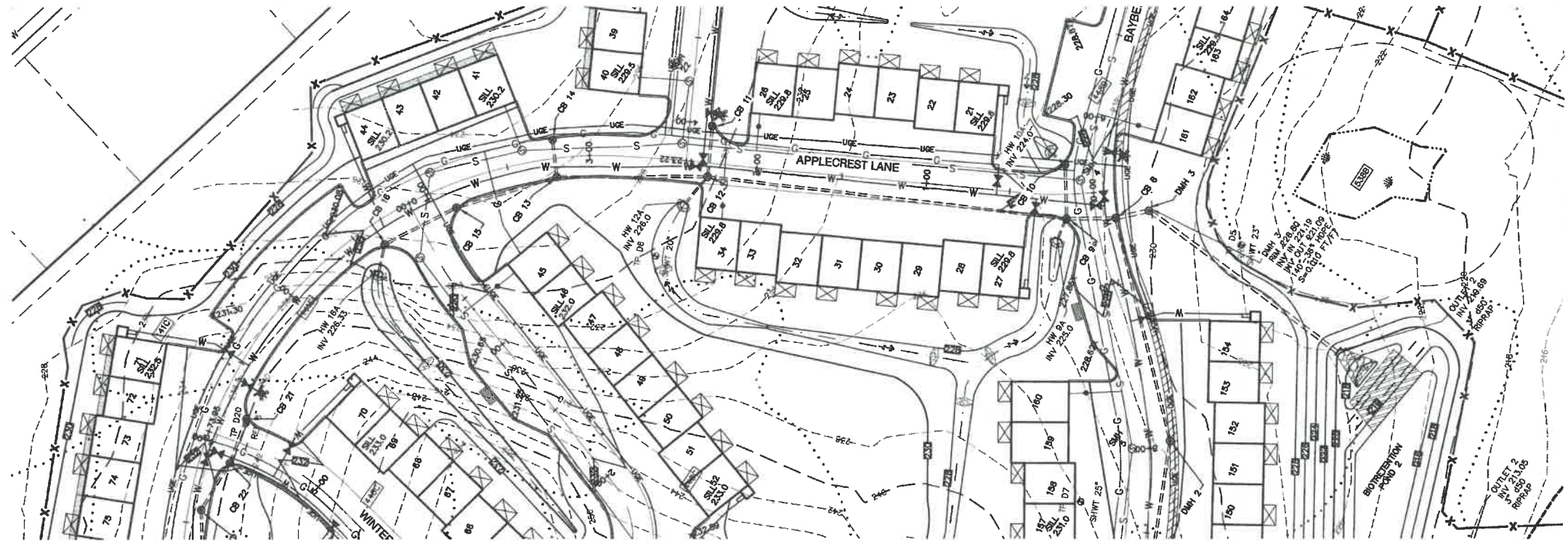


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 603-772-4746
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Plan Name: **PLAN AND PROFILE**
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19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
P2
 SHEET 25 OF 46
 JBE PROJECT NO. 21090



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

Design: JAC Draft: LAZ Date: 04/29/21
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Drawing Name: 21090-PLAN.dwg
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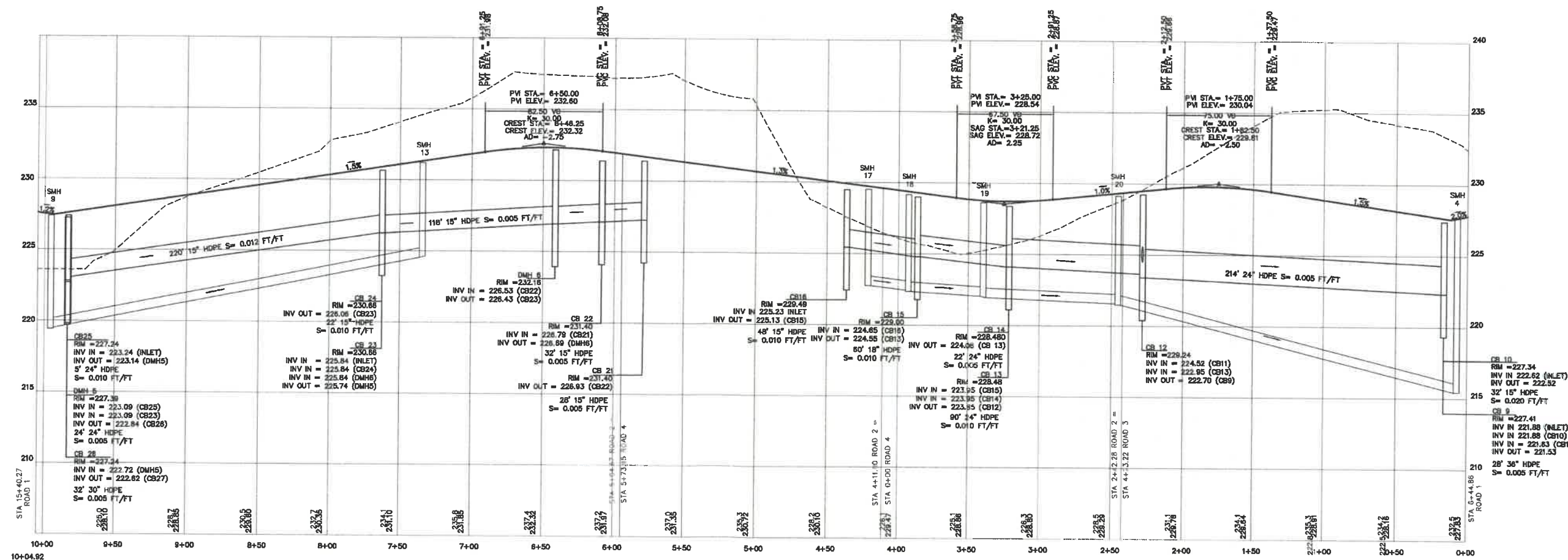
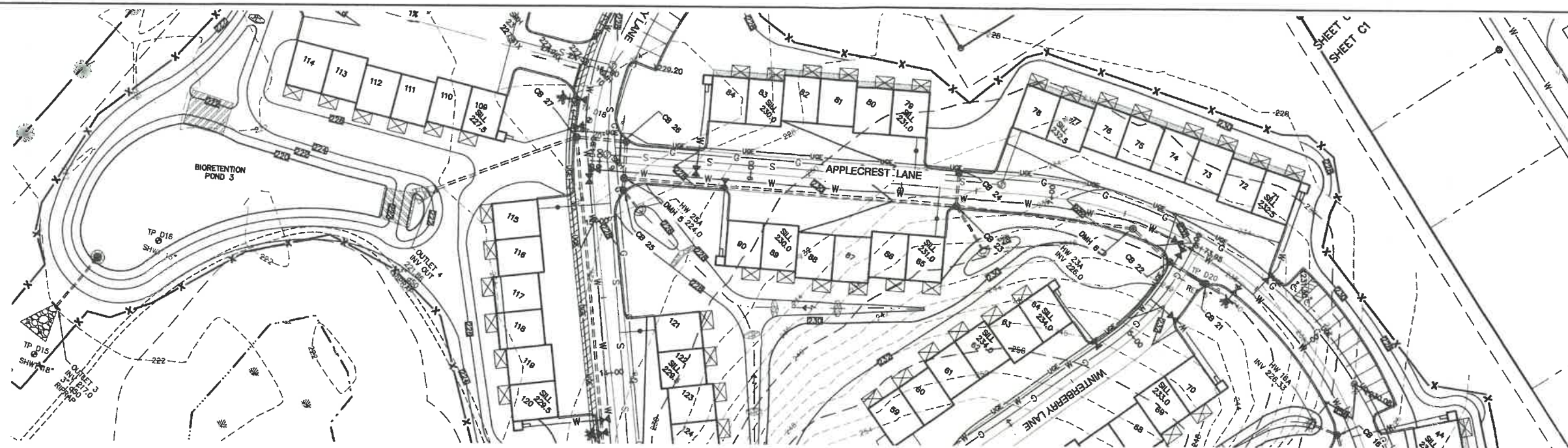


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Plan Name: **PLAN AND PROFILE**
Project: **19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No. **P3**
SHEET 26 OF 46
JBE PROJECT NO. 21090



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

APPLECREST LANE

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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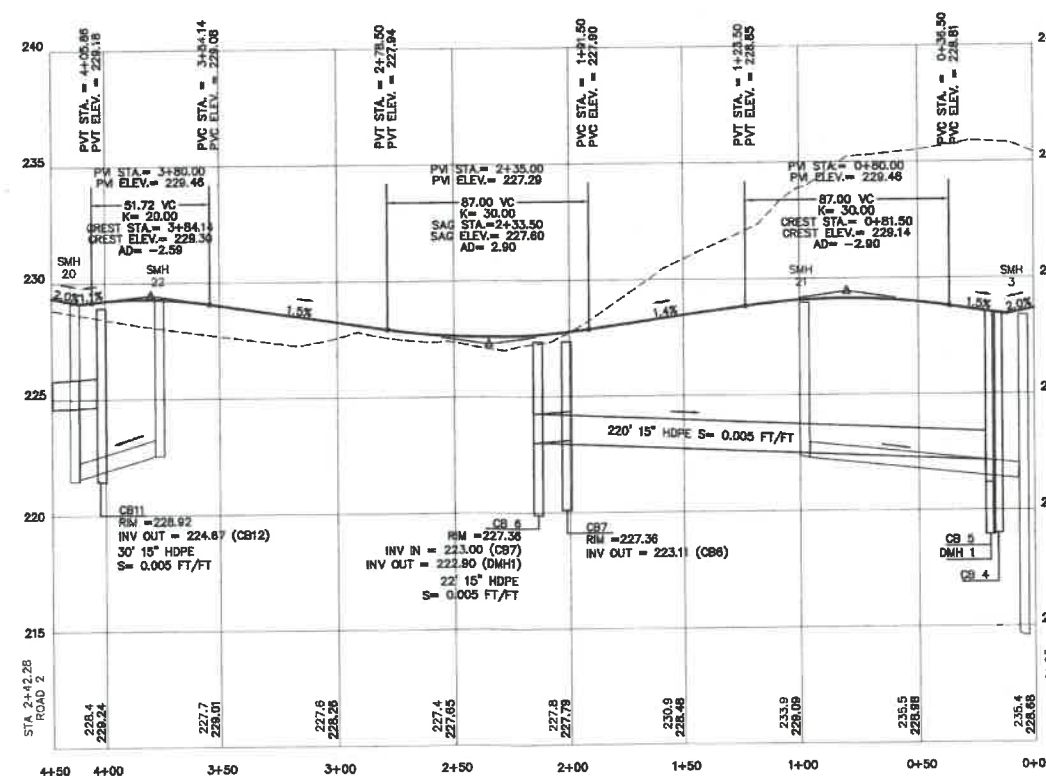
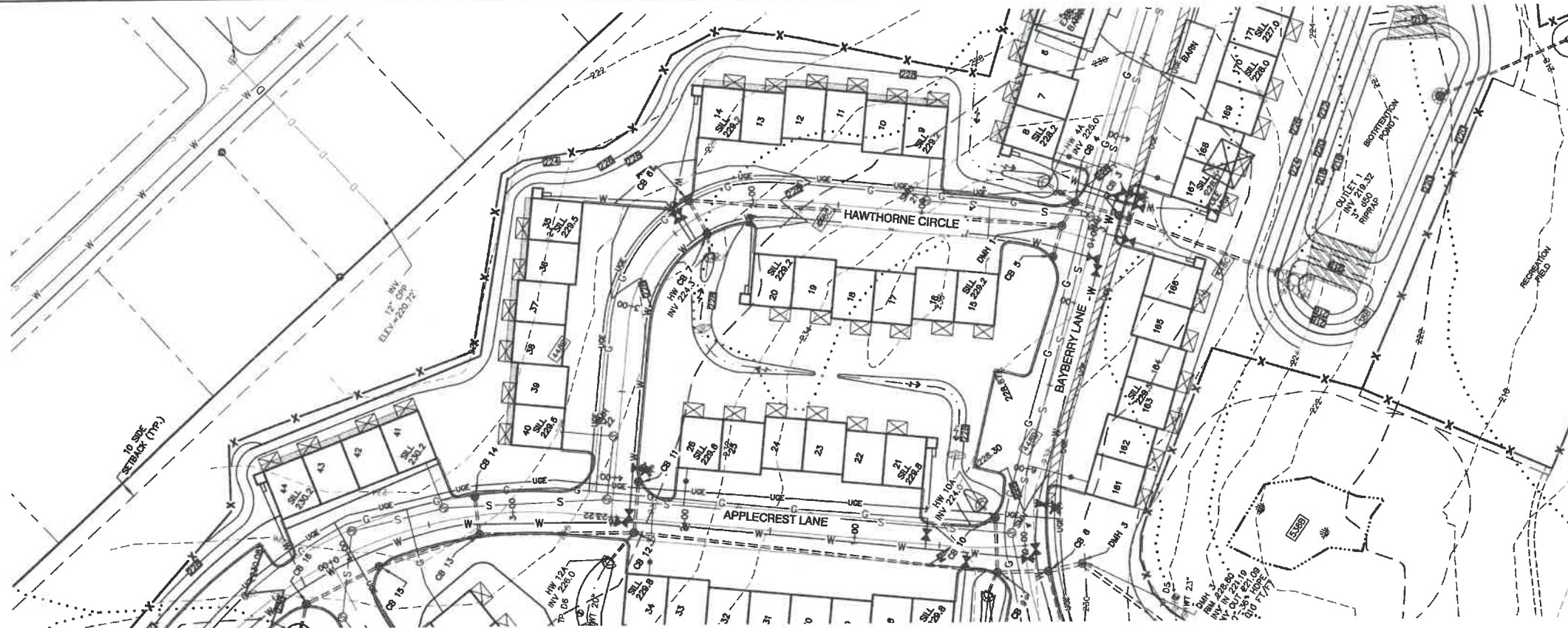


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Plan Name: **PLAN AND PROFILE**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
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DRAWING No.
P4
SHEET 27 OF 46
JBE PROJECT NO. 21090



HAWTHORNE CIRCLE

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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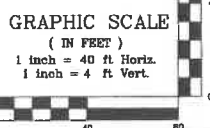
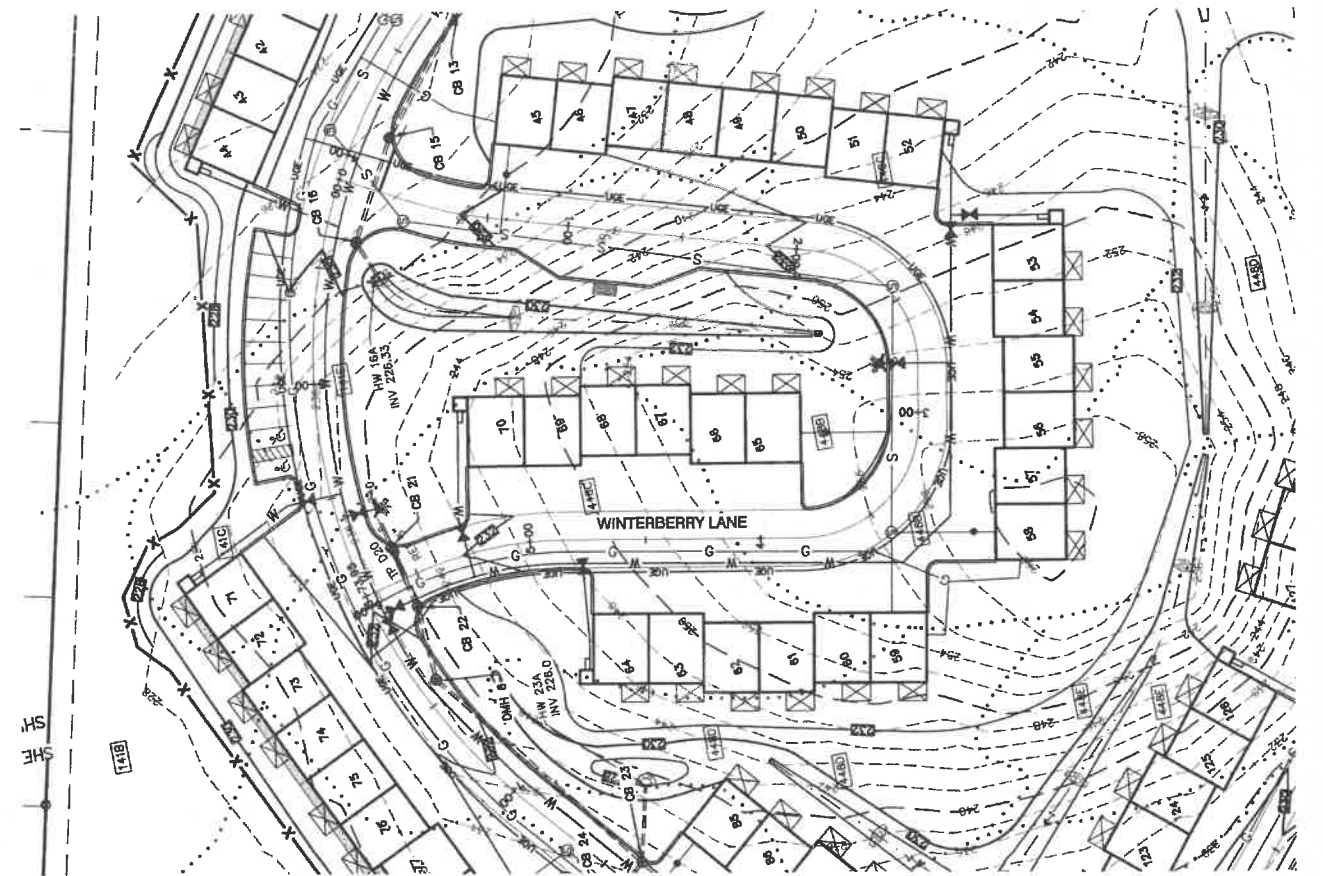
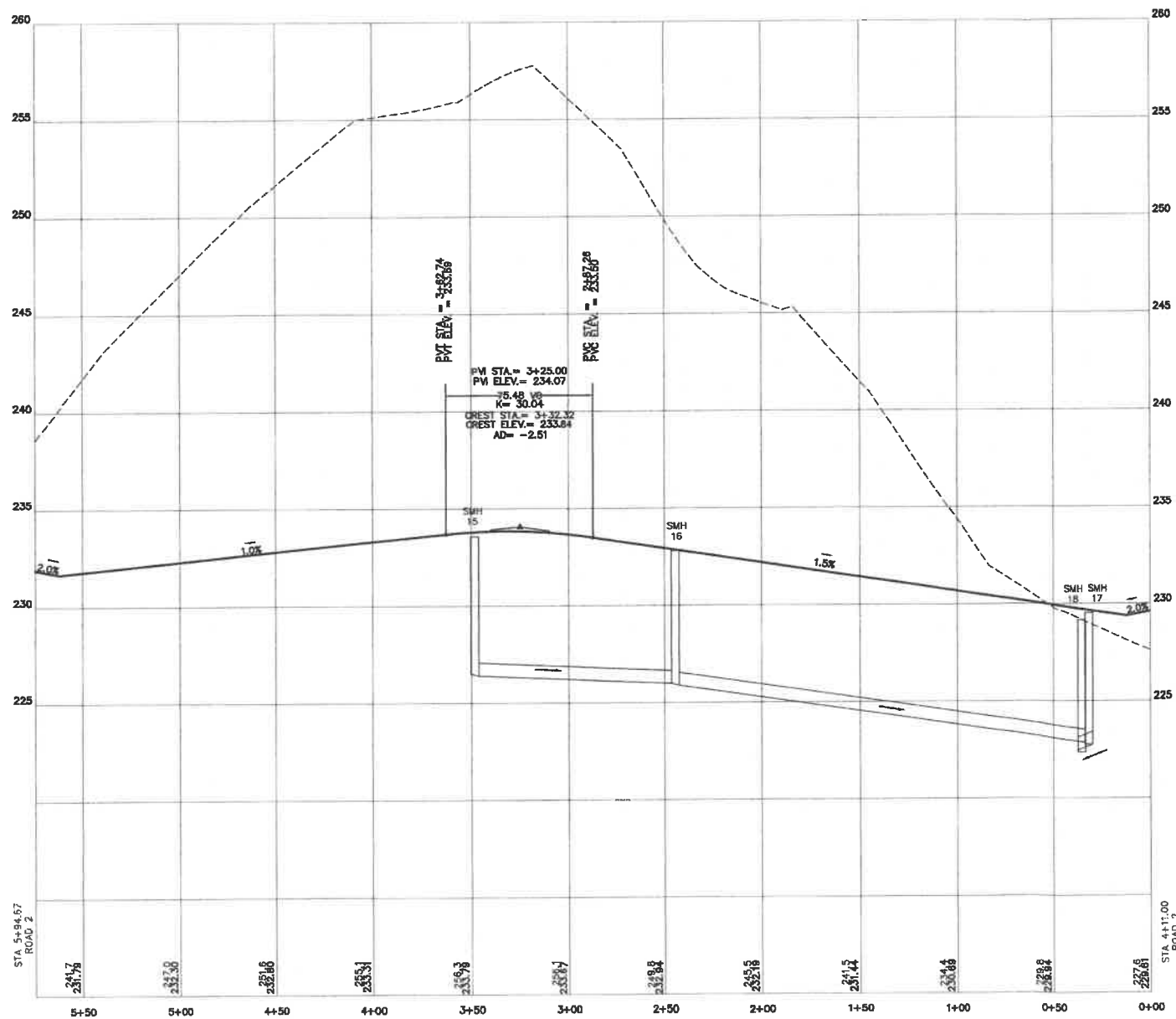


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603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
Project: **BAYBERRY COMMONS**
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DRAWING No.
P5
SHEET 28 OF 48
JBE PROJECT NO. 21090



WINTERBERRY LANE

Design: JAC Draft: LAZ Date: 04/28/21
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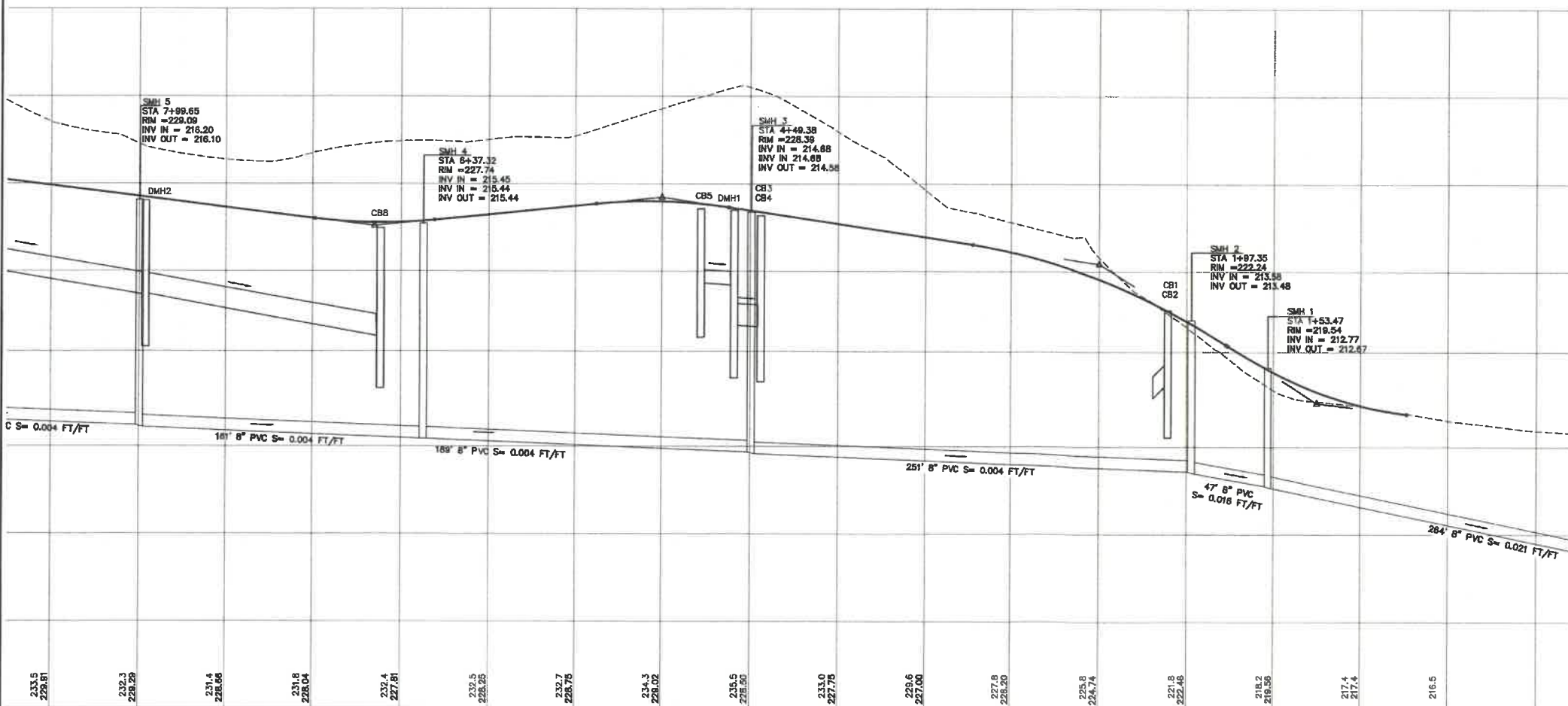
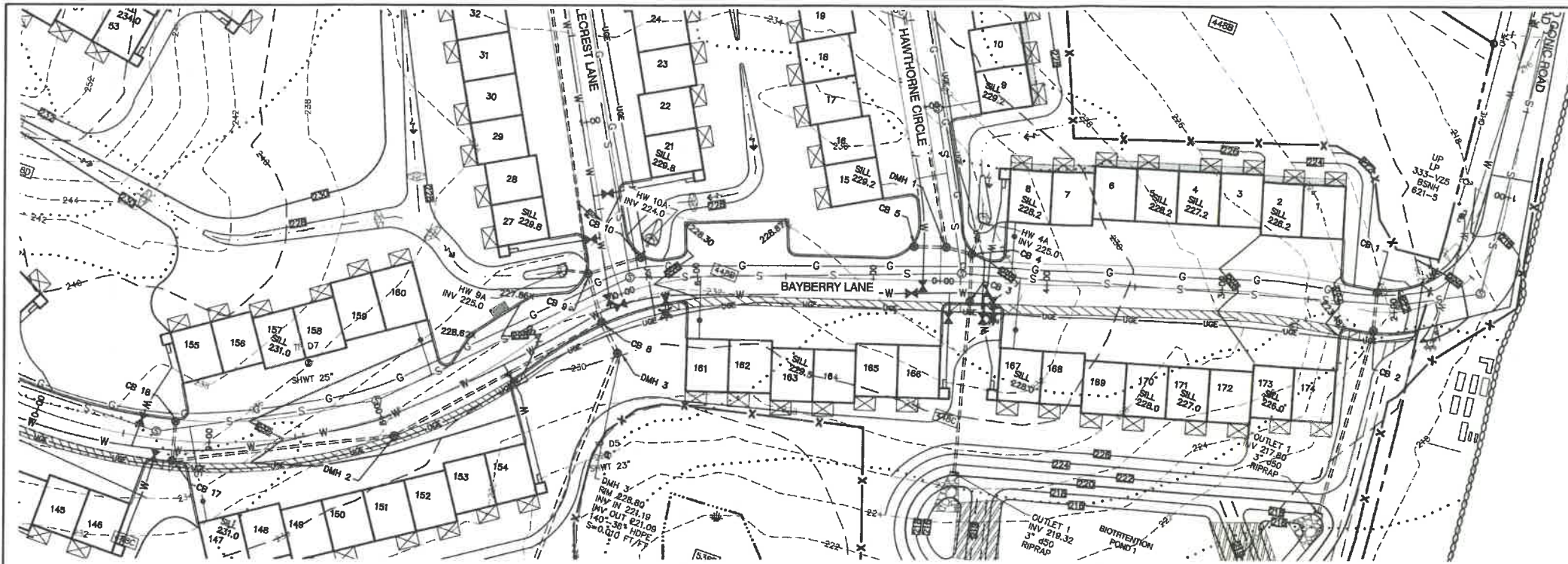


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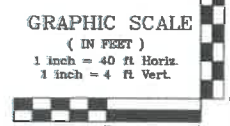
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Plan Name: **PLAN AND PROFILE**
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19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
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DRAWING No. **P6**
 SHEET 29 OF 48
 JBE PROJECT NO. 21090



BAYBERRY LANE



Design: JAC Draft: LAZ Date: 04/29/21
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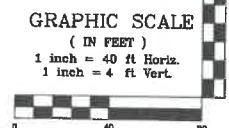
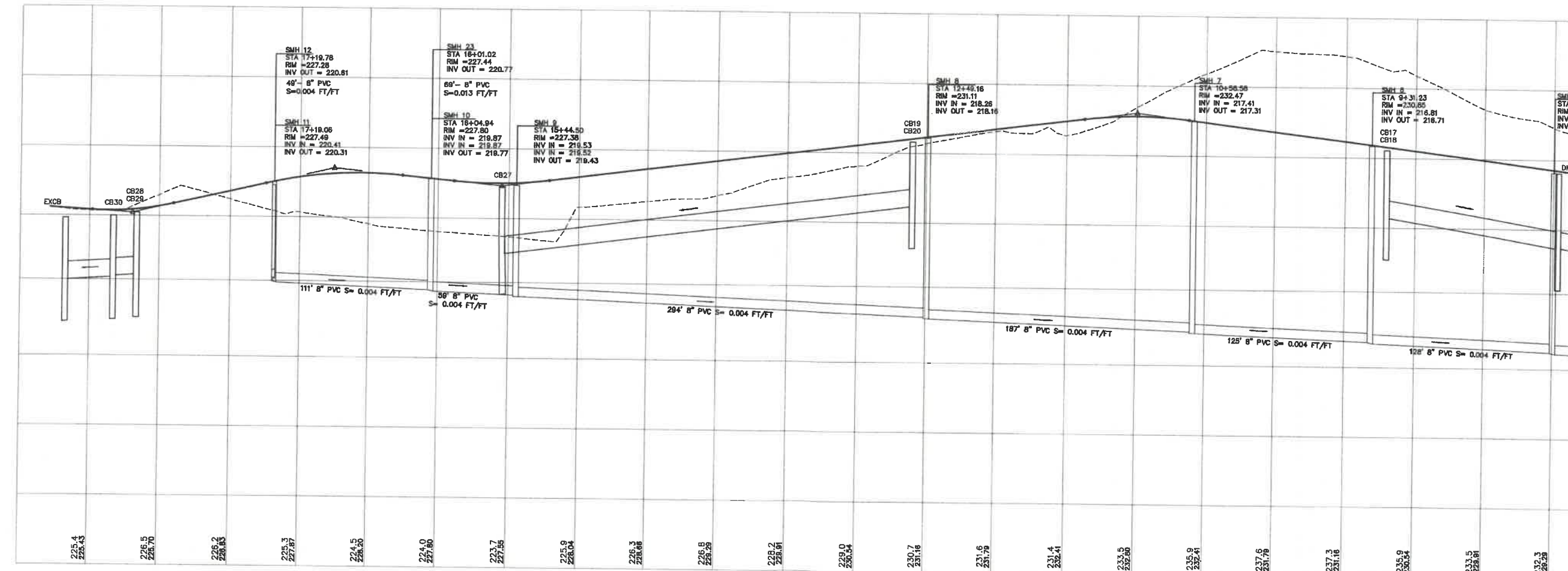
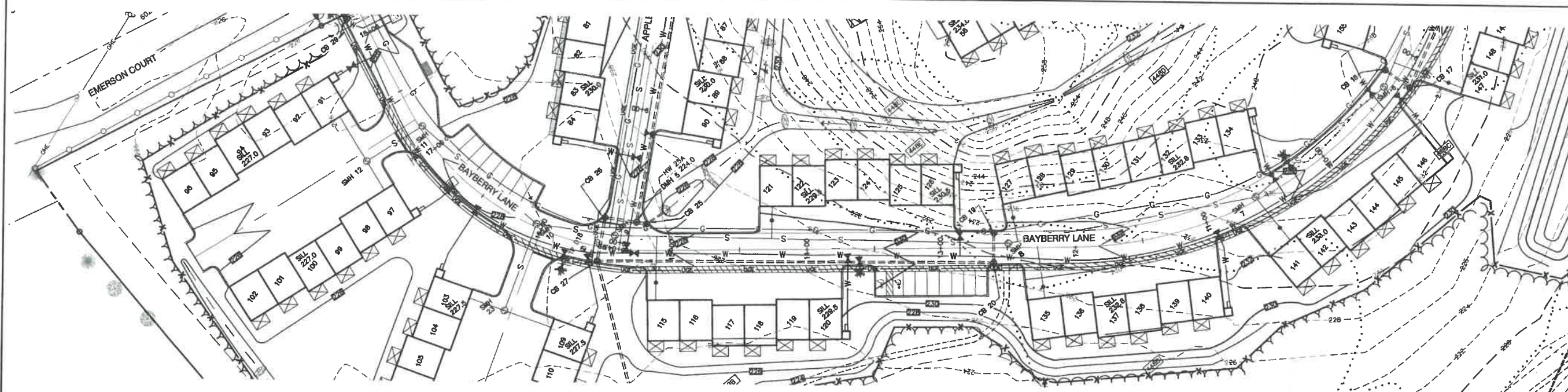
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Plan Name:	SEWER PLAN AND PROFILE
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.

P7

SHEET 30 OF 48
JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
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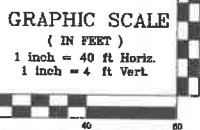
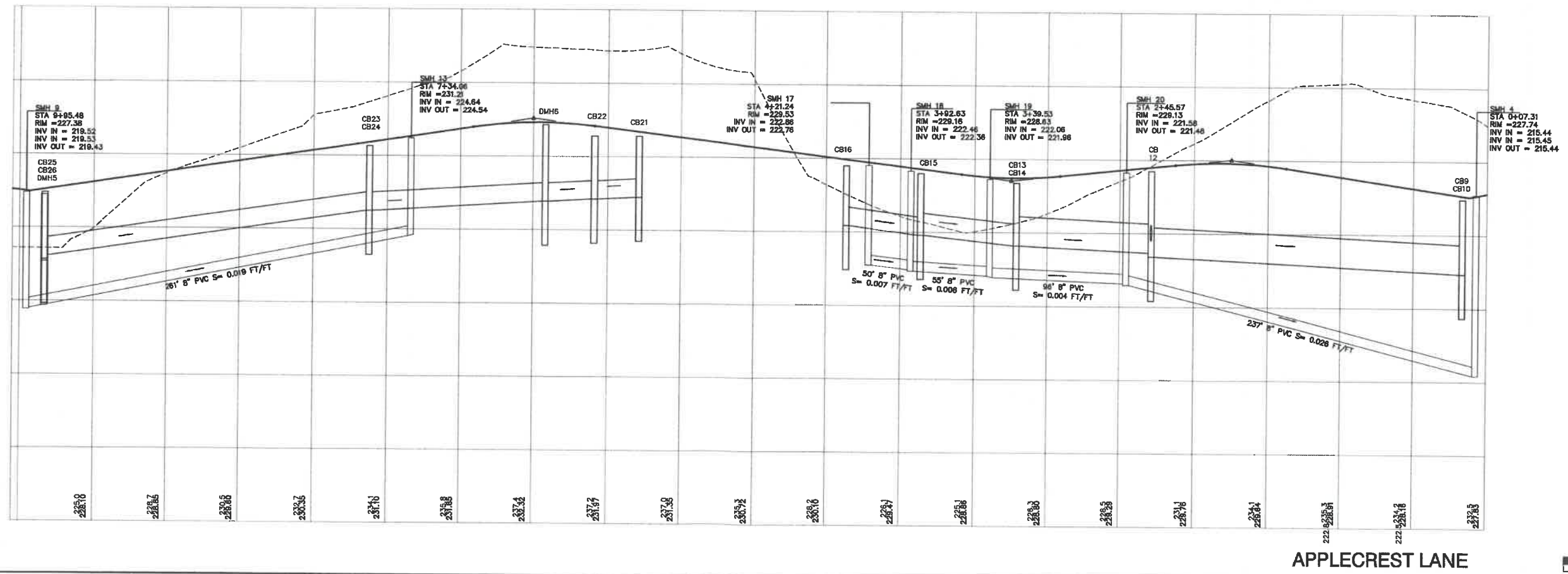
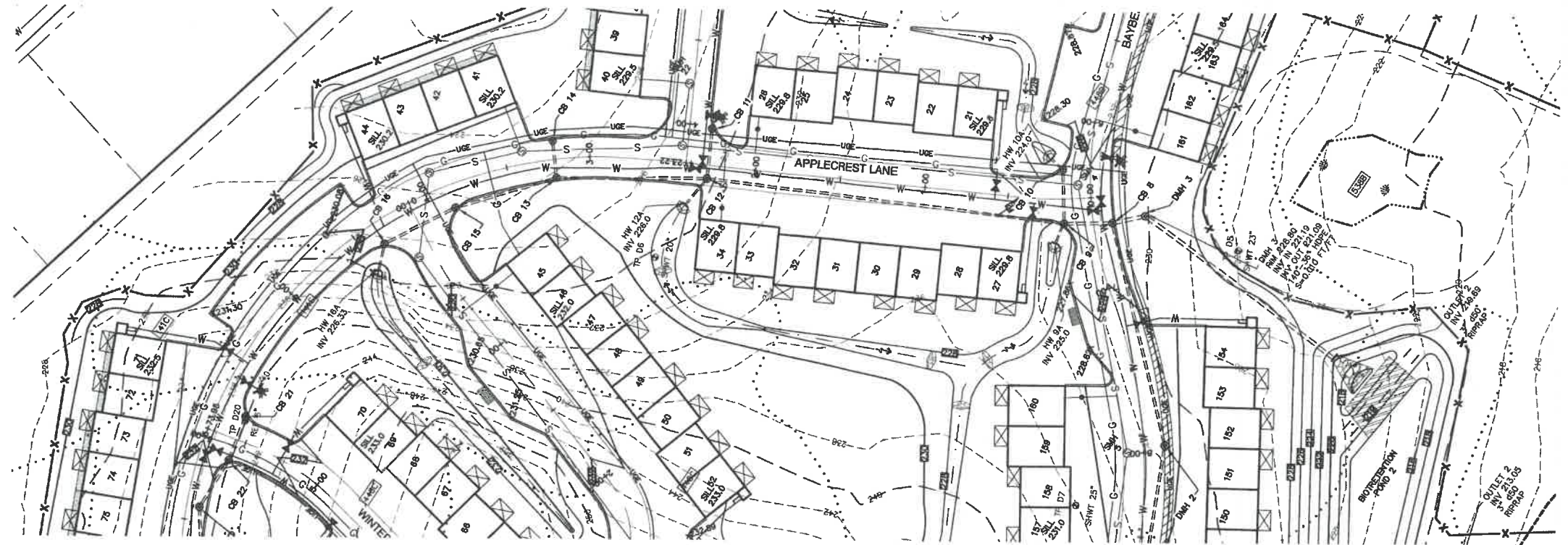


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Plan Name: **SEWER PLAN AND PROFILE**
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19 OLD GONIC ROAD, ROCHESTER, NH
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DRAWING No.
P8
 SHEET 31 OF 48
 JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
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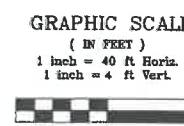
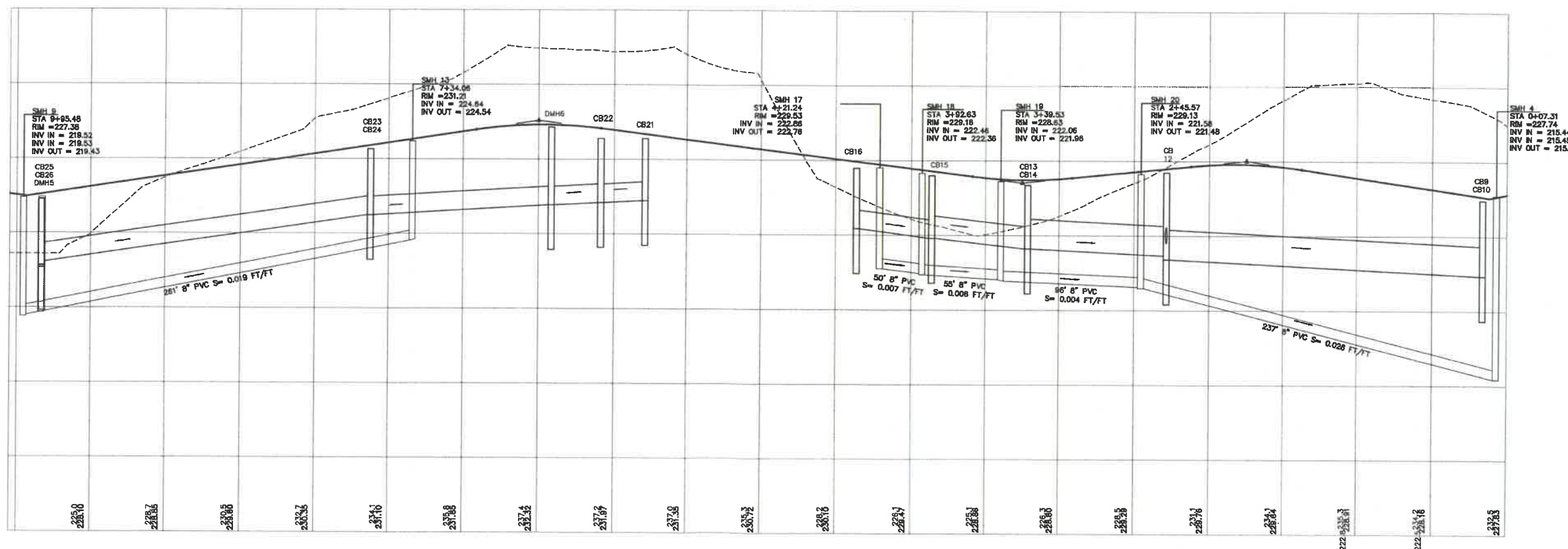
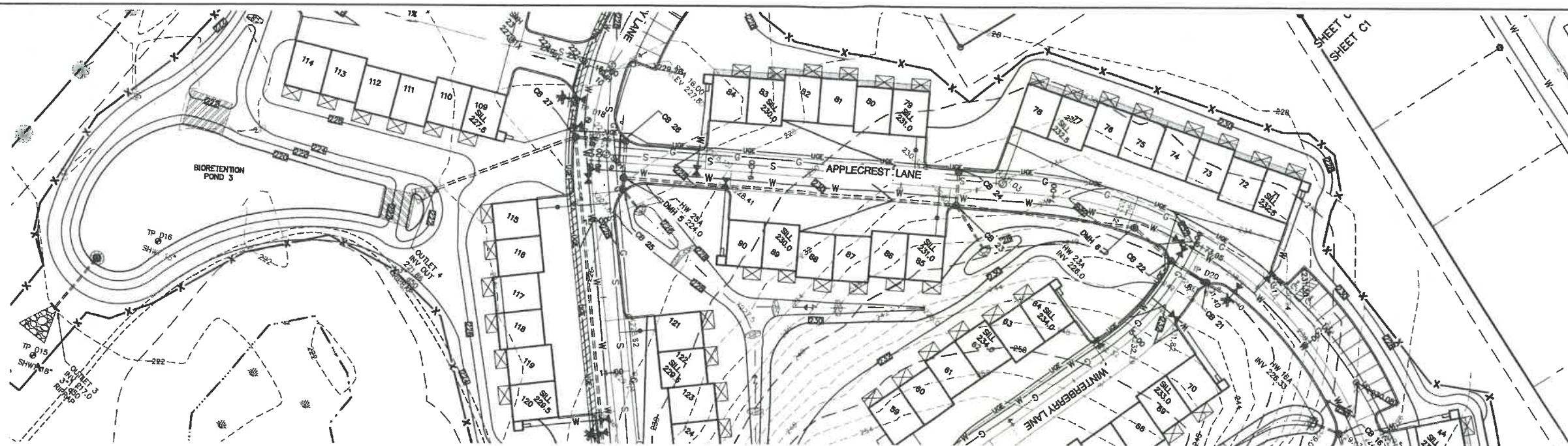


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Plan Name: **SEWER PLAN AND PROFILE**
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DRAWING No. **P9**
 SHEET 32 OF 48
 JBE PROJECT NO. 21090



APPLECREST LANE

Design: JAC Draft: LAZ Date: 04/29/21
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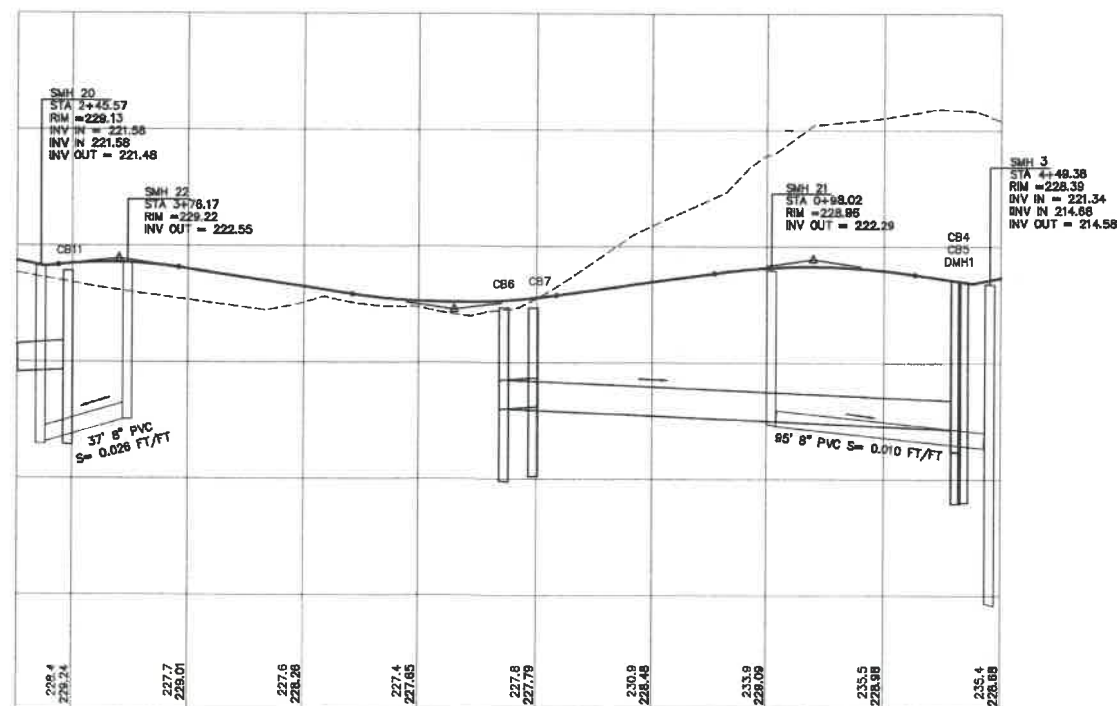
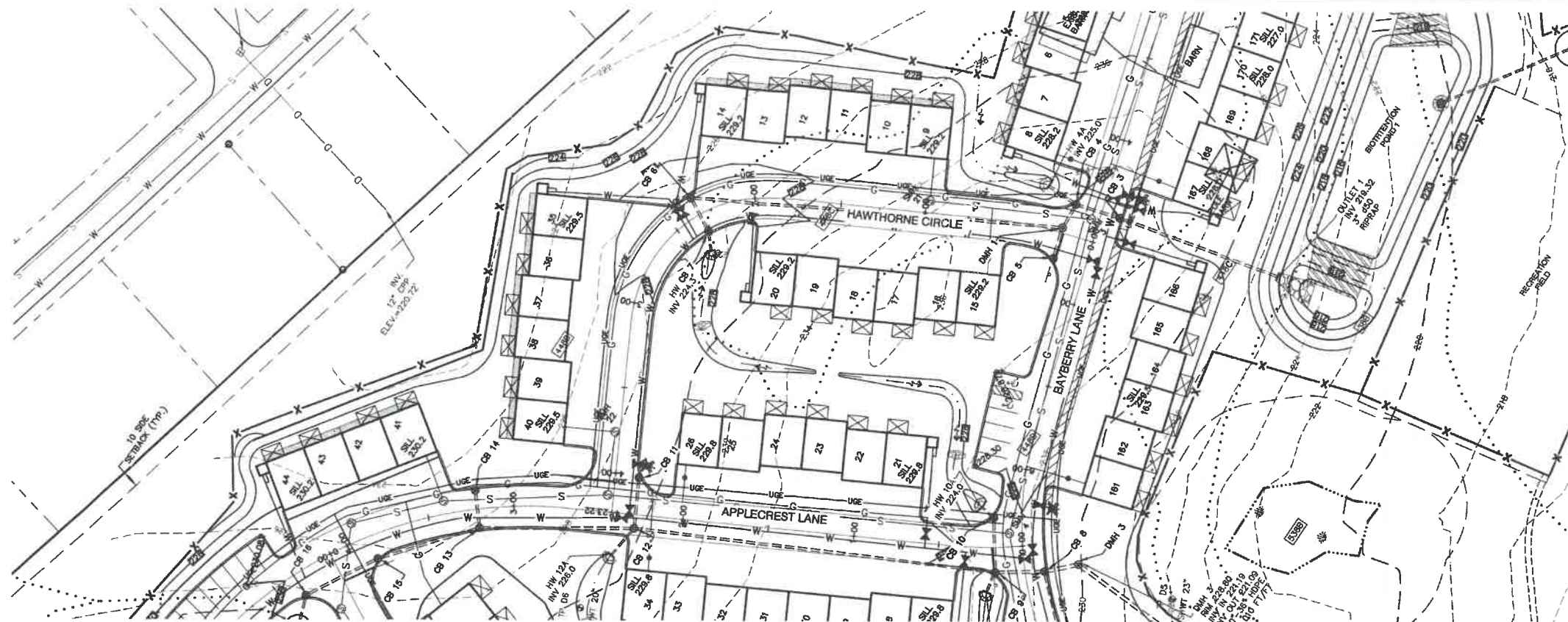


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Plan Name: **PLAN AND PROFILE**
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19 OLD GONIC ROAD, ROCHESTER, NH
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DRAWING No.
P10
 SHEET 33 OF 46
 JBE PROJECT NO. 21090



HAWTHORNE CIRCLE

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.

Design: JAC Draft: LAZ Date: 04/29/21
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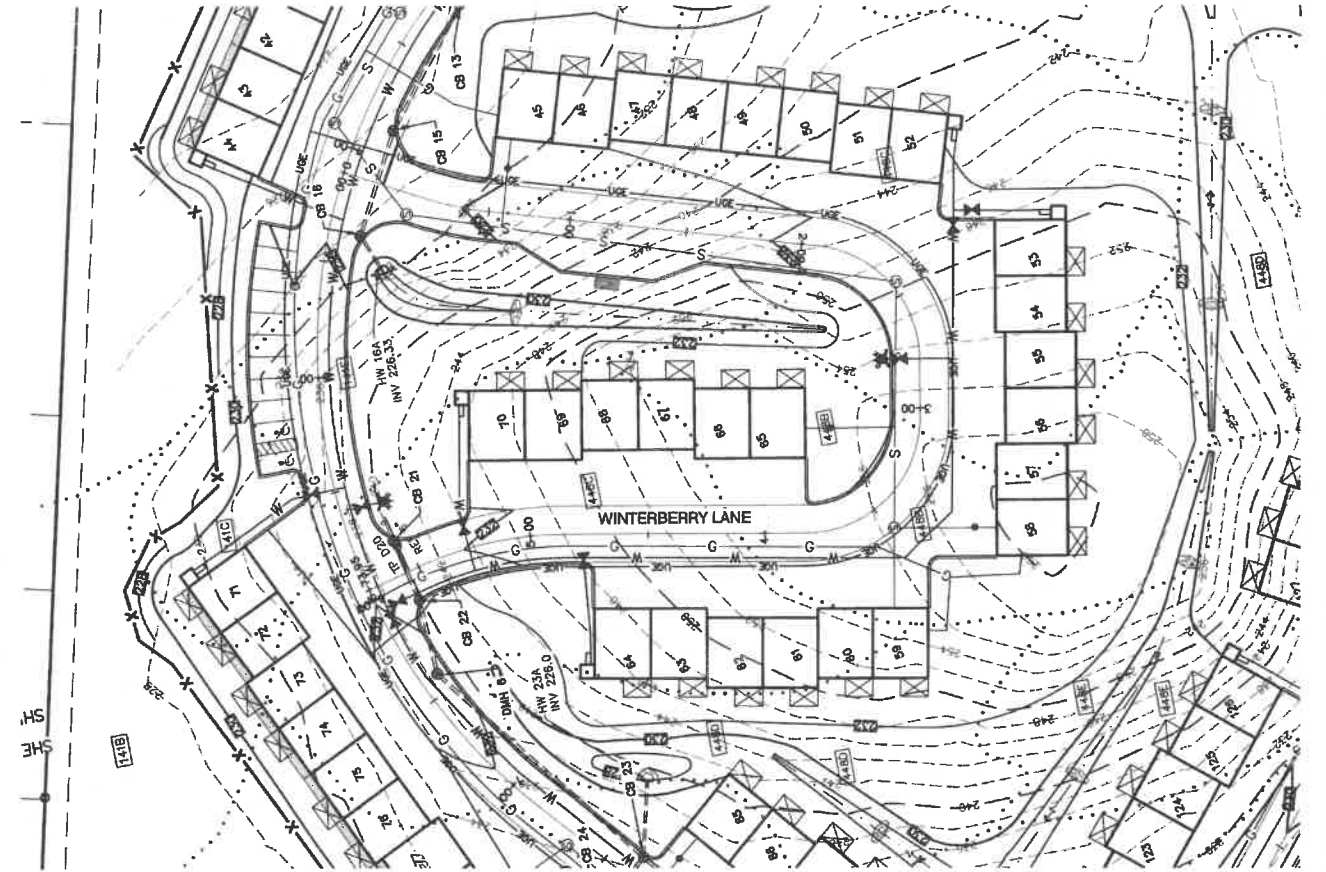
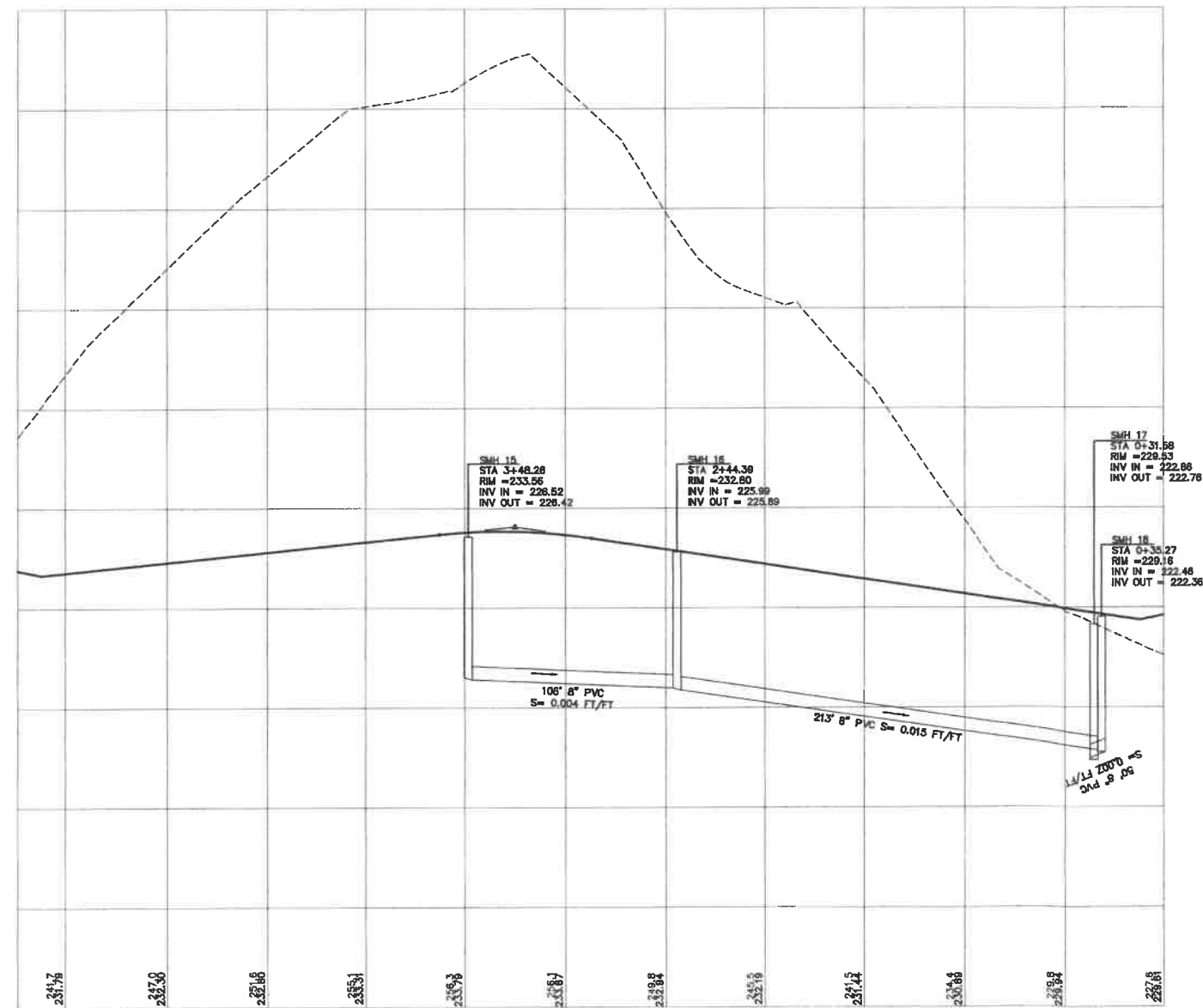


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FAX: 803-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PLAN AND PROFILE**
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19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
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DRAWING No.
P11
SHEET 34 OF 46
JBE PROJECT NO. 21090



WINTERBERRY LANE

GRAPHIC SCALE
(IN FEET)
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1 inch = 4 ft Vert.

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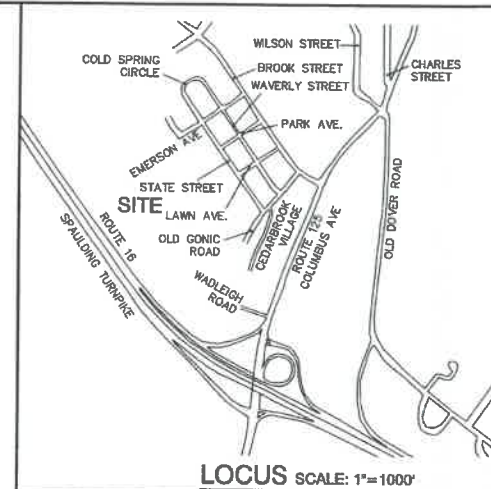
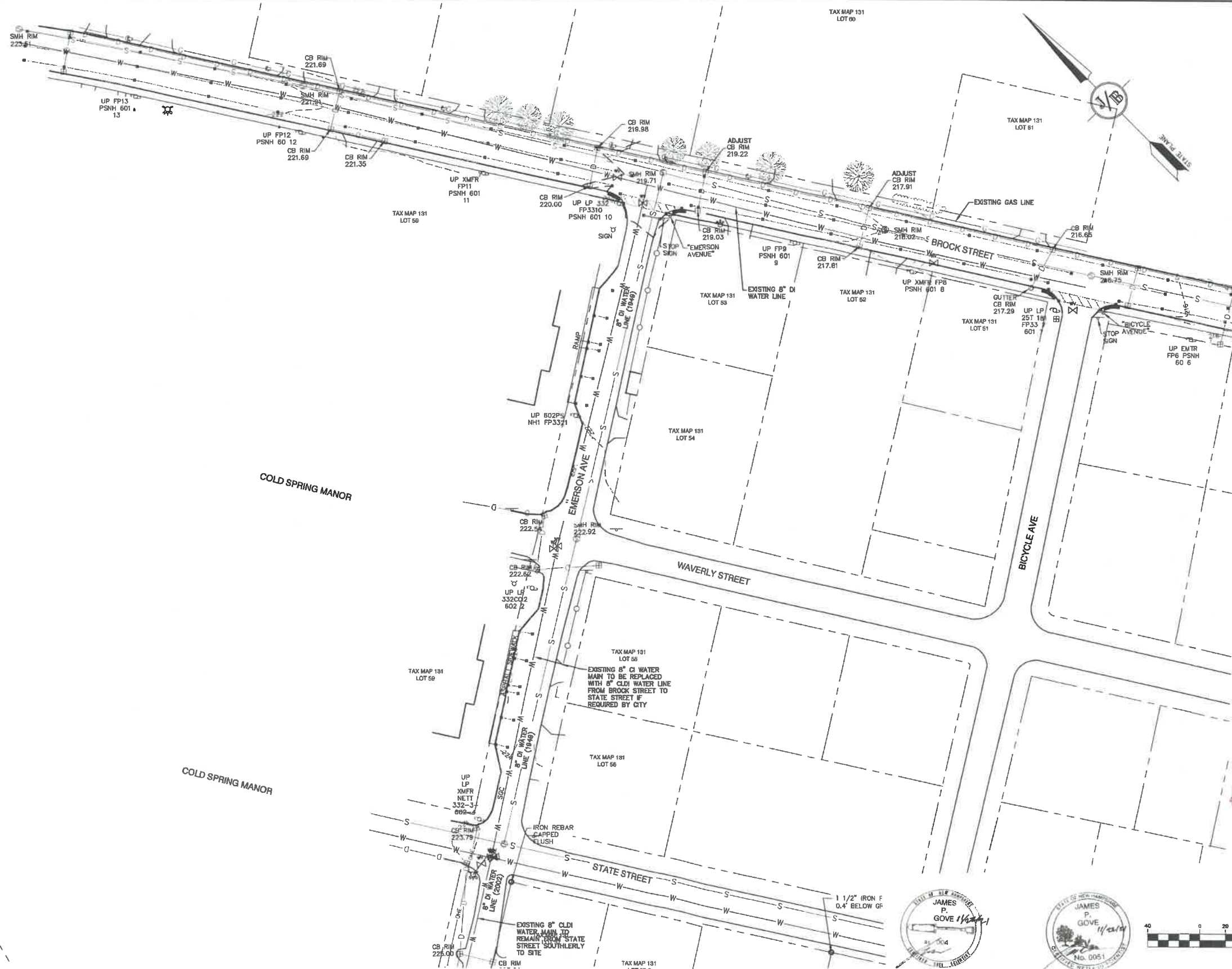


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DRAWING No.
P12
SHEET 35 OF 46
JBE PROJECT NO. 21090



SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2008.

SSSS SYM.	SSSS MAP NAME	MISS SYM.	HYDRO. SOIL GRP.
953	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATFIELD	228	D
448	SITUATE FINE SANDY LOAM	323	C
5	QUODORTHERENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

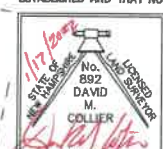
SLOPE PHASE:
0-8% B 8-15% C 15-25% D
25%+ E

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: 1/17/2022

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1	APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,308,895 SQ. FT. ± 30.07 ACRES ±	

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



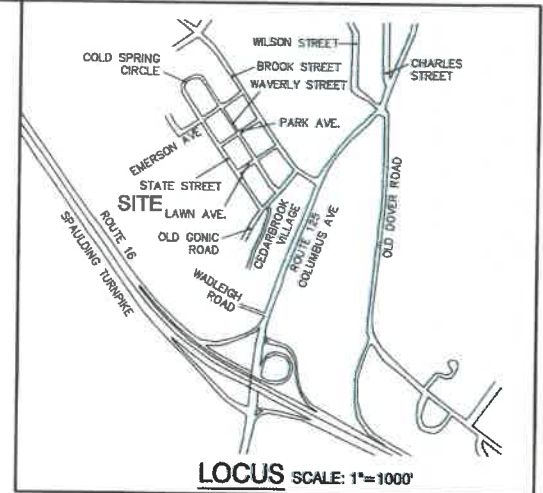
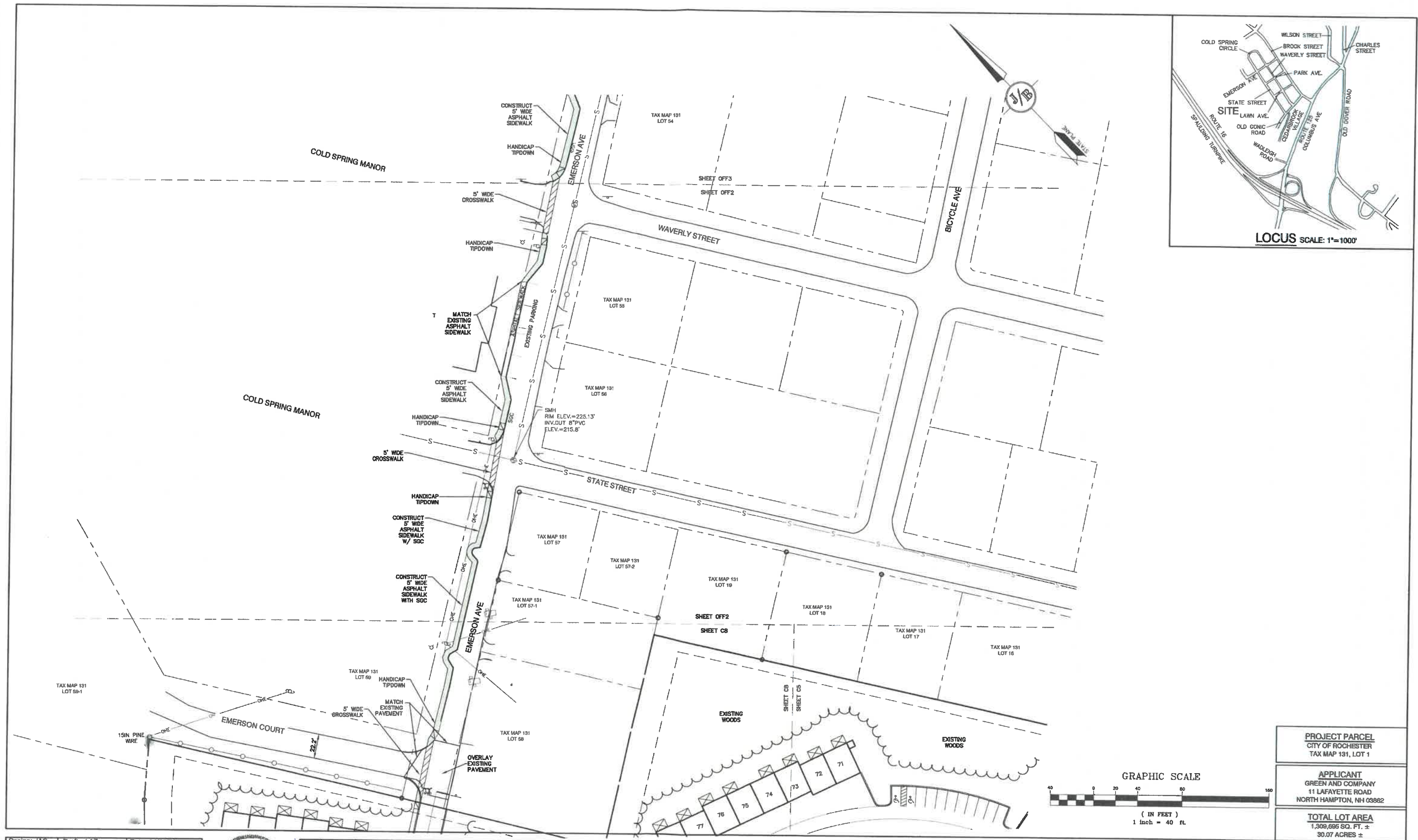
REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

603-772-4748
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OFFSITE EXISTING CONDITIONS PLAN**
Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
OFF1
SHEET 36 OF 48
JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
 Checked: JAC Scale: AS NOTED Project No.: 21090
 Drawing Name: 21090-PLAN.dwg
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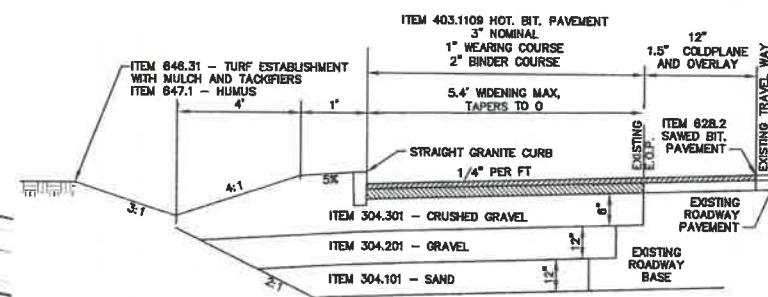
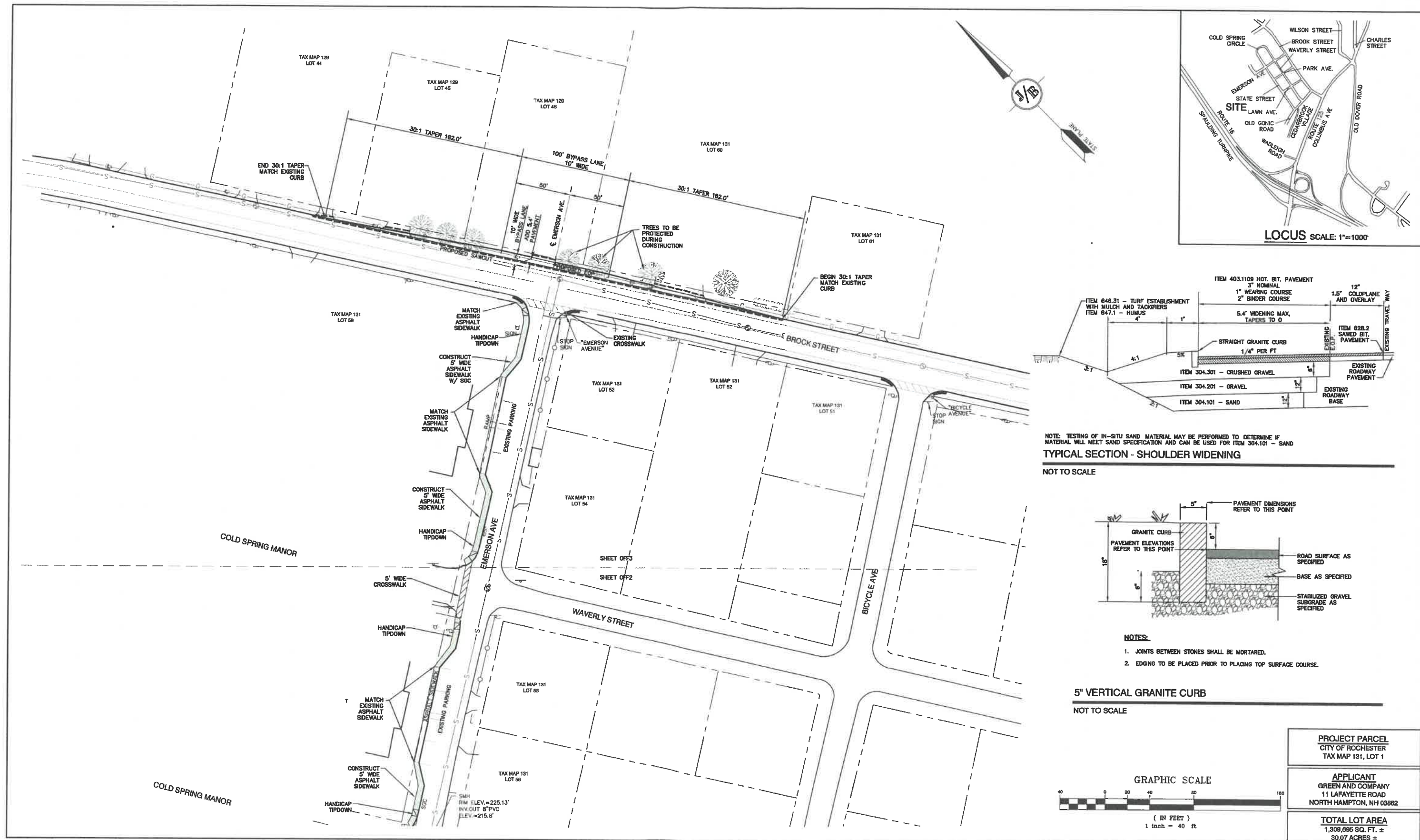


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0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 Civil Engineering Services
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OFFSITE SITE PLAN**
 Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

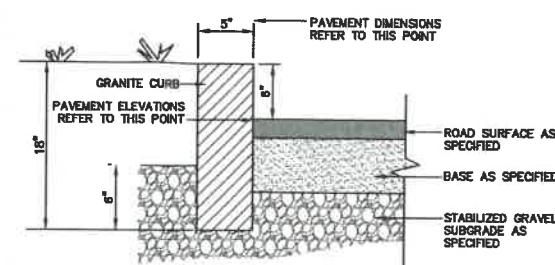
DRAWING No.
OFF2
 SHEET 37 OF 48
 JBE PROJECT NO. 21090



NOTE: TESTING OF IN-SITU SAND MATERIAL MAY BE PERFORMED TO DETERMINE IF MATERIAL WILL MEET SAND SPECIFICATION AND CAN BE USED FOR ITEM 304.101 - SAND

TYPICAL SECTION - SHOULDER WIDENING

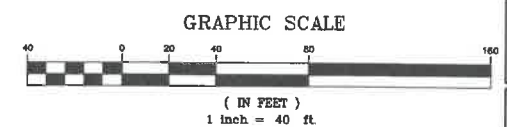
NOT TO SCALE



- NOTES:**
- JOINTS BETWEEN STONES SHALL BE MORTARED.
 - EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.

5' VERTICAL GRANITE CURB

NOT TO SCALE



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03882
TOTAL LOT AREA 1,308,895 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
 Checked: JAC Scale: AS NOTED Project No.: 21090
 Drawing Name: 21090-PLAN.dwg

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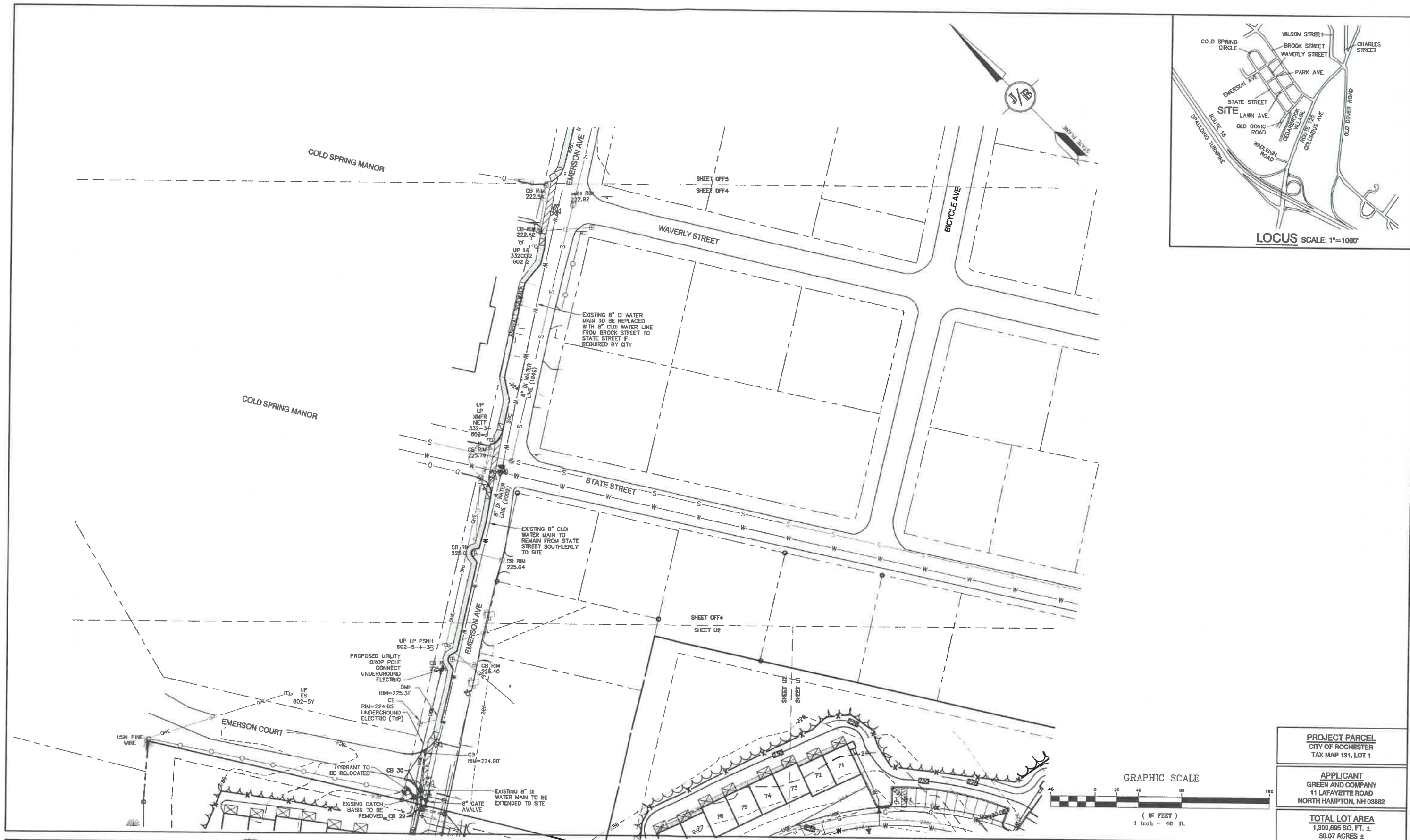
REV.	DATE	REVISION	BY
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J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 803-772-4746 FAX: 803-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Designed and Produced in NH
 Civil Engineering Services

Plan Name:	OFFSITE SITE PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
OFF3
 SHEET 38 OF 46
 JBE PROJECT NO. 21090



Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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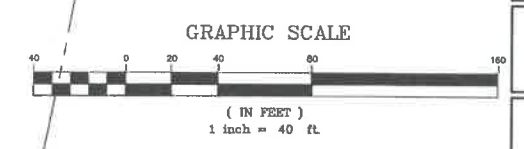
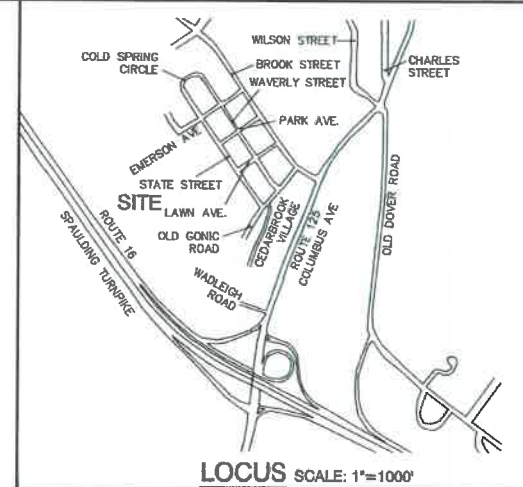


REV.	DATE	REVISION	BY
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0	11/23/21	ISSUED FOR REVIEW	LAZ

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OFFSITE GRADING AND UTILITY PLAN**
Project: **BAYBERRY COMMONS
19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4083 PG 148**

DRAWING No.
OFF4
SHEET 38 OF 48
JBE PROJECT NO. 21090



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,685 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21
 Checked: JAC Scale: AS NOTED Project No.: 21090
 Drawing Name: 21090-PLAN.dwg
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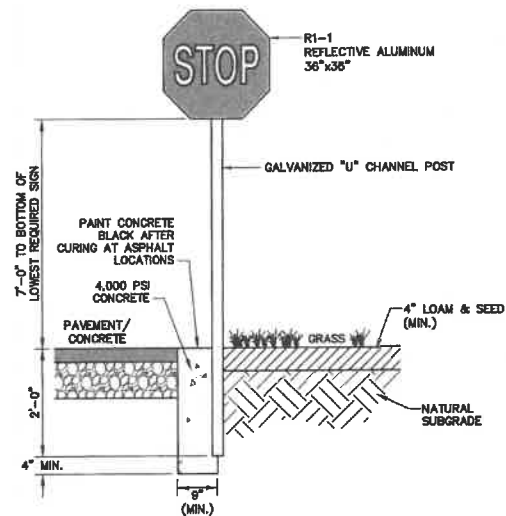


REV.	DATE	REVISION	BY
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0	11/23/21	ISSUED FOR REVIEW	LAZ

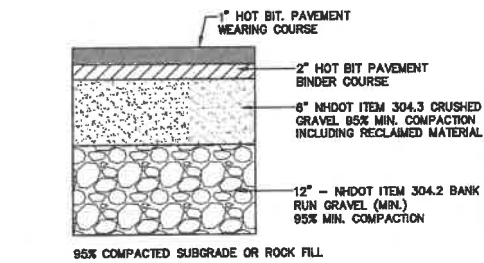
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OFFSITE GRADING AND UTILITY PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

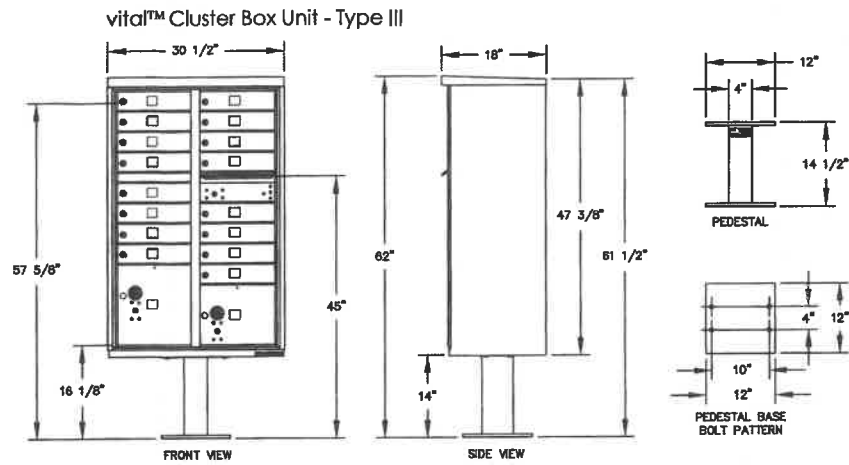
DRAWING No.
OFF5
 SHEET 40 OF 46
 JBE PROJECT NO. 21090



STOP SIGN (R1-1)
NOT TO SCALE



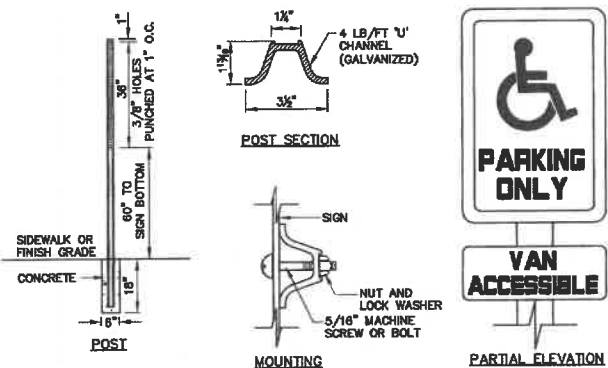
TYPICAL BITUMINOUS PAVEMENT
NOT TO SCALE



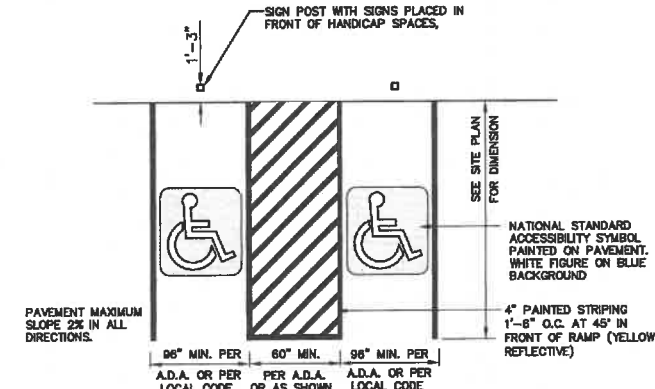
MAIL BOX KIOSK DETAIL - AF FLORENCE MANUFACTURING COMPANY (MODEL 1570-16)
NOT TO SCALE

- NOTES:
1. This unit is approved for USPS and private applications.
 2. Decorative mailbox accessories sold separately and are USPS Approved products.
 3. Pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendations.
 4. Florence "F" series CBU is Officially Licensed by USPS: License#CDSE08-08-0012

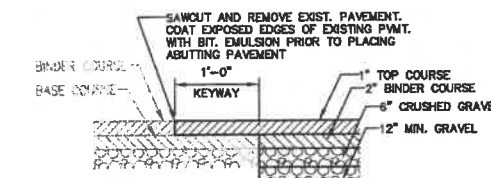
DOOR CHART	
DOOR TYPE	DIMENSION (HEIGHT x WIDTH)
TENANT	3'-3/8" x 12'-13/16"
10' PARCEL	10'-1/4" x 12'-13/16"
13' PARCEL	13'-3/4" x 12'-13/16"
OUTGOING SLOT	3/4" x 11'-3/4"



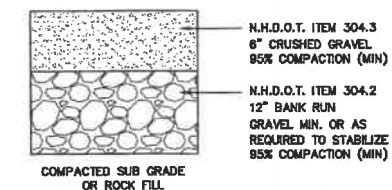
HANDICAP SIGN DETAILS
NOT TO SCALE



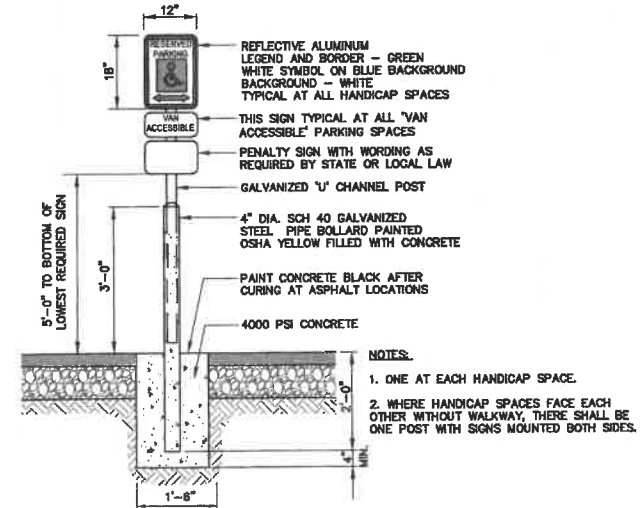
HANDICAP PARKING LAYOUT
NOT TO SCALE



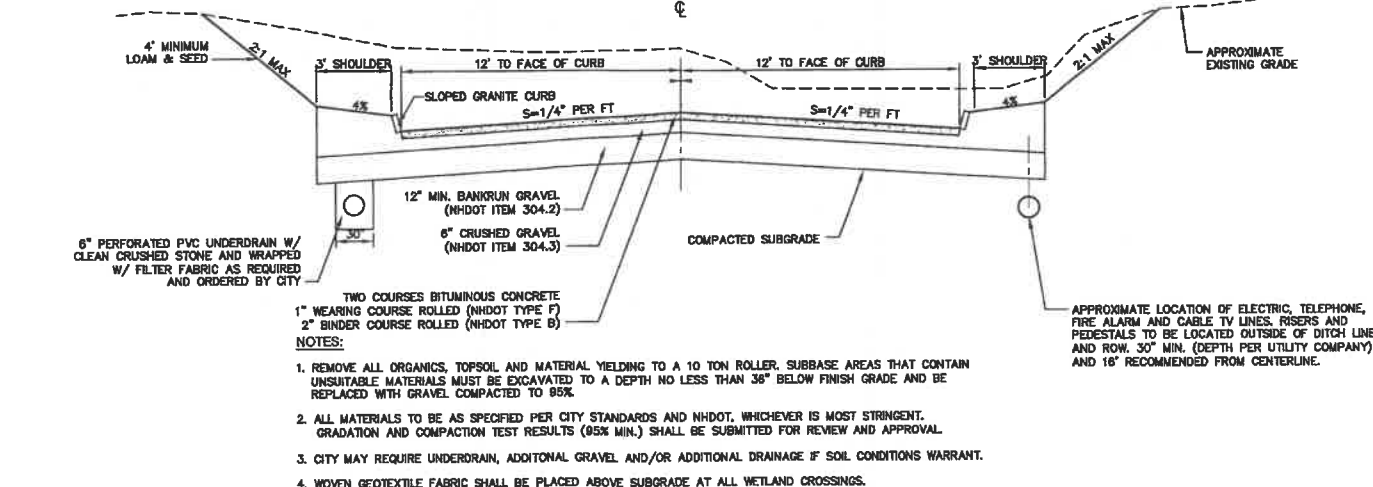
KEYWAY DETAIL FOR CONNECTION TO EXISTING PAVEMENT
NOT TO SCALE



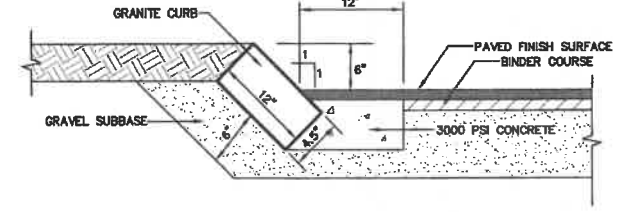
GRAVEL SECTION
NOT TO SCALE



HANDICAP PARKING SIGN (R7-8)
NOT TO SCALE



TYPICAL ROADWAY SECTION W/CURBING
NOT TO SCALE



SLOPED GRANITE CURB
NOT TO SCALE

Design: JAC Draft: LAZ Date: 04/29/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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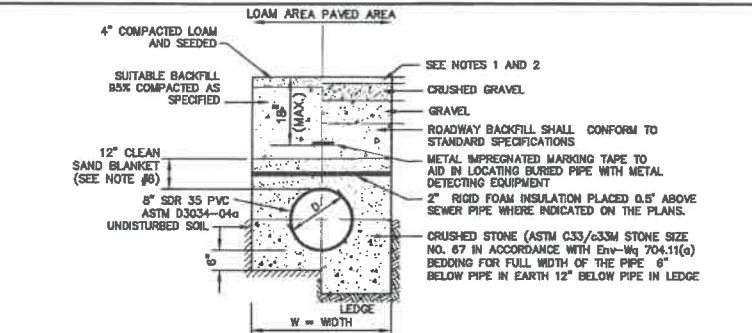


REV.	DATE	REVISION	BY
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0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
Project: **BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH**
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

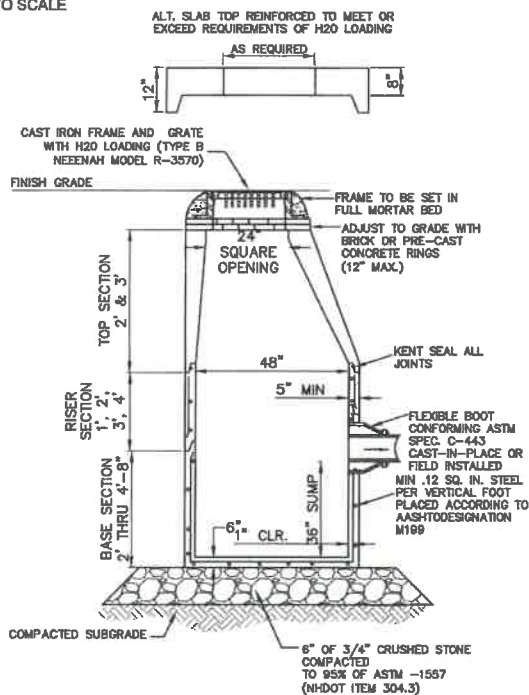
DRAWING No.
D1
SHEET 41 OF 46
JBE PROJECT NO. 21090



- NOTES:**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 3. TRENCH BACKFILL SHALL CONFORM WITH ENV. WQ 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 4. W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 5. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4", PURSUANT TO DES WAIVER BEING ISSUED.
 6. PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-WQ 704.11(b).
 7. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-WQ 704.06 (e).

SEWER TRENCH

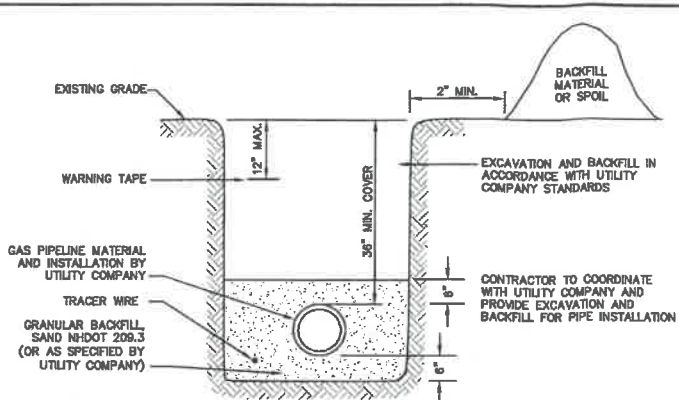
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEEHAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

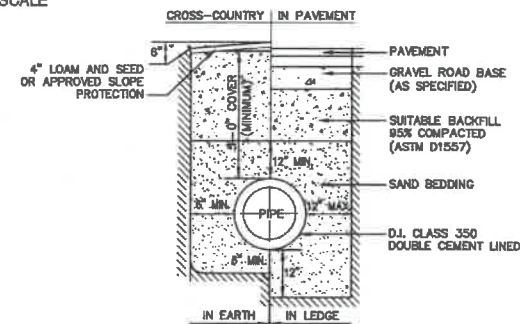
CATCH BASIN

NOT TO SCALE



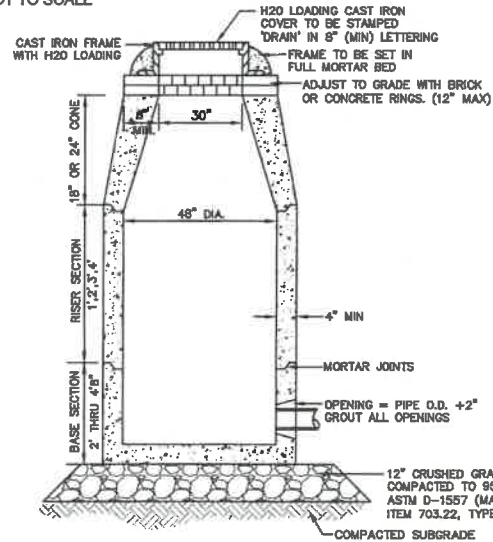
GAS TRENCH

NOT TO SCALE



WATER SYSTEM TRENCH

NOT TO SCALE

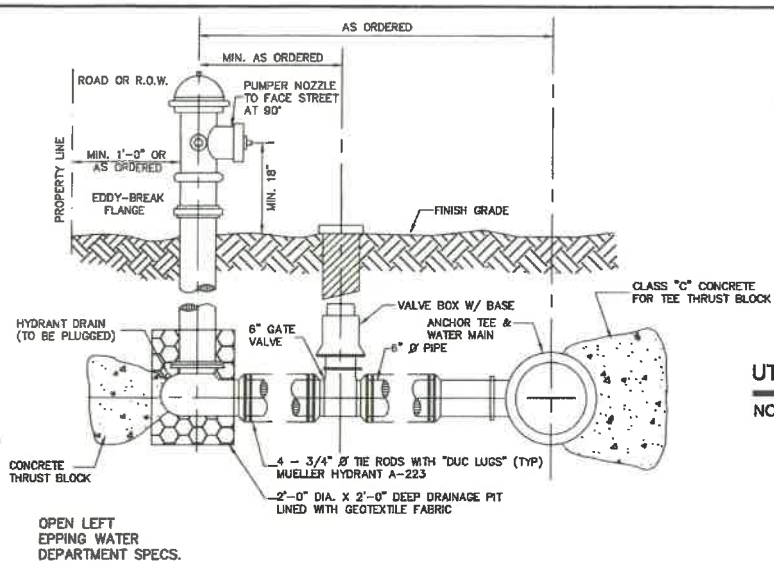


NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NEEHAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

DRAIN MANHOLE (4' DIAM.)

NOT TO SCALE

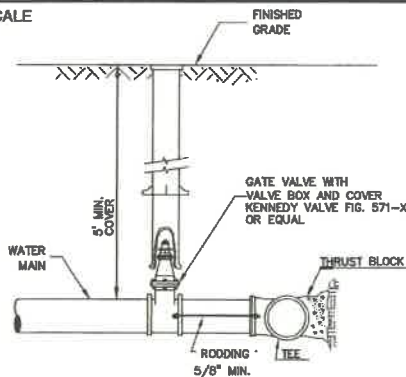


NOTES:

1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
4. STEAMER NOZZLE TO BE "STORCH" TYPE.
5. NATIONAL STANDARD THREAD.

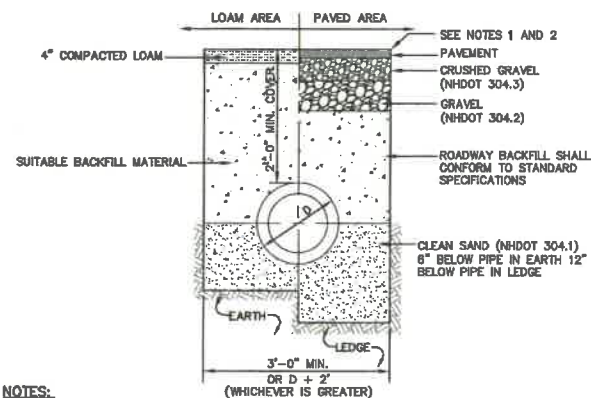
HYDRANT INSTALLATION

NOT TO SCALE



BURIED GATE VALVE DETAIL

NOT TO SCALE

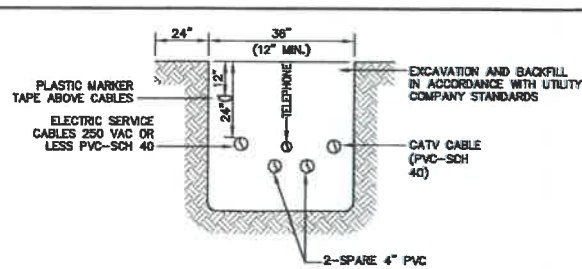


NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND CITY SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

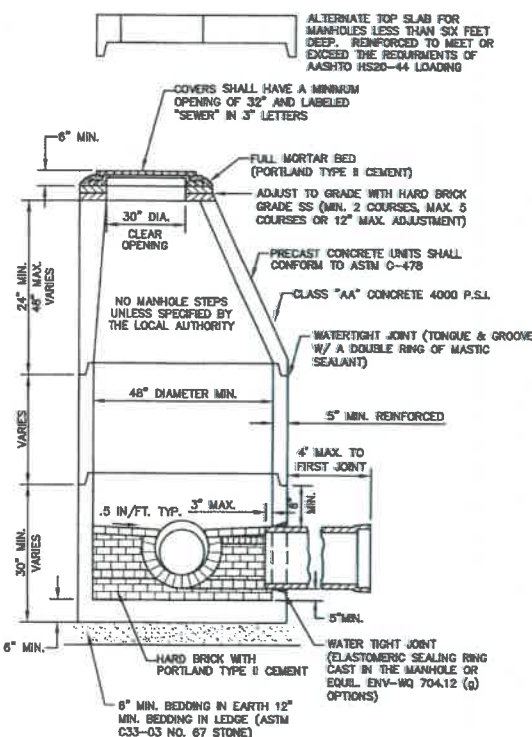
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

NOT TO SCALE



NOTES:

1. PER NHDES ENV-WQ 704.13(c), MORTAR USED IN MANHOLE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 - a. MORTAR SHALL BE COMPOSED OF TYPE I PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION
 - b. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE PER TABLE 704-4:
 - (1) 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - (2) 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
 - c. CEMENT SHALL BE TYPE II PORTLAND CEMENT THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C150/C150M STANDARD IN EFFECT AT THE TIME THE CEMENT WAS MANUFACTURED
 - d. HYDRATED LIME SHALL BE TYPE S THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C207 STANDARD IN EFFECT AT THE TIME THE HYDRATED LIME WAS PROCESSED
 - e. SAND SHALL CONSIST OF INERT NATURAL SAND THAT IS CERTIFIED BY ITS SUPPLIER AS CONFORMING TO THE ASTM C33 STANDARD IN EFFECT AT THE TIME THE SAND IS PROCESSED BY STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES
 - f. CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AVAILABLE AT: [HTTP://WWW.NH.GOV/DOT/ORG/PROJECTDEVELOPMENT/HIGHWAYDESIGN/SPECIFICATIONS/INDEX.HTM](http://www.nh.gov/dot/org/projectdevelopment/highwaydesign/specifications/index.htm)
2. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (k).
3. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (c) THROUGH (e).
4. SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48/48M WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (a) (8).
5. ALL PRECAST SECTIONS SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING IN ACCORDANCE WITH ENV-WQ 704.12 (d).
6. ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDUBLY MARKED ON THE INSIDE WALL PER ENV-WQ 704.12(i).
7. BRICK MASONRY SHALL CONFORM TO ASTM C32 (ENV-WQ 704.12(q)(9))

SEWER MANHOLE

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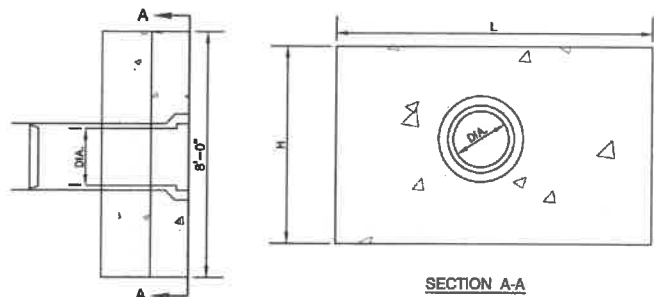
85 Portsmouth Ave. PO Box 218 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.	D2
SHEET 42 OF 48	JBE PROJECT NO. 21090

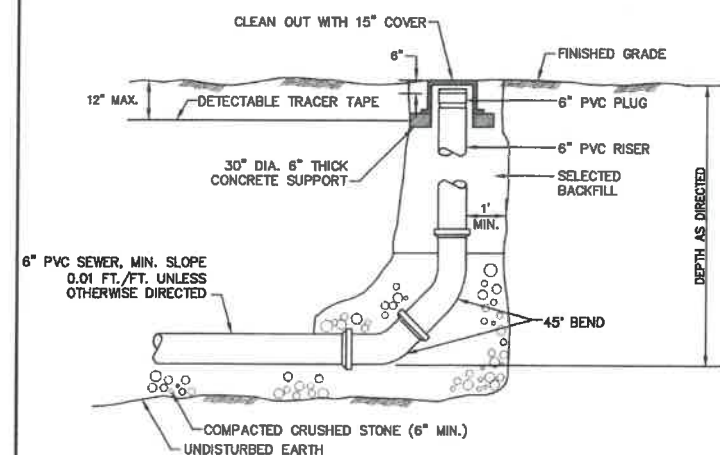


DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
D	L	H	FH	h	W
12"	4'-2"	3'-9"	1'-8"	1'-3"	1'-11"
15"	5'-11"	4'-2"	1'-8"	1'-5"	2'-0"
18"	6'-11"	4'-5"	1'-8"	1'-5"	2'-1"
24"	8'-10"	4'-11"	1'-8"	1'-5"	2'-3"

- NOTES:
1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
 2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
 4. 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

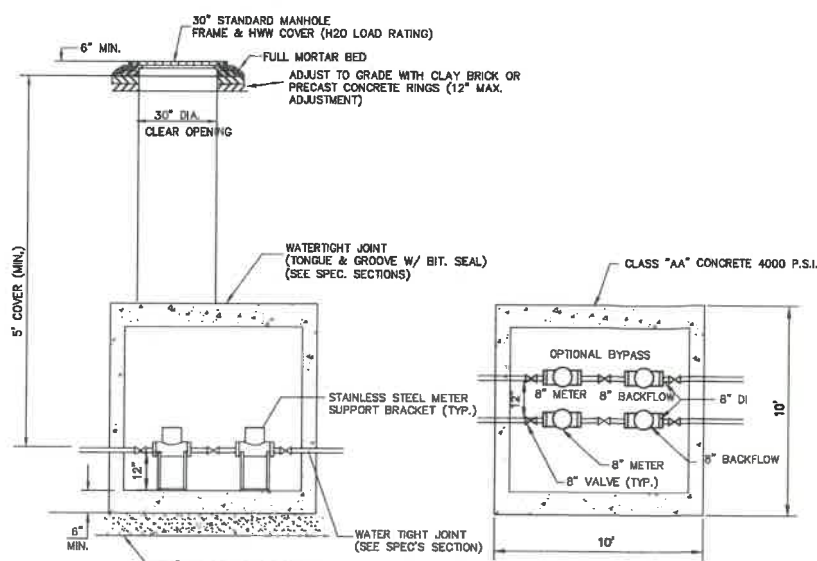
PRECAST CONCRETE HEADWALL

NOT TO SCALE



SEWER CLEAN OUT

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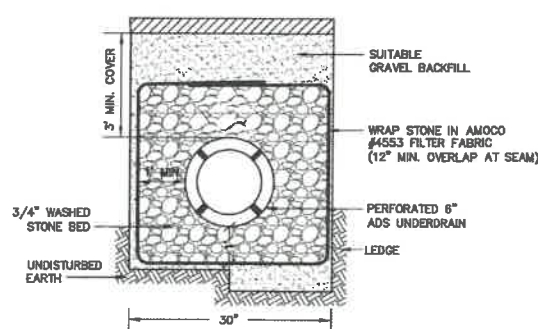
ELEVATION

PLAN VIEW

- NOTES:
1. METER TO BE SENSUS OMNI C2 OF APPROPRIATE SIZE.
 2. BACKFLOW TO BE TESTABLE DOUBLE CHECK VALVE ASSEMBLY WITH CENTER-SHAFT OR TOP HINGE CHECKS (WILKINS 350AST OR EQUAL) OF APPROPRIATE SIZE, IF APPLICATION IS DESIGNED LOW HAZARD.
 3. OPTIONAL BYPASS MAY BE SIZED FOR DOMESTIC SERVICE ONLY.
 4. VAULT TO HAVE ADEQUATE ANTI-BOUYANCY FEATURES.
 5. VAULT COVERS TO BE STAMPED WITH "WATER" AND MATCH EXISTING CITY OF ROCHESTER INFRASTRUCTURE STANDARDS.
 6. ISOLATION VALVES REQUIRED AROUND EQUIPMENT FOR MAINTENANCE, TESTING AND SERVICE.
 7. IF APPLICATION IS DESIGNATED HIGH HAZARD, THE ASSEMBLY MUST USE RP2 BACKFLOW DEVICES AND BE LOCATED IN AN ABOVE GRADE, HEATED AND INSULATED ENCLOSURE TO ALLOW FOR DRAINING.
 8. VAULT AND ACCESS HATCHES SHALL BE SIZED TO ALLOW ENTRY FOR INSPECTION, TESTING AND COMPLETE REPLACEMENT OF DEVICES.
- BYPASS USAGE:
9. IF OPTIONAL BYPASS LINE IS INSTALLED, WHEN MAIN FEED IS TAKEN OFFLINE AND BYPASS ENGAGED, OWNER SHALL CALL 330-7128 TO COORDINATE LOW FLOW CONDITION WITH ROCHESTER FIRE DEPARTMENT AND ROCHESTER PUBLIC WORKS DEPARTMENT.

WATER METER PIT ROCHESTER

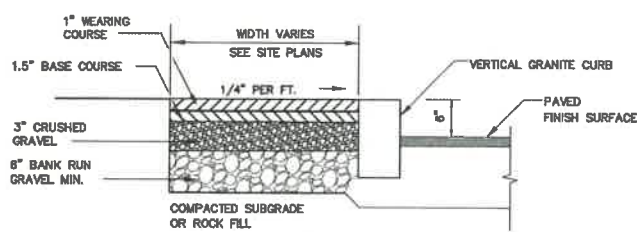
NOT TO SCALE



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO PROJECT AND CITY SPECIFICATIONS.
 3. SLOPE UNDERDRAIN PIPE TO DAYLIGHT.

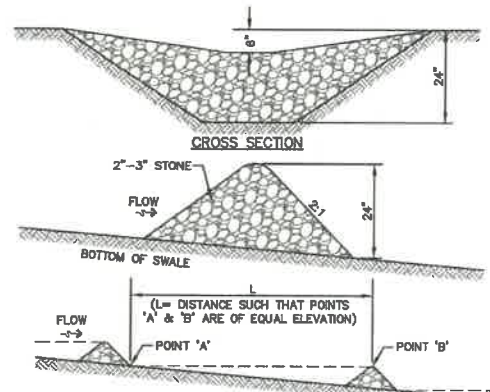
ROADWAY UNDERDRAIN TRENCH

NOT TO SCALE



BIT. SIDEWALK W/ VERTICAL GRANITE CURB

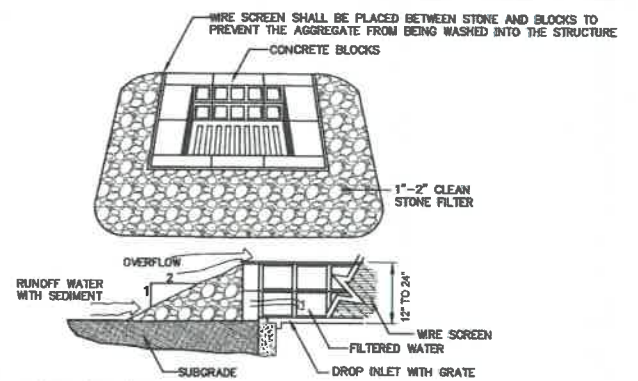
NOT TO SCALE



- MAINTENANCE NOTE:
1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

STONE CHECK DAM

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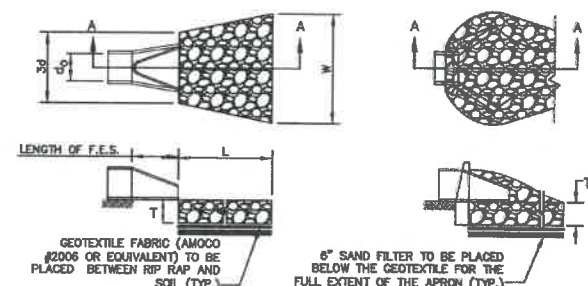


- MAINTENANCE NOTE:
1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION

(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE



SECTION A-A

PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL

SECTION A-A

PIPE OUTLET TO WELL-DEFINED CHANNEL

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
THICKNESS OF RIP RAP = 1.5 FEET			
d50 SIZE=	0.50	FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) TO		
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	

- NOTES:
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

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 Civil Engineering Services
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 PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

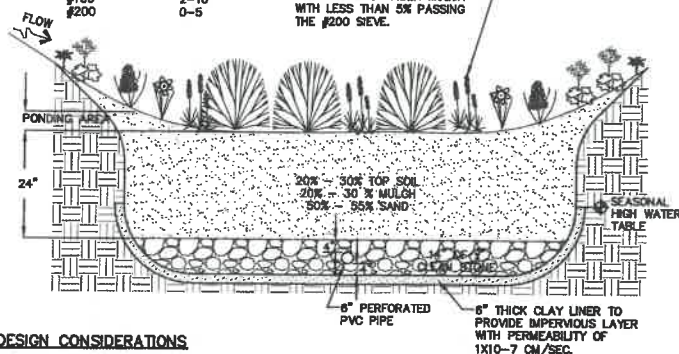
Plan Name: **DETAIL SHEET**
 Project: **BAYBERRY COMMONS**
19 OLD GONIC ROAD, ROCHESTER, NH
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
D3
 SHEET 48 OF 46
 JBE PROJECT NO. 21090

SAND SPECIFICATION	
SEIVE SIZE	% BY WEIGHT
#4	100
#10	95-100
#20	80-100
#40	50-85
#60	25-60
#100	10-30
#200	2-10
	0-5

TOPSOIL SPECIFICATION
LOAMY SAND TOPSOIL WITH MINIMAL CLAY CONTENT AND BETWEEN 15 TO 25% FINES PASSING THE #200 SEIVE.

MULCH SPECIFICATION
MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SEIVE.



DESIGN CONSIDERATIONS

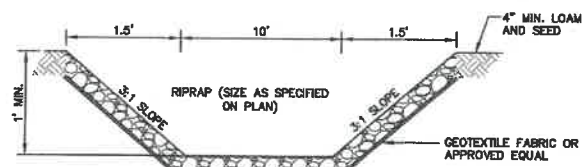
- DO NOT PLACE BIORETENTION SYSTEMS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS:

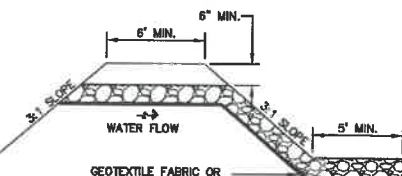
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
- CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-80%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
- COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



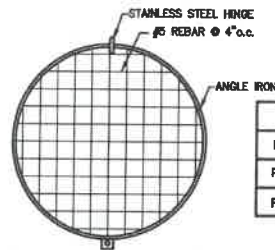
EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY PROFILE

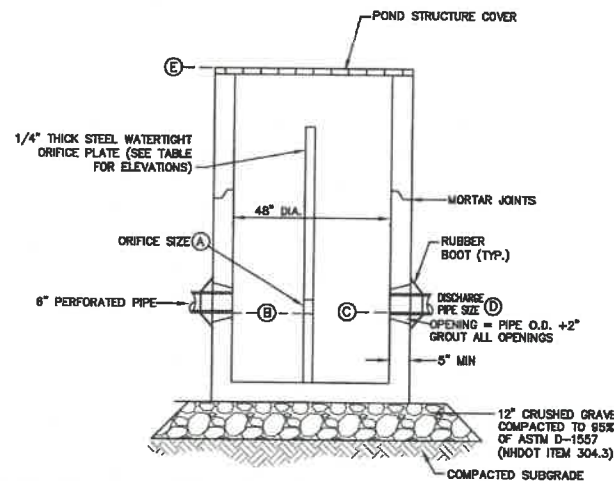
EMERGENCY SPILLWAY

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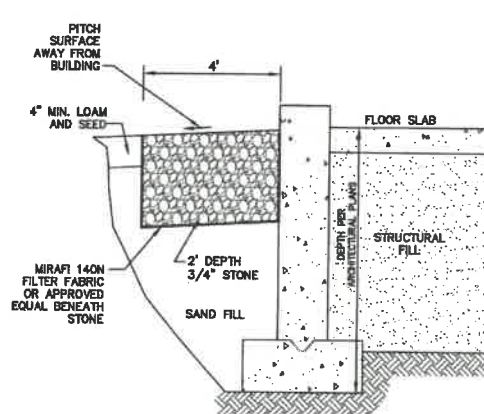
POND STRUCTURE COVER

	A	B	C	D	E
POND 1	3.5"	213.25	213.25	12"	219.00
POND 2	3.5"	213.25	213.25	12"	219.00
POND 3	5.0"	217.25	217.25	12"	223.00



CATCH BASIN CONTROL STRUCTURE (CBCS)

NOT TO SCALE

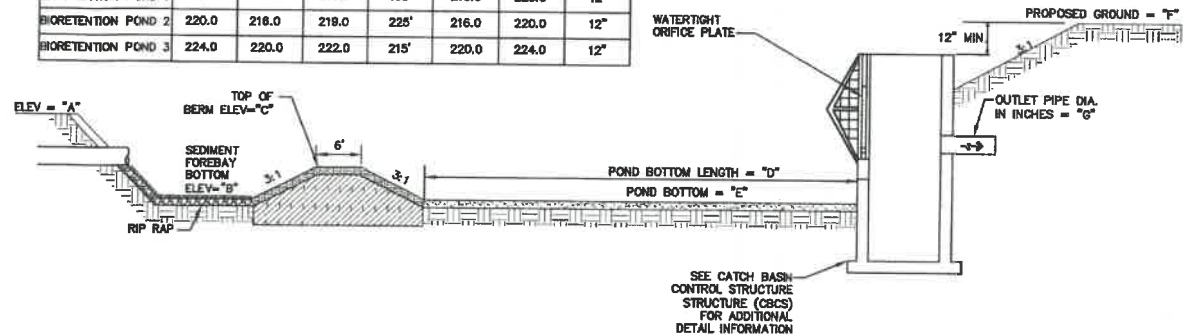


DRIP EDGE DETAIL

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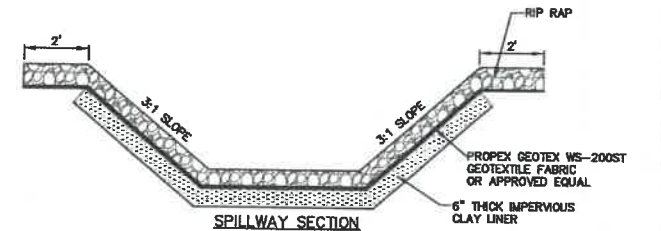
POND TABLE

BIORETENTION POND	ELEVATIONS/DIMENSIONS						
	A	B	C	D	E	F	G
BIORETENTION POND 1	220.0	216.0	219.0	130'	216.0	220.0	12"
BIORETENTION POND 2	220.0	216.0	219.0	225'	216.0	220.0	12"
BIORETENTION POND 3	224.0	220.0	222.0	215'	220.0	224.0	12"

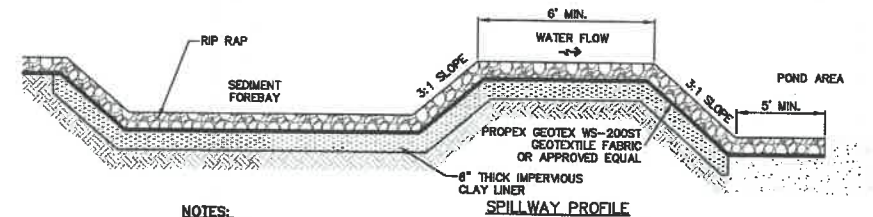


BIORETENTION POND SECTION

NOT TO SCALE



SPILLWAY SECTION



SPILLWAY PROFILE

NOTES:

- A 6" THICK IMPERVIOUS CLAY LINER IS TO BE PLACED UNDER ENTIRE SEDIMENT FOREBAY AND SPILLWAY AND ONLY AROUND THE SIDES OF THE ENTIRE BIORETENTION AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- EMBANKMENT MATERIAL SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 25-40%, #200 SIEVE 15-30% (OF THE TOTAL SAMPLE).
- 6" THICK IMPERVIOUS CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-80%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
- COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

SEDIMENT FOREBAY SPILLWAY

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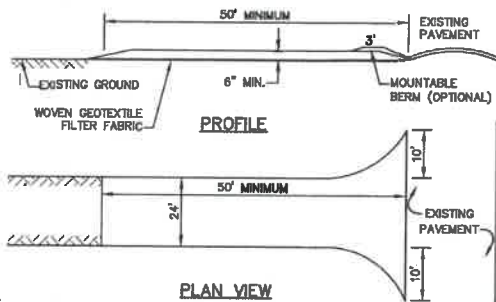


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Plan Name:	DETAIL SHEET
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.	D4
SHEET 44 OF 48	JBE PROJECT NO. 21090

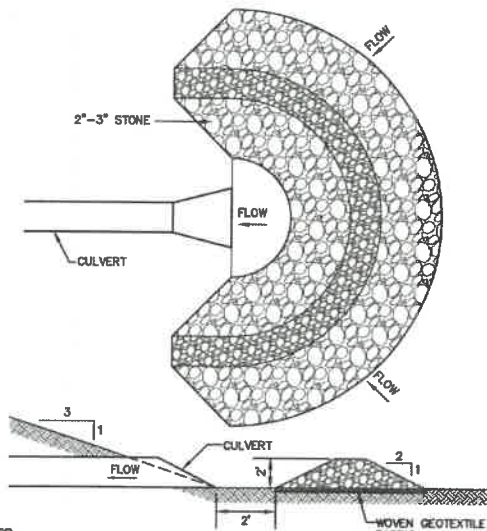


NOTES:

1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



NOTES:

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

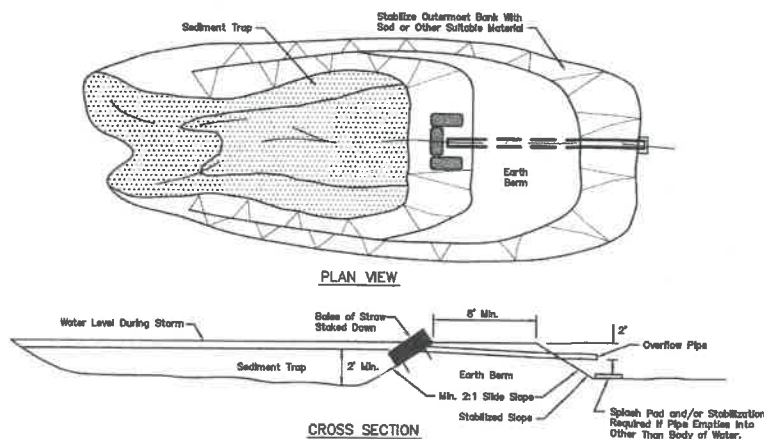
TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE

TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOADED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN 575 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
12. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
13. PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
14. IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - a. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
 - b. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - c. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A-17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
 - d. WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RIDGELY MAUCK AT: RIDGELY.MAUCK@DES.NH.GOV).
 - e. THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.



TEMPORARY SEDIMENT BASIN

NOT TO SCALE

SEEDING SPECIFICATIONS

1. GRADING AND SHADING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVEATCH, BIRDSFOOT, TREFLOIL AND PLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. MULCH
 - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 80 LBS PER 1000 S.F.
5. MAINTENANCE TO ESTABLISH A STAND
 - A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	15	0.35
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFLOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

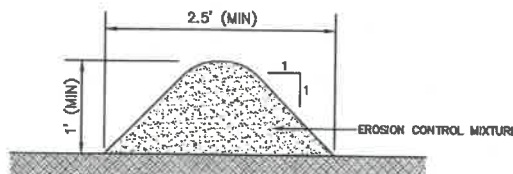
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SEEDING RATES

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

CONSTRUCTION SEQUENCE

1. PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
2. WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
3. CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
4. INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
5. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
6. CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
7. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
8. PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS.
9. PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
10. INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
11. INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
12. ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
13. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
14. PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
15. PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
16. PERFORM ALL REMAINING SITE CONSTRUCTION (I.e. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
17. LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.e. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
18. FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
19. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
20. ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
21. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
22. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
23. CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
24. INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
25. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
26. UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.



NOTES:

1. ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
2. THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - a) THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - b) PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - c) THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - d) LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - e) SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - f) THE PH SHALL BE BETWEEN 5.0 AND 8.0.
3. ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
4. ON SLOPES LESS THAN 5% OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
5. FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
6. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
7. STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC FILTER BERM

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Design: JAC	Draft: LAZ	Date: 04/20/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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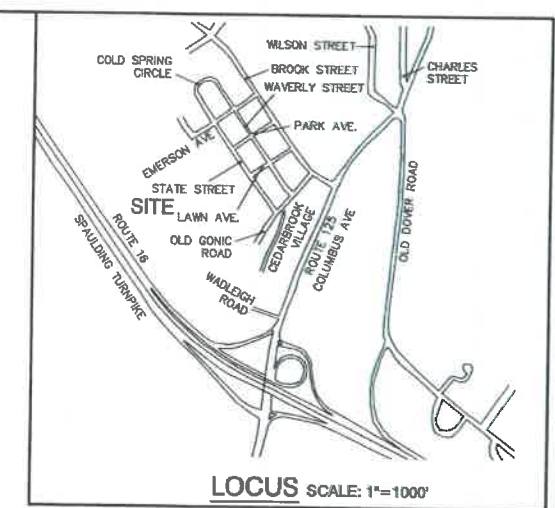


REV.	DATE	REVISION	BY
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

J/B Jones & Beach Engineers, Inc.
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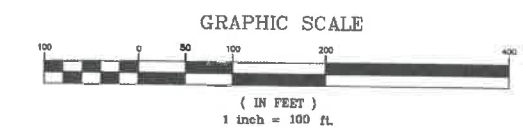
Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.	E1
SHEET 45 OF 46	JBE PROJECT NO. 21090



- PHASING NOTES:**
1. PHASING IS MANDATORY PER NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES AND NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN SHALL BE NOTIFIED OF ANY ALTERATION OF THE PHASING PLAN.
 2. EACH PHASE MUST BE STABILIZED BEFORE PROCEEDING TO SUCCESSIVE PHASES.
 3. AN ENVIRONMENTAL MONITOR SHALL BE EMPLOYED TO EVALUATE THE SITE DURING CONSTRUCTION.
 4. AREAS MUST BE STABILIZED PRIOR TO WINTER CONSTRUCTION SEASON FROM OCTOBER 15 THROUGH MAY 15 PURSUANT TO ENR-90 1505.06 (1 AC OPEN) UNLESS A WINTER CONSTRUCTION/STABILIZATION PLAN IS SUBMITTED AND APPROVED.

PHASING SCHEDULE:	
PHASE 1	9.6 AC
CONSTRUCT:	BAYBERRY LANE ALL BUILDINGS FRONTING ON BAYBERRY LANE ALL PONDS
PHASE 2	3.4 AC
CONSTRUCT:	APPLECREST LANE ALL BUILDINGS FRONTING ON APPLECREST LANE
PHASE 3	4.0 ACRES
CONSTRUCT:	HAWTHORNE CIRCLE AND WINTERBERRY LANE ALL BUILDINGS FRONTING ON HAWTHORNE CIRCLE AND WINTERBERRY LANE



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 181, LOT 1
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03882
TOTAL LOT AREA 1,308,695 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/26/21
Checked: JAC Scale: AS NOTED Project No.: 21090
Drawing Name: 21090-PLAN.dwg
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0	11/23/21	ISSUED FOR REVIEW	LAZ

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Plan Name:	PHASING PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.
PH
SHEET 46 OF 46
JBE PROJECT NO. 21090