

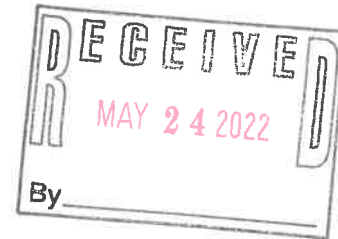


Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

**NEW
HAMPSHIRE
200**

May 24, 2022

Shanna Saunders, Planning Director
City of Rochester Planning & Development Department
33 Wakefield Street
Rochester, NH 03867



via email: shanna.saunders@rochesternh.net

**RE: TRG Rev 0 Submission Cover Letter
0 North Main Street – 400 North Main Street LLC – Tax Map 114 Lot 2
Project #47159.04**

Dear Ms. Saunders:

On behalf of our client, 400 North Main Street, LLC, please find a Site Review Application and Conditional Use Permit (CUP) Application for the Conservation Overlay District (COD) for the Technical Review Group (TRG) submission relative to the above-referenced project. The following materials are included in this submission:

- **Check for Site Plan Review Fee Paid to “City of Rochester” (\$3,669.12);**
- **Check for Abutter’s Notification Paid to “City of Rochester” (\$42.80);**
- **Abutter’s List (1 copy);**
- **Abutter’s List (2 set of labels);**
- **Existing Covenants, Easements, & Deeds (4 copies);**
- **Site Plan Application & Checklist (4 copies);**
- **CUP for COD Application (4 copies);**
- **Waver from Regulations Application (4 copies);**
- **Traffic Impact and Access Study (3 copies);**
- **Site Development Plans entitled “Site Development Plans, Tax Map 114 Lot 2, Proposed Auto Dealership, 0 North Main Street, Rochester, New Hampshire”, prepared by TFMoran, Inc. dated May 25, 2022 (3 copies at 22”x34”, 2 copies at 11”x17”).**

Project Description

The project includes the development of two auto dealerships on 0 North Main Street. The existing Tax Map 114 Lot 2 is approximately 13.34 acres and currently is a vacant lot. The site is within the Highway Commercial Zone and is partially within the Conservation Overlay District (COD) and Flood Hazard Overlay District (FHOD). The property is bounded by the Spaulding Turnpike to the West and North, Spaulding Commons to the South, and to the east is across the street from Key Chrysler Dodge Jeep Ramp of Rochester and a vacant lot, both properties which abut the Cocheco River.

TFMoran, Inc.

48 Constitution Drive, Bedford, NH 03110
T(603) 472-4488 www.tfmoran.com



TFMoran, Inc. Seacoast Division

170 Commerce Way–Suite 102, Portsmouth, NH 03801
T(603) 431-2222

TRG Rev 0 Submission Cover Letter
0 North Main Street – 400 North Main Street, LLC – Tax Map 114 Lot 2
Project #47159.04

May 24, 2022

The proposed project is to construct two buildings for automotive service and sales. Associated improvements include and are not limited to access, grading, utilities, stormwater management system, lighting, and landscaping. The project proposes a 21,760 SF and 26,392 SF building footprints and additional 145,954 SF of impervious area upon the property with approximately 539,426 SF of disturbance to facilitate the development.

The majority of the property is outside the 50' Conservation Overlay District (COD), however, a significant portion of existing pavement is located within the COD buffer and is as close as 8' to the wetland. The project does not propose any wetland impacts and only disturbance within the COD Wetland Buffer to facilitate removal of existing pavement, restore vegetation, adjust grades, relocate the flood plain, and outlet stormwater to the only existing culvert on site. All proposed pavement and is proposed outside of the COD's 50' Wetland Buffer and is over 149' from the wetland.

The project will be undergoing additional review by Conservation Commission, Planning Board, DPW, NHDES Alteration of Terrain (AoT), NHDES Sewer, and EPA's NOI for Construction General Permit.

Based on our review of the City of Rochester's Site Plan Review Regulations, we are requesting relief in the form of waivers from the following sections as part of this submission.

Waiver Request #1

Requirement: Site Plan Regulations Section 5(D)(8b): At least one-broad-leaved shade tree shall be planted in the front buffer for every 40 linear feet (or portion thereof) of the front buffer (not including the area where the driveway(s) penetrate the buffer).

Reason for Waiver: Per Book 3750 Page 624, a NHDOT easement requires the existing evergreen trees along the front buffer on the norther edge of the site be maintained. Additionally, the waiver request is to allow shade tree spacing every 75-100 linear feet, previously supported by the Planning Board. Granting the waiver would improve sight distance for vehicles exiting the proposed driveway. Additionally, shade trees spaced too closely would prevent potential customers from "window shopping" inventory from the road. Many existing auto dealerships within Rochester do not have landscaping (other than grassed areas) in the front buffer.

Waiver Request #2

Requirement: Site Plan Regulations Section 5(D)(8F): The front buffer and front 50 feet of both side buffers shall be planted with sufficient trees and shrubs in order that, at maturity (defined herein to by 5 years from installation), at least 33-1/3% of the area of the buffer, as looked down upon from above, would be covered by the canopies/crowns of the trees and shrubs.

Reason for Waiver: The waiver request is to allow potential customers to "window shop" inventory from the road. Many existing auto dealerships within Rochester do not have landscaping (other than grassed areas) in the front buffer to allow adequate viewing of cars that are on display in front of dealerships.



TRG Rev 0 Submission Cover Letter
0 North Main Street – 400 North Main Street, LLC – Tax Map 114 Lot 2
Project #47159.04

May 24, 2022

Requirement: Site Plan Regulations Section 10(A): The minimum number of designated off street parking spaces shall be provided on each site based upon the type of use, as shown in the table below: Automobile Uses: 1.5 spaces per 1,000 gross square feet. Plus 1 space per 15 exterior sale/rental display spaces. Plus 4 spaces per service bay.

Reason for Waiver: There are 396 display parking spaces proposed and 127 customer/employee spaces proposed. The total provided customer and employee spaces are 127, where the minimum allowed with planning board approval is 126 spaces. Customers of car dealerships do not frequently show up on site on a regular basis, while many customers drive around the lot to shop. Most customers are relatively quick when visiting car dealerships. The City has granted parking space waivers to other car dealerships, which appear to be functioning well with reduced parking spaces.

We appreciate your consideration of these matters and look forward to presenting this project to you in the near future.

We respectfully request that we be placed on the upcoming agenda for the Technical Review Group meeting on June 2, 2022.

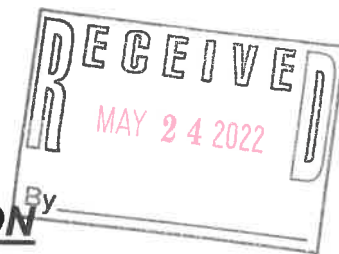
If you have any questions or concerns, please do not hesitate to contact us.

Respectfully,
TFMoran, Inc.

Hannah Giovannucci, PE
Civil Project Manager

HEG/jck/crr

cc: Anthony DiLorenzo, 400 North Main, LLC (via e-mail)
Jason Coffin, Key Auto (via jcoffin@keyauto.com)
Michael Whicher, Whicher Builders (via mdw@whitcher.com)
John Tuttle, TW Designs (via john@tw-designs.com)



NONRESIDENTIAL SITE PLAN APPLICATION
City of Rochester, New Hampshire

Date: 5/24/2022 Is a conditional use needed? Yes: ☒ No: ☐ Unclear: ☐
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 114; Lot #'s: 2; Zoning district: Highway Commercial

Property address/location: 0 North Main Street Rochester, New Hampshire

Name of project (if applicable): Proposed Auto Dealerships

Size of site: 13.34 acres; overlay zoning district(s)? COD / FHOD

Property owner

Name (include name of individual): Anthony DiLorenzo, 400 North Main Street, LLC

Mailing address: 549 US Highway 1 By-Pass Portsmouth, NH 03801

Telephone #: 603-294-4721 Email: adilorenzo@keyauto.com

Applicant/developer (if different from property owner)

Name (include name of individual): _____

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Hannah Giovannucci

Mailing address: 170 Commerce Way, Suite 102, Portsmouth, NH, 03801

Telephone #: 603-431-2222 Fax #: 603-431-0190

Email address: hgiovannucci@tfmoran.com Professional license #: 15699

Proposed activity (check all that apply)

New building(s): 2 Site development (other structures, parking, utilities, etc.): ☒

Addition(s) onto existing building(s): _____ Demolition: ☒ Change of use: ☒

Describe proposed activity/use: Construct a proposed auto dealership with two separate buildings and associated improvements, including
and not limited to access, grading, stormwater management systems, utilities, lighting, and landscaping.

Describe existing conditions/use (vacant land?): The lot is currently vacant.

Utility information

City water? yes ☒ no ☐; How far is City water from the site? ~305 from sewer line to building connection

City sewer? yes ☒ no ☐; How far is City sewer from the site? ~350' from sewer line to building connection

If City water, what are the estimated total daily needs? 1,260 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☒ no ☐

If City sewer, do you plan to discharge anything other than domestic waste? yes ☐ no ☒

Where will stormwater be discharged? towards stormwater BMPs which overflow to a wetland and existing drainage culvert which outlets to the Cochoe River

Building information

Type of building(s): Commercial

Building height: ~25' Finished floor elevation: 231.5 and 235.0

Other information

parking spaces: existing: N/A total proposed: 127; Are there pertinent covenants? N/A

Number of cubic yards of earth being removed from the site 0

Number of existing employees: N/A; number of proposed employees total: 60

Check any that are proposed: variance ☐; special exception ☐; conditional use ☒

Wetlands: Is any fill proposed? ☒; area to be filled: ; buffer impact? ☒

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	21,760 / 26,392	8.3%
Parking and vehicle circulation	221,728	38.2%
Planted/landscaped areas (excluding drainage)	206,793	35.6%
Natural/undisturbed areas (excluding wetlands)	51,742	8.9%
Wetlands	2,306	0.4%
Other – drainage structures, outside storage, etc.	50,389	8.6%

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

SECTION 5(D)(8B) for shade trees in front of buffer / SECTION 5(D)(8F) for plant canopies in front and side buffer / SECTION 10(A) for required parking spaces

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____

DocuSigned by:

Anthony DiLorenzo

2F656C4E8A714D9..

Date: 5/19/22

Signature of applicant/developer: _____

DocuSigned by:

Anthony DiLorenzo

2F656C4E8A714D9

Date: 5/19/22

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: _____

DocuSigned by:

Anthony DiLorenzo

2F656C4E8A714D9

Date: 5/19/22

Site Plan Checklist (residential and nonresidential)

**To be filled out by applicant/agent (with notes to be inserted by staff)*

See regulations for other specific requirements

City of Rochester Planning & Development Department

Project Name: Proposed Auto Dealership Map: 114 Lot: 2 Date: 5/24/2022

Applicant/agent: TFMoran, Inc. (Hannah Giovannucci, PE) Signature: Hannah Giovannucci

(Staff review by: _____ Date: _____)

General items

	Yes	No	N/A	Waiver Requested	Comments
<u>4</u> sets completed application	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Total application fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>4</u> copies of narrative	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>3</u> sets of full-size plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
<u>2</u> sets of 11 X 17 reductions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Completed abutters list	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Copy of existing covenants, easements, deed restrictions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Plan Information

Basic information including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
• Title sheet					
• Name of Project					
• Date					
• North arrow					
• Scale					
• Legend					
• Revision block					
• Vicinity sketch -not less than 1" = 1,000'					
Name and address of developer/applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Name, stamp, and NH license # of land survey, engineer, and/or architect	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
City tax map & lot #'s	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Notation on plans: "For more information about this site plan contact...."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

General items Continued

	Yes	No	N/A	Waiver Requested	Comments
Approval block (for signature by staff attesting to Planning Board approval)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
References to neighboring plans and subdivisions	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Surveyed property lines including: <ul style="list-style-type: none"> • existing and proposed bearings • existing and proposed distances • pins, stakes, bounds • monuments • benchmarks 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Include error of closure statement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Information on abutting properties: <ul style="list-style-type: none"> • owner name • owner address • tax map and lot # • square footage of lots • approximate building footprints • use 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Zoning

Zoning designations of subject tract and in vicinity of tract	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning requirements for district: <ul style="list-style-type: none"> • frontage • lot dimensions/density • all setbacks • lot coverage 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Zoning overlay districts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Existing Topographic Features:

Contour lines a (not to exceed two-foot intervals, except on steep slopes) and spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Soil types and boundaries	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Soil test pit locations, profiles, and Depth to water table and ledge	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Percolation test locations and results	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Existing Topographic Features Continued:

	Yes	No	N/A	Waiver Requested	Comments
Water features (ponds, streams)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Wetlands including name of certified Wetlands scientist who delineated	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Statement whether located in flood area, And if so, 100 year flood elevation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Delineation of trees and open areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Overview of types of trees and vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Stone walls and archaeological features	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Locations of trails and paths	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Other natural/cultural resources (productive farmland, habitats, scenic views, historic structures, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Building Information

Existing buildings/structures including square footage and use	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Proposed building/structures including <ul style="list-style-type: none">• square footage• first floor elevation• use• # bedrooms per unit if residential	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Elevation drawing of proposed buildings and structures as follows: <ul style="list-style-type: none">• Showing all four sides• Drawn to scale with dimensions• Showing exterior materials• Showing exterior colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Circulation and Parking Plans

Existing and proposed driveways and access points including: <ul style="list-style-type: none">• Width of opening• Turning radii• Cross section of driveway	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Curbing & edge treatment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Traffic control devices, if appropriate:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Circulation and Parking Plans Continued:

	Yes	No	N/A	Waiver Requested	Comments
Number of parking spaces <ul style="list-style-type: none">• required by ordinance• proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Parking layout and dimensions of spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Handicap spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Loading area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Pedestrian circulation plan (including existing sidewalks in vicinity, if any)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Bicycle rack, if appropriate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Buffers, landscaping & screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Snow storage areas/plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Utilities

Show all pertinent existing and proposed profiles, elevations, materials, sizes, and details

Water lines/well (with protective radius)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Sewer lines/septic and leaching areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Pump stations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Stormwater management system: pipes, culverts,, catch basins detention/ retention basins, swales, rip rap, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fire hydrant location(s) and details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Electric, telephone, cable TV (underground or overhead)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Gas lines	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fire alarm connections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Treatment of solid waste (dumpsters?)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Handling of oil, grease, chemicals hazardous materials/waste	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Landscaping Plan

	Yes	No	N/A	Waiver Requested	Comments
Demarcation of limits of construction, clear delineation of vegetation to be saved, and strategy for protecting vegetation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed ground cover, shrubbery, and trees including: <ul style="list-style-type: none"> • botanical and common names • locations and spacing • total number of each species • size at installation 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Planting plan (size of holes, depth of planting, soil amendments, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Irrigation: system? soaker hose? Manual? underground, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Protection of landscaping from vehicles (Curb stops, berm, railroad ties, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Specification all finished ground surfaces and edges (greenspace, mulch, asphalt, concrete, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fencing/screening	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Signage

Location and type of signs: <ul style="list-style-type: none"> • Attached to building • Freestanding • Directional, if appropriate 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensions of signs: <ul style="list-style-type: none"> • Height • Area • Setback 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevation drawings with colors & materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Type of Illumination, if proposed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Outdoor Lighting

	Yes	No	N/A	Waiver Requested	Comments
Locations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Height of fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Wattage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Type of light (high pressure sodium, etc)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Design/cut sheets of fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Illumination study, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____

Other Elements

Traffic study, if appropriate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Drainage study with calculations, storm Water impact analysis, and mitigation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Grading plan (including finish grades)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Earth being removed from site(in cubic yards)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____
Erosion and sedimentation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Proposed covenants, easements, And deed restrictions, if any	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	_____
Fiscal impact study, if requested	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____

Additional Comments:

Application for Conditional Use
Conditional Uses and Buffer Reductions
Section 42.19 - Conservation Overlay District
City of Rochester, NH

Date: May 24, 2022

Property information

Tax map #: 114; Lot #'s: 2; Zoning district: Highway Zone Commercial

Property address/location: 0 North Main Street

Name of project (if applicable): Proposed Auto Dealership

Property owner

Name (include name of individual): Anthony D'Iorenzo, 400 North Main Street, LLC

Mailing address: 549 US Highway 1 By-pass, Portsmouth, NH 03801

Telephone #: 603-294-4721 Fax

Applicant/developer (if different from property owner)

Name (include name of individual):

Mailing address:

Telephone #: Fax #:

Engineer/designer

Name (include name of individual): Hannah Giovannucci, TFMoran, Inc.

Mailing address: 170 Commerce Way, Suite 102, Portsmouth, NH 03801

Telephone #: 603-431-2222 Fax #: 603-431-0190

Email address: hgiovannucci@tfmoran.com Professional license #: 15699

Proposed Project

Please describe the proposed project: Construct a proposed auto dealership with two separate buildings and associated improvements,
including and not limited to access, grading, stormwater management systems, utilities, lighting, and landscaping.

Please describe the existing conditions: The lot is currently vacant.

Buffer Reductions

For Buffer Reductions only, justify the proposal in terms of each of the criteria below (in accordance with subsection 42.19 (i) (2) (B)). All four criteria must be satisfied.

(i) The structure for which the exception is sought cannot feasibly, after consideration of all reasonable alternatives, be constructed on a portion or portions of the lot, which lie outside the CO district, **or** the application of the CO district eliminates greater than 50% of the buildable area located on the parcel **or** in the judgment of the Planning Board, the proposed site layout would result in a significantly higher quality design.

(ii) The proposed structure and use must be consistent with the purpose and intent of Section 42.19 and provisions must be made to ensure that drainage from the structure will not adversely impact any wetlands.

(iii) There shall be no impervious areas for parking within the reduced buffer for which the Conditional Use Approval is sought.

(iv) The maximum building coverage is limited to 50% of the outer half of the buffer zone, as shown in the diagram below.

(v) Best management practices must be demonstrated to the satisfaction of the Planning Board.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I/we) hereby submit this Conditional Use application to the City of Rochester Conservation Commission and Planning Board pursuant to the City of Rochester Zoning Ordinance and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: _____
DocuSigned by:
Anthony DiLorenzo
2F656C4E8A714D9...

Signature of applicant/developer: _____
DocuSigned by:
Anthony DiLorenzo
2F656C4E8A714D9...

Date: 5/19/22

Date: 5/19/22

Signature of agent: _____

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Conservation Commission and Planning Board, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property. (It is not necessary to sign this provision if a Planning Board application has been submitted.)

Signature of property owner: _____

Date: _____

Conservation Commission Recommendation:

Name of project

Case #

- ☐ Approval
- ☐ Approval with conditions
- ☐ Denial

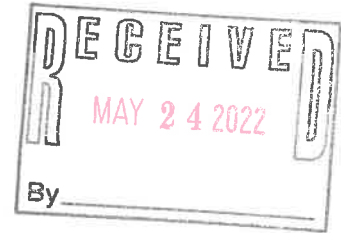
This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

Conservation Commission

date

Planning Department

date



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealerships (0 North Main Street - Tax Map 114 Lot 2)

Case # _____

Subdivision: _____ Lot line revision: _____ Site Plan: _____ Minor Site Plan: _____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

5(D)(8B) - Landscaping - Front and Side Landscaping Buffers: At least one broad-leaved shade tree shall be planted in the front buffer for every 40 linear feet of the front buffer

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request Per Book 3750 Page 624, a NHDOT easement requires the existing evergreen trees along the front buffer on the norther edge of the site be maintained. Additionally, the waiver request is to allow shade tree spacing every 75-100 linear feet, previously supported by the Planning Board. Granting the waiver would improve sight distance for vehicles exiting the proposed driveway. Additionally, shade trees spaced too closely would prevent potential customers from "window shopping" inventory from the road. Many existing auto dealerships within Rochester do not have landscaping (other than grassed areas) in the front buffer.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 5/24/2022

----- Office use below -----

Waiver approved: _____ Waiver denied: _____

Comments: _____

Signature: _____ Date: _____



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealerships (0 North Main Street - Tax Map 114 Lot 2)

Case # _____

Subdivision: _____ Lot line revision: _____ Site Plan: _____ Minor Site Plan: _____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

5(D)(8F) - Landscaping - Planting Requirements: The front buffer and front 50 feet of both side buffers shall be planted with sufficient trees and shrubs in order that, at maturity (defined herein to be 5 years from installation), at least 33-1/3% of the area of the buffer, as looked down upon from above, would be covered by the canopies/crowns of the trees and shrubs.

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request The waiver request is to allow potential customers to "window shop" inventory from the road. Many existing auto dealerships within Rochester do not have landscaping (other than grassed areas) in the front buffer to allow adequate viewing of cars that are on display in front of dealerships.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? X Today's date 5/24/2022

----- Office use below -----

Waiver approved: _____ Waiver denied: _____

Comments: _____

Signature: _____ Date: _____



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Proposed Auto Dealerships (0 North Main Street - Tax Map 114 Lot 2)

Case # _____

Subdivision: _____ Lot line revision: _____ Site Plan: _____ Minor Site Plan: _____

Section and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

10(A) - Parking and Circulation - Number of required parking spaces: 127 spaces where 168 are required (or 126 spaces in accordance with Section 10(C) where the Planning Board may reduce, by up to 25%, the required number of on-site parking spaces)

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request There are 396 display parking spaces proposed and 127 customer/employee spaces proposed. The total provided customer and employee spaces are 127, where the minimum allowed with planning board approval is 126 spaces. Customers of car dealerships do not frequently show up on site on a regular basis, while many customers drive around the lot to shop. Most customers are relatively quick when visiting car dealerships. The City has granted parking space waivers to other car dealerships, which appear to be functioning well with reduced parking spaces.

Name of applicant or agent filling out this form TFMoran, Inc.

Applicant? _____ Agent? ☒ Today's date 5/24/2022

----- Office use below -----

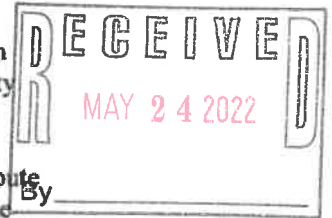
Waiver approved: _____ Waiver denied: _____

Comments: _____

Signature: _____ Date: _____

WARRANTY DEED

O. L. Development, Inc., a New Hampshire Corporation with a principal office address of 2100 Roosevelt Avenue, Springfield, County of Hampden, Commonwealth of Massachusetts, 01104, for consideration paid, grants to the State of New Hampshire, with an address of PO Box 483, 7 Hazen Drive, Concord, New Hampshire 03302-0483, with Warranty covenants,



Two (2) tracts of land, not homestead, one tract situated on the Easterly side of NH Route 16 (Spaulding Turnpike), as now travelled, in the City of Rochester, County of Strafford, State of New Hampshire, and being near the NH Route 16 (Spaulding Turnpike) Exit 15 Northbound Off Ramp Construction Base Line Station 1506+00.00, and also a tract situated on the Westerly side of NH Route 11 (Farmington Road), as now travelled, in the City of Rochester, County of Strafford, State of New Hampshire, and being near the NH Route 11 (Farmington Road) Construction Base Line Station 321+00.00; each being a portion of Parcel 122 on a plan of land entitled "State of New Hampshire, Department of Transportation, Bureau of Highway Design, Spaulding Turnpike Right-of-Way Plan Parcel 122, County of Strafford, Town of Rochester", Scale 1" = 50', State Project No. 10620-D, on file in the records of the New Hampshire Department of Transportation and to be recorded in the Strafford County Registry of Deeds ("Project Plan"), and also shown as "Acquisition Tract 1 = 3,647.16 S.F." and "Acquisition Tract 2 = 17,575.13 S.F. +/-" on plans (2 sheets) recorded herewith entitled "Land, Easements & Rights Acquired by State of New Hampshire from O. L. Development, Inc., in Rochester, NH Strafford County" and marked Exhibit A (NTS) ("Exhibit Plan"); bounded and described as follows:

Tract I:

Beginning at a point in the Easterly Limited Access Right-of-Way of NH Route 16 (Spaulding Turnpike), as now travelled, said point being on a course that passes through a point forty-five (45.0) feet Easterly of and directly opposite the NH Route 16 (Spaulding Turnpike) Exit 15, Northbound Off Ramp Construction Base Line Station 1505+00.00 and a point forty (40.0) feet Easterly of and directly opposite Station 1506+50.00, thence Northeasterly with said course to the last named point, thence Northeasterly on a course passing through a point sixty (60.0) feet Easterly of and directly opposite Station 1507+00.00 to a point in the NH Route 16 (Spaulding Turnpike) Southeasterly Limited Access Right-of-Way, as now travelled, thence, Westerly and Southerly with said Limited Access Right-of-Way to the point of beginning, all as shown on the Exhibit Plan.

Containing three thousand six hundred forty-seven and sixteen hundredths (3,647.16), square feet, more or less.

And also granting with the above-described land all rights of access, light, air and view over, from and to the same from the remainder of abutting lands along the line of taking.

Tract II:

Being all that property belonging to the Grantor that lies Easterly of a course measured forty (40.0) feet Westerly of and parallel with the NH Route 11 (Farmington Road) construction base line as shown on the above referenced Exhibit Plan; bounded on the West by Land of O.L. Development, Inc.; bounded on the East by the Westerly side line of NH Route 11 (Farmington

Road), as now travelled; and bounded on the South by land now or formerly REL Commons, LLC, all as shown on the Exhibit Plan. Said parcel being triangular in shape.

Containing seventeen thousand five hundred seventy-five and thirteen hundredths (17,575.13) square feet, more or less.

Tract I and Tract II containing in all twenty-one thousand two hundred twenty-two and twenty-nine hundredths (21,222.29) square feet, (0.49 of an acre, rounded), more or less, and being portions of that real estate conveyed to the Grantor herein by deed of Bear Lake Holdings, Inc. dated May 31, 1992 and recorded June 9, 1992, at the Strafford County Registry of Deeds in Book 1615, Page 436.

And also granting the permanent right and easement to construct and maintain slopes and embankments on land of the Grantor at such an angle as will hold NH Route 11 (Farmington Road) and the material in the slopes in repose against ordinary erosion in the areas shown on the above referenced Project Plan and entitled "Slope Ease." on the Exhibit Plan, in accordance with the standard practice of highway construction.

And also granting the permanent right and easement to construct, reconstruct, maintain, repair and operate ditches, culverts, pipes, catch basins or other facilities for drainage purposes over, under or through land of the of the Grantor abutting or near NH Route 11 (Farmington Road) in the area shown on the above referenced Project Plan and entitled "Drainage Ease." on the Exhibit Plan, in accordance with the standard practice of highway construction.

And also granting the permanent right and easement to construct, and maintain a retaining wall on land of the Grantor abutting or near NH Route 11 (Farmington Road), as shown on the above referenced Project Plan and entitled "Retaining Wall Ease." on the Exhibit Plan in accordance with the standard practice of highway construction.

And also granting the temporary right and easement for the purposes of reconstructing driveway and matching slopes on land of the Grantor as shown on the above referenced Project Plan and entitled "Temp. Constr. Ease." on the Exhibit Plan, in accordance with the standard practice of highway construction. Said temporary construction easement areas shall be effective for a period of twelve (12) months during the construction of the project. The property owner shall have unencumbered use of the areas at all other times. Said easement shall expire on December 31, 2023, or one (1) year after completion of the construction for the project, whichever date shall come first.

It is hereby made a part of the before mentioned consideration and a condition to this instrument that the property taxes are to be pro-rated as of the date of execution of this instrument.

This conveyance is subject to all easements, orders, restrictions and other encumbrances of record.

The Grantor is not releasing any rights under any driveway permit allowing for access to land of the Grantor.

Executed this 4th day of June, 2009.

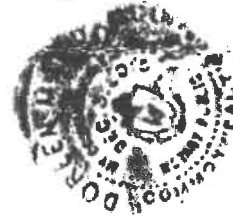
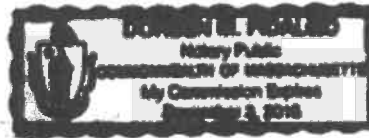
O. L. Development, Inc.

By : 
William Spengler, CFO and Treasurer

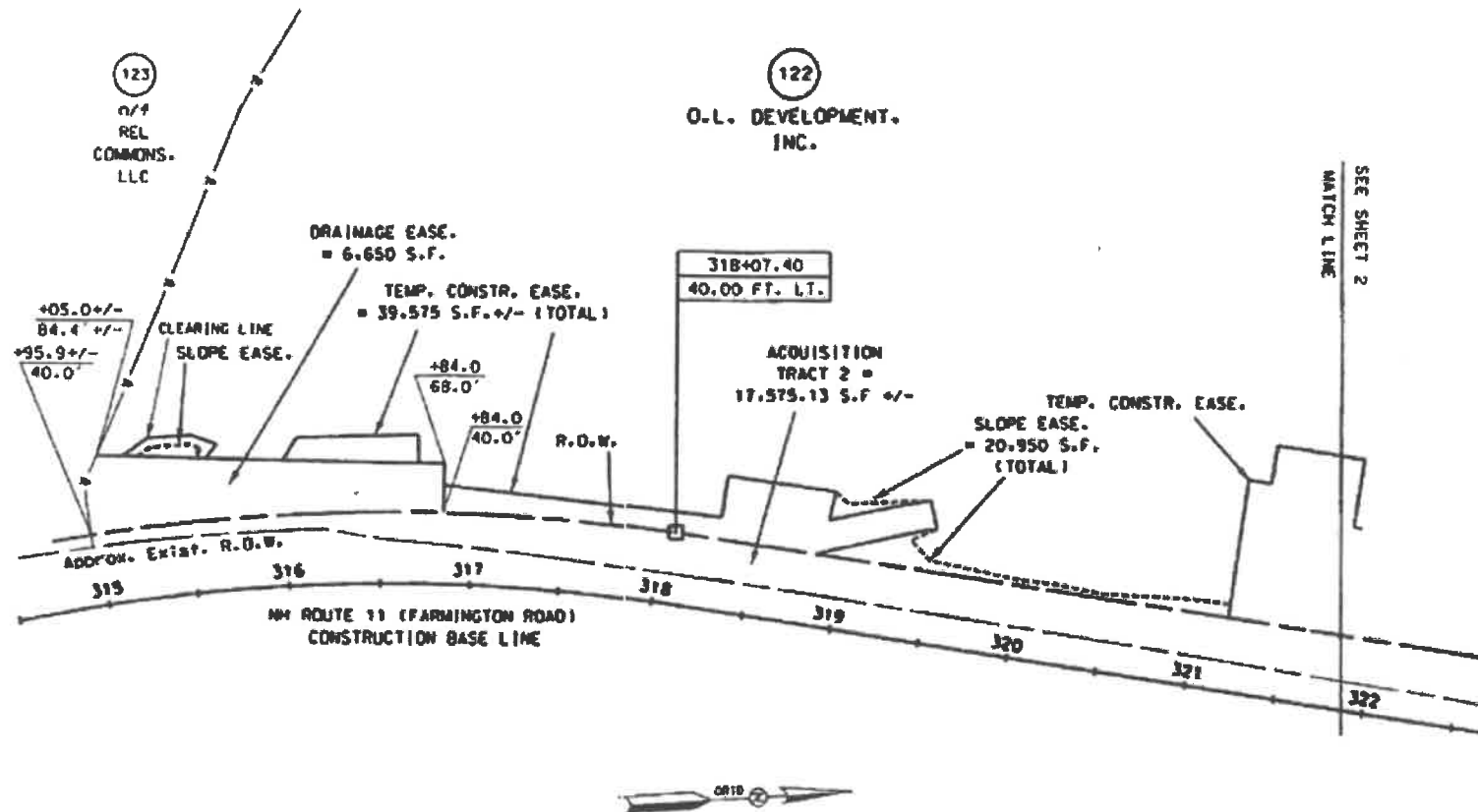
State / Commonwealth of Massachusetts
County of Hampden

On this 4th day of June, 2009, before me, X. Correa M. Fidalgo, the undersigned officer, personally appeared, William Spengler, who acknowledged himself to be the CFO and Treasurer of O. L. Development, Inc., a corporation, and that he, as such CFO and Treasurer, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation by himself as CFO and Treasurer.

X. Correa M. Fidalgo
Notary Public
My Commission Expires:
Seal or Stamp:

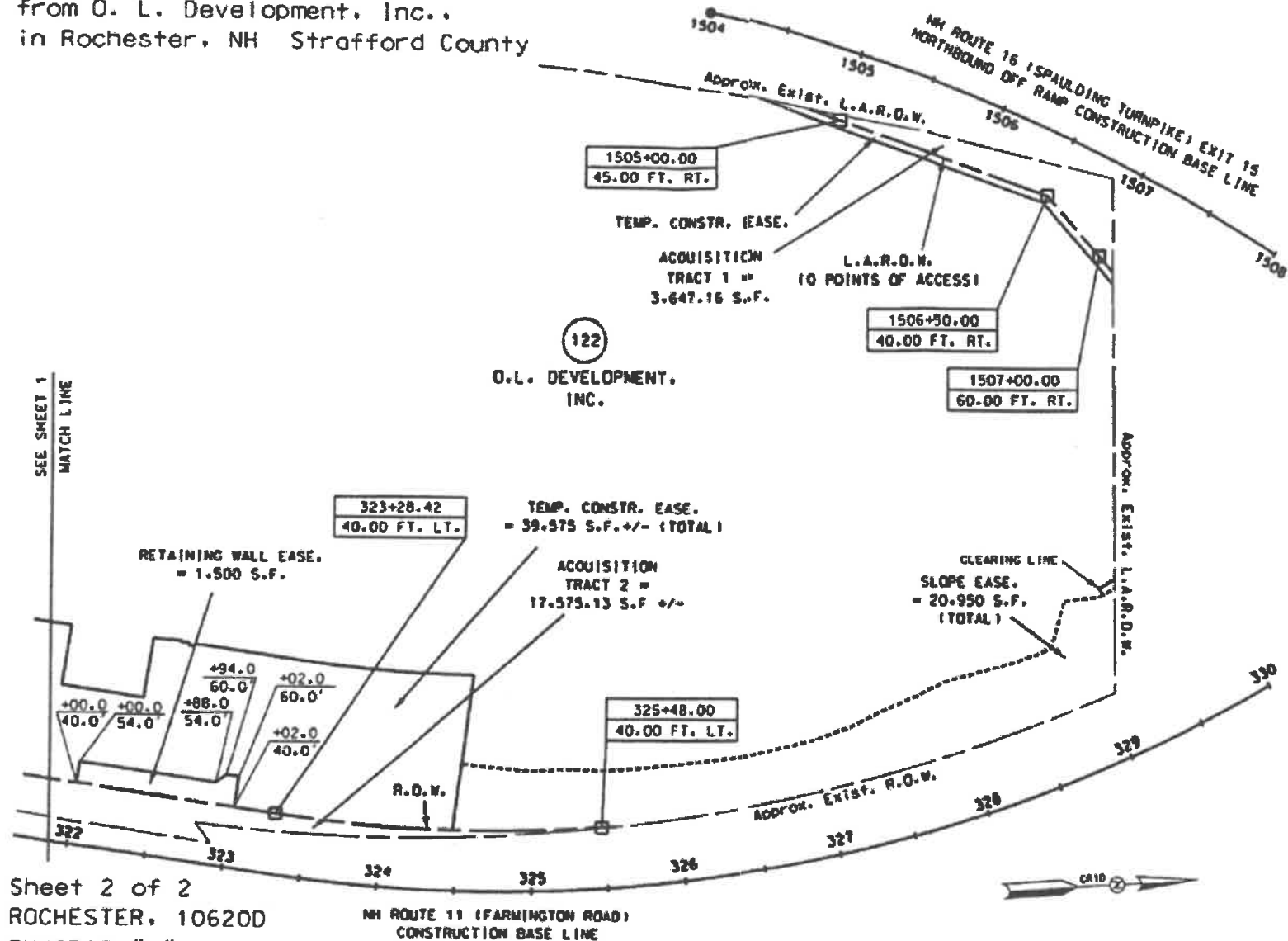


Land, Easements & Rights Acquired by State of New Hampshire
from O. L. Development, Inc.,
in Rochester, NH Strafford County



Sheet 1 of 2
ROCHESTER, 10620D
EXHIBIT "A"
NTS

Land, Easements & Rights Acquired by State of New Hampshire
from O. L. Development, Inc.,
in Rochester, NH Strafford County



Sheet 2 of 2
ROCHESTER, 10620D
EXHIBIT "A"
NTS

GENERAL INFORMATION

OWNER/APPLICANT

MAP 114 LOT 2
400 NORTH MAIN STREET, LLC
549 US HIGHWAY 1 BY-PASS
PORTSMOUTH, NH 03801
603-294-4721
C/O ANTHONY DILORENZO

RESOURCE LIST

PLANNING/ZONING
DEPARTMENT/
CONSERVATION COMMISSION

33 WAKEFIELD STREET
ROCHESTER, NH 03867-1917
603-335-1338
SHANNA SAUNDERS, DIRECTOR

BUILDING DEPARTMENT

33 WAKEFIELD STREET
ROCHESTER, NH 03867
603-335-7571
JIM GRANT, DIRECTOR, ELECTRICAL INSPECTOR

PUBLIC WORKS

45 OLD DOVER ROAD
ROCHESTER, NH 03867
603-332-4096
PETER NOURSE, PE,
DIRECTOR OF CITY SERVICES

POLICE DEPARTMENT

23 WAKEFIELD STREET
ROCHESTER, NH 03867
603-330-7131
PAUL TOUSSAINT, CHIEF

FIRE DEPARTMENT

37 WAKEFIELD STREET
ROCHESTER, NH 03867
603-330-7180
PERRY PLUMMER, FIRE CHIEF

NHDES AOT

29 HAZEN DRIVE
CONCORD, NH 03302
603-271-2303

NHDES WASTEWATER

29 HAZEN DRIVE
CONCORD, NH 03302
603-271-2952
ROBERT DANIEL, PE

ASSOCIATED
PROFESSIONALS

ARCHITECT

TW DESIGNS
254 DRAKE HILL RD, STRAFFORD, NH 03884
603-864-2181
JOHN TUTTLE, AIA, LEED AP

SOIL SCIENTIST &
GEOTECHNICAL ENGINEER

WHITESTONE ASSOCIATES, INC.
352 TURNPIKE ROAD, SUITE 320
SOUTHBOROUGH, MA 01772
508-485-0755

SURVEYOR

DOUCET SURVEY, INC
102 KENT PLACE
NEWMARKET, NH 03857
603-659-6560
JACK KAISER, LLS

TRAFFIC ENGINEER

TFMORAN, INC.
170 COMMERCE WAY, SUITE 102
PORTSMOUTH, NH 03801
603-472-4488
JENNIFER PORTER, PE, TRAFFIC ENGINEER

LIGHTING DESIGN

SK & ASSOCIATES, INC
20/22 CARVER CIRCLE
CANTON, MA 02021
781-821-1700
ANDREW DEGOUFF

WETLAND SCIENTIST

GOVE ENVIRONMENTAL SERVICES
18 CONTINENTAL DRIVE
EXETER, NH 03833
603-778-0644
JIM GOVE

PROPOSED AUTO
DEALERSHIPS

0 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

MAY 24, 2022

VICINITY PLAN



HORIZONTAL SCALE 1"=1,000'
1,000 500 0 1,000



INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
C-01	NOTES & LEGEND
S-01	EXISTING CONDITIONS PLAN
C-02	OVERALL SITE PLAN
C-03	SITE PREPARATION & DEMOLITION PLAN
C-04 TO C-05	SITE LAYOUT PLAN
C-06 TO C-07	GRADING & DRAINAGE PLAN
C-08 TO C-09	UTILITY PLAN
C-10 TO C-11	LANDSCAPE PLAN
C-12	LANDSCAPE DETAILS
C-13	EROSION CONTROL PLAN
C-14	EROSION CONTROL NOTES
C-15	FIRE TRUCK TURNING PLAN
C-16	WB-67 TRUCK TURNING PLAN
C-17 TO C-23	DETAILS

REFERENCE PLANS BY ASSOCIATED PROFESSIONALS

1 TO 2	EXISTING CONDITIONS PLANS
SL1	PHOTOMETRIC LAYOUT CALCULATIONS AND SCHEDULES BY SK & ASSOCIATES
-	PROPOSED FLOOR & ROOF PLANS BY TW DESIGNS
-	PROPOSED EXTERIOR ELEVATIONS BY TW DESIGNS

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
ROCHESTER PLANNING BOARD SITE PLAN REVIEW	-	-	-
ROCHESTER PLANNING BOARD WETLAND CUP	-	-	-
ROCHESTER CONSERVATION COMMISSION WETLAND CUP REVIEW	-	-	-
ROCHESTER DPW DRIVEWAY PERMIT	-	-	-
ROCHESTER DPW SEWER DISCHARGE PERMIT	-	-	-
NH FISH & GAME	-	-	-
NHDES AOT PERMIT	-	-	-
NHDES SEWER CONNECTION PERMIT	-	-	-
EPA NPDES ENOI CGP & SWPPP	-	-	-

WAIVERS

- THE FOLLOWING WAIVERS FROM THE CITY OF ROCHESTER SITE PLAN REGULATIONS ARE BEING REVIEWED BY THE PLANNING BOARD:
- CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 5(D)(8b) --
AT LEAST ONE BROAD-LEAVED SHADE TREE SHALL BE PLANTED IN THE FRONT BUFFER FOR EVERY 40 LINEAR FEET OF THE FRONT BUFFER
 - CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 10(A) --
NUMBER OF REQUIRED PARKING SPACES
 - CITY OF ROCHESTER SITE REVIEW REGULATIONS SECTION 5(D)(8f) --
THE FRONT BUFFER AND FRONT 50 FEET OF SIDE BUFFERS SHALL BE PLANTED SO THAT AT LEAST 33-1/3% OF THE AREA WOULD BE COVERED BY CANOPIES

APPROVED BY THE CITY OF ROCHESTER PLANNING BOARD

ON _____
BOARD MEMBER _____ AND
BOARD MEMBER _____

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2 COVER PROPOSED AUTO DEALERSHIPS 0 NORTH MAIN STREET, ROCHESTER, NH OWNED BY & PREPARED FOR 400 NORTH MAIN STREET, LLC	1"=80' (11'X17') SCALE: 1/4"=1' (22'X34')	MAY 24, 2022
--	--	---------------------

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04	DR	HEG	FB	-	C-00
	CK	CADFILE		47159-04_COVER	

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE
NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.



Copyright 2022 ©TFMORAN, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied,
duplicated, replicated or otherwise reproduced in any form whatsoever
without the prior written permission of TFMORAN, Inc.

This plan is not effective unless signed by a duly authorized officer of
TFMORAN, Inc.

PROPOSED

PROPERTY LINE

ZONING LINE

EASEMENT

BASELINE

FLOODPLAIN

EDGE OF WATERBODY

EDGE OF WETLAND

SETBACK (WETLAND)

SETBACK (STRUCTURE)

SETBACK (PARKING)

SETBACK (LANDSCAPE)

EQP

VGC

SGC

CC

IPC

BIT

CCB

GRAVEL ROAD

EDGE OF PAVEMENT

VERTICAL GRANITE CURB

SLOPED GRANITE CURB

CONCRETE CURB

INTEGRATED CONCRETE CURB

BITUMINOUS ASPHALT CURB

CAPE COD BERM

SAWCUT

BUILDING

BUILDING ROOF OVERHANG

BUILDING FOUNDATION

BUILDING ENTRANCE

OVERHEAD DOOR

TREE LINE

FENCE (CHAIN LINK)

FENCE (WRE)

FENCE (STOCKADE)

GUARDRAIL

STONE WALL

RETAINING WALL

SILT FENCE

SILT SOCK

SOIL BOUNDARY

LIMIT OF GRADING

CONTOUR

SPOT GRADE

PARKING COUNT

YELLOW DOUBLE SOLID LINE

YELLOW SINGLE SOLID LINE

WHITE SINGLE SOLID LINE

WHITE SINGLE BROKEN LINE

STOP BAR

CROSSWALK

ACCESSIBLE PARKING SYMBOL

PAVEMENT ARROW

TRAFFIC FLOW ARROW (NOT PAINTED)

SIGN (SINGLE POST)

SIGN (DOUBLE POST)

SIGN (PYLON)

SIGN (MONUMENT)

BOLLARD

DUMPSTER PAD

PROPOSED

CONCRETE

GRAVEL

HEAVY DUTY PAVEMENT

CONSTRUCTION ENTRANCE

SNOW STORAGE

RIPRAP

INLET PROTECTION

FLOW ARROW

DRAIN LINE

DRAINAGE SWALE

STORMWATER BMP

SEWER LINE

SEWER FORCE MAIN LINE

WATER LINE

GAS LINE

OVERHEAD UTILITY LINE

UNDERGROUND UTILITY LINE

CATCH BASIN

DRAIN INLET

OUTLET CONTROL STRUCTURE

ROOF DRAIN

DRAIN CLEANOUT

DRAIN MANHOLE

FARED END SECTION

SEWER CLEAN OUT

SEWER MANHOLE

SEWER VENT

DRAIN/SEWER/WATER PLUG OR CAP

HYDRANT

FIRE DEPARTMENT CONNECTION

WATER GATE VALVE

WATER SHUTOFF

THRUST BLOCK

WATER METER

WATER MANHOLE

WELL

GAS GATE VALVE

GAS SHUT OFF

GAS METER

TELEPHONE MANHOLE

ELECTRIC MANHOLE

TRAFFIC CONTROL CABINET

ELECTRIC HANDHOLE

ELECTRIC PULL BOX

ELECTRIC METER

FLOOD LIGHT

LIGHT POLE

UTILITY POLE

GUY POLE

TRANSFORMER PAD

BORING LOCATION

TEST PIT LOCATION

INFILTRATION TEST LOCATION

MONITORING WELL

LEGEND

GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE SITE LAYOUT PLAN SHALL BE RECORDED IN THE STRAFFORD COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING BOARD.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF ROCHESTER, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WQ 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS AND CONDITIONS OF ALL PROJECT-SPECIFIC PERMITS AND APPROVALS AS LISTED ON THE COVER SHEET TO THESE PLANS OR OTHERWISE REQUIRED.
 - THE CONTRACTOR MUST BID, SUPPLY, AND INSTALL LIGHTING FIXTURES FROM SK & ASSOCIATES. REFER LIGHTING PLAN PLAN. ALTERNATIVES SHALL NOT BE ACCEPTED.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST, AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7 AM AND 6 PM, MONDAY THROUGH FRIDAY IN ACCORDANCE WITH THE APPLICABLE MUNICIPAL ORDINANCES AND REGULATIONS OF THE CITY OF ROCHESTER, NEW HAMPSHIRE.
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE AND/OR WETLAND SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
 - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.

GENERAL NOTES (CONTINUED)

- THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF THE PERMIT AND PROVIDE THE FOLLOWING DOCUMENTATION TO OWNER AND ENGINEER:
 - ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER THE PERMIT AND NOTIFICATION TO ADT VIA THE START OF CONSTRUCTION FORM.
 - IF ANY UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALLED, FOR EACH SUCH SYSTEM:
 - REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM AFTER COMPLETION BUT PRIOR TO BACKFILLING; AND
 - A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING, THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS.
 - UPON COMPLETION OF CONSTRUCTION, NOTIFICATION TO ADT VIA THE COMPLETION OF CONSTRUCTION FORM AND WRITTEN CERTIFICATION THAT:
 - ALL WORK UNDER THE PERMIT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWINGS OF ALL SUCH DEVIATIONS, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE, INCLUDING AND NOT LIMITED TO DEWATERING METHODS, PERMETER DRAINS AND TIE INTO STORMWATER MANAGEMENT SYSTEM, ETC.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURBS ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF ROCHESTER STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER, WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM, WHERE A SANITARY LINE CROSSES A WATER LINE, SEWER LINE MUST BE CONSTRUCTED OF FORCE MAIN MATERIALS (PER ENV-WQ 704.08) FROM BUILDING OR MANHOLE TO MANHOLE, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 6' HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING, AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVED BY THE FOLLOWING:

DRAINAGE	PRIVATE/MUNICIPAL
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	MUNICIPAL
ELECTRIC	EVERSOURCE
TELEPHONE	COMCAST XFINITY, CONSOLIDATED COMMUNICATIONS, ETC.
CABLE	COMCAST XFINITY, CONSOLIDATED COMMUNICATIONS, ETC.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

NOTES & LEGEND

PROPOSED AUTO DEALERSHIPS

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK
47159.04	DR	HEG	FB	
	CK	CADFILE	47159-04_NOTES	C-01

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

OWNER OF RECORD OF MAP 114 LOT 2X: 400 NORTH MAIN STREET, LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS KB 4081 PG 957
AREA OF PARCEL = 581,110.2 SF OR 13.342 ACRES

ZONED: HIGHWAY COMMERCIAL (HC) /
CONSERVATION OVERLAY DISTRICT (COD) (PORTION ONLY) /
FLOOD HAZARD OVERLAY DISTRICT (FHOD) (PORTION ONLY)

EXISTING USE: VACANT

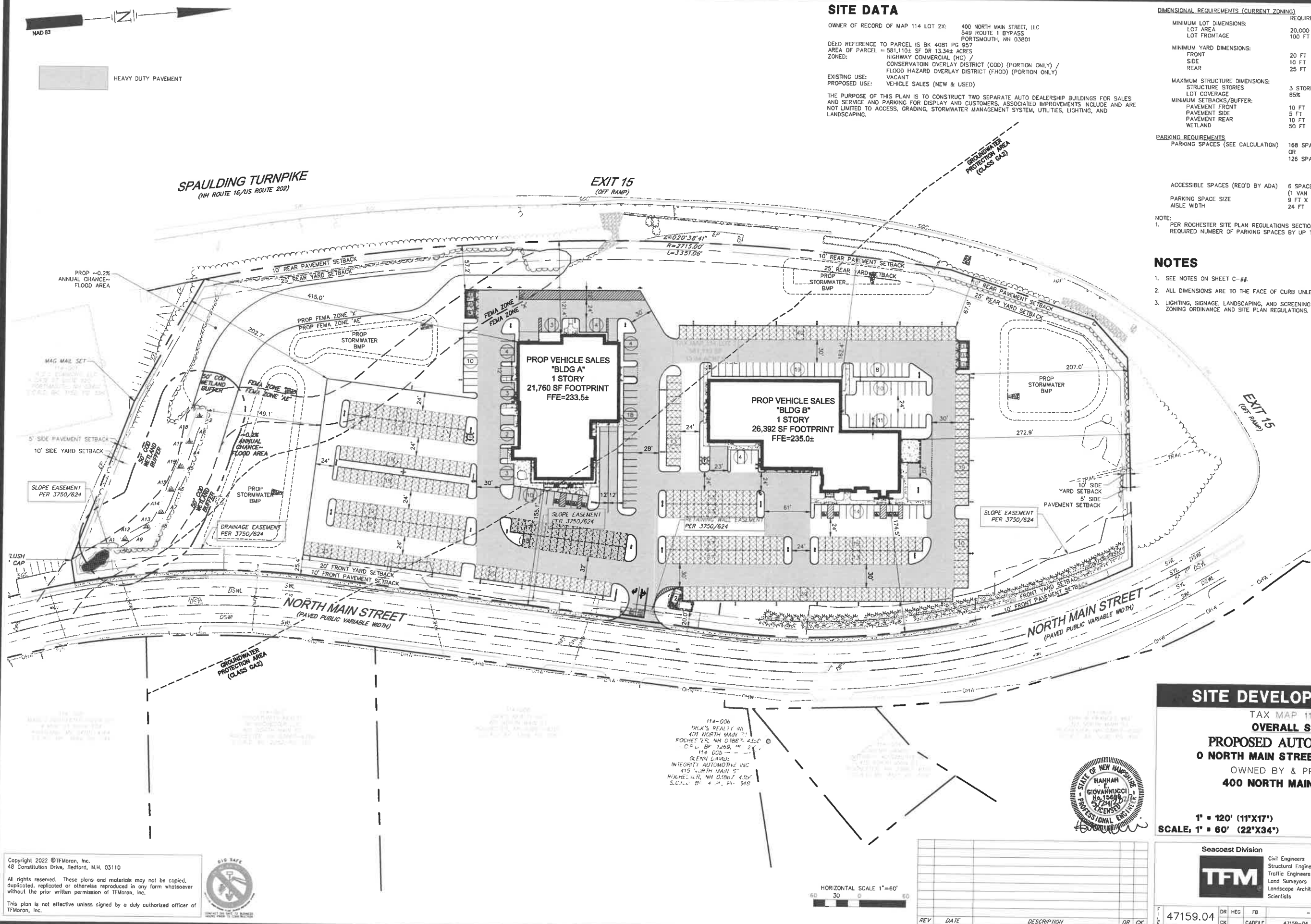
PROPOSED USE: VEHICLE SALES (NEW & USED)

THE PURPOSE OF THIS PLAN IS TO CONSTRUCT TWO SEPARATE AUTO DEALERSHIP BUILDINGS FOR SALES
AND SERVICE AND PARKING FOR DISPLAY AND CUSTOMERS. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE
NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEM, UTILITIES, LIGHTING, AND
LANDSCAPING.

<u>DIMENSIONAL REQUIREMENTS (CURRENT ZONING)</u>			
	REQUIRED:	EXISTING:	PROPOSED:
<u>MINIMUM LOT DIMENSIONS:</u>			
LOT AREA	20,000 SF	581,110± SF	581,110± SF
LOT FRONTAGE	100 FT	1,399.8± FT	1,399.8± FT
<u>MINIMUM YARD DIMENSIONS:</u>			
FRONT	20 FT	N/A	155.1 FT (A) / 174.5 FT (B)
SIDE	10 FT	N/A	415.0 FT (A) / 272.9 FT (B)
REAR	25 FT	N/A	121.4 FT (A) / 162.4 FT (B)
<u>MAXIMUM STRUCTURE DIMENSIONS:</u>			
STRUCTURE STORIES	3 STORIES	N/A	1 STORY
LOT COVERAGE	85%	17.0%	46.5%
<u>MINIMUM SETBACKS/BUFFER:</u>			
PAVEMENT FRONT	10 FT	5.7 FT	20.0 FT
PAVEMENT SIDE	5 FT	68.1 FT	232.7 FT
PAVEMENT REAR	10 FT	0.0 FT	57.2 FT
WETLAND	50 FT	8.6 FT	149.1 FT
<u>PARKING REQUIREMENTS</u>			
PARKING SPACES (SEE CALCULATION)	168 SPACES	N/A	61 SPACES (CUSTOMER) (A)
	OR		66 SPACES (CUSTOMER) (B)
	126 SPACES¹		127 SPACES (TOTAL)¹
			185 SPACES (DISPLAY) (A)
			211 SPACES (DISPLAY) (B)
			396 SPACES (TOTAL)
<u>ACCESSIBLE SPACES (REQ'D BY ADA)</u>			
	6 SPACES	N/A	9 SPACES
	(1 VAN SPACE)		(6 VAN SPACES)
PARKING SPACE SIZE	9 FT X 18 FT	N/A	9 FT X 18 FT
AISLE WIDTH	24 FT	N/A	24 FT TO 32 FT

NOTE:
1. PER ROCHESTER SITE PLAN REGULATIONS SECTION 10((C)(1), THE PLANNING BOARD MAY REDUCE THE REQUIRED NUMBER OF PARKING SPACES BY UP TO 25%.

1. SEE NOTES ON SHEET C-##.
2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.



TAX MAP 114 LOT 2
OVERALL SITE PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1" = 120' (11"X17")
SCALE: 1" = 60' (22"X34") MAY 24, 2022

Seacoast Division

TFM

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04	DR	HEG	FB	-	C-02
	CK		CADFILE	47159-04 OVERALL	

NAD 83

SPAULDING TURNPIKE
(NH ROUTE 16/US ROUTE 202)

EXIT 15
(OFF RAMP)

GROUNDWATER
PROTECTION AREA
(CLASS 642)

PROP STOCKPILE AREA
(SEE CONSTRUCTION SEQUENCE NOTE 7)
(COORDINATE WITH PROPERTY OWNER
AND ASSOCIATED PROFESSIONALS FOR
ACQUIRED IMPORTED FILL MATERIAL
VOLUME, COMPOSITION, LOCATION, ETC.)

PROP TEMP 6'-HIGH
SECURITY FENCE W/
CONSTRUCTION ZONE SIGNAGE
& LOCKING GATE(S) W/
MANUAL ENTRY (TYP)

NOTES

1. SEE NOTES ON SHEET C-01.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
3. MONITORING WELLS SHALL BE DECOMMISSIONED AND RELOCATED IN COMPLIANCE WITH NHDES REGULATIONS AND GUIDANCE PER NHDES FILE #200703055 UNDER NHDES HAZARDOUS WASTE REMEDIATION DEPARTMENT. COORDINATE WITH NHDES, GEOSIGHT, TMOGRAN, AND PROPERTY OWNER.
4. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
5. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
6. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
7. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
8. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
9. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430.53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
 2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 3. STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
 4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
 5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERM, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
 6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDDED WITHIN 72 HOURS AFTER GRADING.
 7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
 8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
 9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
 10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
 11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
 13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
 15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
 16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
 17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SLUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
 18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO BMP'S DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
3. AFTER INFILTRATION SYSTEMS ARE EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED, IF NECESSARY, AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

Copyright 2022 © TFMoran, Inc.
49 Constitution Drive, Bedford, NH, 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=60'
60 30 0 60

REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
SITE PREPARATION & DEMOLITION PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1" = 120' (11"X17")
SCALE: 1" = 60' (22"X34")

MAY 24, 2022

Seacoast Division

TFM

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

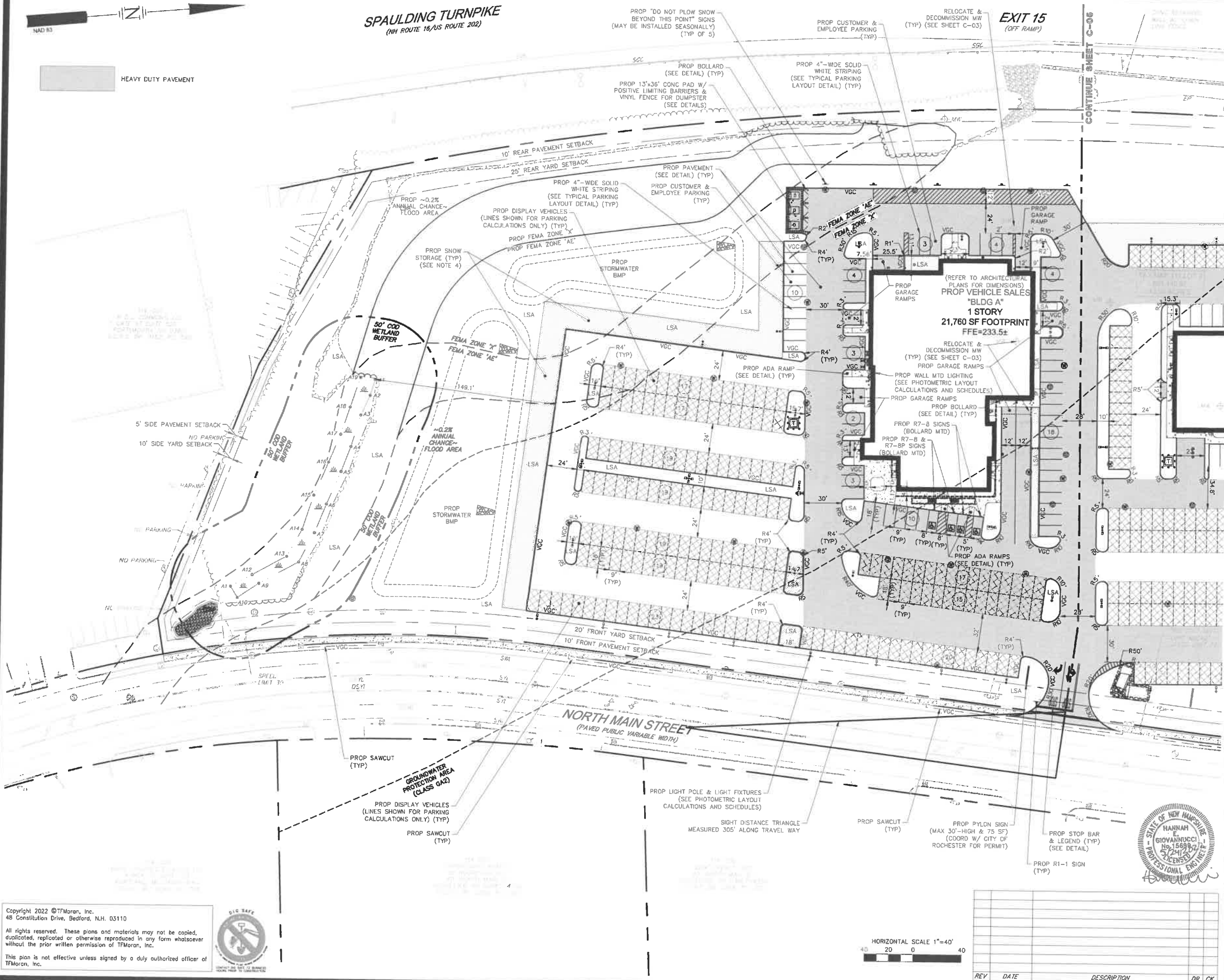
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04

DR HEG FB
CK CADFILE 47159-04_SITE PREP

C-03

May 24, 2022 - 10:34am
F:\MSDC\Projects\47159-04 - North Main St - Auto Dealership\Desim\PRODUCTION\DWG\WINGS\47159-04_Site.dwg



SITE DATA

PARKING CALCULATIONS

BUILDING "A"	REQUIRED PARKING RATIO:	1.5 SPACES / 1,000 GROSS SF
	INTERIOR MOTOR VEHICLE SALE/RENTAL:	1 SPACE / 15 EXTERIOR DISPLAY
	EXTERIOR DISPLAY SPACES:	4 SPACES / SERVICE BAY
	MOTOR VEHICLE SERVICE BAYS:	
TOTAL PARKING SPACES REQUIRED:		
10,076 GROSS SF * 1.5 SPACE / 1,000 GROSS SF		= 15 SPACES +
185 EXTERIOR DISPLAY SPACES * 1 SPACE / 15 SPACES		= 12 SPACES +
13 SERVICE BAYS * 4 SPACES / SERVICE BAY		= 52 SPACES
TOTAL		= 79 SPACES

SNOW STORAGE REQUIREMENTS

SNOW STORAGE (SEE CALCULATION)	REQUIRED:	PROPOSED:
	10,796 SF TO 21,592 SF	= 11,900 SF

SNOW STORAGE CALCULATIONS

BUILDING "A"	REQUIRED PARKING RATIO:	1 SF OF STORAGE AREA / 5 SF TO 10 SF OF CLEARING AREA
	TOTAL SNOW STORAGE REQUIRED	
	107,861 SF CLEARING AREA X 1 SF / (5 SF TO 10 SF)	= 10,796 SF TO 21,592 SF

NOTES

- SEE NOTES ON SHEET C-01.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.

SIGN LEGEND

ID	SIGN	SIZE (INCHES)		DESIGN (COLORING, TEXT SIZE, SPACING, SHAPE, RETROFLECTIVITY, ETC.)	NO. OF SIGNS
		WIDTH	HEIGHT		
R1-1	STOP	30	30		1
R7-8 ¹	RESERVED PARKING	12	18	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	4
R7-8P ²	VAN ACCESSIBLE	18	9		2
-	NO VEHICLES BEYOND THIS POINT	12	18	AS PREFERRED BY CLIENT	5

- NOTE: 1. HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER STANDARDS AND ADA REGULATIONS.
2. PER ADA STANDARDS, A "VAN ACCESSIBLE" PLAQUE DOES NOT RESTRICT USE OF ACCESSIBLE SPACES TO VAN USERS ONLY.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
SITE LAYOUT PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")
MAY 24, 2022

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04	DR	HEC	FB	-	47159-04_SITE	C-04
	CK		CADFILE			

Copyright 2022 © TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

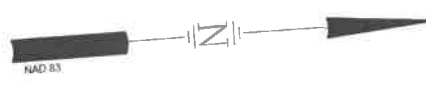
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=40'

REV	DATE	DESCRIPTION	DR	CK

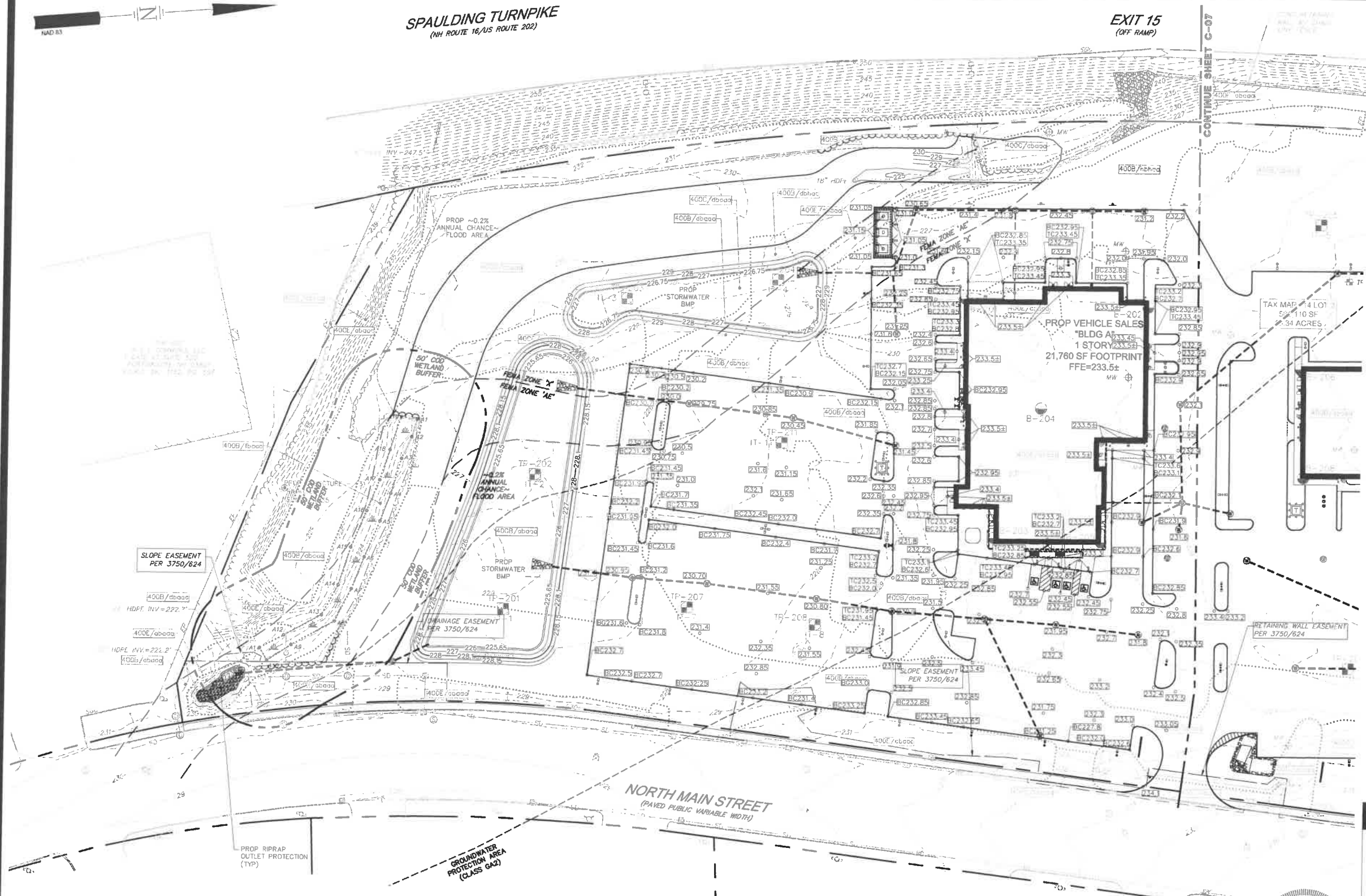


SPAULDING TURNPIKE
(NH ROUTE 16/US ROUTE 202)

EXIT 15
(OFF RAMP)

NOTES

1. SEE NOTES ON SHEET C-01..
2. ALL DOORS AND GARAGE ENTRANCES SHALL BE AT FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED.
3. PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMPS, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
4. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
5. LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
6. ALL PROPOSED DRAINAGE PIPES SHALL BE 12" AND HDPE, UNLESS OTHERWISE NOTED ON THE PLAN.
7. DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP CATCH BASIN (SEE DETAILS).
8. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR SUBDRAINAGE SYSTEMS FOR THE BUILDING FOUNDATION. SUBDRAINAGE MUST DAYLIGHT OR TIE INTO THE STORMWATER MANAGEMENT SYSTEM. COORDINATE SUBDRAINAGE SYSTEM DESIGN WITH THE ENGINEER OF RECORD.



SLOPE EASEMENT
PER 3750/624

HDPE INV. = 222.7'

HDPE INV. = 222.2'

PROP RIPRAP
OUTLET PROTECTION
(TYP)

GROUNDWATER
PROTECTION
(CLASS 642)

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

SOIL LEGEND
(PER SITE SPECIFIC SOIL SURVEY)

SYMBOL	DESCRIPTION	DRAINAGE CLASS	HYDROLOGIC SOIL GROUP
400B/abaaa	UDORTHENTS, SANDY	EXCESSIVELY	A
400C/abaaa	UDORTHENTS, SANDY	EXCESSIVELY	A
400D/abaaa	UDORTHENTS, SANDY	EXCESSIVELY	A
400E/abaaa	UDORTHENTS, SANDY	EXCESSIVELY	A
400B/cbaaa	UDORTHENTS, SANDY	MODERATELY WELL	B
400C/cbaaa	UDORTHENTS, SANDY	MODERATELY WELL	B
400B/dhaaa	UDORTHENTS, SANDY	MODERATELY WELL	B
400B/fbaaa	UDORTHENTS, SANDY	POORLY	C
400B/gbaaa	UDORTHENTS, SANDY	EXCESSIVELY	A
400C/hbaaa	UDORTHENTS, SANDY	EXCESSIVELY	A

SOIL PHASE LEGEND
(PERCENT)

A	B	C	D	E	F
0-3	3-8	8-15	15-25	25-50	50+



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
GRADING & DRAINAGE PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1"=80' (11"X17")
SCALE: 1"=40' (22"X34")

MAY 24, 2022



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04	DR	HEG	FB	-	
	CK	CADFILE	47159-04-GRADING		C-06

May 24, 2022 - 10:35am
F:\MISC Projects\47159 - North Main St - Rochester\47159-04 - 00 North Main St - Auto Dealership\Design\PRODUCTION DRAWING\47159-04-Grading.dwg

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.
This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



CONTINUE SHEET C-06

1. SEE NOTES ON SHEET C-01, AND C-04.

NAD 8

EXIT 15
(OFF RAMP)

A	B	C	D	E	F
0-3	3-8	8-15	15-25	25-50	50+

SYMBOL	DESCRIPTION	DRAINAGE CLASS	HYDROLOGIC SOIL GROUP
400B/cbcaa	UDORTHERNTS, SANDY	EXCESSIVELY	A
400C/cbcaa	UDORTHERNTS, SANDY	EXCESSIVELY	A
400D/cbcaa	UDORTHERNTS, SANDY	EXCESSIVELY	A
400E/cbcaa	UDORTHERNTS, SANDY	EXCESSIVELY	A
400B/dbcaa	UDORTHERNTS, SANDY	MODERATELY WELL	B
400C/dbcaa	UDORTHERNTS, SANDY	MODERATELY WELL	B
400B/dbbaa	UDORTHERNTS, SANDY	MODERATELY WELL	B
400B/bbaaa	UDORTHERNTS, SANDY	POORLY	C
400B/abbaa	UDORTHERNTS, SANDY	EXCESSIVELY	A
400C/hbbaa	UDORTHERNTS, SANDY	EXCESSIVELY	A

TAX MAP 114 LOT 2
GRADING & DRAINAGE PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
 OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

MAY 24, 2022



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

	C-0
--	-----

C-07

PROP VEHICLE SALES
"BLDG A"
1 STORY
21,760 SF FOOTPRINT
FFE=233.5±

PROP VEHICLE SALES
"BLDG B"
1 STORY
26,392 SF FOOTPRINT
FFE=235.0±

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

HORIZONTAL SCALE 1"=40'

A horizontal scale bar with markings at 0, 20, and 40.

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

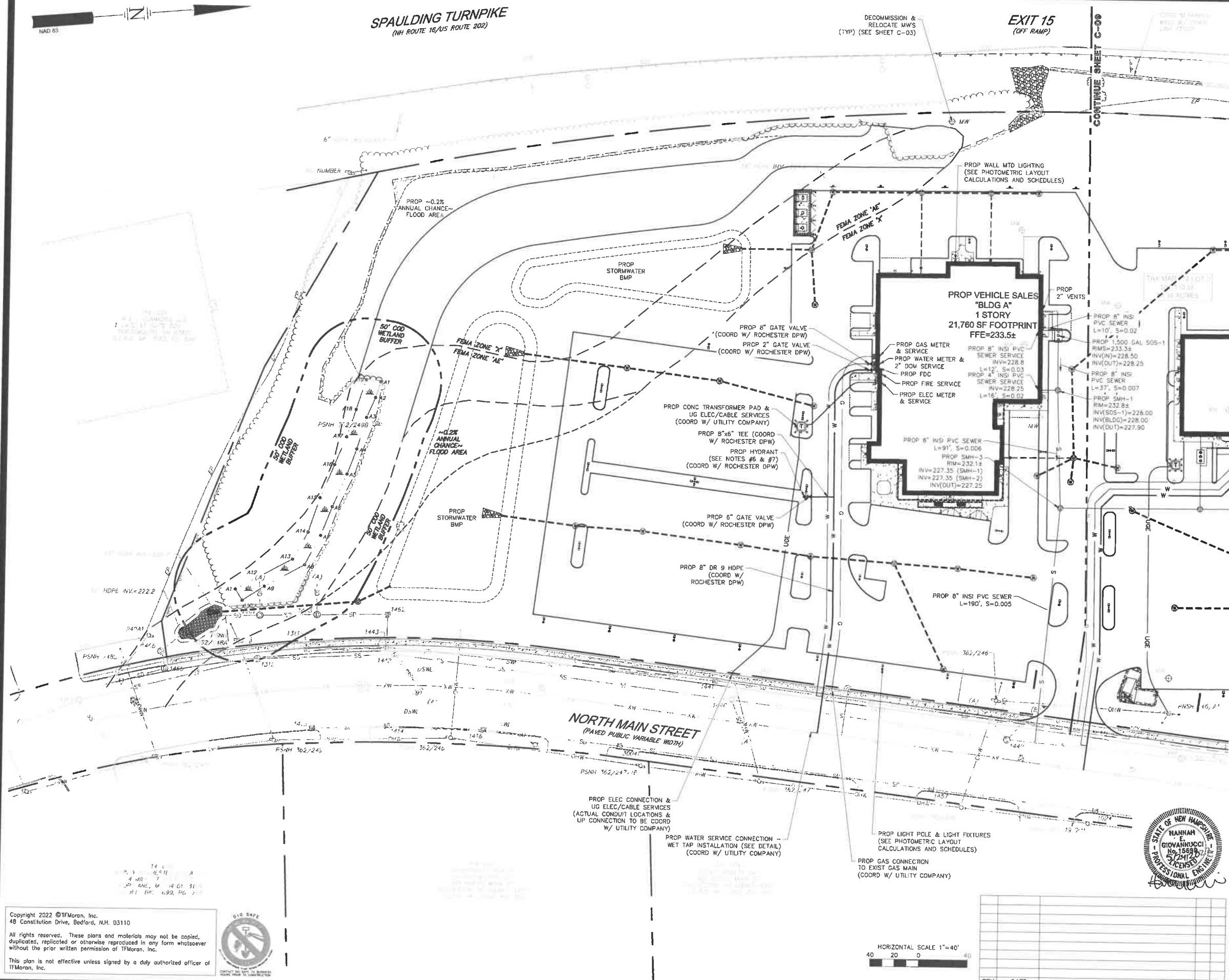
74 JUN
GLENN DAVID
NIGHTLY AUTOMOTIVE INC
415 N. W. 4th St
MIAMI, FL 33136-4350
C. E. 4.1. 73

May 24, 2022 - 10:35am
 C:\MSC Projects\47159 - North Main St - Auto Dealership\Design\PRODUCTION DRAWINGS\47159-04_Gridline.dwg

DECOMMISSION &
RELOCATE MW'S
(TYP) (SEE SHEET C-03)

EXIT 15
(OFF RAMP)

1. SEE NOTES ON SHEET C-D1.
2. ALL PROPOSED UTILITIES SHALL CONFORM TO THE CITY OF ROCHESTER'S STANDARDS OF INFRASTRUCTURE DESIGN.
3. LENGTH OF PIPE AND PIPE SLOPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
4. WATER AND DRAIN LINE CROSSINGS REQUIRE INSTALLATION OF RIGID INSULATION WHEN SEPARATION BETWEEN LINES IS LESS THAN 18". SEE UTILITY TRENCH DETAIL.
5. CONTRACTOR IS REQUIRED TO LOCATE AND PROTECT MONITORING WELLS, ANY MODIFICATIONS TO EXISTING MONITORING WELLS SHALL BE DOCUMENTED WITH THE NIDES WITH COPY TO THE CITY.
6. A RED/WHITE STRIPED FIBERGLASS HYDRANT MARKER PILE WITH FLEXIBLE CONNECTION SHALL BE ATTACHED TO EACH NEW HYDRANT IN ORDER THAT THE HYDRANT CAN BE READILY LOCATED WHEN SNOW IS ON THE GROUND, PER CITY OF ROCHESTER REGULATIONS.
7. WATER SUPPLY CALCULATIONS MUST BE PROVIDED TO THE CITY OF ROCHESTER BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. WATER SUPPLY REQUIREMENTS MUST BE EVALUATED AND IT SHOULD BE DETERMINED IF AND WHERE ADDITIONAL FIRE HYDRANTS MUST BE REQUIRED ON SITE.
8. APPROPRIATE PERMITS AND APPROVALS FOR LAWFUL INSTALLATION AND OPERATION OF ABOVE GROUND PETROLEUM STORAGE TANKS (I.E. FUEL TANK, DIESEL GENERATOR, ETC.) MUST BE OBTAINED AND MAINTAINED PRIOR TO CONSTRUCTION AND OPERATION. ANY REQUIRED MODIFICATIONS TO THE SITE CONDITIONS MUST BE COORDINATED WITH THE ENGINEER OF RECORD.



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

UTILITY PLAN

PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
 OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: 1"=40' (22'X34')

MAY 24, 2022

Seacoast Division

- Civil Engineers
- Structural Engineers
- Traffic Engineers
- Land Surveyors
- Landscape Architects
- Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=40'

[illegible]

F	47159.04
---	----------

4	DR	HEG	FB
---	----	-----	----

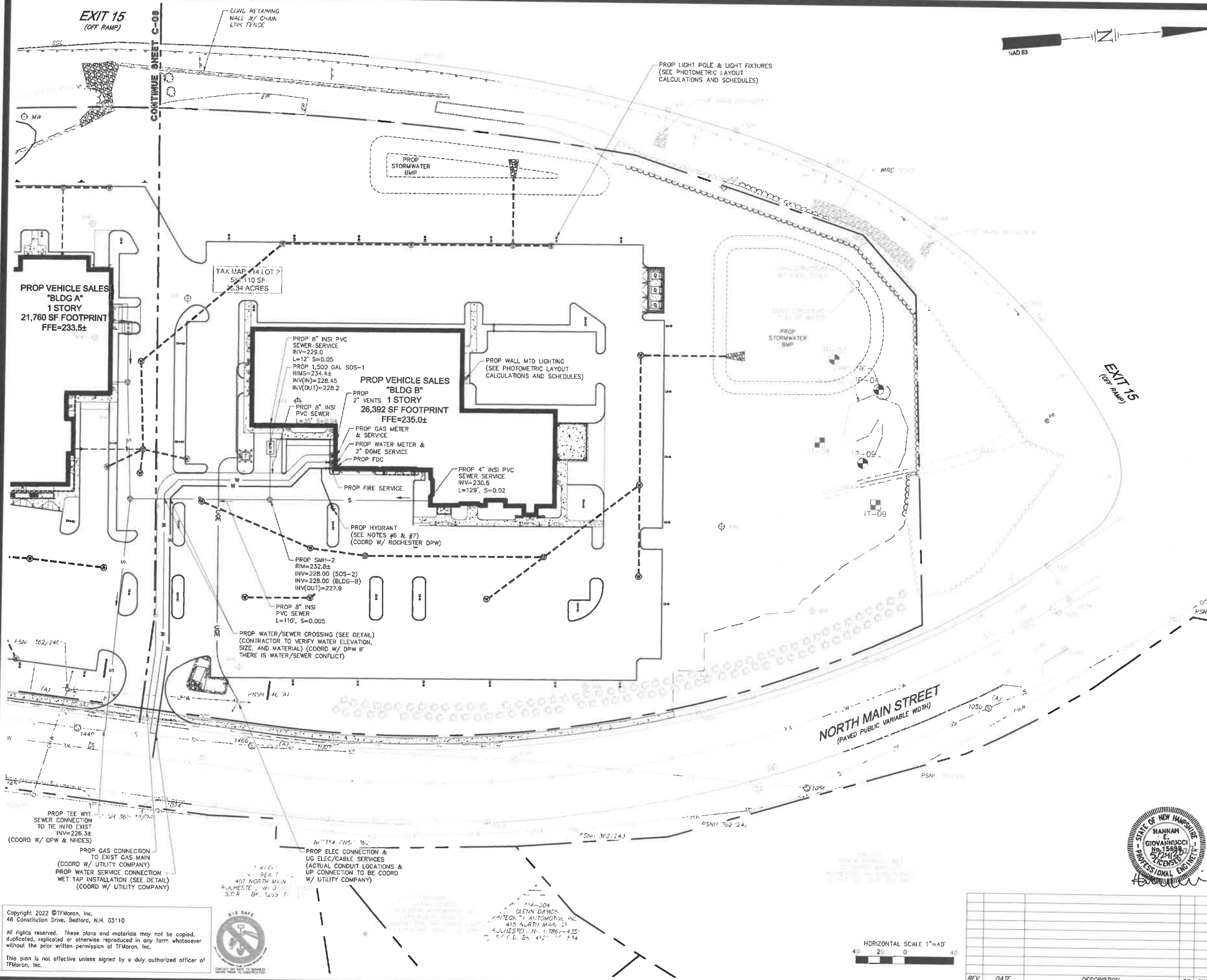
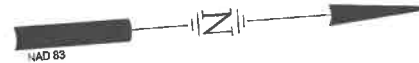
—

47159-04 UTP 17

C-08

NOTES

1. SEE NOTES ON SHEET C-01 AND C-08.



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

UTILITY PLAN

PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
 OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1"=80' (11"X17")
 SCALE: 1"=40' (22"X34")

MAY 24, 2022



Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47159.04

DR HEG FB
 CK CADFILE

47159-04_UTILITY

C-09

REV	DATE	DESCRIPTION	DR	CK

HORIZONTAL SCALE 1"=40'
 40 20 0

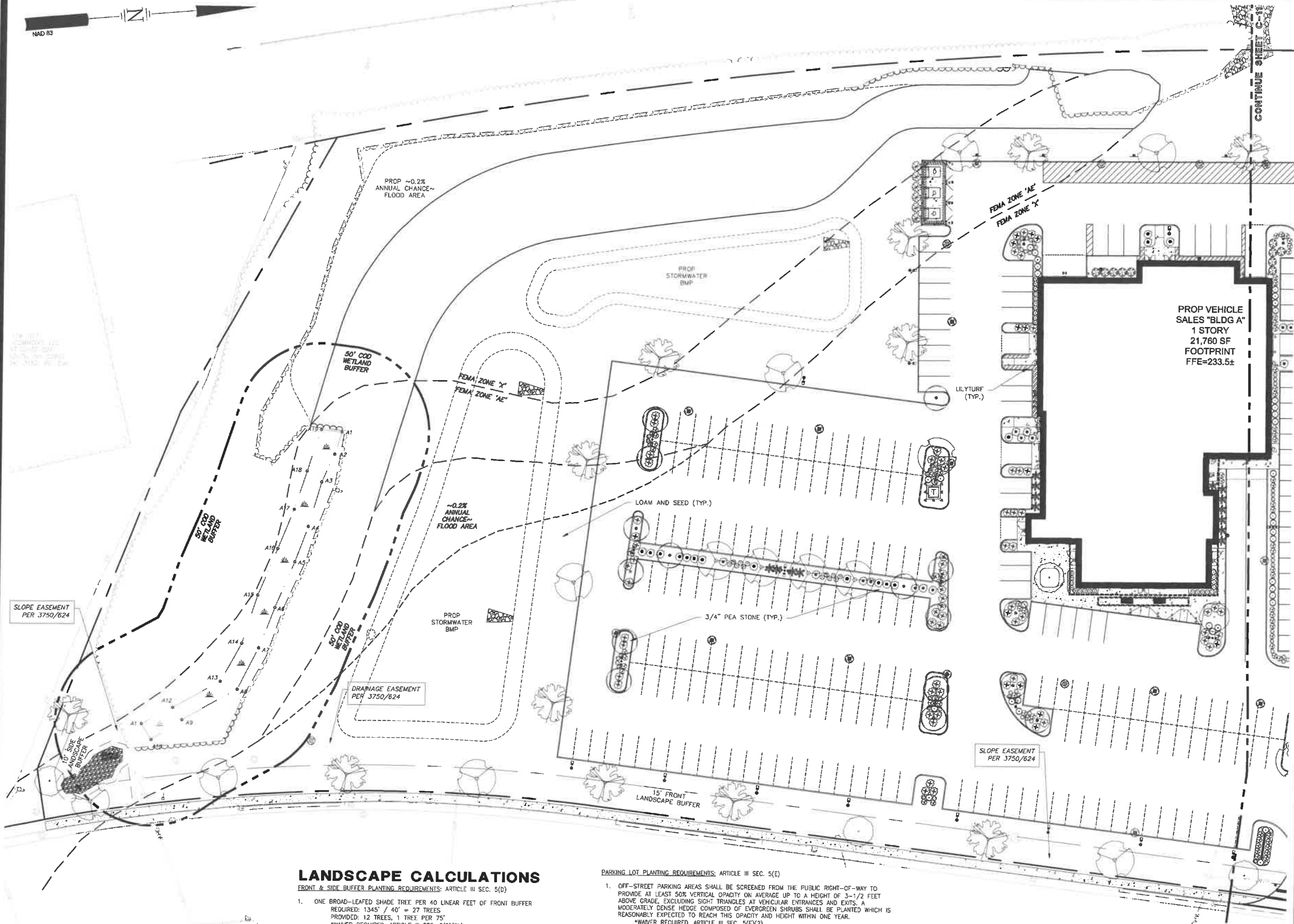
Copyright 2022 ©TFM, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFM, Inc.
 This plan is not effective unless signed by a duly authorized officer of TFM, Inc.



114-004
 GLENN DAWSON
 AUTOMOTIVE, INC.
 415 NORTH MAIN ST
 ROCHESTER, N.H. 03867-4351
 R.F.L. 5/14/22

May 24, 2022 - 10:35am
 F:\WSC Projects\47159 - North Main St - Auto Dealership\Design\PRODUCTION DRAWINGS\47159 - Utility.dwg

May 24, 2022, 10:36am
F:\MISC Projects\47159 - North Main St - Rochester\Design\Production Drawings\47159-04 Landscape.dwg



LANDSCAPE CALCULATIONS

FRONT & SIDE BUFFER PLANTING REQUIREMENTS: ARTICLE III SEC. 5(D)

- ONE BROAD-LEAFED SHADE TREE PER 40 LINEAR FEET OF FRONT BUFFER
REQUIRED: 1345' / 40' = 27 TREES
PROVIDED: 12 TREES, 1 TREE PER 75'
*WAIVER REQUIRED, ARTICLE III SEC. 5(D)(8b)
- TWO SHADE TREES, SPACED AT LEAST 40' APART, SHALL BE LOCATED WITHIN THE FRONT 50' OF EACH SIDE BUFFER.
REQUIRED: 4 TREES, 2 TREES PER EACH SIDE.
PROVIDED: 4 SHADE TREES
ARTICLE III SEC. 5(D)(8c)
- THE FRONT BUFFER AND FRONT 50 FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT, AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF THE AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES/CROWNS OF THE TREES AND SHRUBS.
*WAIVER REQUIRED, ARTICLE III SEC. 5(D)(8d)

PARKING LOT PLANTING REQUIREMENTS: ARTICLE III SEC. 5(E)

- OFF-STREET PARKING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY TO PROVIDE AT LEAST 50% VERTICAL OPACITY ON AVERAGE UP TO A HEIGHT OF 3-1/2 FEET ABOVE GRADE, EXCLUDING SIGHT TRIANGLES AT VEHICULAR ENTRANCES AND EXITS. A MODERATELY DENSE HEDGE COMPOSED OF EVERGREEN SHRUBS SHALL BE PLANTED WHICH IS REASONABLY EXPECTED TO REACH THIS OPACITY AND HEIGHT WITHIN ONE YEAR.
*WAIVER REQUIRED, ARTICLE III SEC. 5(E)(2)
- THE LANDSCAPED MEDIAN SHALL BE PLANTED WITH EVERGREEN SHRUBBERY AND AT LEAST ONE ORNAMENTAL OR SHADE TREE FOR EVERY 30 LINEAR FEET OF THE MEDIAN.
REQUIRED: 14 TREES BETWEEN THE THREE LANDSCAPED MEDIANS
PROPOSED: 14 TREES AND EVERGREEN SHRUBS
ARTICLE III SEC. 5(E)(8)
- SHADE AND/OR ORNAMENTAL TREES SHALL BE PLANTED IN AND AROUND THE PARKING LOT IN ORDER THAT NO SPOT ON THE PARKING LOT IS SITUATED FURTHER THAN 75 FEET FROM THE CENTER OF THE TRUNK OF A SHADE OR ORNAMENTAL TREE. ARTICLE III SEC. 5(E)(9)

Copyright 2022 ©TFM, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFM, Inc.
This plan is not effective unless signed by a duly authorized officer of TFM, Inc.



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	21	ACER RUBRUM 'REDPOINTE' REDPOINTE RED MAPLE	3" TO 3 1/2" CAL.	B&B
	36	MALUS 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" TO 2 1/2" CAL.	B&B
	25	PLATANUS ACREIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	3" TO 3 1/2" CAL.	B&B
	6	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	3" TO 3 1/2" CAL.	B&B
	91	AZALEA 'GIRARD'S CRIMSON' GIRARD'S CRIMSON AZALEA	3 GAL.	CONT.
	49	CORNUS BAILEYI RED TWIG DOGWOOD	3 GAL.	CONT.
	166	DEUTZIA 'YUKI SNOWFLAKE' YUKI SNOWFLAKE DEUTZIA	3 GAL.	CONT.
	121	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	3 GAL.	CONT.
	70	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFIZER JUNIPER	3 GAL.	CONT.
	100	SPIRAEA J. 'GOLDEN ELF' GOLDEN ELF SPIREA	3 GAL.	CONT.
	13	THUJA O. 'TECHNY' MISSION ARBORVITAE	5' TO 6'	B&B
	44	PANICUM V. 'HEAVY METAL' HEAVY METAL SWITCH GRASS	3 GAL.	CONT.
	75	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	1 GAL.	CONT.
	105	LIRIOP SPICATA CREEPING LILYTURF	1 GAL.	CONT.

NOTES

- SEE LANDSCAPE DETAIL SHEET FOR ADDITIONAL NOTES, SHEET C-12.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
LANDSCAPE PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1"=60' (11"X17")
SCALE: 1"=30' (22"X34")

MAY 24, 2022

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmor.com

FILE	47159.04	DR	HEG	FB		
		CK	CADFILE	47159-04_LANDSCAPE		C-10

REV	DATE	DESCRIPTION	DR	CK

HORIZONTAL SCALE 1"=30'
30 15 0

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LANDSCAPING OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
2. CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
3. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
6. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
7. ALL PLANTS WILL BE NURSERY GROWN.
8. PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
9. TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
10. PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
11. ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ALTERED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
12. NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO RIGGING.
13. PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
14. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
15. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
16. TREE STAKES AND WRAP WILL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR. CONTRACTOR WILL REMOVE.
17. ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
18. ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
19. ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
2. CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 48 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
3. WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
4. ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
5. THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
6. ALL ORNAMENTAL GRASSES WILL BE CUT BACK EVERY FALL OR EARLY SPRING.
7. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
8. EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

1. HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

1. EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS".

1. CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
2. CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
3. PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
4. EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
5. CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
7. CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNKS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

1. SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEED OR SOILED SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
2. SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
3. SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
4. GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1--PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE/LANDSCAPE ARCHITECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
4. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
5. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
6. REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.

NOT TO SCALE

NOT TO SCALE

TAX MAP 114 LOT 2
LANDSCAPE DETAILS
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

MAY 24, 2022



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

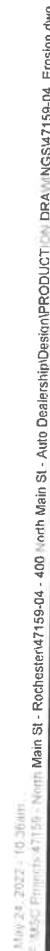
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

F	47159.04
---	----------

DR	HEG	FB
CK		CADILLAC

47159-04 LANDSCAPE

C-12



SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF UDORTHENTS, THE MAJORITY OF THE SOIL IS HSG TYPE A AND B.

~~DISTURBED AREA~~

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 539,426 SQUARE FEET (12.4+ ACRES). CONSTRUCTION SHALL BE PHASED TO LIMIT DISTURBED AREAS TO LESS THAN 5 ACRES.

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH APPLICABLE CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP, AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

1. INSTALL PERIMETER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED SITE DEVELOPMENT PLANS, PERMITS, OR SWPPP IF REQUIRED, PRIOR TO EARTH MOVING OPERATIONS.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. INSTALL STORMWATER TREATMENT PONDS AND SWALES BEFORE ROUGH GRADING THE SITE.
4. COMPLETE MAJOR GRADING OF SITE.
5. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
6. CONSTRUCT PARKING AREAS.
7. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS, AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.
8. CONSULT APPLICABLE REGULATIONS, PERMITS, CONDITIONS, AND APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2, HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSION VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE, AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

1. STABILIZATION OF ALL SWALES, DITCHES, AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED IN ACCORDANCE WITH APPLICABLE REGULATIONS, PERMITS, AND CONDITIONS AND (E) FOR PROJECTS REQUIRING A NPDES EPA GCP AND DISCHARGING TO A NON-SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS OR EVERY 14 DAYS AND AFTER A 0.25 INCHES RAIN EVENT OR GREATER. (B) FOR PROJECTS REQUIRING A NPDES EPA GCP AND DISCHARGING TO A SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS AND AFTER A 0.25 INCH RAIN EVENT OR GREATER, (C) FOR PROJECTS REQUIRING A NPDES AOT PERMIT AND NPDES EPA GCP, DISCHARGING TO A NON-SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS AND AFTER A 0.5 INCH RAIN EVENT OR GREATER, AND INSPECTIONS SHALL BE CONDUCTED BY THE ENVIRONMENTAL MONITOR IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B). (D) FOR PROJECTS REQUIRING A NPDES AOT PERMIT AND NPDES EPA GCP, DISCHARGING TO A SENSITIVE WATERBODY, AT LEAST EVERY 7 DAYS AND AFTER A 0.25 INCH RAIN EVENT OR GREATER, AND INSPECTIONS SHALL BE CONDUCTED BY THE ENVIRONMENTAL MONITOR IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B).
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING AN ENVIRONMENTAL MONITOR, IF ONE IS REQUIRED, PURSUANT TO ENV-WQ 1505.03(B), IS CONTRACTED.

B. FILTERS / BARRIERS

1. SILT SOCKS

- A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE 8" SIEVE
MOISTURE CONTENT		STND TESTING < 60%

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
- C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

3. MAINTENANCE

- A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

C. MULCHING

1. TIMING

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

- A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.

- B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

2. GUIDELINES FOR WINTER MULCH APPLICATION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.

3. MAINTENANCE

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER, AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED, ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4" AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

- A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
- B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

WINTER RYE (FALL SEEDING)	2.5 LBS/1,000 SF
OATS (SPRING SEEDING)	2.0 LBS/1,000 SF
MULCH	1.5 TONS/ACRE

E. CATCH BASIN INLET PROTECTION

1. INLET BASKET STRUCTURE

- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.
- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)
D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.
- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR THE WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

FOR SINGLE/DUPLEX FAMILY SUBDIVISIONS, WHEN LOT DEVELOPMENT IS NOT PART OF THE PERMIT, THEN LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

WASTE DISPOSAL

1. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

1. MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

HAZARDOUS PRODUCTS:
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:

- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
- C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

2. PRODUCT SPECIFICATION PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:

ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTING AREAS.

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

EROSION CONTROL NOTES

PROPOSED AUTO DEALERSHIPS

0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR

400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0810
www.tfmoran.com

47159.04

DR HEG
CK CADFILE

FB
47159-04_EROSION

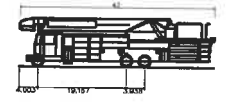
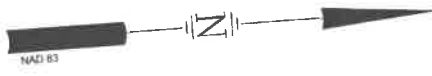
C-14

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



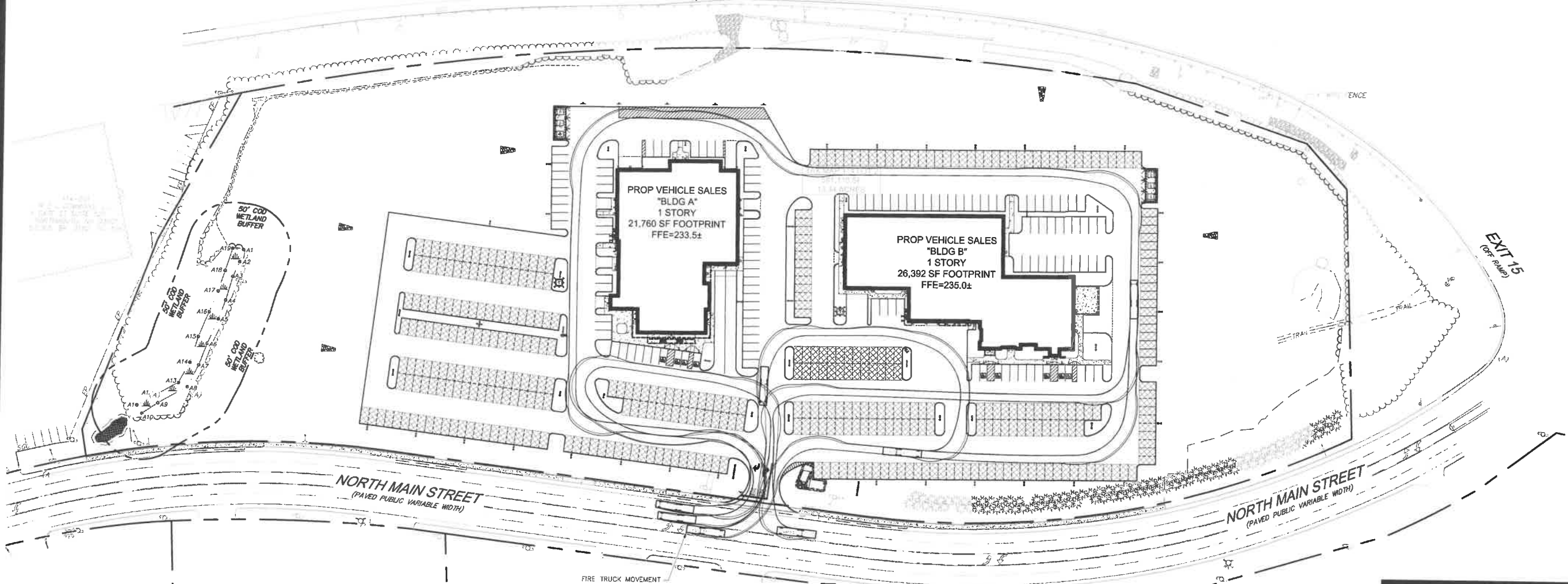


Rochester Fire Truck (Ladder)
Overall Length 42'00ft
Overall Width 8'00ft
Overall Body Height 10'34ft
Min. Body Ground Clearance 9'7ft
Track Width 6'50ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 45.00°

SPAULDING TURNPIKE
(NH ROUTE 16/US ROUTE 202)

EXIT 15
(OFF RAMP)

EXIT 15
(OFF RAMP)



PROP VEHICLE SALES
"BLDG A"
1 STORY
21,760 SF FOOTPRINT
FFE=233.5±

PROP VEHICLE SALES
"BLDG B"
1 STORY
26,392 SF FOOTPRINT
FFE=235.0±

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

FIRE TRUCK MOVEMENT
(TYP)

114-001
DICK'S REALTY, INC.
401 NORTH MAIN ST.
ROCHESTER, NH 03607-4351
S.C.M.D. BK 1265, PC 211
114-002
GLENN DAVIS
415 NORTH MAIN ST.
ROCHESTER, NH 03607-4351
S.C.M.D. BK 1265, PC 211



SITE DEVELOPMENT PLANS
TAX MAP 114 LOT 2
FIRE TRUCK TURNING PLAN
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

1" = 120' (11"X17")
SCALE: 1" = 60' (22"X34")
MAY 24, 2022

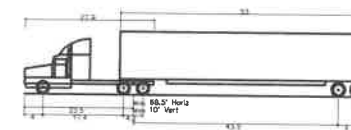
Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.
This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=60'
60 30 0 60

REV	DATE	DESCRIPTION	DR	CK

Seacoast Division		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com	
TFM		Hannah E. Giovannucci No. 15699 Professional Engineer			
FILE	47159.04	DR	HEG	FB	
		CK	CADFILE	47159-04_TRUCK_FIRE	C-15



WB-67 - Interstate Semi-Trailer	
Overall Length	73.50ft
Overall Width	8.500ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.334ft
Max Track Width	8.500ft
Lock-to-lock time	6.00s
Max Steering Angle (Virtual)	28.40°

SPAULDING TURNPIKE
(NH ROUTE 16/US ROUTE 202)

EXIT 15
(OFF RAMP)

PROP VEHICLE SALES
"BLDG A"
1 STORY
21,760 SF FOOTPRINT
FFE=233.5±

PROP VEHICLE SALES
"BLDG B"
1 STORY
26,392 SF FOOTPRINT
FFE=235.0±

EXIT
(OFF RAMP)

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

NORTH MAIN STREET
(PAVED PUBLIC VARIABLE WIDTH)

WB-67 TRUCK MOVEMENT
(TYPE)

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

WB-67 TRUCK TURNING PLAN

PROPOSED AUTO DEALERSHIPS

OWNED BY & PREPARED FOR

400 NORTH MAIN STREET, LLC

1' = 120' (11'X17')

SCALE: 1" = 60' (22"X34')

MAY 24, 2022

Seacoast Division

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tifmoran.com

F	47159.04
---	----------

4	DR	HEG	FB
---	----	-----	----

FB	-
FILE	47159-04_TRUCK_WB6

C-16

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

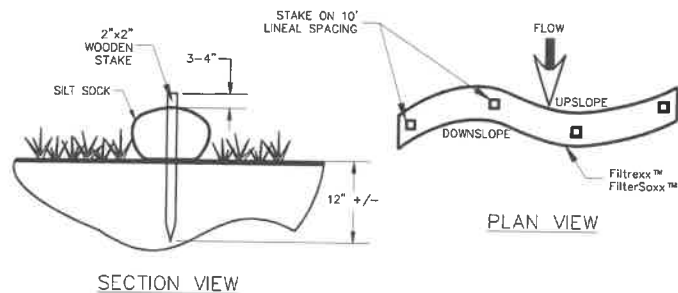
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



HORIZONTAL SCALE 1"=60'

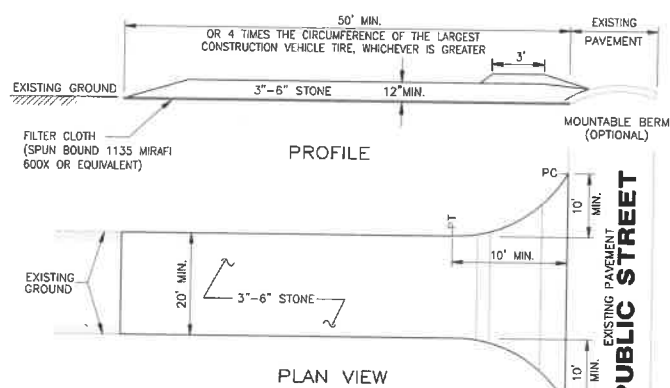
[illegible]



- NOTES:
1. SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ NATURAL ORIGINAL OR APPROVED EQUIVALENT.
 2. ALL MATERIAL AND SIZES TO MEET FILTREXX SPECIFICATIONS.
 3. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 4. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.

FILTREXX™ FILTERSOXX™ STAKING

NOT TO SCALE



- NOTES:
1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
 2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

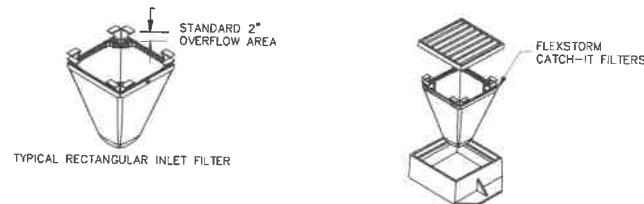
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

WELL GRADED, ANGULAR 2" - 3" STONE, 24" MAXIMUM HEIGHT WITH CENTER OF THE DAM 6" LOWER THAN THE OUTER EDGE

STONE CHECK DAM

NOT TO SCALE



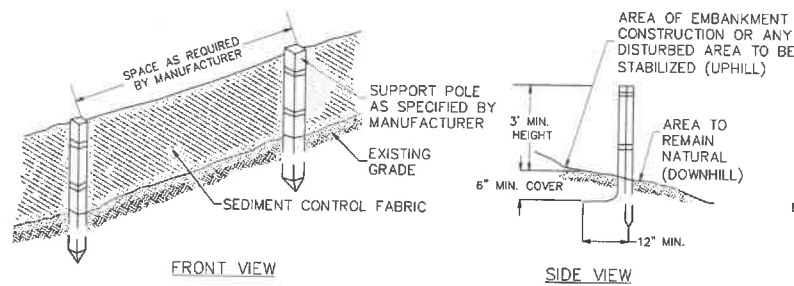
NOTES:

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1".
3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
4. REMOVED CAGED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
5. REPLACE BAG IF TORN OR PUNCTURED TO > 1/2" DIAMETER ON LOWER HALF OF BAG.

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 INFO@INLETFILTERS.COM

INLET PROTECTION

NOT TO SCALE

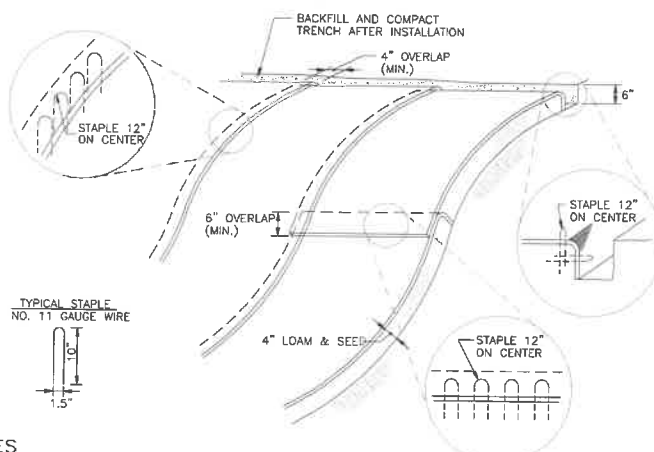


NOTES:

1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
3. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
6. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
8. FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
9. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE

NOT TO SCALE

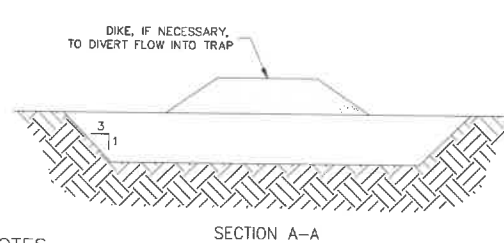


NOTES:

1. INSTALL AT DISTURBED LOCATIONS WITH 2:1 SLOPES OR GREATER AND AS INDICATED PER PLANS.
2. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
3. ROLL THE BLANKET DOWN THE SLOPE OR SWALE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
6. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-28, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANCA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.
7. BLANKET SHALL BE PLACED WITHIN 24-HRS AFTER SOWING SEE IN THE AREA BEING COVERED

EROSION CONTROL BLANKET

NOT TO SCALE

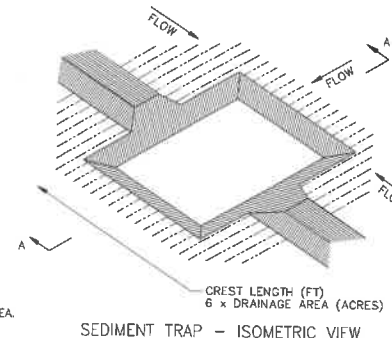


NOTES:

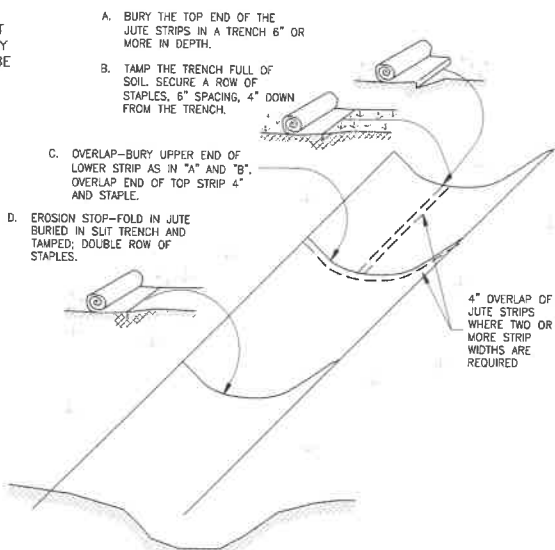
1. SEDIMENT TRAP TO BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. IF IT IS DETERMINED THAT CONSTRUCTION OF A SEDIMENT TRAP IS WARRANTED, CONSULT WITH ENGINEER TO DETERMINE APPROPRIATE NUMBER AND DIMENSIONS.
2. 3,600 CF OF BASIN STORAGE IS REQUIRED FOR EVERY ACRE OF CONTRIBUTING DRAINAGE AREA.

SEDIMENT TRAP

NOT TO SCALE



SEDIMENT TRAP - ISOMETRIC VIEW

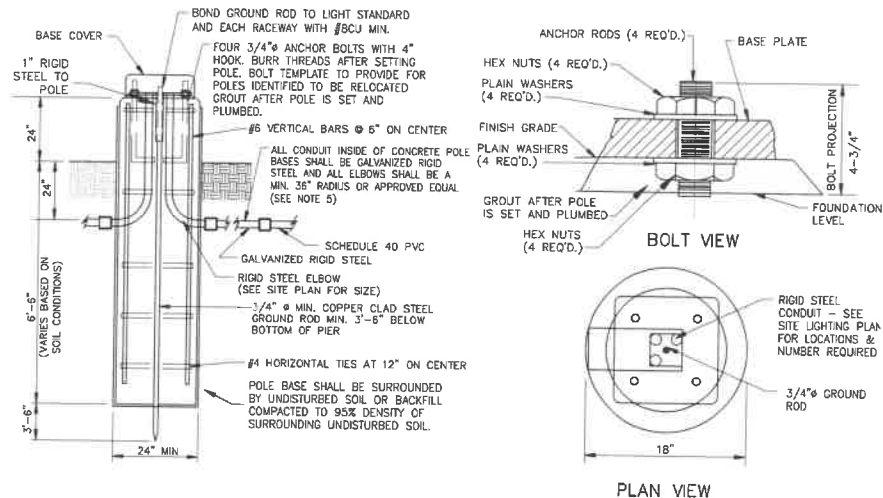


NOTES:

1. MATTING SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, INCLUDING STAPLE PATTERNS.
2. STAPLES SHALL BE BIODEGRADABLE.

JUTE MATTING

NOT TO SCALE



NOTES:

1. CONCRETE TO BE 4000 PSI.
2. BASE SHALL BE USED FOR ALL POLES WITH FIXTURE MOUNTING HEIGHT LESS THAN 25-FEET.
3. POLE BASES TO BE SET A MINIMUM OF 4'-0" FROM EDGE OF PAVEMENT, EXCEPT WHERE OTHERWISE INDICATED ON DRAWING.
4. BASE HEIGHT SHALL BE 2'-0" ABOVE PAVEMENT GRADE WHEN BASE IS WITHIN 2' OF PAVEMENT EDGE.
5. EQUIVALENTS MUST MEET NATIONAL ELECTRICAL CODE AND LOCAL/STATE REQUIREMENTS

LIGHT POLE BASE (24" MOUNTING HEIGHT)

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

DETAILS

PROPOSED AUTO DEALERSHIPS
O NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04

DR HEG FB

CK CADFILE

47158-04-DETAILS

C-17

REV	DATE	DESCRIPTION	DR	CK

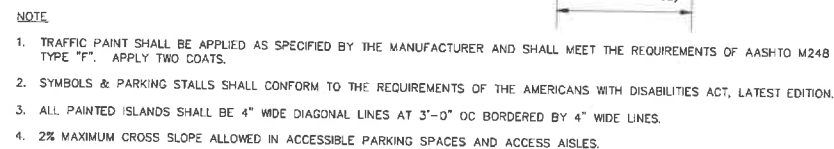
Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



May 24, 2022 - 10:37am
F:\MISC Projects\47159 - North Main St. - Rochester\Design\PRODUCTION DRAWINGS\47159-04_Details.dwg



NOT TO SCALE



1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION AND NHDOT SIDEWALK CURB RAMP DETAILS.

NOT TO SCALE



1. DETECTABLE WARNING STRIP TO BE CAST-IRON (NHDOT ITEM 608.54), MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION
2. MANUFACTURER SHALL BE NEENAH FOUNDARY CATALOG NO. 4984 (SPECIFY WIDTH), OR APPROVED EQUAL.
3. DETECTABLE WARNING STRIPS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH.
4. THE ROWS OF TRUNCATED DOWNS SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.

NOT TO SCALE



1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

NOT TO SCALE



1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION AND NHDOT SIDEWALK CURB RAMP DETAILS.

NOT TO SCALE



1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. SYMBOL SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

NOT TO SCALE



1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
2. CROSOWALK PAVEMENT MARKINGS SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS WITHIN THE PROPOSED DEVELOPMENT ONLY. FOR CROSOWALK PAVEMENT MARKINGS WITHIN THE NHDOT RIGHT OF WAY, REFER TO THE "PLANS FOR SIGNALIZATION IMPROVEMENTS".

NOT TO SCALE

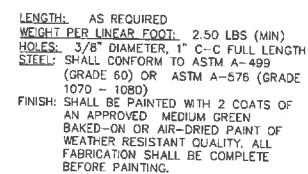


NOT TO SCALE



1. ALL PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY AND TRAFFIC SIGNS SHALL BE PLACED IN ACCORDANCE WITH THE GUIDE LINES OUTLINED IN THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE FURNISHING AND PLACING OF WHITE OR YELLOW PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY SHALL CONFORM TO THE REQUIREMENTS OF THE N.H. DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 632 REFLECTORIZED PAVEMENT MARKINGS. TRAFFIC PAINT NOT WITHIN THE RIGHT OF WAY SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF ASHTO M248 TYPE "F", APPLY TWO COATS.
3. ALL CENTERLINES, EDGE LINES, AND LANE LINES SHALL BE 4 INCHES IN WIDTH; STOP BARS SHALL BE 18 INCHES WIDE.
4. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

NOT TO SCALE



- NOTE:**
1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2'.
 2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

NOT TO SCALE

TAX MAP 114 LOT 2

PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH

OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE, NTS

MAY 24, 2022

Seacoast Division

- Civil Engineers
- Structural Engineers
- Traffic Engineers
- Land Surveyors
- Landscape Architects
- Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmeran.com

F	47159.04
---	----------

DR	HEG	FE
----	-----	----

FILE	47159-04_DETAILS
------	------------------

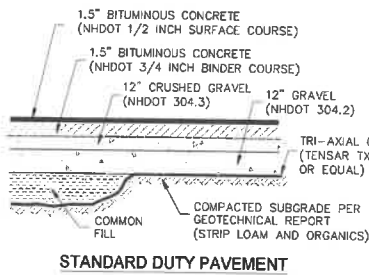
C-18

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

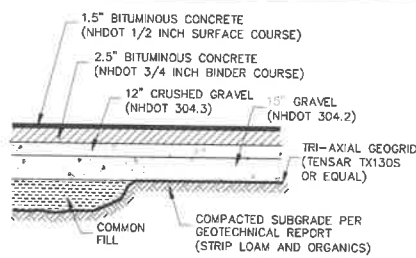
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

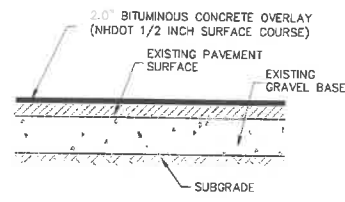
[illegible]



STANDARD DUTY PAVEMENT



HEAVY DUTY PAVEMENT



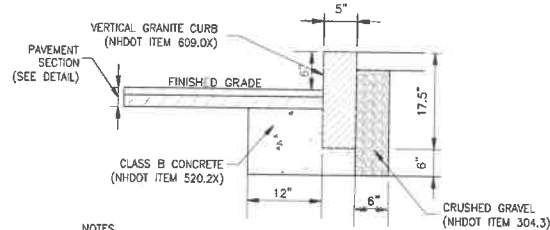
OVERLAY

NOTES

1. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEER REPORT BY WHITESTONE FOR SUBGRADE PREPARATION (I.E. SURCHARGE, COMPACTION, GEOGRID REINFORCEMENT, ETC.) AND FURTHER PAVEMENT SPECIFICATIONS AND CONSTRUCTION METHODS.
2. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
3. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT—USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
4. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
5. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
6. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
7. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557.
8. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% OF ASTM D-1557.
9. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
10. SEE SITE LAYOUT PLAN FOR HEAVY DUTY LOCATIONS. ALL OTHER LOCATIONS SHALL BE STANDARD DUTY.
11. EXACT AREAS TO RECEIVE FULL-DEPTH PAVEMENT SECTION BASE AND SUB-BASE SHALL BE DETERMINED IN FIELD AT THE TIME OF CONSTRUCTION.

PAVEMENT SECTION

NOT TO SCALE

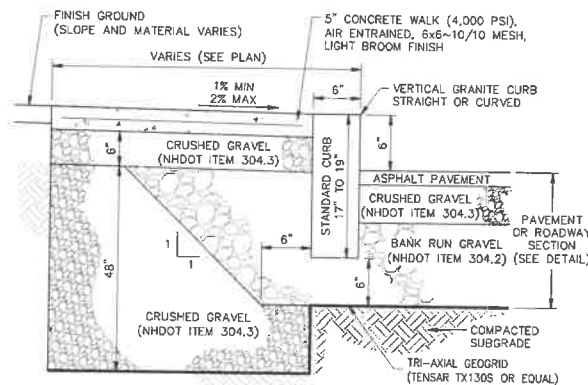


NOTES

1. MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

VERTICAL GRANITE CURB

NOT TO SCALE

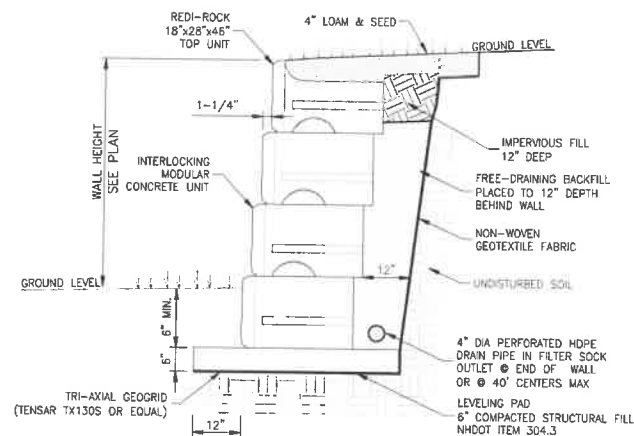


NOTE:

1. PROVIDE CONSTRUCTION AND EXPANSION JOINTS (SEE CONCRETE SIDEWALK DETAIL).
2. PROVIDE TRANSITIONS & RAMPS PER ADA.

CONCRETE SIDEWALK WITHIN R.O.W.

NOT TO SCALE

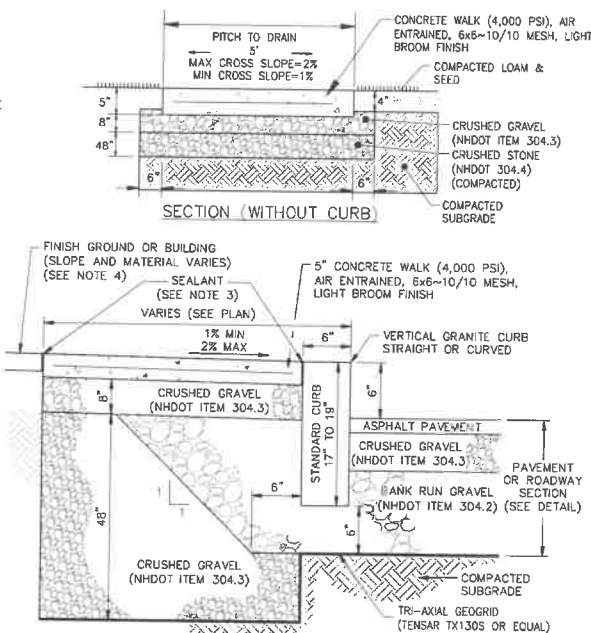


NOTES

1. THIS DETAIL IS ONLY FOR WALLS LESS THAN 4 FEET IN HEIGHT.
2. FINAL WALL DESIGN SHALL BE SUBJECT TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

UNREINFORCED RETAINING WALL (MODULAR CONCRETE UNIT)

NOT TO SCALE

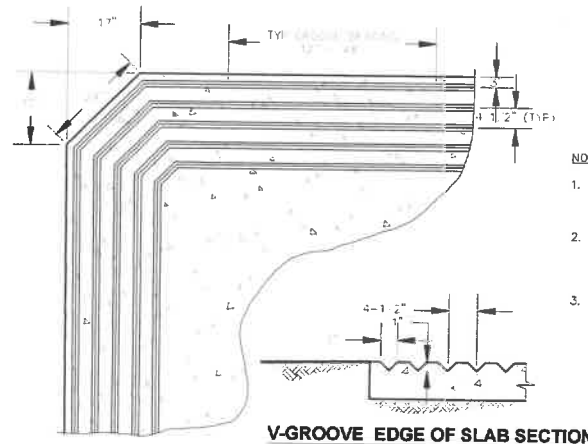


NOTES

1. PROVIDE CONSTRUCTION AND EXPANSION JOINTS.
2. PROVIDE TRANSITIONS & RAMPS PER ADA.
3. SEAL ALL SIDEWALK SURFACE JOINTS (AGAINST WALLS, CURBING, CONTROL JOINTS, CONSTRUCTION JOINTS, ETC.) WITH A 30\"/>

CONCRETE SIDEWALK

NOT TO SCALE

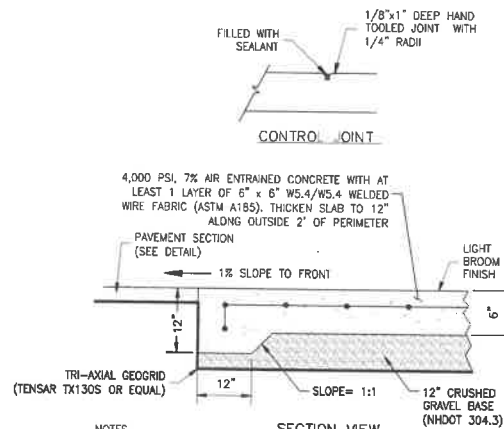


NOTES:

1. "V" GROOVES SHALL BE TROWELED IN CONCRETE SLAB
2. "V" GROOVES SHALL BE A CONSISTENT WIDTH AND DEPTH FOR THE ENTIRE APRON
3. GROOVES MUST BE KEPT CLEAN OF DIRT AND DEBRIS

POSITIVE LIMITING BARRIER

NOT TO SCALE

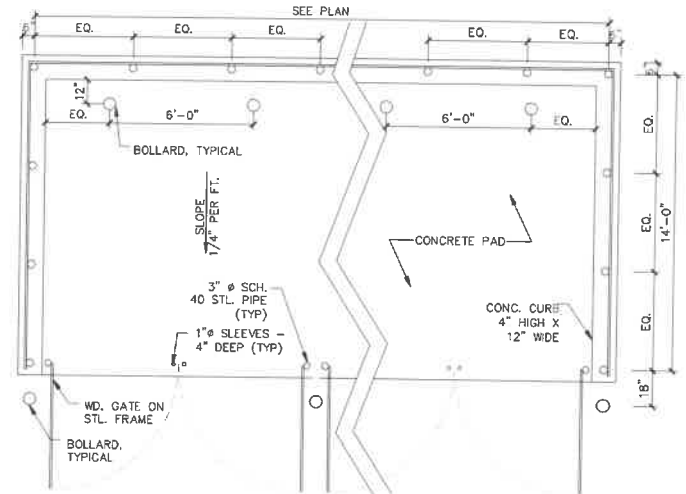
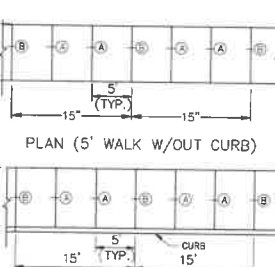
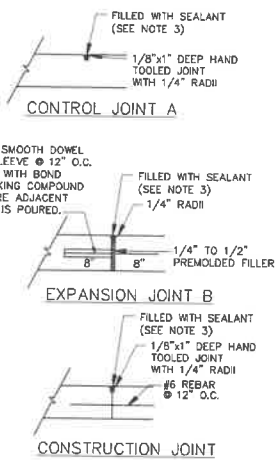


NOTES

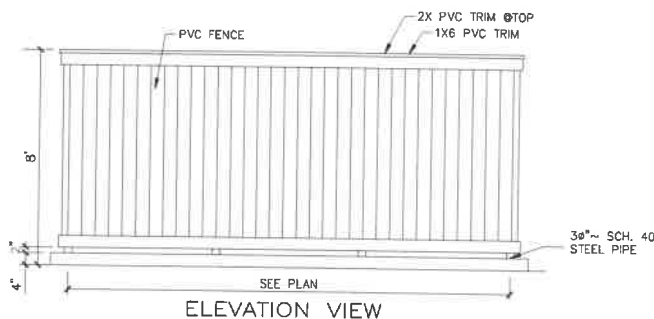
1. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT — USE TACK COAT.

CONCRETE PAD

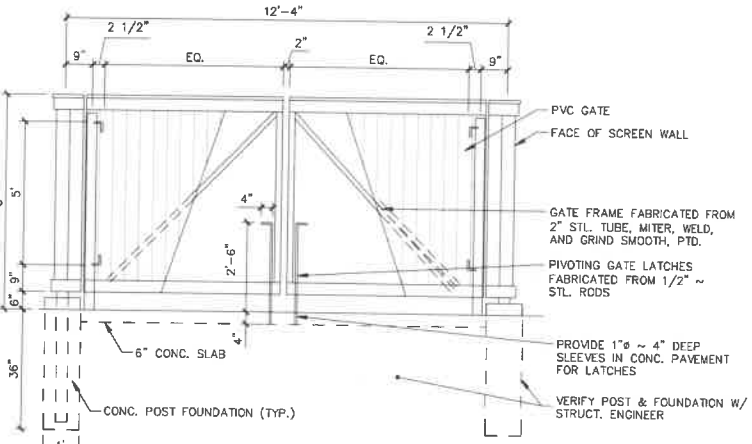
NOT TO SCALE



PLAN VIEW



ELEVATION VIEW



GATE DETAIL VINYL DUMPSTER ENCLOSURE

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

DETAILS

PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
 OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47159.04

DR HEG

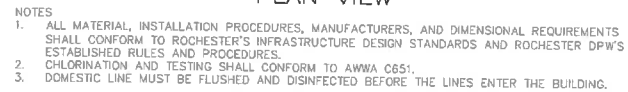
FB

47159-04-DETAILS

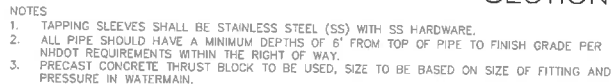
C-19

REV	DATE	DESCRIPTION	DR	CK

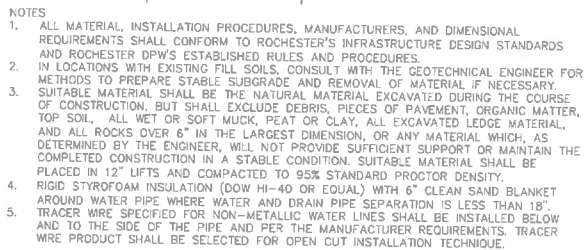




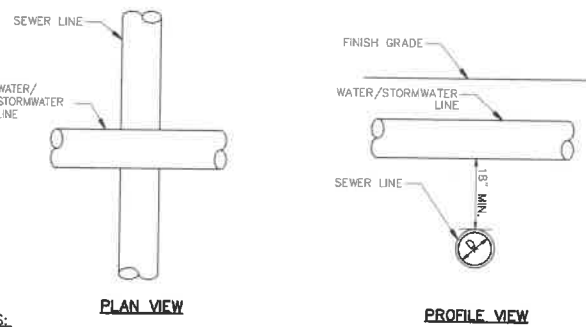
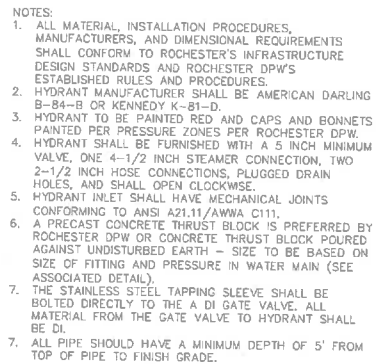
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

TYPE OF BEARING MATERIAL AND ALLOWABLE LOADS, pfs	BEARING AREA REQUIRED, SQUARE FEET									
	14" AND 16" DEGREE BEND OR DEFLECTION					18" AND 20" DEGREE BEND OR DEFLECTION				
	11 $\frac{1}{4}$	22 $\frac{1}{2}$	45	90		11 $\frac{1}{4}$	22 $\frac{1}{2}$	45	90	
LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0		9.5	19.0	37.0	67.0	
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0		4.8	9.5	18.5	33.5	
ROCK - 10,000	1.2	2.4	4.5	8.0		2.0	3.8	7.4	13.5	

TAX MAP 114 LOT 2

400 NORTH MAIN STREET, LLC

MAY 24, 2022

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmorgan.com

TFM

C-20

Copyright 2022 ©TFMoran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMorgan, Inc.

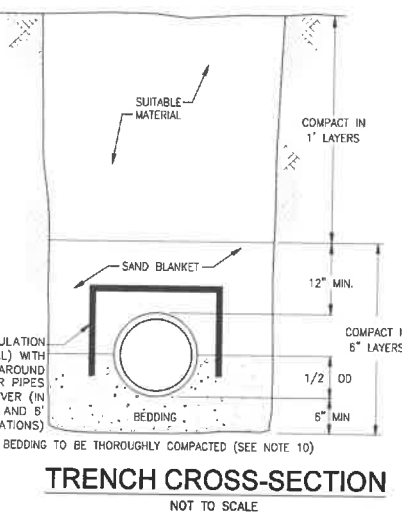
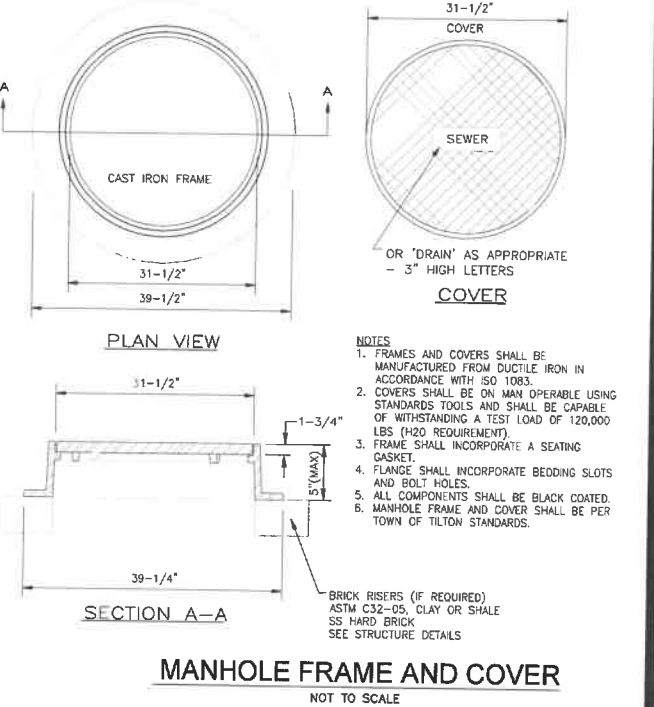
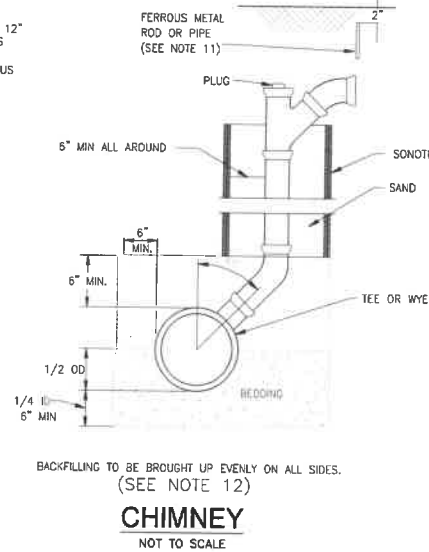
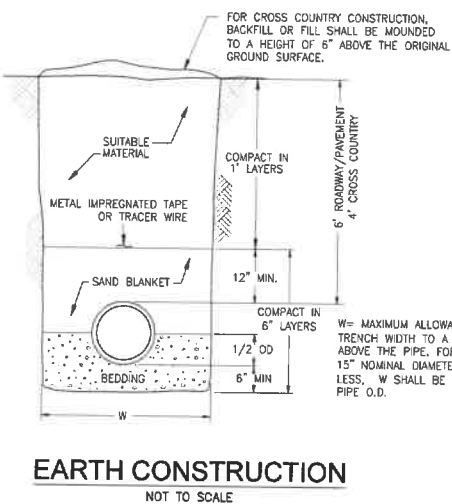
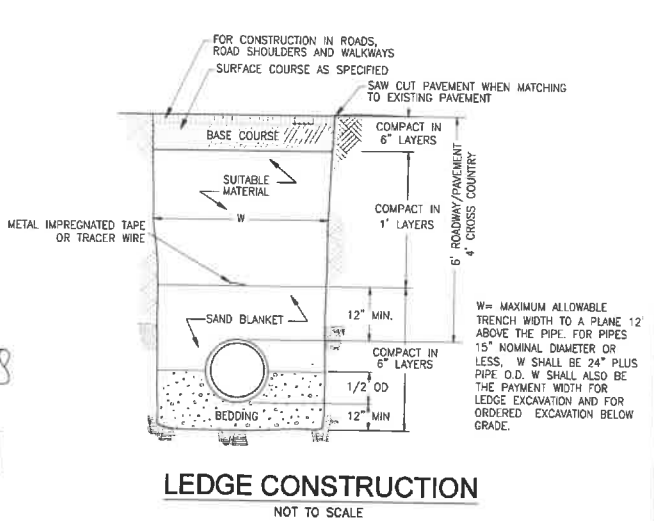
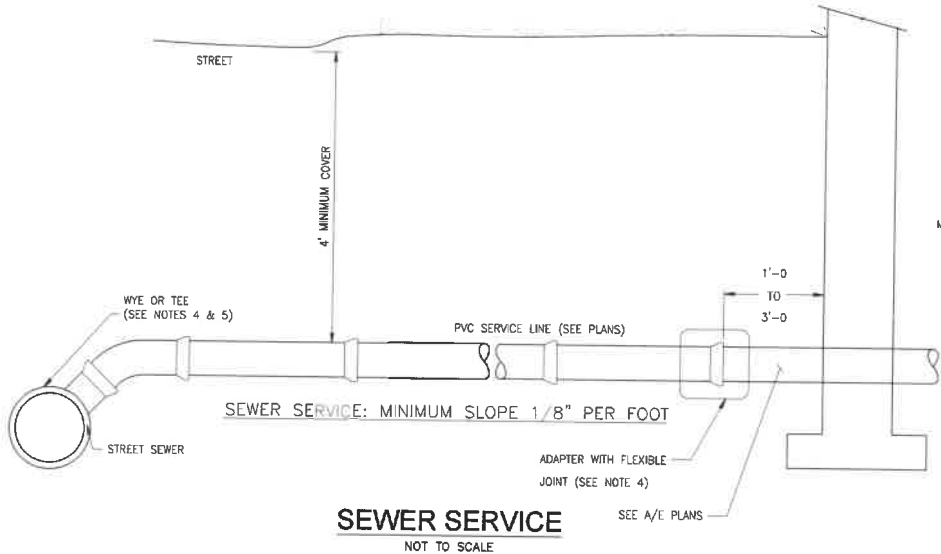
May 24, 2022 - 10:37 am
F:\MSC Projects\47159 - North Main St. - Auto Dealership\Design\PRODUCT\ON DRAWING\47159-04_Details.dwg

SEWER SERVICE NOTES

- 1) MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.
- 2) PIPE AND JOINT MATERIALS:
- A. PLASTIC SEWER PIPE
1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|----------------|------------------------|-----------------------------|
| D3034 | *PVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F679 | PVC (SOLID WALL) | 18" THROUGH 27" (T-1 & T-2) |
| F789 | PVC (SOLID WALL) | 4" THROUGH 18" (T-1 TO T-3) |
| F794 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| D2580 | *ABS (COMPOSITES WALL) | 8" THROUGH 15" |
- *PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
2. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
- ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
- JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
- B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.
1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE: A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
- A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO: A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS
- 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED, WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- 5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INERT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.
- 6) SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
- THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
- 7) TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
- A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
- B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
- C. DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN-STREAM MANHOLE.
- LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
- 8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- 9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- 10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
- | | |
|------------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90%-100% PASSING | 3/4 INCH SCREEN |
| 20%-55% PASSING | 3/8 INCH SCREEN |
| 0%-10% PASSING | #4 SIEVE |
| 0%-5% PASSING | #8 SIEVE |
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
- 11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- 12) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

GRAVITY SEWER NOTES

1. MINIMUM SIZE PIPE FOR GRAVITY SEWER SHALL BE 8-INCHES.
2. PIPE AND JOINT MATERIALS FOR PLASTIC SEWER PIPE SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
- | ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|------------------|-----------------------|-----------------------------|
| D3034-04a | * PVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F679-03 | PVC (SOLID WALL) | 18" THROUGH 27" (T-1 & T-2) |
| F794-03 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| F1760-01(2005)e1 | PVC, RECYCLED | ALL DIAMETERS |
- *PVC: POLY VINYL CHLORIDE
3. PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM D2412-02 DURING MANUFACTURE.
4. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212-96(g)(2003)e1 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
5. DUCTILE-IRON PIPE, FITTINGS AND JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA).
- AWWA C151/A21.51-02 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536-84 (2004) DUCTILE IRON CASTINGS.
- AWWA C151/A21.51-02 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
- JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO AWWA C151/A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
6. CONCRETE PIPE SHALL CONFORM TO AWWA C302-04.
7. PRESTRESSED CONCRETE CYLINDER PIPE AND FITTINGS SHALL CONFORM TO AWWA C301-99.
- JOINTS SEALS FOR CONCRETE CYLINDER PIPE SHALL BE OIL RESISTANT ELASTOMERIC MATERIAL CONFORMING TO AWWA C301-99 SPECIFICATIONS.
8. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
9. GRAVITY SEWER PIPE TESTING SHALL BE AS FOLLOWS:
- ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.
- LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:
- ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR".
- UNI-BELL PVC PIPE ASSOCIATION UNI-8-5, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE".
10. ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.
11. ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS FOLLOWING INSTALLATION.
12. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5.0 PERCENT OF THE AVERAGE INSIDE DIAMETER.
13. TRENCH CONSTRUCTION SHALL CONFORM TO THE FOLLOWING:
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6' BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS COUNTRY LOCATIONS.
- WHERE SEWER LINES CROSS WATER PIPES, A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. AT SEWER/WATER INTERSECTIONS, A MINIMUM OF 6 FEET SHALL BE PROVIDED FROM THE WATER LINE TO THE SEWER PIPE JOINT. 12" SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE REQUIRED BETWEEN SEWER LINES AND ALL OTHER PIPES.
- TRENCH DIMENSIONS FOR SEWER PIPE LESS THAN 15 INCHES IN DIAMETER, THE ALLOWABLE TRENCH WIDTH AT A PLANE 12 INCHES ABOVE THE PIPE SHALL BE NO MORE THAN 35 INCHES AND FOR PIPE 15 INCHES AND LARGER, THE ALLOWABLE WIDTH SHALL BE EQUAL TO THE PIPES OUTSIDE DIAMETER PLUS 24 INCHES.
- PIPE TRENCH BEDDING MATERIAL AND FILL MATERIAL FOR EXCAVATION BELOW GRADE SHALL BE SCREENED GRAVEL OR CRUSHED STONE TO ASTM C33-03 STONE SIZE NO. 67. THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ANY ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSED THE 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE. IN LIEU OF A SAND BLANKET, A STONE ENVELOPE 6 INCHES THICK COMPLETELY AROUND THE PIPE USING 3/4-INCH STONE MAY BE USED.
- PIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH THE PIPE AXIS TO 6-INCHES BELOW THE BOTTOM OF THE OUTSIDE SURFACE OF THE PIPE.
- PIPE SAND BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE THE CROWN OF THE OUTSIDE SURFACE.
- COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS.
- BACKFILL MATERIAL SHALL BE IN 3-FOOT LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3-FOOT SHALL BE COMPACTED IN 12-INCH LAYERS TO THE ROAD BASE SURFACE.
- TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING DEBRIS, PAVEMENT PIECES, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT, CLAY, EXCAVATED LEDGE, ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION, OR ANY OTHER UNSUITABLE MATERIAL NOT APPROVED BY THE ENGINEER.
- TRENCH BACKFILL AT CROSS-COUNTRY LOCATIONS SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLE RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. BACKFILL SHALL BE MOUNDING 6-INCHES ABOVE ORIGINAL GROUND.
- BASE COURSE MATERIALS FOR TRENCH REPAIRS SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- WHERE SHEETING IS PLACED ALONG SIDE OF THE PIPE AND EXTENDS BELOW MID-DIAMETER, THE SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE AND AT LEAST 3 FEET BELOW FINISH GRADE.
- TRENCHES FOR SEWER PIPES WITH SLOPES OVER 0.08 FEET PER FOOT AND TRENCHES FOR SEWER PIPES BELOW THE SEASONAL HIGH GROUND WATER LEVEL SHALL HAVE IMPERVIOUS TRENCH DAMS CONSTRUCTED EVERY 300 FEET TO PREVENT POTENTIAL DISTURBANCE TO PIPE BEDDING AND BLANKET MATERIALS.



SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2
DETAILS
PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division

TFM

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47159.04

DR HEG FB

CK CADFILE

47159-04-DETAILS

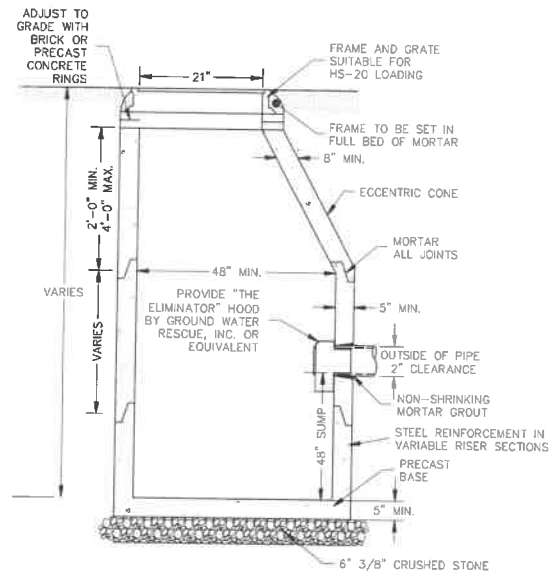
C-22

Copyright 2022 ©TFM Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFM Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFM Moran, Inc.

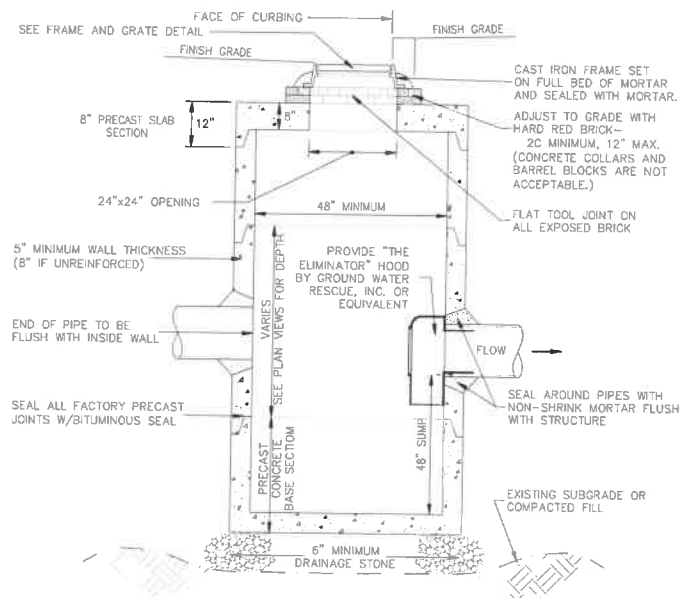




- NOTES
1. ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
 2. CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
 3. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 4. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

ECCENTRIC CATCH BASIN

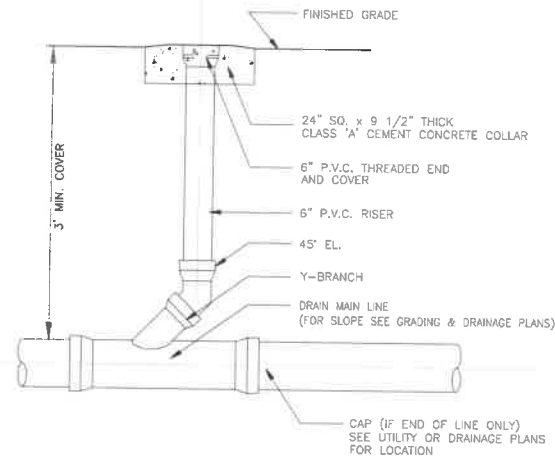
NOT TO SCALE



NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

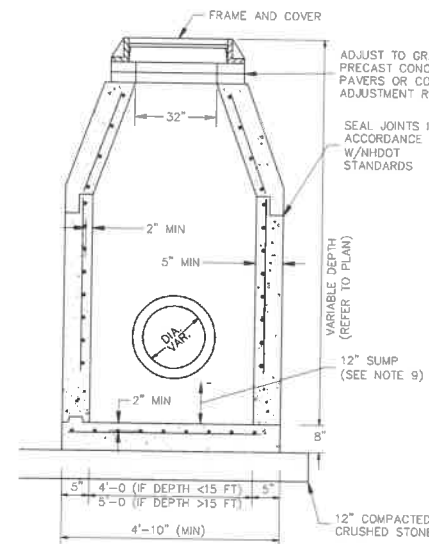
SLAB TOP CATCH BASIN

NOT TO SCALE



DRAINAGE CLEAN OUT

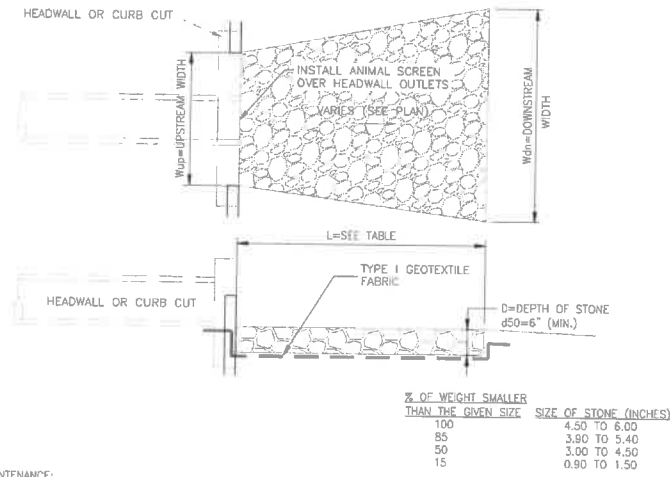
NOT TO SCALE



DRAIN MANHOLE

NOT TO SCALE

- NOTES
1. MANHOLE FRAME & COVER SHALL BE PAMREX CLASS D400, OR APPROVED EQUAL BY THE CITY ENGINEER.
 2. MANHOLE TO BE STAMPED TO SAY "STORM".
 3. COVERS AND FRAMES TO BE COATED BLACK.
 4. MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
 5. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 6. REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
 7. ALL CONCRETE SHALL BE NHDOT CLASS A.
 8. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
 9. PROVIDE 12" SUMP ONLY IN DRAIN MANHOLE STRUCTURES WITH AN INLET CONNECTION TO THE R-TANK SYSTEM OR AS IDENTIFIED ON SHEETS C-06 TO C-07.

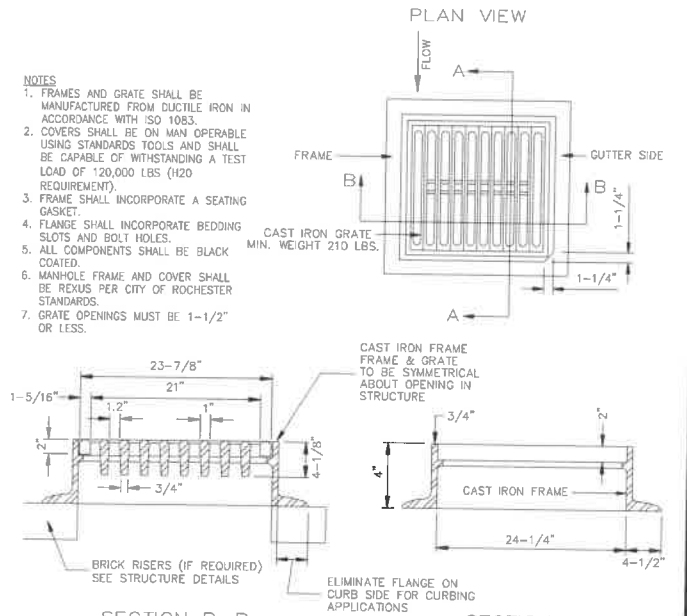


MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

- CONSTRUCTION SPECIFICATIONS:
1. THE OUTLET APRON SIZING IS CONCEPTUAL AND SHOULD BE SIZED FOR STORMWATER FLOWS FROM PARCEL 6, WHICH WILL BE REDEVELOPED AND DESIGNED IN 2021. PRIOR TO INSTALLATION AND ORDERING MATERIALS, CONFIRM WITH THE ENGINEER THAT THE OUTLET PROTECTION APRON SIZING AND STORMWATER SYSTEM'S CONFIGURATION IS APPROPRIATE.
 2. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 3. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 4. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
 5. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 6. INSTALL ANIMAL SCREEN TO HEADWALL OUTLET.

OUTLET PROTECTION APRON

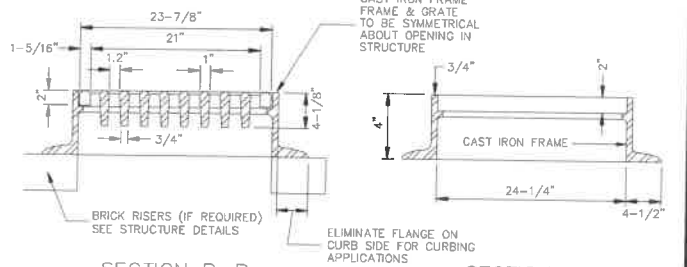
NOT TO SCALE



CATCH BASIN FRAME AND GRATE

NOT TO SCALE

- NOTES
1. FRAMES AND GRATE SHALL BE MANUFACTURED FROM DUCTILE IRON IN ACCORDANCE WITH SD 1063.
 2. COVERS SHALL BE ON MAN OPERABLE USING STANDARDS TOOLS AND SHALL BE CAPABLE OF WITHSTANDING A TEST LOAD OF 120,000 LBS (H20 REQUIREMENT).
 3. FRAME SHALL INCORPORATE A SEATING GASKET.
 4. FLANGE SHALL INCORPORATE BEDDING SLOTS AND BOLT HOLES.
 5. ALL COMPONENTS SHALL BE BLACK COATED.
 6. MANHOLE FRAME AND COVER SHALL BE REBUS PER CITY OF ROCHESTER STANDARDS.
 7. GRATE OPENINGS MUST BE 1-1/2" OR LESS.



CATCH BASIN FRAME AND GRATE

NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 114 LOT 2

DETAILS

PROPOSED AUTO DEALERSHIPS
0 NORTH MAIN STREET, ROCHESTER, NH
 OWNED BY & PREPARED FOR
400 NORTH MAIN STREET, LLC

SCALE: NTS

MAY 24, 2022

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47159.04	OR HEG	FB	-	C-23
CK	CADFILE	47159-04-DETAILS		

REV	DATE	DESCRIPTION	DR	CK

Copyright 2022 ©TFMoran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of TFMoran, Inc.

This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.





TOTAL SQUARE FOOTAGE = 21,760 S.F.

FLOOR PLAN GENERAL NOTES:

- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
- 2) REFER TO SHEETS AG.2 FOR ROOM FINISH SCHEDULE
- 3) REFER TO SHEETS AG.1 FOR DOOR & WINDOW SCHEDULE
- 4) ANCHOR VEHICLE LIFTS PER MANUFACTURERS REQUIREMENTS
- 5) PROVIDE FRP PANELS ON ALL WALLS @ WASH BAYS TO 10'-0" A.F.F.
- 6) ALL OVERHEAD DOORS TO HAVE 2'-0" EXT. CONCRETE APRONS, SLOPE AWAY FROM BLD.
- 7) SLOPE FLOOR @ RECON. BAY 1/8" / 12" TO DRAIN
- 8) REFER TO SHEETS A1.3 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
- 9) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
- 10) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
- 11) GRID 15 IS TO OUTSIDE FACE OF WALL GIRT OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID 15 TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
- 12) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL
- 13) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
- 14) ALL DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.H.O. OR SHOWN CENTERED IN WALL
- 15) TOP OF FOUNDATION WALL @ ALL EXTERIOR DOORS TO BE DROPPED 6" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
- 16) EDGE OF SLAB TO BE SLOPED AWAY FROM BUILDING & EDGE PROTECTED W/ CAST IN PLACE ANGLE @ ALL O.H. DOORS
- 17) REFER TO SHEET CR.2 FOR ALL PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
- 18) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
- 19) FURNITURE LAYOUT INDICATED FOR DESIGN INTENT OF POWER & DATA, G.C. TO COORDINATE W/ CLIENT & VENDOR

Revision Schedule

Project Info:
Rochester Buick GMC

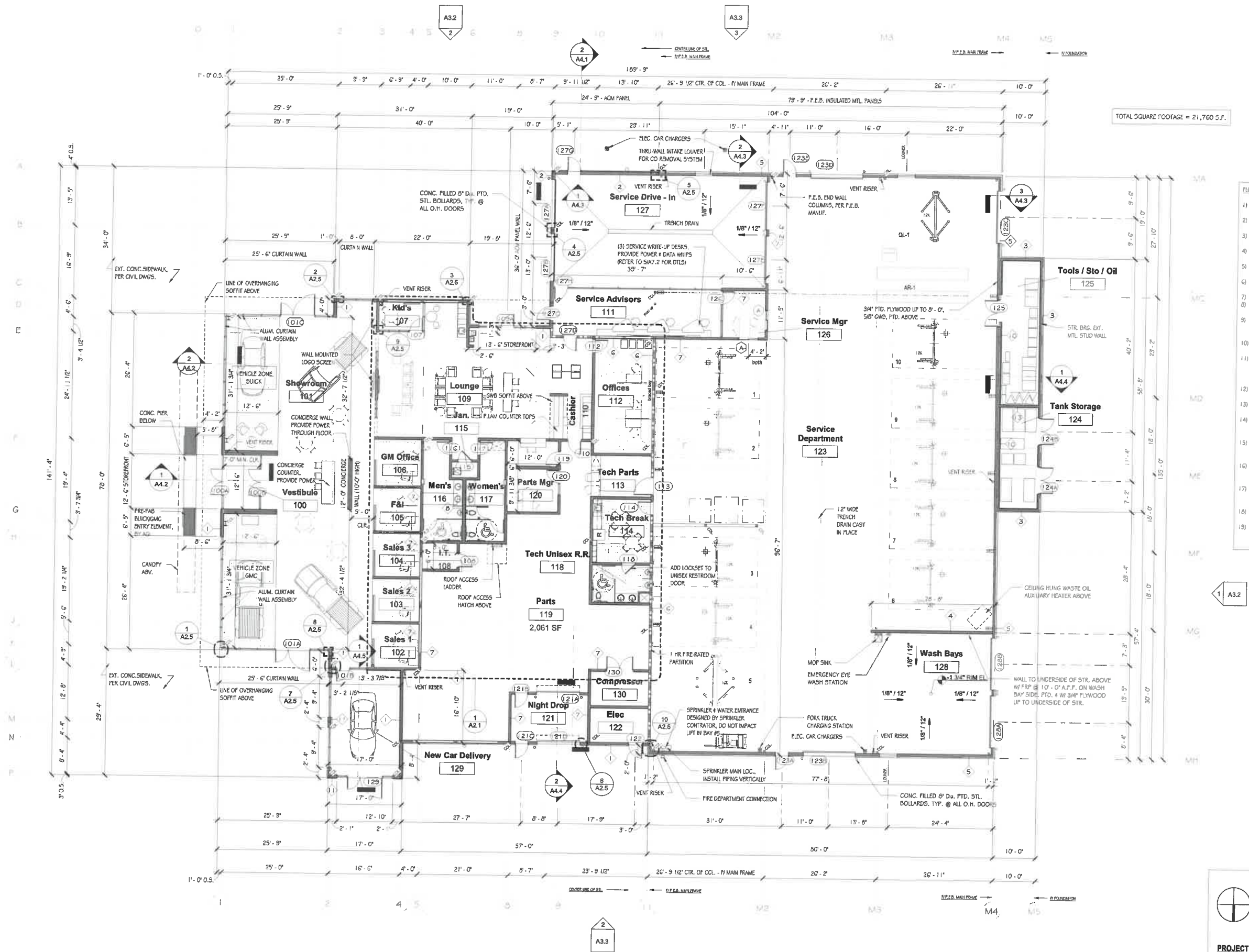
0 North Main St
Rochester NH

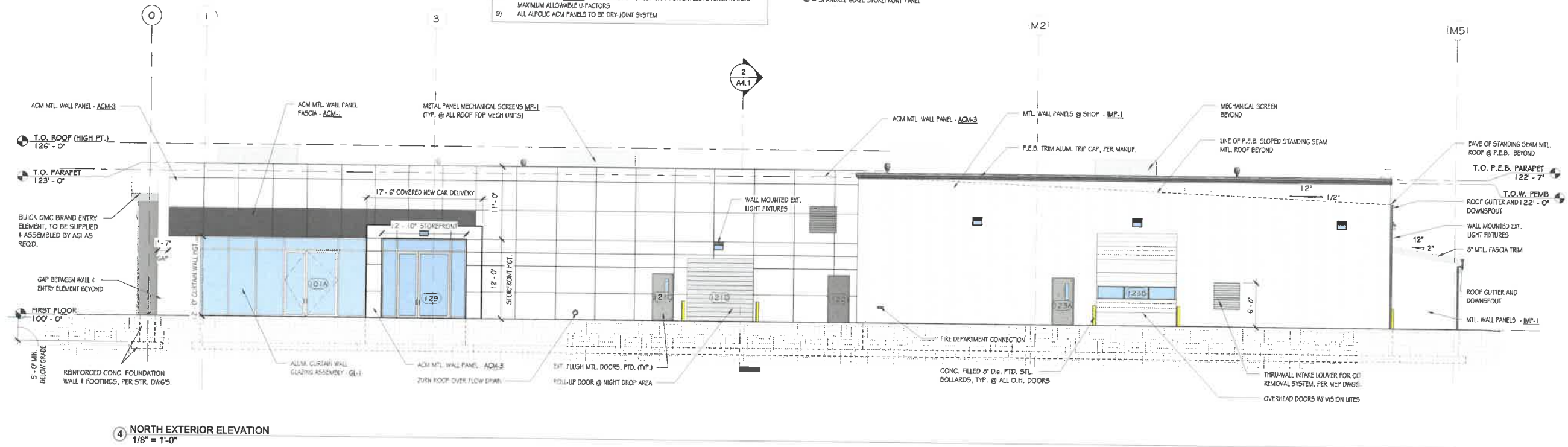
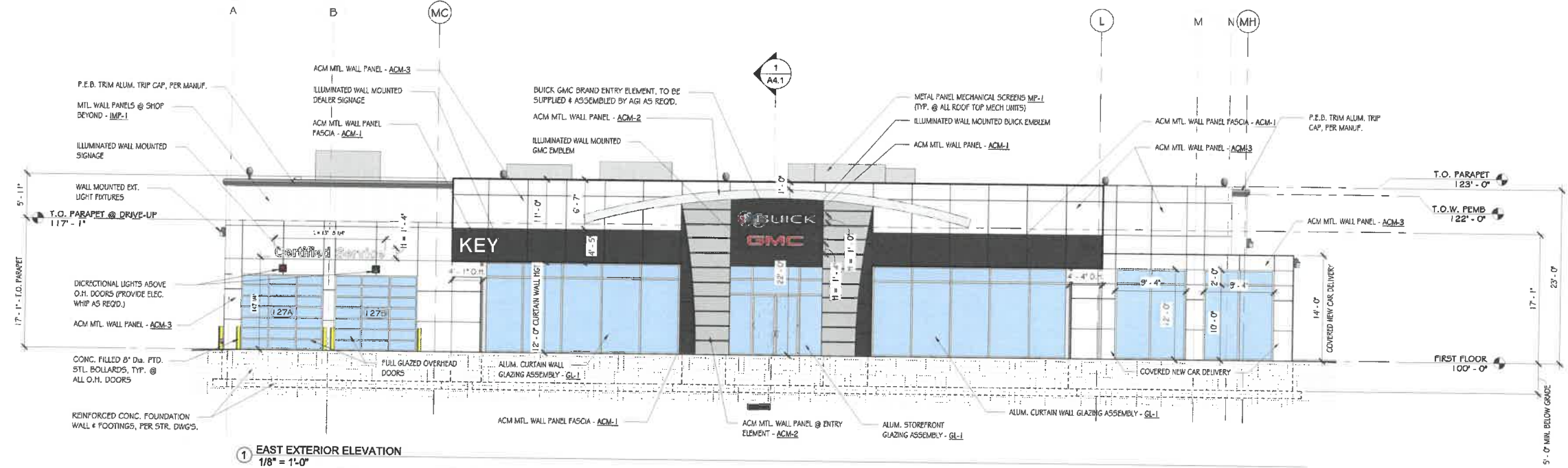
Sheet Status:
Latest Release:
Issued For: For Construction
Original Date: NOV. 10, 2021
JOB NO: 20048
DRAFTER: MLN
CHECKED: JMT
SCALE: 3/32" = 1'-0"

Sheet Title:
Floor Plan

Sheet Number:
A1.1

11/10/2021





Rev.	Description	Date
1	Revision Schedule	

Project Info:
Rochester Buick GMC

0 North Main St
Rochester NH

Sheet Status:
Issued For: For Construction
Issued Date: NOV. 10, 2021
Job No: 20048
Drafter: JMT
Checker: -

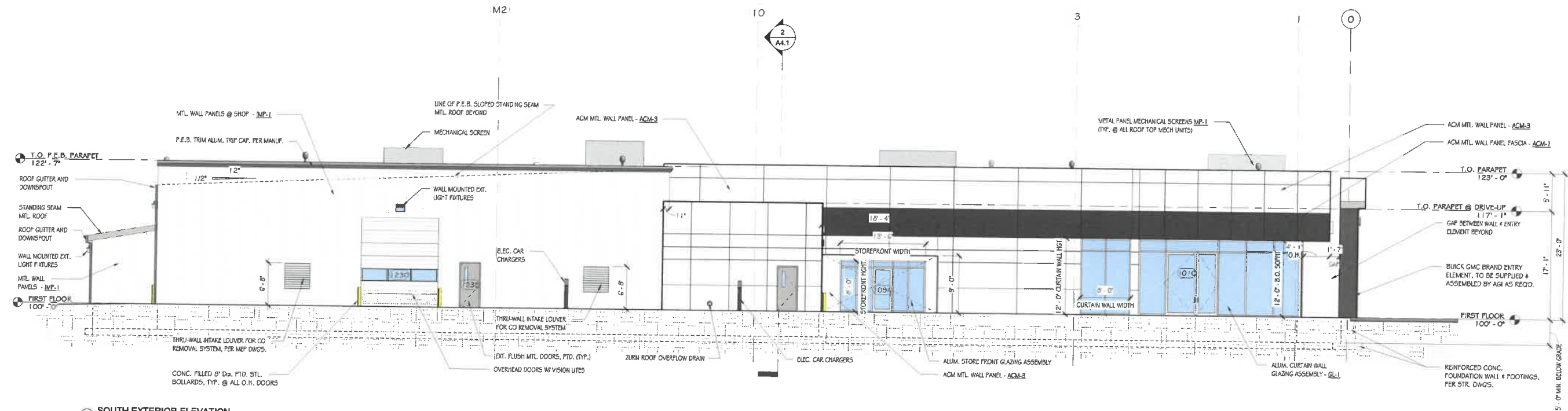
Scale: 1/8" = 1'-0"
Sheet Title:
Exterior Elevations

Sheet Number:
A3.1



- 1) REFER TO SHEET A3.3 FOR ALL ACM PANEL SIZES & JOINT LOCATIONS
- 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
- 3) REFER TO SHEET A6.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
- 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TAGS
- 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
- 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER GM DESIGN STANDARDS
- 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY - ALL FEATURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
- 8) REFER TO TABLE C702.4 ON CODE REVIEW SHEET CR.1 FOR ENVELOPE PENETRATION MAXIMUM ALLOWABLE U-FACTORS
- 9) ALL ALPOLIC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
- | | |
|----|---|
| 1. | ACM-1 = ALPOLIC TBL BLACK (#3-4TBL-G75) |
| 2. | ACM-2 = ALPOLIC BRUSHED MARLINE ALUMINUM (#HLA-3MM) |
| 3. | ACM-3 = ALPOLIC RW-W WHITE (WHITE) |
| 4. | ACM-4 = ALPOLIC HIGH POLISHED ALUMINUM (#3-4HP-G80) |
| 5. | IMP-1 = ATAS ISOLEREN VL MICRO-BEAD - REGAL WHITE |
| 6. | GL-1 = SOLARBAND LOW CL CLEAR ANODIZED ALUMINUM OR SILVER METALLIC FRAMES |
| 7. | WP-1 = ATAS BELVEDERE DOVE GRAY - MEG1, SCREEN |



② SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:

**Rochester
Buick GMC**

0 North Main St
Rochester NH

Sheet Status:

Latest Release:
Issued For: For Construction
Orig. Issue Date: NOV. 10, 2021

JOB NO: 20046
DRAFTED: MLN
CHECKED: JMT

SCALE: 1/8" = 1'-0"

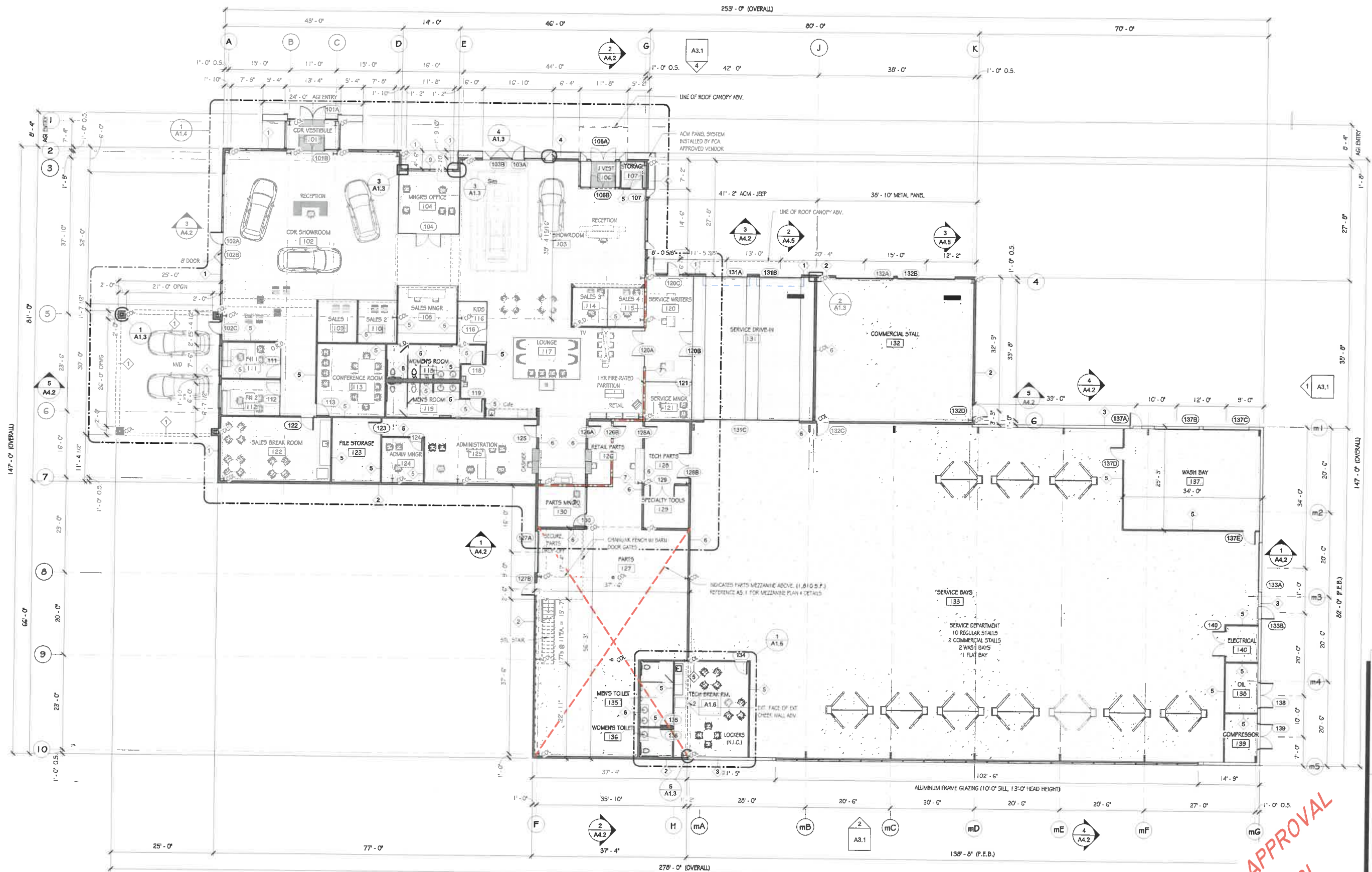
Sheet Title:

Exterior Elevations

Sheet Number:

A3.2

11/10/2021



1 FIRST FLOOR PLAN
3/32" = 1'-0"

26,392 SQUARE FOOTAGE

FOR CBRE APPROVAL
11/19/2021

No.	Description	Date
Revision Schedule		

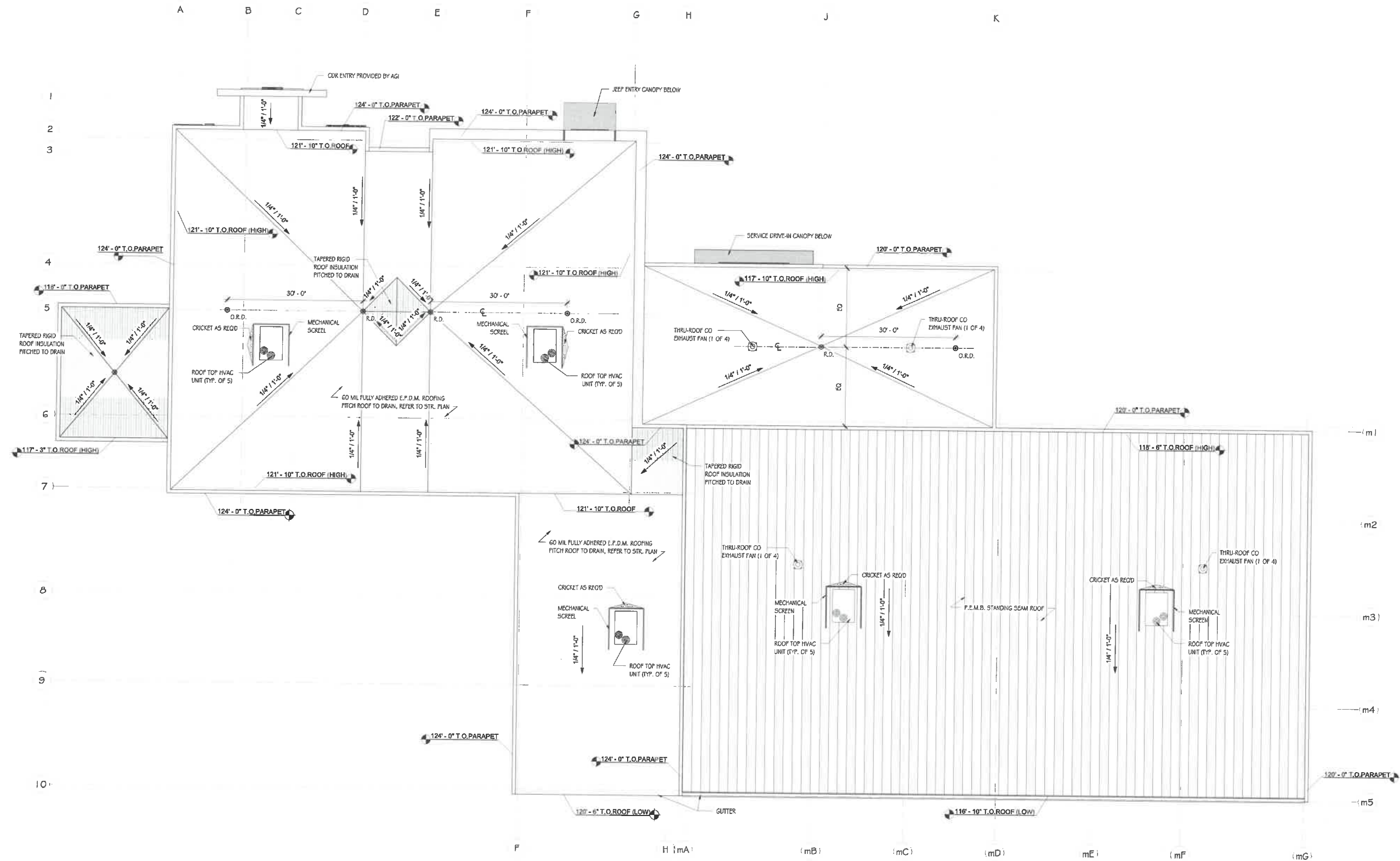
Project Info:
KEYAUTO
CDR+J

401 N Main St,
Rochester, NH
03867

Sheet Status:
Issued For: FOR CBRE
Org. Issue Date: APPROVAL 19/2021
JOB NO: 21004
DRAFTED: SMP
CHECKED: JMT
SCALE: 3/32" = 1'-0"

Sheet Title:
FLOOR PLANS

Sheet Number:
A1.1



2 ROOF PLAN
3/32" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:
KEYAUTO
CDR+J

401 N Main St,
Rochester, NH
03867

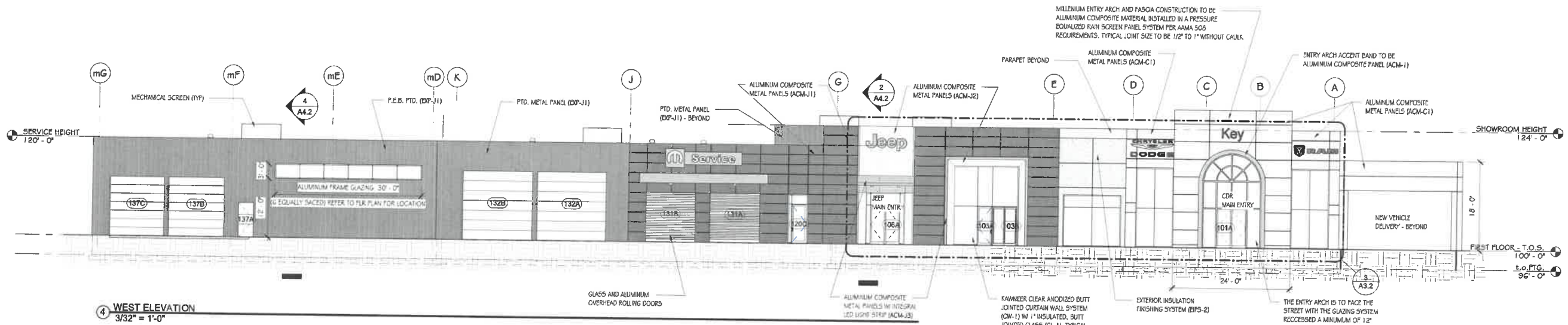
Sheet Status:
Last Release:
Issued For: FOR CBRE
Org. Issue Date: APPROVAL 9/2021
JOB NO: 21004
DRAFTED: SMP
CHECKED: JMT

SCALE: 3/32" = 1'-0"

Sheet Title:
ROOF PLAN

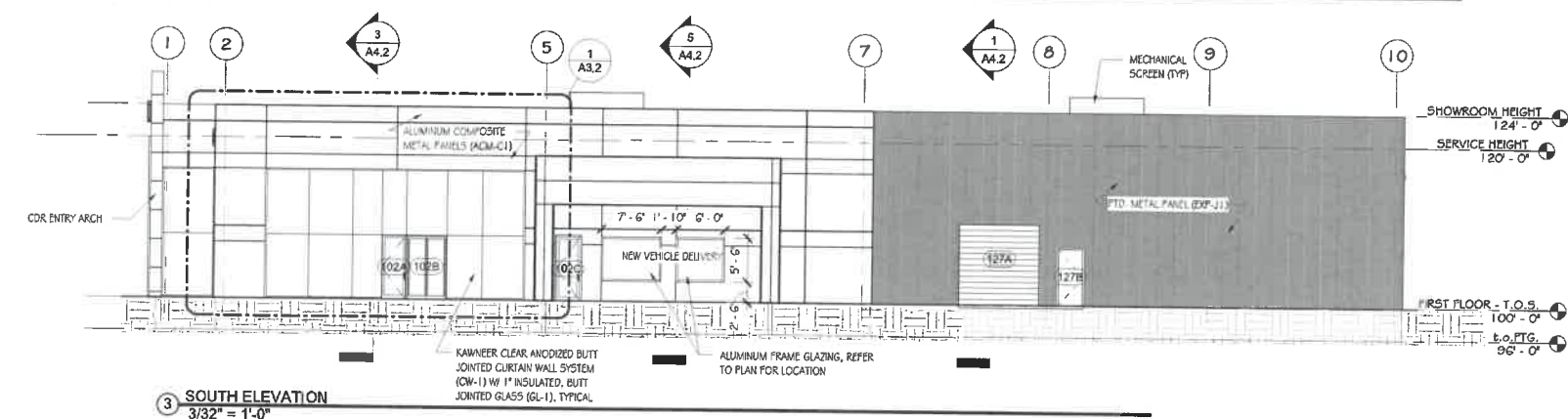
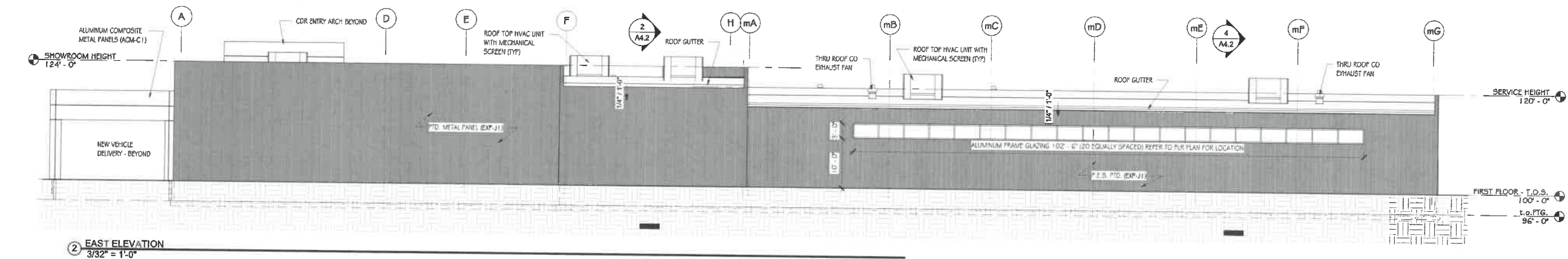
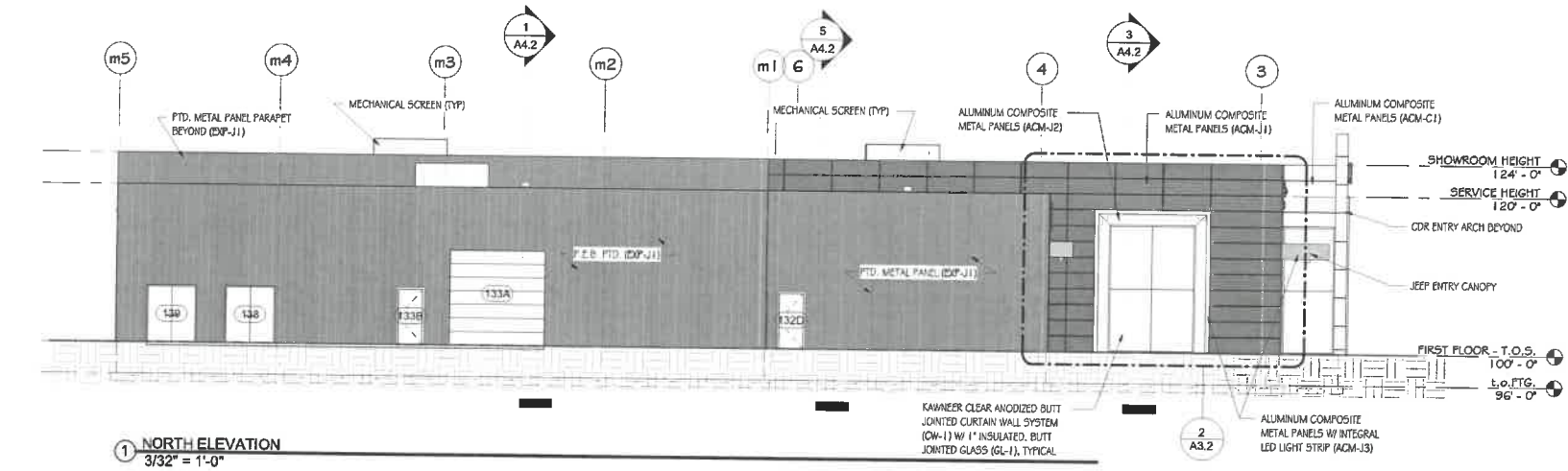
Sheet Number:

A1.2



CODE	BRAND	MATERIAL	MANUFACTURER/SUPPLIER	PATTERN	COLOR/FINISH	TYPE/SIZE	REMARKS
ACM-C1	CDR	ALUMINUM COMPOSITE METAL	ALPOLIC	STACK BOND	SILVER METALLIC (MTC BSK SILVER)		FIELD FACADE
ACM-C2	CDR	ALUMINUM COMPOSITE METAL	ALPOLIC	--	HIGH POLISHED ALUMINUM (DM HPA SILV)		ENTRY ARCH ACCENT
ACM-J1	JECP	ALUMINUM COMPOSITE METAL	ALPOLIC	STACK BOND	MICA MRO ANTHRACITE GREY (4MM)	23" X 72" FINISH FACE	FIELD FACADE
ACM-J2	JECP	ALUMINUM COMPOSITE METAL	ALPOLIC	STACK BOND	HARVEST TRAIL BAMBOO (HMM GCF)	8" X 48" FINISH FACE	ACCENT FACADE
ACM-J3	JECP	ALUMINUM COMPOSITE METAL	ALPOLIC	--	HIGH POLISHED ALUMINUM (DM HPA)	DM HPA (3MM)	TRIM
ACM-4	CDR/JECP	BRAKE METAL	ALPOLIC	--	COLOR TO MATCH ADJACENT ACM	.032" THICK	BRAKE METAL PARAPET CAP
CW-1	CDR/JECP	CURTAIN WALL FRAMING	KAWNEER	--	CLEAR ANODIZED, BUTT JOINTED		
EFS-2	JECP	EFS	STO CORP	--	TO MATCH ACM-J1 (ANTHRACITE)		
EXP-J1	JECP	EXTERIOR PAINT	SHERWIN WILLIAMS	--	7067 CITYSCAPE, SATIN	SATIN	EXTERIOR FIELD PAINT
GL-1	CDR/JECP	GLASS	VITRO	--	1" INSULATED, BUTT-JOINTED VITRO SOLARBAN LOW E ON AGITY		

NOTE:
ALL OF THE DEALERSHIPS ACM PANEL SYSTEM WILL BE INSTALLED BY FCA APPROVED VENDOR. CONTRACTOR TO PROVIDE 3/4" EXT WALL SHEATHING, STOREFRONT IN PLACE, PRIMARY BUILDING SEAL AT WINDOWS, WATERPROOFING, STEEL SUPPORT FOR ENTRANCE AND SERVICE CANOPIES, ROOF MEMBRANE WRAPPED OVER PARAPET INTO SHEATHING, & ELECTRICAL WHIPS FOR LIGHTING



No. Description Date
Revision Schedule

Project Info:
KEYAUTO
CDR+J

401 N Main St,
Rochester, NH
03867

Sheet Status:
Label Release:
Issued For: FOR CBRE
Org. Issue Date: APPROVAL/9/2021
JOB NO: 21004
DRAFTED: SMP
CHECKED: JMT
SCALE: 3/32" = 1'-0"

Sheet Title:
EXTERIOR
ELEVATIONS &
SCHEDULE

Sheet Number:
A3.1

Printed on: 11/19/2021

FOR CBRE APPROVAL
11/19/2021

ABUTTERS WEST OF SPAULDING TURNPIKE

221-153
HOWARD MOPHERSON
23 TEN ROD RD
ROCHESTER, NH 03867-4243
S.C.R.D. BK. 1705, PG. 325

221-152
TRUE MEMORIAL BAPTIST CHURCH
PO BOX 1001
ROCHESTER, NH 03866-1001

221-151
TEN PINES AT TEN ROD ROAD CONDO
C/O EVERGREEN MANAGEMENT
PO BOX 4579 DEPT 365
HOUSTON, TX 77210-4579
S.C.R.D. BK. 2992, PG. 672

221-169
STATE OF NEW HAMPSHIRE
STATE BUREAU OF TURNPIKE
PO BOX 2950
CONCORD, NH 03302-2950
S.C.R.D. 687-175

114-001
R E L COMMONS, LLC
1 CATE ST SUITE 520
PORTSMOUTH, NH 03801
S.C.R.D. BK. 3152, PG. 596

114-008
ALL PURPOSE STORAGE ROCHESTER LLC
4007 DEAN MARTIN DR
LAS VEGAS, NV 89103
S.C.R.D. BK. 4953, PG. 155

114-007
401 NORTH MAIN STREET LLC
549 US HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801
S.C.R.D. BK. 4789, PG. 945

114-008
401 NORTH MAIN STREET LLC
549 US HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801
S.C.R.D. BK. 4789, PG. 943

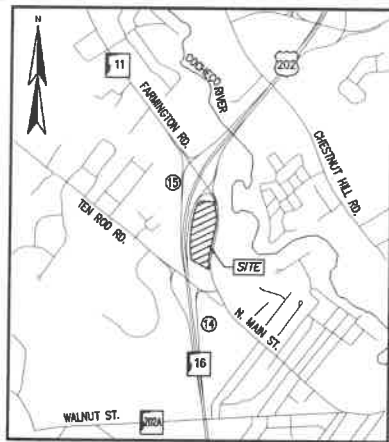
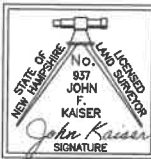
PURSUANT TO RSA 876:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000."

John Kaiser L.L.S. #937
4/28/22 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



LOCATION MAP (n.t.s.)

LEGEND

- LOT LINE
- APPROXIMATE LOT LINE
- EASEMENT LINE
- APPROXIMATE ABUTTERS LOT LINE
- WIRE FENCE
- CHAIN LINK FENCE
- OVERHEAD WIRE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- DRAIN LINE PER REF. PLAN 5
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE LINE
- SHRUB LINE
- EDGE OF WETLAND
- APPROXIMATE WATER LINE
- SITE SPECIFIC SOIL DELINEATION LINE PROVIDED BY TFM
- SITE SPECIFIC SOILS TYPE
- CONCRETE
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- GUY POLE
- LIGHT POLE (ONE ARM)
- SIGN
- SIGN (TWO POSTS)
- BOUND FOUND
- IRON PIPE/ROD FOUND
- FIRE HYDRANT
- WATER GATE VALVE
- GAS GATE VALVE
- CATCH BASIN
- DRAIN MANHOLE
- WATER MANHOLE
- SEWER MANHOLE
- WETLAND AREA
- DECIDUOUS TREE
- CONIFEROUS TREE
- MONITORING WELL
- DRAINAGE FLOW DIRECTION ARROW
- TYPICAL
- CONCRETE
- NH HIGHWAY BOUND FOUND
- D.H. HOLE
- EDGE OF PAVEMENT
- VCC
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS BERM
- SYL
- SINGLE WHITE LINE
- SYL
- SINGLE YELLOW LINE
- DYL
- DOUBLE YELLOW LINE
- DSYL
- DASHED SINGLE YELLOW LINE
- DSYL
- DASHED SINGLE WHITE LINE

EXISTING CONDITIONS PLAN

FOR
TFMORAN, INC.

OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
5	4/28/22	ADD SITE SPECIFIC SOILS	J.F.K.
4	1/13/22	UPDATE BOUNDARY & ABUTTERS	J.F.K.
3	12/3/19	EDIT WETLAND NOTE #7	J.F.K.
2	11/18/19	ADD SMH 1050 & 1056 DATA	J.F.K.
1	06/27/19	ADD PARCEL LABELS	M.T.L.

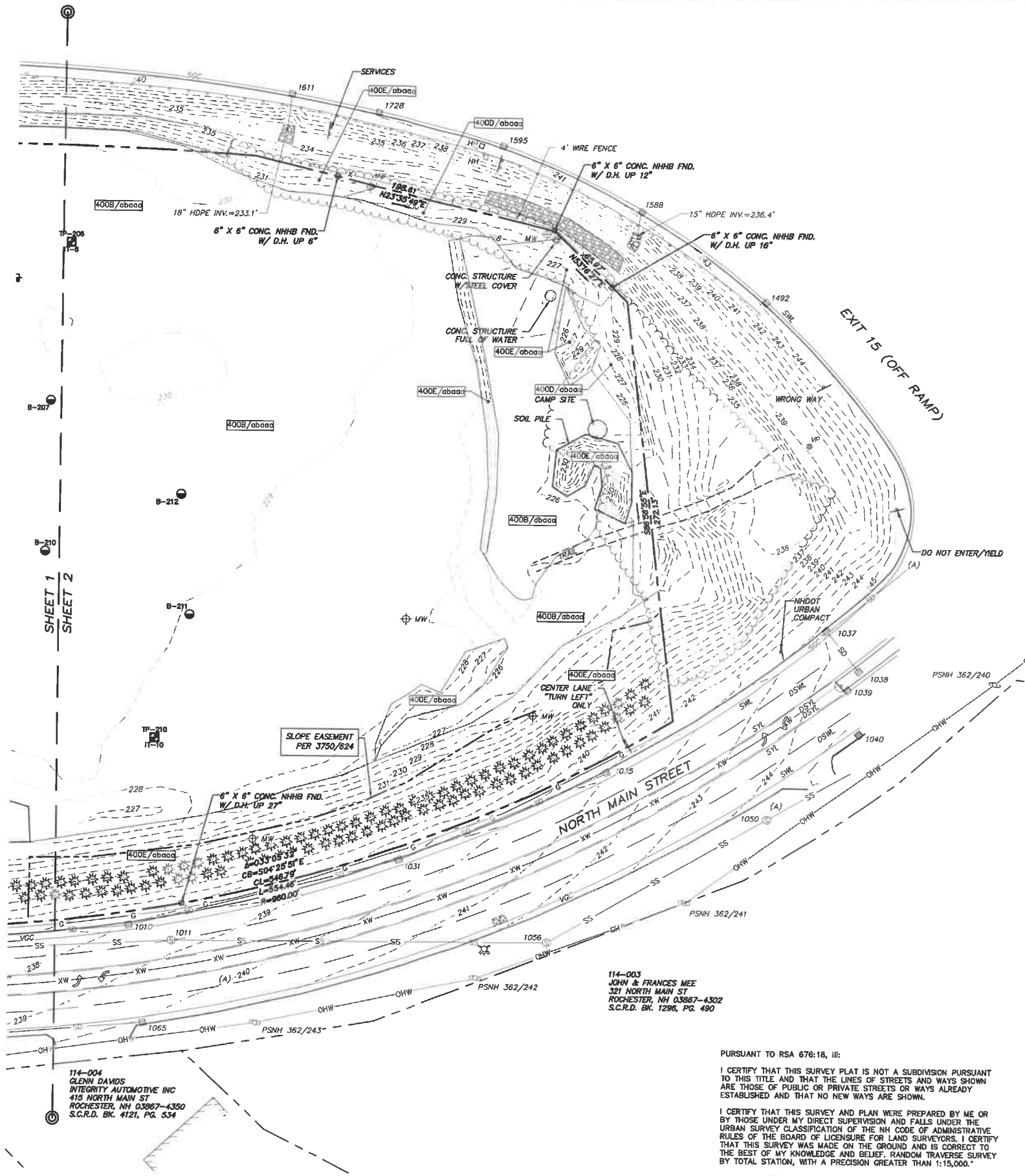
DRAWN BY:	M.T.L.	DATE:	MARCH 26, 2019
CHECKED BY:	J.F.K.	DRAWING NO.:	5228A
JOB NO.:	5228	SHEET	1 OF 2



Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6660
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 814-4080
10 Storers Street (Riverview Suite) Kennebunk, ME (207) 502-7005
http://www.doucetsurvey.com



DRAINAGE STRUCTURES		SEWER STRUCTURES	
CB 1007		CB 1443	
RIM ELEV.=236.7'		RIM ELEV.=230.1'	
(1010) 18" RCP INV.=230.6'		(1311) 15" RCP INV.=224.6'	
(1447) 18" RCP INV.=230.4'		(1441) 24" RCP INV.=223.4'	
		(1482) 24" HDPE INV.=223.4'	
CB 1010		CB 1447	
RIM ELEV.=238.1'		RIM ELEV.=233.7'	
(1031) 18" RCP INV.=232.3'		(1007) 18" RCP INV.=228.4'	
(1007) 18" RCP INV.=232.1'		(1439) 24" RCP INV.=228.4'	
CB 1020		CB 1457	
RIM ELEV.=238.6'		RIM ELEV.=233.4'	
(1065) 15" RCP INV.=233'		(1024) 15" RCP INV.=227.3'	
(1024) 15" RCP INV.=233.6'		(30041) 15" RCP INV.=227.1'	
CB 1024		DMH 1461	
RIM ELEV.=236'		RIM ELEV.=227.8'	
(1457) 15" RCP INV.=230.7'		(A) 15" HDPE INV.=222.8'	
(1020) 15" RCP INV.=231'		(OUTFALL) 24" HDPE INV.=222.7'	
CB 1031		CB 1482	
RIM ELEV.=239.5'		RIM ELEV.=227.5'	
(1035) 15" RCP INV.=234.2'		(1443) 24" HDPE INV.=223.3'	
(1010) 15" RCP INV.=233.7'		(1463) 24" HDPE INV.=223.2'	
CB 1035		DMH 1463	
RIM ELEV.=241.3'		RIM ELEV.=228.3'	
(1031) 15" RCP INV.=235.3'		(1461) 24" HDPE INV.=223.8'	
CB 1037		DMH 1465	
RIM ELEV.=244.1'		RIM ELEV.=231'	
(1038) 15" RCP INV.=238.4'		(A) 30" RCP INV.=221.8'	
(A) 15" RCP INV.=238.2'		(1468) 30" RCP INV.=221.6'	
CB 1065		DMH 1468	
RIM ELEV.=240.1'		RIM ELEV.=230.2'	
(1020) 15" RCP INV.=234.5'		(1465) 30" RCP INV.=222.4'	
CB 1311		(OUTFALL) 30" HDPE INV.=222.4'	
RIM ELEV.=230.3'		CB 30041	
(1443) 15" RCP INV.=225.1'		RIM ELEV.=229.2'	
CB 1439		(1457) 15" RCP INV.=224.1'	
RIM ELEV.=232.1'			
(1447) 24" RCP INV.=228.5'			
(1441) 24" RCP INV.=228.2'			
CB 1441			
RIM ELEV.=230.8'			
(1439) 24" RCP INV.=228.7'			
(1443) 24" RCP INV.=228.5'			
SMH 1011			
RIM ELEV.=236.9'			
(1056) 13" PVC INV.=232.0'			
(1468) 13" PVC INV.=231.8'			
SMH 1312			
RIM ELEV.=230.4'			
(1442) 18" PVC INV.=224.1'			
(1315) 18" PVC INV.=224'			
SMH 1315			
RIM ELEV.=231'			
(A) 4" PVC INV.=223.9'			
(1312) 18" PVC INV.=223.6'			
(B) 18" PVC INV.=223.5'			
SMH 1440			
RIM ELEV.=231'			
(A) 4" PVC INV.=225.8'			
(B) 10" DIP INV.=225.3'			
(1449) 18" PVC INV.=224.8'			
(1442) 18" PVC INV.=224.7'			
SMH 1442			
RIM ELEV.=230'			
(A) 4" PVC INV.=225.2'			
(B) 4" PVC INV.=225.2'			
(1440) 18" PVC INV.=224.2'			
(1312) 18" PVC INV.=224.2'			
SMH 1449			
RIM ELEV.=234.1'			
(1440) 18" PVC INV.=225.2'			
(A) 10" DIP INV.=225.2'			
(B) 8" DIP INV.=225.1'			
(1466) 15" PVC INV.=225.1'			
SMH 1466			
RIM ELEV.=236.2'			
(A) 13" PVC INV.=230.1'			
(1011) 13" PVC INV.=227.8'			
(1448) 15" PVC INV.=227.8'			
SMH 1050			
RIM ELEV.=244.3'			
(A) 13" PVC INV.=235.7'			
(1056) 13" PVC INV.=234.7'			
SMH 1056			
RIM ELEV.=242.4'			
(1050) 13" PVC INV.=234.05'			
(1011) 13" PVC INV.=234.0'			



- NOTES:
- REFERENCE: TAX MAP 114, LOT 002
 - TOTAL PARCEL AREA: 13.34 AC. OR 581,110 SQ. FT.
 - OWNER OF RECORD: 400 NORTH MAIN STREET, LLC
549 ROUTE 1 BYPASS
PORTSMOUTH, NH 03801
S.C.R.D. BK 4081, PG 957 & BK 4748, PG 883
 - ZONE: HIGHWAY COMMERCIAL
DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA 20,000 sq.ft.
MIN. LOT AREA/DWELLING UNIT 5,000 sq.ft./7,500 sq.ft.
MIN. FRONTAGE 100 ft.
MIN. FRONT SETBACK 20 ft.
MIN. SIDE SETBACK 10 ft.
MIN. REAR SETBACK 25 ft.
MAX. LOT COVERAGE 85 %
MAX. BUILDING STORIES 3
WETLAND BUFFER 50 ft.
- ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF ROCHESTER ZONING ORDINANCE DATED 02/02/17 AS AVAILABLE ON THE CITY WEBSITE ON 01/08/18. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING DECEMBER 2017 & MARCH 2019 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - ADDITIONAL FIELD SURVEY PERFORMED BY L.P.S. ON DECEMBER 10, 2017 USING A DJI PHANTOM PRO UAV WITH AN AVERAGE GROUND SAMPLING DISTANCE OF 1.04 CM/0.41 IN. DATA WAS PROCESSED USING PIX4D SOFTWARE.
 - THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON 9/7/17 IN ACCORDANCE WITH:
a. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT EROD/EL TR-12-1, JANUARY 2012, VERSION 2.0
b. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 8.0, UNITED STATES DEPARTMENT OF AGRICULTURE (2016).
c. NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.

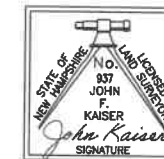
- FLOOD HAZARD ZONE: "X" & "AE", PER FIRM MAP 33017C0203D, DATED 5/17/05.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK, CONSISTENT WITH CITY OF ROCHESTER GIS DATUM.
- VERTICAL DATUM IS BASED ON NHDOT DISK H 52 1978 NAVD88 ELEVATION = 231.79'.
- PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENTS OF THE ROADS AS DEPICTED HEREON ARE BASED ON RESEARCH CONDUCTED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AND NH DEPARTMENT OF TRANSPORTATION.
- ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

- REFERENCE PLANS:
- "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, NH PROJECT NO. 10820-D SPAULDING TURNPIKE NH ROUTE 16," DATED JANUARY 11, 2011.
 - STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED LS 1827(1) NH NO. P-2692-V," DATED FEBRUARY 28, 1985.
 - "ALTA/ACSM LAND TITLE SURVEY, TAX MAP 114 LOT 1, PROPERTY OF REL COMMONS, LLC, 306 NORTH MAIN STREET, ROCHESTER, NEW HAMPSHIRE, COUNTY OF STRAFFORD" DATED FEBRUARY 12, 2015 BY MSC NOT RECORDED.
 - "PLAN OF LAND OF FIRST DEVELOPMENT CORPORATION GLOBE DEPARTMENT STORES ROUTE 11 ROCHESTER, NH" DATED NOV. 27, 1990 BY BERRY SURVEYING & ENGINEERING S.C.R.D. PLAN 38A-41.
 - 400 NORTH MAIN STREET DIGITAL CAD FILE FURNISHED BY NORWAY PLAINS ASSOCIATES.
 - "PLAN OF LAND 400 NORTH MAIN STREET, LLC OF TAX MAP 114, LOT 2, 400 NORTH MAIN STREET, ROCHESTER, NEW HAMPSHIRE" DATED JANUARY 31, 2020 BY DOUCET SURVEY, LLC. S.C.R.D. PLAN 12070.

EXISTING CONDITIONS PLAN
FOR
TFMORAN, INC.
OF
TAX MAP 114 LOT 2
400 NORTH MAIN STREET
ROCHESTER, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY
5	4/28/22	ADD SITE SPECIFIC SOILS	J.F.K.
4	1/13/22	UPDATE BOUNDARY & ABUTTERS	J.F.K.
3	12/3/19	EDIT WETLAND NOTE #7	J.F.K.
2	11/18/19	ADD SMH 1050 & 1056 DATA	J.F.K.
1	06/27/19	ADD PARCEL LABELS	M.T.L.

DRAWN BY: M.T.L.	DATE: MARCH 26, 2019
CHECKED BY: J.F.K.	DRAWING NO.: 5228A
JOB NO.: 5228	SHEET 2 OF 2



PURSUANT TO RSA 676:18, III:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000."

John Kaiser L.L.S. #937
4/28/22 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



1 Site Lighting Plan SCALE: 1"=50'-0"

Symbol	Label	Qty	Part Number	Arrangement	LLF	Fixture Wattage	Fixture Lumens
PM-T4L_HS	PM-T4L_HS	29	Visionaire # VSX-II-T4L-15L-4K-UNV-AM-TBD-HS / SNTS-4S-11-20'-9BC-343-S1-TBD	Single	0.900	102	4640
PM-T4L_HS_90	PM-T4L_HS_90	1	Visionaire # (2) VSX-II-T4L-15L-4K-UNV-AM-TBD-HS / SNTS-4S-11-20'-9BC-343-D9-TBD	2 @ 90 degrees	0.900	102	4640
PM-TSSR_D	PM-TSSR_D	16	Visionaire # (2) VSX-II-TSSR-15L-4K-UNV-AM-TBD / SNTS-4S-11-20'-9BC-343-D2-TBD	Back-Back	0.900	102	15441
PM-TSSR_Q	PM-TSSR_Q	1	Visionaire # (4) VSX-II-TSSR-15L-4K-UNV-AM-TBD / SNTS-4S-11-20'-9BC-343-QD-TBD	4 @ 90 Degrees	0.900	102	15441
PM-TSSR_S	PM-TSSR_S	9	Visionaire # VSX-II-TSSR-15L-4K-UNV-AM-TBD / SNTS-4S-11-20'-9BC-343-S1-TBD	Single	0.900	102	15441
WM-T3	WM-T3	25	Visionaire # VSC-1-T3-16LC-3-4K-UNV-WM-TBD	Single	0.900	18	2355

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.01	0.4	0.0	N.A.	N.A.
Site Points	Illuminance	Fc	1.39	10.8	0.0	N.A.	N.A.

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.3
	0.5
	0.7
	0.9
	1.1
	1.3

NOTES:

- A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
- SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
- CALCULATION POINTS ARE TAKEN AT GRADE.
- CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

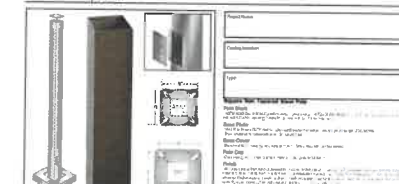
DATE	REVISIONS	DESCRIPTION	DATE
May 19, 2022	1	PROJECT NUMBER: 22075	
	2	DRAWN BY: AD	
	3	CHECKED BY: JTD	
	4	APPROVED BY: WC	
	5	SCALE: AS NOTED	
	6		
	7		

VSX-II Array LED Specifications



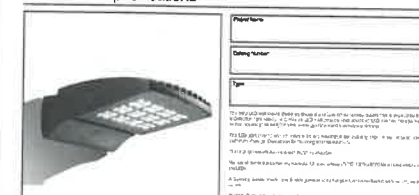
MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VSX-II	21°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	35°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	45°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	60°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	75°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	90°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	110°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	135°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	180°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4

SNTS Specifications



MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
SNTS	21°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	35°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	45°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	60°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	75°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	90°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	110°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	135°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	180°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4

VSC LED Specifications



MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	OPTIONS
VSC-1	21°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	35°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	45°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	60°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	75°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	90°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	110°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	135°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4
	180°	15L	4000K	120V	ASB	BLACK	PCB-100	SSC-8	CPM-4

2 Specifications