KOZBRO
DEVELOPMENT
COMPANY

RECEIVED
FEB 22 2022
By

February 22, 2022

City of Rochester
Attn: Mr. Mark Collopy
Planning Board Chairman
Planning Department
33 Wakefield St.
Rochester, NH 03867

Re: Residential Site Plan Application for Proposed Six Residential Units "Millstone Place"
9 Academy Street, Map 125, Lot 198

Dear Mr. Collopy,

On behalf of our client, Krzysztof and Renata Kozlowski (Owner), KozBro Development Company (KDC) submits to the City of Rochester a minor site plan to construct six additional units within the R-2 district.

Background and General Narrative

The project site is located at 9 Academy Street and is 52,912 square feet (SF) in size. The existing conditions plan with topographic features was compiled from existing survey information, city data, and as-built drawings. The site contains a "four-square" style single family house and two car garage. In the front, there is one driveway cut on Academy Street. The site contains a large yard that is open and unvegetated. The existing boundary line to the west contains large trees. A wooden fence exists along the entire boundary line. In the rear, there is a 20,161 SF area with 24 parking spaces on the lot. This parking area is leased to the City of Rochester for use by patrons of the Public Library under a current lease agreement with the Owner. The City's Attorney maintains a copy of this lease agreement. The lease permits use of all 24 parking spaces by the Owner. The site is serviced by municipal water and sewer.

The Proposal

The applicant is requesting approval for six additional dwelling units so that the site contains a total of seven units. The proposal includes two multifamily buildings each with three dwelling units. Each dwelling unit has three bedrooms and 1,367 SF total finished space. A site plan was prepared, and is included within the Residential Site Plan Application, showing the placement of the buildings on the lot.

In terms of context to the surrounding area, KDC worked with the Owner to design two triplexes that fit the neighborhood from a bulk and space standpoint. Two stout two-story buildings with varying rooflines are designed to better fit with the surroundings, without over powering the area.

The site plan design considers the transect of the area, specifically:

- The building positions are significantly setback from Academy and Charles Streets and are most prominent from the northerly rear boundary line. The first building (Units 1, 2, 3) is nearest to Charles Street and is oriented parallel to it. The second building (Units 4, 5, 6) is nearest to Academy Street and is oriented perpendicular to it.
- The buildings are placed to use the irregular lot area efficiently and increase density.
- The design facilitates access to public infrastructure including the Public Library (375' away), Service Credit Union (300' away), and COAST bus stop (400' away).
- The rear area of the lot has historically been targeted by criminal activity and camping. By restricting access across the lot, security and safety are promoted in the area.

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- Proposed walkways are of concrete pavement.
- The large vegetation and trees along the perimeter will be maintained as much as possible to preserve natural buffers in this area.

In developing this site in this way, the spirit of the downtown residential zone is better adhered to. This development increases density within the urban core without sacrificing the visual appeal of Academy Street.

We reviewed the abutting land uses and unit development to determine if the addition of the two three-units is appropriate for the area. The following is a list of abutting properties on the street and the general density found in the area:

- 6-8 Academy Street contains 2 units on approximately 4,792 SF
- 7 Academy Street contains 2 units on approximately 6,098 SF
- 10 Academy Street contains 4 units on approximately 4,792 SF
- 12 Academy Street contains 2 units on approximately 1,742 SF
- 14 Academy Street contains 3 units on approximately 12,197 SF
- 15 Academy Street contains 2 units on approximately 5,227 SF
- 16 Academy Street contains 4 units on approximately 12,632 SF
- 17 Academy Street contains 2 units on approximately 10,454 SF
- 30 Charles Street contains 3 units on approximately 10,019 SF
- 34 Charles Street contains 1 unit on approximately 9,148 SF
- 36 Charles Street contains 2 units on approximately 10,454 SF
- 38 Charles Street will contain 9 proposed units on approximately 19,602 SF

Our assessment of the neighborhood found that on average each lot contains 3 units. For abutting properties, we found the average lot size is approximately 8,930 SF and the average density is 1 unit for 2,977 SF. The proposed development has a density of 1 unit for 7,559 SF.

The existing site is relatively flat with total existing impervious cover equal to 17,770 SF (33.6%). The proposed building impervious cover is 4,040 SF (7.6%) and the proposed paved impervious area is 819 SF (1.5%). The estimated total earth to be removed from site is 145 cubic yards. The proposed site plan was designed to reduce the impact of disturbance and grading requirements. Additional stormwater runoff from the proposed construction will be insignificant and will infiltrate into the greenspace surrounding the buildings.

Sprinkler systems designed according to NFPA 13R are planned for both proposed buildings. The nearest existing fire hydrants are located at 26 Academy Street and adjacent to 90 South Main Street. Fire protection system requirements will be coordinated with the Rochester Fire Department.

Please do not hesitate to contact me should you have any questions.

Sincerely,

Krystian Kozlowski, P.E.
KOZBRO DEVELOPMENT COMPANY

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February 22, 2022

City of Rochester
Attn: Mr. Mark Collopy
Planning Board Chairman
Planning Department
33 Wakefield St.
Rochester, NH 03867

Re: Waiver Request: Section 5 (6) (n)
Residential Site Plan Application for Proposed Six Residential Units
9 Academy Street, Map 125, Lot 198

Dear Mr. Collopy,

On behalf of our client, Krzysztof and Renata Kozlowski (Owner), KozBro Development Company (KDC) respectfully requests waiver to the following Site Plan Regulations:

Waiver Request Section 5 (6) (n):
Surveyed property lines showing their bearing and distances and monument locations.

Site Plan Checklist General Items:
Surveyed property lines including:
- *Existing and proposed bearings*
- *Existing and proposed distances*
- *Pins, stakes, bounds*
- *Monuments*
- *Benchmarks*

Include error of closure statement

As part of our site plan preparation and design, we conducted research regarding the site and abutting lots. We found existing survey and as-built drawings specific to the subject parcel, including:

1. "Lease Line Plan South Main St., Liberty St., & Academy St, Rochester, NH, City of Rochester" dated May, 1998 by Norway Plains Associates,
2. "City of Rochester, New Hampshire Contract Drawings for Public Library Parking Lot and Drainage Improvements" dated July 1998 by Wright-Pierce.

We found and reviewed recent plans and as-built drawings for abutting property, including:

3. "Overall Site Plan Tax Map 125, Lot 203, 83 South Main Street, Rochester, NH" dated February 2019 by Norway Plains Associates,

We found and considered approved plans, including:

4. "Overall Site Plan Tax Map 125, Lot 214, 38 Charles Street, Strafford County, Rochester, New Hampshire" dated October 2021.

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5. "Woodman Area Infrastructure Improvements Rochester, NH" dated December, 2021 by Wright Pierce.

Monument, property line, and topographic features information were found on the existing survey and as-built drawings. No substantial changes were identified in the existing conditions at the site. The information was considered sufficient for the purposes of this site plan application.

The proposed site plan application has reduced impact given that no new roads, driveways, parking, or major drainage systems are required. According to Section (F), the proposed development meets the criteria for a minor site plan, specifically:

- New multi-family of three (3) to five (5) dwelling units outside the Downtown Commercial Zone,
- No new proposed parking,
- Building additions of less than 10,000 square feet total square footage.

In consideration of the lesser impact of this development and review of existing information, we request a waiver of this requirement.

We appreciate and thank you for your consideration. Please do not hesitate to contact me should you have any questions.

Sincerely,

Krystian Kozlowski, P.E.
KOZBRO DEVELOPMENT COMPANY

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RESIDENTIAL SITE PLAN APPLICATION (townhouses, apts, etc.)

City of Rochester, New Hampshire

RECEIVED FEB 22 2022 By

Date: 2/22/22 Is a conditional use needed? Yes:____ No: X Unclear:____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 125; Lot #('s): 198; Zoning district: R2

Property address/location: 9 ACADEMY STREET

Name of project (if applicable): _____

Size of site: 1.2 acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): KRZYSZTOF & RENATA KOZLOWSKI

Mailing address: 9 ACADEMY STREET, ROCHESTER, NH 03867

Telephone #: (603) 767-4481 Email: KRISKOZLOWSKI@HOTMAIL.COM

Applicant/developer (if different from property owner)

Name (include name of individual): KOZBRO DEVELOPMENT COMPANY

Mailing address: 17 MORNING FOREST COURT, THE WOODLANDS, TX 77381

Telephone #: (603) 781-1124 Email: KOZ@FASTMAIL.COM

Engineer/designer

Name (include name of individual): KRYSTIAN KOZLOWSKI, P.E.

Mailing address: 17 MORNING FOREST COURT, THE WOODLANDS, TX 77381

Telephone #: (603) 781-1124 Fax #: _____

Email address: KOZ@FASTMAIL.COM Professional license #: 14195

Proposed use

(You are not bound by information on bedrooms and type of ownership unless that is a condition of approval.)

Total number of proposed dwelling units: 6; number of existing dwelling units: 1

Proposed bedrooms/unit: 3; total number of proposed bedrooms: 18

New building(s)? 2 addition(s)/modifications to existing building(s)? _____

Townhouses/rowhouses: 2 flats: ____ duplexes: ____ freestanding detached units: ____

Proposed ownership - leasehold: X fee simple conveyance: ____ condominiums: ____

Utility information

City water? yes X no ___; How far is City water from the site? CONNECTED

City sewer? yes X no ___; How far is City sewer from the site? CONNECTED

If City water, what are the estimated total daily needs? 2,400 gallons per day

Where will stormwater be discharged? ONSITE INFILTRATION

Other information

parking spaces: existing: 26 total proposed: 0; Are there pertinent covenants? YES

Describe existing conditions/use (vacant land?): RESIDENTIAL, PARKING

Check any that are proposed: variance ____; special exception ____; conditional use ____

Wetlands: Is any fill proposed? NO; area to be filled: _____; buffer impact? _____

Proposed *post-development* disposition of site (should total 100%)		
	Square footage	**% overall site**
Building footprints - existing building & garage	3,384	6.4
Building footprints - proposed (2) tri-plex units	4,040	7.6
Parking and vehicle circulation	15,205	28.7
Planted/landscaped areas (excluding drainage)	30,283	57.2
Wetlands	0	0
Other – drainage structures, outside storage, etc.	0	0

Comments

Please feel free to add any comments, additional information, or requests for waivers here: A WAIVER IS REQUESTED FOR THE REQUIREMENT TO PROVIDE A NEW SURVEY. THE SITE PLAN IS BASED ON EXISTING SURVEY AND AS-BUILT DRAWINGS.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), *and/or* the agent.

I(we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

Date: _____

Signature of applicant/developer: _____

Date: 2/18/22

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: Renée Kurowski 02/14/22

Date: 02 14 22

Site Plan Checklist (residential and nonresidential)

**To be filled out by applicant/agent (with notes to be inserted by staff)*
See regulations for other specific requirements
City of Rochester Planning & Development Department

Project Name: MILLSTONE PLACE Map: 125 Lot: 198 Date: 2/22/2022

Applicant/agent: KRYSTIAN KOZLOWSKI Signature: [signature]

(Staff review by: _____ Date: _____)

General items

	Yes	No	N/A	Waiver Requested	Comments
4 sets completed application	☑	☐	☐	☐	
Total application fee	☑	☐	☐	☐	
4 copies of narrative	☑	☐	☐	☐	
3 sets of full-size plans	☑	☐	☐	☐	
2 sets of 11 X 17 reductions	☑	☐	☐	☐	
Completed abutters list	☑	☐	☐	☐	
Copy of existing covenants, easements, deed restrictions	☑	☐	☐	☐	
Plan Information Basic information including: • Title sheet • Name of Project • Date • North arrow • Scale • Legend • Revision block • Vicinity sketch -not less than 1" = 1,000'	☑	☐	☐	☐	
Name and address of developer/applicant	☑	☐	☐	☐	
Name, stamp, and NH license # of land survey, engineer, and/or architect	☑	☐	☐	☐	
City tax map & lot #'s	☑	☐	☐	☐	
Notation on plans: "For more information about this site plan contact...."	☑	☐	☐	☐	

General items Continued

	Yes	No	N/A	Waiver Requested	Comments
Approval block (for signature by staff attesting to Planning Board approval)	☑	☐	☐	☐	
References to neighboring plans and subdivisions	☑	☐	☐	☐	
Surveyed property lines including: • existing and proposed bearings • existing and proposed distances • pins, stakes, bounds • monuments • benchmarks	☐	☐	☐	☑	
Include error of closure statement	☐	☐	☐	☑	
Information on abutting properties: • owner name • owner address • tax map and lot # • square footage of lots • approximate building footprints • use	☑	☐	☐	☐	

Zoning

Zoning designations of subject tract and in vicinity of tract	☑	☐	☐	☐	
Zoning requirements for district: • frontage • lot dimensions/density • all setbacks • lot coverage	☑	☐	☐	☐	
Zoning overlay districts	☑	☐	☐	☐	

Existing Topographic Features:

Contour lines a (not to exceed two-foot Intervals, except on steep slopes) and spot elevations	☑	☐	☐	☐	
Soil types and boundaries	☑	☐	☐	☐	
Soil test pit locations, profiles, and Depth to water table and ledge	☐	☐	☑	☐	
Percolation test locations and results	☐	☐	☑	☐	

Existing Topographic Features Continued:

	Yes	No	N/A	Waiver Requested	Comments
Water features (ponds, streams)	☐	☐	☑	☐	
Wetlands including name of certified Wetlands scientist who delineated	☐	☐	☑	☐	
Statement whether located in flood area, And if so, 100 year flood elevation	☐	☐	☑	☐	
Delineation of trees and open areas	☑	☐	☐	☐	
Overview of types of trees and vegetation	☑	☐	☐	☐	
Stone walls and archaeological features	☐	☐	☑	☐	
Locations of trails and paths	☐	☐	☑	☐	
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc)	☐	☐	☑	☐	

Building Information

Existing buildings/structures including square footage and use	☑	☐	☐	☐	
Proposed building/structures including • square footage • first floor elevation • use • # bedrooms per unit if residential	☑	☐	☐	☐	
Elevation drawing of proposed buildings and structures as follows: • Showing all four sides • Drawn to scale with dimensions • Showing exterior materials • Showing exterior colors	☑	☐	☐	☐	

Circulation and Parking Plans

Existing and proposed driveways and access points including: • Width of opening • Turning radii • Cross section of driveway	☑	☐	☐	☐	
Curbing & edge treatment	☑	☐	☐	☐	
Traffic control devices, if appropriate:	☐	☐	☑	☐	

Circulation and Parking Plans Continued:

	Yes	No	N/A	Waiver Requested	Comments
Number of parking spaces • required by ordinance • proposed	☑	☐	☐	☐	
Parking layout and dimensions of spaces	☑	☐	☐	☐	
Handicap spaces	☑	☐	☐	☐	
Loading area	☑	☐	☐	☐	
Pedestrian circulation plan (including existing sidewalks in vicinity, if any)	☑	☐	☐	☐	
Bicycle rack, if appropriate	☐	☑	☐	☐	
Buffers, landscaping & screening	☑	☐	☐	☐	
Snow storage areas/plan	☑	☐	☐	☐	

Utilities

Show all pertinent existing and proposed profiles, elevations, materials, sizes, and details

Water lines/well (with protective radius)	☑	☐	☐	☐	
Sewer lines/septic and leaching areas	☑	☐	☐	☐	
Pump stations	☐	☑	☐	☐	
Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc.	☑	☐	☐	☐	
Fire hydrant location(s) and details	☐	☑	☐	☐	
Electric, telephone, cable TV (underground or overhead)	☑	☐	☐	☐	
Gas lines	☑	☐	☐	☐	
Fire alarm connections	☐	☑	☐	☐	
Treatment of solid waste (dumpsters?)	☑	☐	☐	☐	
Handing of oil, grease, chemicals hazardous materials/waste	☐	☐	☑	☐	

Landscaping Plan

	Yes	No	N/A	Waiver Requested	Comments
Demarcation of limits of construction, clear delineation of vegetation to be saved, and strategy for protecting vegetation	☑	☐	☐	☐	
Proposed ground cover, shrubbery, and trees including: • botanical and common names • locations and spacing • total number of each species • size at installation	☑	☐	☐	☐	
Planting plan (size of holes, depth of planting, soil amendments, etc.)	☐	☑	☐	☐	
Irrigation: system? soaker hose? Manual? underground, etc.	☐	☑	☐	☐	
Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc)	☐	☐	☑	☐	
Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.)	☑	☐	☐	☐	
Fencing/screening	☑	☐	☐	☐	

Signage

Location and type of signs: • Attached to building • Freestanding • Directional, if appropriate	☐	☑	☐	☐	
Dimensions of signs: • Height • Area • Setback	☐	☑	☐	☐	
Elevation drawings with colors & materials	☐	☑	☐	☐	
Type of Illumination, if proposed	☐	☑	☐	☐	

Outdoor Lighting

	Yes	No	N/A	Waiver Requested	Comments
Locations	☑	☐	☐	☐	
Height of fixtures	☐	☑	☐	☐	
Wattage	☐	☑	☐	☐	
Type of light (high pressure sodium, etc)	☐	☑	☐	☐	
Design/cut sheets of fixtures	☐	☑	☐	☐	
Illumination study, if appropriate	☐	☑	☐	☐	

Other Elements

Traffic study, if appropriate	☐	☑	☐	☐	
Drainage study with calculations, storm Water impact analysis, and mitigation plan	☐	☑	☐	☐	
Grading plan (including finish grades)	☑	☐	☐	☐	
Earth being removed from site(in cubic yards)	☑	☐	☐	☐	
Erosion and sedimentation plan	☐	☑	☐	☐	
Proposed covenants, easements, And deed restrictions, if any	☑	☐	☐	☐	
Fiscal impact study, if requested	☐	☑	☐	☐	

Additional Comments:

A WAIVER IS REQUESTED FOR THE REQUIREMENT TO PROVIDE A NEW SURVEY. THE SITE PLAN IS BASED ON EXISTING SURVEY AND AS-BUILT PLANS.

KOZBRO
DEVELOPMENT
COMPANY

RECEIVED
FEB 22 2022
By

LETTER OF AUTHORIZATION

We, Kryzstof and Renata Kozlowski, Owners of 9 Academy Street, hereby authorize Krystian Kozlowski, Representative for KozBro Development Company, to apply for Planning Board Approval for (2) 3-unit residential buildings at 9 Academy Street, Rochester, NH 03867.

Renata Kozlowski — 02 10 2022

Property Owner's Signature — Date

02.10.1022

Property Owner's Signature — Date

Address: 9 Academy Street, Rochester, NH 03867

Phone: (603) 767-4481, (603) 767-4116

Email: kriskozlowski@hotmail.com

KNOW ALL MEN BY THESE PRESENTS,

THAT I,Fred A.Couture of Rochester in the County of Strafford and State of New Hampshire in consideration of one dollar and other valuable considerations to me paid by STANDARD OIL COMPANY OF NEW YORK, INC. a corporation duly established under the laws of the State of New York,and having its principal office and place of business at 26 Broadway, in the Borough of Manhattan in the City,County and State of New York the receipt whereof I do hereby acknowledge,have given,granted,bargained,sold and conveyed, and do for myself and heirs,by these presents,give,grant,bargain,sell and convey unto the said STANDARD OIL COMPANY OF NEW YORK, INC., its successors and assigns,forever,

A certain tract or parcel of land with the buildings thereon situate on the southwesterly side of South Main Street in said Rochester bounded and described as follows: Beginning at a stone bound in the southwesterly line of said South Main Street at the northerly corner of land now or formerly of Watson,thence south fifty-seven degrees(57°) twenty minutes(20') west by land now or formerly of Watson and land now or formerly of Fisher a distance of one hundred ninety-three and six inches(193.6) feet to a stone bound at the northerly corner of land now or formerly of Roberts;thence north thirty-one degrees(31°) twenty-five minutes(25') west by other land of the grantor a distance of one hundred twenty-five(125) feet to a stone bound;thence north fifty-seven degrees(57°) twenty minutes(20') east by other land of the grantor a distance of two hundred(200) feet to a stone bound in the said southwesterly line of said South Main Street;thence south twenty-eight degrees(28°) ten minutes(10') east by said South Main Street a distance of one hundred twenty-five(125) feet to the point of beginning. And also all the right,title and interest of the grantor in the said South Main Street abutting the premises hereinbefore described.

Together with and as appurtenant to the above described premises the following rights in the following described premises which are forever to be kept open and unobstructed(except for the lighting poles and equipment hereinafter mentioned) and in all the right,title and interest of the grantor in the said South Main Street abutting the following described premises: a right of way to be used in common with all other persons lawfully entitled thereto for all purposes and modes of travel and transportation by men and/or vehicles or by any means,for the use of the grantee,its successors in interest and all persons having occasion to use the premises hereinbefore conveyed in fee with the right to enter or leave the following described premises at all points on the said South Main Street and all points on the boundary line between the said following described premises and the premises above conveyed in fee;the right to construct and maintain in suitable condition a pavement on the following described premises and an approach from and on said South Main Street to the said following described premises and to the premises above conveyed in fee,and the right to install,construct,erect and operate upon the said premises lighting poles,fixtures,wires and equipment for the purposes of illuminating the following described premises and the premises above conveyed in fee; a certain tract or parcel of land adjoining the premises above conveyed in fee,bounded and described as follows: Beginning at a stone bound in the southwesterly line of said South Main Street at the northerly corner of the premises hereinbefore described thence south fifty seven degrees (57°) twenty minutes(20') west by said premises above described a distance of two hundred(200) feet to a stone bound;thence north thirty-one degrees(31°)

twenty-five minutes(25') west a distance of thirty-two and six tenths(32.6)feet to a point at land now or formerly of Annie Wallace;thence north sixty-one degrees(61°)fifty minutes (50') east by said Wallace land a distance of two hundred one(201) feet more or less to a stone bound in the said southwesterly line of South Main Street;thence southerly by said South Main Street a distance of eighteen and seventy-five one hundredths (18.75) feet to the point of beginning.

For a further description see: "Plan of Land in Rochester,New Hampshire surveyed for STANDARD OIL COMPANY OF NEW YORK, INC. by L.E.Scruton,C.E.,November 20,1931." to be recorded herewith at the Strafford County Registry of Deeds.

TO HAVE AND TO HOLD the afore described premises,with all the privileges and appurtenances thereunto belonging to the said grantee its successors and assigns,to their use and behoof forever. And I do covenant with the said grantee its successors and assigns, that I am lawfully seized in fee of the afore-described premises; that they are free of all incumbrances;that I have good right to sell and convey the same to the said grantee in manner aforesaid; and that I and my heirs will warrant and defend the same premises to the said grantee its successors and assigns forever,against the lawful claims and demands of all persons.

And I am not married.

And we and each of us,hereby release our several rights of Homestead in said premises under and by virtue of any law of this State.

IN WITNESS WHEREOF I have hereunto set my hand and seal this thirteenth day of January in the year of our Lord one thousand,nine hundred and thirty-two.

Signed,sealed and delivered in presence of

R B Hamblett)
) to
Albert D.Jones) F.A.C.

Fred A.Couture SEAL

STATE OF NEW HAMPSHIRE.

HILLSBOROUGH, SS. Jan.13,A.D.1932.

Personally appeared the above named Fred A.Couture and acknowledged the above instrument to be his free act and deed. Before me

Robert ~~B~~ Burns Hamblett Justice of the Peace
Robert Burns Hamblett.

Received 2:47 P.M.January 13,1932. Examined by George G. Welch .....Register.

ASSIGNMENT OF MORTGAGE

KNOW ALL MEN BY THESE PRESENTS: That I Samuel D.Felker of Rochester,New Hampshire,in consideration of the sum of Two thousand dollars to me paid by the Rochester Trust Company,of Rochester,N.H.,the receipt whereof is hereby acknowledged,do hereby assign, transfer and set over unto the said Rochester Trust Company,its successors and assigns, the within mortgage made by John Barnard and the note secured thereby,dated July 1,1920, recorded in the Strafford County Registry of Deeds,Book 397,Page 222;together with all my right,title,interest and estate in and unto the same,to the premises therein conveyed and to the debt thereby secured.

WITNESS my hand and seal this 5th day of Nov.1927

Signed,sealed and delivered in the presence of
Byron H.Horne

Samuel D Felker SEAL

STATE OF NEW HAMPSHIRE, Strafford,SS. Nov 5,1927

Then personally appeared the above named Samuel D.Felker and acknowledged the foregoing assignment to be his free act and deed.

BEFORE ME, Byron H.Horne, Justice of the Peace.

Received8:30 A.M.January 8,1932. Examined by George G. Welch .....Register.

Ass Mortgage Recorded Book 397 Page 222

STATE OF NEW HAMPSHIRE

DEPARTMENT OF REVENUE ADMINISTRATION
REAL ESTATE TRANSFER TAX

MO	DAY	YR
01	08	92

$ 42.00

XXXX THOUSAND XXX HUNDRED AND X42 DOLLARS

CONTROL NUMBER 40109 | VOID IF ALTERED

41-1037B
LEG R. 0655
RE-061.3
10/29/91

92 JAN -8 PM 12:36
REGISTER OF DEEDS
STRAFFORD COUNTY

BK1589PG0716

000310

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT (the "Agreement") made this Eighteenth (18th) day of November, 1991, by and between **STRAFFORD GUIDANCE CENTER, INC.**, a New Hampshire corporation with a principal place of business at 130 Central Avenue, Dover, New Hampshire 03820 ("Grantor"), and **FRIENDLY ICE CREAM CORPORATION**, a Massachusetts corporation with a principal place of business at 1855 Boston Road, Wilbraham, Massachusetts 01095 ("Grantee").

WITNESSETH:

WHEREAS, the Grantor is the owner of an easement in common with unknown others located off of South Main Street, Rochester, New Hampshire ("Grantor's Land"); and

WHEREAS, the Grantee is the owner of a tract of land located at 77 South Main Street, Rochester, New Hampshire ("Grantee's Land"); and

WHEREAS, Grantee has requested that Grantor create a certain easement for the sole and limited purpose of emergency pedestrian access over, upon and across a certain portion of Grantor's Land.

NOW, THEREFORE, in consideration of the covenants contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which is acknowledged, the following grants, agreements, covenants and restrictions are made:

A. Easement for Ingress and Egress. Grantor hereby quitclaims to Grantee an easement, for the sole and limited purpose of emergency pedestrian ingress and egress to and from Grantee's Land over and upon a portion of Grantor's Land as shown on Schedule A (the "Easement Area") for egress to South Main Street. Grantor reserves the right to use the Easement Area in any manner not inconsistent with the rights granted in this Agreement. This Easement shall be subject to all easements, restrictions, conditions and encumbrances of record.

B. Construction of Easement. Grantor and Grantee acknowledge that the Easement granted by this Agreement will require the removal of a five foot (5') section of an existing guardrail situated on Grantor's Land adjacent to Grantee's Land, as more particularly shown on Schedule A. Grantor consents to such construction which will be performed at the sole cost and expense of Grantee.

C. Barriers. The Grantor and Grantee agree that no barriers, fences, curbs, walls, ditches, barricades or other structures will be erected on, along or adjacent to the Easement Area so as to burden or interfere with, impede, slow, divert or in any way prevent emergency pedestrian traffic from freely passing across Grantor's Land to Grantee's Land, or from Grantee's Land to Grantor's Land. This Agreement is not to be construed as being intended to prevent further or additional development on or use of Grantor's Land from time to time.

D. Easement Agreement - Duration. The covenants and provisions contained in this Agreement shall constitute express covenants and shall inure to the benefit of and be binding upon Grantor and Grantee and shall run with the land.

E. Grantee's Covenants. Grantee covenants and agrees as follows:

1. Grantee shall perform its work under this Agreement at its sole expense and risk, in a good and workmanlike manner, free of mechanics' liens and in accordance with all applicable laws, regulations and permits.

2. Grantee shall indemnify and save Grantor harmless from and against all liabilities, penalties, causes of action, suits, claims, losses or demands of whatever nature, including, but not limited to, reasonable attorneys' fees and court costs, arising from or growing out of this Easement.

F. Entire Agreement; Amendments. This Agreement contains the entire agreement and understanding of the parties with respect to the subject matter of this Agreement. This Agreement may not be amended, changed or modified except by a written document executed by all parties to this Agreement. The words "Grantor" and "Grantee" shall include lessees, heirs, executors, administrators, successors and assigns where the context so requires or permits.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed and delivered under seal as of the date first above written.

Grantor:
STRAFFORD GUIDANCE CENTER, INC.

By: Catherine Becallo
Catherine Becallo

Its: Executive Director

BK1589PG0717

Grantee:
FRIENDLY ICE CREAM CORPORATION

By: _____
Joseph A. O'Shaughnessy,
Senior Executive Vice
President

STATE OF NEW HAMPSHIRE)
COUNTY OF Strafford)ss. November 18, 1991

Then personally appeared before me Catherine Pecollo, the Executive Director of **STRAFFORD GUIDANCE CENTER, INC.**, and acknowledged the foregoing to be her free act and deed and the free act and deed of **STRAFFORD GUIDANCE CENTER, INC.**

_____
Notary Public

My Commission Expires:

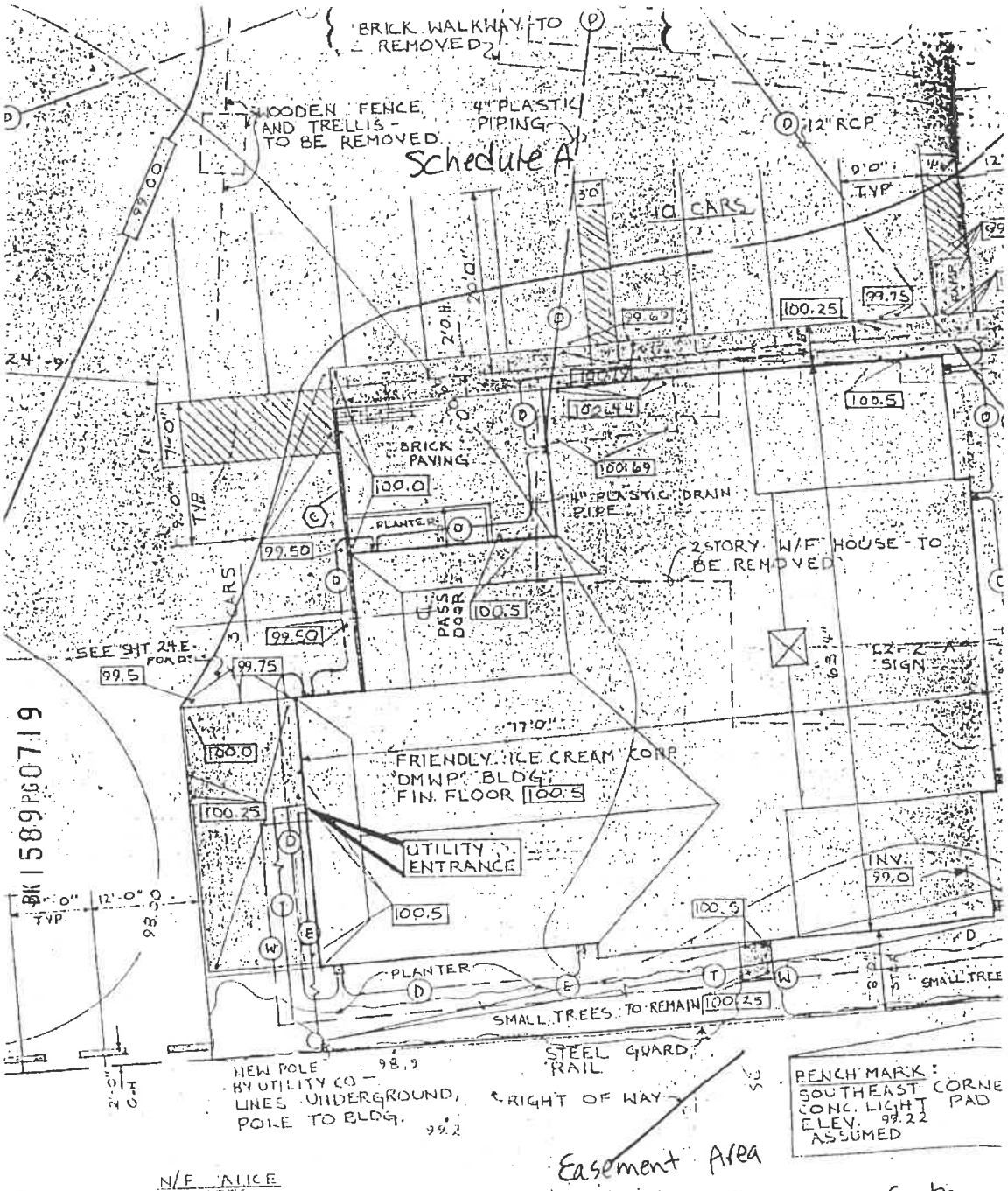
BARBARA J. SEWALL, Notary Public
My Commission Expires October 19, 1992

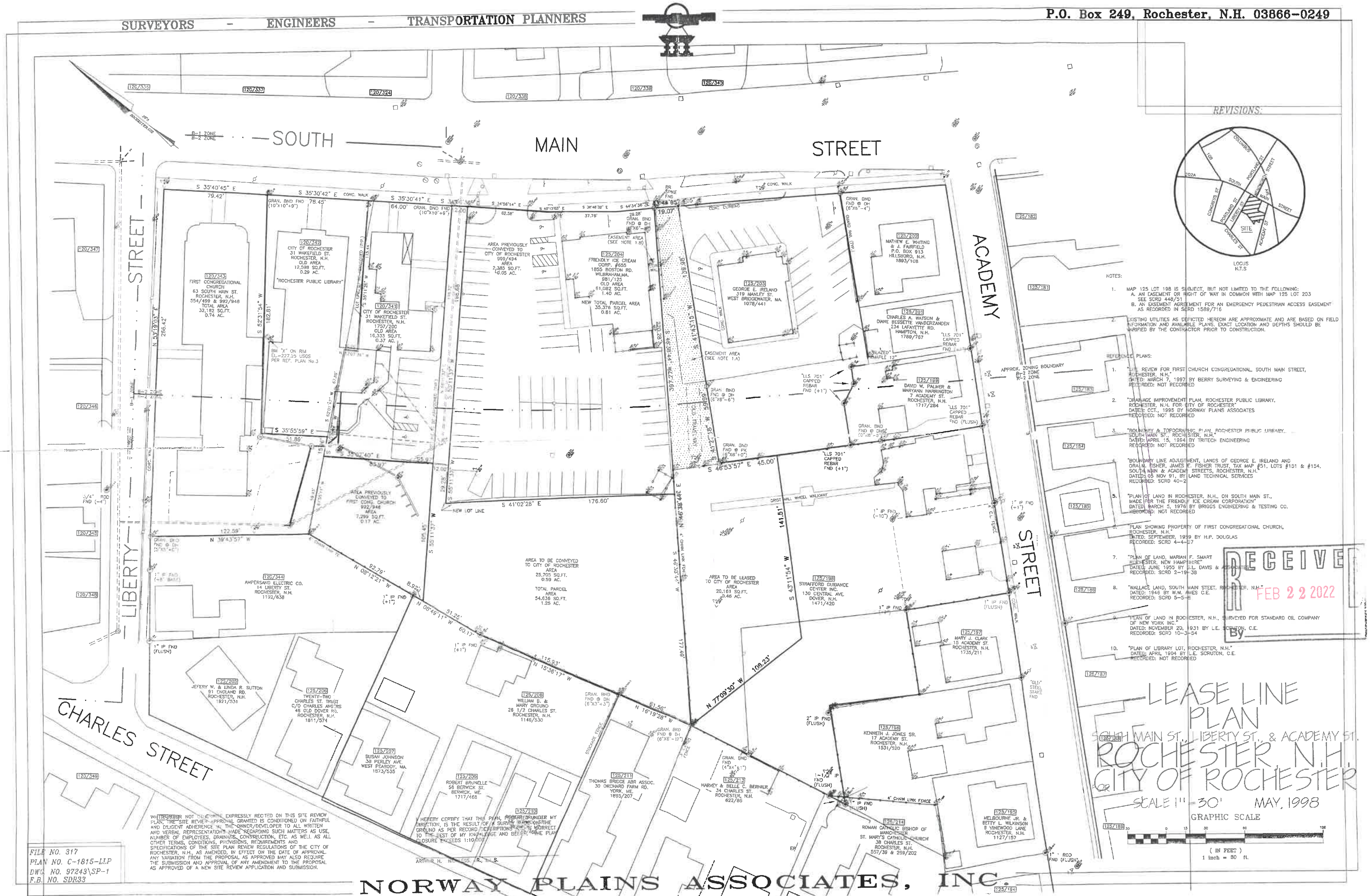
BK1589PG0718

COMMONWEALTH OF MASSACHUSETTS)
COUNTY OF HAMPDEN)ss. October 29, 1991

Then personally appeared before me Joseph A. O'Shaughnessy, the Senior Executive Vice President, of **FRIENDLY ICE CREAM CORPORATION**, and acknowledged the foregoing to be his free act and deed and the free act and deed of **FRIENDLY ICE CREAM CORPORATION.**

_____
Barbara A. Courtney
Notary Public
My Commission Expires: 4/6/95


BRICK WALKWAY TO REMOVED
WOODEN FENCE AND TRELLIS - TO BE REMOVED
4" PLASTIC PIPING
12" RCP
Schedule A
10 CARS
9'0" TYP
99.00
99.62
100.25
99.75
100.5
100.44
BRICK PAVING
100.69
100.0
4" PLASTIC DRAIN PIPE
PLANTER
99.50
2 STORY W/F HOUSE - TO BE REMOVED
PASS DOOR
100.5
SEE SHT 24E FOR D
99.5
99.75
LZFZ SIGN
77'0"
FRIENDLY ICE CREAM CORP
DMWP BLDG
FIN. FLOOR 100.5
100.0
100.25
UTILITY ENTRANCE
INV. 99.0
100.5
100.5
PLANTER
SMALL TREE
SMALL TREES TO REMAIN 100.25
STEEL GUARD RAIL
NEW POLE BY UTILITY CO - LINES UNDERGROUND, POLE TO BLDG.
RIGHT OF WAY
BENCH MARK: SOUTHEAST CORNER CONC. LIGHT PAD ELEV. 99.22 ASSUMED
Easement Area
N/F ALICE ROBERTS
Property of Stafford Guidance Center
South Main Street
PARKING AREA
REGISTER OF DEEDS STAFFORD COUNTY
BK 1589 PG 0719


SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS
P.O. Box 249, Rochester, N.H. 03866-0249
SOUTH MAIN STREET
LIBERTY STREET
CHARLES STREET
ACADEMY STREET
120/343 FIRST CONGREGATIONAL CHURCH 63 SOUTH MAIN ST. ROCHESTER, N.H. 554/499 & 992/946 TOTAL AREA 32,182 SQ.FT. 0.74 AC.
120/342 CITY OF ROCHESTER 31 WAKEFIELD ST. ROCHESTER, N.H. OLD AREA 12,598 SQ.FT. 0.29 AC. "ROCHESTER PUBLIC LIBRARY"
120/341 CITY OF ROCHESTER 31 WAKEFIELD ST. ROCHESTER, N.H. 1757/200 OLD AREA 16,333 SQ.FT. 0.37 AC.
AREA PREVIOUSLY CONVEYED TO CITY OF ROCHESTER 999/494 AREA 2,385 SQ.FT. 0.05 AC.
125/204 FRIENDLY ICE CREAM CORP. #655 1855 BOSTON RD. WILBRAHAM, MA. 981/125 OLD AREA 61,082 SQ.FT. 1.40 AC. NEW TOTAL PARCEL AREA 35,376 SQ.FT. 0.81 AC.
EASEMENT AREA (SEE NOTE 1.B)
125/203 GEORGE E. IRELAND 319 MANLEY ST. WEST BRIDGEWATER, MA. 1078/441
EASEMENT AREA (SEE NOTE 1.A)
125/202 MATHEW E. WHITING & J. FAIRFIELD P.O. BOX 913 HILLSBORO, N.H. 1893/108
125/201 CHARLES A. WATSON & DIANE BESSETTE VANDERZANDEN 234 LAFAYETTE RD. HAMPTON, N.H. 1789/767
125/199 DAVID W. PALMER & MARYANN HARRINGTON 7 ACADEMY ST. ROCHESTER, N.H. 1717/284
AREA PREVIOUSLY CONVEYED TO FIRST CONG. CHURCH 992/946 AREA 7,299 SQ.FT. 0.17 AC.
AREA TO BE CONVEYED TO CITY OF ROCHESTER AREA 25,705 SQ.FT. 0.59 AC. TOTAL PARCEL AREA 54,636 SQ.FT. 1.25 AC.
AREA TO BE LEASED TO CITY OF ROCHESTER AREA 20,161 SQ.FT. 0.46 AC.
125/198 STRAFFORD GUIDANCE CENTER INC. 130 CENTRAL AVE. DOVER, N.H. 1471/420
GRIST MILL WHEEL WALKWAY
120/344 AMPERSAND ELECTRIC CO. 14 LIBERTY ST. ROCHESTER, N.H. 1192/638
125/205 JEFERY W. & LINDA R. SUTTON 91 ENGLAND RD. ROCHESTER, N.H. 1921/531
125/206 TWENTY-TWO CHARLES ST. TRUST C/O CHARLES ANGERS 48 OLD DOVER RD. ROCHESTER, N.H. 1811/574
125/207 SUSAN JOHNSON 38 PERLEY AVE. WEST PEABODY, MA. 1873/535
125/208 WILLIAM B. & MARY GROUND 26 1/2 CHARLES ST. ROCHESTER, N.H. 1146/530
125/209 ROBERT BRUNELLE 56 BERWICK ST. BERWICK, ME. 1717/466
125/211 THOMAS BRIDGE ABR ASSOC. 30 ORCHARD FARM RD. YORK, ME. 1865/207
125/213 HARVEY & BELLE C. BERNIER 34 CHARLES ST. ROCHESTER, N.H. 622/85
125/214 ROMAN CATHOLIC BISHOP OF MANCHESTER ST. MARY'S CATHOLIC CHURCH 38 CHARLES ST. ROCHESTER, N.H. 557/39 & 269/202
125/196 KENNETH J. JONES SR. 17 ACADEMY ST. ROCHESTER, N.H. 1531/520
125/197 MARY J. CLARK 15 ACADEMY ST. ROCHESTER, N.H. 1735/211
125/195 MELBOURNE JR. & BETTY L. WILKINSON 5 VINEWOOD LANE ROCHESTER, N.H. 1127/157
LOCUS N.T.S
NOTES:
1. MAP 125 LOT 198 IS SUBJECT, BUT NOT LIMITED TO THE FOLLOWING:
A. AN EASEMENT OR RIGHT OF WAY IN COMMON WITH MAP 125 LOT 203 SEE SCRD 448/51
B. AN EASEMENT AGREEMENT FOR AN EMERGENCY PEDESTRIAN ACCESS EASEMENT AS RECORDED IN SCRD 1589/716
2. EXISTING UTILITIES AS DEPICTED HEREON ARE APPROXIMATE AND ARE BASED ON FIELD INFORMATION AND AVAILABLE PLANS. EXACT LOCATION AND DEPTHS SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
REFERENCE PLANS:
1. "SITE REVIEW FOR FIRST CHURCH CONGREGATIONAL, SOUTH MAIN STREET, ROCHESTER, N.H." DATED: MARCH 7, 1997 BY BERRY SURVEYING & ENGINEERING RECORDED: NOT RECORDED
2. "DRAINAGE IMPROVEMENT PLAN, ROCHESTER PUBLIC LIBRARY, ROCHESTER, N.H. FOR CITY OF ROCHESTER" DATED: OCT., 1995 BY NORWAY PLAINS ASSOCIATES RECORDED: NOT RECORDED
3. "BOUNDARY & TOPOGRAPHIC PLAN, ROCHESTER PUBLIC LIBRARY, SOUTH MAIN ST., ROCHESTER, N.H." DATED: APRIL 15, 1994 BY TRITECH ENGINEERING RECORDED: NOT RECORDED
4. "BOUNDARY LINE ADJUSTMENT, LANDS OF GEORGE E. IRELAND AND ORA M. FISHER, JAMES E. FISHER TRUST, TAX MAP #51, LOTS #151 & #154, SOUTH MAIN & ACADEMY STREETS, ROCHESTER, N.H." DATED: 05 NOV 91, BY LAND TECHNICAL SERVICES RECORDED: SCRD 40-2
5. "PLAN OF LAND IN ROCHESTER, N.H., ON SOUTH MAIN ST., MADE FOR THE FRIENDLY ICE CREAM CORPORATION" DATED: MARCH 5, 1976 BY BRIGGS ENGINEERING & TESTING CO. RECORDED: NOT RECORDED
6. "PLAN SHOWING PROPERTY OF FIRST CONGREGATIONAL CHURCH, ROCHESTER, N.H." DATED: SEPTEMBER, 1959 BY H.P. DOUGLAS RECORDED: SCRD 4-4-27
7. "PLAN OF LAND, MARIAN F. SMART ROCHESTER, NEW HAMPSHIRE" DATED: JUNE 1955 BY C.L. DAVIS & ASSOCIATES RECORDED: SCRD 2-19-38
8. "WALLACE LAND, SOUTH MAIN STEET, ROCHESTER, N.H." DATED: 1946 BY W.M. AMES C.E. RECORDED: SCRD 5-5-8
9. "PLAN OF LAND IN ROCHESTER, N.H., SURVEYED FOR STANDARD OIL COMPANY OF NEW YORK INC." DATED: NOVEMBER 20, 1931 BY L.E. SCRUTON, C.E. RECORDED: SCRD 10-3-54
10. "PLAN OF LIBRARY LOT, ROCHESTER, N.H." DATED: APRIL 1904 BY L.E. SCRUTON, C.E. RECORDED: NOT RECORDED
RECEIVED FEB 22 2022 By
LEASE LINE PLAN
SOUTH MAIN ST., LIBERTY ST., & ACADEMY ST.
ROCHESTER, N.H.
FOR CITY OF ROCHESTER
SCALE 1" = 30' MAY, 1998
GRAPHIC SCALE (IN FEET) 1 inch = 30 ft.
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE REVIEW PLAN, THE SITE REVIEW APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL OTHER TERMS, CONDITIONS, PROVISIONS, REQUIREMENTS AND SPECIFICATIONS OF THE SITE PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED, IN EFFECT ON THE DATE OF APPROVAL. ANY VARIATION FROM THE PROPOSAL AS APPROVED MAY ALSO REQUIRE THE SUBMISSION AND APPROVAL OF ANY AMENDMENT TO THE PROPOSAL AS APPROVED OF A NEW SITE REVIEW APPLICATION AND SUBMISSION.
I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.
ARTHUR H. NICKLESS, JR., L.L.S.
FILE NO. 317
PLAN NO. C-1815-LLP
DWG. NO. 97243\SP-1
F.B. NO. SDR33
NORWAY PLAINS ASSOCIATES, INC.

MINOR SITE PLAN
FOR
"MILLSTONE PLACE"
MULTI-FAMILY RESIDENCES

TABLE OF CONTENTS

SHEET 1 EXISTING CONDITIONS PLAN
SHEET 2 SITE PLAN
SHEET 3 UTILITY PLAN
SHEET 4 UTILITY DETAILS
SHEET 5 GRADING PLAN
SHEET 6 FOUNDATION PLAN
SHEET 7 FIRST FLOOR PLAN
SHEET 8 SECOND FLOOR PLAN
SHEET 9 ELEVATIONS

ABBREVIATIONS

AC.	ACRE
C.L.	CENTER LINE
D.T.C.	DOWN TOWN COMMERCIAL
F.F.	FINISHED FLOOR
F.P.	FOOTPRINT
I.P.	IRON PIPE
L.F.	LINEAR FEET
O.H.U.	OVERHEAD UTILITIES
O.C.	ON CENTER
S.G.C.	SLOPED GRANITE CURB
S.F.	SQUARE FEET
S.C.R.D.	STRAFFORD COUNTY REGISTRY OF DEEDS
TYP.	TYPICAL
U.G.E.	UNDERGROUND ELECTRIC UTILITIES
V.I.F.	VERIFY IN FIELD
'/,	FEET/FEET

OWNER: KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH 03867

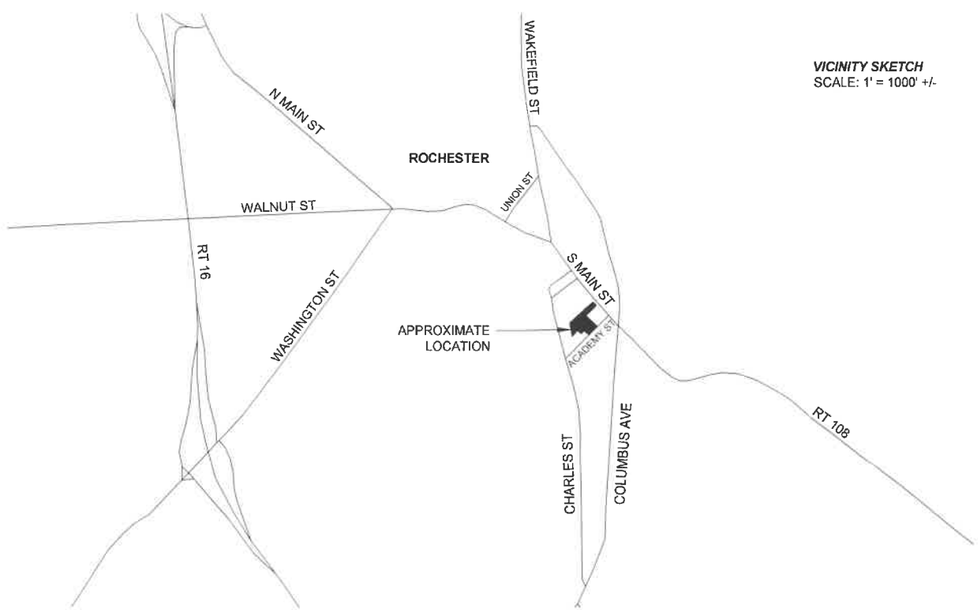
APPLICANT: KOZBRO DEVELOPMENT COMPANY
17 MORNING FOREST CT
THE WOODLANDS, TX 77381

ENGINEER OF RECORD: KRYSTIAN KOZLOWSKI, P.E. NH 14195
603-781-1124
KOZ@FASTMAIL.COM

GENERAL NOTES;

1. LATEST EDITION OF THE FOLLOWING CODES SHALL APPLY:
   - A. 2015 INTERNATIONAL RESIDENTIAL CODE,
   - B. 2015 INTERNATIONAL BUILDING CODE,
   - C. CITY OF ROCHESTER, NH GOVERNING ORDIANCE,
   - D. ANY OTHER FEDERAL, STATE, COUNTY, OR LOCAL GOVERNING CODES.

   IN CASE OF CONFLICT, THE MOST STRINGENT CODE SHALL APPLY.
2. THESE DOCUMENTS ARE INTENDED FOR ONE-TIME USE BY A PROFESSIONAL CONTRACTOR.



VICINITY SKETCH
SCALE: 1' = 1000' +/-

RECEIVED
FEB 22 2022
By_____

GENERAL PLAN SET NOTES:

1. 11X17" PLANS ARE HALF THE PUBLISHED SCALE.
2. ALL PLANS ARE CONSIDERED NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY_____**DATE**_____

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE
KRYSTIAN E. KOZLOWSKI No. 14195 LICENSED
PROFESSIONAL ENGINEER

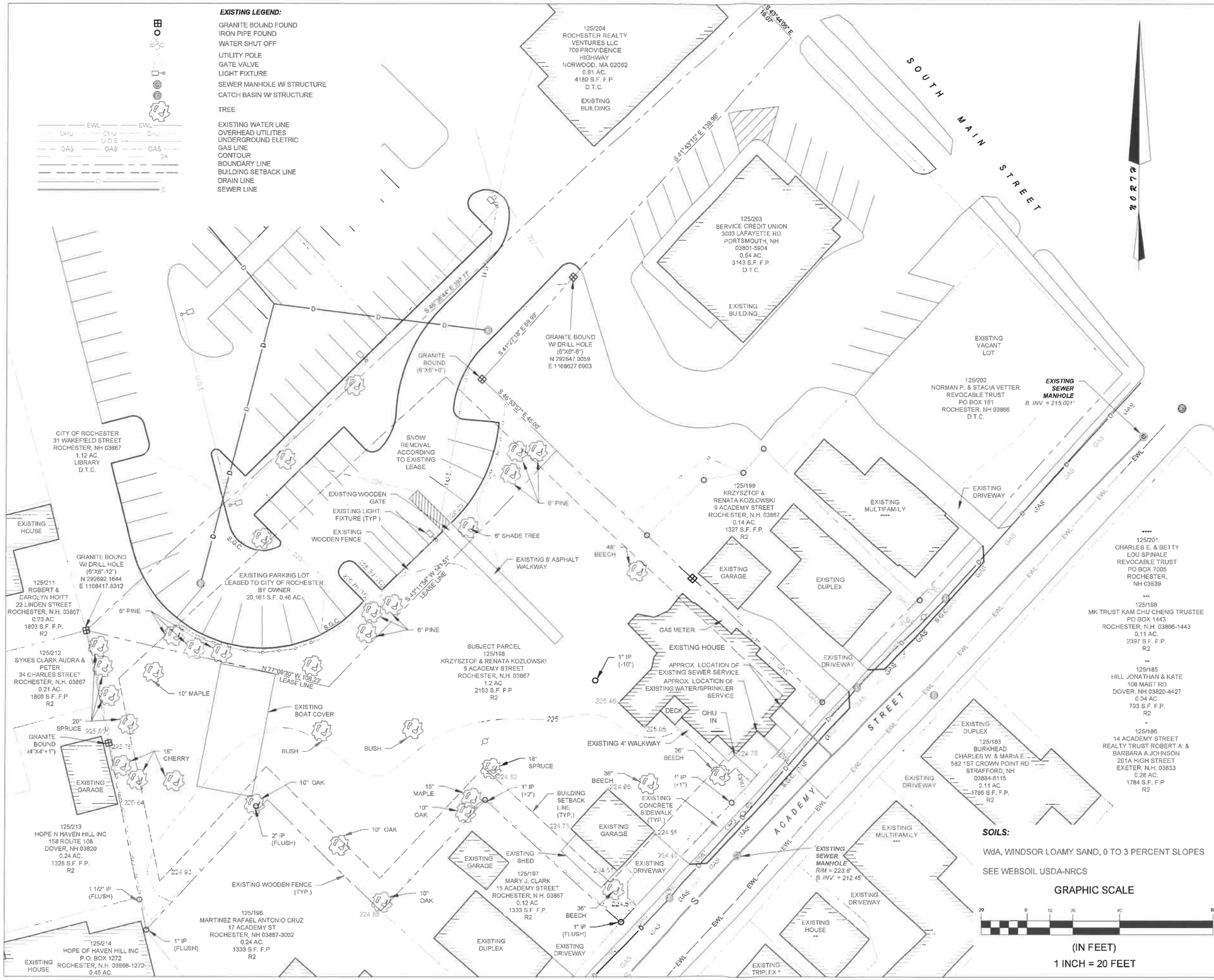
FOR PERMITTING ONLY

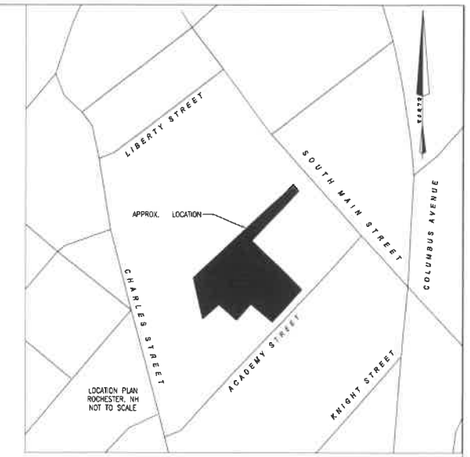
TITLE SHEET

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
C-0	0

CAD SCALE	AS NOTED	TITLE SHEET
ORIGINAL SIZE	ANSI D	





NOTES:

1. OWNER: KRZYSZTOF & RENATA KOZLOWSKI
   9 ACADEMY STREET
   ROCHESTER, NH 03867
2. TAX MAP 125, LOT 198
3. LOT AREA: 52,912 S.F., 1.21 AC.
4. S.C.R.D. BOOK 2515, PAGE 6
5. I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, PART OF THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330150, MAP# - 33017C0211D. DATED: OCTOBER 2020.
6. PROPERTY LINE INFORMATION HAS BEEN OBTAINED FROM A LEASE LINE PLAN PREPARED BY NORWAY PLAINS.
7. THE SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER AND SEWER.
8. THE EXACT LOCATION OF THE EXISTING WATER AND CURB STOP UNKNOWN.

UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. NO WARRANTY IS MADE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

PLAN REFERENCES:

1. "LEASE LINE PLAN SOUTH MAIN ST., LIBERTY ST., & ACADEMY STREET, ROCHESTER, NH, CITY OF ROCHESTER"
   DATED: MAY, 1998
   BY: NORWAY PLAINS ASSOCIATES
2. "CITY OF ROCHESTER, NEW HAMPSHIRE CONTRACT DRAWINGS FOR PUBLIC LIBRARY PARKING LOT AND DRAINAGE IMPROVEMENTS"
   DATED: JULY, 1998
   BY: WRIGHT-PIERCE

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE — KRYSTIAN E. KOZLOWSKI No. 14165 LICENSED PROFESSIONAL ENGINEER

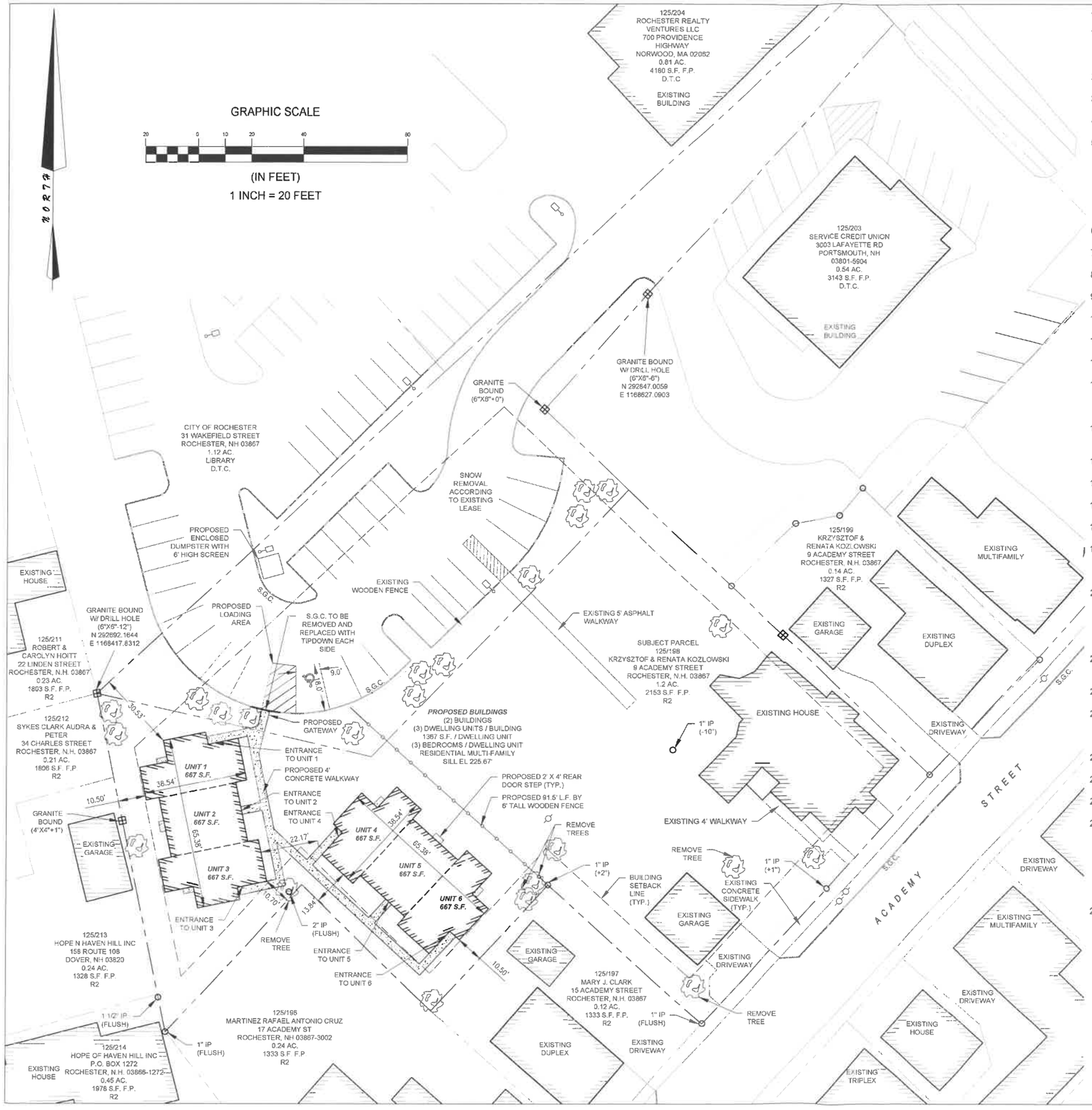
FOR PERMITTING ONLY

EXISTING CONDITIONS PLAN

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
C-1	0

CAD SCALE	1" = 20'	SHEET 1 OF 9
ORIGINAL SIZE	ANSI D	



NOTES:

1. OWNER: KRZYSZTOF & RENATA KOZLOWSKI
   9 ACADEMY STREET
   ROCHESTER, NH 03867
2. TAX MAP 125, LOT 198
3. LOT AREA: 52,912 S.F., 1.21 AC.
4. S.C.R.D. BOOK 2515, PAGE 6
5. ZONING: R-2 / ECONOMIC REVITALIZATION ZONE
   MINIMUM LOT AREA ~ 30,000 S.F.
   MINIMUM FRONTAGE ~ 100'
   MINIMUM LOT AREA / DWELLING UNIT ~ 5,000 S.F. OR 7,500 S.F.
   FRONT SETBACK ~ 15.0'
   REAR SETBACK ~ 25.0'
   SIDE SETBACK ~ 10.0'
6. THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED SITE PLAN ELEMENTS ON TAX MAP 125, LOT 198.
7. THE EXISTING LOT BUILDING COVERAGE IS 3,384 S.F., 6.4%
8. THE PROPOSED TOTAL LOT BUILDING COVERAGE IS 7,424 S.F., 14.0%
9. ALL ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND.
10. THE SUBJECT PARCEL IS SERVED BY MUNICIPAL WATER AND SEWER.
11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
12. APPROVED BACKFLOW PREVENTORS SHALL BE PROVIDED FOR BOTH FIRE AND DOMESTIC WATER LINES.
13. ALL EROSION CONTROL NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL MEASURES, AND PERMANENT STANDARDS SUCH AS LOAM SPREAD RATE FOR DISTURBED AREAS, RATES OF LIME, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION.
14. THE LIMITS OF CONSTRUCTION DISTURBANCE SHALL BE STAKED, FLAGGED, AND CLEARLY IDENTIFIED PRIOR TO THE COMMENCEMENT OF SITE WORK.
15. BUILDING ADDRESSES SHALL BE ASSIGNED BY THE BUILDING ASSESSOR.
16. THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY: NONE
17. THIS PLAN PROPOSES 7,248 +/- S.F. OF DISTURBANCE.
18. CALL DIG SAFE PRIOR TO BEGINNING WORK (1-888-344-7233).
19. ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONSTRUCTION SHALL ALSO CONFORM TO THE CITY OF ROCHESTER POLICIES AND PRACTICES.
20. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
21. THE SITE LAYOUT IS DESIGNED IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS. THE PROPOSED STRUCTURE WILL ALSO BE DESIGNED IN ACCORDANCE WITH APPLICABLE ACCESSIBILITY REGULATIONS.
22. LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD IF ADJUSTMENT: NONE
23. THE CONSTRUCTION HOURS SHALL BE LIMITED TO MONDAY-FRIDAY 7AM-6PM, SATURDAY 8AM-6PM WITH NO SUNDAY HOURS. HOURS OF CONSTRUCTION SHALL BE DOCUMENTED ON A SITE CONSTRUCTION SIGN ALONG WITH THE CONTACT INFORMATION FOR THE GENERAL CONTRACTOR.
24. FROM GROUND BREAKING THE SITE SHALL REMAIN ACCESSIBLE YEAR ROUND IN ALL WEATHER CONDITIONS.
25. SOLID WASTE WILL BE REMOVED FROM THE SITE VIA A SOLID WASTE PICKUP AREA.
26. EXISTING BUILDING WILL ACCESS FROM THE SAME LOCATIONS.
27. LOT 198
    EXISTING BUILDING COVERAGE: 3,384 S.F. (6.4%)
    EXISTING PAVED IMPERVIOUS AREA: 14,386 S.F. (27.2%)
    TOTAL EXISTING IMPERVIOUS COVER: 17,770 S.F. (33.6%)
    PROPOSED BUILDING IMPERVIOUS AREA: 4,040 S.F. (7.6%)
    PROPOSED PAVED IMPERVIOUS AREA: 819 S.F. (1.5%)
    TOTAL PROPOSED IMPERVIOUS COVER IS 4,859 S.F.
28. FOR MORE INFORMATION ABOUT THIS SITE PLAN CONTACT KRYSTIAN KOZLOWSKI (603) 781-1124.

PARKING REQUIREMENTS:

ROCHESTER SITE PLAN REGULATIONS
SECTION 10 TABLE 22 TABLE OF PARKING REQUIREMENTS

* RESIDENTIAL USES
** PROPERTIES IN ALL OTHER ZONES
** 2 PARKING SPACES PER UNIT.
** 7 UNITS x 2 SPACES = 14 SPACES REQ.

14 SPACES REQUIRED
26 SPACES PROVIDED (2 ON EXISTING DRIVEWAY WITH 24 ON EXISTING PARKING LOT ACCORDING TO LEASE)

FINAL APPROVAL BY ROCHESTER PLANNING BOARD

CERTIFIED BY_____**DATE**_____

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2-22-22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE – KRYSTIAN E. KOZLOWSKI No. 14186 LICENSED PROFESSIONAL ENGINEER

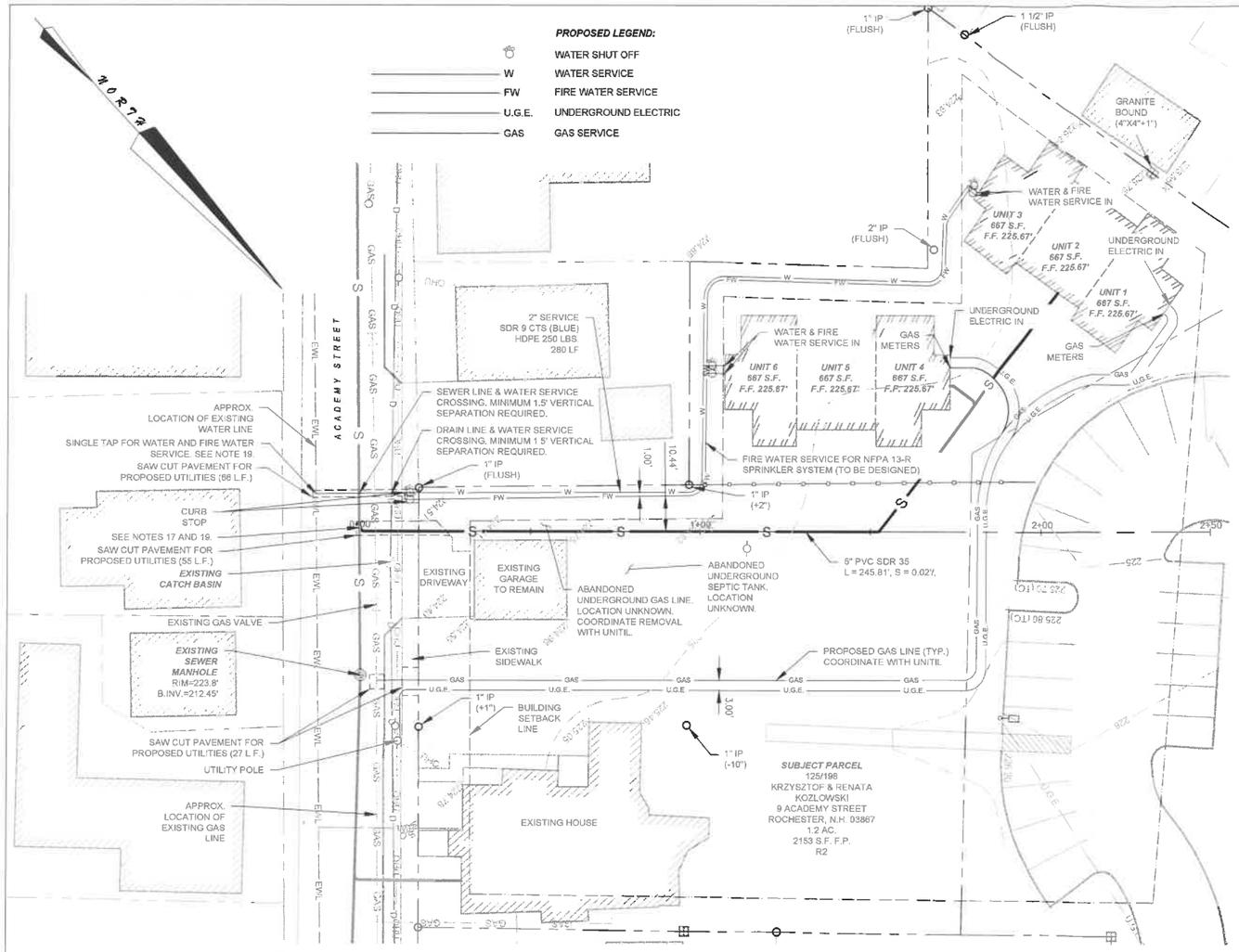
FOR PERMITTING ONLY

SITE PLAN

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
C-2	0

CAD SCALE	1" = 20'	SHEET 2 OF 9
ORIGINAL SIZE	ANSI D	



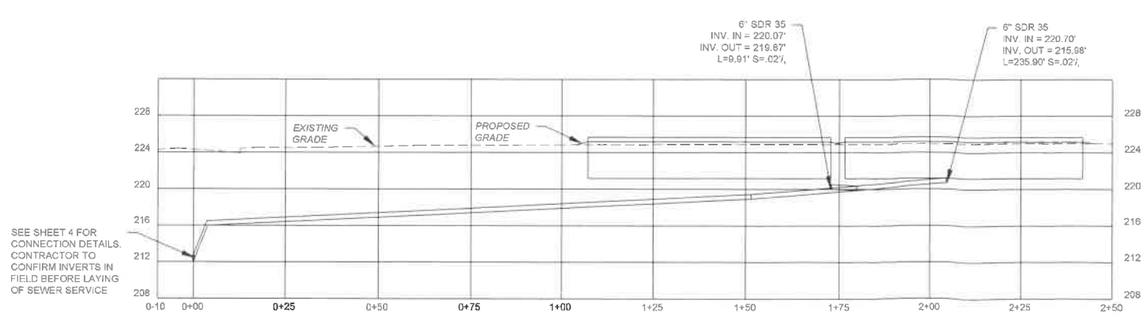
GRAPHIC SCALE

(IN FEET)

1 INCH = 20 FEET

VERTICAL SCALE: 1" = 8'

PLAN VIEW



PROPOSED SEWER SERVICE PROFILE

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE OVERVIEW PRIVATE UTILITIES WITHIN THE DEVELOPMENT PLAN.
2. UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE ENGINEER.
3. THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
4. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL MEETING THE ENGINEERS SPECIFIC RECOMMENDED CRITERIA.
5. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF OPERATIONS EACH DAY. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
6. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VOIDS BETWEEN STONES AND CLUMPS OF MATERIAL SHALL BE FILLED WITH FINE MATERIALS.
7. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES, AND THE ROCHESTER DPW.
8. CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
9. ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO THE CITY OF ROCHESTER STANDARDS. ALL HIGHWAY CONSTRUCTION WILL MEET THE CITY OF ROCHESTER STANDARDS.
10. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE (800) 662-7764. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL. A 48-HOUR MINIMUM NOTICE IS REQUIRED.
11. ALL SEWER INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF NHDES & ROCHESTER DPW SEWER DIVISION STANDARDS. ALL PVC SEWER PIPE IS TO CONFORM WITH ENV-WQ 704.05 (c)-(e) AND CONFORM WITH ASTM D3034. PVC JOINT SEALS SHALL CONFORM WITH ASTM D3121.
12. CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FAIRPOINT COMMUNICATIONS AT (603) 427-5525.
13. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH METROCAST.
14. CONTRACTOR SHALL COORDINATE ALL GAS INSTALLATIONS WITH UNITIL.
15. ALL WATER SERVICES ARE TO BE WITNESSED WITH A 2"X4" PAINTED BLUE. ALL SEWER SERVICES ARE TO BE WITNESSED WITH A 2'X4' PAINTED YELLOW, STUBBED PRIOR TO BUILDING CONSTRUCTION.
16. CURB BOXES SHOULD BE PLACED IN THE LAWN AREA, OR IF PLACED IN PAVEMENT, A ROAD BOX IS REQUIRED.
17. THE SHOWN LOCATION AND DEPTH OF THE EXISTING SEWER SERVICE ARE BASED ON CITY OF ROCHESTER DPW RECORDS. THE EXACT LOCATION AND DEPTH TO BE CONFIRMED BEFORE CONSTRUCTION.
18. ENTITIES SUCH AS COMPANIES AND MUNICIPALITIES, AND PERSONS ENGAGED IN ASBESTOS ABATEMENT PROJECTS MUST BE LICENSED AND CERTIFIED BY THE DES ASBESTOS CONTROL PROGRAM. AN ENTITY LICENSE IS NOT REQUIRED FOR MINOR AND SMALL-SCALE. SHORT-DURATION ACTIVITIES. HOWEVER, THE INDIVIDUALS INVOLVED MUST STILL HAVE THE APPROPRIATE LEVEL OF CERTIFICATION FOR THE ACTIVITY AND JOB TASK. THE CERTIFICATION IS TO ASSURE THAT PERSONS PERFORMING ASBESTOS WORK ARE SUITABLY QUALIFIED AND HAVE SUFFICIENT KNOWLEDGE AND ABILITY TO PERFORM THEIR JOB TASKS WITHOUT RISK TO THEMSELVES AND OTHERS. ALL ASBESTOS CONTAINING WASTE MATERIALS MUST BE [PROPERLY IDENTIFIED, PACKAGED, AND DELIVERED TO A LANDFILL LICENSED BY THE DES SOLID WASTE MANAGEMENT PROGRAM FOR DISPOSAL. CALL (603) 271-2925 FOR MORE INFORMATION.
19. THE APPLICANT SHALL COORDINATE WITH ROCHESTER DPW TO PROVIDE WATER TAP WITH STUB AND SEWER WYE WITH STUB TO PROPERTY LINE IF ACADEMY STREET INFRASTRUCTURE IMPROVEMENT PROJECT PRECEDES CONSTRUCTION OF THIS PROJECT.

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2-22-22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE — KRYSTIAN E. KOZLOWSKI No. 14195 LICENSED PROFESSIONAL ENGINEER

FOR PERMITTING ONLY

UTILITY PLAN

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

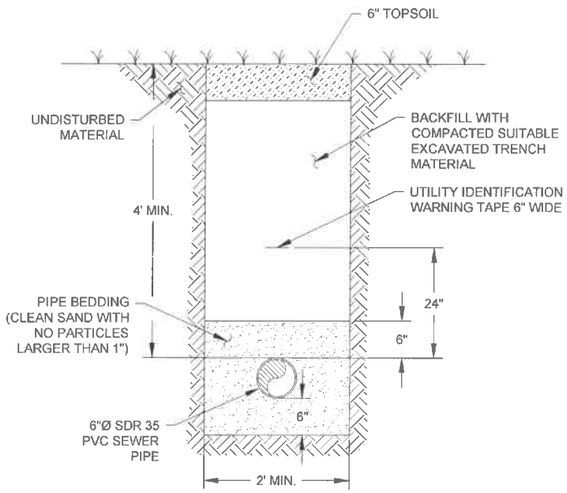
DRAWING NO. C-3

REV. 0

CAD SCALE: AS NOTED

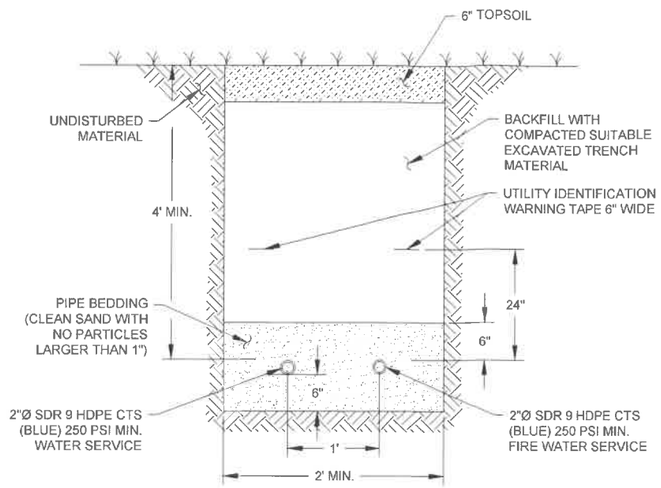
ORIGINAL SIZE: ANSI D

SHEET 3 OF 9



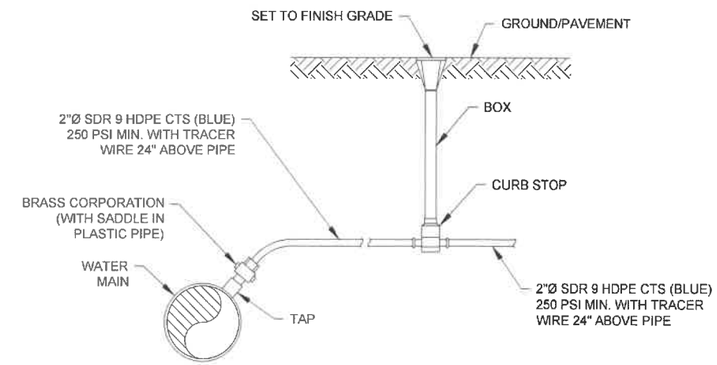
1 SEWER SERVICE TRENCH

NOT TO SCALE



2 WATER SERVICE TRENCH

NOT TO SCALE



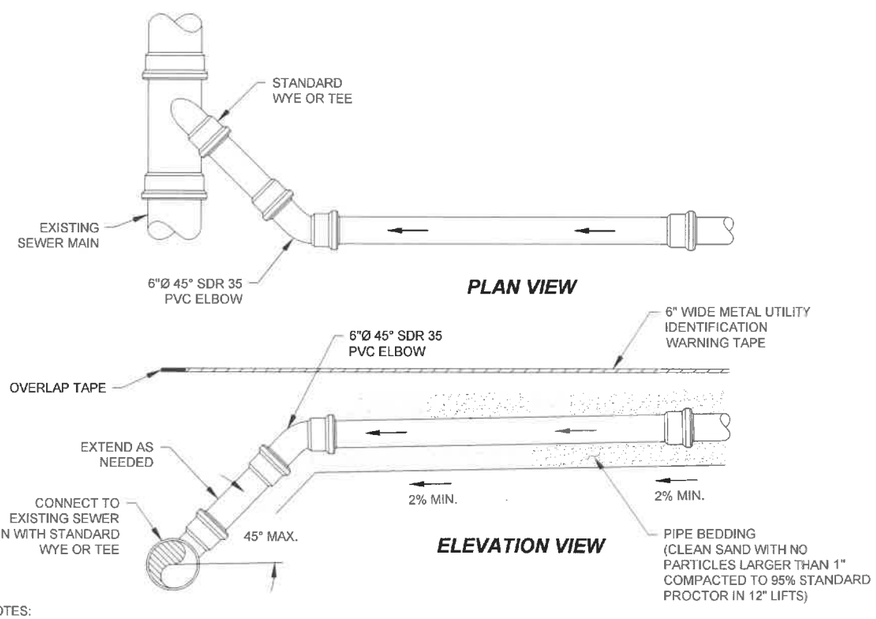
NOTES:

1. WHERE A WATER SERVICE CROSSES A SEWER MAIN, WATER SHALL PASS OVER THE SEWER AND MAINTAIN 18 INCHES OF SEPARATION WITH A MINIMUM COVER OF 4'.
2. WHERE SEPARATION AND MINIMUM COVER CANNOT BE MAINTAINED, CONSULT WITH ROCHESTER DPW FOR DESIGN ALTERATION.
3. CURB STOPS NOT TO BE SET IN DRIVEWAYS.
4. END OF INSTALLED WATER SERVICE TO BE MARKED WITH 2 X 4.

ELEVATION VIEW

3 WATER SERVICE CONNECTION

NOT TO SCALE

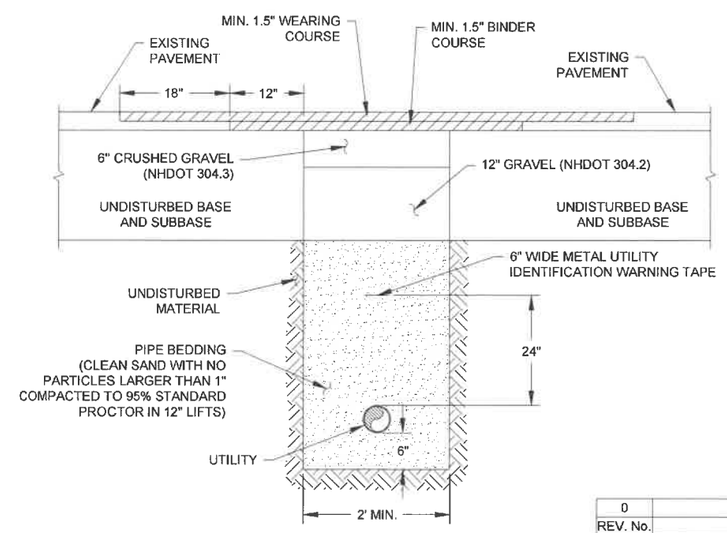


NOTES:

1. PROVIDE MAXIMUM 45° CONNECTION TO EXISTING SEWER MAIN. IN NO CASE SHALL THE CONNECTION BE MADE DIRECTLY ON TOP OF THE PIPE.
2. ALL JOINTS ON SEWER LATERAL SHALL BE COMPRESSION TYPE OR APPROVED SOLVENT WELD.
3. IF CONNECTION TO MAIN IS MADE PRIOR TO LATERAL INSTALLATION, LATERAL SHALL EXTEND BEYOND PROPERTY LINE AND BE CAPPED AND MARKED IN FIELD WITH 2 X 4.
4. DO NOT TAP HOLE AND INSERT LATERAL PIPE DIRECTLY INTO MAIN. ALL CONNECTIONS SHALL BE MADE USING A SADDLE OR WYE CUT IN. REVIEW DETAIL WITH ROCHESTER DPW PRIOR TO ORDERING MATERIALS.
5. SEWER LATERAL SHALL HAVE A 6" METAL TAPE WITH LETTERING INDICATING "SEWER" INSTALLED ABOVE THE ALIGNMENT OF THE NON-METALIC PIPE FROM SEWER MAIN TO PROPERTY LINE.

4 SEWER SERVICE CONNECTION

NOT TO SCALE



5 PAVEMENT PATCH

NOT TO SCALE

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2-22-22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE – KRYSTIAN E. KOZLOWSKI No. 14185 LICENSED – PROFESSIONAL ENGINEER

FOR PERMITTING ONLY

UTILITY DETAILS

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO. C-4

REV. 0

CAD SCALE: AS NOTED
ORIGINAL SIZE: ANSI D

SHEET 4 OF 9

PROPOSED LEGEND:

	WATER SHUT OFF
W	WATER SERVICE
FW	FIRE WATER SERVICE
U.G.E.	UNDERGROUND ELECTRIC
GAS	GAS SERVICE
	DISTURBED AREA

TOTAL AREA OF DISTURBANCE 7,248 S.F.

ACADEMY STREET

UNIT 1 667 S.F. F.F. 225.67'

UNIT 2 667 S.F. F.F. 225.67'

UNIT 3 667 S.F. F.F. 225.67'

UNIT 4 667 S.F. F.F. 225.67'

UNIT 5 667 S.F. F.F. 225.67'

UNIT 6 667 S.F. F.F. 225.67'

UNDERGROUND ELECTRIC IN

GAS METERS

WATER & FIRE WATER SERVICE IN

225

SEWER LINE & WATER SERVICE CROSSING MINIMUM 1.5' VERTICAL SEPARATION REQUIRED.

SAW CUT PAVEMENT FOR PROPOSED UTILITIES (66 L.F.)

3/C-4 SINGLE TAP FOR WATER AND FIRE WATER SERVICE

WATER SERVICE TRENCH

2/C-4

2" SERVICE SDR 9 CTS (BLUE) HDPE 250 LBS 200 LF

FIRE WATER SERVICE FOR NFPA 13-R SPRINKLER SYSTEM(TO BE DESIGNED)

0+00

CURB STOP

1+00

2+00

2+50

10.44'

1.00'

4/C-4 SEWER SERVICE CONNECTION

EXISTING CATCH BASIN

SEWER SERVICE TRENCH

1/C-4

8" PVC SDR 35 L = 245.81', S = 0.02'

225

SAW CUT PAVEMENT FOR PROPOSED UTILITIES (55 L.F.)

EXISTING GAS VALVE

5/C-4 RESTORE PAVEMENT (TYP)

EXISTING SIDEWALK

EXISTING SEWER MANHOLE RIM=225.6 B INV=212.45

SAW CUT PAVEMENT FOR PROPOSED UTILITIES (27 L.F.)

BUILDING SETBACK LINE

APPROX. LOCATION OF EXISTIN

5.00'

PLAN VIEW

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)

1 INCH = 10 FEET

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2-22-22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE KRYSTIAN E. KOZLOWSKI No. 14185 LICENSED PROFESSIONAL ENGINEER

FOR PERMITTING ONLY

GRADING PLAN

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

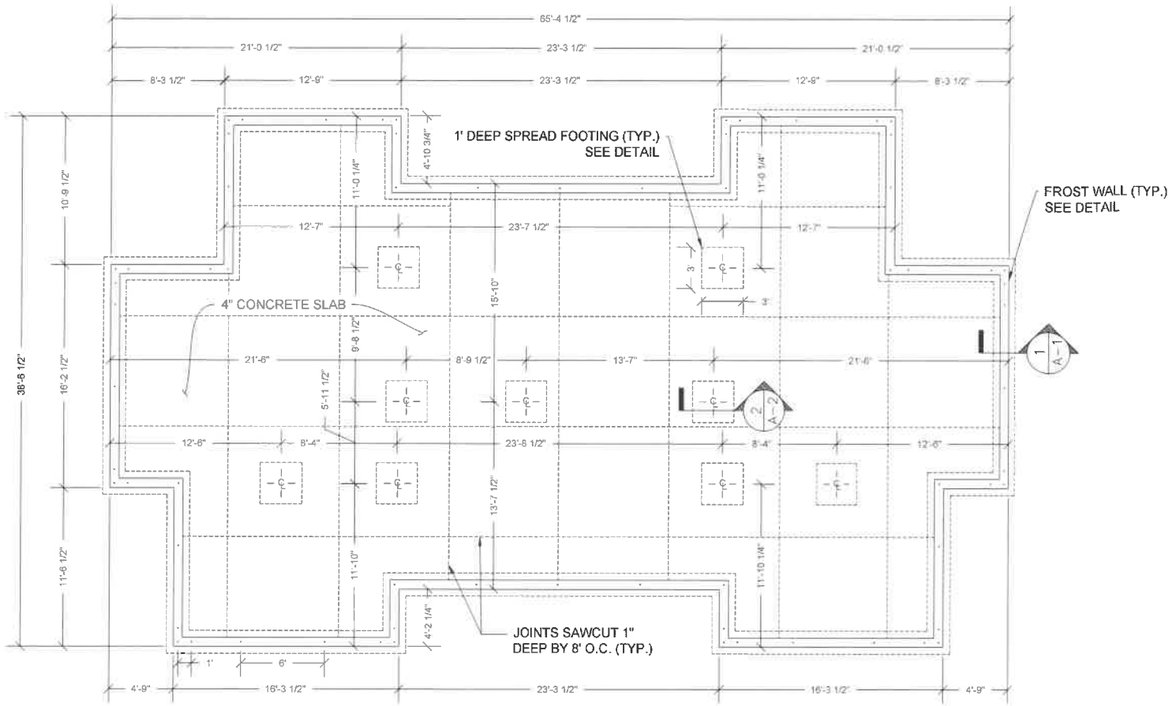
DRAWING NO. C-5

REV. 0

CAD SCALE AS NOTED

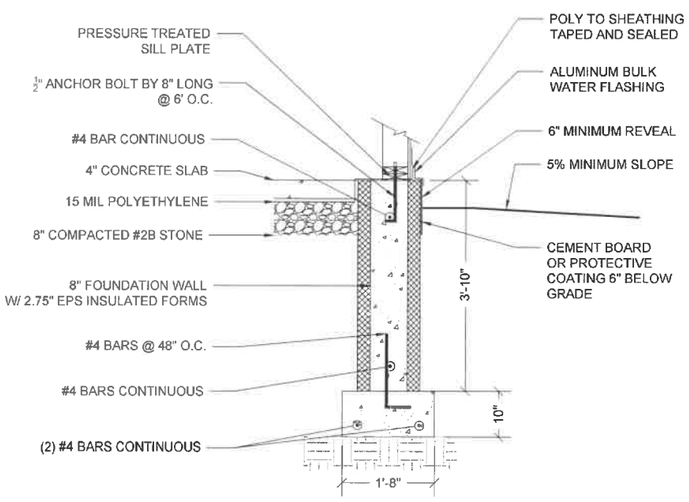
ORIGINAL SIZE ANSI D

SHEET 5 OF 9



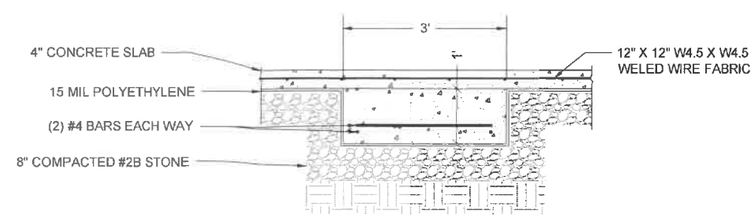
FOUNDATION PLAN

3/16" = 1'-0"



1 FROST WALL DETAIL

1/2" = 1'-0"



2 SPREAD FOOTING DETAIL

1/2" = 1'-0"

NOTES:

1. V.I.F. ALL DIMENSIONS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHED DIMENSIONS.
3. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE, COUNTY, OR LOCAL BUILDING CODES.
4. FOUNDATION SHALL BE PLACED ON SUITABLE, UNDISTURBED SUBGRADE OR STRUCTURAL FILL. IF SOILS OR OTHER UNSUITABLE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL CEASE CONSTRUCTION AND CONTACT THE ENGINEER.
5. MINIMUM CONCRETE STRENGTH @ 28 DAYS (f'c) SHALL BE 3,000 PSI.
6. STEEL REINFORCEMENT BARS SHALL BE ASTM A615 GRADE 60.
7. SLAB ON GRADE SHALL BE REINFORCED WITH ASTM A185 12" X 12" W4.5 X W4.5 WELDED WIRE FABRIC. COVER SHALL BE 2" MINIMUM.

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE – KRYSTIAN E. KOZLOWSKI No. 14195 – LICENSED – PROFESSIONAL ENGINEER

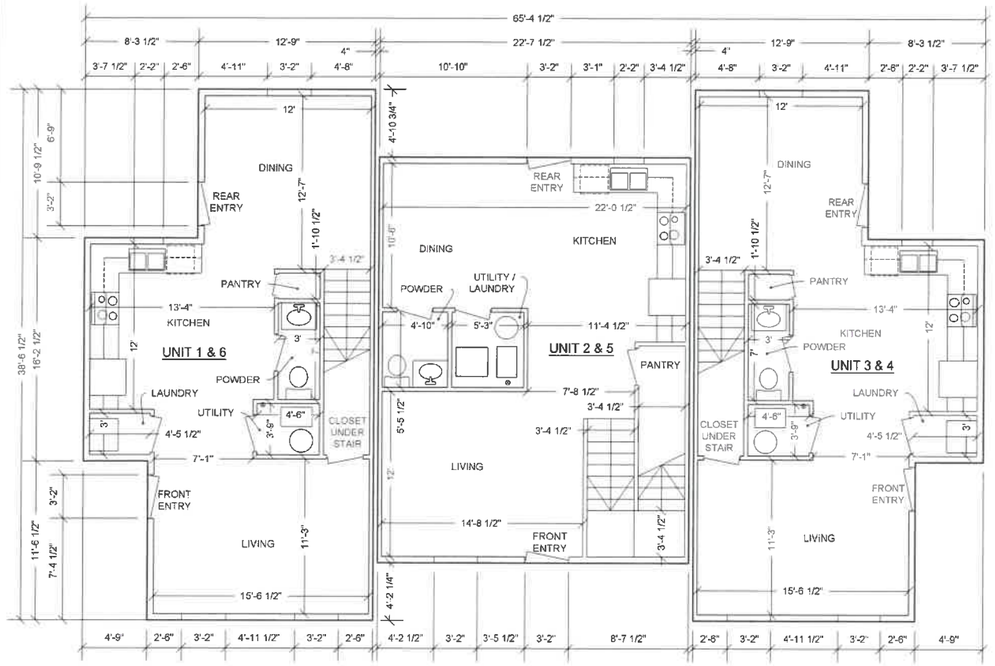
FOR PERMITTING ONLY

FOUNDATION PLAN

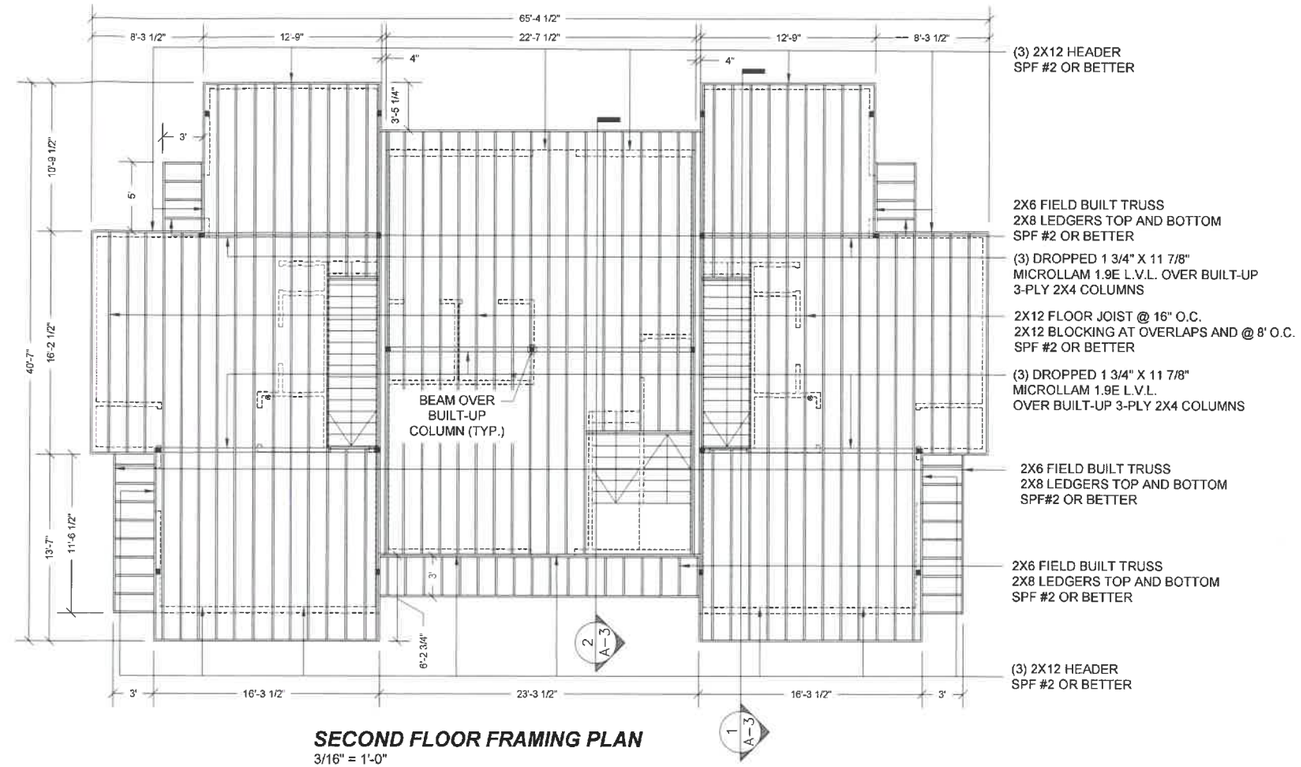
LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
A-1	0

CAD SCALE	AS NOTED	SHEET 6 OF 9
ORIGINAL SIZE	ANSI D	



FIRST FLOOR PLAN
3/16" = 1'-0"



SECOND FLOOR FRAMING PLAN
3/16" = 1'-0"

NOTES:

1. V.I.F. ALL DIMENSIONS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHED DIMENSIONS.
3. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE, COUNTY, OR LOCAL BUILDING CODES.
4. CONTRACTOR SHALL NOT SUBSTITUTE FRAMING LUMBER OF A LOWER GRADE THAN THAT SHOWN IN THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.

DOOR SCHEDULE - FIRST FLOOR - PER 3 UNIT BUILDING

TYPE	QUANTITY	ROUGH OPENING	HINGE LOCATION
FRONT	2	3'-2" X 6'-8"	RIGHT
FRONT	1	3'-2" X 6'-8"	LEFT
REAR	1	3'-2" X 6'-8"	RIGHT
REAR	2	3'-2" X 6'-8"	LEFT
INTERIOR	4	2'-8" X 6'-8"	RIGHT
INTERIOR	6	2'-8" X 6'-8"	LEFT
LOUVERED	2	2'-8" X 6'-8"	RIGHT
LOUVERED	1	2'-8" X 6'-8"	LEFT
INTERIOR	1	1'-8" X 6'-8"	RIGHT
INTERIOR	1	1'-8" X 6'-8"	LEFT
EXTERIOR DOOR U-VALUE = 0.35 (MAXIMUM)			

DOOR SCHEDULE - SECOND FLOOR - PER 3 UNIT BUILDING

TYPE	QUANTITY	ROUGH OPENING	HINGE LOCATION
INT.	7	2'-8" X 6'-8"	RIGHT
INT.	7	2'-8" X 6'-8"	LEFT
INT.	1	1'-8" X 6'-8"	RIGHT
INT.	7	6'-0" X 6'-8"	DOUBLE BI-FOLD
INT.	2	2'-10" X 6'-8"	SINGLE BI-FOLD
ATTIC	3	2'-1" X 4'-6"	SPRING LOADED

WINDOW SCHEDULE - PER 3 UNIT BUILDING

TYPE	QUANTITY	ROUGH OPENING	OPERATION
1	19	3'-2" X 5'-2"	DOUBLE HUNG
2	4	3'-0 1/2" X 2'-0 1/2"	AWNING
U-VALUE = 0.35 (MAXIMUM)			
SEE SHEET 9 A-4 FOR DETAILS			

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE — KRYSTIAN E. KOZLOWSKI No. 14195 — LICENSED PROFESSIONAL ENGINEER

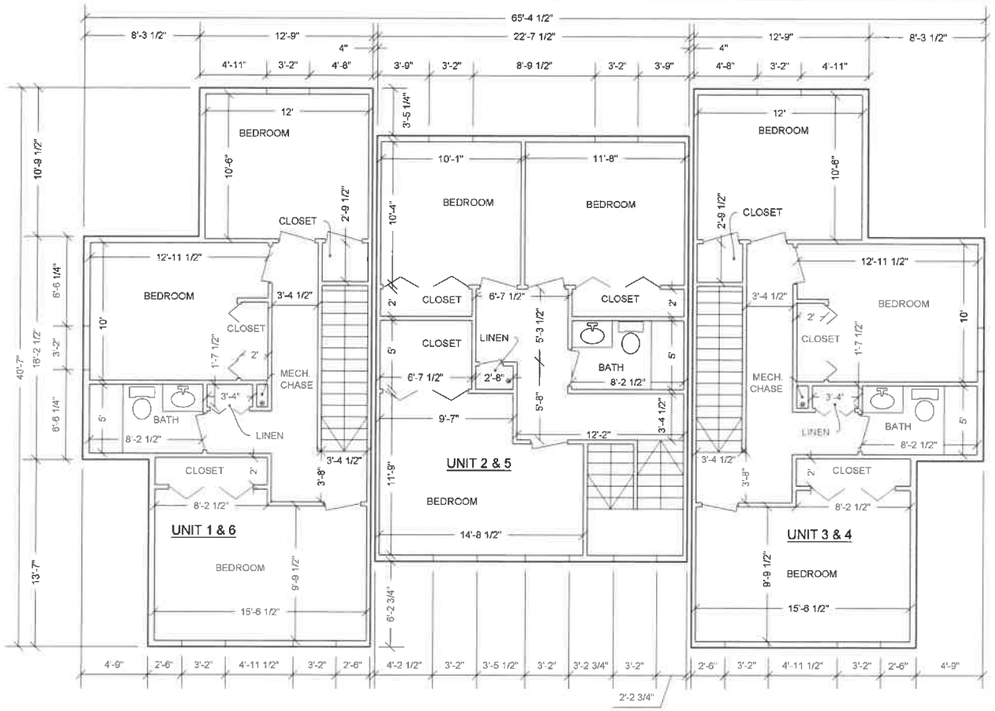
FOR PERMITTING ONLY

FIRST FLOOR PLAN

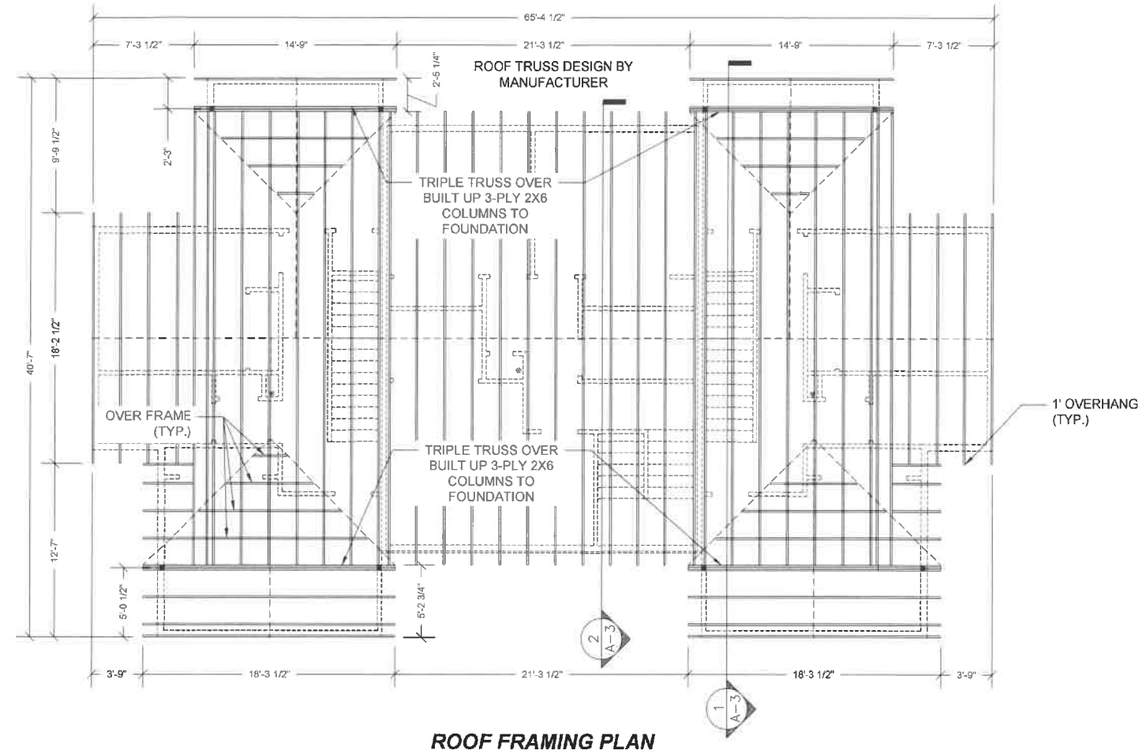
LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
A-2	0

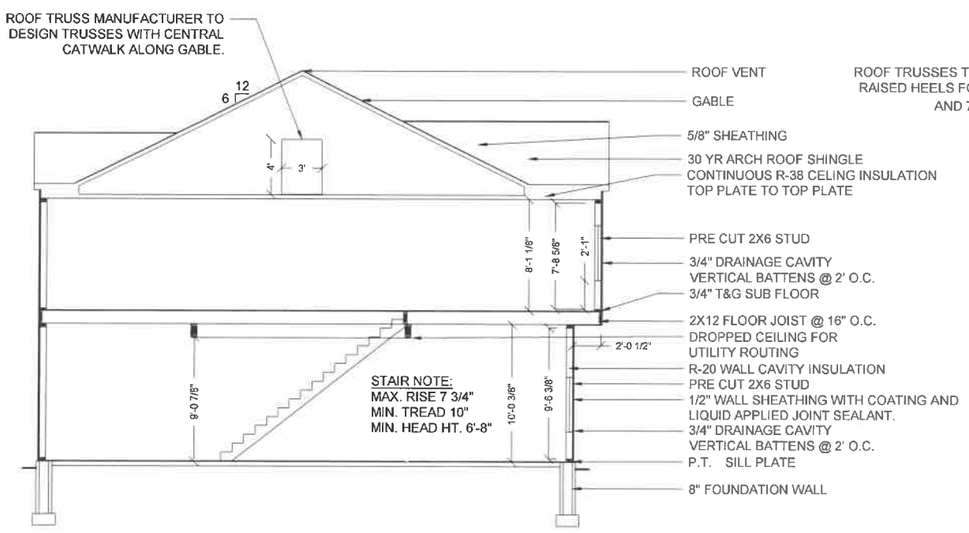
CAD SCALE	3/16" = 1'-0"	SHEET 7 OF 9
ORIGINAL SIZE	ANSI D	



SECOND FLOOR PLAN
3/16" = 1'-0"



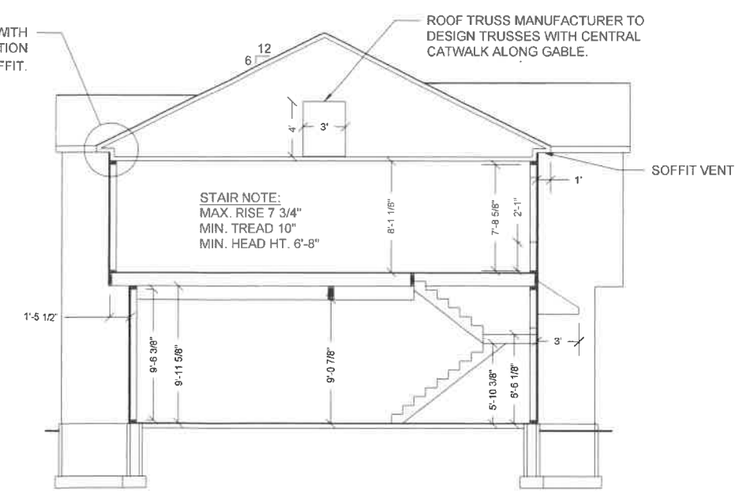
ROOF FRAMING PLAN
3/16" = 1'-0"



SECTION - UNIT 1, 3, 4, 6
UNIT 2 & 5 SIMILAR

1

3/16" = 1'-0"



SECTION - UNIT 2 & 5

2

3/16" = 1'-0"

NOTES:

1. V.I.F. ALL DIMENSIONS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHED DIMENSIONS.
3. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE, COUNTY, OR LOCAL BUILDING CODES.
4. CONTRACTOR SHALL NOT SUBSTITUTE FRAMING LUMBER OF A LOWER GRADE THAN THAT SHOWN IN THESE DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
5. THE PRE-ENGINEERED ROOF TRUSSES SHALL BEAR ON EXTERIOR WALLS ONLY UNLESS OTHERWISE NOTED. NO LOAD SHALL BE CARRIED BY PARTITION WALLS.
6. ALL FRAMING SHALL BE SUFFICIENTLY BRACED DURING CONSTRUCTION. ROOF TRUSSES SHALL BE BRACED FROM THE GROUND DURING INSTALLATION.

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE — KRYSTIAN E. KOZLOWSKI No. 14186 — LICENSED PROFESSIONAL ENGINEER

FOR PERMITTING ONLY

SECOND FLOOR PLAN

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
A-3	0

CAD SCALE	3/16" = 1'-0"	SHEET 8 OF 9
ORIGINAL SIZE	ANSI D	

NOTES:

1. V.I.F. ALL DIMENSIONS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL FINISHED DIMENSIONS.
3. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL FEDERAL, STATE, COUNTY, OR LOCAL BUILDING CODES.

FRONT ELEVATION
3/16" = 1'-0"

SIDE ELEVATION
3/16" = 1'-0"

REAR ELEVATION
3/16" = 1'-0"

SIDE ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE			
ITEM	STYLE	MATERIAL	COLOR
SIDING - BODY	4" SMOOTH CLAPBOARD	VINYL	WHITE
SIDING - FRONT ACCENT	12" BOARD AND BATTEN	VINYL	WHITE
TRIM	6" BOARD	VINYL	WHITE
ROOFING - GABLE	ARCHITECTURAL SHINGLE	ASPHALT	CHARCOAL
SOFFIT - GABLE	12" SMOOTH VENTED	VINYL	WHITE
ROOFING - SHED	STANDING SEAM	METAL	DARK GREY
SOFFIT - UNDER SHED	12" SMOOTH VENTED	VINYL	WHITE
WINDOW - FRAME	HARVEY 3252V OR SIMILAR	VINYL	BLACK
DOOR	MODERN FARMHOUSE	COMPOSITE	LIGHT WOOD
FOUNDATION	FASCIA BOARD	CEMENT	DARK GREY

REV. No.	DESCRIPTION	DATE
0	FOR REVIEW	2/22/22

REVISIONS

KOZBRO DEVELOPMENT COMPANY

STATE OF NEW HAMPSHIRE
KRYSTIAN E. KOZLOWSKI
No. 14185
LICENSED
PROFESSIONAL ENGINEER

FOR PERMITTING ONLY

ELEVATIONS

LAND OF
KRZYSZTOF & RENATA KOZLOWSKI
9 ACADEMY STREET
ROCHESTER, NH
TAX MAP 125, LOT 198

DRAWING NO.	REV.
A-4	0

CAD SCALE	3/16" = 1'-0"	SHEET 9 OF 9
ORIGINAL SIZE	ANSI D	