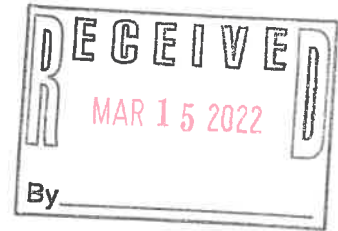


# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

March 9, 2022

Rochester Planning Board  
Attn. Nel Sylvian  
31 Wakefield Street  
Rochester, NH 03867



**RE: Waiver Request**  
**19 Old Gonic Road, Rochester, NH**  
**Tax Map 131, Lot 1**  
**JBE Project No. 21090**

Dear Mr. Sylvian,

Jones & Beach Engineers, Inc. is the Engineer of Record for the Proposed Gonic Road Project currently under review by the City of Rochester Planning Board. We respectfully request a waiver from section 218-10.C(2)(b) and 218-10.C(3)(a) Groundwater Recharge Requirements.

Using multiple stormwater management technologies, we have been able to decrease the post development peak stormwater discharge to be less than the Existing Conditions flow. This is required by both the City and the State Alteration of Terrain bureau, however, we have not been able to also decrease the total volume of stormwater exiting the site. The only way to decrease stormwater volume is through infiltration into existing soil. This site has largely Group C and D soils with very low Ksat values (listed below), which do not infiltrate stormwater well, if at all. Test pits performed on the site have also revealed large areas of ledge and a high water table.

A Site Specific Soil Survey was performed and the soil types found the subject parcel include Hollis-Rock Outcrop-Chatfield Complex (Hydrologic Soil Group D), Eldridge Loamy Sand (HCG C) and Scituate Fine Sand Loam (HSG C) on the majority of the site with areas of Boxford (somewhat poorly drained) (HSG C), occurring along the perimeter and Squamscott loamy sand (HSG C) occurring in mapped wetland areas.

According to "Ksat Values for New Hampshire Soils" sponsored by the Society of Soil Scientists of Northern New England SSSNNE Special Publication No. 5, the saturated hydraulic conductivity (Ksat) values of these soils are as follows:

Hollis Rock Outcrop – 0.6 – 6.0 in/hour in the B horizon; 0.6 - 6.0 in/hour in the C horizon  
Eldridge - 2.0 - 6.0 in /hr in the B horizon; 0 - 0.2 in/hr in the C horizon  
Scituate– 0.6 – 2.0 in/hour in the B horizon; 0.06 – 0.2 in/hour in the C horizon  
Boxford– 0.1 – 0.2 in/hour in the B horizon; 0 - 0.2 in/hour in the C horizon.  
Squamscott – 6.0 - 20.0 in/hour in the B horizon; 0.06 - 0.6 in/hour in the C horizon.

Because of the presence of ledge and a high water table we have decided to utilize Wet Ponds located in three locations around the site for stormwater treatment and storage. Wet ponds are designed to have some water in them at all times so they will not infiltrate the stormwater at all. We are unable to infiltrate stormwater to reduce the total volume leaving the site to the level that exists in existing conditions. This condition is typical of all sites that have poor soils that can't infiltrate.

The site has approximately 2,000 feet of frontage along Axe Handle Brook, which abuts the property. Stormwater from the majority of the project flows to this Brook. There is an existing dam along Axe Handle Brook located southeasterly of the site's brook frontage. The three wet ponds located on the site will outlet above this dam. The dam spillway controls flow in the brook which aids in protecting against adverse impacts to downstream properties, infrastructure, aquatic habitat, or water quality degradation in downstream water bodies.

We will also be requesting a waiver from the same Alternation of Terrain requirement for Groundwater Recharge when we apply for that permit. AoT has historically granted these waivers on sites with similar soil conditions.

Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**

*Joseph Coronati*

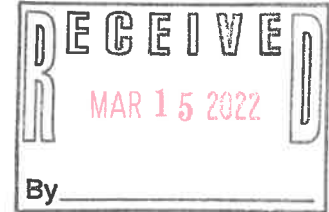
Joseph Coronati  
Vice President

cc: Green & Company (via email)  
John O'Neil (via email)  
Jim Gove, Gove Environmental Services (via email)  
Steve Pernaw, Traffic Consultant (via email)  
John Sykora, Weston & Sampson (via email)  
Chris Berg, Wright-Pierce (via email)

**MEMORANDUM**

Ref: 2112A  
To: Michael Green  
Green & Company  
From: Stephen G. Pernaw, P.E., PTOE  
Subject: Proposed Residential Development  
Rochester, New Hampshire  
Date: March 14, 2022

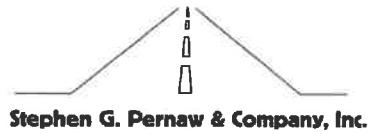
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At the Technical Review Group meeting conducted on Thursday, February 4, 2022, city staff requested pedestrian count data for the Old Gonic Road and Emerson Avenue intersections on Brock Street. Our video files revealed that the hourly number of pedestrians ranged from 0 to 6 persons, depending upon time of day and the location. We also monitored bicyclists and noted that the hourly number of bicycles totaled 0 or 1, again depending upon time of day and location. The attached diagrams depict the various travel patterns and frequency of these events at these intersections.

**Attachments**

CC: Joseph Coronati, Jones & Beach Engineers, Inc.

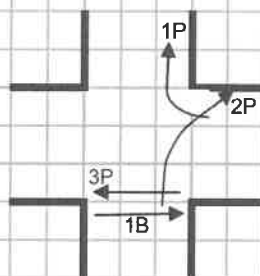


## CALCULATION SHEET

Project:	<u>Res - Rochester</u>	Job Number:	<u>2112A</u>
Calculated By:	<u>CA</u>	Date:	<u>3/10/2022</u>
Checked By:	<u>SP</u>	Date:	<u>3/10/2022</u>
Sheet No:	<u>1</u>	Of:	<u>1</u>
Subject:	<u>Pedestrian Count - Brock St / Old Gonic Road</u>		

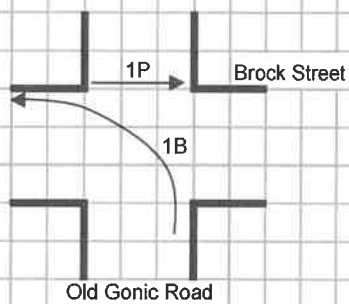
### Brock Street / Old Gonic Road Pedestrian & Bicycle Count

June 30, 2021



**7-8 AM**

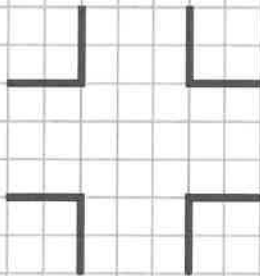
6 Peds, 1 Bike



**8-9 AM**

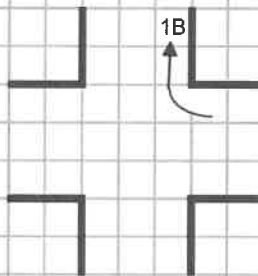
1 Ped, 1 Bike

1P = number of pedestrians  
1B = number of bicyclists



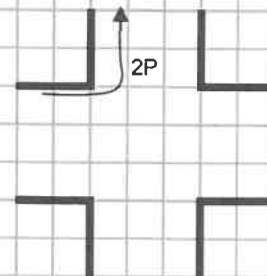
**3-4 PM**

0 Peds, 0 Bikes



**4-5 PM**

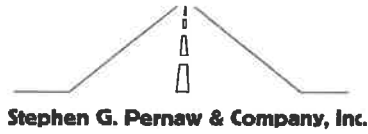
0 Peds, 1 Bike



**5-6 PM**

2 Peds, 0 Bikes



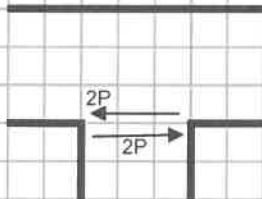


## CALCULATION SHEET

Project:	Res - Rochester	Job Number:	2112A
Calculated By:	CA	Date:	3/10/2022
Checked By:	SP	Date:	3/10/2022
Sheet No:	1	Of:	1
Subject:	Pedestrian Count - Brock St / Emerson Avenue		

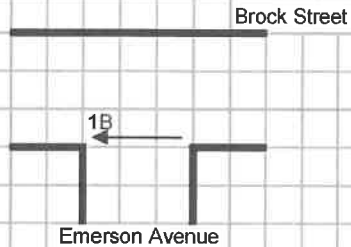
### Brock Street / Emerson Avenue Pedestrian & Bicycle Count

June 30, 2021



**7-8 AM**

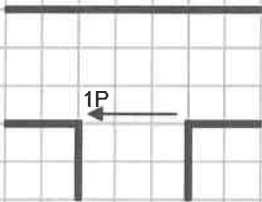
4 Peds, 0 Bikes



**8-9 AM**

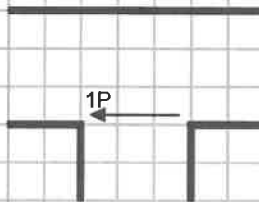
0 Peds, 1 Bike

1P = number of pedestrians  
1B = number of bicyclists



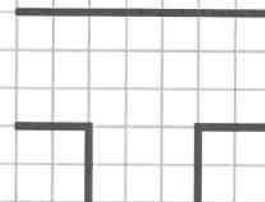
**3-4 PM**

1 Ped, 0 Bikes



**4-5 PM**

1 Ped, 0 Bikes



**5-6 PM**

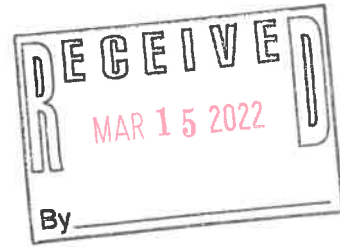
0 Peds, 0 Bikes

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

March 9, 2022

Rochester Planning Board  
Attn. Nel Sylvian  
31 Wakefield Street  
Rochester, NH 03867



**RE: Response Letter**  
**19 Old Gonic Road, Rochester, NH**  
**Tax Map 131, Lot 1**  
**JBE Project No. 21090**

Dear Mr. Sylvian,

We are in receipt of comments from Ryan O'Connor, Conservation Commission who had no additional comments. We are also in receipt of comments from Theresa Hervey, Town Assessing Department, Gary Boudreau, Rochester Police Department and from Dana Webber dated March 1, 2022. Review comments are listed below with our responses in bold.

## ASSESSING DEPARTMENT COMMENTS:

1. At the first TRG on 12/2/2021 I had said this parcel had 30.07 acres. I want to clarify that we have this parcel at 35.00 acres in our database and on the tax maps.

**RESPONSE: The actual survey is coming up at approximately 30.07 acres.**

2. This parcel is all in Current Use except for 1 acre. When the lot is cut and stumped, a Land Use Change Tax bill will be issued to the owner. If there is 10 acres or more of Current Use Land that is undisturbed, we will need a new Current Use Map before Planning approves the plan! I will email Joseph Coronati a copy of the Current Use Map we have on file, so he can see where the land is located that was not in Current Use. I noticed on the Preliminary Site Plan Application (4/27/21) that the acreage of the lot is stated 31.53 acres, but the most recent plan that was submitted (2/15/22) says 30.07 acres. Please confirm the acreage of the lot.

**RESPONSE: As we move closer to final plans, we see if we still have 10+ acres that we can leave in current use. The design has been changing over the last couple of months based on comments**

## POLICE DEPARTMENT COMMENTS:

1. *Move one-way signs closer to State St., waiting on traffic review*

**RESPONSE: The one way signs are located at State Street and Old Gonic Road intersection.**

**DPW COMMENTS:**

1. *Traffic Review by 3rd party to be complete by 3/11*

**RESPONSE:** No comment

2. *Provide pedestrian safety analysis. Old Gonic may be a walking route and does not have sidewalks currently.*

**RESPONSE:** The pedestrian safety analysis will be provided by Steve Pernaw.

3. *Extend pavement at the end of Old Gonic to provide a turnaround area within ROW for plows.*

**RESPONSE:** The pavement has been extended at the end of Old Gonic Road.

4. *Relocate existing hydrant at end of Old Gonic to location close to intersection with State St. The water main beyond the last service at the corner of State St can be abandoned after existing house is demolished.*

**RESPONSE:** The existing hydrant has been relocated and the water main beyond the last service at the corner of State Street is noted to be abandoned.

5. *Provide details for sidewalk, concrete tip downs and cast-iron detector plates. DPW will provide examples if needed.*

**RESPONSE:** The above details have been provided on Sheet D1.

6. *Provide striping plan for the project and offsite improvements including intersection of Brock and Emerson for bypass shoulder proposed.*

**RESPONSE:** Road striping for the Site is called out on the Site Plan Sheets as Single Solid White Lines (SSWL). On the Offsite Plans, a note has been added to the Offsite Site Plan 3 to indicate that the existing lane striping is to remain on Brock Street. There is no other road striping proposed.

7. *City standard crosswalk striping is continental style.*

**RESPONSE:** The crosswalk striping has been revised to be Continental style crosswalk striping. A detail has been added to Sheet D1.

8. *3rd party stormwater review of responses is ongoing.*

**RESPONSE:** No comment

9. *Resubmit waiver request for stormwater with more explanation of technical need and justification as well as analysis of impact to downstream water bodies and properties.*

**RESPONSE:** The stormwater waiver is included with this submission which adds more explanation of technical needs and justification as well as analysis of impact to downstream water bodies and properties

10. *To promote one way exit only at the Old Gonic Rd access, narrow the exit drive to single lane.*

**RESPONSE:** The exit drive is now reduced down to a single lane.

11. *Sewer capacity impacts are being reviewed by City staff including 3rd party capacity impact memo*

**RESPONSE:** No response.

Included with this response letter are the following:

1. Three (3) Full Size Plan Sets.
2. Sixteen (16) 11x17 Plan Sets (Folded).
3. 3 Traffic Impact Analysis
4. Revised Architectural Plans.
5. Stormwater Waiver

Thank you very much for your time.

Very truly yours,

**JONES & BEACH ENGINEERS, INC.**

*Joseph Coronati*

Joseph Coronati  
Vice President

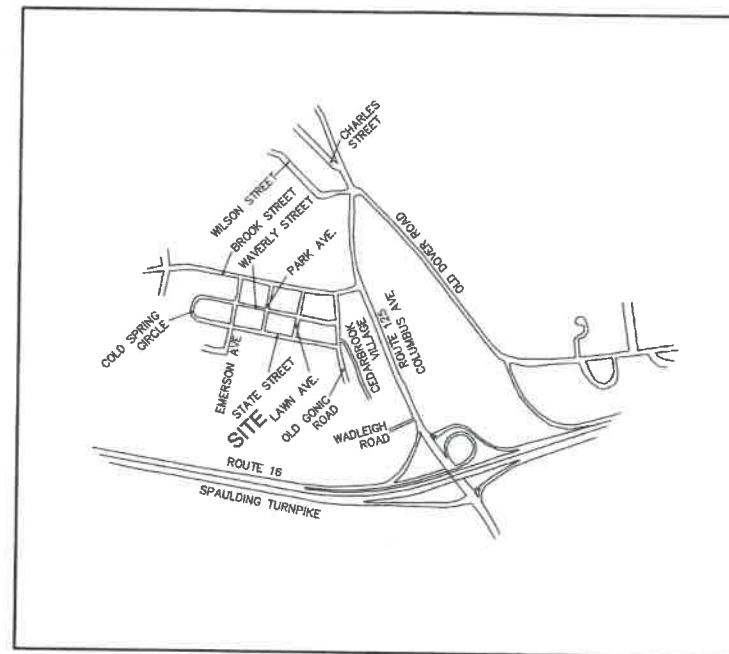
cc: Green & Company (via email)  
John O'Neil (via email)  
Jim Gove, Gove Environmental Services (via email)  
Steve Pernaw, Traffic Consultant (via email)  
John Sykora, Weston & Sampson (via email)  
Chris Berg, Wright-Pierce (via email)

# GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	ORGANIC FILTER BERM
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/ WINGWALLS
---	---	CULVERT W/ FLARED END SECTION
---	---	CULVERT W/ STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

# PROPOSED SITE PLAN "BAYBERRY COMMONS"

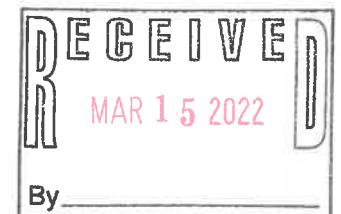
TAX MAP 131, LOT 10  
19 OLD GONIC ROAD, ROCHESTER, NH



LOCUS MAP  
SCALE 1" = 2000'

## SHEET INDEX

CS	COVER SHEET
OVEX	EXISTING CONDITINS OVERVIEW PLAN
C1-C4	EXISTING CONDITIONS PLAN
DM1	DEMOLITION PLAN
OVR	OVERVIEW SITE PLAN
C5-C8	SITE PLANS
OVRG	OVERVIEW GRADING PLAN
C9-C11	GRADING AND DRAINAGE PLAN
OVRU	OVERVIEW UTILITY PLAN
U1-U2	UTILITY PLAN
L1-L2	LANDSCAPE PLAN
L3-L4	LIGHTING PLAN
P1-P6	ROAD PLAN AND PROFILE
P7-P10	SEWER PROFILE
OFF-1-5	OFFSITE IMPROVEMENT PLANS
D1-D4	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
PH	PHASING PLAN



**CIVIL ENGINEER / SURVEYOR**  
JONES & BEACH ENGINEERS, INC.  
85 PORTSMOUTH AVENUE  
PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
CONTACT: JOSEPH CORONATI  
EMAIL: JCORONATI@JONESANDBEACH.COM

**TRAFFIC ENGINEER**  
STEPHEN G. PERNAW & COMPANY, INC.  
P.O. BOX 1821  
CONCORD, NH 03302  
(603) 731-8500  
CONTACT: STEPHEN G. PERNAW  
EMAIL: SGP@PERNAW.COM

**WETLAND CONSULTANT**  
GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR., BUILDING 2, UNIT H  
EXETER, NH 03833-7526  
(603) 778-0644  
CONTACT: JAMES GOVE  
EMAIL: JGOVE@GESINC.BIZ

**LANDSCAPE DESIGNER**  
LM LAND DESIGN, LLC  
11 SOUTH ROAD  
BRENTWOOD, NH 03833  
(603) 770-7728  
CONTACT: LISE McNAUGHTON  
LMLANDDESIGN@GMAIL.COM

**WATER AND SEWER**  
ROCHESTER DEPARTMENT OF PUBLIC WORKS  
45 OLD DOVER ROAD  
ROCHESTER, NH 03867  
(603) 332-4096  
CONTACT: MICHAEL BEZANSON, P.E.

**ELECTRIC**  
EVERSOURCE ENERGY  
74 OLD DOVER ROAD  
ROCHESTER, NH 03867  
(603) 555-5334  
CONTACT: MARK BOUCHER

**TELEPHONE**  
CONSOLIDATED COMMUNICATIONS  
1575 GREENLAND ROAD  
GREENLAND, NH 03840  
(603) 427-5525  
CONTACT: JOE CONSIDINE

**CABLE TV**  
COMCAST COMMUNICATION CORPORATION  
334-B CALEF HIGHWAY  
EPPING, NH 03042-2325  
(603) 679-5695

**NATURAL GAS**  
UNITIL SERVICE CORP.  
325 WEST ROAD  
PORTSMOUTH, NH 03801  
(603) 294-5261  
MACLEAND@UNITIL.COM

**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

**TOTAL LOT AREA**  
1,308,695 SQ. FT. ±  
30.07 ACRES ±

APPROVED - ROCHESTER, NH  
PLANNING BOARD

DATE:

Design: JAC Draft: LAZ Date: 04/28/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

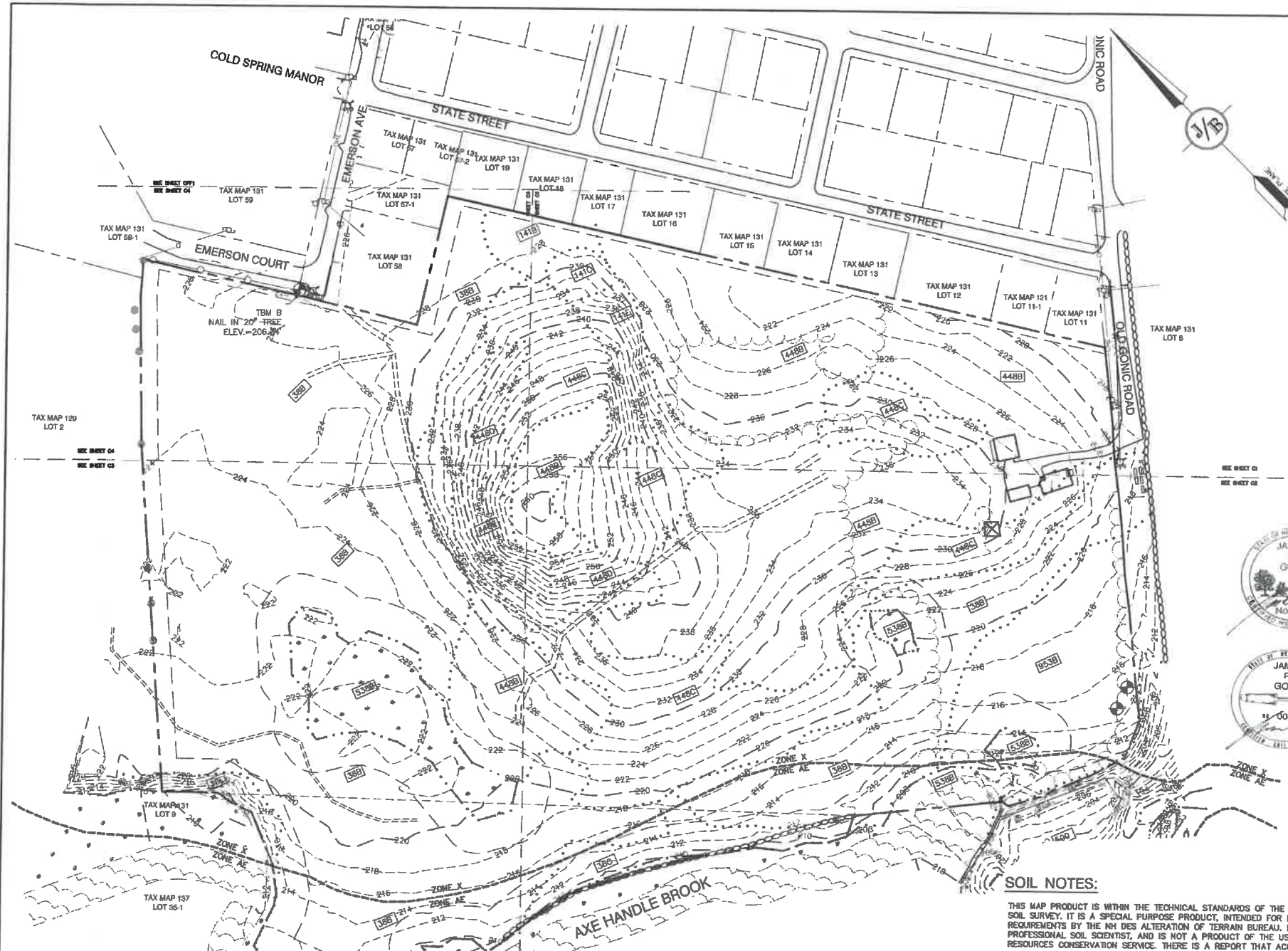
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885  
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **COVER SHEET**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**CS**  
SHEET 1 OF 46  
JBE PROJECT NO. 21090

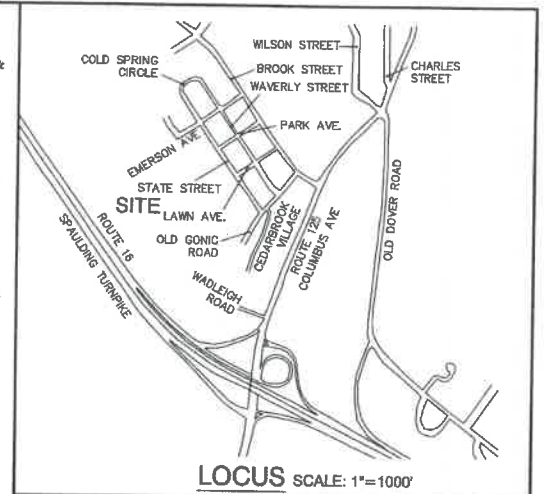
PROJECT NAME AND LOCATION  
JBE # 21090  
REVISION 0, 11/23/21





# EXISTING CONDITIONS NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-010-SAFE (1-888-344-7233).
- VERTICAL DATUM: NAVD 88. HORIZONTAL DATUM: STATE PLANE COORDINATES.
- THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN AN AREA HAVING A ZONE AE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3307C0210, WITH EFFECTIVE DATE OF MAY 17, 2005 FOR COMMUNITY PANEL NO. 211 OF 405, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES GOVE DURING SPRING, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
  - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.



## ABUTTERS:

129/02 ROMAN CATHOLIC BISHOP FINANCE AND REAL ESTATE OFFICE 153 ASH ST MANCHESTER, NH 03104	131/08-2 KATHRYN SOUSA 18 CEDARBROOK AVE ROCHESTER, NH 03867 2365/616 (3/30/2004)	131/08-3 ANNA & ROBERT 1C CEDARBROOK AVE ROCHESTER, NH 03867 4546/289 (1/31/18)	131/08-4 AMY SCHAEFFER 10 CEDARBROOK AVE ROCHESTER, NH 03867 4387/484 (5/25/16)	131/08-5 NATHANIEL PRIEBE 1E CEDARBROOK AVE ROCHESTER, NH 03867 4655/765 (5/19/19)	131/08-6 DAVID PETTIS 27 CEDARBROOK AVE ROCHESTER, NH 03867 4656/411 (5/30/19)	131/08-7 AMANDA LAMBERT 10 CEDARBROOK AVE ROCHESTER, NH 03867 3631/316 (3/27/06)	131/08-8 CAROLINE LEWIS 1H CEDARBROOK AVE ROCHESTER, NH 03867 4597/717 (8/30/18)	131/08-9 BRIAN HEBERT 28 CEDARBROOK AVE ROCHESTER, NH 03867 3587/428 (8/23/07)	131/08-10 BRIAN HEBERT 28 CEDARBROOK AVE ROCHESTER, NH 03867 3587/428 (8/23/07)	131/08-11 ELIOT TANDHART 20 CEDARBROOK AVE ROCHESTER, NH 03867 429/512 (5/7/15)	131/08-12 GEORGE GATCOMB 20 CEDARBROOK AVE ROCHESTER, NH 03867 3328/678 (1/28/06)	131/08-13 RAYMOND KING 25 CEDARBROOK AVE ROCHESTER, NH 03867 3474/0028 (12/18/06)	131/08-14 SANDRA FOURNIER 80 CEDARBROOK AVE ROCHESTER, NH 03867 2942/181 (2/11/04)	131/08-15 SEAN JACKSON 34 CEDARBROOK AVE ROCHESTER, NH 03867 4581/644 (6/28/18)	131/08-16 ELIZABETH HANSON 38 CEDARBROOK AVE ROCHESTER, NH 03867 4457/435 (2/9/17)	131/08-17 ALISA MANSON 35 CEDARBROOK AVE ROCHESTER, NH 03867 4823/411 (11/27/18)	131/08-18 EVANS FAMILY TRUST 30 CEDARBROOK AVE ROCHESTER, NH 03867 4757/588 (4/9/20)	131/08-19 JESSICA STENERI 3E CEDARBROOK AVE ROCHESTER, NH 03867 4487/437 (6/22/17)	131/08-20 SEAN CONNORS 3F CEDARBROOK AVE ROCHESTER, NH 03867 4598/273 (8/27/18)	131/08-21 BRIAN MCQUADE 27 CEDARBROOK AVE ROCHESTER, NH 03867 3811/711 (1/13/11)	131/08-22 BRIAN MCQUADE 27 CEDARBROOK AVE ROCHESTER, NH 03867 3811/711 (1/13/11)	131/08-23 KERRY DESAUTEL 4C CEDARBROOK AVE ROCHESTER, NH 03867 3935/932 (6/27/11)	131/08-24 PATRICK RILEY 4D CEDARBROOK AVE ROCHESTER, NH 03867 2400/878 (10/30/01)	131/08-25 PAUL PRATT 4E CEDARBROOK AVE ROCHESTER, NH 03867 2916/48 (12/11/03)	131/08-26 TIMUR GAMROV 4F CEDARBROOK AVE ROCHESTER, NH 03867 4286/803 (6/28/16)	131/08-27 HAYDEN GRACE KRISTY 5A CEDARBROOK AVE ROCHESTER, NH 03867 4664/777 (6/19/16)	131/08-28 LINDA LACHANCE 5B CEDARBROOK AVE ROCHESTER, NH 03867 3477/108 (12/21/06)	131/08-29 MICHAEL WALSH 5C CEDARBROOK AVE ROCHESTER, NH 03867 4705/193 (10/30/19)	131/08-30 SANDRA FOURNIER 80 CEDARBROOK AVE ROCHESTER, NH 03867 3878/380 (10/27/10)	131/08-31 OLD OGD PROPERTIES L.L.C. 84 MORRISON LANE ROCHESTER, NH 03867 4027/158 (5/29/12)	131/08-32 ELIZABETH RANKS 235 LONG POND ROAD DANVILLE NH 03819 3719/789 (3/10/09)	131/08-33 LOUISA WELCH 6A CEDARBROOK AVE ROCHESTER, NH 03867 2110/732 (5/26/1998)	131/08-34 JOSEPH ZUROMSKIS 88 CEDARBROOK AVE ROCHESTER, NH 03867 2110/732 (5/26/1998)	131/08-35 ONGOWARISTO MULJAWATI 8C CEDARBROOK AVE ROCHESTER, NH 03867 4312/136 (7/24/15)	131/08-36 JOSHUA SWONGER 8D CEDARBROOK AVE ROCHESTER, NH 03867 4956/1035 (9/21/21)	131/08-37 LINDSEY WICKLESS 8E CEDARBROOK AVE ROCHESTER, NH 03867 4814/828 (10/1/20)	131/08-38 LOUIS BOUCHER 8F CEDARBROOK AVE ROCHESTER, NH 03867 1977/283 (1/11/1988)	131/08-39 ERIN FERLAND 7G CEDARBROOK AVE ROCHESTER, NH 03867 4883/870 (10/6/21)	131/08-40 ROBIN GARY 7H CEDARBROOK AVE ROCHESTER, NH 03867 4541/860 (1/4/18)	131/08-41 KAREN BAILEY 7I CEDARBROOK AVE ROCHESTER, NH 03867 4629/242 (1/10/19)	131/08-42 IOLA FOREMAN 7J CEDARBROOK AVE ROCHESTER, NH 03867 4598/155 (8/30/16)	131/08-43 MELANIE HOLT 7K CEDARBROOK AVE ROCHESTER, NH 03867 4798/861 (6/17/20)	131/08-44 ALEXANDRA WICKMAN 7L CEDARBROOK AVE ROCHESTER, NH 03867 4755/958 (5/28/20)	131/08-45 JOHN WARREN 7M CEDARBROOK AVE ROCHESTER, NH 03867 3878/380 (10/27/10)	131/08-46 MICHAEL CROVETTI 8A CEDARBROOK AVE ROCHESTER, NH 03867 4755/120 (12/2/19)	131/08-47 PHILIP LANG 8B CEDARBROOK AVE ROCHESTER, NH 03867 4581/877 (6/28/18)	131/08-48 ROBIN LORD 8C CEDARBROOK AVE ROCHESTER, NH 03867 4823/182 (6/22/21)	131/08-49 TARA CANFIELD 11A CEDARBROOK AVE ROCHESTER, NH 03867 2443/74 (1/10/02)	131/08-50 MOORE FAMILY REV. TRUST 21 RIDGEWOOD ROAD ELIOT, MAINE 03903	131/08-51 NARRISA CORBIN 8E CEDARBROOK AVE ROCHESTER, NH 03867 4645/275 (4/3/19)	131/08-52 JUSTIN MANTEUFFEL 8F CEDARBROOK AVE ROCHESTER, NH 03867 3522/214 (4/2/07)	131/08-53 JEFFREY BOOMER 9A CEDARBROOK AVE ROCHESTER, NH 03867 4578/728 (6/17/18)	131/08-54 KENNETH MAUSER 9B CEDARBROOK AVE ROCHESTER, NH 03867 3935/182 (6/28/11)	131/08-55 HOMER WOODBURY 9C CEDARBROOK AVE ROCHESTER, NH 03867 3185/820 (3/31/05)	131/08-56 JAMES SAULNIER 9D CEDARBROOK AVE ROCHESTER, NH 03867 4579/933 (6/28/16)	131/08-57 ALISON JESSEMAN 9E CEDARBROOK AVE ROCHESTER, NH 03867 4383/888 (3/6/16)	131/08-58 CHEN YIRU 9F CEDARBROOK AVE ROCHESTER, NH 03867 4680/875 (8/14/19)	131/08-59 DANIEL DESRANPRE 10A CEDARBROOK AVE ROCHESTER, NH 03867 4658/850 (5/29/19)	131/08-60 DENISE SELFE 10B CEDARBROOK AVE ROCHESTER, NH 03867 2215/280 (4/16/2000)	131/08-61 RICHARD DUSETT 33 ALEXANDRA LANE ROCHESTER, NH 03867 1304/258 (4/15/1987)	131/08-62 JOHN COLECHIA 10 F CEDARBROOK AVE ROCHESTER, NH 03867 4782/125 (5/7/20)	131/08-63 TARA CANFIELD 11A CEDARBROOK AVE ROCHESTER, NH 03867 2443/74 (1/10/02)	131/08-64 MOORE FAMILY REV. TRUST 21 RIDGEWOOD ROAD ELIOT, MAINE 03903	131/08-65 LYNNE PARADIS 11C CEDARBROOK AVE ROCHESTER, NH 03867 3120/280 (12/21/04)	131/08-66 GRANT REALTY TRUST ATTN: DAVID PAOLINI 242 CENTRAL AVE DOVER NH 03820 4178/531 (11/5/13)	131/08-67 LISA KIMBALL 11E CEDARBROOK AVE ROCHESTER, NH 03867 4589/835 (6/2/18)	131/08-68 CHARLENE WHITEHOUSE 11F CEDARBROOK AVE ROCHESTER, NH 03867 2417/55 (11/25/01)	131/08-69 CHRISTINE SENECHAL 12A CEDARBROOK AVE ROCHESTER, NH 03867 4428/130 (10/25/16)	131/08-70 STEPHEN SMALL 12 B CEDARBROOK AVE ROCHESTER, NH 03867 2543/142 (7/1/02)	131/08-71 SARAH BENTON 12C CEDARBROOK AVE ROCHESTER, NH 03867 4573/510 (6/3/16)	131/08-72 ROBERT THOMAS 12D CEDARBROOK AVE ROCHESTER, NH 03867 4680/875 (8/14/19)	131/08-73 SUSAN WELSH 12E CEDARBROOK AVE ROCHESTER, NH 03867 3032/39 (7/2/04)	131/08-74 MELINDA RIGGER REV. TRUST 12F CEDARBROOK AVE ROCHESTER, NH 03867 4304/183 (8/25/15)	131/08-75 CITY OF ROCHESTER 31 WAKEFIELD ST SUITE 302 ROCHESTER, NH 03867 3371/144 (4/10/06)	131/08-76 DENISE SELFE 100 CEDARBROOK AVE ROCHESTER, NH 03867 2215/280 (4/16/2000)	131/08-77 RICHARD DUSETT 33 ALEXANDRA LANE ROCHESTER, NH 03867 1304/258 (4/15/1987)	131/08-78 JOHN COLECHIA 10 F CEDARBROOK AVE ROCHESTER, NH 03867 4782/125 (5/7/20)	131/08-79 TARA CANFIELD 11A CEDARBROOK AVE ROCHESTER, NH 03867 2443/74 (1/10/02)	131/08-80 MOORE FAMILY REV. TRUST 21 RIDGEWOOD ROAD ELIOT, MAINE 03903
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## SOIL NOTES:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOIL LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX. HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2008.

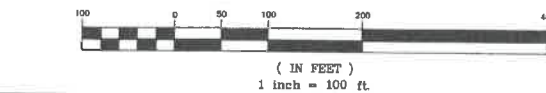
SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
953	BLONDIE (SOMEWHAT POORLY DRAINED)	453	C
38	BLONDIE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATHFIELD	228	D
448	SITUATE FINE SANDY LOAM	323	C
5	DOUDORHTENTS, LOAMY	782	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

## SLOPE PHASE:

0-8% B 8-15% C 15-25% D

25%+ E

## GRAPHIC SCALE



## PLAN REFERENCES:

- "CEDARBROOK VILLAGE CONDOMINIUM DEVELOPMENT BOUNDARY SURVEY FOR ROUNHOUSE REALTY TRUST ROCHESTER, NH"; PREPARED BY BERRY CONST. CO., INC.; DATED APRIL 23, 1989; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P23-059.
- "PLAN OF LAND PARCEL NO. 5 TAX ASSESSOR'S MAP 59 AND PARCEL NO. 2 TAX ASSESSOR'S MAP NO. 8 NEW HAMPSHIRE ROUTE 125 PREPARED FOR JEN-SCOTT REALTY, INC.; PREPARED BY CIVILWORKS ENGINEERS AND SURVEYORS; DATED NOVEMBER 8, 1989 RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P37A-028.
- "PROPOSED SUBDIVISION AND LOT LINE REVISION FOR ROCHESTER HOUSING AUTHORITY COLD SPRING MANOR BROOK STREET ROCHESTER, NH"; PREPARED BY BERRY SURVEYING & ENGINEERING; DATED FEBRUARY 13, 2001; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P61-058.
- "PROPOSED SUBDIVISION LAND OF THOMAS & JODI REMINGTON 15 OLD GONIC ROAD ROCHESTER, NH"; PREPARED BY BERRY SURVEYING & ENGINEERING; DATED AUGUST 17, 2005; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P61-0038.
- "SUBDIVISION PLAN TAX MAP 131, LOT 26 WAVERLY ST./ OLD GONIC RD. ROCHESTER NH FOR BAYONNE CONSTRUCTION COMPANY, INC.; PREPARED BY NORWAY PLAINS ASSOCIATES, INC.; DATED JULY 25, 2006; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P86-0100.
- "SUBDIVISION PLAN TAX MAP 131, LOT 57 STATE STREET & EMERSON COURT ROCHESTER NH FOR RUNNING WITH HAMMERS, LLC; PREPARED BY NORWAY PLAINS ASSOCIATES, INC.; DATED OCTOBER 17, 2007; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN P82-014.
- "ROCHESTER HEIGHTS ROCHESTER, NH A.H. CHAPMAN LAND CO"; PREPARED BY E.H. SHEPHERD; DATED JULY 1920; RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN #19 POCKET #10 FOLDER #3.

## CERTIFICATION:

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 3/15/2022

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**

Project: **BAYBERRY COMMONS**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**

19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

PROJECT PARCEL  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

APPLICANT  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

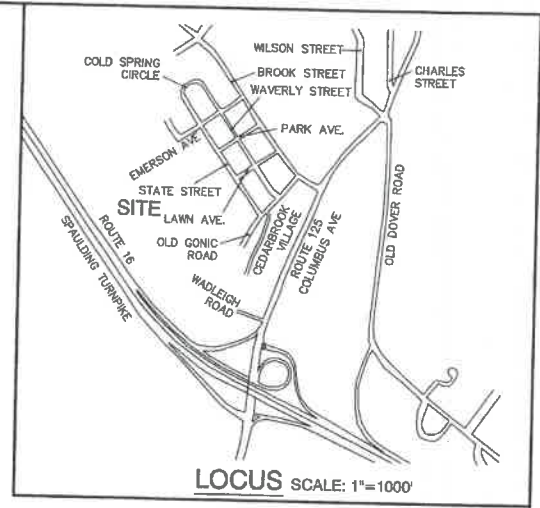
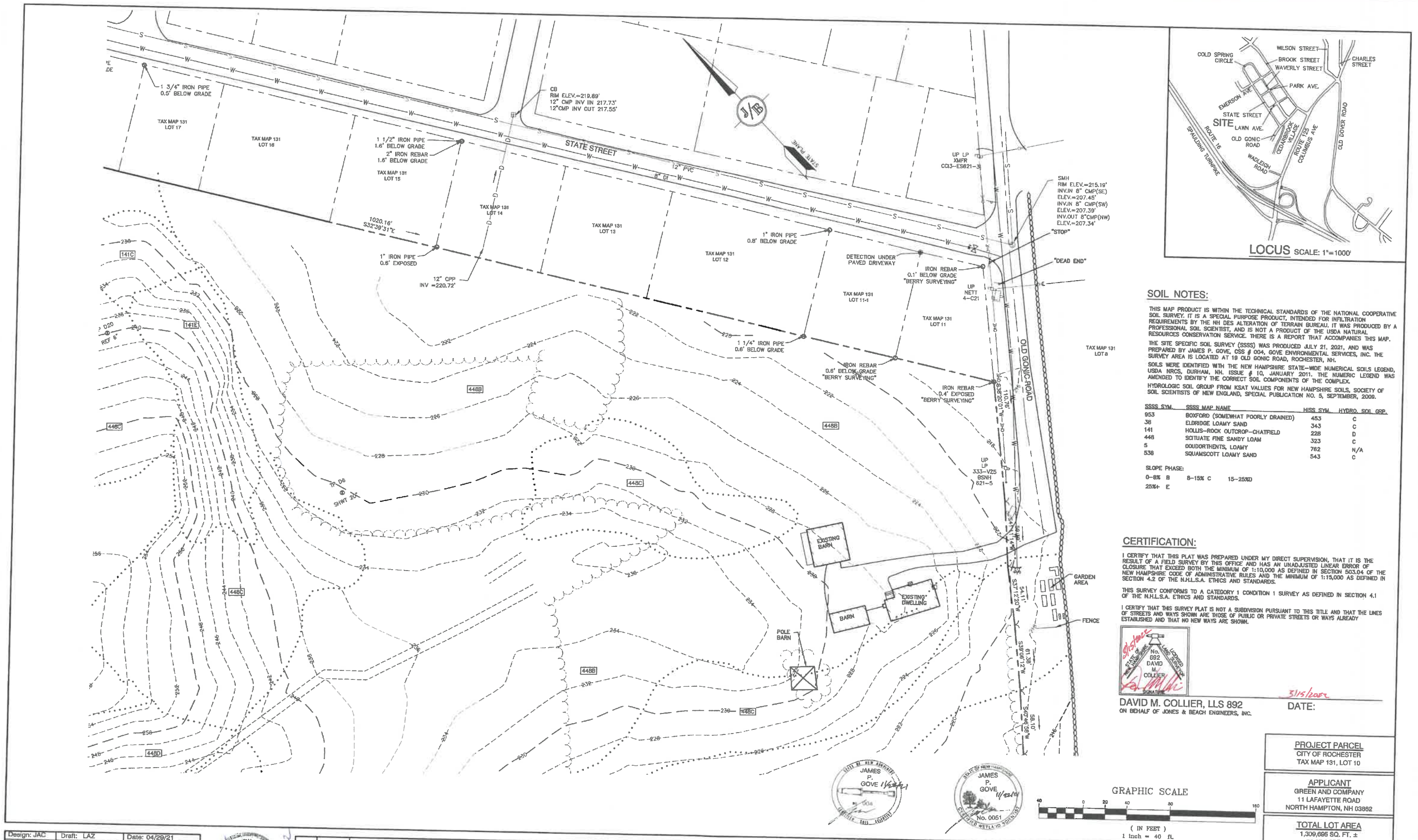
TOTAL LOT AREA  
1,309.895 SQ. FT. ±  
30.07 ACRES ±

DRAWING No.

**OVR**

SHEET 2 OF 46  
JBE PROJECT NO. 21090





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SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
953	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATHFIELD	228	D
448	SITUATE FINE SANDY LOAM	323	C
5	DOUDORTHENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

**SLOPE PHASE:**

0-8% B 8-15% C 15-25% D  
25%+ E

**CERTIFICATION:**

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

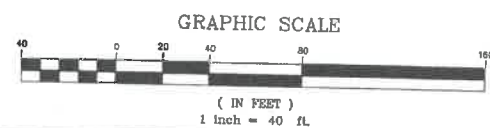
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DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 3/15/2022



Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg

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REV.	DATE	REVISION	BY
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0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

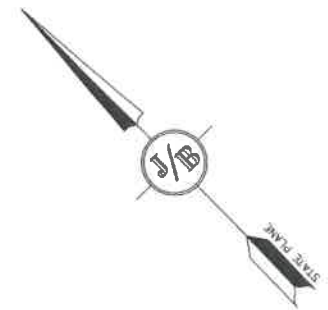
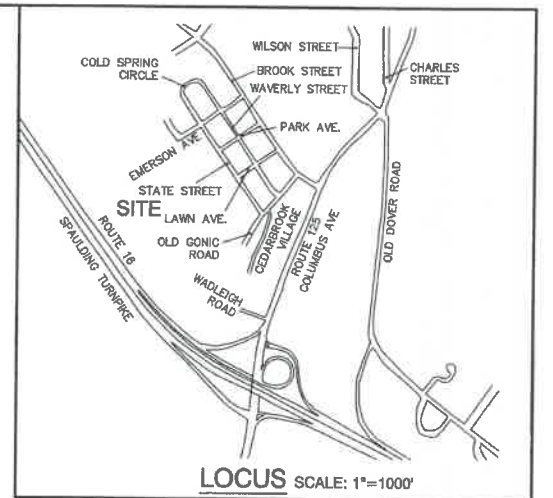
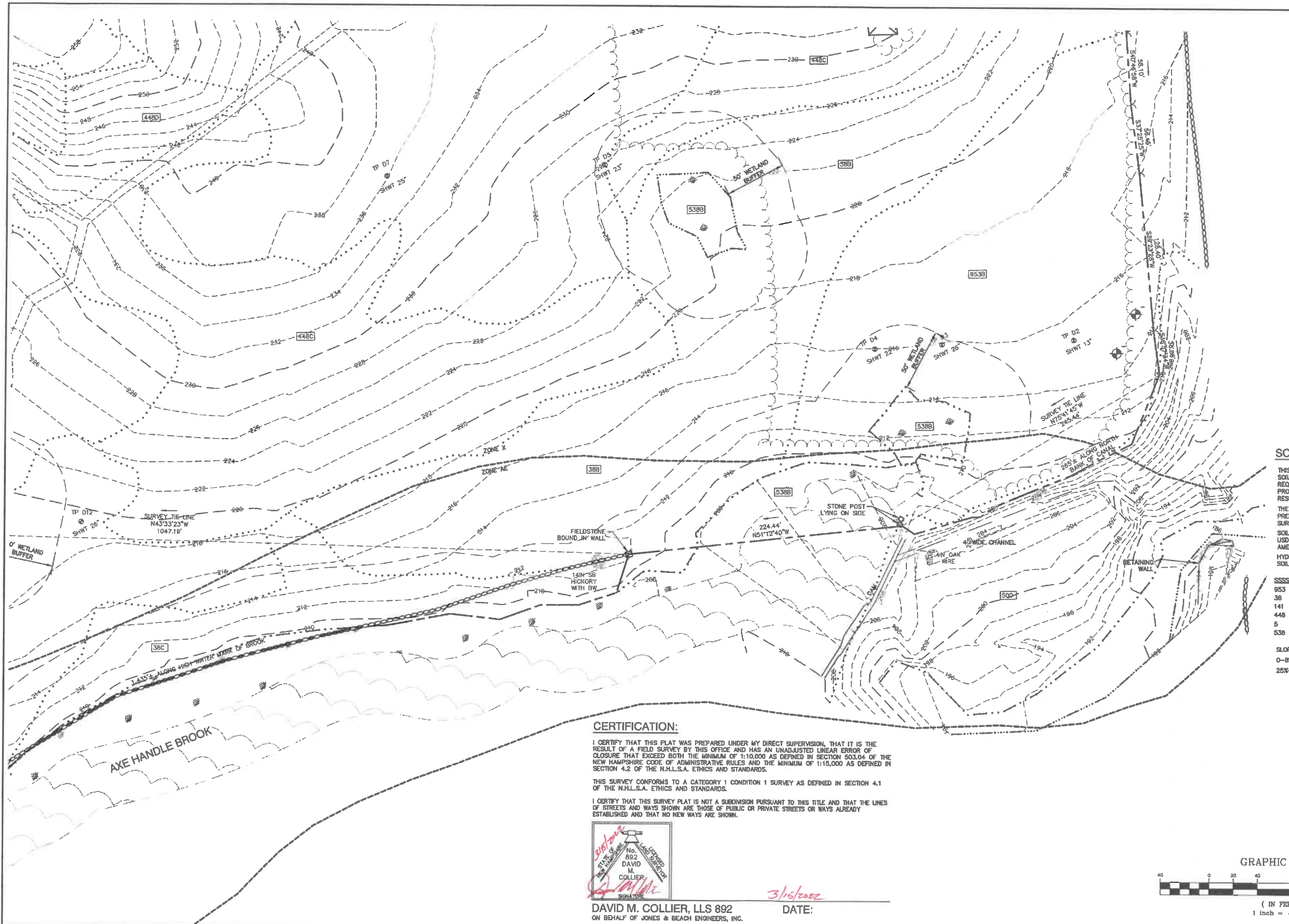
**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03882

**TOTAL LOT AREA**  
1,309,665 SQ. FT. ±  
30.07 ACRES ±

**DRAWING NO.**  
**C1**  
SHEET 3 OF 46  
JBE PROJECT NO. 21090





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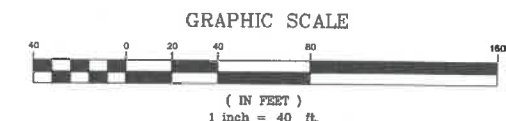
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 3/15/2022



PROJECT PARCEL  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

APPLICANT  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

TOTAL LOT AREA  
1,309,665 SQ. FT. ±  
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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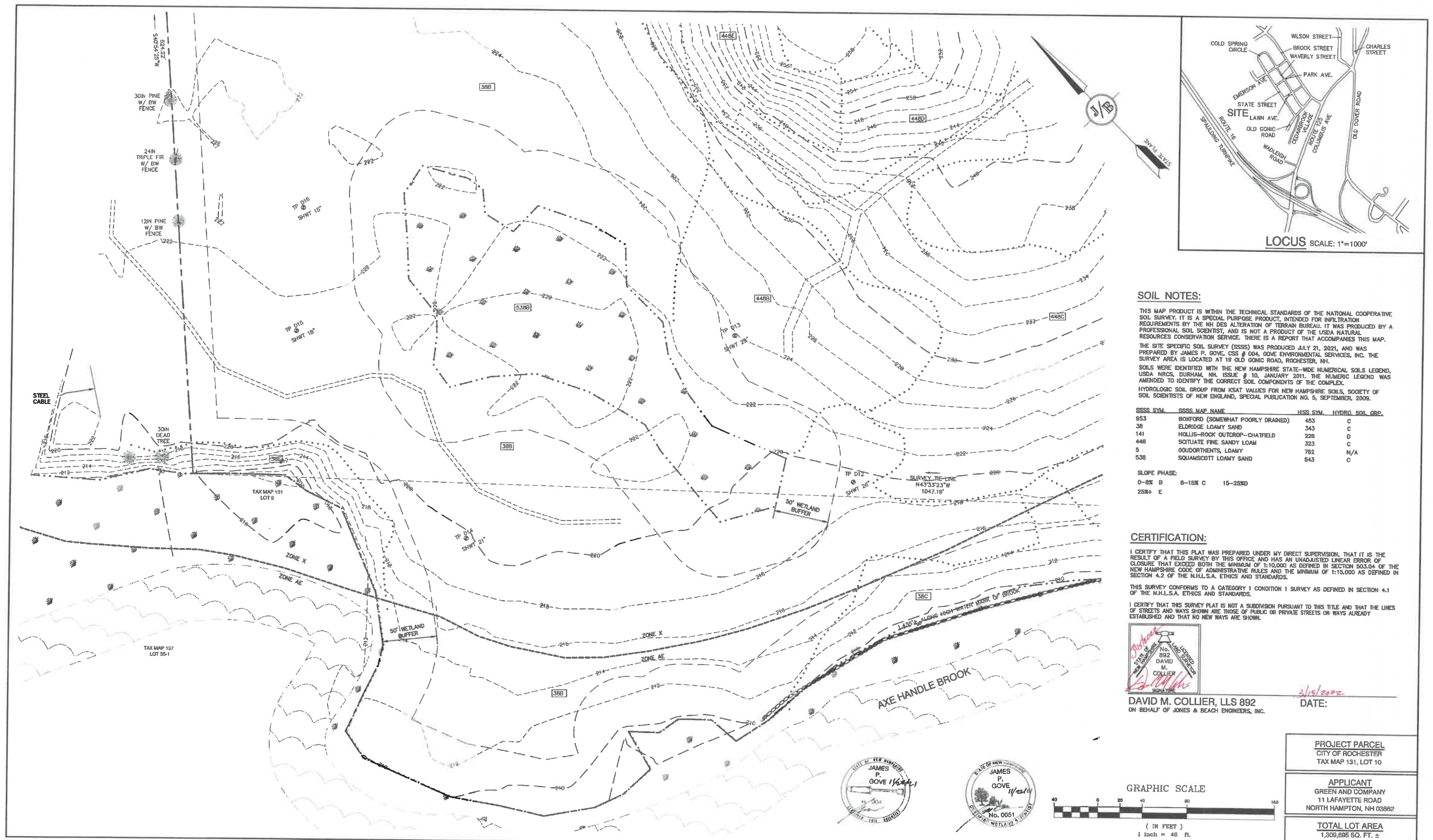
REV.	DATE	REVISION	BY
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Civil Engineering Services  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**  
Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**C2**  
SHEET 4 OF 46  
JBE PROJECT NO. 21090





Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No. 21090
Drawing Name: 21090-PLAN.dwg		
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1	1/18/22	REVISED PER CITY COMMENTS		LAZ
0	11/23/21	ISSUED FOR REVIEW		LAZ
REV.	DATE	REVISION		BY

**J/B** Designed and Produced In NH  
**Jones & Beach Engineers, Inc.**

---

85 Portsmouth Ave. *Civil Engineering Services* 603-772-4746  
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Stratham, NH 03885 FAX: 603-772-0227  
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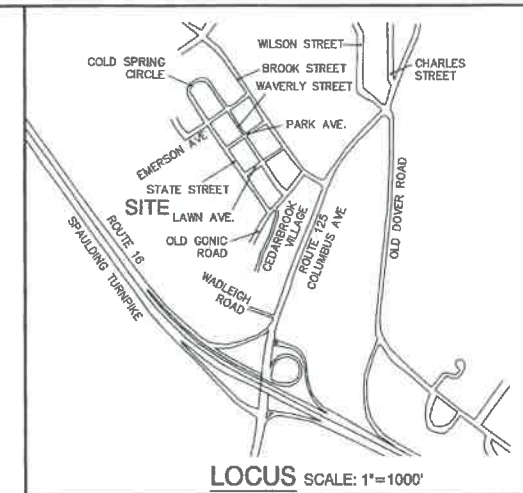
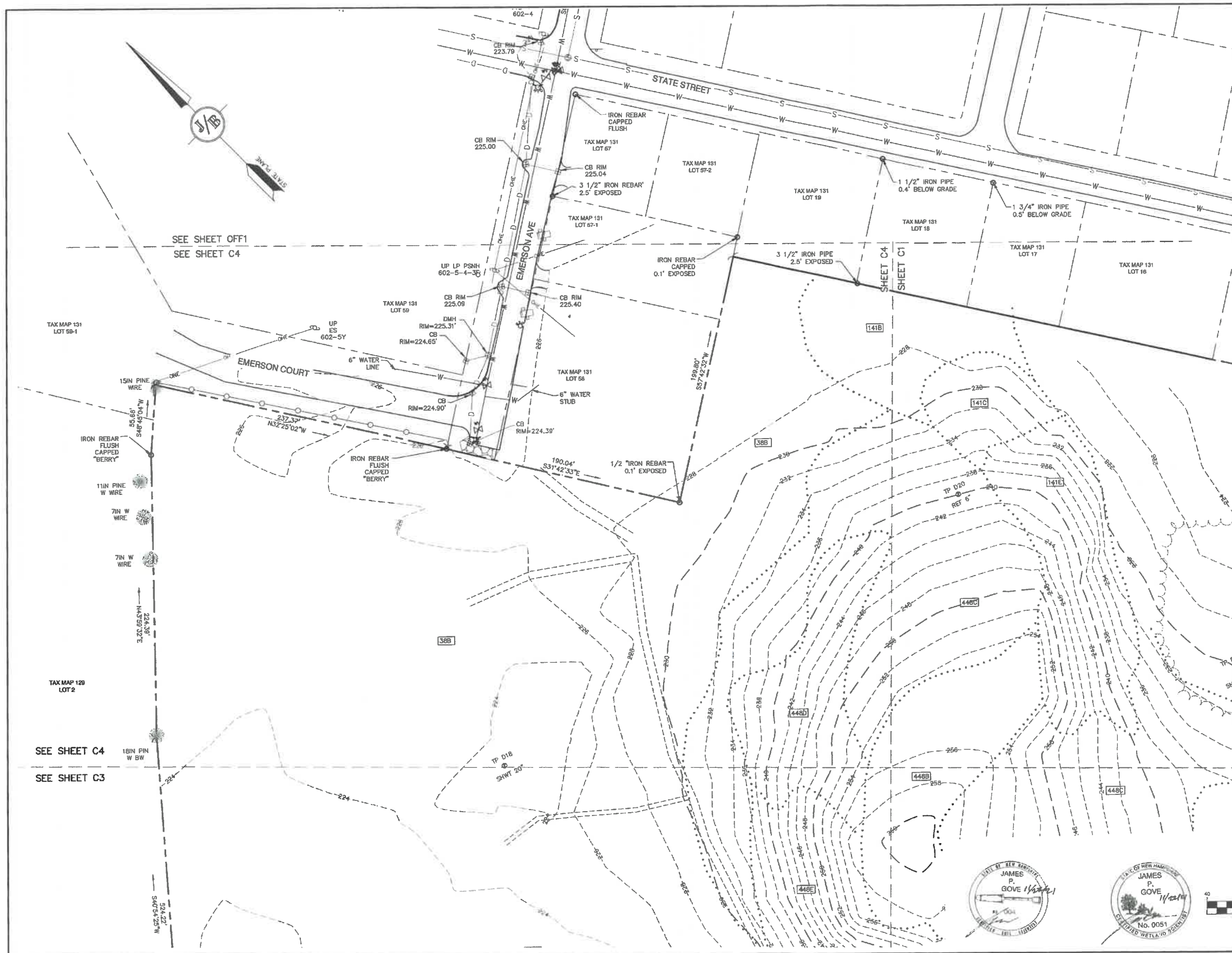
Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.

**C3**

SHEET 5 OF 46  
JBE PROJECT NO. 21090





**SOIL NOTES:**

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
853	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATFIELD	228	D
448	SITUATE FINE SANDY LOAM	323	C
5	ODDORTHERTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	643	C

**SLOPE PHASE:**  
 0-8% B    8-15% C    15-25% D  
 25%+ E

**CERTIFICATION:**

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



DAVID M. COLLIER, LLS 892  
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,885 SQ. FT. ± 30.07 ACRES ±

Design: JAC    Draft: LAZ    Date: 04/29/21  
 Checked: JAC    Scale: AS NOTED    Project No.: 21090  
 Drawing Name: 21090-PLAN.dwg

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 Civil Engineering Services  
 85 Portsmouth Ave.    PO Box 219    Stratham, NH 03885  
 603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.  
**C4**  
 SHEET 6 OF 46  
 JBE PROJECT NO. 21090





#### DEMOLITION NOTES:

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
3. WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
5. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
6. ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
7. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
8. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS. SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
9. EXISTING WATERLINES AND HYDRANTS TO BE REMOVED SHALL BE CAPPED AT EXISTING WATERMAIN.
10. EXISTING GAS SERVICE LINES ARE TO BE REMOVED ON-SITE UP TO EXISTING GASMAIN LINES OR VALVES.
11. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
12. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
13. SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
14. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
15. CONTRACTOR SHALL HAVE THE OPTION TO REMOVE DRAINAGE/SEWER STRUCTURES, OR REMOVE MANHOLE FRAME AND GRATE/COVER TO A MINIMUM OF 36" BELOW FINISH GRADE, FRACTURE BOTTOM AND FILL WITH COMPACTED BORROW.
16. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ADJUTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
17. EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED OR MODIFIED AS NOTED ON PLANS. SEWER LINES SHALL BE DISCONNECTED IN ACCORDANCE WITH LOCAL STANDARDS AND REGULATIONS.
18. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
19. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

PROJECT PARCEL  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

APPLICANT  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

TOTAL LOT AREA  
1,309,666 SQ. FT. ±  
30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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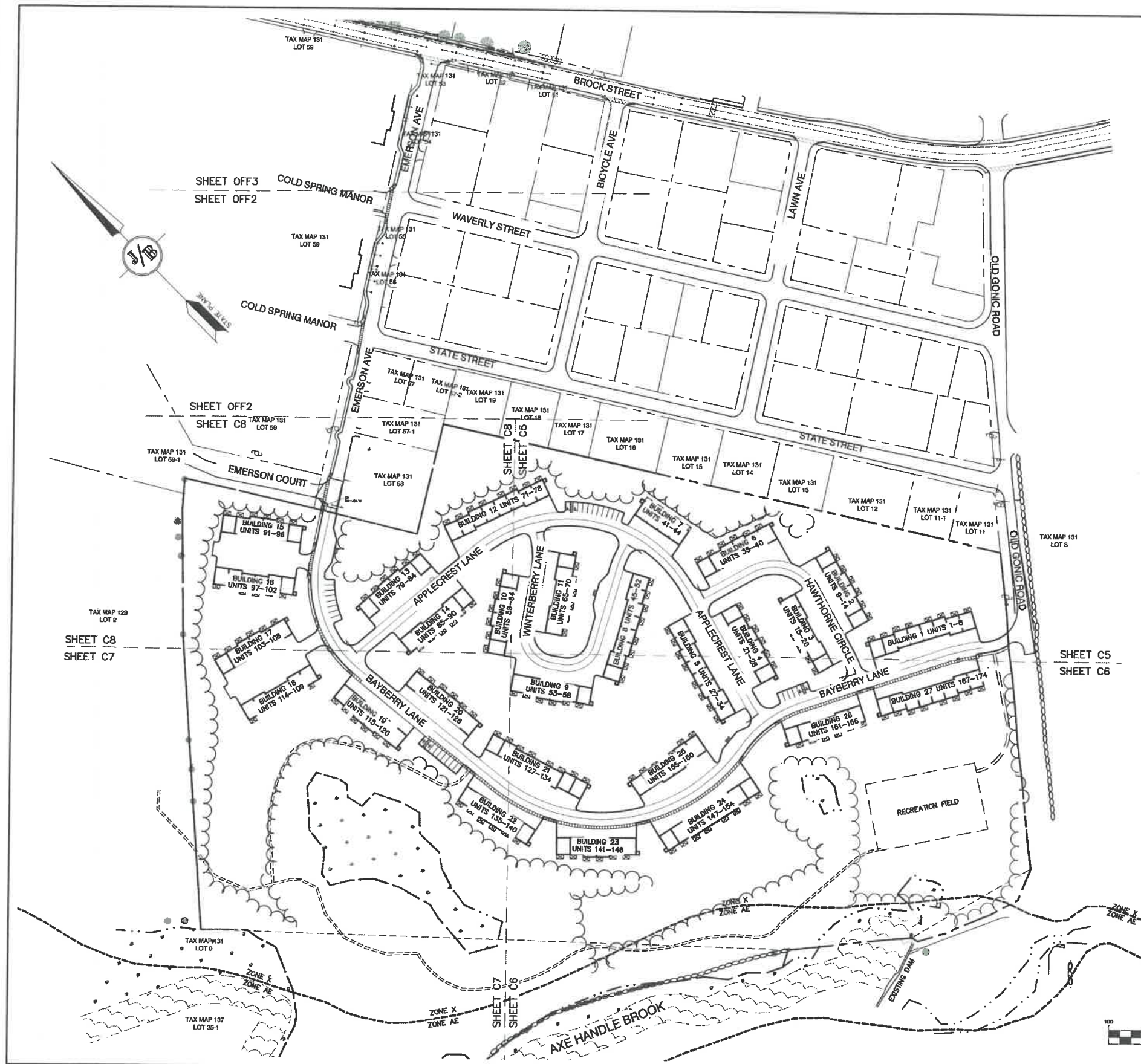
Plan Name: **DEMOLITION PLAN**  
Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.

**DM-1**

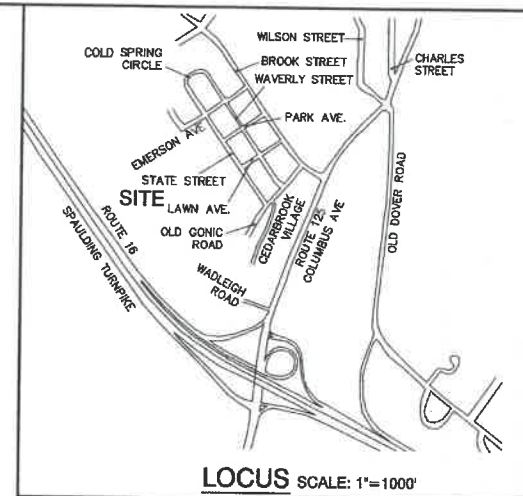
SHEET 7 OF 46  
JBE PROJECT NO. 21090





#### SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A 174-UNIT TOWNHOUSE DEVELOPMENT ON THE SUBJECT PARCEL. ALL UNITS TO HAVE 3 BEDROOMS. PROJECT TO BE SERVICED BY CITY WATER AND SEWER AND UNDERGROUND UTILITIES.
  - ZONING DISTRICT: RESIDENTIAL-2, USE: FIVE-OR MORE FAMILY  
 LOT AREA MINIMUM = 30,000 SF  
 LOT FRONTAGE MINIMUM = 100'  
 BUILDING SETBACKS (MINIMUM):  
 FRONT SETBACK = 15'  
 SIDE SETBACK = 10'  
 REAR SETBACK = 25'  
 WETLAND SETBACK = 50'  
 MAX. BUILDING HEIGHT = 35'  
 MAX. BUILDING FOOTPRINT = 30%  
 MAX. LOT COVERAGE = 60%  
 MIN. LOT AREA / DWELLING UNIT = 7,500 S.F.  
 BUILDING FOOTPRINT PROPOSED = 125,280 S.F. = 9.6% OF SITE  
 TOTAL LOT COVERAGE PROPOSED = 327,455 S.F. = 25% OF SITE
  - DENSITY CALCULATION:  
 TOTAL LOT AREA = 1,309,685 S.F. / 7,500 S.F. = 174 UNITS ALLOWED  
 174 UNITS PROVIDED
  - LOT COVERAGE CALCULATIONS
- |                  | AREA (SF)    | AREA (AC) | PERCENT OF SITE |
|------------------|--------------|-----------|-----------------|
| TOTAL AREA       | 1,309,685 SF | 30.07 AC  | 9.6%            |
| BUILDING AREA    | 125,280 SF   | 2.9 AC    | 15.4%           |
| PAVEMENT         | 202,175 SF   | 4.6 AC    | 15.4%           |
| WETLAND          | 58,294 SF    | 1.3 AC    | 4.5%            |
| LANDSCAPING      | 397,840 SF   | 9.1 AC    | 30.4%           |
| OTHER (DRAINAGE) | 42,260 SF    | 1.0 AC    | 3.2%            |
| UNDISTURBED      | 483,746 SF   | 11.1 AC   | 36.9%           |
- PARKING CALCULATIONS  
 ALL UNITS TO HAVE 2 GARAGE SPACES AND 2 SPACES IN FRONT OF UNIT PLUS  
 34 VISITOR SPACES INCLUDING 6 HANDICAP SPACES.  
 TOTAL PARKING ON SITE = 730 SPACES
  - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
  - THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN AN AREA HAVING A ZONE AE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33017C0211D, WITH EFFECTIVE DATE OF MAY 17, 2005 FOR COMMUNITY PANEL NO. 211 OF 405, IN ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
  - LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
  - ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
  - ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
  - ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
  - ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKID BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION T1P-115 TYPE 1, IN A COLOR OF WHITE.
  - ALL STOP BARS SHALL BE 16" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
  - ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
  - SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
  - ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
  - TRASH TO BE HANDLED WITH TOTES AT EACH UNIT. TRASH TO BE PICKED UP BY A PRIVATE HAULER.
  - STATE PERMITS REQUIRED:  
 NHDES ALTERATION OF TERRAIN PERMIT  
 NHDES SEWER EXTENSION PERMIT  
 NHDES DRINKING WATER PERMIT
  - EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK PERFORMED WITHIN THE CITY RIGHT-OF-WAY.



LOCUS SCALE: 1"=1000'

PROJECT PARCEL  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

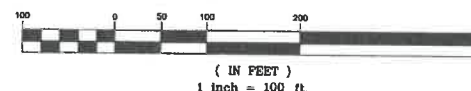
APPLICANT  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

TOTAL LOT AREA  
1,309,685 SQ. FT. ±  
30.07 ACRES ±

APPROVED - ROCHESTER, NH  
PLANNING BOARD

DATE:

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 04/26/21  
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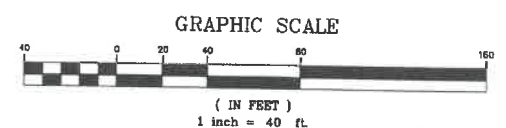
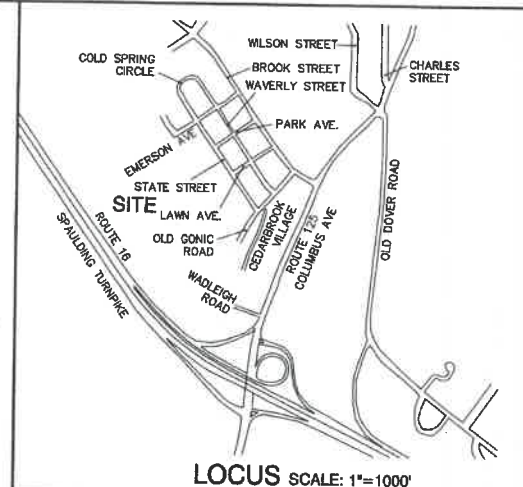
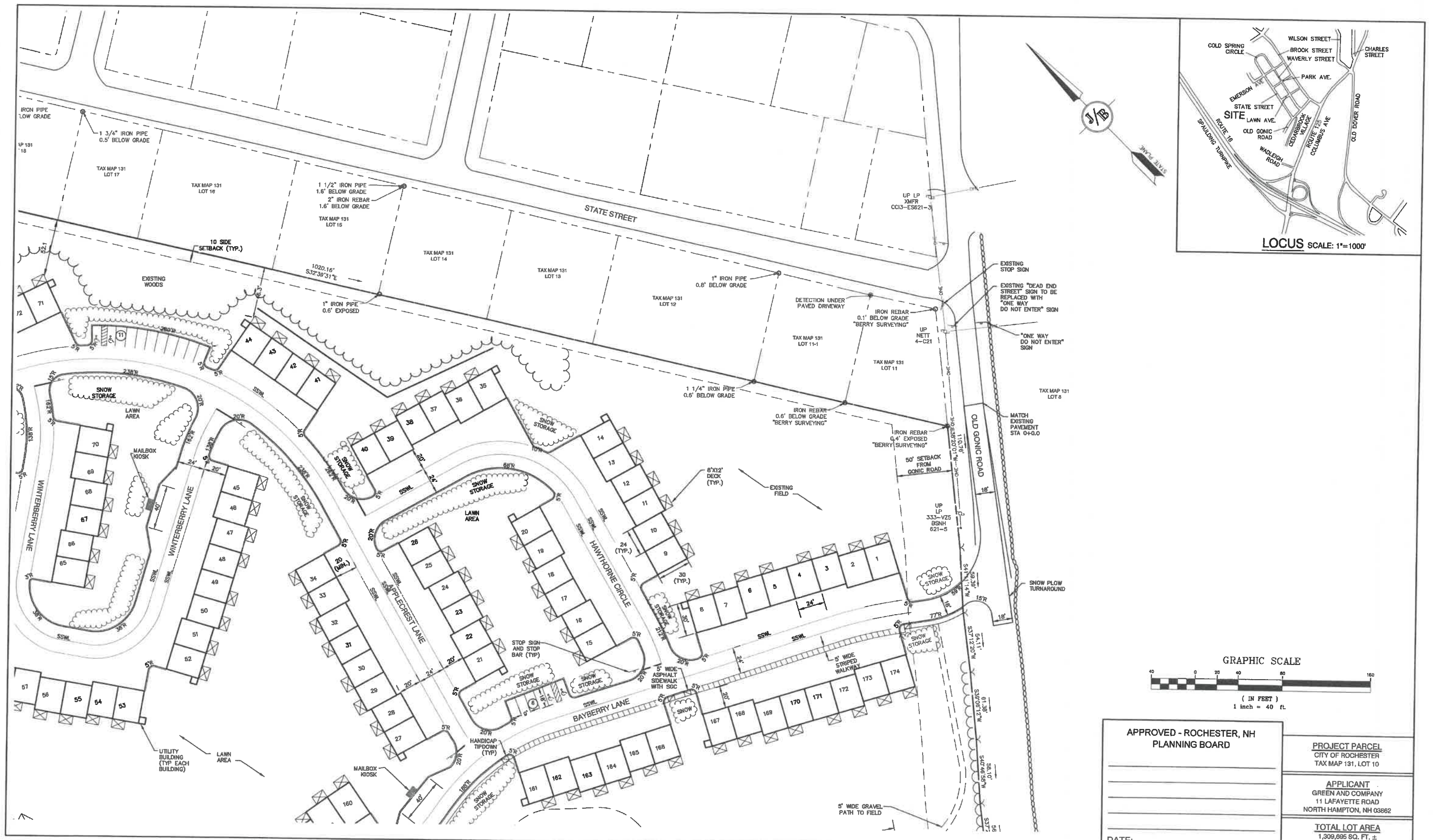
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 603-772-4746 FAX: 603-772-0227  
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Plan Name: **OVERVIEW SITE PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**OVRS**  
 SHEET 8 OF 46  
 JBE PROJECT NO. 21090





APPROVED - ROCHESTER, NH PLANNING BOARD	
PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10	
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862	
TOTAL LOT AREA 1,309,895 SQ. FT. ± 30.07 ACRES ±	
DATE:	

Design: JAC Draft: LAZ Date: 04/29/21  
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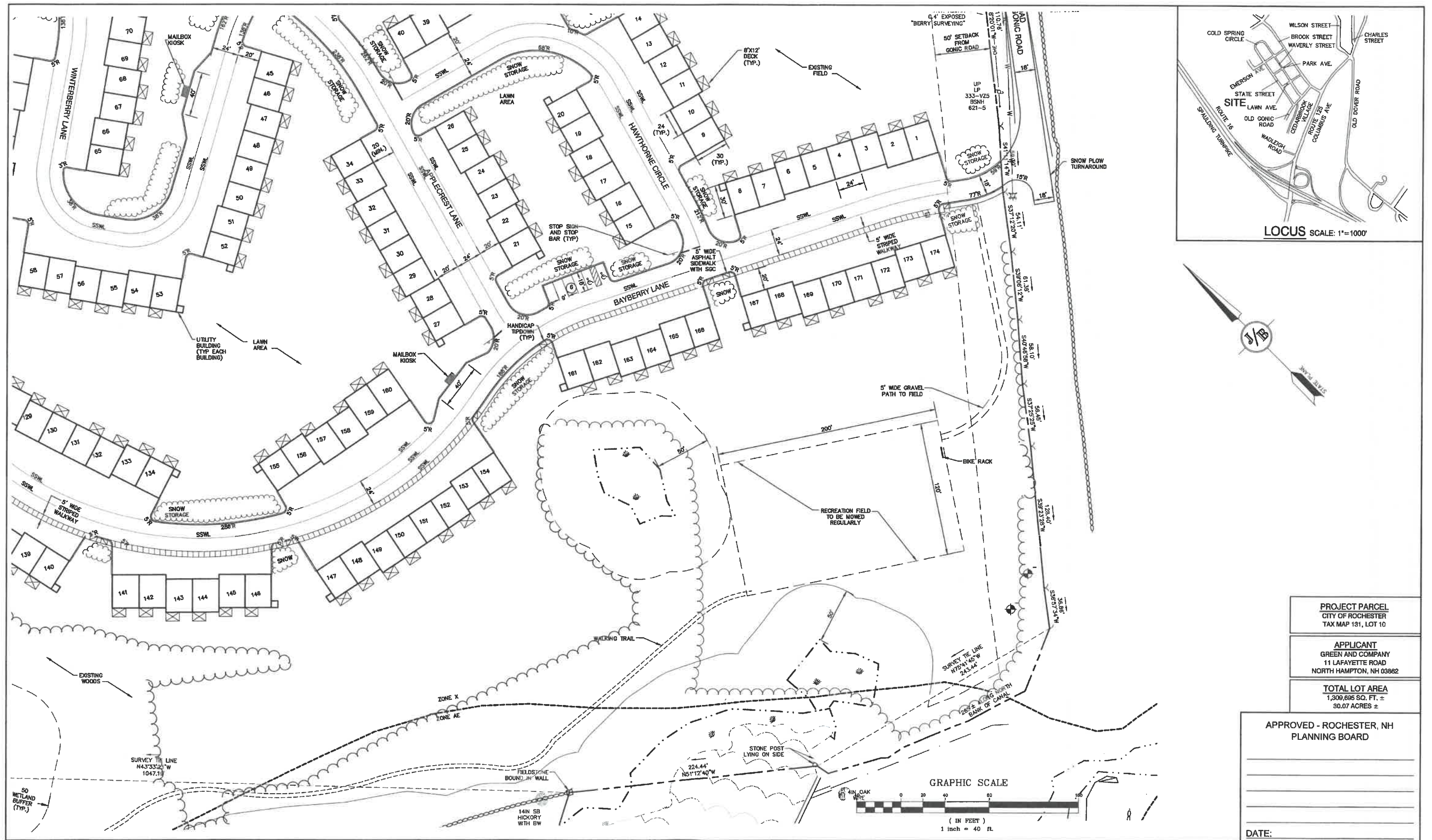
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 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SITE PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.  
**C5**  
 SHEET 8 OF 46  
 JBE PROJECT NO. 21090





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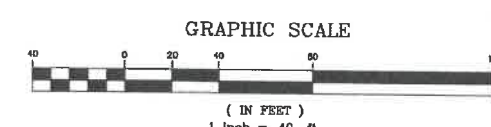
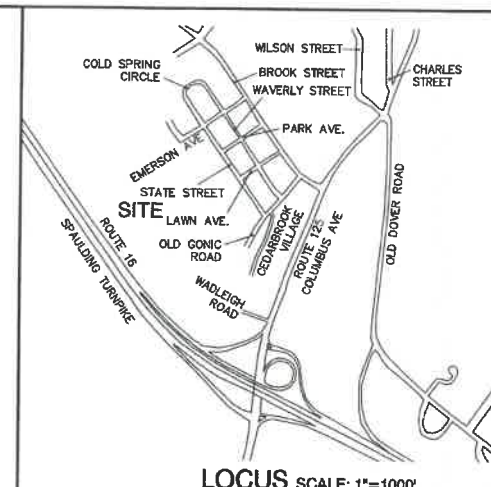
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03865  
Designed and Produced in NH  
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**  
Project: **19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.  
**C6**  
SHEET 10 OF 48  
JBE PROJECT NO. 21090





Design: JAC Draft: LAZ Date: 04/29/21  
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 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

APPROVED - ROCHESTER, NH  
 PLANNING BOARD

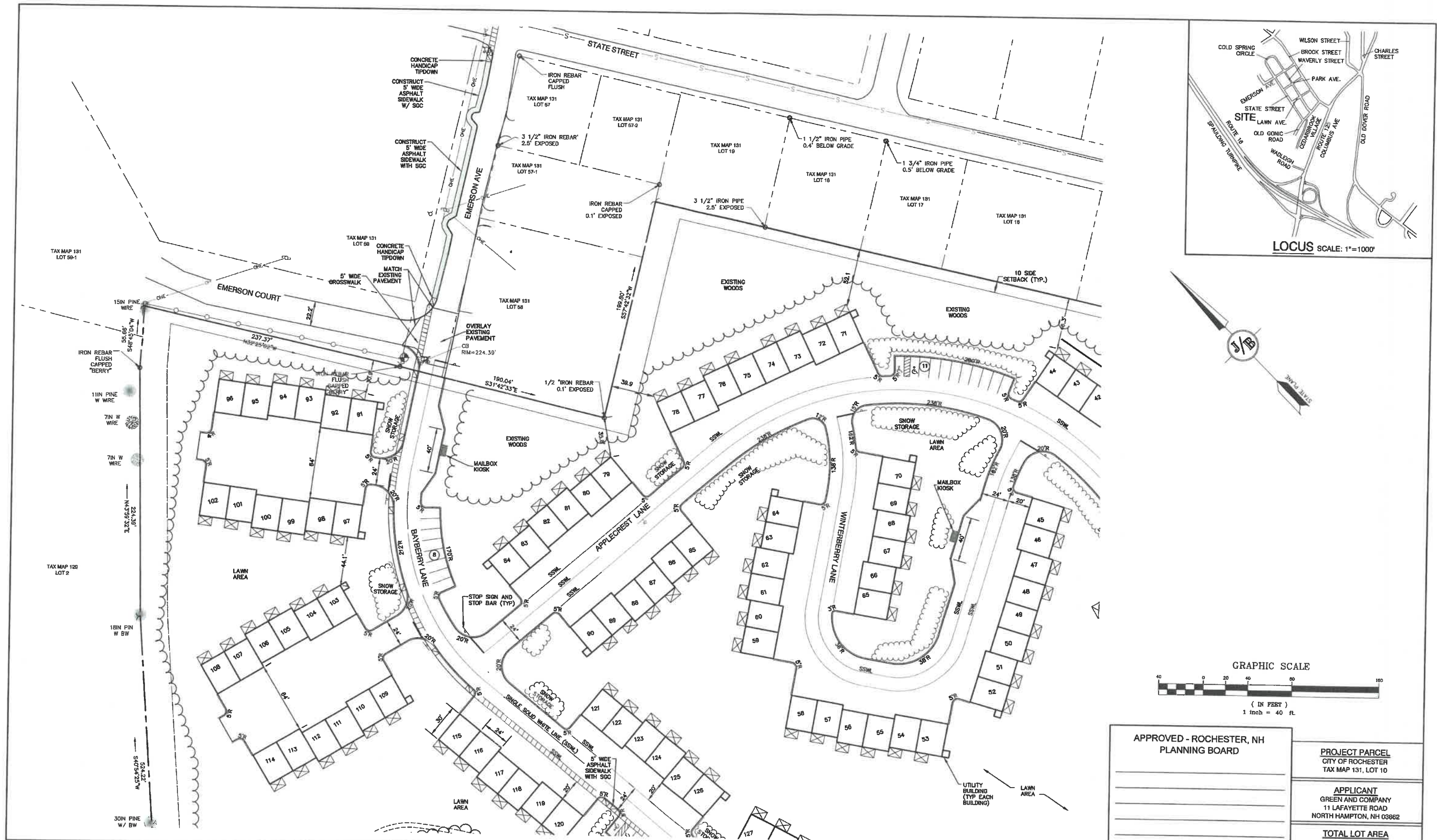
PROJECT PARCEL  
 CITY OF ROCHESTER  
 TAX MAP 131, LOT 10

APPLICANT  
 GREEN AND COMPANY  
 11 LAFAYETTE ROAD  
 NORTH HAMPTON, NH 03862

TOTAL LOT AREA  
 1,309,695 SQ. FT. ±  
 30.07 ACRES ±

DRAWING No.  
**C7**  
 SHEET 11 OF 46  
 JBE PROJECT NO. 21090





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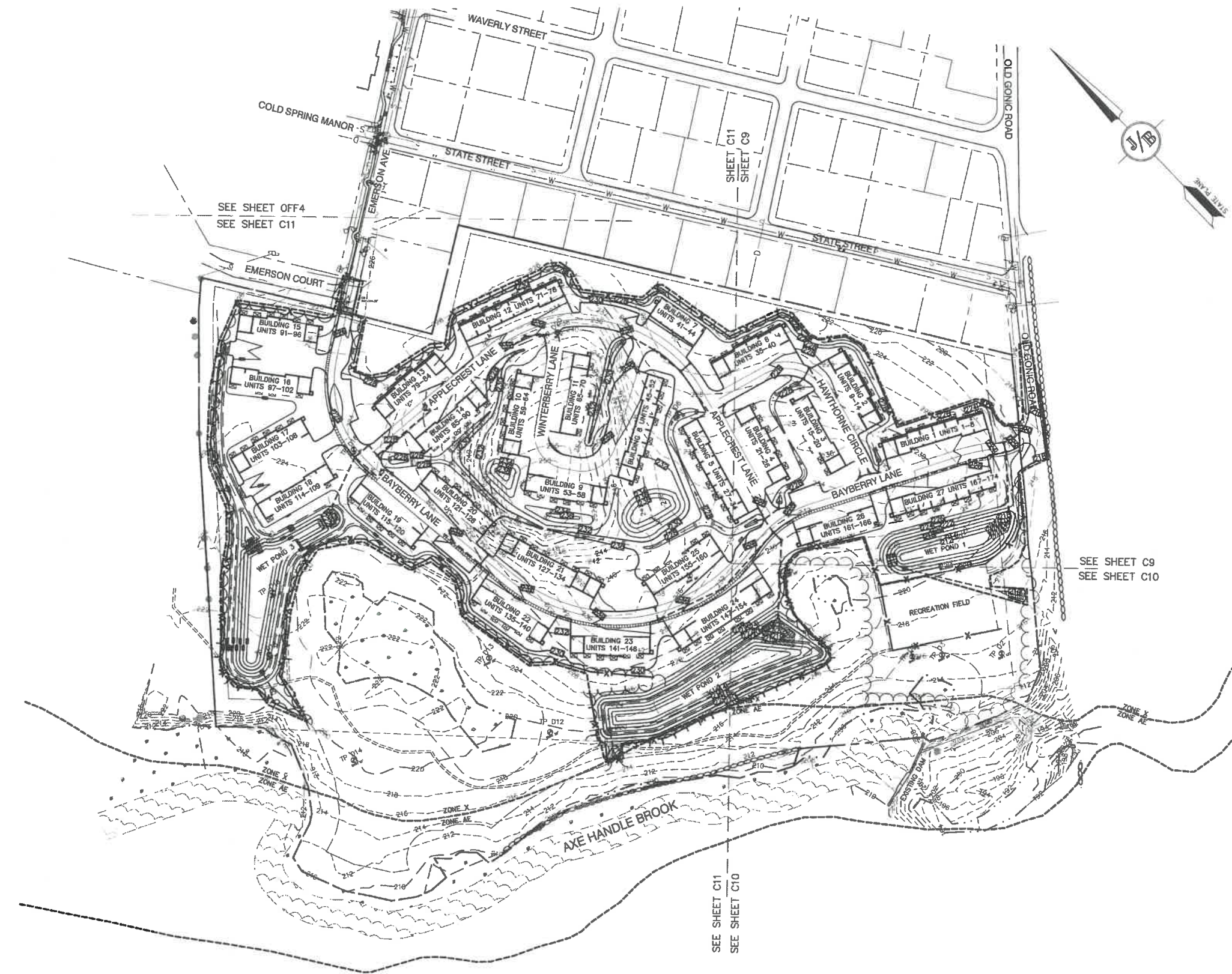
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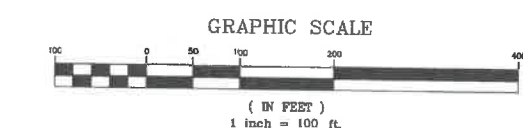
Plan Name: **SITE PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**C8**  
 SHEET 12 OF 48  
 JBE PROJECT NO. 21090





- GRADING AND DRAINAGE NOTES:**
1. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:  
A. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR  
B. ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
  2. IF THIS CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 85 % MATURE VEGETATION COVER, OR RIPRAP BY OCTOBER 15, THEN THE SITE MUST BE PROTECTED WITH OVER-WINTER STABILIZATION. THE WINTER CONSTRUCTION PERIOD IS FROM OCTOBER 15 THROUGH MAY 15. WINTER EXCAVATION AND EARTHWORK ACTIVITIES SHALL BE LIMITED IN EXTENT AND DURATION, TO MINIMIZE POTENTIAL EROSION AND SEDIMENTATION IMPACTS.
  3. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
  4. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
  5. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
  6. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
  7. ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
  8. PROPOSED RM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
  9. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
  10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SLUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
  11. ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
  12. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
  13. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES AND ALONG WETLAND BUFFERS.
  14. ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
  15. STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
  16. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
  17. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING AND ANYTIME CONSTRUCTION STOPS FOR LONGER THAN 3 DAYS.
  18. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
  19. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  20. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
  21. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
  22. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
  23. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
  24. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
  25. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
  26. SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
  27. PRIOR TO CLEARING OR GRADING DISTURBANCE, THE CONTRACTOR SHALL IDENTIFY ALL AREAS OF TYPE 2 INVASIVE SPECIES AS DEFINED BY NHDOT AND ADHERE TO THE PRACTICES OUTLINED IN BEST MANAGEMENT PRACTICES FOR THE CONTROL OF INVASIVE AND NOXIOUS PLANT SPECIES, NHDOT, 2018. THESE PRACTICES SHALL BE FOLLOWED FOR THE ENTIRE CONSTRUCTION TERM INCLUDING ESTABLISHMENT OF LANDSCAPING. AS THE SITE RE-VEGETATES AFTER CONSTRUCTION, LANDSCAPING CONTRACTOR TO INFORM THE OWNER IF ANY INVASIVE SPECIES START TO GROW. OWNER SHALL CONTACT A QUALIFIED REMOVAL COMPANY AND FOLLOW NHDES BEST MANAGEMENT PRACTICES.



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Checked: JAG    Scale: AS NOTED    Project No.: 21090  
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PO Box 219    Stratham, NH 03885    FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>OVERVIEW GRADING PLAN</b>
Project:	<b>BAYBERRY COMMONS</b> <b>19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE</b> <b>19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

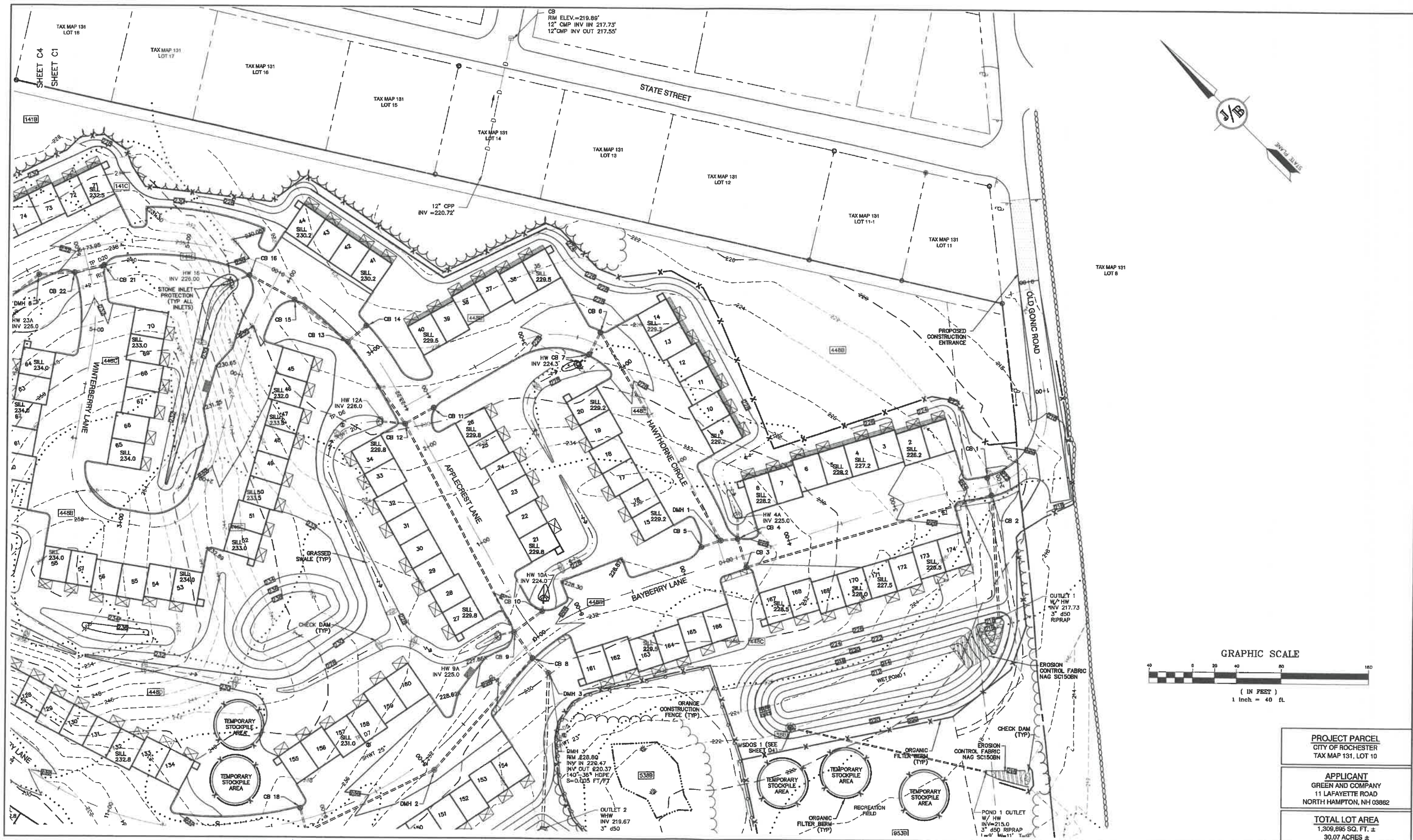
**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

**TOTAL LOT AREA**  
1,309,695 SQ. FT. ±  
30.07 ACRES ±

DRAWING No.  
**OVRG**  
SHEET 13 OF 46  
JBE PROJECT NO. 21090





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 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING & DRAINAGE PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

**PROJECT PARCEL**  
 CITY OF ROCHESTER  
 TAX MAP 131, LOT 10  
**APPLICANT**  
 GREEN AND COMPANY  
 11 LAFAYETTE ROAD  
 NORTH HAMPTON, NH 03862  
**TOTAL LOT AREA**  
 1,309,895 SQ. FT. ±  
 30.07 ACRES ±

DRAWING No.  
**C9**  
 SHEET 14 OF 46  
 JBE PROJECT NO. 21090





Design: JAC Draft: LAZ Date: 04/29/21  
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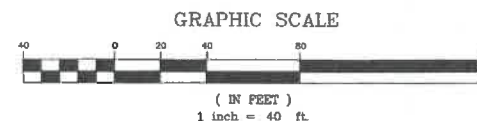
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Plan Name:	<b>GRADING &amp; DRAINAGE PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

**PROJECT PARCEL**  
 CITY OF ROCHESTER  
 TAX MAP 181, LOT 10  
**APPLICANT**  
 GREEN AND COMPANY  
 11 LAFAYETTE ROAD  
 NORTH HAMPTON, NH 03862  
**TOTAL LOT AREA**  
 1,309,895 SQ. FT. ±  
 30.07 ACRES ±

DRAWING No.  
**C10**  
 SHEET 15 OF 48  
 JBE PROJECT NO. 21090





PROJECT PARCEL  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

APPLICANT  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

TOTAL LOT AREA  
1,309,895 SQ. FT. ±  
30.07 ACRES ±

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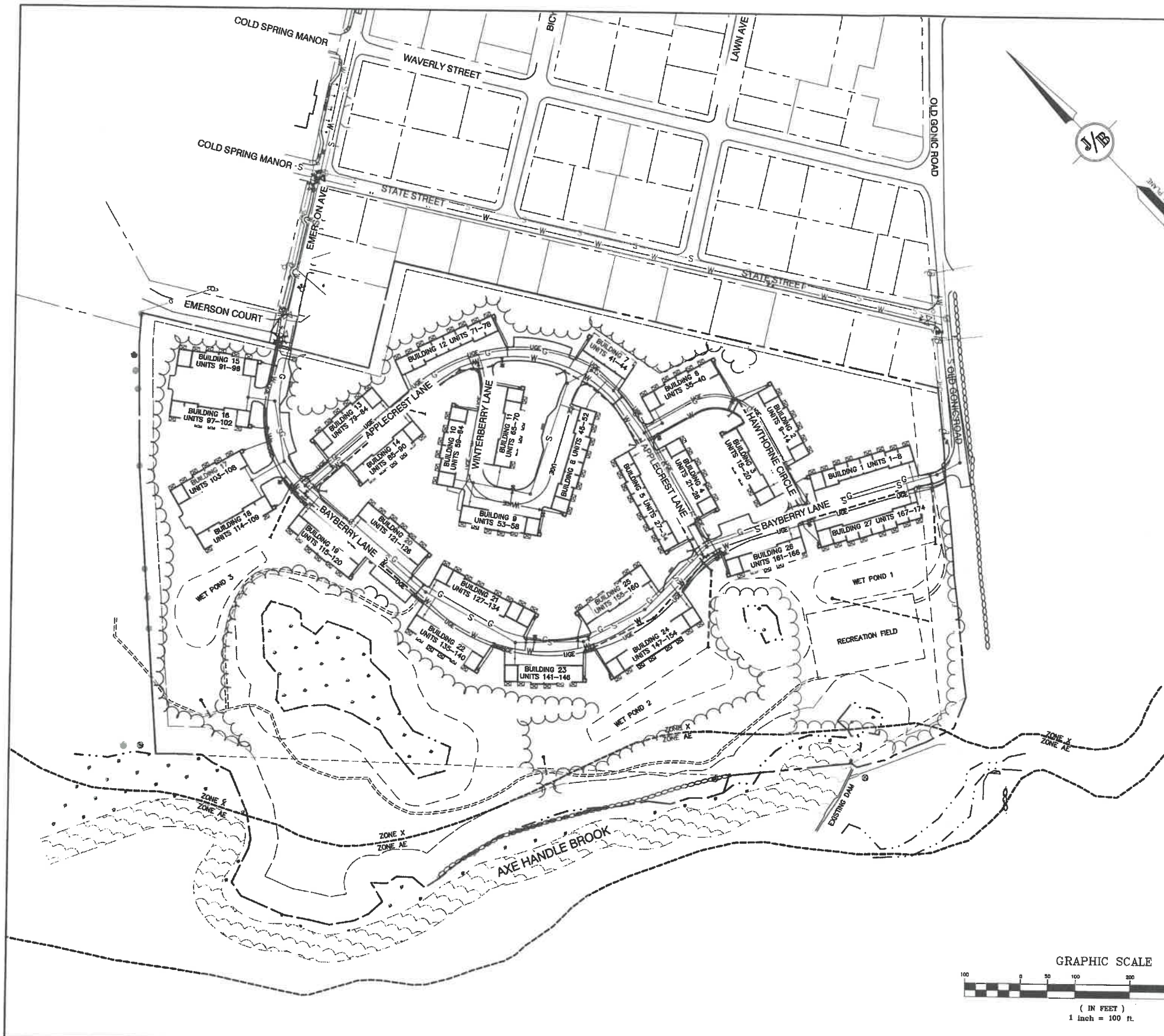
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Plan Name: **GRADING & DRAINAGE PLAN**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**C11**  
SHEET 16 OF 46  
JBE PROJECT NO. 21090





#### UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. INVERTS AND SHELVE: MANHOLES SHALL HAVE A BRICK PAVED SHELVE AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVE SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
11. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
12. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
13. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
14. SANITARY SEWER FLOW CALCULATIONS:  
174 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM = 78,300 GPD
15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
16. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
17. ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
18. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
19. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
20. IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
21. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
22. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
23. REFER TO FIRE PROTECTION SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING. FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM. AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
24. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
25. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
26. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
27. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
28. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, ADOPTED ON 10-15-14.
29. ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-02(2006) OR UNIFORM P.V.C. PIPE ASSOCIATION UN-8-8. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 80% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
30. ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVE AND INVERTS.
31. SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
32. SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 8-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
33. ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
34. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
35. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
36. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
37. DISINFECTION OF WATER MAINS SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH AWWA STANDARD C651, LATEST EDITION. THE BASIC PROCEDURE TO BE FOLLOWED FOR DISINFECTING WATER MAINS IS AS FOLLOWS:
  - a. PREVENT CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR.
  - b. REMOVE BY FLUSHING OR OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAINS.
  - c. CHLORINATE ANY RESIDUAL CONTAMINATION THAT MAY REMAIN, AND FLUSH THE CHLORINATED WATER FROM THE MAIN.
  - d. PROTECT THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
  - e. DETERMINE THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION.
  - f. MAKE FINAL CONNECTION OF THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM.

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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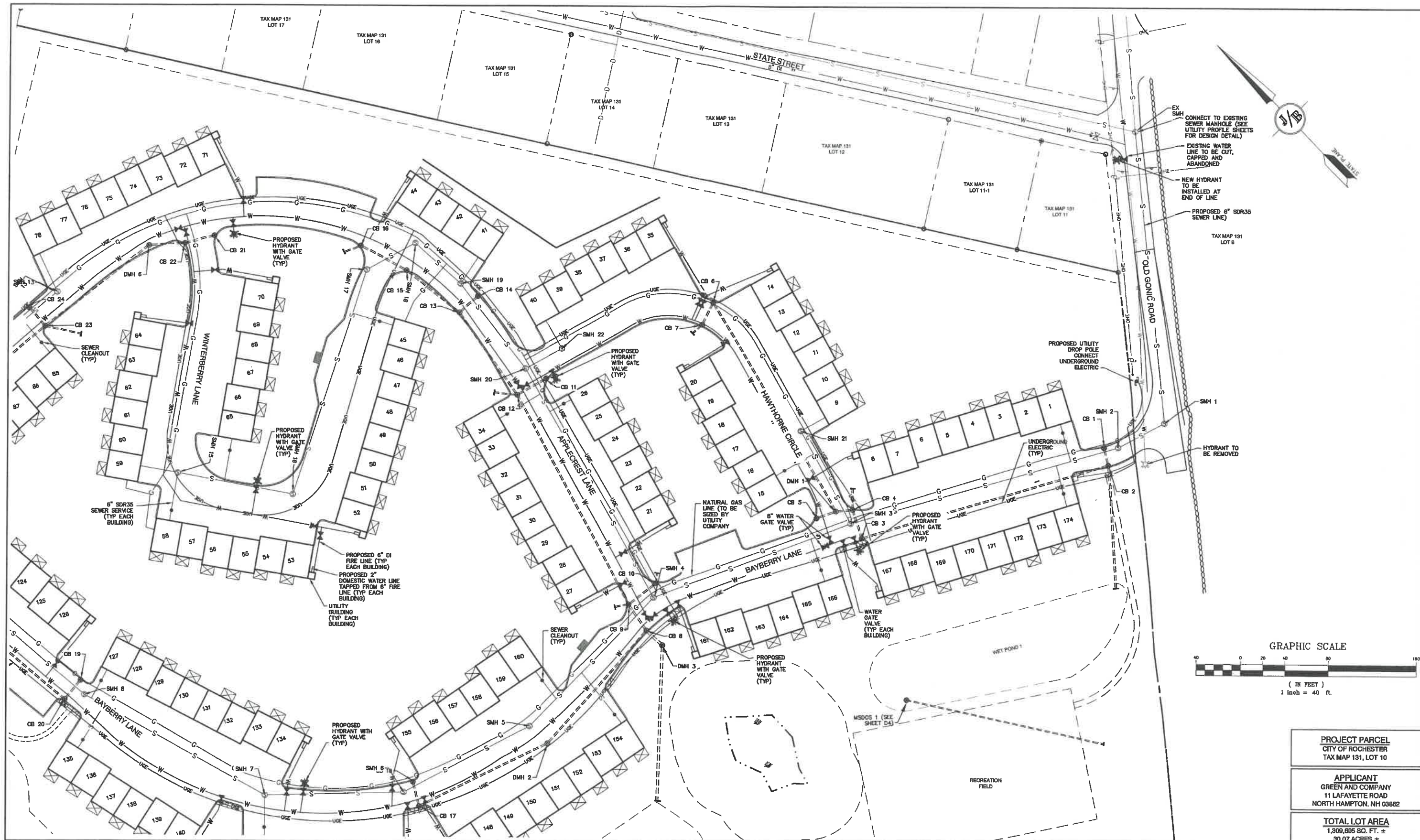
REV.	DATE	REVISION	BY
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1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Designed and Produced in NH  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>OVERVIEW UTILITY PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.  
**OVRO**  
SHEET 17 OF 48  
JBE PROJECT NO. 21090





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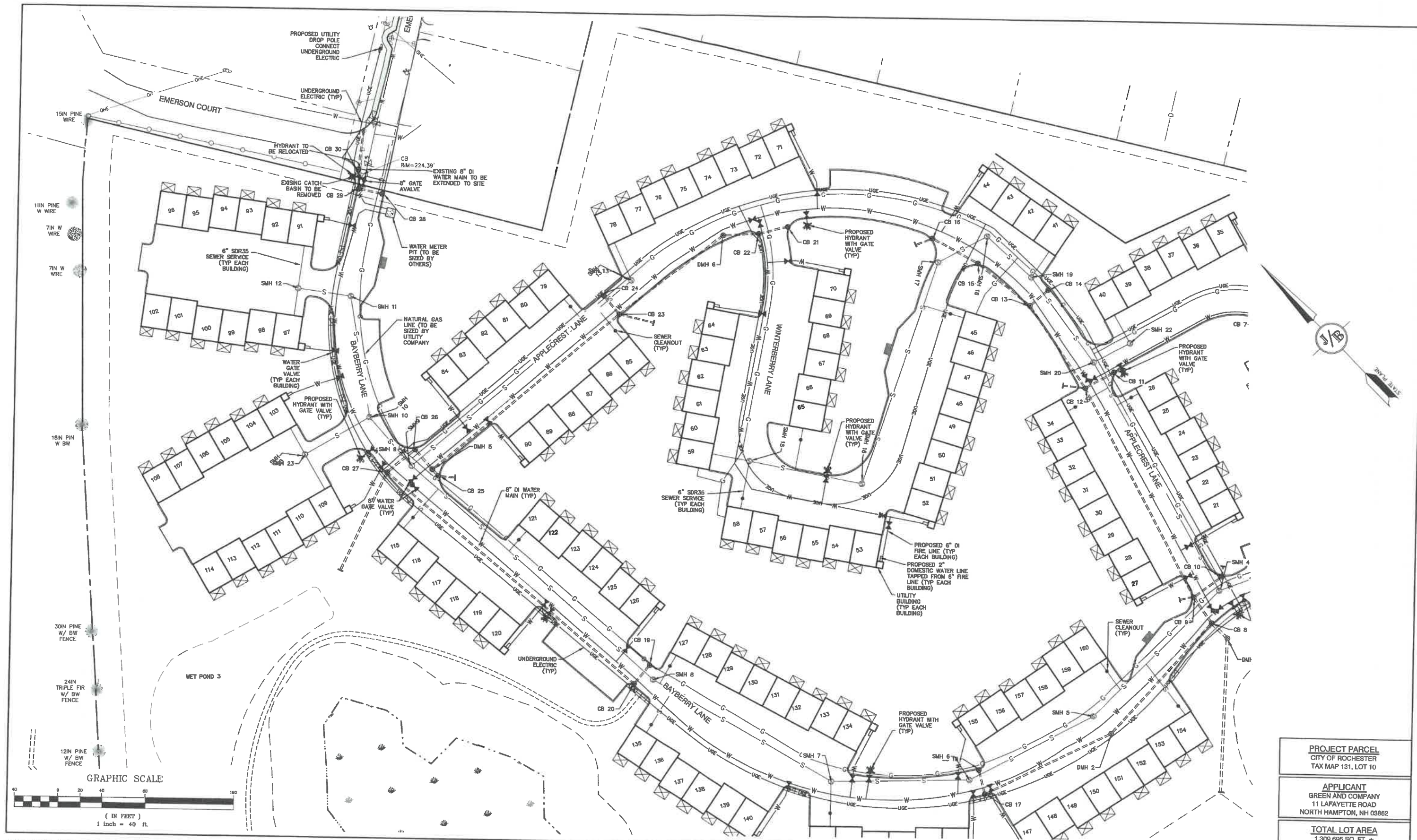
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 FAX: 603-772-0227  
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Plan Name: **UTILITY PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**U1**  
 SHEET 18 OF 46  
 JBE PROJECT NO. 21090





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 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>UTILITY PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

<b>PROJECT PARCEL</b> CITY OF ROCHESTER TAX MAP 131, LOT 10
<b>APPLICANT</b> GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
<b>TOTAL LOT AREA</b> 1,309,695 SQ. FT. ± 30.07 ACRES ±

DRAWING No.  
**U2**  
 SHEET 19 OF 48  
 JBE PROJECT NO. 21090



# LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
4. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
5. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
6. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
7. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE.
8. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
9. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
10. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
11. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
12. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
13. ALL LANDSCAPING SHALL MEET THE CITY STANDARDS AND REGULATIONS.
14. EXISTING TREES TO REMAIN SHALL BE CLEARLY MARKED PRIOR TO LAND CLEARING ACTIVITIES AND SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
15. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
16. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
17. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.

## JBE 21090 - OLD GONIC RD TOWNHOUSES

### TREES - EVERGREEN & DECIDUOUS

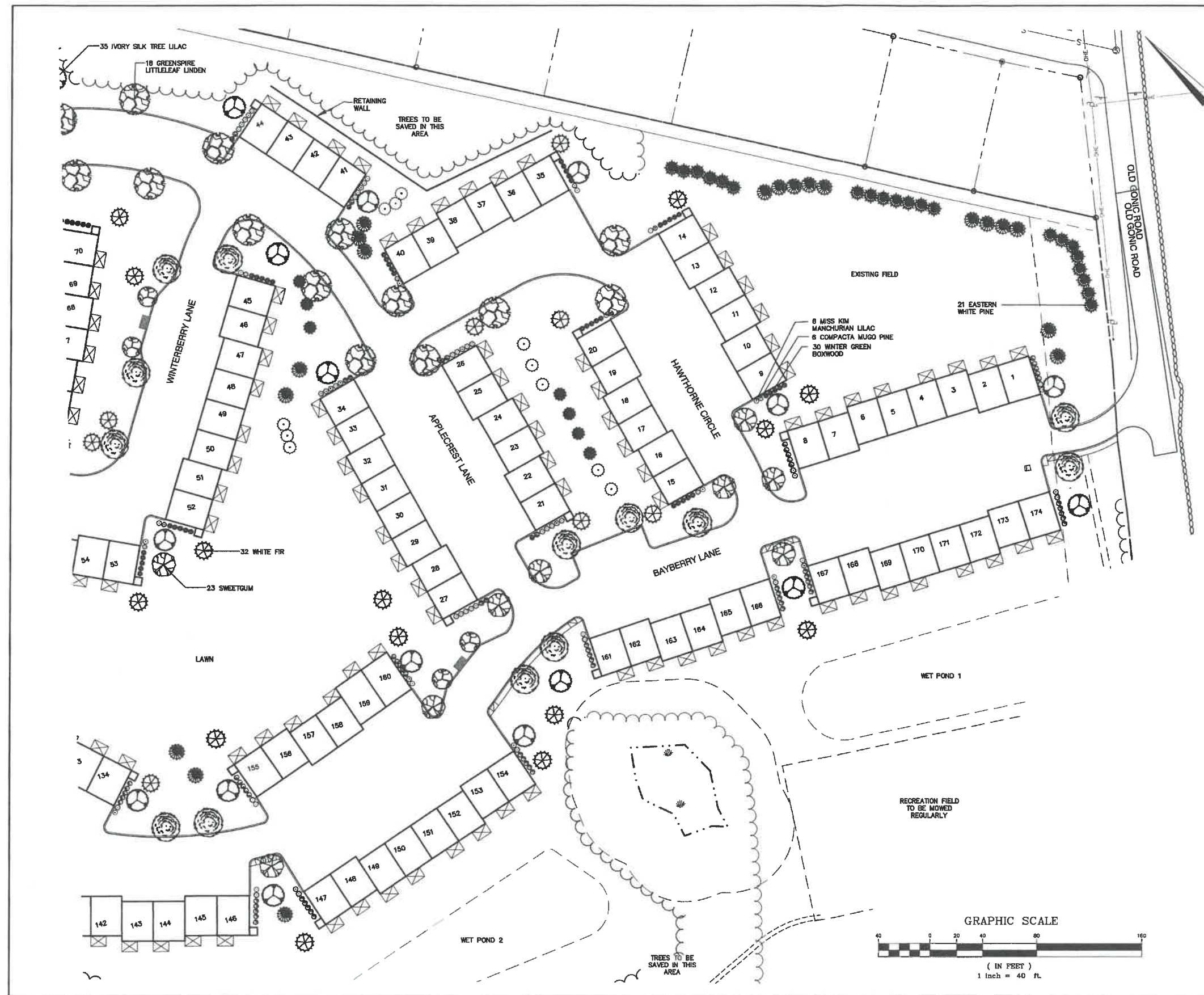
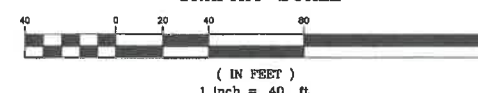
Quantity	Botanical Name	Common Name	Size
32	Abies concolor	WHITE FIR	9-10 FT. HT.
32	Acer saccharum 'Green Mountain'	GREEN MOUNTAIN SUGAR MAPLE	3" Caliper
12	Juniperus virginiana	EASTERN RED CEDAR	7-8 FT. HT.
23	Liquidambar styraciflua	SWEETGUM	3" Caliper
38	Picea abies	NORWAY SPRUCE	9-10 FT. HT.
21	Pinus strobus	EASTERN WHITE PINE	9-10 FT. HT.
6	Prunus serrulata 'Kwanzan'	KWANZAN ORIENTAL CHERRY	2.5" Caliper
35	Syringa reticulata 'Ivory Silk'	IVORY SILK TREE LILAC	2.5" Caliper
17	Thuja plicata 'Green Giant'	GREEN GIANT ARBORVITAE	7-8 FT. HT.
18	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" Caliper

### SHRUBS - EVERGREEN & DECIDUOUS

108	Buxus microphylla var. koronata 'Winter Green'	WINTER GREEN BOXWOOD	5 Gallon
20	Chamaecyparis pfitzeri 'Aurea'	GOLDEN THREAD CYPRESS	5 Gallon
12	Hydrangea arborescens 'Annabelle'	ANNABELLE HYDRANGEA	5 Gallon
100	Ilex glabra 'Shamrock'	SHAMROCK INKBERY HOLLY	5 Gallon
12	Juniperus chinensis 'Sea Green'	SEA GREEN JUNIPER	5 Gallon
22	Pinus mugo 'Compacta'	COMPACTA MUGO PINE	5 Gallon
60	Rhododendron 'PJM'	PJM RHODODENDRON	5 Gallon
22	Syringa patula 'Miss Kim'	MISS KIM MANCHURIAN LILAC	5 Gallon
20	Weigela florida 'Alexandra'	WINE & ROSES WEIGELA	5 Gallon



## GRAPHIC SCALE



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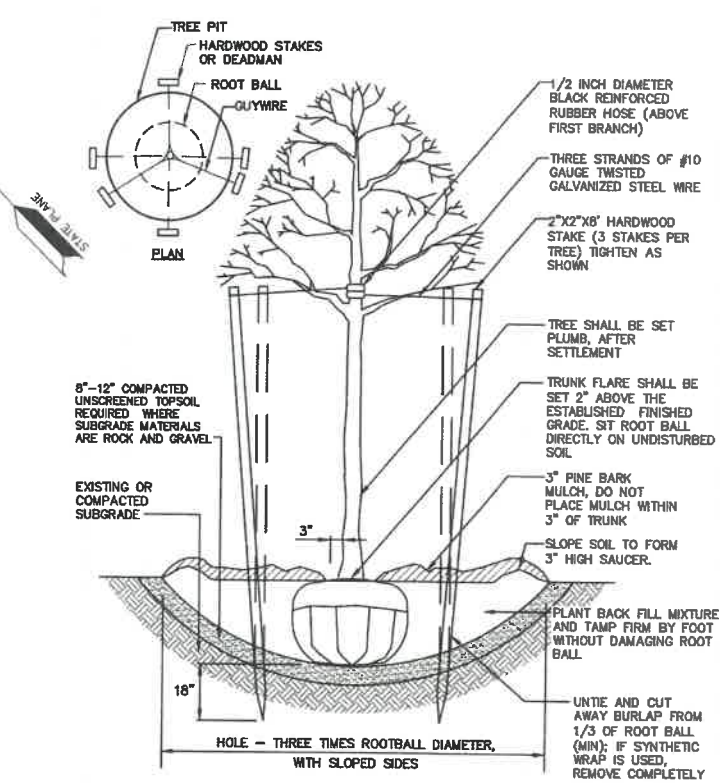
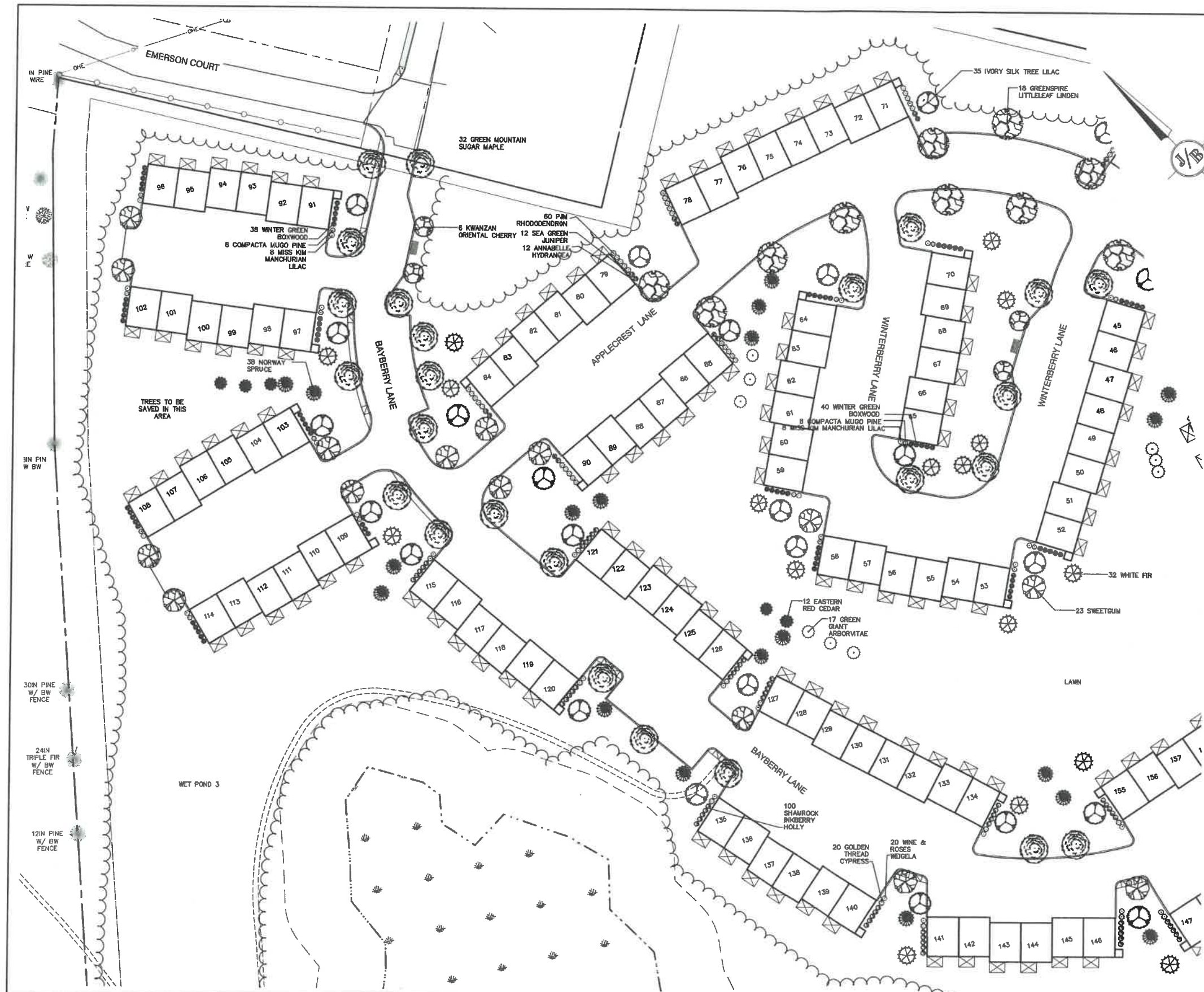
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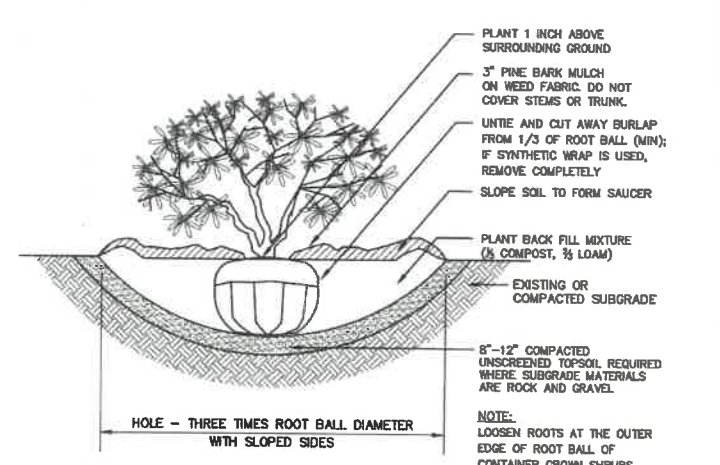
Plan Name: **LANDSCAPE PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**L1**  
 SHEET 20 OF 46  
 JBE PROJECT NO. 21090

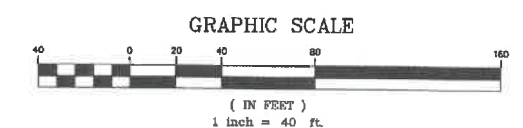




**TREE PLANTING (FOR TREES UNDER 4" CALIPER)**  
NOT TO SCALE



**SHRUB PLANTING**  
NOT TO SCALE



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 Stratham, NH 03885

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 FAX: 603-772-0227  
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Plan Name: **LANDSCAPE PLAN**

Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
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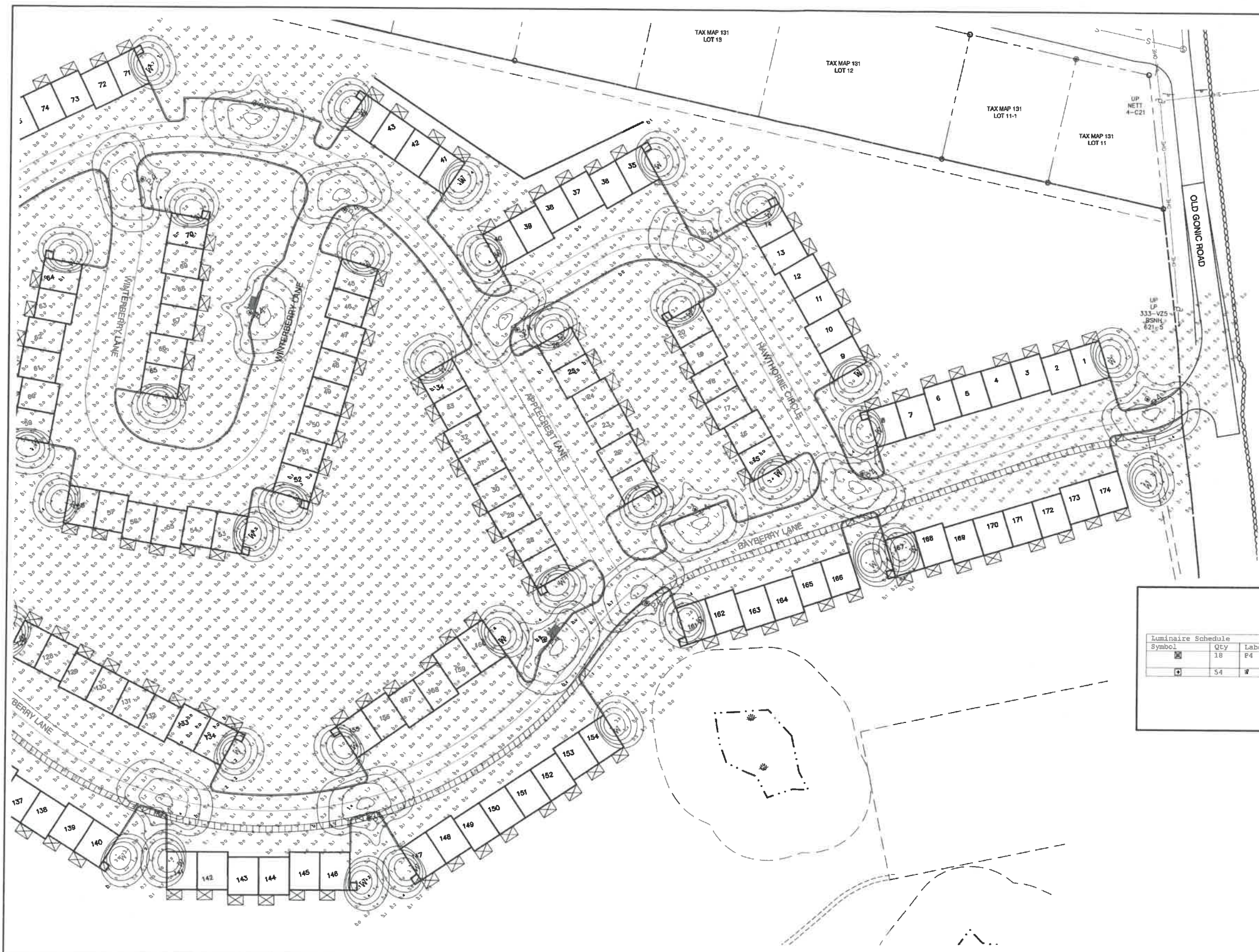
**PROJECT PARCEL**  
 CITY OF ROCHESTER  
 TAX MAP 131, LOT 10

**APPLICANT**  
 GREEN AND COMPANY  
 11 LAFAYETTE ROAD  
 NORTH HAMPTON, NH 03862

**TOTAL LOT AREA**  
 1,309,686 SQ. FT. ±  
 30.07 ACRES ±

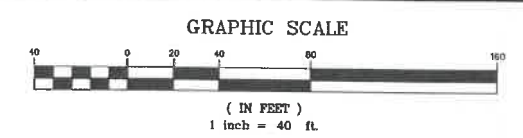
DRAWING No.  
**L2**  
 SHEET 21 OF 46  
 JBE PROJECT NO. 21090





- LIGHTING AND ELECTRICAL NOTES:**
1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
  2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
  3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
  4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
  5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
  6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
  7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT.
  8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
18	18	P4	Single	HERI-FA-40W3K-U-4-N-N-BK / FLB412-4-10-S-125-T300-N-BK (10' POLE)
54	54	W	Single	AXCS1AWT-PC1 / WALL MTD 12' AFG



**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

**TOTAL LOT AREA**  
1,309,895 SQ. FT. ±  
30.07 ACRES ±

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PO Box 219    Stratham, NH 03885    FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**

Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**

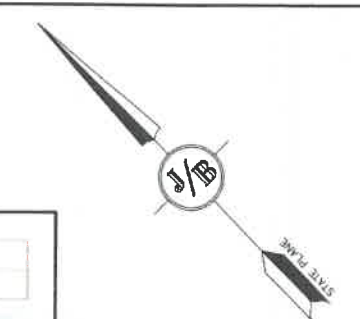
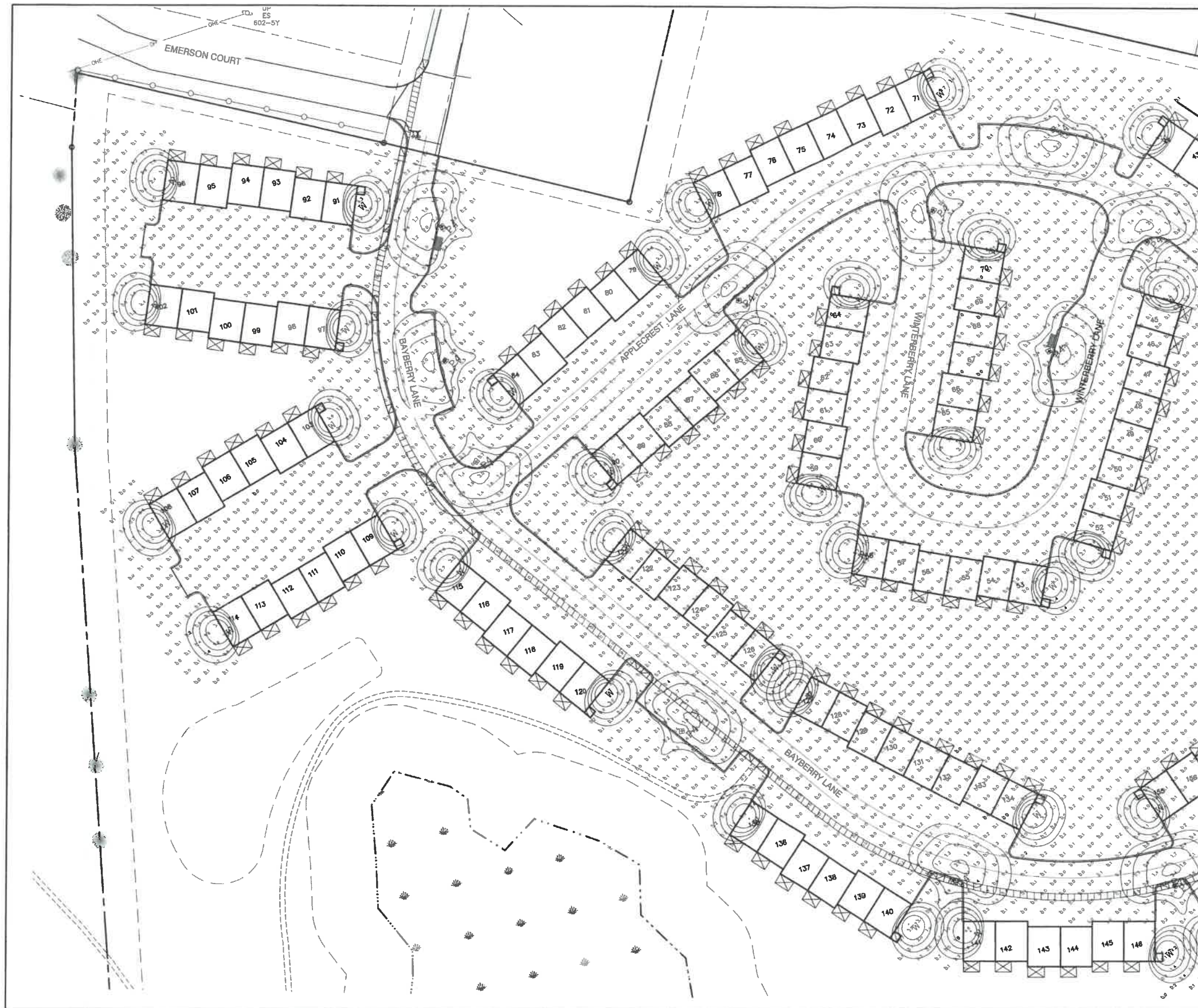
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.

**L3**

SHEET 22 OF 46  
JBE PROJECT NO. 21090





**Lumark**  
Accent  
Wall Mount Luminaire

**Product Features**

- Available in 14W - 125W (1,800 - 17,000 lumens) models
- Full width and reflective lens models available
- Energy and maintenance savings up to 95%
- Energy efficient illumination results up to 144 LPW
- Replaces 70W up to 45W HID equivalents

**Product Specifications**

- Available in 14W - 125W (1,800 - 17,000 lumens) models
- Full width and reflective lens models available
- Energy and maintenance savings up to 95%
- Energy efficient illumination results up to 144 LPW
- Replaces 70W up to 45W HID equivalents

**Optional Features**

- Available in 14W - 125W (1,800 - 17,000 lumens) models
- Full width and reflective lens models available
- Energy and maintenance savings up to 95%
- Energy efficient illumination results up to 144 LPW
- Replaces 70W up to 45W HID equivalents

**Connected System**

- Wireless Link
- Bluetooth

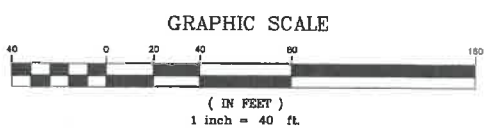
**COOPER**  
Lighting Inc.

**HERITAGE**  
RADIANT™ LED POST TOPS

**Specifications and Features:**

- Radiant™ LED
- Corrosion Resistant LED light engine
- CCT: Warm White (2700K), 3000K, 3500K, 4000K, 5000K
- Dimmable: Available - Contact Factory
- Distribution: Type II, III, IV (Type I available in 70" & higher only)
- Full Cutoff (No Light Spill)
- Electrical: Standard Driver: 120-277V, 60/50Hz or 240V/50/60Hz
- 0-10V Dimmable Driver
- Standard Surge Protection (SPD) 80V-100V, 10A-15A
- Controls (Add'l): Button eye photo control (PC)
- 7 pin twist lock receptacle (PTC) - connects on top with (PTC) (1)
- 3 pin twist lock receptacle (PTC)
- Housing: Cast aluminum, steel and 2" slip fit
- Finish: Super durable polyester powder coat finish. Custom finishes available, including primer and all RAL colors.
- Listings & Ratings: ETL listed to UL 1585 standard for wet locations
- LED is P60 Rated
- Warranty: 5 year limited warranty

**HERITAGE LIGHTING**  
11111 HERITAGE DRIVE, SUITE 100, FARMINGTON, CT 06030  
TEL: 860.676.1111 FAX: 860.676.1111  
WWW.HERITAGELIGHTING.COM



**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10

**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862

**TOTAL LOT AREA**  
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Design: JAC Draft: LAZ Date: 04/29/21  
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Drawing Name: 21090-PLAN.dwg

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3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
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603-772-4746  
FAX: 603-772-0227  
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Plan Name: **LIGHTING PLAN**

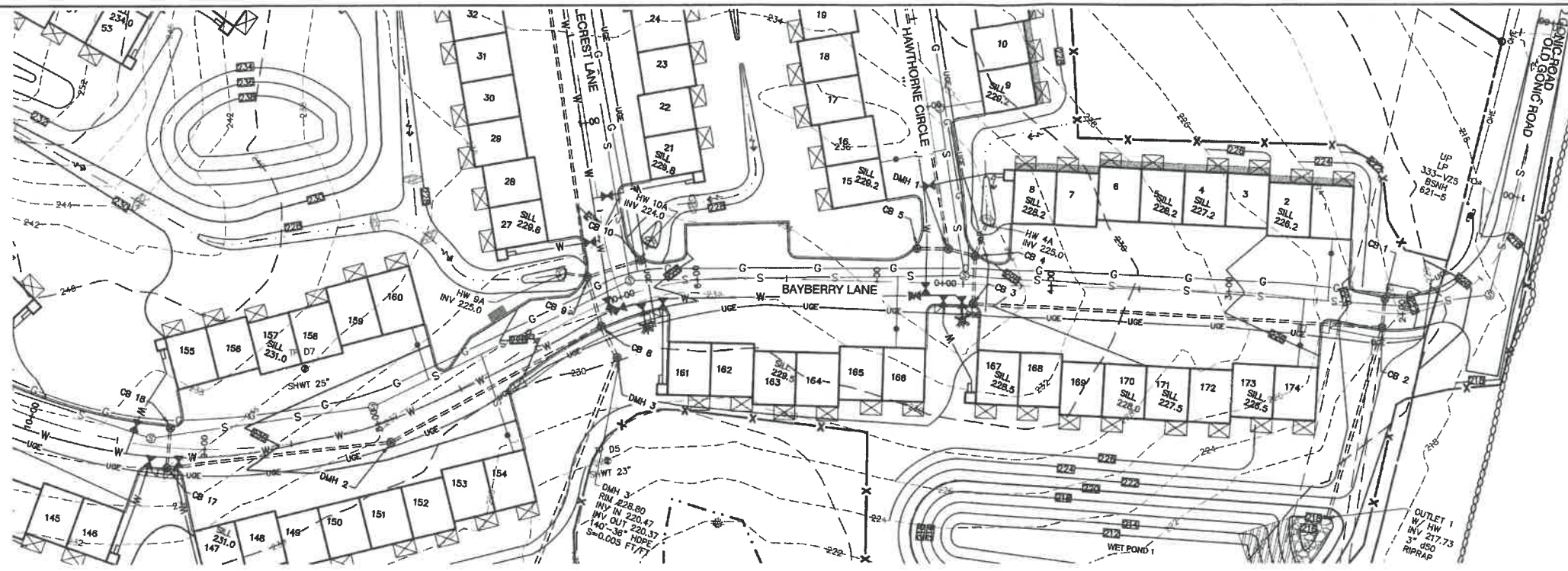
Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**

Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**L4**

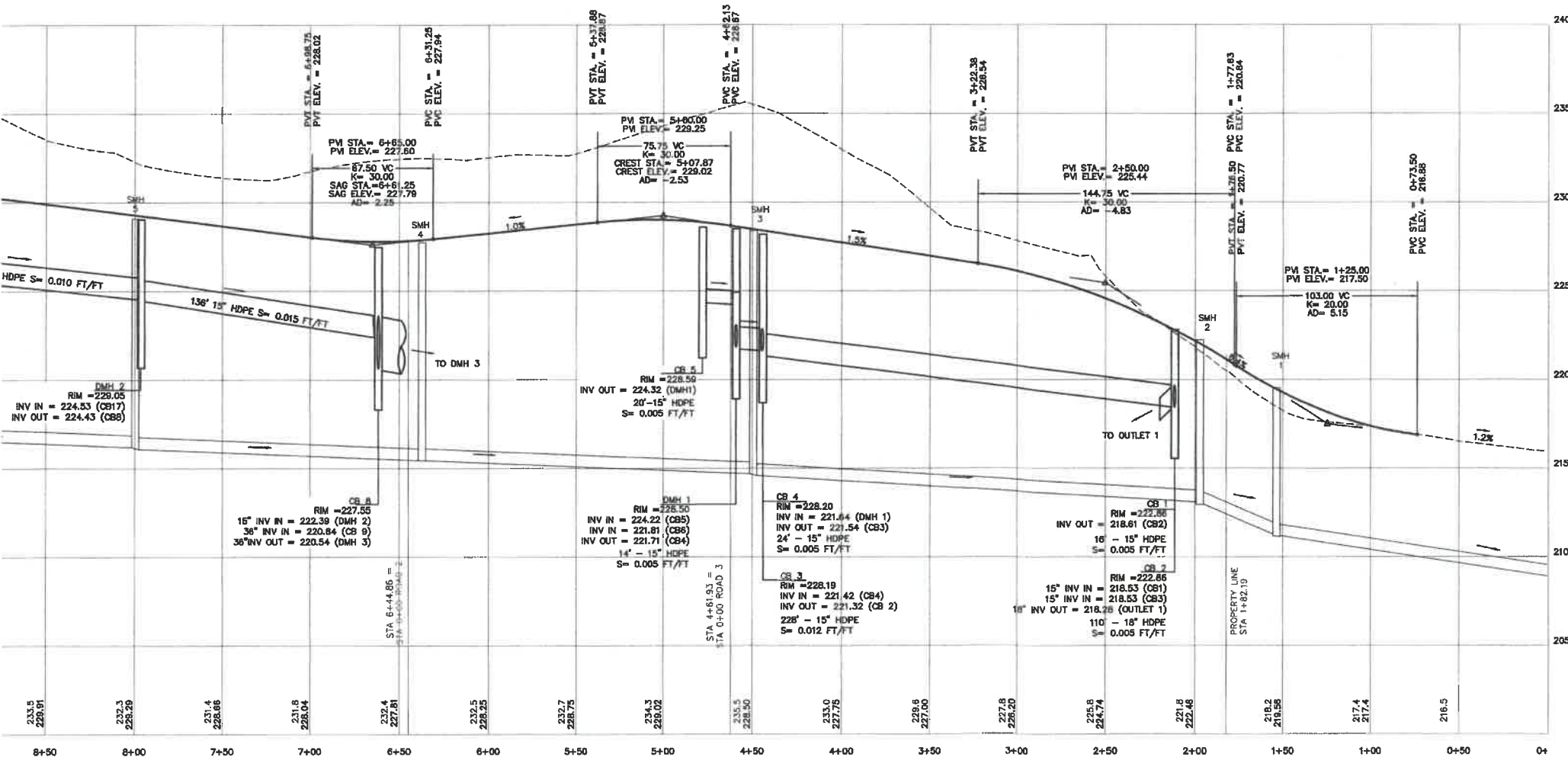
SHEET 23 OF 48  
JBE PROJECT NO. 21090



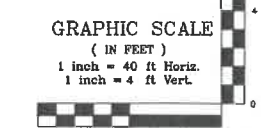


# NOTES:

- ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- AS-BUILT PLANS TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE ROADWAY.
- DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
- CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
- THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
- ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET, PRODUCT TO BE SPECIFIED BY THE ENGINEER.
- FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
- CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
- ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
- RETAINING WALLS SHALL BE DESIGNED AND STAMPED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL COORDINATE WITH MANUFACTURER PRIOR TO INSTALLATION.
- 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT.
- ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET.
- SIDEWALK TO BE INSTALLED AT TIME OF TOP COURSE PAVING ALONG WITH DRIVEWAY APRONS.
- DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES SHALL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMP BEHIND THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS FOLLOWING MAJOR STORM EVENTS. THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
- ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
- DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
- THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCORIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
- EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% AS ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-25% (IN TOTAL SAMPLE).
- EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
- COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
- SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR.



## BAYBERRY LANE



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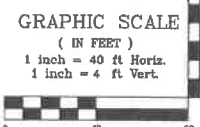
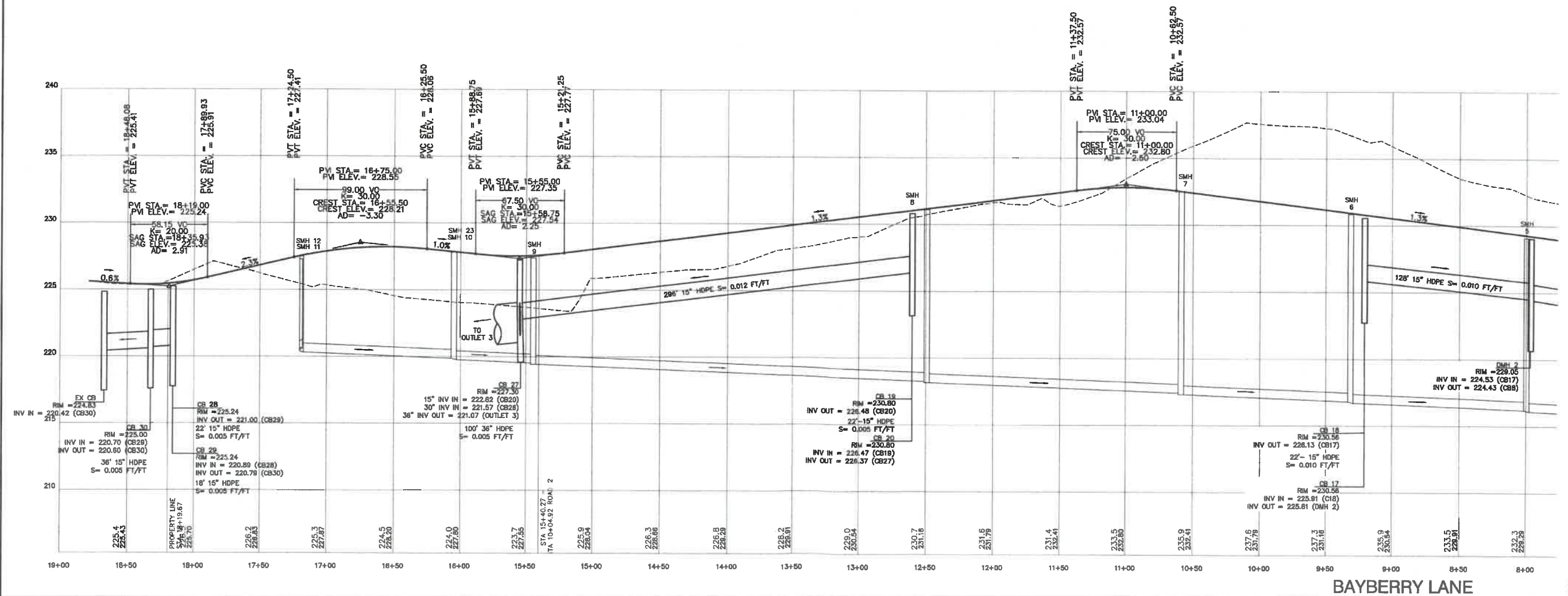
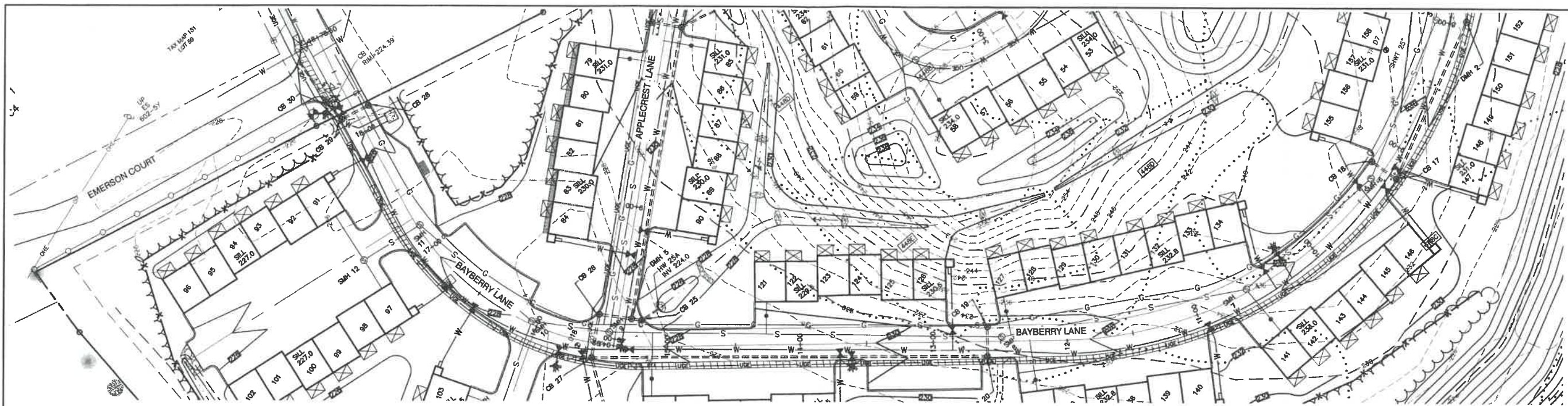
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0	11/23/21	ISSUED FOR REVIEW	LAZ
		REVISION	BY

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**J/B Jones & Beach Engineers, Inc.**  
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 FAX: 603-772-0227  
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P1**  
 SHEET 24 OF 48  
 JBE PROJECT NO. 21090





Design: JAC Draft: LAZ Date: 04/29/21  
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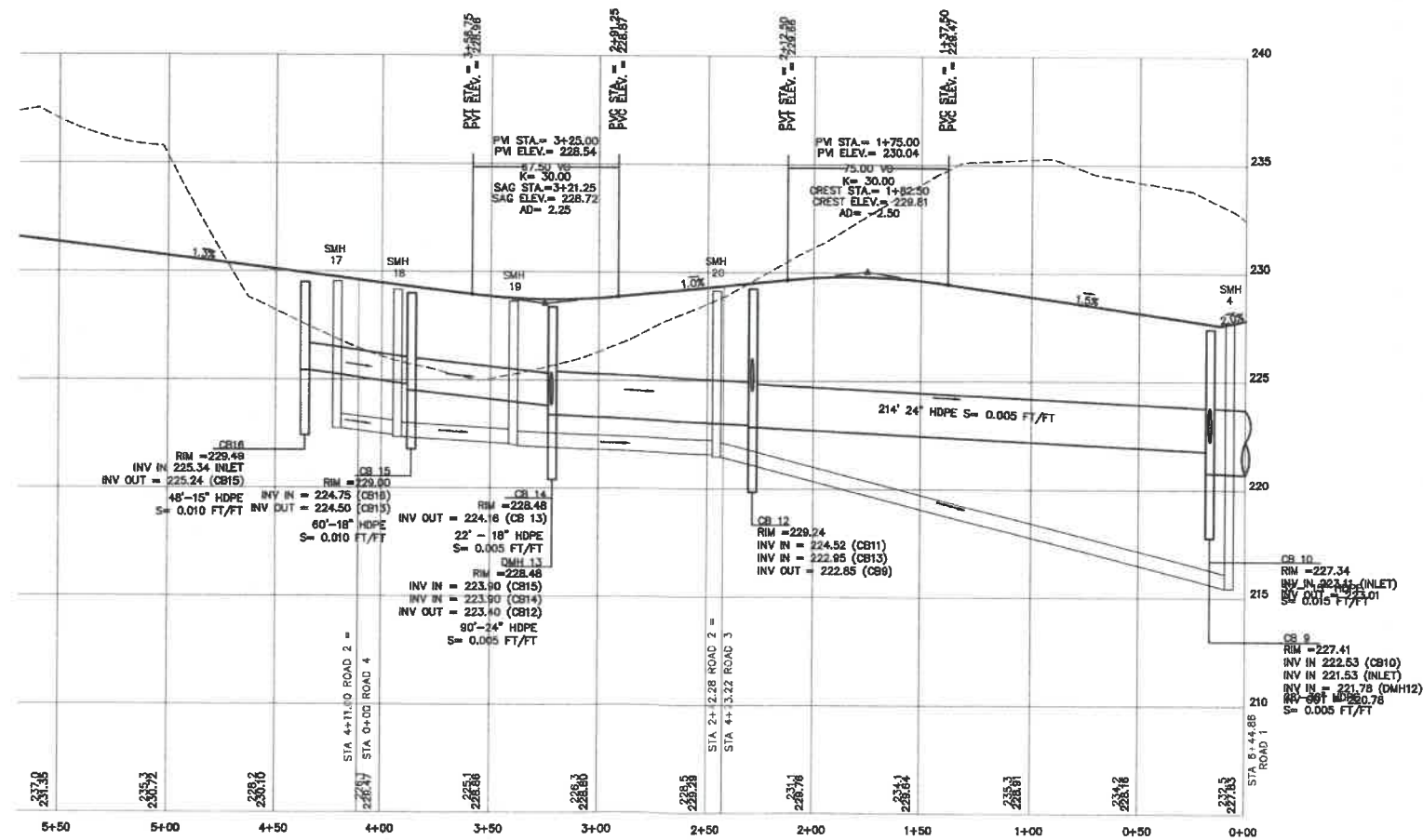
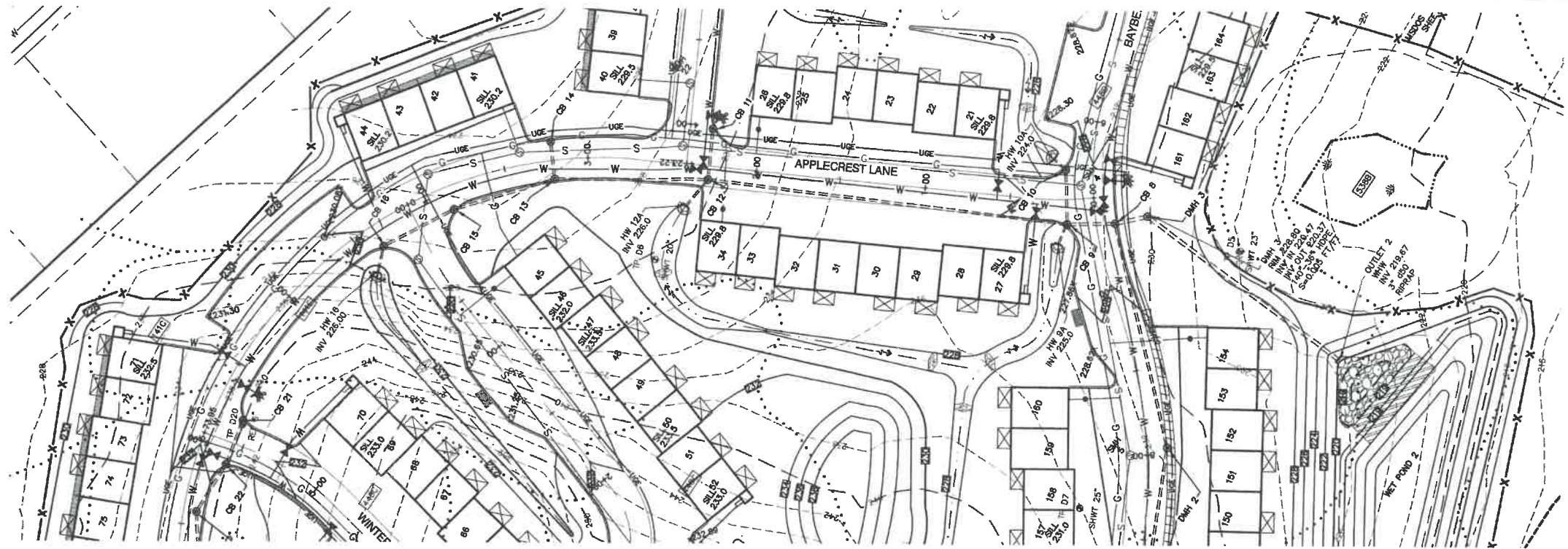
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1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

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 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P2**  
 SHEET 25 OF 48  
 JBE PROJECT NO. 21090





APPLECREST LANE

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft Horiz.  
1 inch = 4 ft Vert.

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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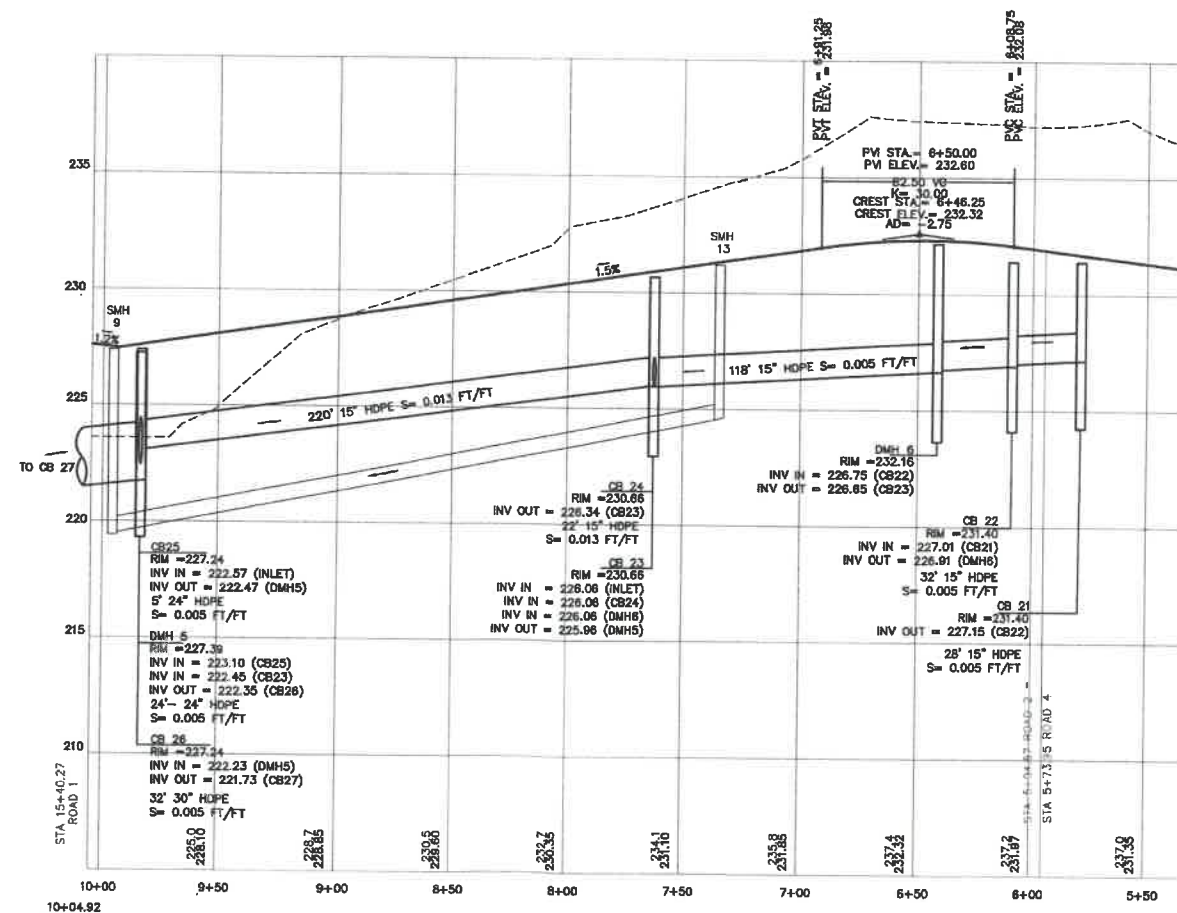
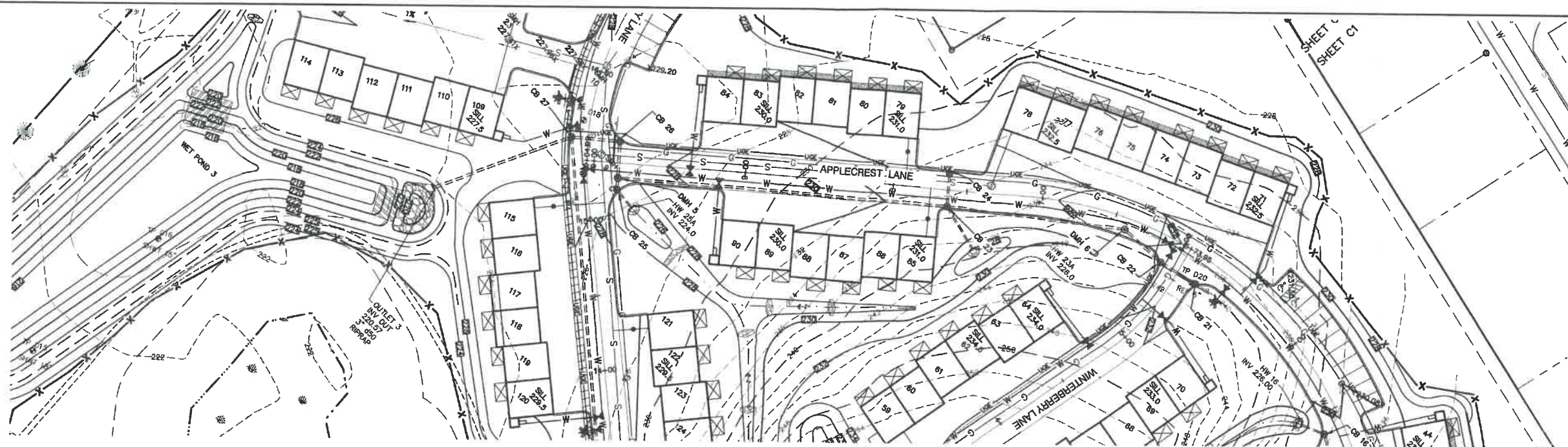
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1	1/18/22	REVISED PER CITY COMMENTS	LAZ
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603-772-4748 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P3**  
SHEET 26 OF 46  
JBE PROJECT NO. 21090





**GRAPHIC SCALE**  
( IN FEET )  
1 inch = 40 ft Horiz.  
1 inch = 4 ft Vert.

APPLECREST LANE

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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0	11/23/21	ISSUED FOR REVIEW	LAZ
REV.	DATE	REVISION	BY

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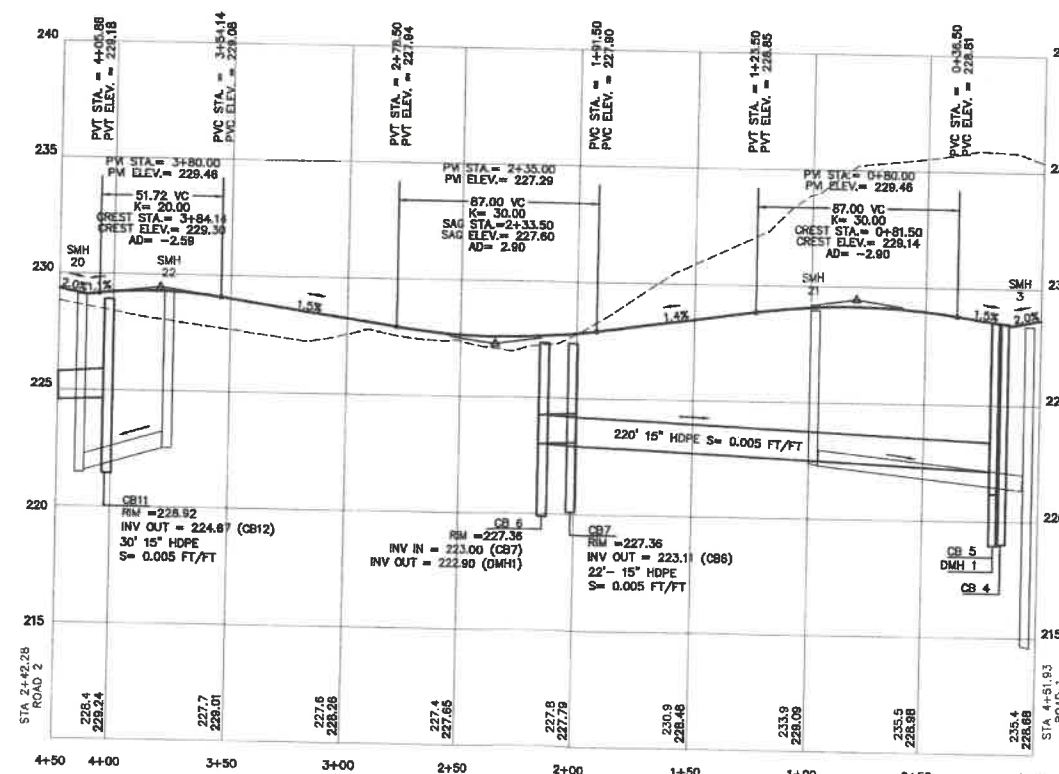
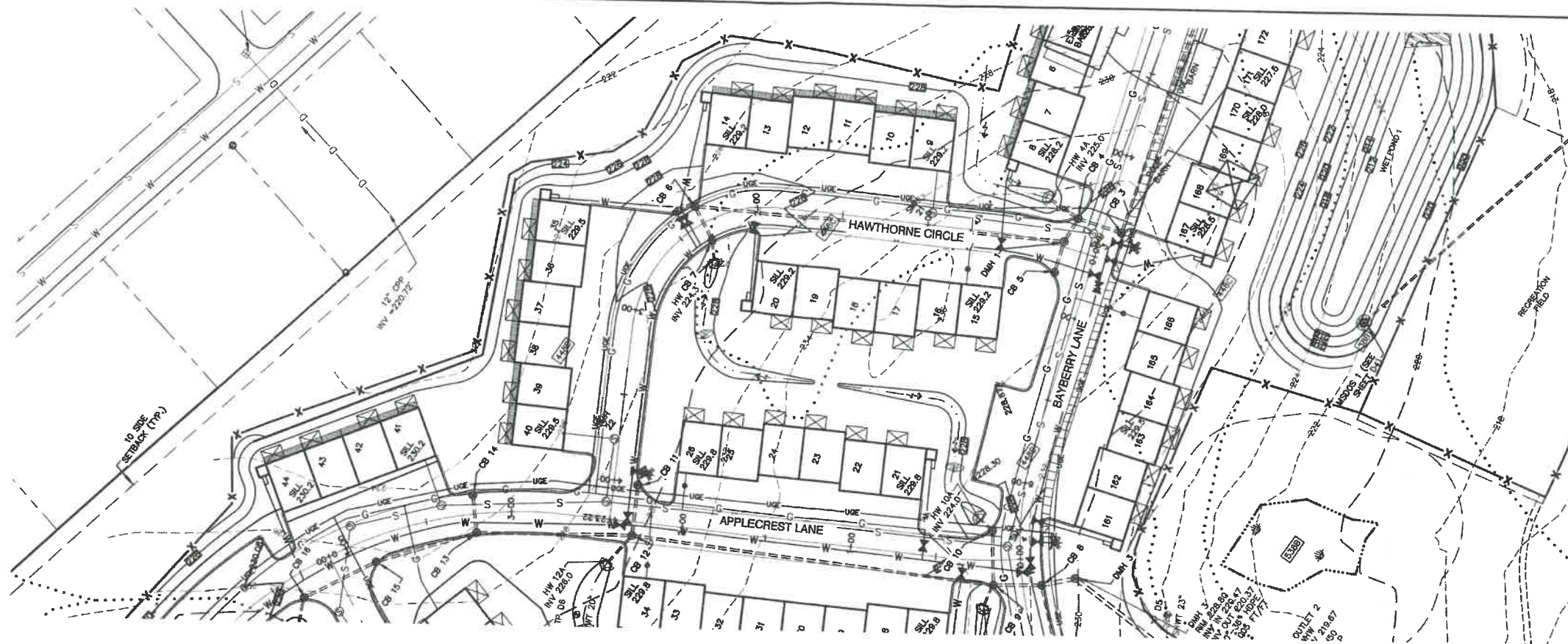
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Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.

**P4**

SHEET 27 OF 46  
JBE PROJECT NO. 21090





GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft. Horiz.  
1 inch = 4 ft. Vert.

HAWTHORNE CIRCLE

Design: JAC Draft: LA2 Date: 04/29/21  
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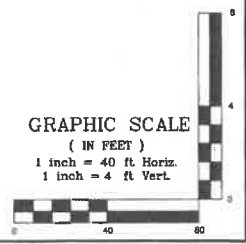
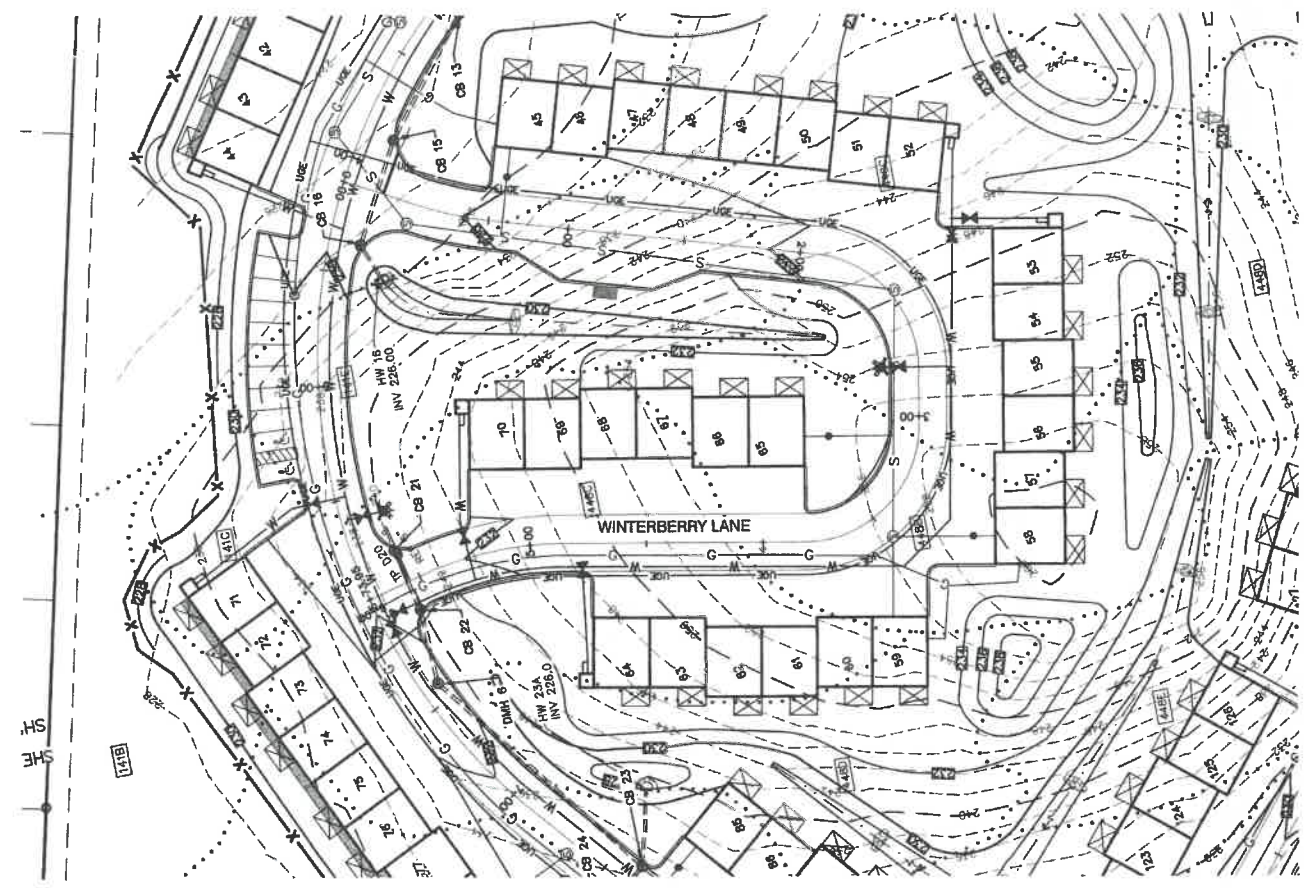
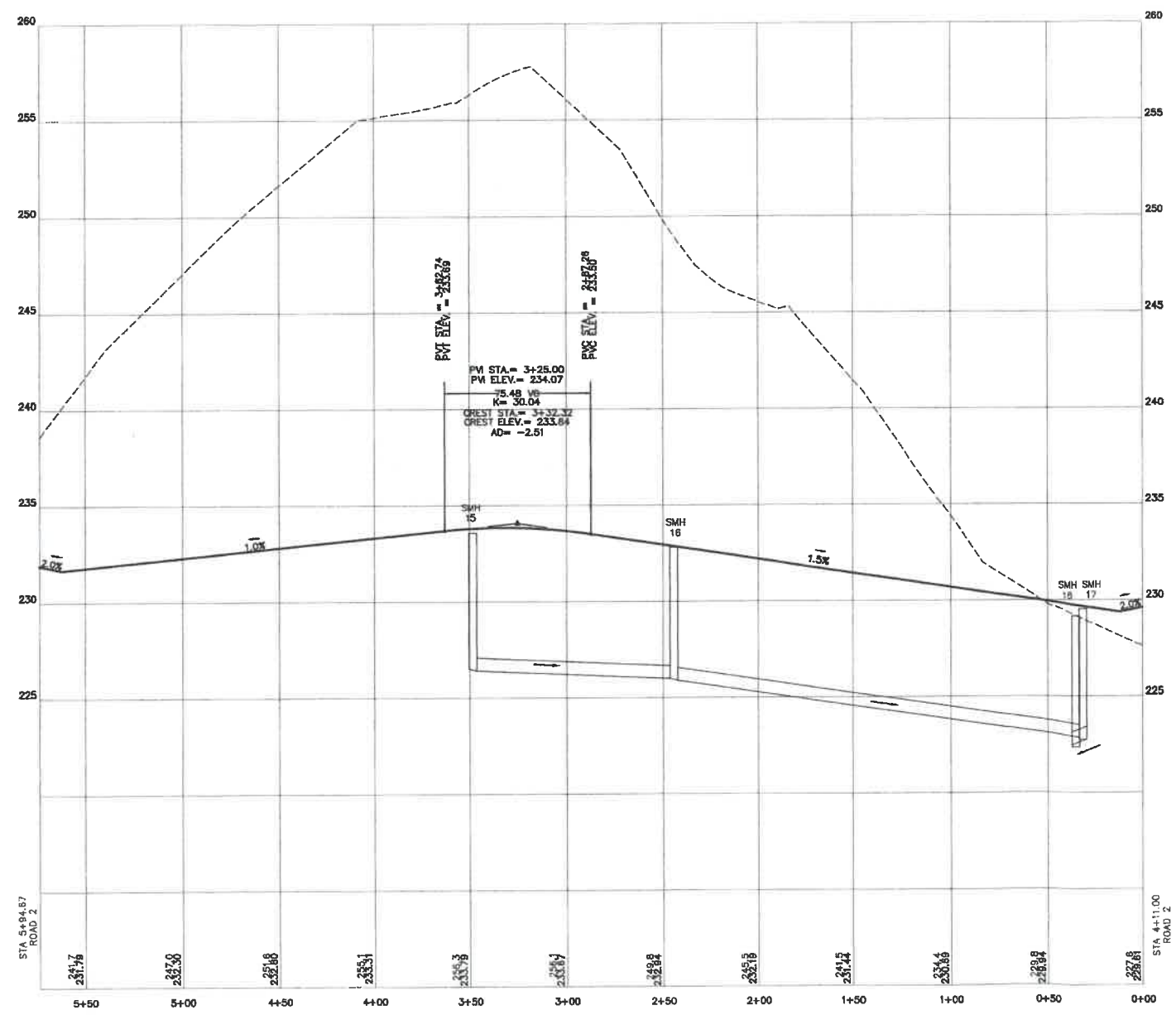
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Plan Name: **PLAN AND PROFILE**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P5**  
SHEET 28 OF 48  
JBE PROJECT NO. 21090





WINTERBERRY LANE

Design: JAC Draft: LAZ Date: 04/29/21  
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 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>PLAN AND PROFILE</b>
Project:	<b>BAYBERRY COMMONS</b>
Owner of Record:	<b>19 OLD GONIC ROAD, ROCHESTER, NH</b>
	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE</b>
	<b>19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.  
**P6**  
 SHEET 29 OF 48  
 JBE PROJECT NO. 21090





Design: JAC Draft: LAZ Date: 04/29/21  
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Plan Name: **SEWER PLAN AND PROFILE**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

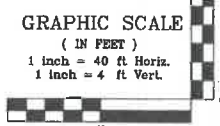
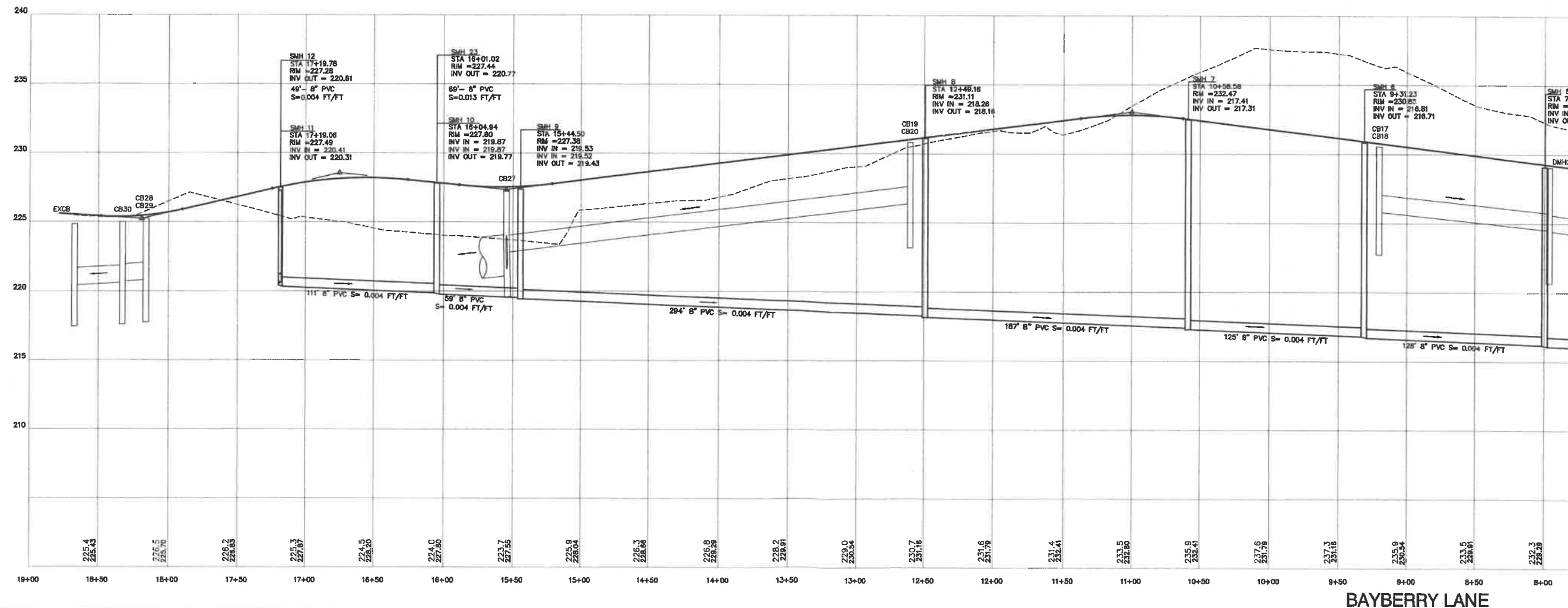
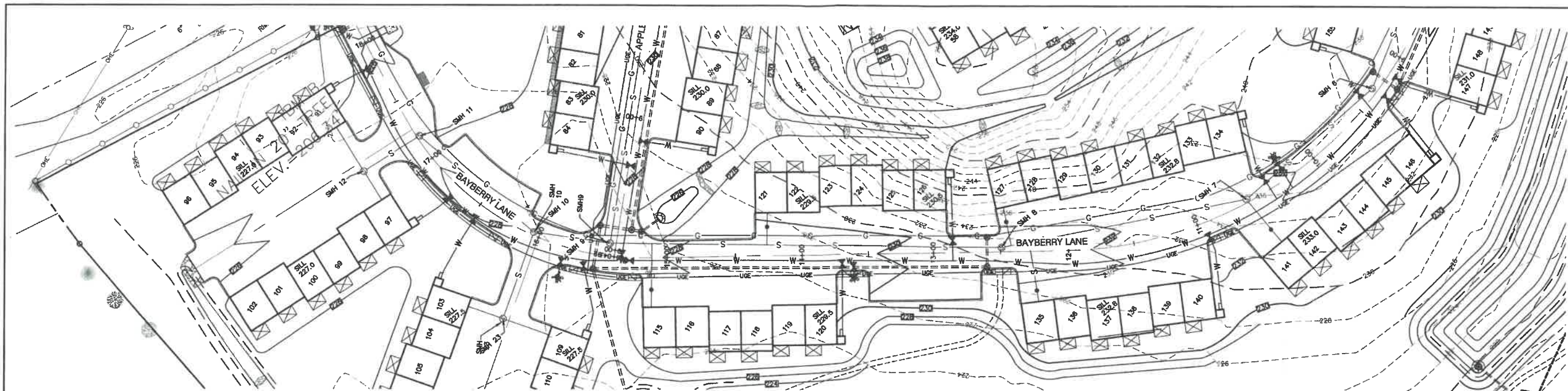
GRAPHIC SCALE  
 (IN FEET)  
 1 inch = 40 ft Horiz.  
 1 inch = 4 ft Vert.

DRAWING No.

**P7**

SHEET 30 OF 48  
 JBE PROJECT NO. 21090





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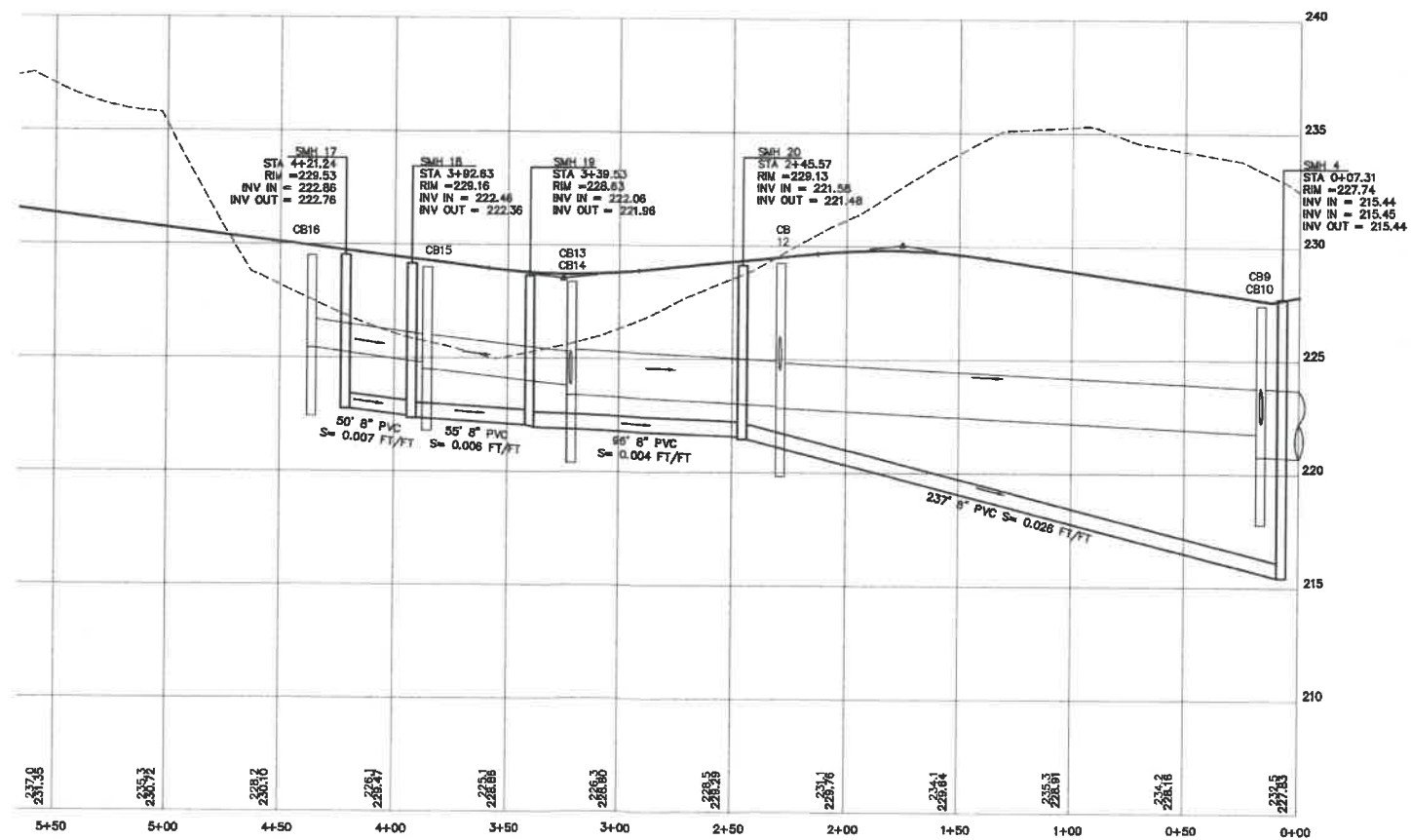
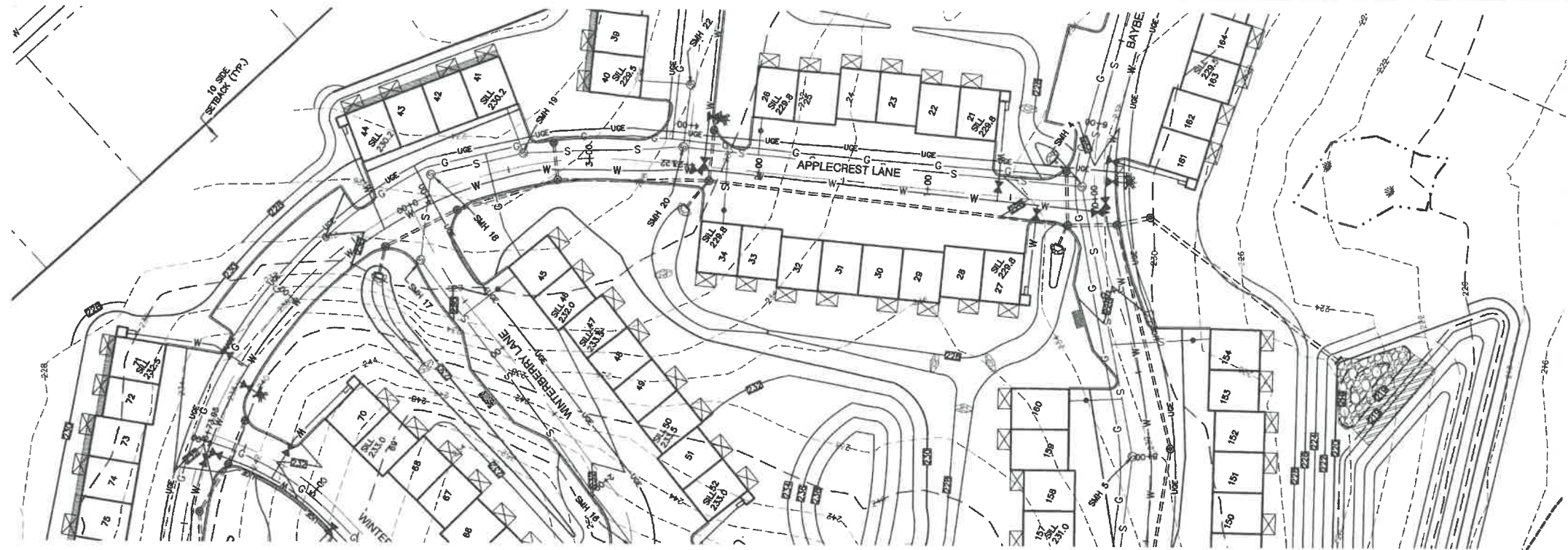
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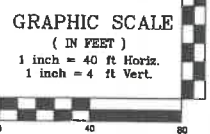
Plan Name: **SEWER PLAN AND PROFILE**  
 Project: **BAYBERRY COMMONS**  
 19 OLD GONIC ROAD, ROCHESTER, NH  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.  
**P8**  
 SHEET 31 OF 46  
 JBE PROJECT NO. 21090





APPLECREST LANE



Design: JAC Draft: LAZ Date: 04/29/21  
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 Drawing Name: 21090-PLAN.dwg  
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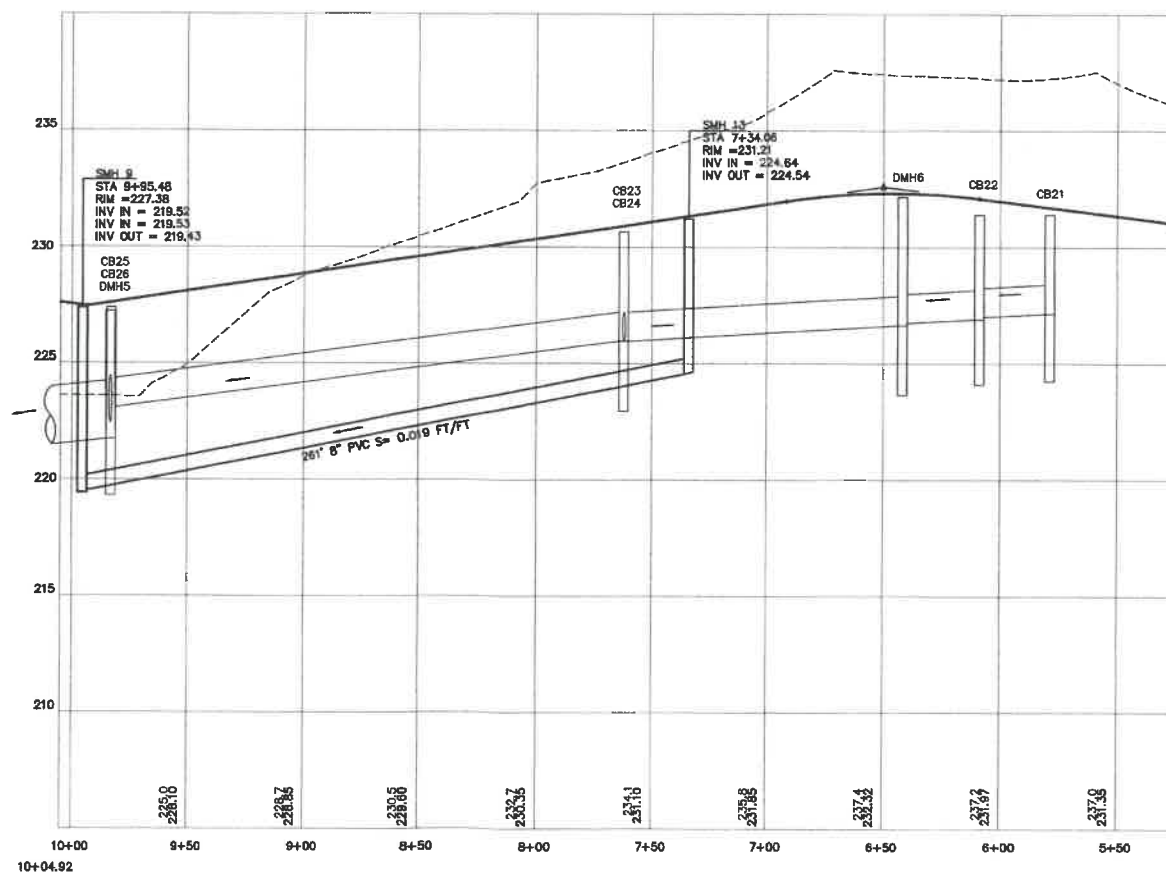
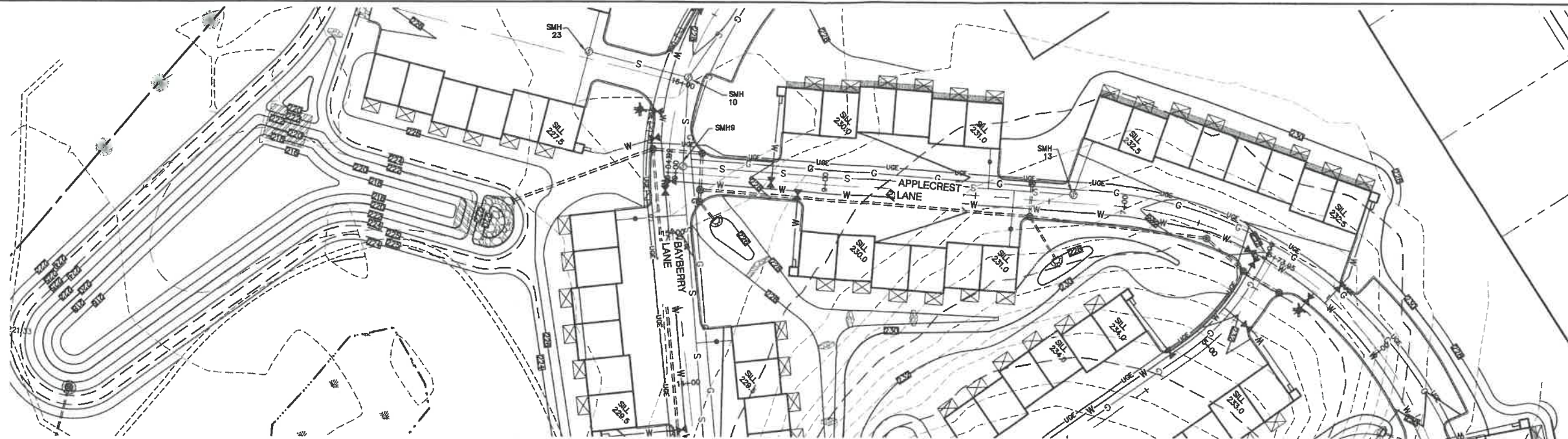
REV.	DATE	REVISION	BY
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 65 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PLAN AND PROFILE**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No. **P9**  
 SHEET 32 OF 48  
 JBE PROJECT NO. 21090





APPLECREST LANE

GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft Horiz.  
1 inch = 4 ft Vert.



Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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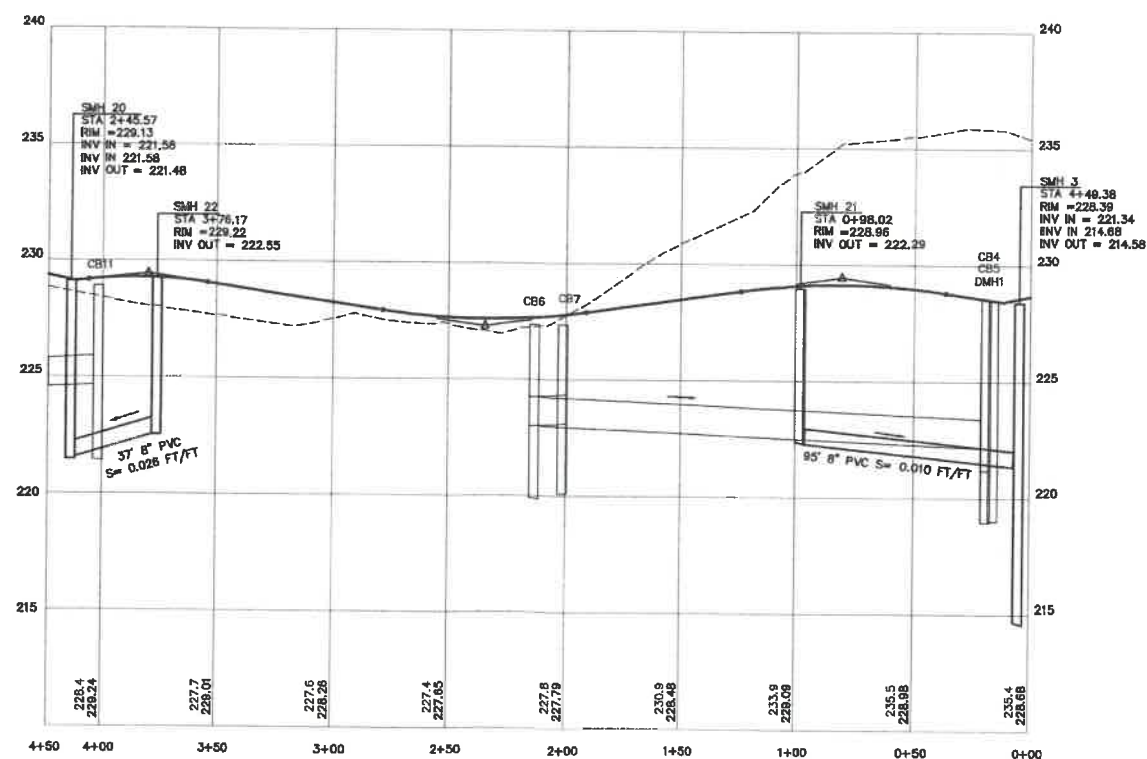
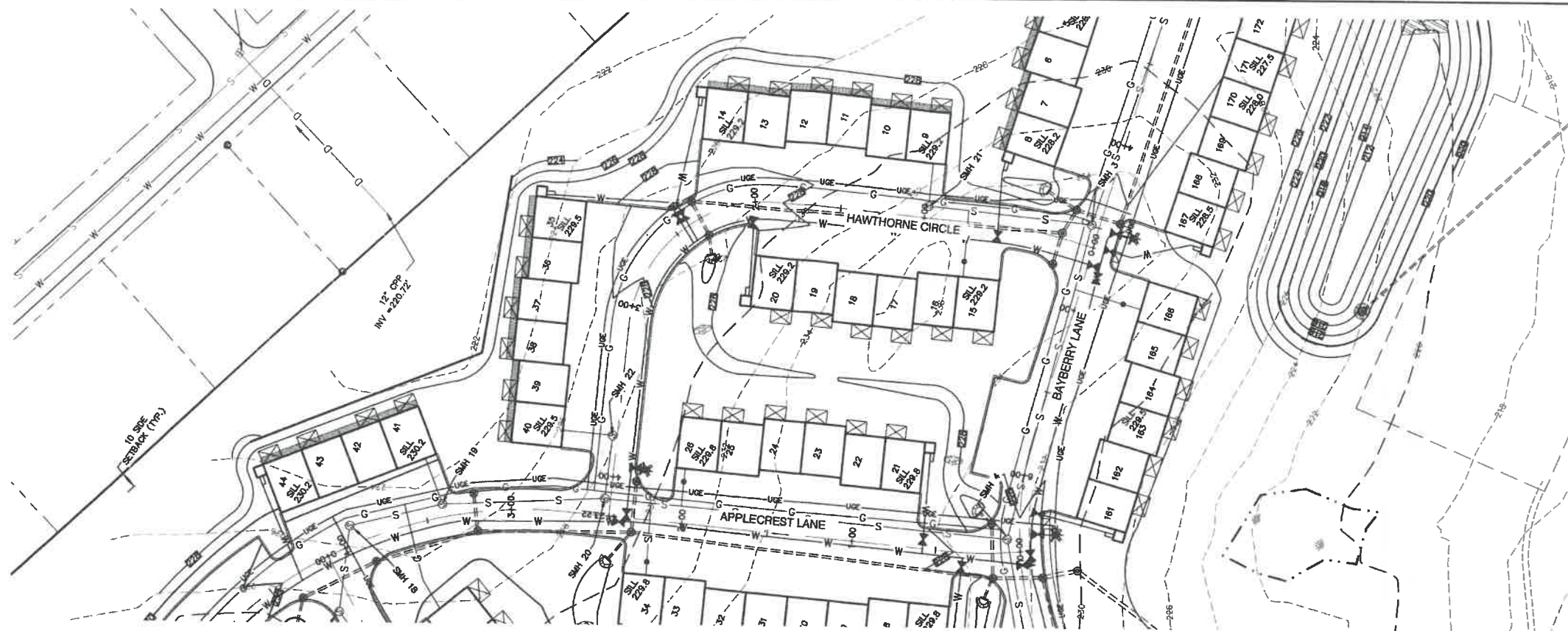
REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Civil Engineering Services  
603-772-4748 FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**  
Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P10**  
SHEET 33 OF 46  
JBE PROJECT NO. 21090





GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft Horiz.  
1 inch = 4 ft Vert.

HAWTHORNE CIRCLE

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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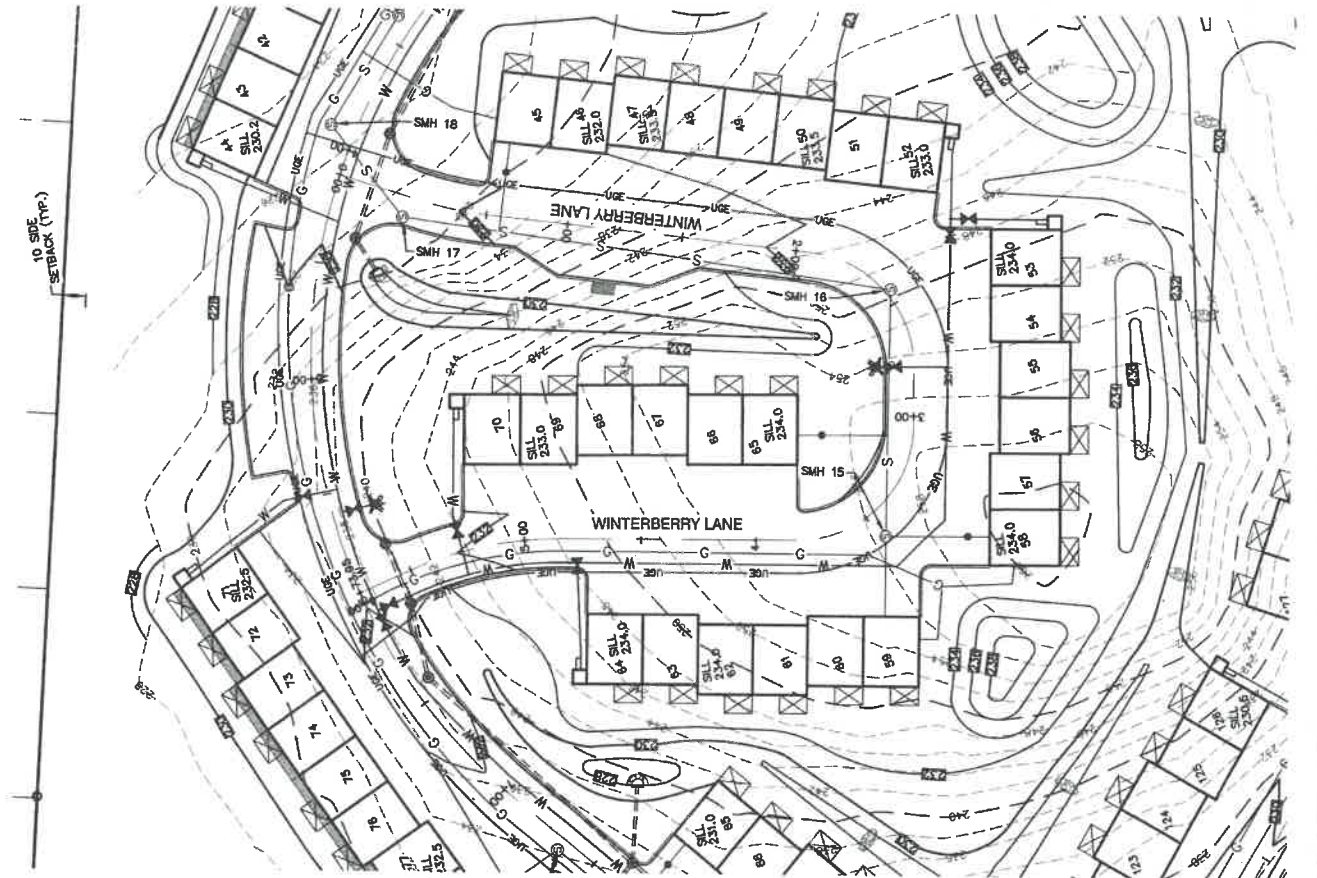
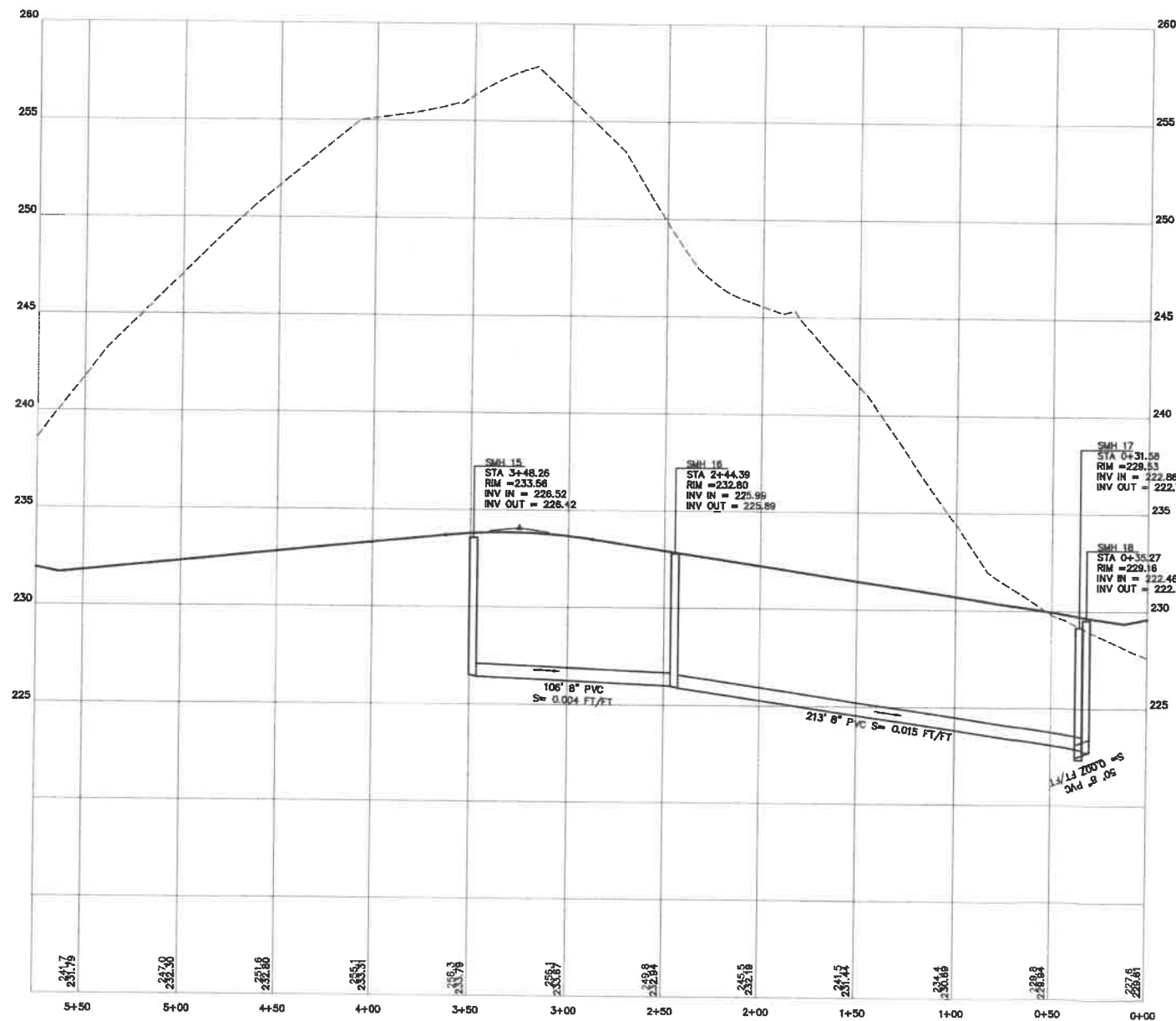
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Civil Engineering Services  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

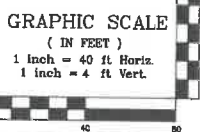
Plan Name: **SEWER PLAN AND PROFILE**  
Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P11**  
SHEET 34 OF 46  
JBE PROJECT NO. 21090





WINTERBERRY LANE



Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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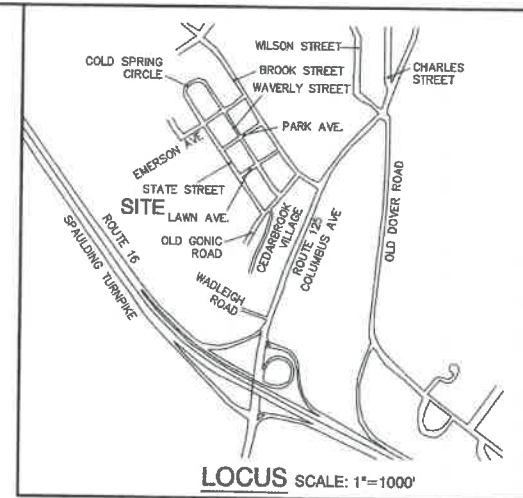
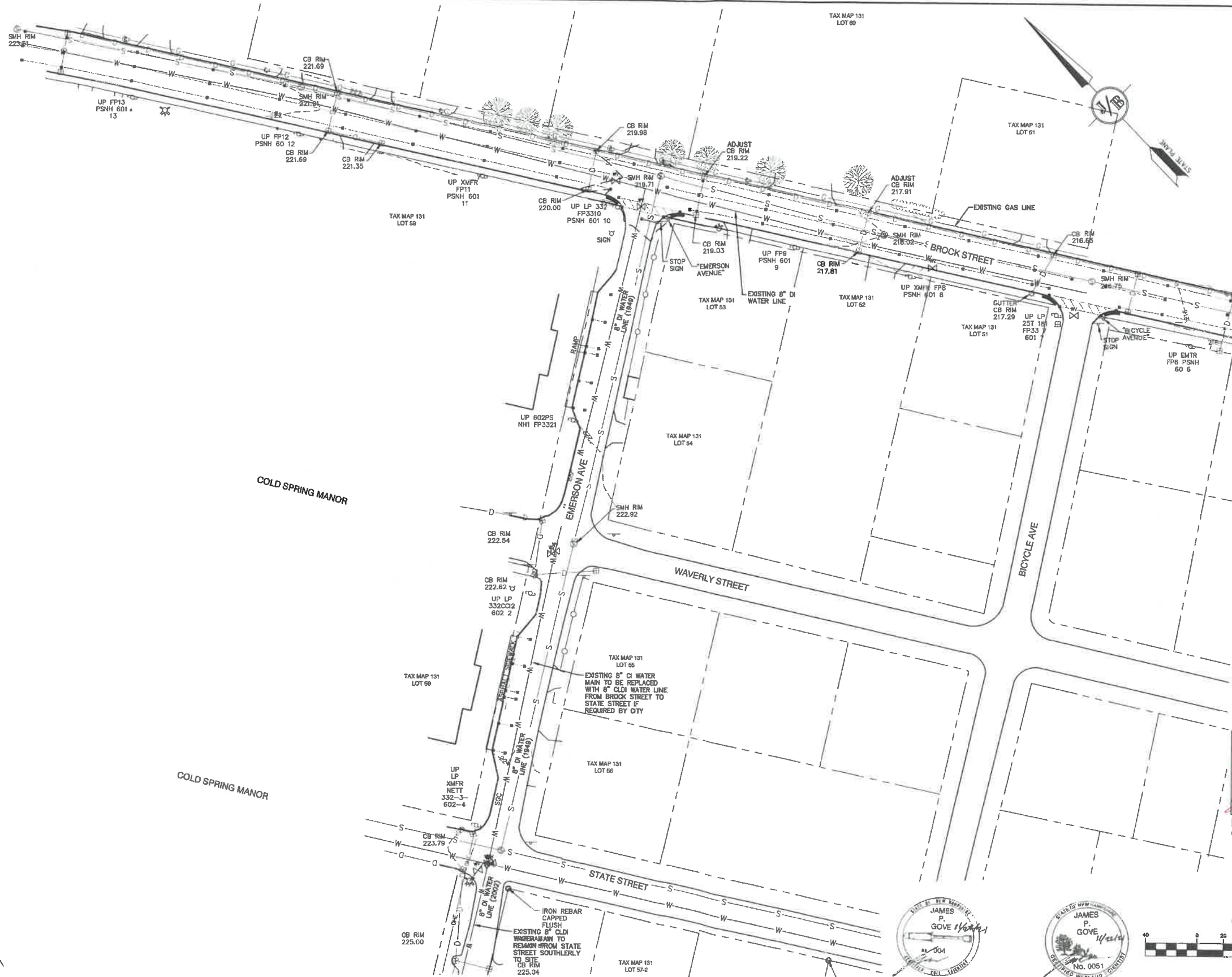
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Civil Engineering Services  
E-MAIL: JBE@JONESANDBEACH.COM  
603-772-4748 FAX: 603-772-0227

Plan Name: **SEWER PLAN AND PROFILE**  
Project: **BAYBERRY COMMONS  
19 OLD GONIC ROAD, ROCHESTER, NH**  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**P12**  
SHEET 35 OF 46  
JBE PROJECT NO. 21090





**SOIL NOTES:**

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY (SSSS) WAS PRODUCED JULY 21, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT 19 OLD GONIC ROAD, ROCHESTER, NH.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSS SYM.	SSSS MAP NAME	HISS SYM.	HYDRO. SOIL GRP.
953	BOXFORD (SOMEWHAT POORLY DRAINED)	453	C
38	ELDRIDGE LOAMY SAND	343	C
141	HOLLIS-ROCK OUTCROP-CHATFIELD	228	D
448	SOTUATE FINE SANDY LOAM	323	C
5	ODDORTHENTS, LOAMY	762	N/A
538	SQUAMSCOTT LOAMY SAND	543	C

**SLOPE PHASE:**  
0-8% B    8-15% C    15-25% D  
25%+ E

**CERTIFICATION:**

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

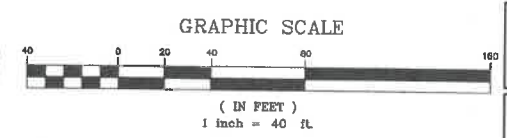
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*[Signature]*  
DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 3/15/2022

DAVID M. COLLIER, LLS 892  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,695 SQ. FT. ± 30.07 ACRES ±



Design: JAC    Draft: LAZ    Date: 04/29/21  
Checked: JAC    Scale: AS NOTED    Project No.: 21090  
Drawing Name: 21090-PLAN.dwg

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REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B** Jones & Beach Engineers, Inc.

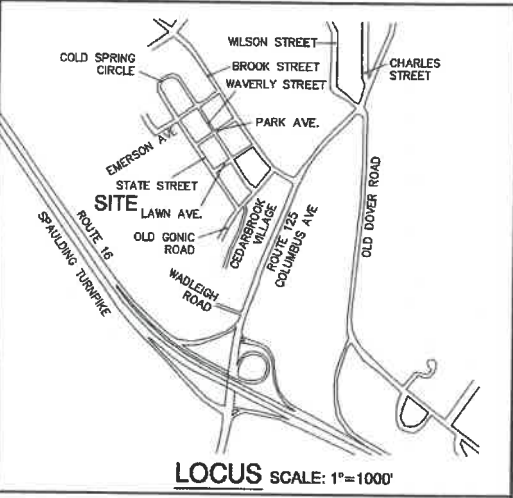
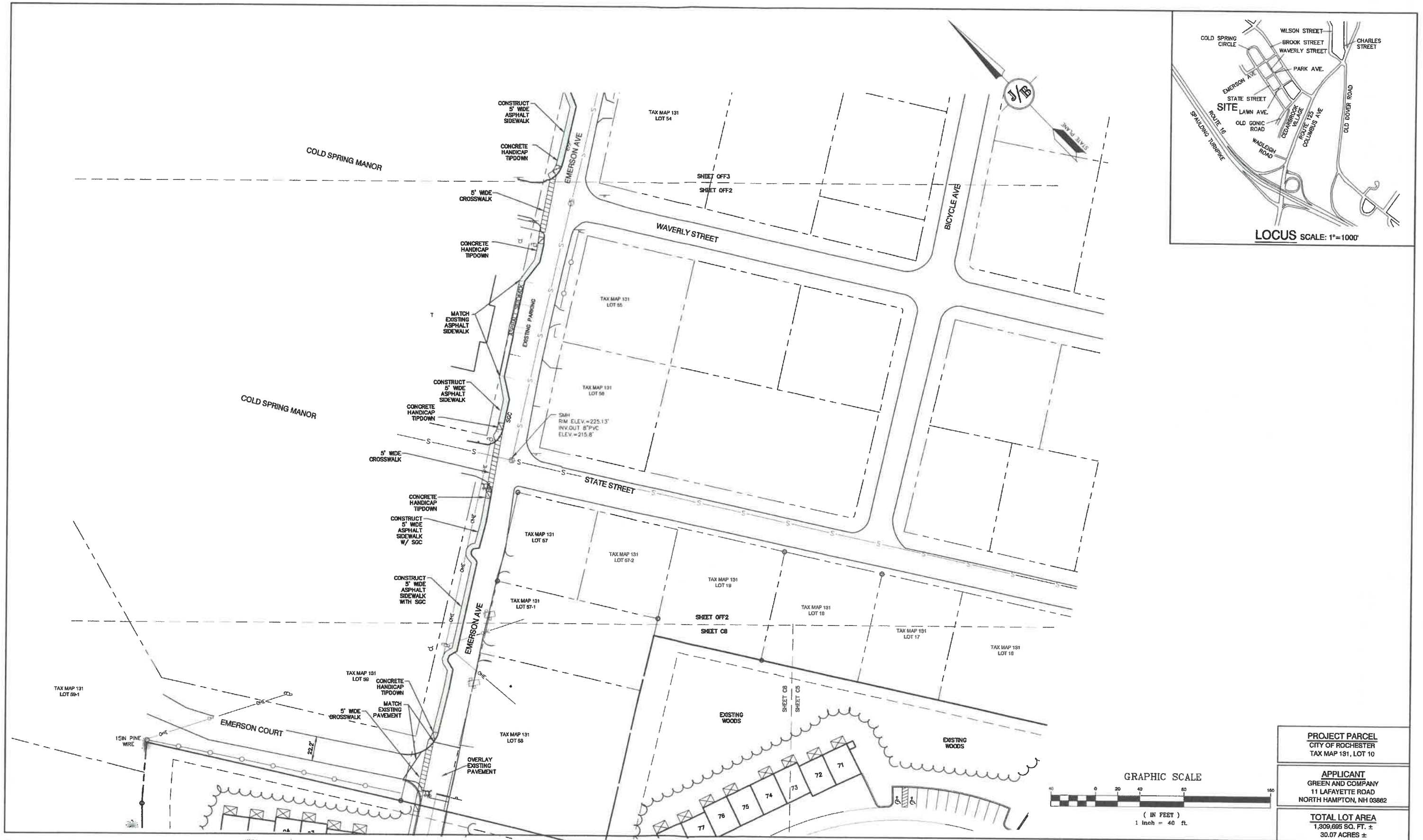
85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

Designed and Produced in NH  
**Civil Engineering Services**  
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	OFFSITE EXISTING CONDITIONS PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.  
**OFF1**  
SHEET 38 OF 46  
JBE PROJECT NO. 21090





LOCUS SCALE: 1"=1000'

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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REV.	DATE	REVISION	BY
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

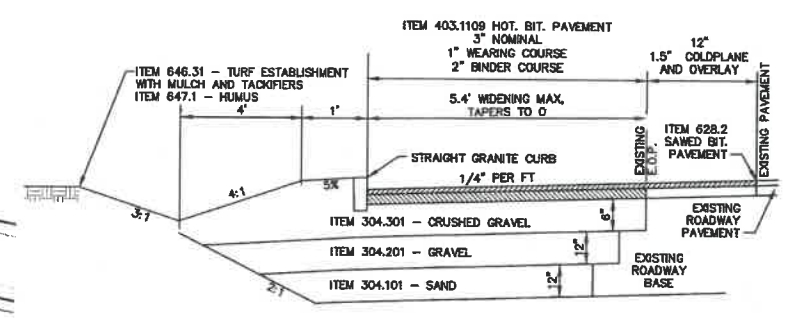
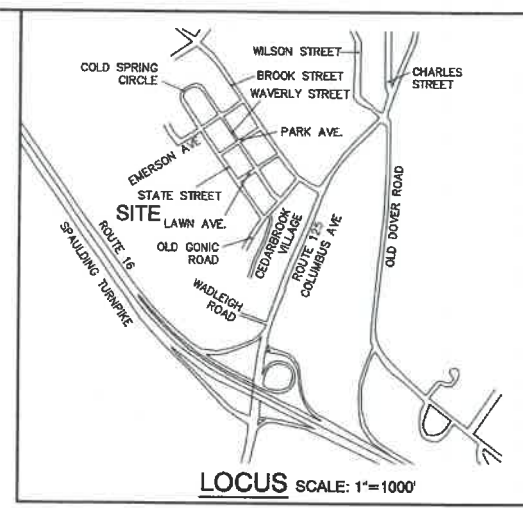
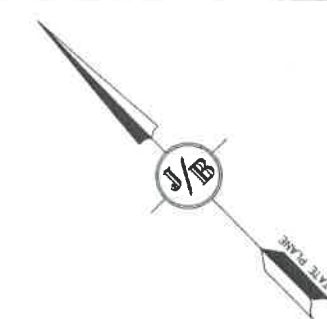
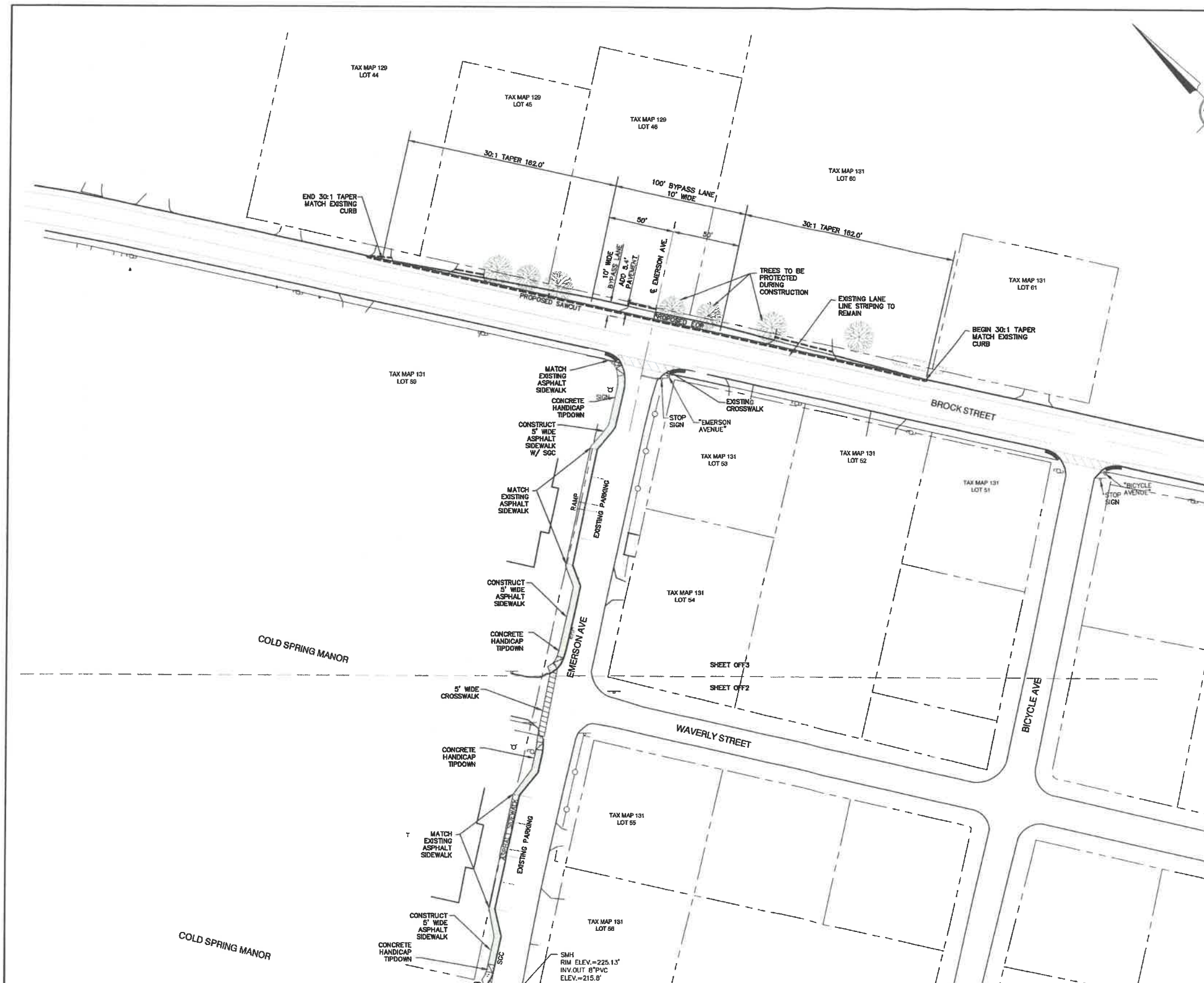
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
803-772-4746 FAX: 803-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OFFSITE SITE PLAN**  
Project: **BAYBERRY COMMONS**  
19 OLD GONIC ROAD, ROCHESTER, NH  
Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

**PROJECT PARCEL**  
CITY OF ROCHESTER  
TAX MAP 131, LOT 10  
**APPLICANT**  
GREEN AND COMPANY  
11 LAFAYETTE ROAD  
NORTH HAMPTON, NH 03862  
**TOTAL LOT AREA**  
1,309,695 SQ. FT. ±  
30.07 ACRES ±

DRAWING No.  
**OFF2**  
SHEET 37 OF 46  
JBE PROJECT NO. 21090

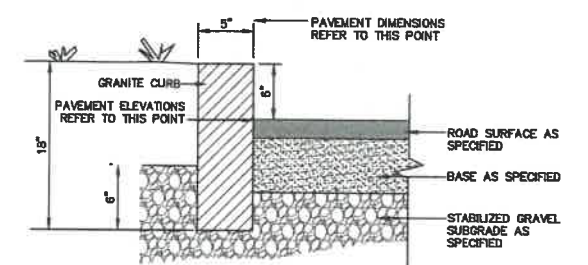




NOTE: TESTING OF IN-SITU SAND MATERIAL MAY BE PERFORMED TO DETERMINE IF MATERIAL WILL MEET SAND SPECIFICATION AND CAN BE USED FOR ITEM 304.101 - SAND

**TYPICAL SECTION - SHOULDER WIDENING**

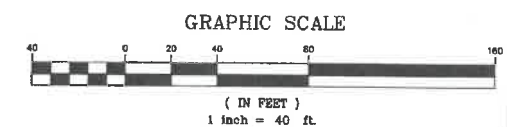
NOT TO SCALE



- NOTES:**
1. JOINTS BETWEEN STONES SHALL BE MORTARED.
  2. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.

**5\"/>**

NOT TO SCALE



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,695 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21  
 Checked: JAC Scale: AS NOTED Project No.: 21090  
 Drawing Name: 21090-PLAN.dwg  
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REV.	DATE	REVISION	BY
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1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**Jones & Beach Engineers, Inc.**  
 Civil Engineering Services  
 85 Portsmouth Ave.  
 PO Box 218  
 Stratham, NH 03885

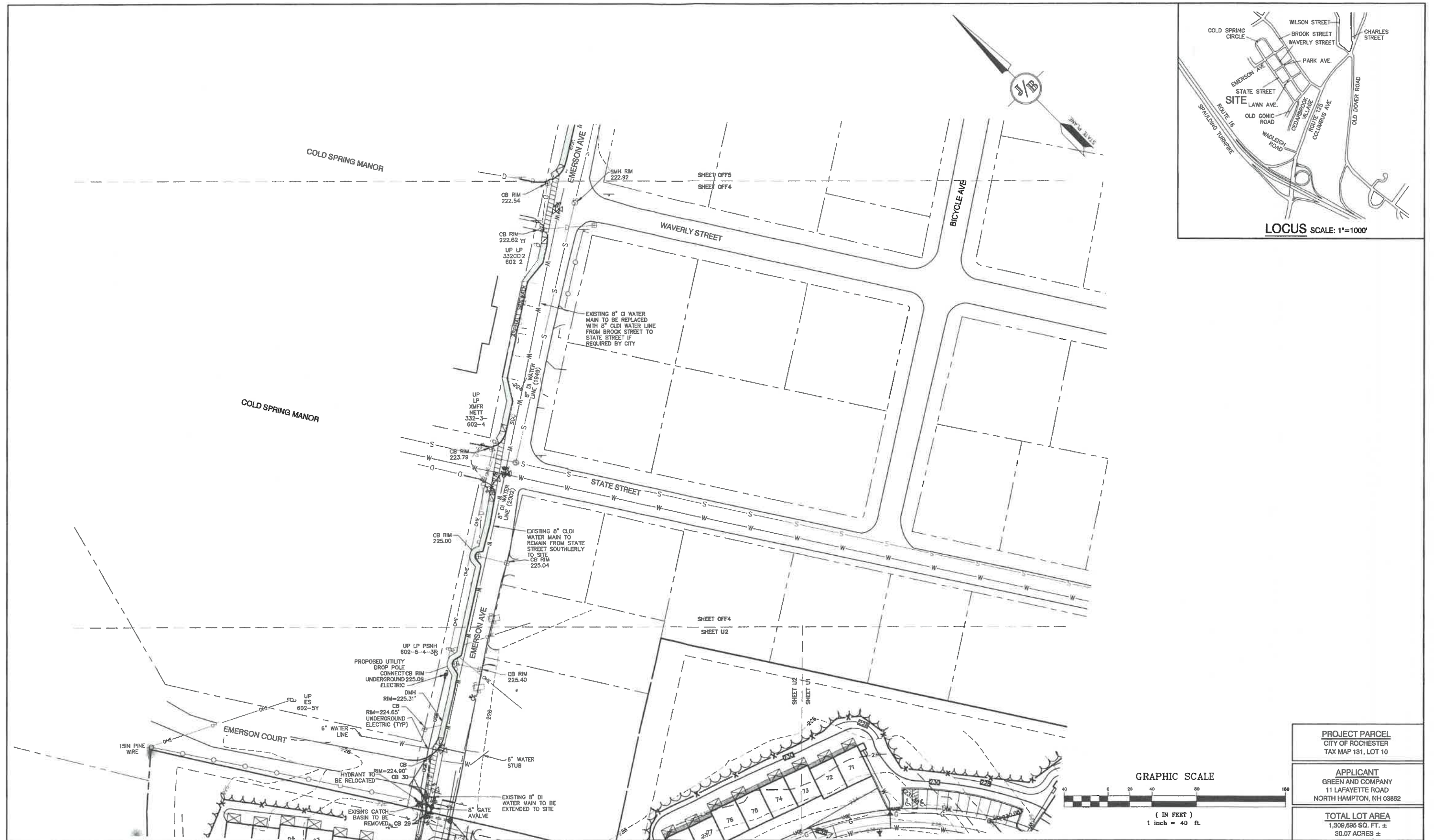
Designed and Produced in NH

803-772-4748  
 FAX: 803-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>OFFSITE SITE PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.  
**OFF3**  
 SHEET 38 OF 46  
 JBE PROJECT NO. 21090





Design: JAC Draft: LAZ Date: 04/29/21  
 Checked: JAC Scale: AS NOTED Project No.: 21090  
 Drawing Name: 21090-PLAN.dwg  
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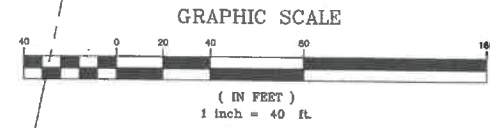
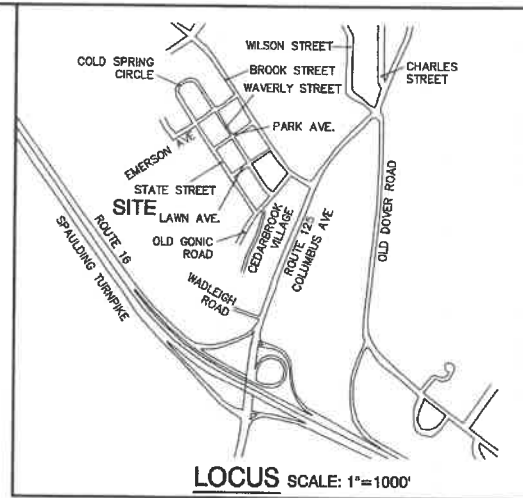
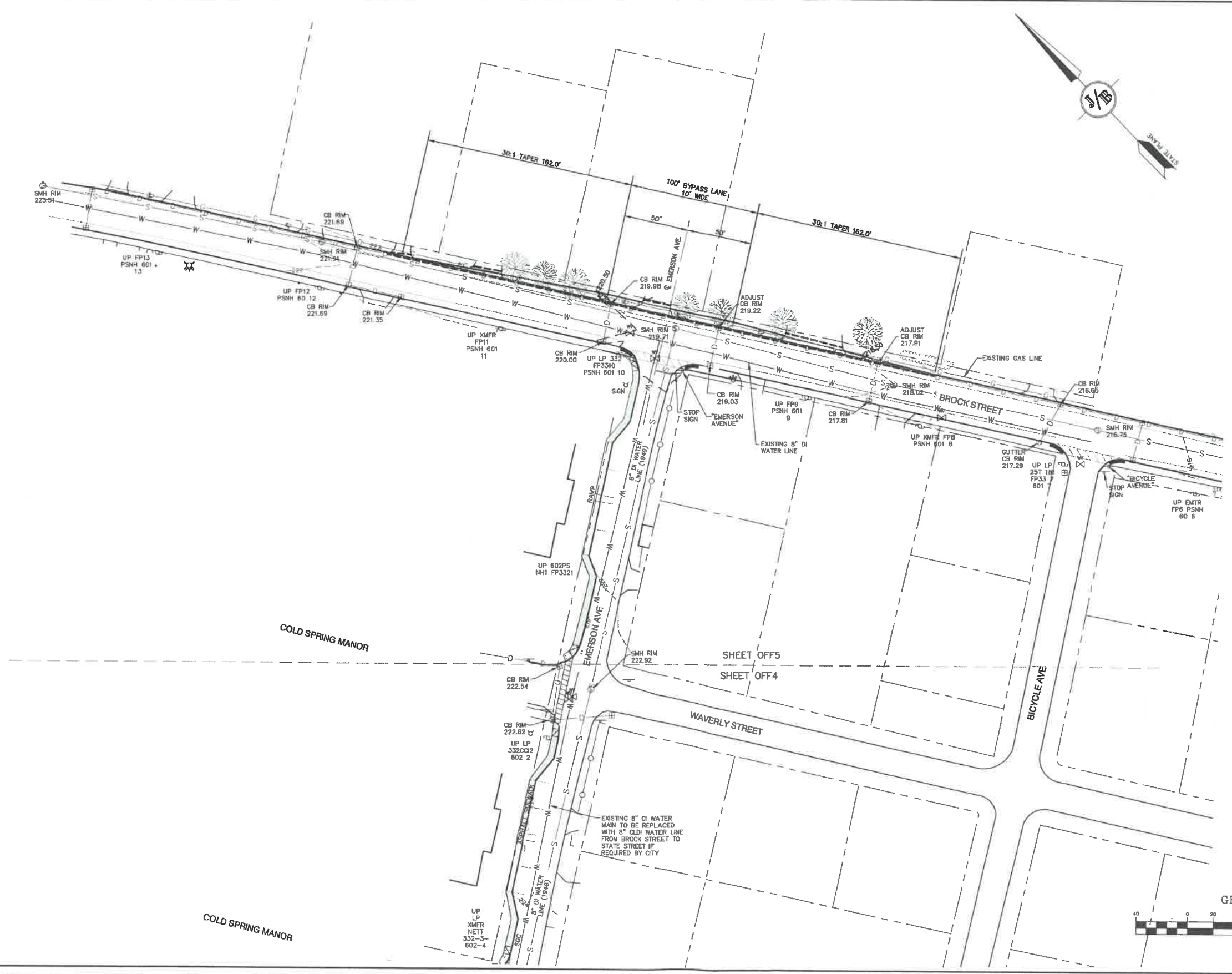
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 Civil Engineering Services  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OFFSITE GRADING AND UTILITY PLAN**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**OFF4**  
 SHEET 39 OF 48  
 JBE PROJECT NO. 21090





PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,309,695 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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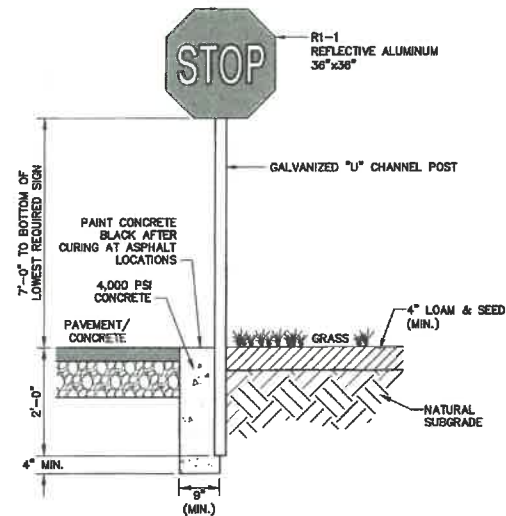
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**J/B Jones & Beach Engineers, Inc.**  
Designed and Produced in NH  
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Civil Engineering Services  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

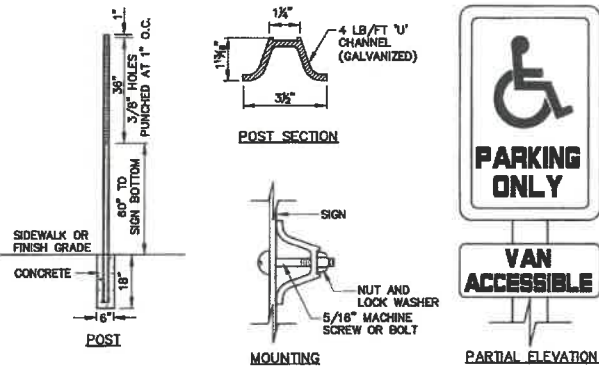
Plan Name:	OFFSITE GRADING AND UTILITY PLAN
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.  
**OFF5**  
SHEET 40 OF 46  
JBE PROJECT NO. 21090

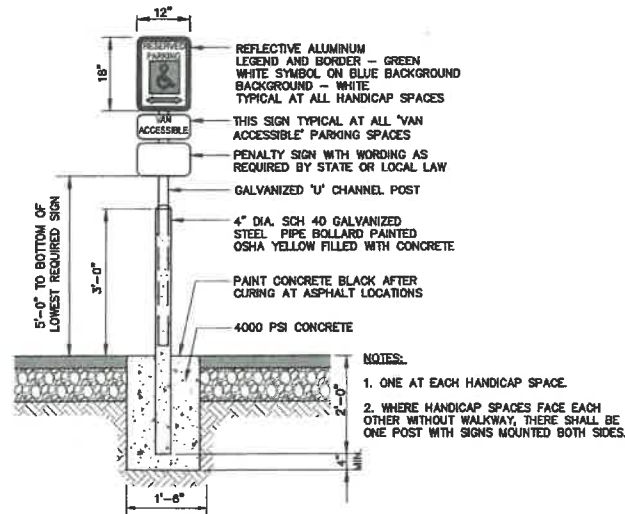




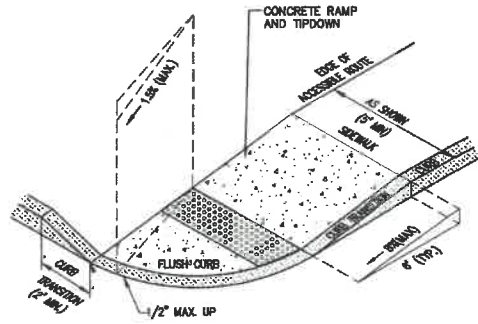
STOP SIGN (R1-1)  
NOT TO SCALE



HANDICAP SIGN DETAILS  
NOT TO SCALE

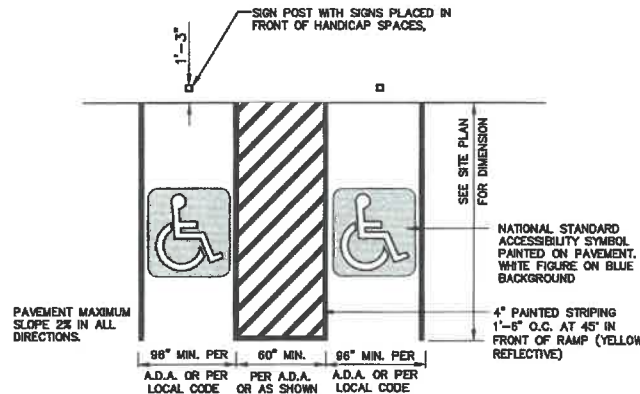


HANDICAP PARKING SIGN (R7-8)  
NOT TO SCALE

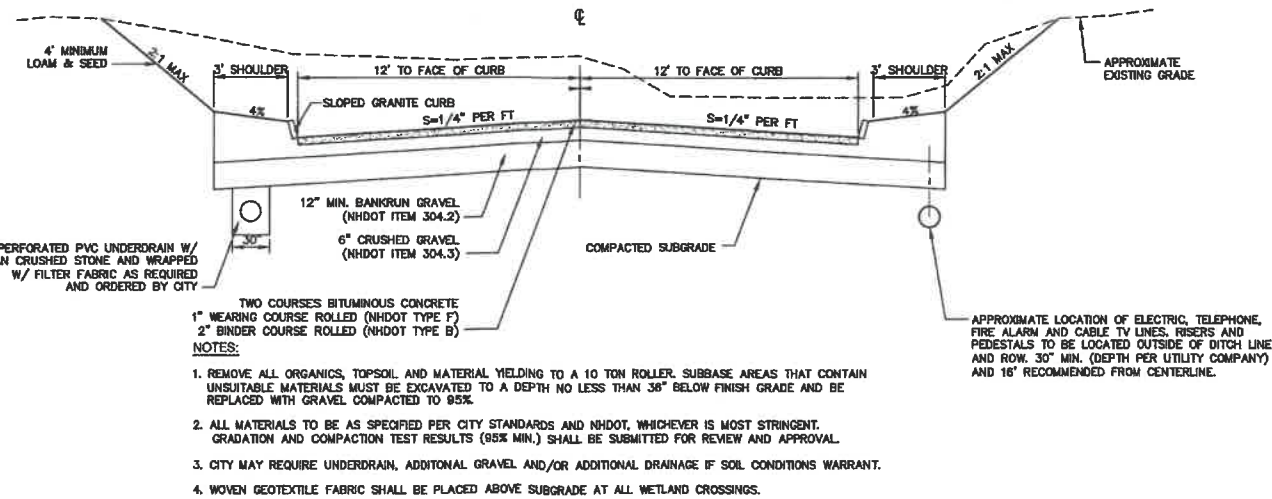


- NOTES:
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8%.
  4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

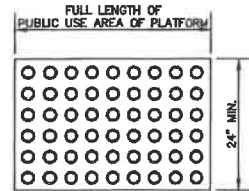
ACCESSIBLE CURB RAMP (TYPE 'B')  
NOT TO SCALE



HANDICAP PARKING LAYOUT  
NOT TO SCALE

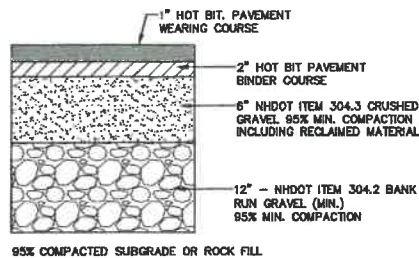


TYPICAL ROADWAY SECTION W/CURBING  
NOT TO SCALE

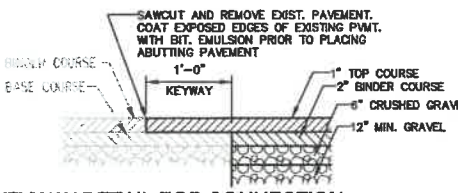


- DETECTABLE WARNING SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND SHALL COMPLY WITH THE FOLLOWING:
- A. TRUNCATED DOMES SHALL HAVE A BASE DIAMETER OF 0.9" (MIN.) AND 1.4" (MAX.), A TOP DIAMETER OF 50% OF THE BASE DIAMETER MINIMUM TO 65% OF THE BASE DIAMETER MAXIMUM, AND A HEIGHT OF 0.2".
  - B. TRUNCATED DOMES SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.5" MINIMUM AND 2.4" MAXIMUM, AND A BASE-TO-BASE SPACING OF .85" MINIMUM AND 1.5" MAXIMUM, MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.
  - C. TRUNCATED DOMES TO BE CAST IRON PER NHDOT SPECIFICATIONS.
  - D. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

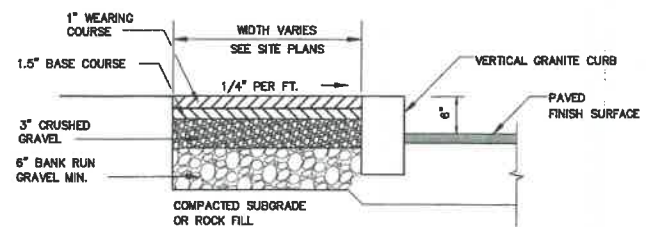
TRUNCATED DOMES TO BE PLACED IN SIDEWALK BASE IN PUBLIC TRAFFIC AREAS.  
ACCESSIBLE CURB RAMP TRUNCATED DOMES



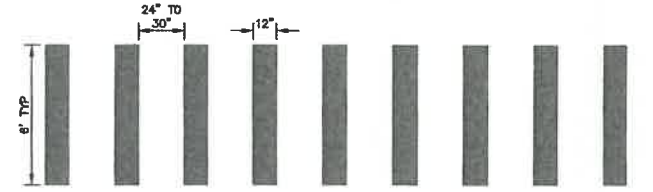
TYPICAL BITUMINOUS PAVEMENT  
NOT TO SCALE



KEYWAY DETAIL FOR CONNECTION TO EXISTING PAVEMENT  
NOT TO SCALE

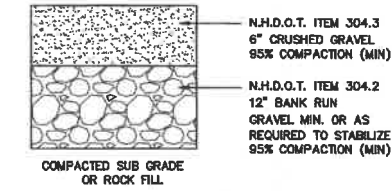


BIT. SIDEWALK W/ VERTICAL GRANITE CURB  
NOT TO SCALE

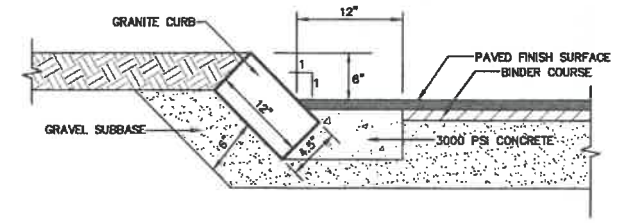


- NOTES:
1. TRANSVERSE CROSSWALK LINES SHALL BE THERMOPLASTIC, NOT LESS THAN 6" WIDE AND NOT LESS THAN 8' APART.
  2. SPACING FOR THE CONTINENTAL BLOCK MARKINGS SHALL BE UNIFORM FOR EACH INDIVIDUAL CROSSWALK BUT CAN BE MODIFIED FOR ONE CROSSWALK TO THE NEXT TO ELIMINATE A CROSSWALK MARKING DIRECTLY IN THE WHEELPATH.

NHDOT CONTINENTAL BLOCK MARKING DETAIL  
NOT TO SCALE



GRAVEL SECTION  
NOT TO SCALE



- NOTES:
1. CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
  2. JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPED GRANITE CURB  
NOT TO SCALE

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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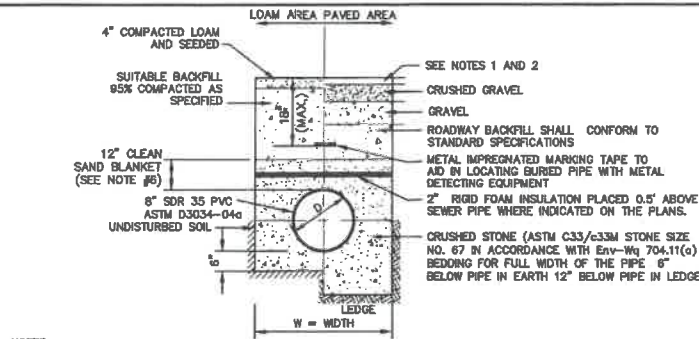
REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

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Plan Name:	DETAIL SHEET
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

Drawing No.	D1
SHEET 41 OF 46	JBE PROJECT NO. 21090

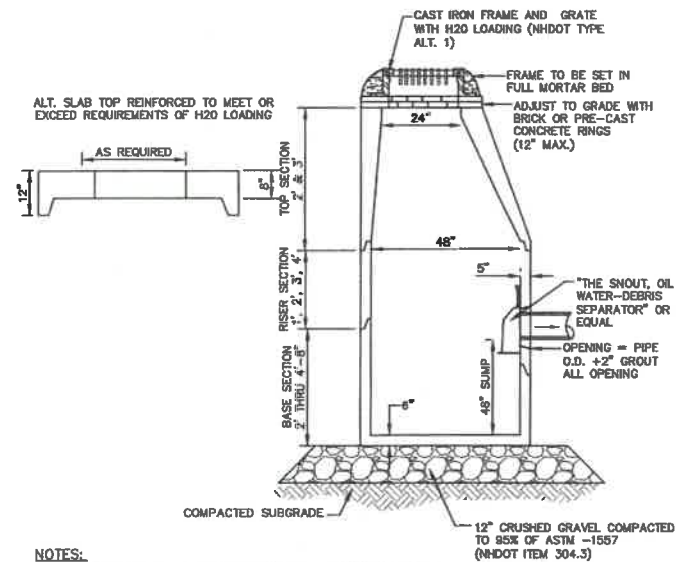




- NOTES:**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
  3. TRENCH BACKFILL SHALL CONFORM WITH ENV. WQ 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
  4. W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
  5. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4", PURSUANT TO DES WAIVER BEING ISSUED.
  6. PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-WQ 704.11(b).
  7. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-WQ 704.05 (c).

### SEWER TRENCH

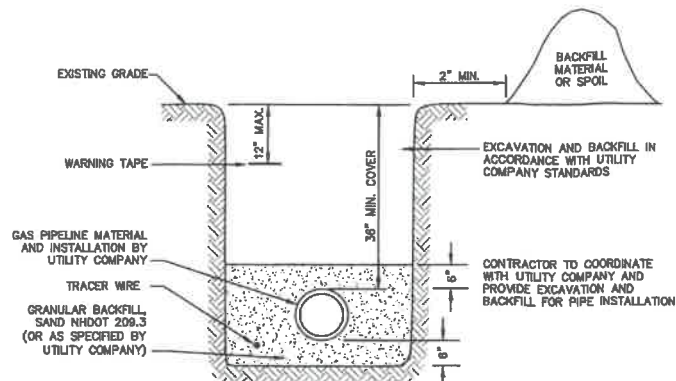
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEEHAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
  8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
  9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

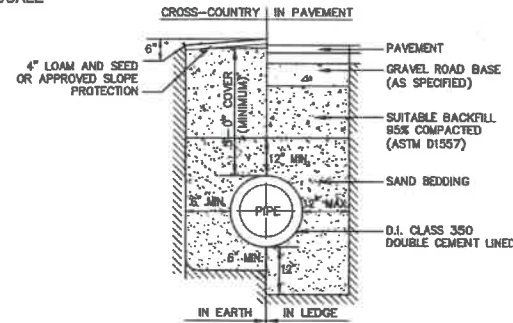
### CATCH BASIN WITH GREASE HOOD

NOT TO SCALE



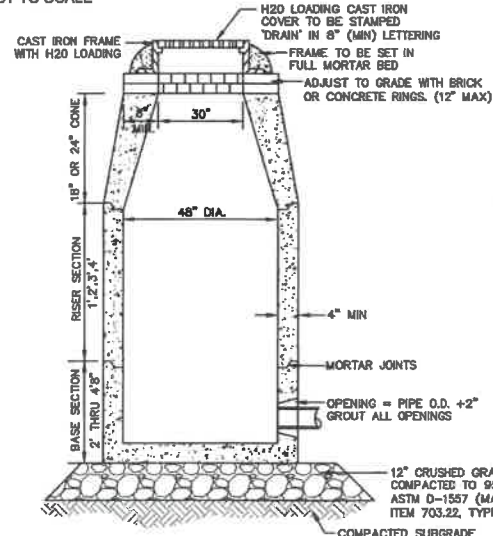
### GAS TRENCH

NOT TO SCALE



### WATER SYSTEM TRENCH

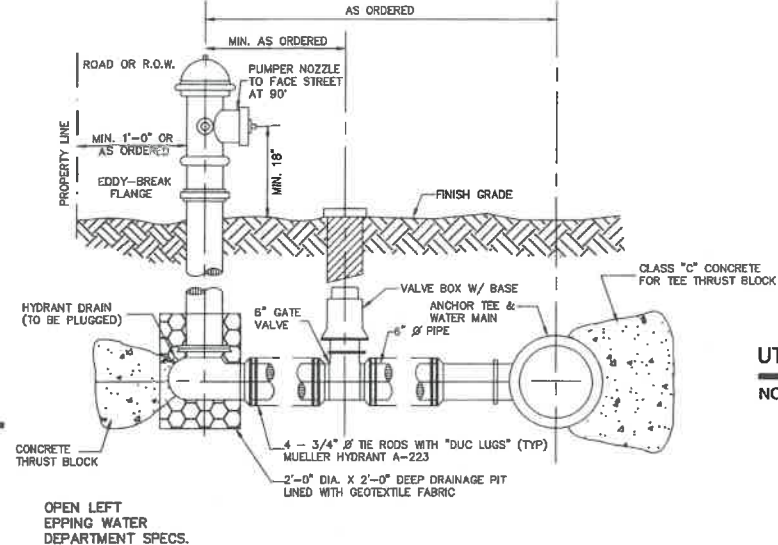
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NEEHAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
  8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

### DRAIN MANHOLE (4' DIAM.)

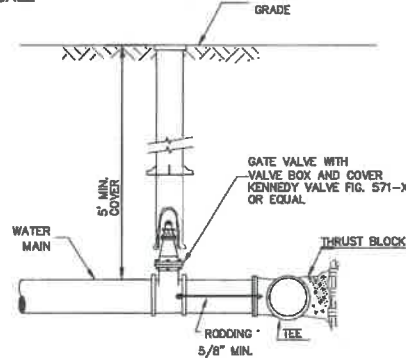
NOT TO SCALE



- NOTES:**
1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
  2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
  3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
  4. STEAMER NOZZLE TO BE "STORCH" TYPE.
  5. NATIONAL STANDARD THREAD.

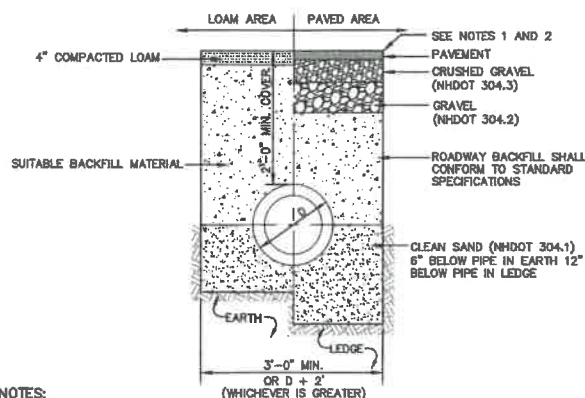
### HYDRANT INSTALLATION

NOT TO SCALE



### BURIED GATE VALVE DETAIL

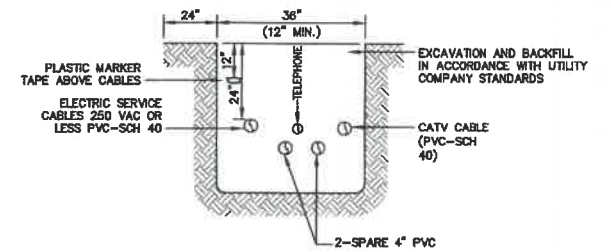
NOT TO SCALE



- NOTES:**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND CITY SPECIFICATIONS.
  3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

### DRAINAGE TRENCH

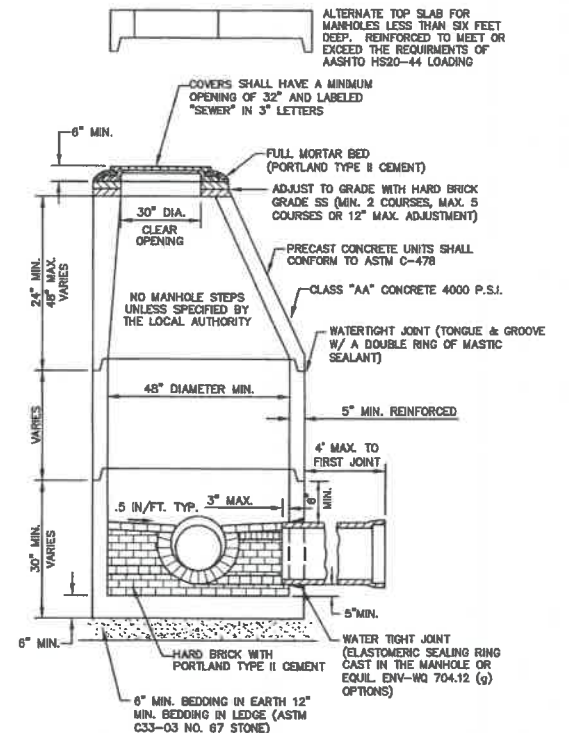
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

### UTILITY TRENCH

NOT TO SCALE



- NOTES:**
1. PER NHDES ENV-WQ 704.13(c), MORTAR USED IN MANHOLE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
    - a. MORTAR SHALL BE COMPOSED OF TYPE II PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION
    - b. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE PER TABLE 704-4:
      - (1) 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
      - (2) 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME.
    - c. CEMENT SHALL BE TYPE II PORTLAND CEMENT THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C150/C150M STANDARD IN EFFECT AT THE TIME THE CEMENT WAS MANUFACTURED
    - d. HYDRATED LIME SHALL BE TYPE S THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C207 STANDARD IN EFFECT AT THE TIME THE HYDRATED LIME WAS PROCESSED
    - e. SAND SHALL CONSIST OF INERT NATURAL SAND THAT IS CERTIFIED BY ITS SUPPLIER AS CONFORMING TO THE ASTM C33 STANDARD IN EFFECT AT THE TIME THE SAND IS PROCESSED BY STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES
    - f. CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AVAILABLE AT:
 [HTTP://WWW.NH.GOV/DOE/ORG/PROJECTDEVELOPMENT/HIGHWAYDESIGN/SPECIFICATIONS/INDEX.HTM](http://www.nh.gov/dot/org/projectdevelopment/highwaydesign/specifications/index.htm)
  2. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (k).
  3. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (e) THROUGH (e).
  4. SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48/48M WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (e) (8).
  5. ALL PRECAST SECTIONS SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING IN ACCORDANCE WITH ENV-WQ 704.12 (j).
  6. ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL PER ENV-WQ 704.12(i).
  7. BRICK MASONRY SHALL CONFORM TO ASTM C32 (ENV-WQ 704.12(a)(9)).

### SEWER MANHOLE

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Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

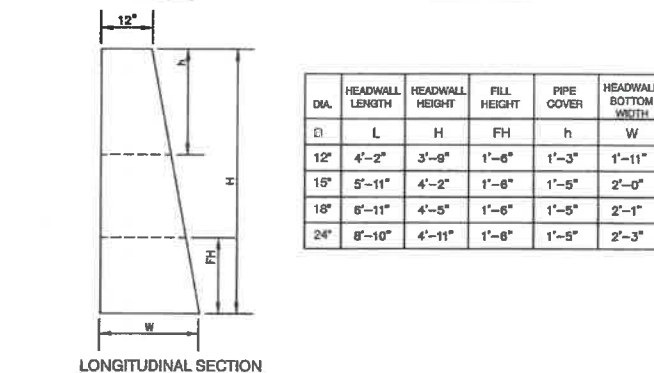
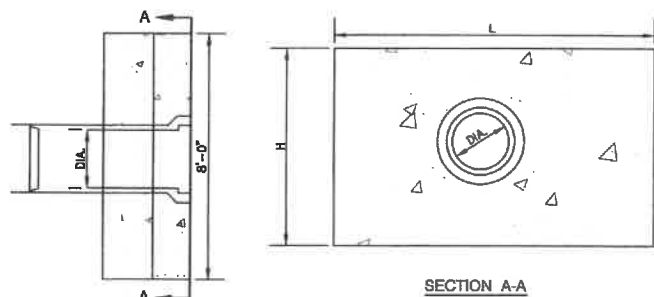
**Civil Engineering Services**

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

Drawing No.	D2
SHEET 42 OF 48	JBE PROJECT NO. 21090

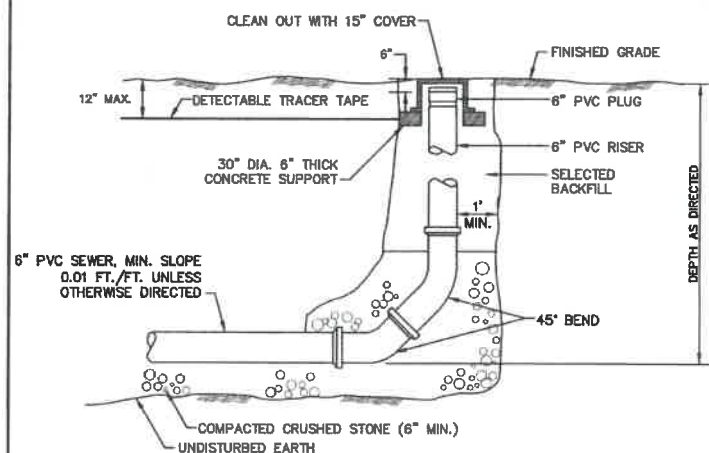




- NOTES:
1. ALL DIMENSIONS GIVEN IN FEET & INCHES.
  2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
  3. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
  4. 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

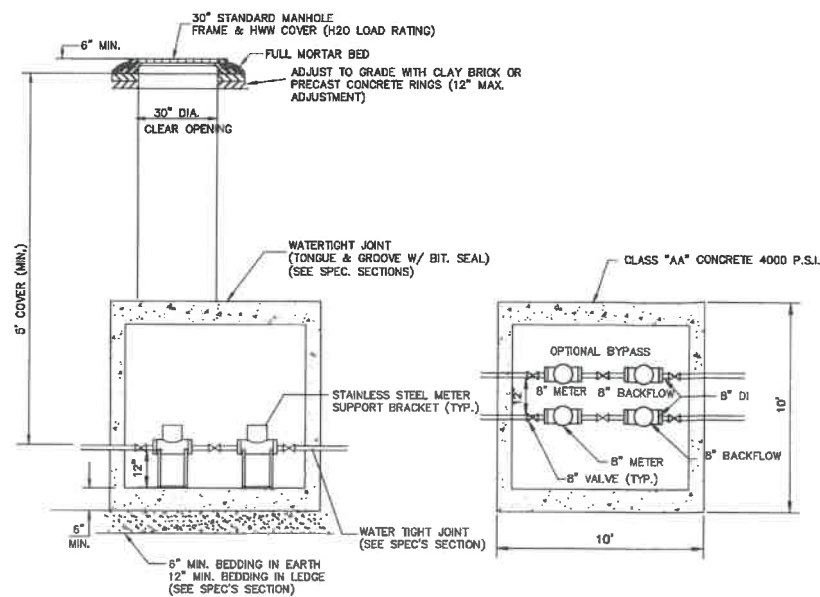
#### PRECAST CONCRETE HEADWALL

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#### SEWER CLEAN OUT

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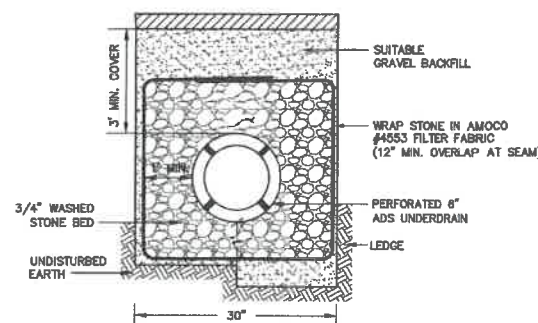
#### ELEVATION

#### PLAN VIEW

- NOTES:
1. METER TO BE SENSUS OMNI C2 OF APPROPRIATE SIZE.
  2. BACKFLOW TO BE TESTABLE DOUBLE CHECK VALVE ASSEMBLY WITH CENTER-SHAFT OR TOP HINGE CHECKS (MILKINS 350AST OR EQUAL) OF APPROPRIATE SIZE, IF APPLICATION IS DESIGNATED LOW HAZARD.
  3. OPTIONAL BYPASS MAY BE SIZED FOR DOMESTIC SERVICE ONLY.
  4. VAULT TO HAVE ADEQUATE ANTI-BOUANCY FEATURES.
  5. VAULT COVERS TO BE STAMPED WITH "WATER" AND MATCH EXISTING CITY OF ROCHESTER INFRASTRUCTURE STANDARDS.
  6. ISOLATION VALVES REQUIRED AROUND EQUIPMENT FOR MAINTENANCE, TESTING AND SERVICE.
  7. IF APPLICATION IS DESIGNATED HIGH HAZARD, THE ASSEMBLY MUST USE RPZ BACKFLOW DEVICES AND BE LOCATED IN AN ABOVE GRADE, HEATED AND INSULATED ENCLOSURE TO ALLOW FOR DRAINING.
  8. VAULT AND ACCESS HATCHES SHALL BE SIZED TO ALLOW ENTRY FOR INSPECTION, TESTING AND COMPLETE REPLACEMENT OF DEVICES.
- BYPASS USAGE:
9. IF OPTIONAL BYPASS LINE IS INSTALLED, WHEN MAIN FEED IS TAKEN OFFLINE AND BYPASS ENGAGED, OWNER SHALL CALL 330-7128 TO COORDINATE LOW FLOW CONDITION WITH ROCHESTER FIRE DEPARTMENT AND ROCHESTER PUBLIC WORKS DEPARTMENT.

#### WATER METER PIT ROCHESTER

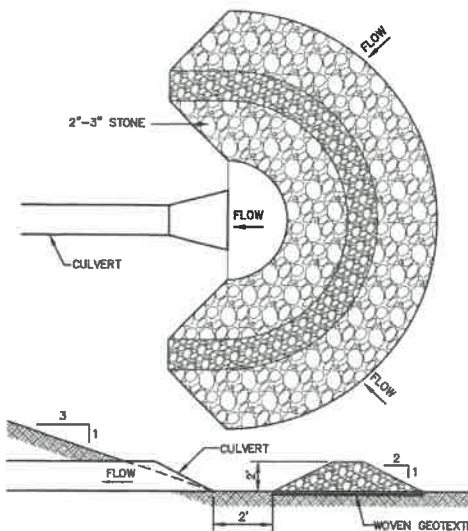
NOT TO SCALE



- NOTES:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO PROJECT AND CITY SPECIFICATIONS.
  3. SLOPE UNDERDRAIN PIPE TO DAYLIGHT.

#### ROADWAY UNDERDRAIN TRENCH

NOT TO SCALE

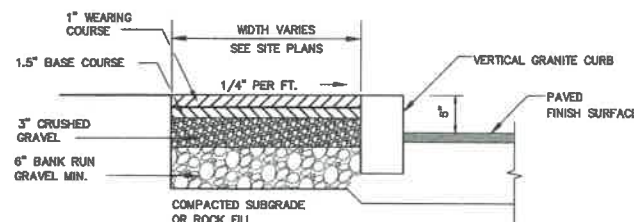


#### NOTES:

1. TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
2. INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

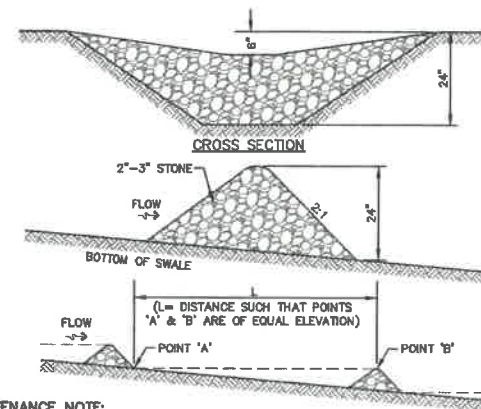
#### TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE



#### BIT. SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE

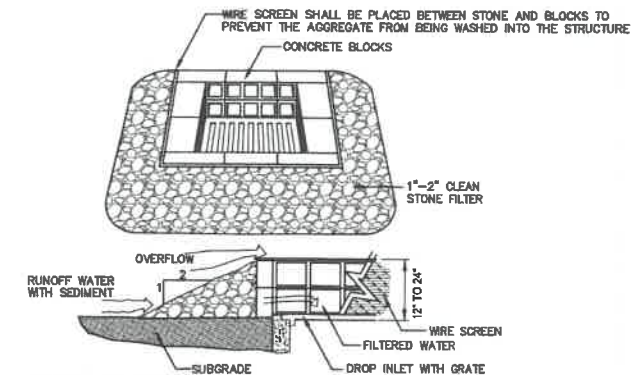


#### MAINTENANCE NOTE:

1. STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

#### STONE CHECK DAM

NOT TO SCALE

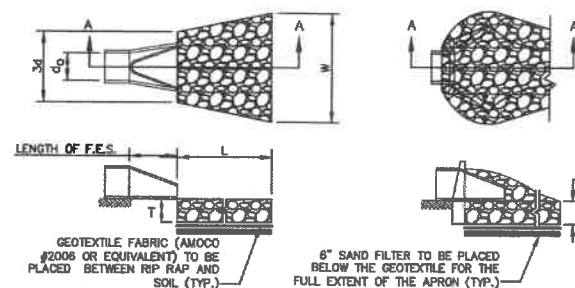


#### MAINTENANCE NOTE:

1. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

#### TEMPORARY CATCH BASIN INLET PROTECTION

NOT TO SCALE



#### SECTION A-A

PIPE OUTLET TO FLAT AREA

#### SECTION A-A

PIPE OUTLET TO WELL-DEFINED CHANNEL

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
THICKNESS OF RIP RAP = 1.5 FEET			
d50 SIZE=	0.50	FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM		TO
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	

#### NOTES:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL. BOTTOM THROUGH THE LENGTH OF THE APRON.
6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

#### RIP RAP OUTLET PROTECTION APRON

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Design: JAC Draft: LAZ Date: 04/29/21  
 Checked: JAC Scale: AS NOTED Project No.: 21090  
 Drawing Name: 21090-PLAN.dwg  
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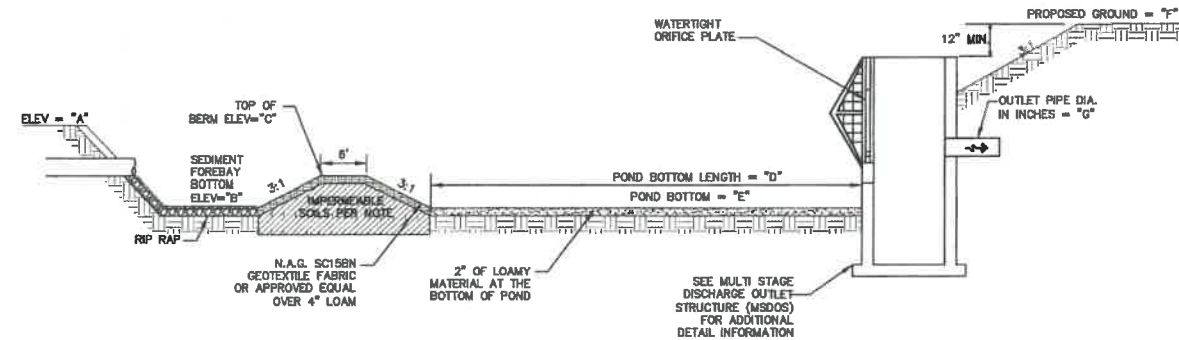
REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 Civil Engineering Services  
 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**  
 Project: **BAYBERRY COMMONS**  
**19 OLD GONIC ROAD, ROCHESTER, NH**  
 Owner of Record: **LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE**  
**19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148**

DRAWING No.  
**D3**  
 SHEET 43 OF 46  
 JBE PROJECT NO. 21090





POND TABLE

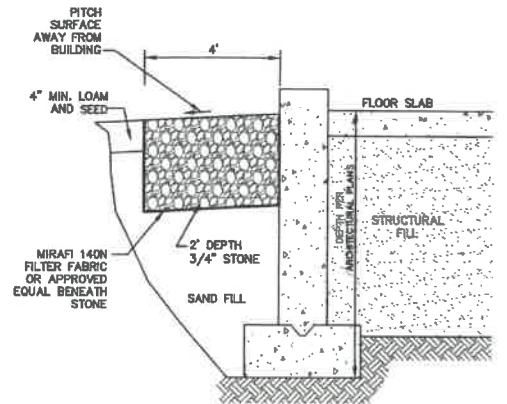
POND	ELEVATIONS/DIMENSIONS						
	A	B	C	D	E	F	G
POND 1	220.00	216.00	218.00	169'	212.00	220.00	12"
POND 2	220.00	217.00	219.00	310'	212.00	220.00	12"
POND 3	225.00	220.00	222.00	200'	216.00	225.50	12"

### WET POND SECTION (PONDS 1, 2 & 3)

NOT TO SCALE

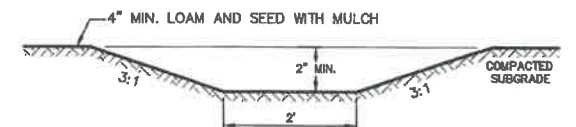
### WET POND CONSTRUCTION CRITERIA

- FOUNDATION PREPARATION** — THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT — THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER.
- SELECTED BACK FILL MATERIAL** SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** — THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** — CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION** — A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING** SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE** — THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- THE CONTRACTOR WILL NOTIFY JONES AND BEACH ENGINEERS AFTER EACH OF THE GRAVEL WETLAND PONDS HAVE BEEN EXCAVATED TO THE BOTTOM OF THE SYSTEM FOR A MANDATORY INSPECTION PRIOR TO BUILDING BERMS, PLACING STONE OR INSTALLING PIPE SYSTEM.
- BERMS AND WEIRS SEPARATING THE FOREBAY AND TREATMENT CELLS SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



### DRIP EDGE DETAIL

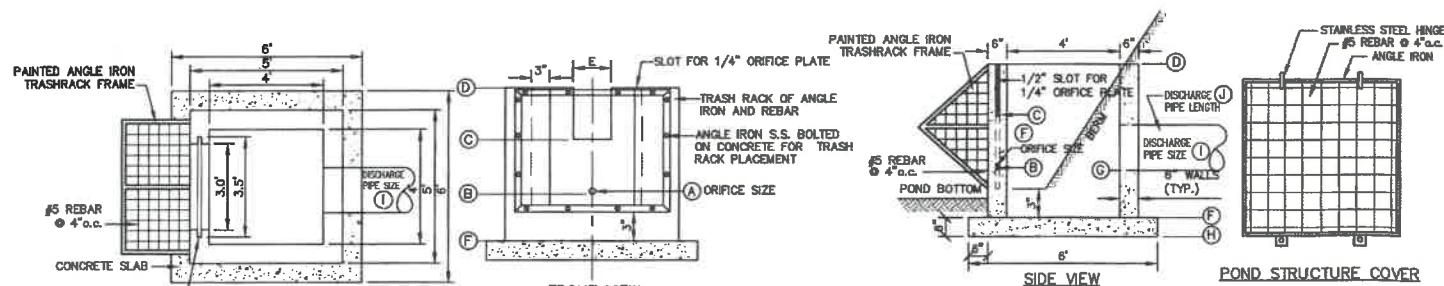
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### VEGETATED SWALE

### VEGETATED SWALE

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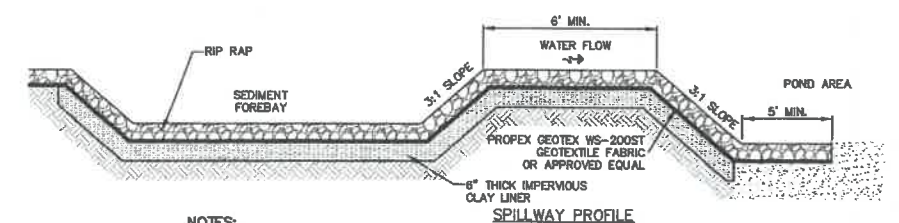
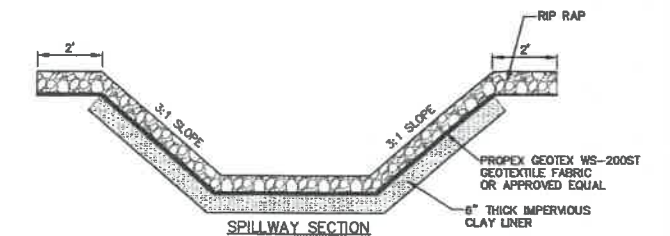
- APPROXIMATE LIST OF MATERIALS**
- 3 C.Y. — 5000 PSI CONCRETE
  - 15 ANGLE IRONS @ 4' LENGTH
  - REQUIRED S.S. BOLTS AND FASTENERS
  - 1/4" STEEL PLATE WITH DRILLED ORIFICES
  - 1 C.Y. — CRUSHED STONE FOR BASE
  - 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
  - 32 #4 REBARS @ 4.5' LENGTH

### NOTES:

- REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
- CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
- CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
- SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.

### MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE



### NOTES:

- A 6" THICK IMPERVIOUS CLAY LINER IS TO BE PLACED UNDER ENTIRE SEDIMENT FOREBAY AND SPILLWAY AND ONLY AROUND THE SIDES OF THE ENTIRE BIORETENTION AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- EMBANKMENT MATERIAL SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: #6 PASSING 100%, #4 SIEVE 40-90%, #40 SIEVE 50-80%, #100 SIEVE 25-40%, #200 SIEVE 15-30% (OF THE TOTAL SAMPLE).
- 6" THICK IMPERVIOUS CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: #6 PASSING 100%, #4 SIEVE 40-90%, #40 SIEVE 50-80%, #100 SIEVE 25-40%, #200 SIEVE 15-30% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
- COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

### SEDIMENT FOREBAY SPILLWAY

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Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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Designed and Produced in NH

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**Civil Engineering Services**

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Plan Name:	DETAIL SHEET
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

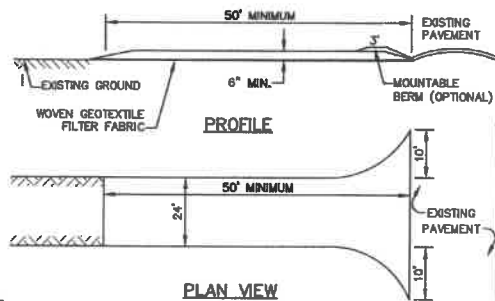
DRAWING No.	D4
SHEET 44 OF 48	JBE PROJECT NO. 21090



## BLASTING SPECIFICATIONS

- A. **BEST MANAGEMENT PRACTICES FOR BLASTING.** ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
- (1) **LOADING PRACTICES.** THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
- (a) DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
- (b) EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
- (c) SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
- (d) LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
- (e) LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
- (f) EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEAMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
- (2) **EXPLOSIVE SELECTION.** THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
- (a) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
- (b) EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
- (3) **PREVENTION OF MISFIRES.** APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
- (4) **MUCK PILE MANAGEMENT.** MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
- (a) REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
- (b) MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.

- (5) **SPILL PREVENTION MEASURES AND SPILL MITIGATION.** SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
- a. THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
1. STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
  2. SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
  3. LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
  4. INSPECT STORAGE AREAS WEEKLY.
  5. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
  6. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
  7. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
- b. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
1. EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
  2. PLACE DRIP PANS UNDER SPOIGTS, VALVES, AND PUMPS.
  3. HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
  4. USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
  5. PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
- c. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
- d. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF NHDES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6: "BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT" OR ITS SUCCESSOR DOCUMENT].



### NOTES:

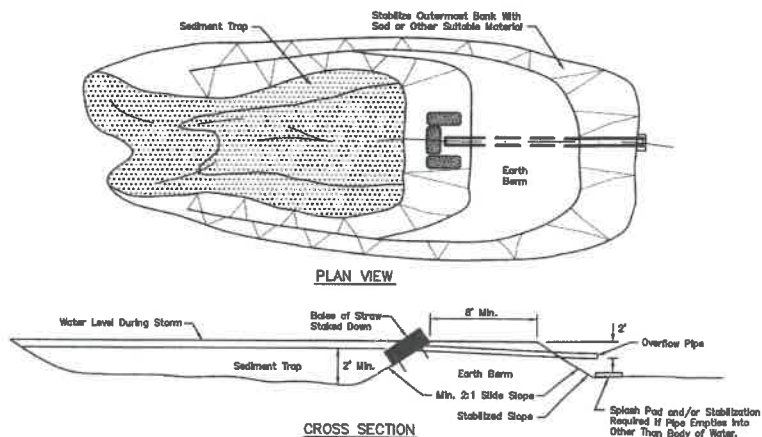
1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

## STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

## TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE "C" AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN 5 CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN 100 FEET OF A SURFACE WATERBODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN 3 CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.
8. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN 575 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
9. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
10. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
11. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).
14. PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
15. IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SHPPF:
  - a. A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").
  - b. DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 1/2 INCH OR GREATER RAIN EVENT (I.E. 1/2 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
  - c. THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17 AND ALL APPLICABLE DES PERMIT CONDITIONS.
  - d. WITHIN 24 HOURS OF EACH INSPECTION, THE MONITOR SHALL SUBMIT A REPORT TO DES VIA EMAIL (RIDGELY MAUCK AT: RIDGELY.MAUCK@DES.NH.GOV).
  - e. THE MONITOR SHALL MEET WITH DES TO DECIDE UPON A REPORT FORMAT. THE REPORT FORMAT SHALL BE REVIEWED AND APPROVED BY DES PRIOR TO THE START OF CONSTRUCTION.



## TEMPORARY SEDIMENT BASIN

NOT TO SCALE

## SEEDING SPECIFICATIONS

1. **GRADING AND SHAPING**
  - A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. **SEEDBED PREPARATION**
  - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. **ESTABLISHING A STAND**
  - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:  
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.  
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.  
PHOSPHATE(P205), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.  
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.  
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 25 INCH OF SOIL OR LESS, BY CULPACKING OR RAKING.
  - C. REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRD'S FOOT, TREFLOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - D. WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. **MULCH**
  - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 80 LBS PER 1000 S.F.
5. **MAINTENANCE TO ESTABLISH A STAND**
  - A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
	G	FAIR	EXCELLENT	EXCELLENT	2/
	H	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT. SEE NH-PW-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

## SEEDING GUIDE

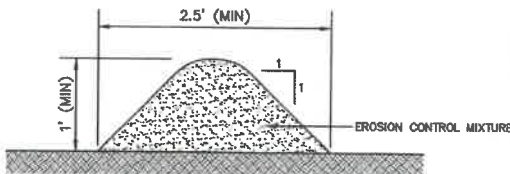
MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRD'S FOOT TREFLOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

## SEEDING RATES

## CONSTRUCTION SEQUENCE

1. PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
2. WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
3. CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
4. INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
5. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
6. CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
7. STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
8. PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
9. INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
10. INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
11. ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
12. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
13. PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
14. PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
15. PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
16. LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
17. FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
18. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
19. ALL CUT AND FILL SLOPES SHALL BE SEEDDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
20. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
21. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
22. CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
23. INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
24. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
25. UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.



### NOTES:

1. ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
2. THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES. MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRONINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
  - a) THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
  - b) PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
  - c) THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
  - d) LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
  - e) SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
  - f) THE pH SHALL BE BETWEEN 5.0 AND 8.0.
3. ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
4. ON SLOPES LESS THAN 5% OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPRILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
5. FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMPs SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
6. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
7. STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

## ORGANIC FILTER BERM

NOT TO SCALE

Design: JAC	Draft: LAZ	Date: 04/29/21
Checked: JAC	Scale: AS NOTED	Project No.: 21090
Drawing Name: 21090-PLAN.dwg		
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REV.	DATE	REVISION	BY
3	3/11/22	REVISED PER CITY COMMENTS	LAZ
2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

65 Portsmouth Ave. PO Box 219  
Stratham, NH 03885

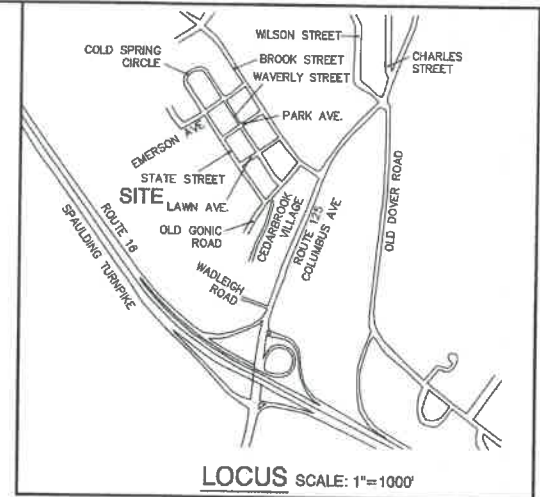
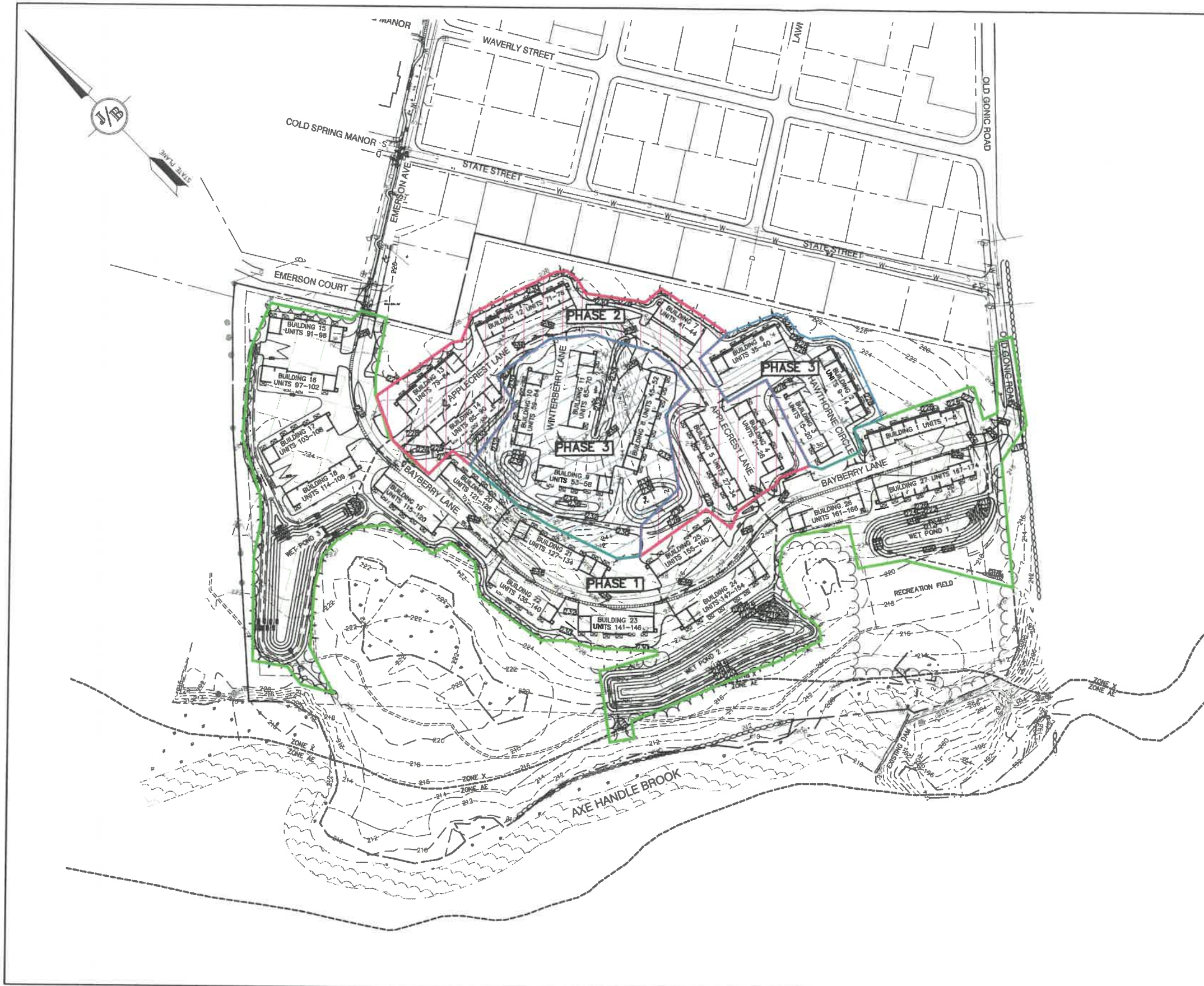
Civil Engineering Services

803-772-4746  
FAX: 803-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH
Owner of Record:	LEO P. LACOUTURE REV. TRUST & WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148

DRAWING No.	E1
SHEET 46 OF 46	JBE PROJECT NO.21090



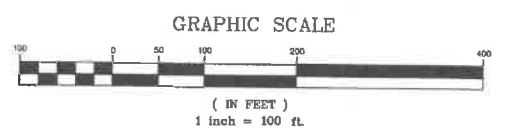


**PHASING NOTES:**

1. PHASING IS MANDATORY PER NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES AND NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN SHALL BE NOTIFIED OF ANY ALTERATION OF THE PHASING PLAN.
2. EACH PHASE MUST BE STABILIZED BEFORE PROCEEDING TO SUCCESSIVE PHASES.
3. AN ENVIRONMENTAL MONITOR SHALL BE EMPLOYED TO EVALUATE THE SITE DURING CONSTRUCTION.
4. AREAS MUST BE STABILIZED PRIOR TO WINTER CONSTRUCTION SEASON FROM OCTOBER 15 THROUGH MAY 15 PURSUANT TO ENR-WH 1505.06 (1 AC OPEN) UNLESS A WINTER CONSTRUCTION/STABILIZATION PLAN IS SUBMITTED AND APPROVED.

**PHASING SCHEDULE:**

PHASE 1	9.8 AC
CONSTRUCT:	BAYBERRY LANE ALL BUILDINGS FRONTING ON BAYBERRY LANE ALL PONDS
PHASE 2	3.4 AC
CONSTRUCT:	APPLECREST LANE ALL BUILDINGS FRONTING ON APPLECREST LANE
PHASE 3	4.0 ACRES
CONSTRUCT:	HAWTHORNE CIRCLE AND WINTERBERRY LANE ALL BUILDINGS FRONTING ON HAWTHORNE CIRCLE AND WINTERBERRY LANE



PROJECT PARCEL CITY OF ROCHESTER TAX MAP 131, LOT 10
APPLICANT GREEN AND COMPANY 11 LAFAYETTE ROAD NORTH HAMPTON, NH 03862
TOTAL LOT AREA 1,308,695 SQ. FT. ± 30.07 ACRES ±

Design: JAC Draft: LAZ Date: 04/29/21  
Checked: JAC Scale: AS NOTED Project No.: 21090  
Drawing Name: 21090-PLAN.dwg  
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2	2/14/22	REVISED PER CITY ENGINEERING COMMENTS	LAZ
1	1/18/22	REVISED PER CITY COMMENTS	LAZ
0	11/23/21	ISSUED FOR REVIEW	LAZ

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services  
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>PHASING PLAN</b>
Project:	<b>BAYBERRY COMMONS 19 OLD GONIC ROAD, ROCHESTER, NH</b>
Owner of Record:	<b>LEO P. LACOUTURE REV. TRUST &amp; WILLIAM B. LACOUTURE 19 OLD GONIC RD., ROCHESTER, NH 03867 BK 4093 PG 148</b>

DRAWING No.  
**PH**  
SHEET 46 OF 46  
JBE PROJECT NO. 21090



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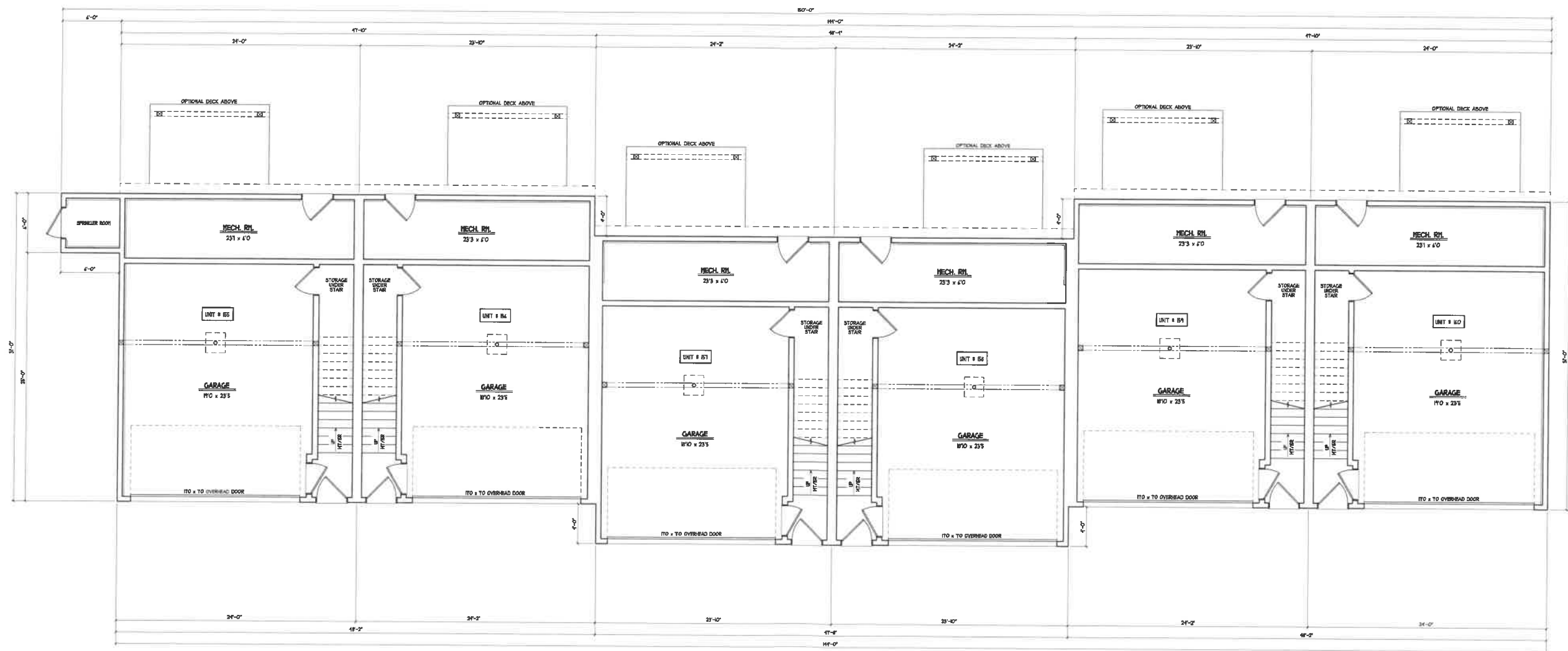




FRONT ELEVATION  
OPTION 1

SCALE: 1/4" = 1'-0"

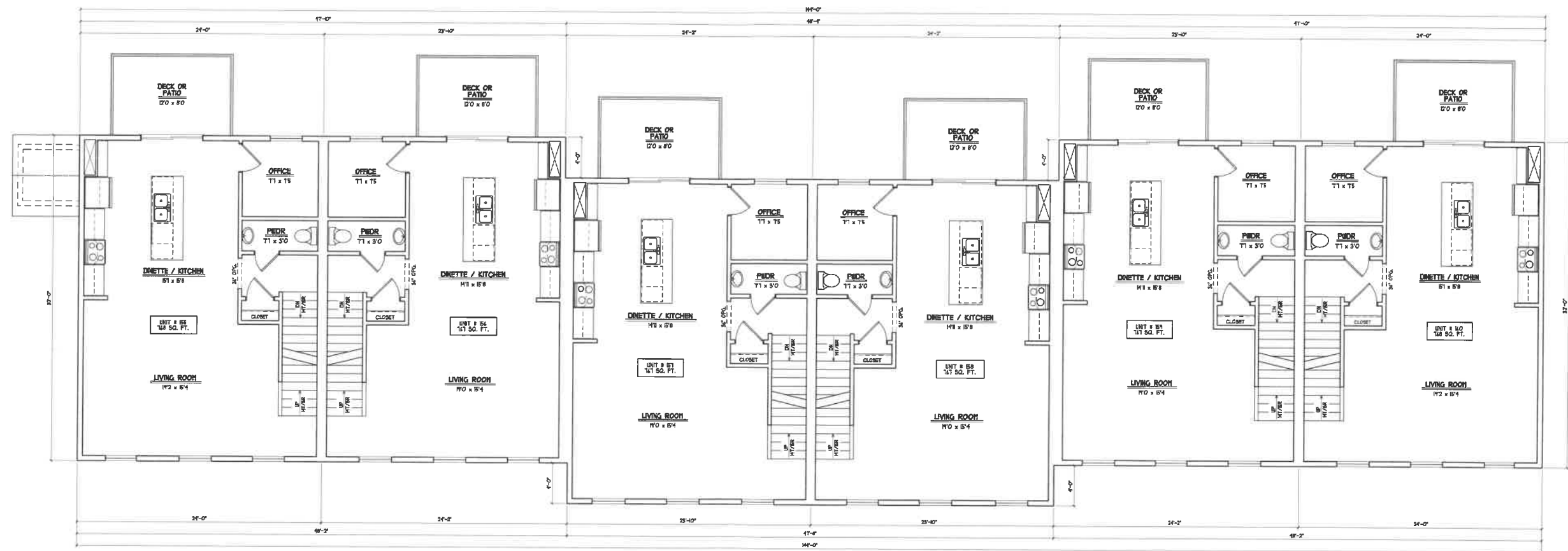




GROUND FLOOR PLAN

SCALE: 1/4" = 1'-0"

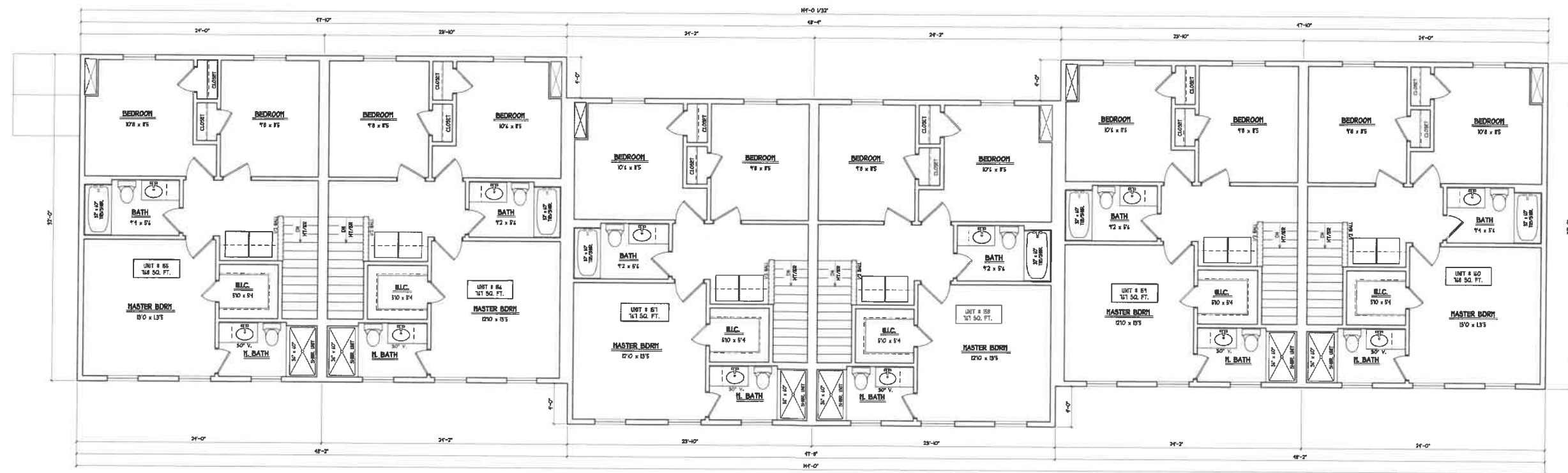




SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"





THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"





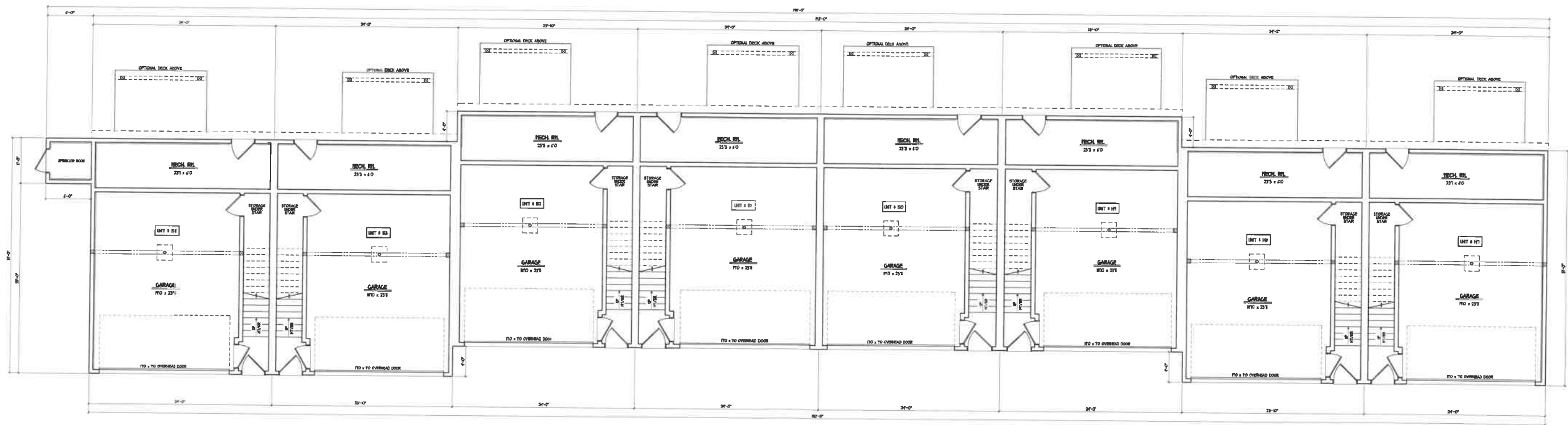




FRONT ELEVATION

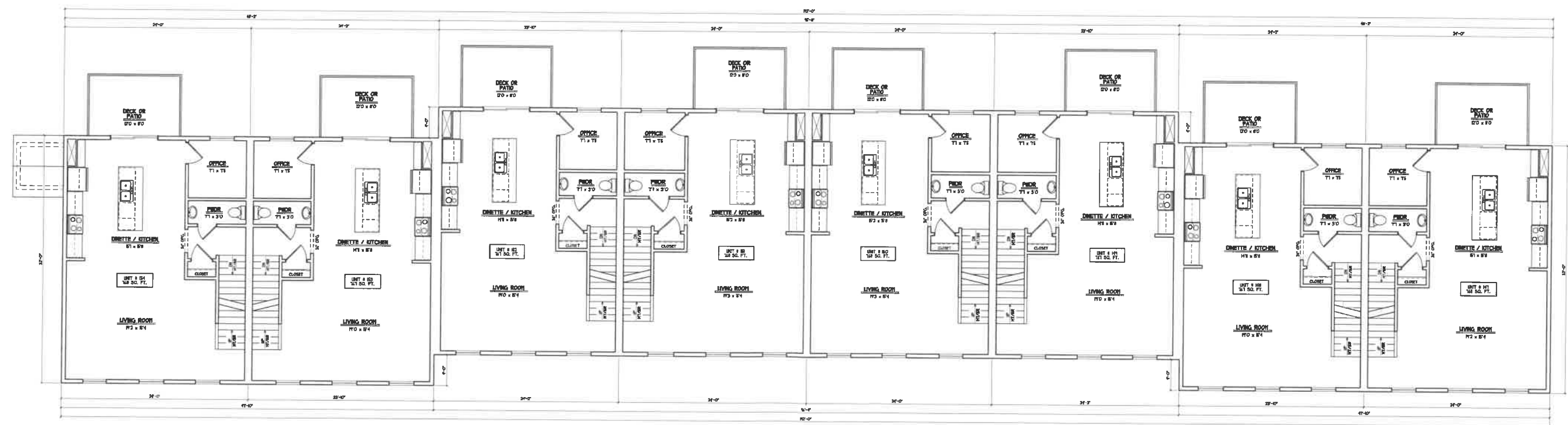
SCALE: 1/4" = 1'-0"





GROUND FLOOR PLAN  
SCALE 1/4" = 1'-0"





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



