



**Regular City Council Meeting
December 4, 2018
Council Chambers
7:00 PM**

Agenda

- 1. Call to Order**
- 2. Opening Prayer**
 - 2.1 Rochester Veterans Council**
- 3. Presentation of the Colors**
 - 3.1. Pledge of Allegiance - *Rochester Veterans Council***
- 4. Roll Call**
- 5. Acceptance of Minutes**
 - 5.1 Regular City Council Meeting: November 13, 2018
consideration for approval P. 5**
- 6. Communications from the City Manager**
 - 6.1 Employee of the Month Award P. 31**
 - 6.2 City Manager's Report P. 33**
- 7. Communications from the Mayor**
- 8. Presentation of Petitions and Council Correspondence**
- 9. Nominations, Appointments, Resignations, and Elections**
- 10. Reports of Committees**
 - 10.1. CTE Joint Building Committee P. 45**
 - 10.2. Public Safety P. 55**
 - 10.2.1 *Committee Recommendation:* To stripe for "no parking" to the next intersection in front of 36 Washington Street at the discretion of**

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City Clerk's Office

Public Works *consideration for approval* P. 56

- 10.2.2 Committee Recommendation:** To place a sidewalk on the south side of Chesley Hill Road across the street *consideration for approval* P. 58

10.3. Public Works

- 10.3.1. Committee Recommendation:** Petition for Street Acceptance for Miller's Farm Road *motion to accept* P. 65
- 10.3.2. Committee Recommendation:** Petition for Street Acceptance for Smoke Street and Laredo Lane *motion to accept* P. 97
- 10.3.3. Committee Recommendation:** Resolution Authorizing the Department of Public Works (DPW) to Accept a New Hampshire Department of Environmental Services (NHDES) Brownfields Cleanup Grant for 10 & 16 Wallace Street in the Amount of up to \$200,000 *first reading, consideration for second reading and adoption* P. 105

10.4. Tri-City Mayors' Task Force on Homelessness P. 111

11. Old Business

12. Consent Calendar

- 12.1. Resolution Deauthorizing \$3,150.00 for Project 17501 to be returned to the General Fund *first reading, consideration for second reading and adoption* P. 119**

13. New Business

14. Non-Meeting/Non-Public Session

14.1 Non-Public, RSA 91-A:3, II, Land

15. Other

16. Adjournment

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Regular City Council Meeting
November 13, 2018

**Regular City Council Meeting
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Council Chambers
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COUNCILORS PRESENT

Councilor Abbott
Councilor Bogan
Councilor Gates
Councilor Gray
Councilor Hamann
Councilor Hutchinson
Councilor Keans
Councilor Lachapelle
Councilor Lauterborn
Councilor Torr
Councilor Varney
Councilor Walker
Mayor McCarley

OTHERS PRESENT

Blaine Cox, City Manager
City Attorney Terence O'Rourke
Sarah Ward, Recreation and Arena
Department

Agenda

1. Call to Order

Mayor McCarley called the Regular City Council meeting to order at 7:00 PM.

2. Opening Prayer

2.1 Rochester Veterans Council

In the absence of the Rochester Veterans Council attending the meeting; Mayor McCarley called for a moment of silence.

3. Presentation of the Colors

3.1. Rochester Veterans Council

3.2. Proclamation: Veterans Day

In the absence of the Rochester Veterans Council attending the meeting; Mayor McCarley led the Pledge of Allegiance. *The Veterans Day Proclamation shall be given to the Rochester Veterans Council at their next scheduled*

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

meeting in November.

4. Roll Call

Kelly Walters, City Clerk, called the roll. All City Council members were present.

5. Acceptance of Minutes

5.1 Regular City Council Meeting: October 2, 2018 ***consideration for approval***

Councilor Lachapelle **MOVED** to **ACCEPT** the Regular City Council meeting minutes of October 2, 2018. Councilor Walker seconded the motion. Councilor Lauterborn **MOVED** to **AMEND** the minutes (Page 8) to reflect that the motion to approve a new Department of Public Works Facility at 209 Chestnut Hill Road passed by a "majority" voice vote and not by a "unanimous" voice vote as indicated in the meeting minutes. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley called for a vote on the motion as amended. The **MOTION CARRIED** by a unanimous voice vote.

5.2 Special City Council Meeting: October 16, 2018 ***consideration for approval***

Councilor Lachapelle **MOVED** to **ACCEPT** the Special City Council meeting minutes of October 16, 2018. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

6. Communications from the City Manager

6.1 Employee of the Month Award

Blaine Cox, City Manager, invited Lauren Krans and Sarah Ward, Recreation and Arena Department to come forward. City Manager Cox read the nomination letter of Sarah Ward. He announced that Ms. Ward has been selected as the Employee of the Month for November, 2018.

6.2 City Manager's Report

City Manager Cox reported that the report is as follows:

Contracts and Documents:

- **Building, Zoning & Licensing Services**
 - **Lien Agreement Release – Cain Developers**
- **City Manager**
 - **JAG Grant Funds Application permission - \$26,851**
 - **Leightronix Subscription Renewal for Video on Demand**
- **Department of Public Works**
 - **127 Milton Road – sewer connection – homeowner agreement**
 - **Annual EPA DBE Reporting WTP Low Lift Pump Project**
 - **CWSRF Asset Management Project # CS-330122-13 – Modification #1 – Completion Date Extension 2/2/2019**
 - **Dept. of Interior USGS Joint Funding Agreement Amendment**
 - **DPW Facility Engineering Contract – Weston & Sampson – Preliminary Engineering, Design & Construction Oversight**
 - **Drainage Easement – 9 Yvonne Street**
 - **Franklin Street Area Reconstruction Project – Brown & Caldwell – Amendment #3 - \$31,040**
 - **Household Hazardous Waste Day**
 - **Household Hazardous Waste Grant Agreement**
 - **2017 NH Small Municipal Separate Storm Sewer System (MS4) General Permit – Notice of Intent**
 - **Professional Services – Doucet Engineering - Western Avenue drainage easements**
 - **CWSRF Loan /Grant # CS-330122-13 Disbursement #4 Sewer and Drainage Asset Management Project Disbursement Amount \$600**
- **Economic & Community Development**
 - **CDBG Environmental Review – Tri-City Coop Door Replacement**
 - **CDBG Environmental Review – Cap Weatherization Program – multiple projects**
 - **Expansion of the Cochecho Economic Revitalization Zone**
- **Fire**
 - **Toyne Fire Apparatus Purchase Agreement**
- **Legal Department**
 - **Amendment to Highfields PUD Water Infrastructure Reimbursement & Use Agreement**
- **Planning**
 - **Strafford Regional Planning Commission Services**

Agreement Contract**Other:**

- **Computer Leases**
 - **Brinkman, M - PD**
 - **Mundy, M – PD**

Standard Reports:

- **City Council Request & Inquiry Report - none**
- **Monthly Overnight Travel Summary**
- **Permission & Permits Issued**
- **Personnel Action Report Summary**

Councilor Keans asked which land development is being discussed on page 39 of the City Council packet. City Attorney O'Rourke explained that there is a development off Old Dover Road with unpaid water fees. City Manager Cox explained that because of the unpaid water fees, each time the developer is issued a Certificate of Occupancy for these lots, the developer pays a portion of that money which is then applied to the lien agreement.

7. Communications from the Mayor**7.1. Proclamation: Small Business Saturday**

November 24, 2018 has been proclaimed "Small Business Saturday" in the City of Rochester, New Hampshire.

8. Presentation of Petitions and Council Correspondence**8.1. Petition for Street Acceptance: Miller's Farm Road**

Mayor McCarley said this petition shall be sent to the Public Works Committee. No action is required by the City Council at this time.

8.2. Petition for Street Acceptance: Smoke Street

Mayor McCarley said this petition shall be sent to the Public Works Committee. No action is required by the City Council at this time.

9. Nominations, Appointments, Resignations, and Elections

No discussion.

10. Reports of Committees**10.1. Appointments Committee****10.1.1 Appointment: Bruce Jolin – Library Trustee
Ward 6, Term to Expire 1/2/2022**

Councilor Keans reviewed the Committee's recommendation to appoint Bruce Jolin as the Ward 6 Library Trustee. Mayor McCarley nominated Bruce Jolin to serve as the Library Trustee for Ward 6, with a term to expire on January 2, 2022. Councilor Lachapelle seconded the nomination. Councilor Walker **MOVED** that nominations cease and the City Clerk cast one ballot for Bruce Jolin. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

10.2. Codes & Ordinances Committee**10.2.1 Committee Action: Amendment to Chapter 42.12
Conservation Overlay District *first reading, and
refer to Legal Department and a Public Hearing***

Councilor Lachapelle said there is one action from the November 1, 2018 Codes and Ordinances Committee meeting. He said there is no need to send this Amendment of the General Ordinances to a Public Hearing at this time. He **MOVED** to read the Amendment to Chapter 42.12 by title only and to send this Amendment to the Legal Department as well as the Planning Board. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for the first time and referred the matter to the Legal Department and to the Planning Board.

Councilor Keans inquired about an informational packet which had been distributed by Representative Beaudoin at the last Codes and Ordinances Committee meeting. Councilor Lachapelle replied that the packet being referred to was a memorandum pursuant to HB 1254; Chapter 294:1, Laws of 2018, final report of the Committee to study Procedures for Adoption of National Codes by the State of New Hampshire. Councilor Lachapelle agreed to ensure this packet is sent out to the entire City Council prior to the next City Council Workshop.

10.3. Community Development Committee**10.3.1 Information Only: CDBG Annual Action Plan FY**

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

**2019-2020 *Public Hearing to be held on
December 18, 2018***

Councilor Lauterborn said that the CDBG Annual Action Plan for FY 19-20 shall be sent to a Public Hearing to be held on December 18, 2018 prior to the City Council Workshop.

Councilor Lauterborn said that Ms. Perron, Bridging the Gaps Coordinator, attended the Committee meeting to give an overview of the Substance Abuse and Mental Health Services Administration (SAMHSA) Drug Free Communities Grant. This grant has been in place for the last 10 years in Rochester. Now that the funding for this program is ending, it is important to find other funding if the City Council wishes for the program to continue.

Councilor Lauterborn said that Ms. Perron requested a one-year extension from SAMHSA in order to continue the funding for this Program. That request was denied; however, a six-month extension was granted from to pay for the salary and benefits. Additionally, \$9,000 has been provided to pay for other expenses. Councilor Lauterborn said the City Council must make a decision soon whether or not to keep this program funded. It has been suggested that the City pay for Ms. Perron's salary and benefits and that a Fundraising Account be established in order to raise funds to keep the program running efficiently.

Councilor Lauterborn said currently this program is based out of the Police Department; however, if the City decides to pay for the salaries and benefits for the coordinator, the Recreation and Arena Department may be a better fit for this program. She requested that the City Manager reach out to the Police Department and the Recreation and Arena Department for further discussions. Councilor Lauterborn gave details of the cost involved and added that funding for this program ends on March 31, 2018.

Councilor Varney requested that Ms. Perron attend a City Council meeting in the near future to give an overview of the activities that have been provided and what activities are being planned moving forward. City Manager Cox agreed to contact the Police Chief and to set up a time for the coordinator to attend a Council meeting.

Councilor Gray reminded the City Council that a discussion had taken place about the possibility of the Bridging the Gaps program establishing a partnership with a non-profit organization. He requested that the City Manager check into that possibility.

10.4. CTE Joint Building Committee

Councilor Varney reviewed the Committee report and said the project is still on-time and under budget. It is important for the Council members assigned to the Committee to attend the meeting in order to have a quorum.

10.5. Finance Committee

10.5.1 Committee Recommendation: Resolution for Supplemental Appropriation and Authorizing Borrowing Authority Pursuant to RSA 33:9 to the Department of Public Works (DPW) Capital Improvements Plan (CIP) Fund for Granite Ridge Phase II in an amount not to exceed \$2,430,000.00 *first reading and send to public hearing*

Councilor Lachapelle **MOVED** to read the resolution for a first time by title only and to refer the matter to a Public Hearing. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution as follows:

Resolution for Supplemental Appropriation and Authorizing Borrowing Authority Pursuant to RSA 33:9 to the Department of Public Works (DPW) Capital Improvements Plan (CIP) Fund for Granite Ridge Phase II in an amount not to exceed \$2,430,000.00

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER, AS FOLLOWS:

That the Mayor and City Council of the City of Rochester hereby appropriate an amount not to exceed Two Million Four Hundred Thirty Thousand Dollars (\$2,430,000.00) for the purpose of building the public infrastructure associated with Granite Ridge Phase II and further;

In accordance with the provisions of RSA 33:9, the City Treasurer, with the approval of the City Manager, be, and hereby are authorized to borrow the sum of Two Million Four Hundred Thirty Thousand Dollars (\$2,430,000.00) through the issuance of bonds and/or notes, and/or through other legal form(s), such borrowing to be on such terms and conditions as the said Treasurer and City Manager may deem to be in the best interest of the City of Rochester. Such borrowing is authorized subject to compliance with the provisions of RSA 33:9 and Section 45 of the Rochester City Charter to the extent required, necessary and/or appropriate

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to designate and/or establish such accounts and/or account numbers as necessary to implement the transactions contemplated by this Resolution.

This resolution has been referred to a Public Hearing (*December 18, 2018, City Council Workshop*).

10.5.2 Committee Recommendation: Resolution for Supplemental Appropriation and Authorizing Borrowing Authority Pursuant to RSA 33:9 to the Granite State Business Park (GSBP) Tax Increment Financing (TIF) District Capital Improvements Plan (CIP) Fund for the Water Main Extension Project in an amount not to exceed \$1,400,000.00 *first reading and send to public hearing*

Councilor Lachapelle **MOVED** to read the resolution for a first time by title only and to refer the matter to a Public Hearing. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution as follows:

Resolution for Supplemental Appropriation and Authorizing Borrowing Authority Pursuant to RSA 33:9 to the Granite State Business Park (GSPB) Tax Increment Financing (TIF) District Capital Improvements Plan (CIP) Fund for the Water Main Extension Project in an amount not to exceed \$1,400,000.00

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER, AS FOLLOWS:

That the Mayor and City Council of the City of Rochester hereby appropriate an amount not to exceed One Million Four Hundred Thousand Dollars (\$1,400,000.00) for the purpose of paying the costs associated with the GSBP Water Line Extension Project.

In accordance with the provisions of RSA 33:9, the City Treasurer, with the approval of the City Manager, be, and hereby are authorized to borrow the sum of Eight Hundred Thousand Dollars (\$800,000.00) through the issuance of bonds and/or notes, and/or through other legal form(s), such borrowing to be on such terms and conditions as the said Treasurer and City Manager may deem to be in the best interest of the City of Rochester. Such borrowing is

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

authorized subject to compliance with the provisions of RSA 33:9 and Section 45 of the Rochester City Charter to the extent required, necessary and/or appropriate.

Further, that the funds for this appropriation shall be derived as follows: Eight Hundred Thousand Dollars (\$800,000.00) from the GSBP TIF District bond issuance and Six Hundred Thousand Dollars (\$600,000.00) from the General Fund Unassigned Fund Balance.

Still Further, that the General Fund shall be reimbursed from any sales of City owned properties in the GSBP TIF District in an amount up to Six Hundred Thousand Dollars (\$600,000.00).

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to designate and/or establish such accounts and/or account numbers as necessary to implement the transactions contemplated by this Resolution.

This resolution has been referred to a Public Hearing (*December 18, 2018, City Council Workshop*).

10.6 Public Safety

10.6.1 Committee Recommendation: Install speed limit signs on Norway Plains Road and in the Miller's Farm Road/Rangeway Drive neighborhood *motion to deny*

Councilor Walker **MOVED** to **DENY** the request to install speed limit signs on Norway Plains Road and in the Miller's Farm Road/Rangeway Drive neighborhood. Councilor Hamann seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

10.7 Public Works

10.7.1 Resolution Authorizing a Supplemental appropriation in the amount of \$7,800 to fund the work associated with the City Hall Atrium Glass Replacement Project *first reading, consideration for second reading and adoption*

Councilor Walker **MOVED** to read the resolution by title only for a first time. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time as follows:

**Resolution Authorizing Supplemental Appropriation to the Fiscal
Year 2018-2019 Department of Public Buildings Capital
Improvements Project Fund in the Amount of \$7,800.00 for the City
Hall Atrium Glass Replacement Project**
**BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF
ROCHESTER:**

That Seven Thousand Eight Hundred Dollars (\$7,800.00) is hereby appropriated as a supplemental appropriation to the Fiscal Year 2018-2019 Department of Public Buildings Capital Improvements Project Fund to pay for costs and expenditures related to the City Hall Atrium Glass Replacement Project. The supplemental appropriation shall be derived in its entirety from the General Fund unassigned fund balance.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to establish and/or designate such multi-year, non-lapsing accounts and or account numbers as are necessary to implement the transactions contemplated in this Resolution.

Councilor Lachapelle **MOVED** to suspend the rules and read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

Councilor Lachapelle **MOVED** to **ADOPT** the resolution. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

10.7.2 Committee Recommendation: To advise Rochester Housing Authority that the City is not interested in purchasing the property at 59 Columbus Avenue *motion to approve*

Councilor Walker **MOVED** to advise the Rochester Housing Authority that the City is not interested in purchasing the property at 59 Columbus Avenue. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

10.7.3 Resolution Deauthorizing Water CIP Fund 5501 and Sewer CIP Fund 5502 Project Funding for Various Projects in the amount of \$422,018.56

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

and Deauthorization of Bond Authority *first reading, consideration for second reading and adoption*

Councilor Walker **MOVED** to read the resolution by title only for a first time. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time as follows:

Resolution Deauthorizing Water CIP Fund 5501 and Sewer CIP Fund 5502 Project Funding For Various Projects in the Amount of \$422,018.56 and Deauthorization of Bond Authority

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER:

That Four Hundred Four Thousand Two Hundred Fifty Eight and 56/100 Dollars (\$404,258.56) of previously appropriated funds is deauthorized from the Water CIP Fund 5501 and Seventeen Thousand Seven Hundred Sixty Dollars (\$17,760.00) is deauthorized from the Sewer CIP Fund for the costs associated with various completed projects consistent with Exhibit A.

Further, as part of the overall deauthorization, in accordance with RSA 33:9, the City withdraws bond authority in the amount of Four Hundred Thousand Two Hundred Twenty Eight and 31/100 Dollars (\$400,228.31).

Further, the amount of Four Thousand Thirty and 25/100 Dollars (\$4,030.25) in cash funding shall be returned to the Water Fund unassigned retained earnings and Seventeen Thousand Seven Hundred Sixty Dollars (\$17,760.00) in cash funding shall be returned to the Sewer Fund unassigned retained earnings.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to establish and/or designate such accounts and or account numbers as are necessary to implement the transactions contemplated in this Resolution.

Councilor Lachapelle **MOVED** to suspend the rules and read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

Councilor Walker **MOVED** to **ADOPT** the resolution. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

10.8 Tri-City Mayor's Task Force on Homelessness

Councilor Hutchinson said the Task Force met in mid-October. There are three corrections to the meeting minutes to be made.

Councilor Hutchinson said, with snow in the forecast, there is an urgency to completing the Master Plan for adoption, unfortunately, the Master Plan deadline has been pushed back to the January/February timeframe for adoption. He gave reasons for the delay and stated that the Task Force is scheduled to meet twice in November. Once the Master Plan is solidified a Public Hearing shall be scheduled.

Councilor Hutchinson said the Task Force has been working on two projects simultaneously:

1. Emergency Cold Weather Shelter
2. Long Term Strategies: Master Plan
 1. Seasonal Cold Weather Shelter
 2. Support Access to Public Transportation
 3. Enhance Access to Quality Healthcare, Education & Mental Health
 4. Decreasing Substance Abuse Disorder/Increase Prevention Efforts
 5. Affordable Housing Options
 6. Increasing Homeless Prevention and Developing a Rapid Re-Housing Program
 7. Evaluating Public Health and Safety Ordinances of the Tri-Cities

Councilor Hutchinson said the Salvation Army in Rochester has been identified as being an option for the extreme cold weather station (Tri-City Region). A member from the Salvation Army will be attending the November 15, 2018, TCMTF Meeting. The Salvation Army has indicated its plans to provide staffing, food, clothing, and utilities; however, they are accepting volunteers and donations.

Councilor Hutchinson said the November 15, 2018 TCMTF meeting shall be heavily focused on the strategy for affordable housing options. He said Tory Jennison, liaison to the Strafford County Commissioners, will be presenting some options to review, including what types of funding would be required.

Councilor Bogan referred to an email sent by Commissioner Stanley about utilizing the Salvation Army. Councilor Bogan said the Salvation Army cannot be the only option available. She questioned what Dover and Somersworth would be providing for the Emergency Cold Weather Station. She said the Salvation Army cannot provide for all the needs of the three cities. Councilor Hutchinson clarified that the representative of the Salvation Army reached out to the Task Force. Unfortunately, no other organizations have volunteered to provide such a service. There are no viable options at this time. Councilor Varney suggested that the Strafford County Complex be utilized. Mayor McCarley stated that the Tri-City Mayors met with the County Commissioners about 8 weeks ago to discuss this matter which is why Ms. Jennison is now getting involved. She confirmed that the County is now stepping up and being more involved in the planning with the TCMF.

Councilor Gray asked Councilor Hutchinson if the Task Force has discussed the financial obligations of the individual cities to ensure that all financial obligations are not all transferred to Rochester as the Emergency Cold Weather Shelter opens. Councilor Hutchinson replied that the Welfare Directors from each of the three cities have been attending the meetings on a regular basis. Councilor Gray asked if there is a written agreement in place to ensure the financial obligations are not transferred to Rochester. Councilor Hutchinson replied no; however, this Task Force is tasked with making recommendation and not to make decisions.

Councilor Keans questioned the notion that Dover and Somersworth have no facilities to offer. She recalled one location is the Malley Farm Fields in Somersworth. Councilor Hutchinson explained that one reason for the difficulties in finding a suitable facility is that the locations chosen must meet the requirements for the "Emergency" option. He said the directors from the local shelters have been a part of working on the Master Plan.

Councilor Hutchinson said the Task Force is working on finding out what will be the "trigger" to opening the Emergency Cold Weather Shelter whether it be the cold temperature or the duration of the cold temperature. He said the State will be providing some data and recommendations about what will trigger the opening of such a Shelter.

Councilor Keans questioned if the data collected on homelessness in Strafford County is based on Emergency situations or if it is based on the homelessness population in Strafford County year round. Councilor Hutchinson said the data is based on year round numbers; however, it is known that the number of homeless people is likely much higher. It is also known that it can be increased by as much as 10% each year. These shelters are not the solution to the problem. The major focus of this task force is not

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

to open up a shelter but rather to focus on finding a long term solution to the homelessness problem. That is why the Master Plan is so broad based. In the meantime it will be important to establish the Emergency Cold Weather Shelter.

11. Old Business

No discussion.

12. Consent Calendar

No discussion.

13. New Business

13.1 Resolution Authoring the Rochester Police Department (RPD) to accept a \$26,851.00 United States Department of Justice USDOJ Justice Assistant Grant (JAG) *first reading, consideration for second reading and adoption*

Councilor Lachapelle **MOVED** to read the resolution by title only for a first time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time.

Resolution Authorizing the Rochester Police Department (RPD) to accept a \$26,851.00 United States Department of Justice (USDOJ) Justice Assistance Grant (JAG)

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER:

That the RPD is hereby authorized to accept a Twenty Six Thousand Eight Hundred Fifty One Dollar (\$26,029.00) USDOJ JAG Grant which the Council had previously authorized the RPD to apply for. One Thousand Three Hundred Forty Two and 55/100 Dollars (\$1,342.55) of the Grant will be paid to the City of Somersworth to act as fiscal agent with USDOJ to manage the multi-municipality Grant.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to establish and/or designate such accounts and or account numbers as are necessary to implement the transactions contemplated in this Resolution.

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

Councilor Lachapelle **MOVED** to suspend the rules and to read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

Councilor Lachapelle **MOVED** to **ADOPT** the resolution. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

13.2 Resolution Authorizing Acceptance of a United States Department of Justice (USDOJ) Ballistic Vest Grant in the Amount of \$12,214.00 *first reading, consideration for second reading and adoption*

Councilor Lachapelle **MOVED** to read the resolution by title only for a first time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time.

Resolution Authorizing Acceptance of a United States Department of Justice (USDOJ) Ballistic Vest Grant in the Amount of \$12,214.00

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER:

Hereby accepts a so-called United States Department of Justice (USDOJ) Ballistic Vest Grant in the amount of Twelve Thousand Two Hundred Fourteen Dollars (\$12,214.00). The grant monies will be used to replace Thirty One (31) expired vests and vests purchased for new hires over the next Two (2) years.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to designate and/or establish such accounts and/or account numbers as necessary to implement the transactions contemplated by this Resolution and to establish special revenue, non-lapsing, multi-year fund account(s) as necessary to which said sums shall be recorded.

Councilor Lachapelle **MOVED** to suspend the rules and to read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

Councilor Lachapelle **MOVED** to **ADOPT** the resolution. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

13.3 Resolution Authorizing the Application for and Acceptance of a State of New Hampshire Department of Environmental Services (NHDES) Clean Water State Revolving Fund (CWSRF) Loan for the Colonial Pines Sewer Extension Project – Phase 2 in the Amount of up to \$3,598,000.00 *first reading, consideration for second reading and adoption*

Councilor Lachapelle **MOVED** to read the resolution by title only for a first time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time.

Resolution Authorizing the Application for and Acceptance of a State of New Hampshire Department of Environmental Services (NHDES) Clean Water State Revolving Fund (CWSRF) Loan for the Colonial Pines Sewer Extension Project – Phase 2 in the Amount of up to \$3,598,000.00

BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF ROCHESTER, AS FOLLOWS:

That the Mayor and City Council of the City of Rochester, by adoption of this Resolution, authorize the Department of Public Works to submit a grant application in the amount of up to Three Million Five Hundred Ninety Eight Thousand Dollars (\$3,598,000.00) to the NHDES CWSRF Loan program in order to finance Phase 2 of the Colonial Pines Sewer Extension Project.

It is further resolved that the Mayor and City Council of the City of Rochester, by adoption of this Resolution, accept the loan amount of up to Three Million Five Hundred Ninety Eight Thousand Dollars (\$3,598,000.00) from the NHDES CWSRF Loan program.

Further, the Mayor and City Council of the City of Rochester, by adoption of this Resolution authorize the City Manager and/or the Finance Director to act as the City's representative(s) for the execution of all documents necessary to complete the application to the CWSRF.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to designate and/or establish such accounts

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

and/or account numbers as necessary to implement the transactions contemplated by this Resolution and to establish special revenue, non-lapsing, multi-year fund account(s) as necessary to which said sums shall be recorded.

Councilor Lachapelle **MOVED** to suspend the rules and to read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

Councilor Lachapelle **MOVED** to **ADOPT** the resolution. Councilor Walker seconded the motion. The **MOTION CARRIED** by a 13 to 0 roll call. Councilors Torr, Abbott, Varney, Hutchinson, Lachapelle, Gray, Walker, Bogan, Hamann, Gates, Keans, Lauterborn, and Mayor McCarley voted in favor of the motion.

13.4 City of Rochester Hazard Mitigation Plan (Update) ***consideration for approval***

- **Link to the Updated Hazard Mitigation Plan from 2018 -2022** [Click here](#)

Councilor Lachapelle **MOVED** to **ACCEPT** the updated Hazard Mitigation Plan for the City of Rochester, NH. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

13.5 Resolution Approving Cost Items Associated with Proposed City of Rochester Multi-Year Collective Bargaining Agreement with Rochester Middle Managers Group ***first reading, consideration for second reading and acceptance***

Councilor Lachapelle **MOVED** to read the resolution for the second first time by title only. Councilor Walker seconded the motion. The **MOTION CARRIED** by unanimous voice vote. Mayor McCarley read the resolution for the first time as follows:

RESOLUTION APPROVING COST ITEMS ASSOCIATED WITH PROPOSED CITY OF ROCHESTER MULTI-YEAR COLLECTIVE BARGAINING AGREEMENT WITH Rochester Middle Managers Group

BE IT RESOLVED BY THE MAYOR ANDCITY COUNCIL OF THE CITY

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

OF ROCHESTER, AS FOLLOWS:

That pursuant to, and in accordance with, the provisions of Chapter 273-A of the New Hampshire Revised Statutes Annotated, the cost items associated with the multi-year year collective bargaining agreement between the City of Rochester and the Rochester Middle Managers Bargaining Unit, covering the period July 1, 2018 to June 30, 2023 as set forth in the proposed contract, and as more particularly detailed on the attached "EXHIBIT A: Rochester Middle Managers Group," which includes a summary financial analysis of the annual costs of the contract to the City provided by the Rochester Director of Finance, is here by approved. The provision of funds necessary to fund the aforementioned, and here by approved, collective bargaining agreement "cost items" in the first year of the agreement will be contained in the Fiscal Year 2019 operating budget of the City.

Councilor Lachapelle **MOVED** to read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution for a second time by title only. The City Council briefly discussed the matter. Councilor Lachapelle **MOVED** to **ADOPT** the resolution. The **MOTION CARRIED** by a unanimous voice vote.

13.6 Resolution Approving Cost Items Associated with Proposed City of Rochester Multi-Year Collective Bargaining Agreement with Rochester Municipal Managers Group *first reading, consideration for second reading and acceptance*

Councilor Lachapelle **MOVED** to read the resolution by title only for a first time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the resolution by title only for a first time.

RESOLUTION APPROVING COST ITEMS ASSOCIATED WITH PROPOSED CITY OF ROCHESTER MULTI-YEAR COLLECTIVE BARGAINING AGREEMENT WITH Rochester Municipal Managers Group

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER, AS FOLLOWS:

That pursuant to, and in accordance with, the provisions of Chapter 273-A of

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

the New Hampshire Revised Statutes Annotated, the cost items associated with the multi-year year collective bargaining agreement between the City of Rochester and the Rochester Municipal Managers Bargaining Unit, covering the period July 1, 2018 to June 30, 2023 as set forth in the proposed contract, and as more particularly detailed on the attached "EXHIBIT A: Rochester Municipal Managers Group," which includes a summary financial analysis of the annual costs of the contract to the City provided by the Rochester Director of Finance, is hereby approved. The provision of funds necessary to fund the aforementioned, and hereby approved, collective bargaining agreement "cost items" in the first year of the agreement will be contained in the Fiscal Year 2019 operating budget of the City.

Councilor Lachapelle **MOVED** to suspend the rules and to read the resolution by title only for a second time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a majority voice vote. Mayor McCarley read the resolution by title only for a second time.

Councilor Lachapelle **MOVED** to **ADOPT** the resolution. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

13.7 An Ordinance to Revise and Consolidate, Amend, Supplement, and Codify the Ordinances of the City of Rochester *first reading*

Councilor Lachapelle **MOVED** to read the Amendment by title only for a first time. Councilor Walker seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Mayor McCarley read the Amendment by title only for a first time as follows:

Mayor McCarley said this Amendment shall be sent to the December 4, 2018, Regular City Council meeting.

Councilor Gray **MOVED** to take up "other" prior to entering into the Non-meeting/Non-Public Sessions. Councilor Bogan seconded the motion. The **MOTION FAILED** by a 6 to 7 show-of-hands vote. The motion failed because this type of action requires a two-thirds vote.

14. Non-Meeting/Non-Public Session

14.1 Non-Meeting, Consultation with Legal RSA 91-A:2,I(b)

Councilor Lauterborn **MOVED** to enter into a Non-Meeting, Consultation with Legal RSA 91-A:2I(b) at 7:45 PM. Councilor Lachapelle seconded the

motion. The **MOTION CARRIED** by a unanimous roll call vote of 13 to 0. Councilors Lauterborn, Keans, Walker, Hutchinson, Lachapelle, Gray, Abbott, Torr, Hamann, Bogan, Gates, Varney, and Mayor McCarley voted in favor of the motion.

Councilor Lauterborn **MOVED** to exit the Non-Public Session and return to Public Session at 8:30 PM. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote. Councilor Lauterborn **MOVED** to seal the minutes because it is determined that divulgence would likely render a proposed action ineffective. Councilor Walker seconded the motion. The **MOTION CARRIED** by a 13 to 0 roll call vote. Councilors Gates, Keans, Lauterborn, Walker, Lachapelle, Gray, Abbott, Torr, Hamann, Bogan, Hutchinson, Varney, and Mayor McCarley voted in favor of the motion.

15 Other

Councilor Gray asked the City Manager what the percentage of the taxes would increase as a result of the over-ride of the Tax Cap for the fiscal year 2019 budget. City Manager Cox replied the amount of the over-ride was \$1,700,000, which equates to an increase of the tax-rate of 74 cents.

Councilor Gray **MOVED** to take \$850,000 from the undesignated Fund Balance for a one-time buy-down of the Tax Rate in order to lessen the impact on the citizens of Rochester. A discussion ensued about voting on "motions" not on the current agenda. It was determined that prior notice had been given at the Workshop and last Finance Committee meeting that such a motion would be presented to the City Council. Councilor Keans seconded the motion.

Councilor Gray said the General Ordinances, *Chapter 11.19 (a)*, refers to the Undesignated Fund Balance as being maintained between 5% and 10%; however, it does not indicated that 10% is a maximum number. He said the City's undesignated Fund Balance has exceeded 17% for the past two years and there is a City policy which indicates that if the Undesignated Fund Balance is over 17% it is considered a "surplus". This motion is in compliance with that policy. He spoke about the increase to the taxes. He said the 74 cent increase could be reduced in half by voting in favor of this motion. Councilor Gray gave reasons why he felt the City ought to take action to reduce the tax-rate.

Councilor Lauterborn stated that if the City Council passes this motion this evening than it is a guarantee that another Tax-Cap over-ride could not be avoided with the next year's budget cycle. A decision was made in June, 2018 to over-ride the Tax-Cap. Therefore it is important that the City take steps not to allow that to happen in 2019. She spoke against the motion.

Councilor Varney stated that the City Council has set aside funds out of the audited annual surplus into the School Building Capital Reserve Fund, which has been utilized to off-set the cost of the debt service for some of the new school construction projects. Last year the amount of surplus transferred to the School Building Capital Reserve Fund was around \$175,000. This year it could be as much as \$790,000.00, which is half the amount of the audited surplus.

Councilor Varney mentioned that the City Council approved the purchase of a new fire truck in the FY 19 budget cycle, which is a \$600,000 purchase. The funding source was approved as "bond" which is not standard practice for this Council. It may be financially beneficial to pay "cash" instead of "bond" out of some of the Undesignated Fund Balance surplus. He added that paying cash would save a lot of money on interest fees.

Councilor Varney cautioned the City Council against trying to reduce the tax rate this year because it will only make it that much more difficult next year and years to come as a result. The School Department has indicated that the next year's budget should be very close to the Tax Cap. That is because of the over-ride with FY 19 budget. There is a good plan in place for next year's budget cycle.

Councilor Varney spoke about the City's bond rating and the fact that many other city/towns have a much higher rate of a surplus of Undesignated Funds.

Councilor Walker said that the City had to give-up some important projects for FY 19 in order to give the School Department more funding to decrease the amount needed for the Tax Cap over-ride. He agreed with Councilor Varney that the City would be better served by paying off some bonded projects, which saves the City thousands of dollars over the lengthy bond cycles.

Councilor Gray rebutted that two Councilors have stated that the City Council would have to over-ride the budget next year if this motion passed this evening. He questioned how the assumption could be made in the absence of the passing of the State's budget, especially since there will be new democratic leadership in both the House and Senate.

Councilor Gray reiterated that the City has a 17% surplus in Undesignated Funds and this is one of the actions that can be taken (one-time buy-down to the tax rate). He noted that other actions have been suggested as well.

City of Rochester
Draft

Regular City Council Meeting
November 13, 2018

Councilor Walker requested a roll call vote. Councilor Lachapelle seconded the request. The **MOTION FAILED** by a 4 to 9 roll call vote. Councilors Bogan, Gates, Torr, and Gray voted in favor of the motion. Councilors Lachapelle, Hutchinson, Varney, Hamann, Keans, Lauterborn, Walker, Abbott, and Mayor McCarley voted against the motion.

15. Adjournment

Councilor Walker **MOVED** to **ADJOURN** the meeting at 8:47 PM. Councilor Lachapelle seconded the motion. The **MOTION CARRIED** by a unanimous voice vote.

Respectfully submitted,

Kelly Walters, CMC
City Clerk

WATER CIP FUND 5501 & SEWER CIP FUND 5502 PROJECTS READY FOR DE-AUTHORIZATION

Account Number	Project Name	Revised Budget	Expended	Deauthorize			Total De-authorization	To Be Bonded	Comment
				Cash	Bond	Grant/ Other			
Water									
55016010-771000-16535	Fieldstone Village	300,000.00	113,937.43	-	186,062.57	-	186,062.57	-	Bonded \$113,937.43 August 2018
55016010-771000-16536	Groundwater Development	100,000.00	35,834.26	-	64,165.74	-	64,165.74	35,834.26	To be bonded
55016010-771000-17534	Groundwater Development	150,000.00	-	-	150,000.00	-	150,000.00	-	No expenditures
55016010-776000-06524	Groundwater Development	550,000.00	540,520.75	4,030.25	-	-	4,030.25	-	Transfer cash back to Water Fund
Total Water		1,100,000.00	690,292.44	4,030.25	400,228.31	-	404,258.56		
Sewer									
55026020-77100-18564	Salmon Falls Rd Sewer Repair	136,160.00	118,400.00	17,760.00	-	-	17,760.00	-	Transfer cash back to Sewer Fund
Total Sewer		136,160.00	118,400.00	17,760.00	-	-	17,760.00		

Notes: 55016010-776000-06524

- 1) Journal 2006-08-374 recorded \$150,000 cash on 02/21/2006
- 2) Bonded \$300,000.00 in FY08
- 3) Deauthorized \$5,449.00 Bond Authority on 05/19/2009
- 4) Bonded \$94,551.00 in FY10
- 5) Above action is to de-authorize \$4,030.25 Cash and transfer back to Water Fund

Rochester Middle Managers Group

Assumptions						
City Health Contribution	80/20	80/20	100/0	93/7	87/13	80/20
Health Plan	HMO \$20 copay DED \$250/750 RX 10/20/45	HMO \$20 copay DED \$250/750 RX 10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45
Projected Health Increase			2.50%	2.50%	2.50%	2.50%
Projected Wage Increase		0-3% merit	0-4% merit	0-4% merit	0-4% merit	0-4% merit
Wages	FY18 current	FY19	FY20	FY21	FY22	FY23
Base Wages	1,096,948	1,124,372	1,158,103	1,192,846	1,228,631	1,265,490
Longevity	5,650	6,050	6,750	6,975	7,425	7,500
Compression adjustment			12,000			
Total Wages	1,102,598	1,130,422	1,176,853	1,199,821	1,236,056	1,272,990
Dollar Change		27,824	46,431	22,968	36,235	36,934
% Change		2.52%	4.11%	1.95%	3.02%	2.99%
Benefits						
Social Security	59,016	60,491	62,306	64,175	66,100	68,083
Medicare	15,988	16,391	17,064	17,397	17,923	18,458
Health Insurance	246,722	224,518	233,775	222,846	213,680	201,399
Opt Out	4,800	4,800	4,800	4,800	4,800	4,800
Dental	3,450	4,100	4,100	4,100	4,100	4,100
Life	1,711	2,159	2,224	2,290	2,359	2,430
STD	5,924	6,072	6,254	6,441	6,635	6,834
LTD	5,134	5,262	5,420	5,583	5,750	5,922
Total Rollups	342,744	323,792	335,942	327,632	321,347	312,026
Dollar Change		(18,952)	12,150	(8,310)	(6,285)	(9,320)
% Change		-5.53%	3.75%	-2.47%	-1.92%	-2.90%
Totals						
Total Wages Benefits & Rd	1,445,342	1,454,214	1,512,795	1,527,453	1,557,403	1,585,016
Dollar Change		8,872	58,581	14,658	29,950	27,613
% Change		0.61%	4.03%	0.97%	1.96%	1.77%

17 Total Employees - 100% FT

Rochester Municipal Managers Group

Assumptions						
City Health Contribution	80/20	80/20	100/0	93/7	87/13	80/20
Health Plan	HMO \$20 copay DED \$250/750 RX 10/20/45	HMO \$20 copay DED \$250/750 RX 10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45	ABSOS20/40 1KDED RX10/20/45
Projected Health Increase			2.50%	2.50%	2.50%	2.50%
Projected Wage Increase		0-3% merit	0-4% merit	0-4% merit	0-4% merit	0-4% merit
Wages	FY18 current	FY19	FY20	FY21	FY22	FY23
Base Wages	973,859	1,000,641	1,030,660	1,061,580	1,093,427	1,126,230
Longevity	3,450	3,925	4,225	4,425	4,575	4,775
Total Wages	977,309	1,004,566	1,034,885	1,066,005	1,098,002	1,131,005
Dollar Change		27,256	30,319	31,120	31,997	33,003
% Change		2.79%	3.02%	3.01%	3.00%	3.01%
Benefits						
Social Security	49,988	51,362	52,903	54,490	56,125	57,809
Medicare	14,171	14,566	15,006	15,457	15,921	16,400
Health Insurance	227,045	206,611	215,129	205,072	196,638	185,337
Opt Out	0	0	0	0	0	0
Dental	3,000	3,600	3,600	3,600	3,600	3,600
Life	1,519	1,561	1,608	1,656	1,706	1,757
STD	5,259	5,403	5,566	5,733	5,905	6,082
LTD	4,558	4,683	4,823	4,968	5,117	5,271
Total Rollups	305,540	287,787	298,635	290,976	285,011	276,254
Dollar Change		(17,752)	10,848	(7,659)	(5,965)	(8,757)
% Change		-5.81%	3.77%	-2.56%	-2.05%	-3.07%
Totals						
Total Wages Benefits & R	1,282,849	1,292,353	1,333,520	1,356,981	1,383,013	1,407,259
Dollar Change		9,504	41,167	23,461	26,032	24,246
% Change		0.74%	3.19%	1.76%	1.92%	1.75%

12 Total Employees - 100% FT

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City Clerk's Office

11/29/2018
Dec 2018
EOM

Nomination Receiving Department
Employee of the Month Committee
31 Wakefield Street
Rochester, NH 03867

Kaitlin Taatjes
180 Four Rod Road
Rochester, NH 03867

Dear Employee of the Month Committee,

10/19/18


Please take this letter in consideration when choosing a candidate for Employee of the month. I wish to nominate Fire Department Secretary, Jessica Gray. I have worked with Jessica for a few months and I feel the City of Rochester and its citizens benefit from having her work for our community. She may not be pulling people out of buildings, but she has made a large impact on our community in these short months. I have many examples I'd like to share with you about why I am nominating Jessica to be Employee of the Month.

She has faced challenges of simply being a new employee in a new department. The fire department and citizens have thrown many obstacles her way and she still manages to do her job effortlessly. Recently, the fire department held its second annual fire safety festival on October 13th. She had never participated in this event before but she took responsibility to advertise weeks and days before the event. She wanted to spread fire safety to as many families as possible. As some of you may know, she is a marketing major. I personally believe not every marketing major employee would have put late nights and early mornings into this fire safety festival as Jessica did. She took this festival by storm and added more tasks to her already full plate. The festival would not have been as successful without Jessica.

On top of putting her time into the fire safety festival during off duty hours, she also has attended every Firefighter Thurber fundraiser event. She may be a close friend with the Thurber family but she has sold Thurber T-shirts, wristbands and stickers because she wants to help the Rochester Professional Firefighters raise as much money for Tyler Thurber as possible. She is the first to show up at these events and one of the last to leave. I firmly believe she would do that for any of the Fire Department members and she shows her support consistently and willing to help.

Currently, Jessica is attending courses at the Icon Conference in Falmouth Massachusetts to better her education and make her job more efficient. The Icon Conference covers courses about Law and Fire Software such as IMC, which is the fire departments current system. IMC is a huge part of our organization. Jessica will be a permanent resource for our department and the city will benefit from having an employee knowledgeable in this area!

As you can see, there are many characteristics that can be used to describe Jessica, such as, caring, willing and knowledgeable. Our city and its citizens have already benefited from hiring Jessica Gray. I know she will continue to put this city and its citizens first. I hope this letter is a good description of why I feel Jessica Gray should be the next Employee of the Month. I appreciate your time and consideration.


Kaitlin R. Taatjes
Rochester Fire Department
Firefighter

11/19/18

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City Clerk's Office



City of Rochester, New Hampshire

OFFICE OF THE CITY MANAGER
31 Wakefield Street • Rochester, NH 03867
(603) 332-1167
www.RochesterNH.net

CITY MANAGER'S REPORT P. 33 **December 4, 2018**

The Employee of the Month is: Jessica Gray – Fire Department **P. 31**

Contracts and documents executed since last month:

- Department of Public Works
 - Brown & Caldwell – Task Order Change 29 – Great Bay Coalition – EPA & NH DES Technical Support Service **P. 34**
 - Sebago Technics Contract **P. 35**
 - Southeast Land Trust (SELT) Agreement – WTP Watershed (3) Parcels Purchase and & Conservation Easement Document **P. 37**
- Economic & Community Development
 - CDBG Environmental Review – Cap Weatherization Program – multiple projects **P. 38**
- Legal Department
 - 23 Cleo Circle Redemption **P. 39**
 - 20 Cove Court Shoreline Cleanup Agreement **P. 40**

Other documents for information:

- Computer Leases
 - Woodbury, M – Fire **P. 41**

The following standard reports have been enclosed:

- City Council Request & Inquiry Report - **none**
- Monthly Overnight Travel Summary **P. 42**
- Permission & Permits Issued **P. 43**
- Personnel Action Report Summary **P. 44**




City of Rochester, New Hampshire
 PUBLIC WORKS DEPARTMENT
 45 Old Dover Road • Rochester, NH 03867
 (603) 332-4096
www.RochesterNH.net



INTEROFFICE MEMORANDUM

TO: BLAINE M. COX, CITY MANAGER
 ROLAND E. CONNORS, INTERIM FINANCE DIRECTOR

FROM: LISA J. CLARK, ADMIN SUPERVISOR 

DATE: November 14, 2018

SUBJECT: Brown & Caldwell Task order 29 - \$4000
 Great Bay Coalition – EPA & NH DES Technical Support Svc

CC: Peter C. Nourse, PE, Director of City Services
 Owen Friend-Gray

Attached please find the Brown & Caldwell task order number 29 for signature. This task order technical services associated with the Great Bay Coalition. The total task is \$12,000 and Rochester's portion is \$4000.00.

This contract in the amount of \$4,000 will be funded as budgeted from the following Sewer O&M Account as follows:

52602074-533000 Other Professional Services

If you have any question, please call if not please pass on to the City Manager for signature. These documents should be returned to the DPW for distribution and mailing.



Roland Connors, Interim Finance Director



City of Rochester, New Hampshire

PUBLIC WORKS DEPARTMENT

45 Old Dover Road • Rochester, NH 03867

(603) 332-4096

Fax (603) 335-4352

www.rochesternh.net

CITY OF
Received
NOV 21 2018
City Manager
ROCHESTER

INTEROFFICE MEMORANDUM

TO: Blaine M. Cox, City Manager
Roland Connors, Interim Finance Director

FROM: Peter C. Nourse, PE
Director City Services *[Signature]*

DATE: November 16, 2018

SUBJECT: Contract Sebago Technics \$13,852.

This memo is to request the use of services from Sebago Technics of South Portland, ME to perform analysis, evaluation and upgrades to signalized intersections at Charles, Old Dover and Brock Street intersections with Columbus Ave.

The Public Works Committee(PWC) in October voiced concern over the current signal timing through this corridor. It was discussed again at the November PWC meeting. We felt that addressing these intersections was a priority to attempt to reduce congestion, fuel consumption, delays and emissions. We have discussed options with Sebago and the have proposed the scope of work attached.

The proposal is over \$10,000. Therefore, in accordance with Purchasing Policy Section III.D.4. (a) the department request use of Sebago's professional services with justification. Sebago has worked in Rochester in the past, and has worked in Dover for ten years vastly improving the technology and performance of their signalized intersections. There are many traffic engineers in consulting firms. However, Sebago's technical team has unique credentials. It consists of engineers who are not only Professional Traffic Operations Engineer certified but also IMSA certified. Essentially their engineers have the hands-on technical experience to perform diagnostics and to work on signal devices as well as being Professional Engineers.

The alternative could be for the City to sub out some of the hardware vendor portions of the proposal vs. Sebago. That would decrease the proposal below \$10,000 but would not save on cost.



City of Rochester, New Hampshire

PUBLIC WORKS DEPARTMENT

45 Old Dover Road • Rochester, NH 03867

(603) 332-4096

Fax (603) 335-4352

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The Funding will come from the O&M City Lights General Fund Accounts 13020050, which will support the expense without issue.

*****If you have any questions please call, if not please sign below with your approval and forward to the City Manager for execution. Documents should be returned to DPW for Distribution.**

(Roland Connors, Interim Finance Director)



City of Rochester, New Hampshire
 PUBLIC WORKS DEPARTMENT
 45 Old Dover Road • Rochester, NH 03867
 (603) 332-4096
www.RochesterNH.net



CITY OF
 Received
 NOV 19 2018
 City Manager
 ROCHESTER

INTEROFFICE MEMORANDUM

TO: BLAINE M. COX, CITY MANAGER
 ROLAND E. CONNORS, INTERIM FINANCE DIRECTOR

FROM: LISA J. CLARK, ADMIN SUPERVISOR *LJC*

DATE: November 15, 2018

SUBJECT: Southeast Land Trust of NH (SELT) Agreement \$122,000
 WTP Watershed (3) Parcels Purchase & Conservation Easement Document

CC: Peter C. Nourse, PE, Director of City Services
 Owen Friend-Gray

Attached please find the letter of agreement (LOA) between the City of Rochester and SELT for the (3) watershed properties as discussed, funded and approved by City Council at the September 4, 2018 City Council Regular Meeting.

This initial agreement has been negotiated to include any future needs of the City of Rochester Water Drinking Water System and has been approved by the City Attorney. The City will receive permanent easement documents once the property acquisitions and filings are completed.

The agreed to amount for the cost share with SELT is \$122,000 and is funded in the Water fund CIP account as follows:

555016010-771000-19560 = \$122,000

If you have any question, please call Peter Nourse, if not please pass on to the City Manager for signature. This document should be returned to the DPW for distribution and mailing.

Roland Connors, Interim Finance Director

Date: November 19, 2018

To: Blaine Cox
City Manager

From: Julian Long
Community Development Coordinator/Grants Manager

CITY OF
Received
NOV 19 2018
City Manager
ROCHESTER

Re: FY 2018-2019 CDBG Environmental Reviews – CAP Weatherization

Please see attached the completed FY 2018-2019 Community Development Block Grant (CDBG) environmental review for a proposed project site under the Community Action Partnership of Strafford County's weatherization program (CAP weatherization program). The City Council approved funding to the CAP weatherization program at the June 19, 2018 City Council meeting.

The environmental review requires the signature of the City Manager as the authorized official for the City of Rochester. Thank you very much, and please contact Julian with any questions or concerns.



City of Rochester, New Hampshire

OFFICE OF THE CITY ATTORNEY

31 Wakefield Street • Rochester, NH 03867

(603) 335-7599

www.RochesterNH.net

Memorandum

CITY OF
Received
NOV 20 2018
City Manager
ROCHESTER

To: Blaine Cox, Deputy City Manager
From: Terence O'Rourke, City Attorney
Date: November 20, 2018
Re: Redemption of 23 Cleo Circle

On July 25, 2018, the Tax Collector issued a Tax Deed for 23 Cleo Circle. On November 26, 2018, the mobile home park owner will purchase the property with the intent of leaving the current occupant in the home as a tenant. In order to complete the redemption process, the City must issue Charles Prescott Estates a Quitclaim Deed which must be signed by the City Manager.

A. Property Taxes owed:	\$4,534.82
B. Interest	\$1,518.70
C. Notice Cost:	\$10.00
D. Registry Fees:	\$20.50

TOTAL: **\$6,084.02**

*City of Rochester, New Hampshire*

OFFICE OF THE CITY ATTORNEY

31 Wakefield Street • Rochester, NH 03867

(603) 335-7599

www.RochesterNH.net

Memorandum

To: Blaine Cox, Deputy City Manager
From: Terence O'Rourke, City Attorney
Date: November 20, 2018
Re: 20 Cove Court Shoreline Clean Up Agreement

The property located at 20 Cove Court fell into disrepair due to the long-term illness of its owner. In particular, the portion of the property which ends at the shoreline of the Cocheco River has become overgrown and garbage strewn. Unfortunately, the area has also become a location for trespassing persons to surreptitiously consume illicit drugs. In order to alleviate the problems caused by the conditions on the property, the Department of Public Works, at the request of the Police Department, seeks to clear, clean, and open up the shoreline area. In order to do this, the City requires permission from the property owner along with a waiver of liability. The attached agreement delineates the duties and responsibilities of all parties in regards to the clean up effort.

FORM A

(To be completed by the employee and returned to the City Manager)

TO: DAN FITZPATRICK, CITY MANAGER**FROM:** Matthew Woodbury, Fire Department, Firefighter
(name, department & title)**SUBJECT: REQUEST TO PARTICIPATE IN EMPLOYEE COMPUTER
LEASE/PURCHASE PROGRAM**

I have read and understand the terms and conditions of the "Employee Computer Lease/Purchase Agreement" and I wish to be considered for participation in the plan. I request the City reimburse me after I have made the purchase and submitted an itemized vendor's receipt. I understand that this request must be approved by the City and that I must complete a lease purchase agreement before I purchase the equipment. I understand that my request will be evaluated based upon my application to purchase equipment meeting or exceeding minimum recommended specifications system requirements which are subject to change based on the latest hardware technologies. I understand that only brand name, new equipment which must include an industry standard manufacturer's warranty will be considered for this program.

Attached is a quote which describes the equipment intended to be acquired through this program.

The estimated cost of the equipment to be acquired: \$ 1799.99 (not to exceed \$2,000)

Please provide a brief narrative explaining how participation in this program may enhance your computer literacy skills and assist you in your work activities with the City of Rochester.

I am interested in continuing my education. With more and more programs being offered on line a good computer is a great need. Continuing education is imperative in my line of work with the ever changing world of Fire fighting tactics and EMS.

I have _____ have not ✓ (check one) previously purchased equipment under this program.

11/17/18
Date

[Signature]
Employee Signature

11-21-18
Date

[Signature]
City Manager or designee

[illegible]

DATE RECEIVED	DATE ISSUED	PERMISSION PERMITS	MISCELLANEOUS	DATE OF EVENT
11/5/2018	11/9/2018	TAG	Girls Basketball Booster Club	12/1/2018
10/26/2018	11/9/2018	BANNER	Sole City Dance	11/24 to 12/14/2018
11/7/2018	11/9/2018	SOLICIT	Atlantic Broadband	through 12/7/2018
11/5/2018	11/9/2018	EVENT	Rochester Main Street - Festival of Trees	11/30 - 12/1/2018
11/13/2016	11/16/2018	TAG	Girls Basketball Booster Club	12/2/2018 - rev
11/13/2016	11/16/2018	TAG	SHS AP Bio	11/17/2018

ELECTRONIC MESSAGE BOARD REQUESTS				
11/9/2018	11/9/2018	MESSAGE	Crosspoint - Christmas Craft & Vendor Fair	12/1/2018
11/9/2018	11/9/2018	MESSAGE	First Church Congregational - Winter Faire Encore	12/15/2018
11/6/2018	11/8/2018	MESSAGE	Rochester Recreation - Rec Family Fun Night	11/17/2018
11/7/2018	11/8/2018	MESSAGE	SHS - ELO Fundraiser	11/26/2018
11/16/2018	11/16/2018	MESSAGE	Rochester Main Street - Festival of Trees	11/30/2018
11/13/2018	11/16/2018	MESSAGE	Frisbie Auxilliary - Lights of Love	12/5/2018
11/16/2018	11/16/2018	MESSAGE	Monarch School - Wellness Fair	12/6/2018
11/16/2018	11/21/2018	MESSAGE	American Cancer Society - Holiday Craft Fair	12/15/2018

DEPT	NAME	POSITION	# of Employees	FT	PT	SEASONAL/TEMP	NEW HIRE	REHIRE	RETIREMENT	SEPARATED	STEP (CBA)	COLA (CBA)	MERIT PAY ADJ	NU PAY ADJ	PAY ADJ	PROMOTION	OTHER	MISC. INFO
FIRE	SETH WENTWORTH	FIREFIGHTER	1	X							X							
FIRE	MATTHEW PARKER	FIREFIGHTER	1	X							X							
FIRE	SAM MORRILL	FIREFIGHTER	1	X							X							
FIRE	CURT FITTON	FIREFIGHTER	1	X							X							
FIRE	DUANE MARSH	FIREFIGHTER	1	X							X							
LIBRARY	TAMANTHA LANG	LIB ASSISTANT	1		X					X								
POLICE	JUSTIN SECKENDORF	PATROL OFFICER	1	X						X								
POLICE	CHRISTOPHER MANGUM	PATROL OFFICER	1	X					X									
PUBLIC WORKS	PETER NOURSE	DIR OF CITY SERVICES	1	X									X					
PUBLIC WORKS	THOMAS MARTINEAU	LEO	1	X													X	GRADE 2 CERT WATER
PUBLIC WORKS	JOSEPH SANBORN	LEO	1	X													X	GRADE 2 CERT WATER
PUBLIC WORKS	JAMES MARTINO	GROUND	1		X												X	WINTER HOURS
PUBLIC WORKS	DAVID COPE	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	BARRY WILLEY	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	THOMAS MARCHAND	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	CHARLES WILLEY	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	KENNETH WHITTEN	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	BENJAMIN WASHOK JR	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	ERIKA SILVIA	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	KENNETH NYE	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	STEPHEN LENOX	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	RICHARD CLEMENT	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	KENNETH MYHRE	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	ZEKE LAPIERRE	LEAD PLANT OPERATOR	1	X													X	GRADE 3 WATER OP
PUBLIC WORKS	DAVID BENEDICT	MAINTENANCE TECH	1	X						X								
PUBLIC WORKS	TINA DIXON	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	WAYNE CARTER	SEASONAL WINTER	1			X		X										
PUBLIC WORKS	CHRIS VAILLANCOURT	LEO	1	X													X	GRADE 2 WATER ENV
RECREATION	SEASONAL		33			X				X								
RECREATION	ART JACOBS	REC SUPER	1	X													X	ADDITIONAL RESPON
RECREATION	SEASONAL	REFREE/SCOREKEEPER	15			X		X										

Rochester School Board / Rochester City Council
CTE Joint Building Committee Minutes
November 26, 2018
Richard Creteau Technology Center, Room T200

DRAFT

Members Present:

School Board

Mr. Matthew Pappas, Chair
 Mr. Paul Lynch
 Mr. Matthew Beaulieu
 Mr. Robert Watson
 Mrs. Sarah Harrington

City Council

Mayor Caroline McCarley
 Mr. Raymond Varney
 Mr. Thomas Abbott

Also Present:

Mr. Michael Hopkins, Superintendent
 Ms. Cherie Mann
 Ms. Anne Ketterer
 Ms. Kathy Miskoe
 Mrs. Michele Halligan-Foley
 Mr. Lance Whitehead
 Guests

Members Absent:

Mr. Geoffrey Hamann
 Mr. Jeremy Hutchinson
 Mr. James Gray
 Mrs. Audrey Stevens
 Mr. Raymond Turner

Mr. Pappas called the meeting to order at 7:01 p.m. with a quorum present. Members participated in the pledge of allegiance.

Approval of Minutes

Mr. Beaulieu moved, second by Mr. Watson, the Committee approve the minutes of the October 29, 2018 CTE Joint Building Committee meeting. The motion carried unanimously.

Update from Lavalley/Brensinger & Harvey Construction

Ms. Kathy Miskoe from Harvey Construction reviewed the Phases on the Construction Update document with a focus on Phases 3 and 4. The schedule was also reviewed.

Mr. Lance Whitehead, Lavalley Brensinger, reviewed and explained the change orders included with the distributed backup. The budget form was also reviewed.

Next Meeting – The next meeting of the Committee is scheduled for January 28, 2019 at 7:00 pm.

Other

None

Public Comment

None

Adjournment

Mr. Beaulieu moved, second by Mr. Pappas, to adjourn at 7:21 p.m. The motion passed unanimously.

Respectfully submitted,

Michael Hopkins
 Board Secretary

CONSTRUCTION PROGRESS

November 26, 2018



RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

CONSTRUCTION UPDATE

Phase 3 New Front Addition



CMU masonry work continues
 Majority of slab on grade placed
 Structural steel underway
 Exterior framing to begin West side (EWA-1)
 Brick to begin East side (EWA-2)
 Roofing begins in December
 Exterior curtainwall and panels follow
 Summer 2019 completion scheduled



RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

CONSTRUCTION UPDATE



RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

CONSTRUCTION UPDATE

Phase 4 1st Floor Engineering

Electrical, Mechanical, Plumbing
Rough-In Complete

Acoustic Panel Complete

Painting has begun

Millwork scheduled for this week

VCT Flooring early December

12/31/18 completion anticipated



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LAVALLEE | BRENSINGER ARCHITECTS

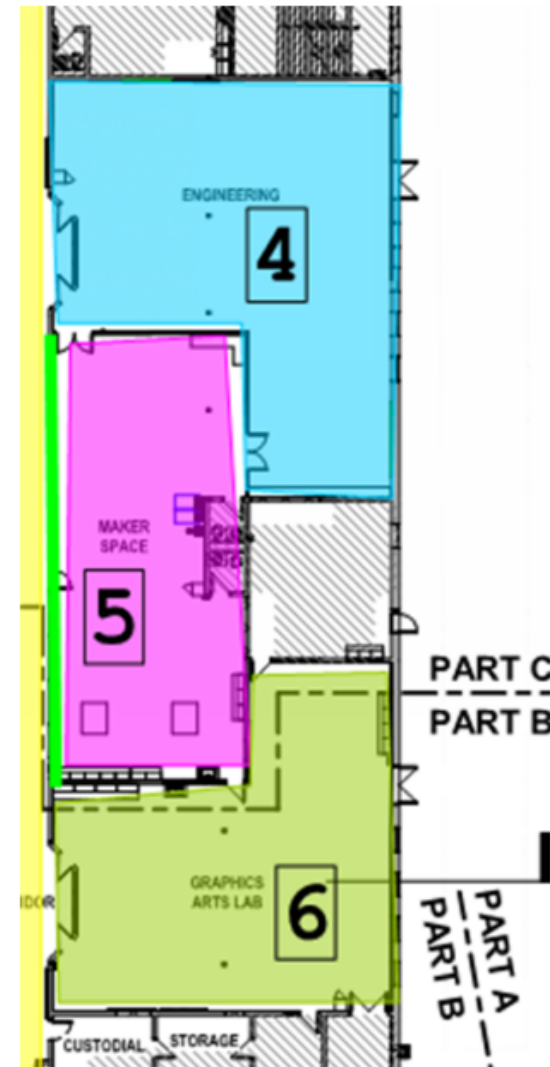
CONSTRUCTION PHASING

Phases 5 & 6 1st Floor Maker Space and Graphic Arts

Phase 5 scheduled for January through April

The related corridor work be pushed to summer for less impact to students

Phase 6 will be started and completed **early** from January to June as RSD is able to vacate early with Phase 5



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LAVALLEE | BRENSINGER ARCHITECTS

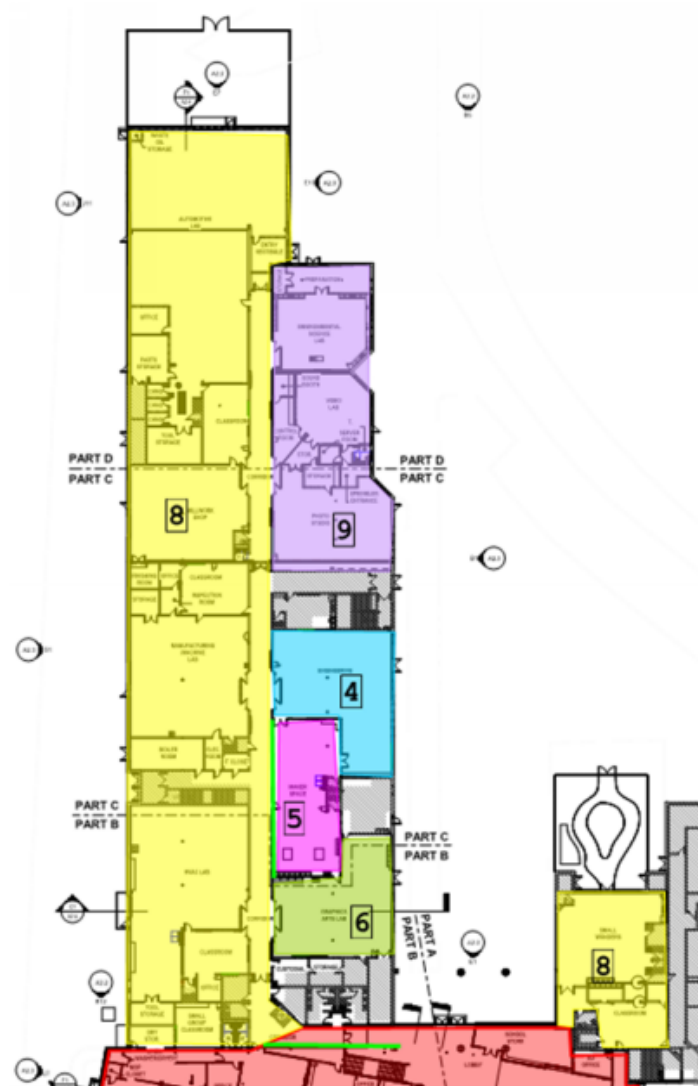
CONSTRUCTION PHASING

Phase 8 and 8a
1st Floor Lab
Renovations
Automotive
Addition
Small Wonders

Phase 8 scheduled for June
through August next summer

1st floor corridor upgrades during
this phase

Phase 8a scheduled for June
through September



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LAVALLEE | BRENSINGER ARCHITECTS

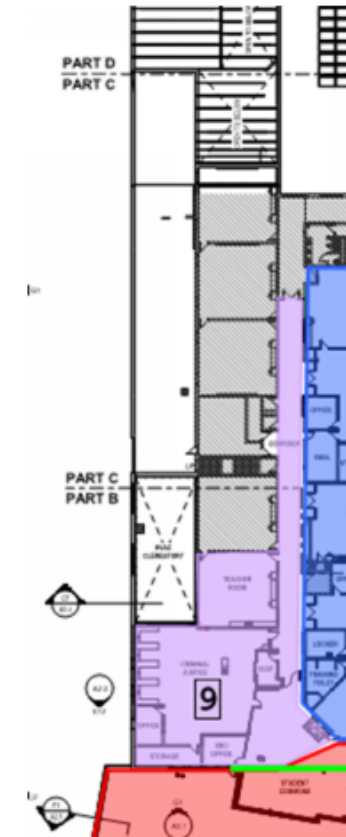
CONSTRUCTION PHASING

Phase 9
2nd Floor Criminal
Justice 1st Floor
Photo /
Environmental
Science

Phase 9 scheduled for September
through December 2019

Temporary Swing Space for
Criminal Justice, Photo Studio,
and Video Lab to be reviewed

2nd floor corridor upgrades
scheduled during this phase



RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

CHANGE ORDERS

6	Subtotal - Construction Costs	\$13,808,670	GMP Contract with Harvey Constuction		
7	TOTAL- Soft costs and Construction Costs	\$16,098,164			
8	Owners Construction Contingency	\$600,000	Initial Contingency Amount	\$447,060.00	\$152,940
	Alternates to come out of contingency		Notes		
1	ADD Concrete Slab Moisture Barrier System for Resilient Flooring - \$163,355- Tabled by JBC 04/30/18		Recommended by LBA, JBC Decision Pending		
2	ADD - Change to LVT Flooring \$47,817 -Tabled by JBC 04/30/18 - Revised via Proposal request (Presented 8/8/2018)		JBC Decision Pending		
3	ADD - Change to Stained concrete floor finish at corridors- \$71,092 - Tabled by JBC 04/30/18		JBC Decision Pending		
7	ADD- New paving Overlay - \$29,388, Declined by JBC 4/30/18		Declined - JBC to re-evaluate at a later date		
	Change Orders / Change Proposals				
	Change Order 1	\$ (32,450.33)		-\$24,178.74	-\$8,272
	Change Order 2	\$ 23,716.45		\$17,671.13	\$6,045
	Change Order 3	\$ (106,692.16)	Deduct Change Order	-\$79,496.33	-\$27,196
			Local Only Expense		\$0
	Misc PCO's-Pending Change Order	\$ (2,000.00)	Approximate	-\$1,490.20	-\$510
	Remaining Contingency	\$482,574		\$359,565.86	\$123,008.10
	Rebates through Electric Company	-\$30,000	Subject to availability	-\$22,353.00	-\$7,647
9	Total Project Estimate	\$16,668,164			
	Likely State Funded Portion	\$11,851,827	Assuming 75% Maximum applied to Applicable Expenses - Capped Per Budget Request	\$11,851,827.35	\$4,797,793.68
	Likely Community Funded Portion	\$4,797,794	Costs for renovations related to Improvements for High School Areas and Sitework		Plus \$18542.97 Funded from Previous Budgets (not bonded)

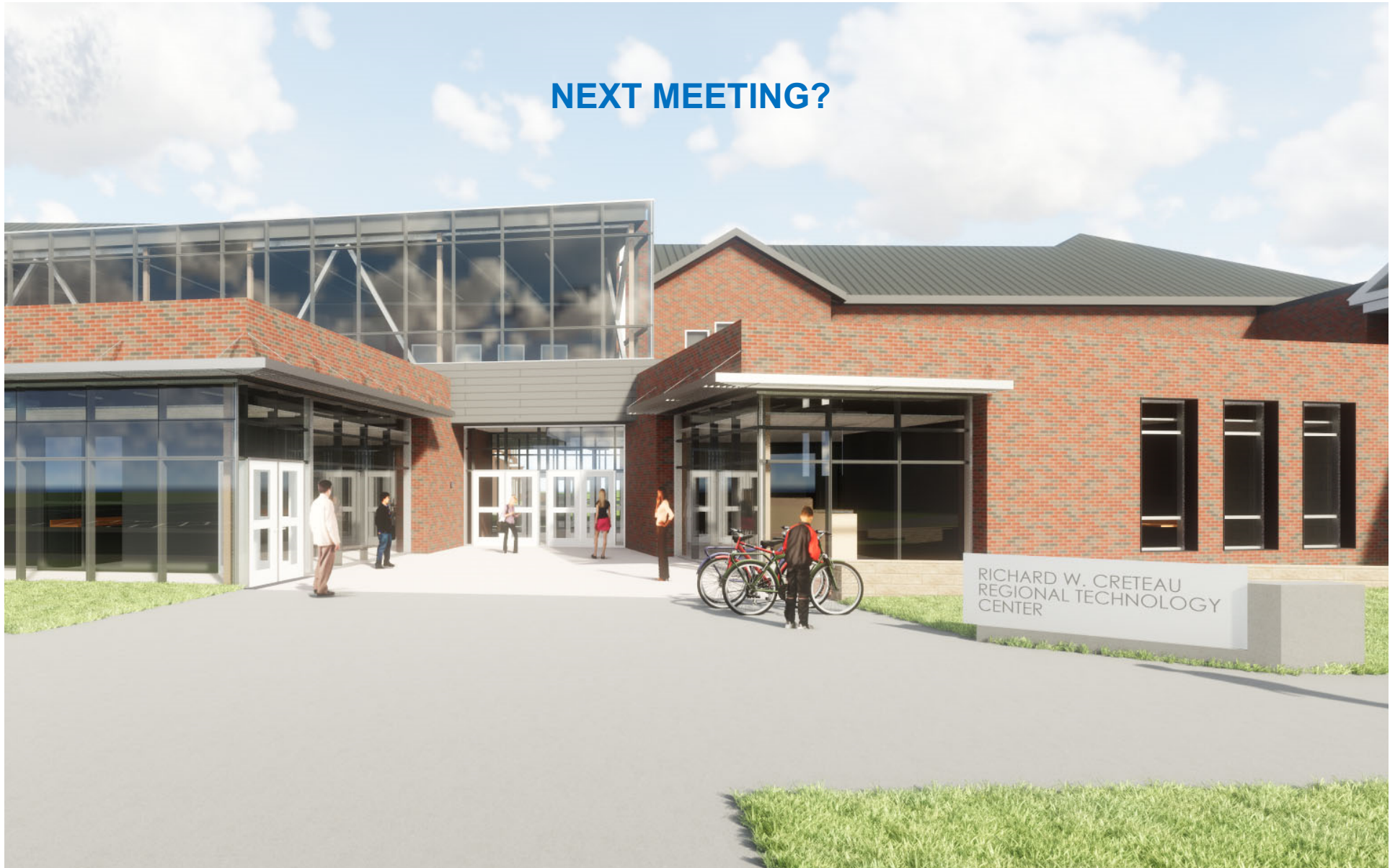


RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

NEXT MEETING?



RW CRETEAU TECHNOLOGY CENTER



LAVALLEE | BRENSINGER ARCHITECTS

Public Safety Committee
 Council Chambers
 November 21, 2018
 7:00 PM

MEMBERS PRESENT

Councilor David Walker
 Councilor Geoff Hamann
 Councilor Jeremy Hutchinson

MEMBERS ABSENT

Councilor Robert Gates (excused)
 Councilor Peter Lachapelle

OTHERS PRESENT

Michael Bezanson, PE, City Engineer
 Gary Boudreau, Deputy Police Chief
 Tim Wilder, Assistant Fire Chief/Fire Marshal
 Dan Camara, GIS/Asset Mgmt. Technician

Minutes

Councilor Walker brought the meeting to order at 7:00 PM.

1. Public Input

There was no members of the public present.

2. E911 Update

Deputy Chief Boudreau said that there was no update-the meeting was canceled and moved to December 4, 2018. Deputy Chief Boudreau said he would have update for the next Public Safety meeting.

3. Emergency Management Update

Deputy Chief Wilder said there was no update at this time.

4. Other

36 Washington Street-Parking Issue

Councilor Walker summarized the issue. The resident at 36 Washington Street said since the striping for no parking was painted in front of 34 Washington Street, the van is parking further back and they are having problems pulling out from Cleveland Street onto Washington Street because they cannot see. Councilor Hamann said there is also an elevation change and when you look from Cleveland Street, you cannot see beyond any parked vehicles. ***Councilor Hamann made a motion to stripe for “no parking” to the next intersection in front of 36 Washington Street at the discretion of Public Works. The motion was seconded by Councilor Hutchinson. Unanimous voice vote carried the motion.***

Needle Exchange Program

Councilor Hamann discussed the issue with the information that was given on the internet for a needle exchange program. He said as far as he knew there was one legally registered organization that can take the needles with the drug residual in it. You can go on the internet and get information on how to shoot up the right way and with minor wound care. You can get information on where to get NARCAN®, and make a phone call and they will meet you in a public convenient place to exchange the needles. Councilor Hamann feels that they are taking a good thing and turning into a bad thing. He said his daughter and friends could learn on the internet how to shoot up. Councilor Hamann said they are doing everything but supplying the drugs, which are not that far way. Councilor Hutchinson asked Councilor Hamann if he wanted to say who the organization was. He said he didn't want to give too much information yet, but HAND-UP Health Services, Foster's mentions them in articles a few times and also if you “Google” needle exchange program they come up. Councilor Walker said he did not know they did all that. Deputy Chief Boudreau said he did not know this either. The representative from the organization met with the Chief and had a long conversation and he knew about the needle exchange program and the two locations but that was it, he didn't know the extent of it. Councilor Hamann thinks it's gone a little too far, it's like a traveling doctor without a license. He doesn't know where to begin with this, so he's asking questions. This was kept in committee until next month. Deputy Chief Boudreau will do some research and get back to the Committee.

Chesley Hill Road Development – Sidewalk

Mr. Bezanson said that about a year ago the Planning Board approved a subdivision off Chesley Hill Road. As part of the approval, a sidewalk connection was planned that would be installed through City-owned property and along the City's right-of-way for Norman Street, Ramsey Drive, and Chesley Hill Road to the existing sidewalk on Route 125. A serpentine sidewalk was planned through what is now woods, on the City-owned property. Mr. Bezanson read the Notice Of Decision Precedent Condition related to this sidewalk connection to the Committee: "The serpentine sidewalk has been approved by the Planning Board as presented. However, because it is proposed within a City of Rochester ROW, if the City Council determines that this is not an acceptable design, the applicant, Department of Public Works, and the City Council are to agree upon an alternative design and update the plans. If an alternative design is not agreed upon, the applicant is to use DPW surety schedule to determine the cost of the serpentine sidewalk and voluntarily submit that dollar amount to the City (via the Planning Department) as they offered to do so at the October 2, 2017 Planning Board meeting." Mr. Bezanson said that recently this issue has been brought up because the applicant is trying to complete the Precedent Conditions and it came to the attention of City staff that this needs City Council approval. During review of the development project, City staff had safety concerns with the design. Councilor Walker said that there is a back-story on this. He was on the Planning Board at the time. He wanted to have the sidewalk go down Chesley Hill Road rather than through the woods, but he was on the losing side. Councilor Walker clarified with Mr. Bezanson that the plan that was approved by the Planning Board has to be approved by City Council or they need an alternative plan. Councilor Walker stated that he believed having a sidewalk on Chesley Hill Road would be better. Councilor Hamman asked if the lots would be accessed from Chelsey Hill Road or from the sidewalk. Councilor Walker said they would be accessed by future development. Councilor Hamann asked if this would be a temporary sidewalk and Councilor Walker said it would be permanent. Councilor Hutchinson said he thought he remembered this case and he thought Chesley Hill Road was not wide enough and they would end up taking property. Councilor Walker said that DPW suggested putting the sidewalk on the Donald Street side of the street and that the existing right-of-way was likely wide enough to add sidewalk. Councilor Hutchinson asked if it would require widening the road. Mr. Bezanson said there would be construction to add a sidewalk and it would

Page 3 of 4

Public Safety Committee Minutes

November 21, 2018

likely require redesigning the drainage infrastructure. If the sidewalk was on the other side of the road, there are no houses. Deputy Chief Boudreau said the serpentine sidewalk could become a safety issue in the woods, where there are no eyes, light poles but potentially insufficient lighting; it is a secluded area. Councilor Walker said the development is proposed to be built out in phases. Councilor Hutchinson asked if the sidewalk goes down Chesley Hill Road would they need more drainage. Mr. Bezanson said there is a mix of swale and catch basins, which may need to be redesigned for construction of a sidewalk. Councilor Hutchinson said painting a double solid line down the center of the road should be reconsidered. Councilor Walker said one step at a time. Councilor Hamann asked what DPW's opinion was. Mr. Bezanson said a sidewalk would be easier to maintain if it was on the side of the road. Councilor Hamann said it would be a major project. ***Councilor Hamann made a motion to recommend to full City Council that a sidewalk be placed on the south side of Chelsey Hill Road across the street. The motion was seconded by Councilor Hutchinson. Unanimous voice vote carried the motion.***

Four Rod Road Update

Deputy Chief Boudreau updated the committee on Four Rod Road speed issue. The speed trailer was placed in the area for 7 days. The average speed was 19.7 mph. Councilor Walker said there was no speed issue in this area.

Councilor Hamann made a motion to adjourn the meeting at 7:28 PM. Councilor Hutchinson seconded the motion. The motion passed unanimously.

Minutes respectfully submitted by Laura Miller, Secretary II.

Public Works and Buildings Committee
Meeting Minutes
November 15, 2018
Council Chambers

MEMBERS PRESENT

Councilor Ralph Torr, Chairman
 Councilor Ray Varney- Vice Chairman
 Councilor Sandy Keans
 Councilor David Walker
 Councilor Geoffrey Hamann

OTHERS PRESENT

Blaine M. Cox, City Manager
 Peter C. Nourse PE, Director of City Service
 Daniel Camara, GIS / Asset Management

MINUTES

Chairman Torr called the Public Works and Buildings Committee to order at 7:00 PM.

1. Approve minutes from the October 18, 2018 Public Works & Building Meeting.

Chairman Torr requested comments or a recommendation on last month's meeting.
Councilor Walker made a motion to accept minutes as presented for the October 18, 2018 Public Works & Building Committee meeting. The motion was seconded by Councilor Hamann. The Motion passed unanimously.

2. Public Input

There was no public present.

3. Street Acceptances – Millers Farm Drive, Smoke Street and Laredo Lane

Mr. Nourse stated that the Department of Public Works is recommending acceptance of the three streets requested by the developers. He stated that the City Attorney and Planning have signed off and have no objections to acceptance. Mr. Nourse stated the Public Works Department recommendation was conditional pending lighting installations on Millers Farm Drive. He stated that prior to the vote, those lights should be installed as the contractor was already working on them. The acceptance should have the stipulation if lighting is completed.

Councilor Walker made a motion to recommend that the full City Council take a vote to accept Laredo Lane, Smoke Street and Millers Farm Drive as City Streets.

Councilor Walker motioned that the Millers Farm Drive lighting must be installed prior to acceptance and maintenance start. Councilor Hamann seconded the motion. The Motion passed unanimously.

4. RT202A Water Main Extension

Mr. Nourse stated that as the Committee is aware the City has received grant from the

NHDES MTBE Trust fund to address the water quality issues on Route 202A and Sullivan Farm Drive. He stated that this project would bring municipal water cross-country from RT202 through Highfields Commons Development. The project will include a water tower in the Highfields Commons Development. Mr. Nourse stated that it was documented 10 years ago when the Highfields Development was approved that the developer agreed to financial participation in the Water Booster Station, the extensions of mains up Hussey Hill Road and a contribution to the water tank installation. Mr. Nourse stated that the tank contribution could include a property donation and / or a financial contribution. He stated that this tank is necessary prior to complete build out of this development. Mr. Nourse stated that currently the developer did extend the water up Hussey Hill Road and they have recently agreed to reimburse the City a cost share of the booster station that was installed. He stated that the developer has agreed to make these payments as lots are sold or developed. Mr. Nourse stated that the booster station is currently supporting the water pressure and fire flow needs in the Highfields, Chesley Farms and the Makris Developments. He stated this booster station was not designed to fulfill the build out needs of these developments. He stated that it was designed knowing that the water tank would be installed and it would eventually be pushing the water to the tank that would supply these developments and eventually the industrial park on Ten Rod Road and the Rt. 11 business corridor. Mr. Nourse stated that when the City applied for the Trust fund grant part of the reason it was successful was that the City sited several funding sources and one of them was private contributions from developers. Mr. Nourse stated that he is discussing this now with the Councilors for them to start considering what the City Council and Planning Board might consider for private contribution request for current and future developments. Mr. Nourse displayed a raised tower option that is being discussed. He stated that this raised 750 thousand gallon tank may be the optimal design for providing fire flows and pressure to this section of the City. He stated that the highest point at the crest of Eisenhower Drive would be the best place, but that the Highfields Developers have suggested something on the back slope, as it would be better aesthetically. Councilor Varney asked about the raised tower instead of the lower type that we currently have. Mr. Nourse stated that this is in the early phase of discussion and design. He stated that the raised tank will provide additional pressure. He also stated that we have until May to accept and fund the grant project and that we will use this time to determine what is actually needed for optimal pressure and fire flows. Mr. Nourse stated that Highfields Commons absolutely needs this tower in order to finish their development and he stated that the department has met with them recently and we are having difficulty getting the actual fire flow needs from them in order to determine the actual need for the rest of the system. Mr. Nourse stated that he would be bringing this back to the Committee with numbers depicting the percentage use for each development to determine the possible cost of private contributions. Councilor Keans and Councilor Varney agreed and understood the aesthetic concerns. Mr. Nourse stated that the original written

documents did state that the City would try to minimize the visual aspects. Councilor Walker stated that it is hard to make developer pay now if it was not in the original planning documents. 4. Councilor Keans asked Mr. Nourse to confirm that these MTBE Funds could be used to for this entire project or just the mtbe issue on RT202A. All Committee members understood the concerns for esthetics.

5. 10-16 Wallace Street

Mr. Nourse stated that as the Committee is aware we have been granted an NHDES Brownfield Grant for remediation of the soils at 10-16 Wallace Street. Mr. Nourse stated that we now need the City Council to accept the grant funds, designate authorities and authorize the \$200,000 supplemental appropriation with the grant as the funding source. The Committee briefly discussed the process of removing and treating the soils.

Councilor Walker made a motion to recommend that the full City Council accept the Brownfield Grant for 10-16 Wallace Street, designate the authorities and appropriate the \$200,000 in funds with the grant as the funding source. Councilor Varney seconded the motion. The Motion passed unanimously.

6. NH Department of Transportation (DOT) Issues

Mr. Nourse stated that he had attended the NHDOT regional planning meeting and that there was much discussion about the expectation of limited State and Federal funds available for projects. He discussed the reduction of revenues and other negative impacts on the funding available. Mr. Nourse stated that specifically discussed the State Aid Bridge Program and the numerous projects slated and the limited funds to proceed. He stated for Rochester the Four Rod Road Bridge/culvert is red listed and is not likely going to be funded. He stated the City could do some repairs that will get us up to an additional ten years with the current culvert. Councilor Keans stated that she attended a meeting at the state and her impression that “shovel” ready projects would take precedent. Mr. Nourse stated that currently that is not the status of the Four Rod Road project.

7. Granite Ridge Phase 2

Mr. Nourse discussed the developer’s agreement time schedule for phase 2 of the project. He stated that in a recent meeting he had expressed the City’s concerns as it is not likely that we can meet the time schedules listed in the agreement. He stated that the City does not have enough information from the developer to design and build our portions of the roadways. Mr. Nourse stated that the agreement is vague in its descriptions as to what we are responsible to build and the drawings from the planning board are a couple of years old. Mr. Nourse stated there is now a park with a value of \$800,000 that we know nothing about and there was previously a roundabout now there is not. He stated this was discussed with a new representative for the developer and they did not express the same level of concern with the schedule being impacted. He stated that after the meeting that they have made efforts to get us some information but the take away is that the current schedule is not achievable. Councilor Varney asked if we are using the same engineering consultant that the developer is using as we did with phase one. Mr. Nourse stated that

we have been but he would like to change that if there are no objections. He stated that the design firm is in a difficult position of being in the middle when the City and the Developer are not on agreement with issues. Mr. Nourse stated that he would feel more comfortable and confident going with another firm that's only obligation is to look out for the City. He stated the firm in question is reputable and we do and will use them on other projects but he would like to change now, as it is a good breaking point. The primary engineer has left the company. The survey and borings were completed and they will be used by the new firm and we have met with both the incoming engineer for the developer and our new proposed company and there does not seem to be any issues with anyone if we change now. The Committee supported Mr. Nourse's decision to change engineers.

8. FY2020 Capital Improvement Plan (CIP) Planning & Prep

Mr. Nourse began explaining the Finance Department's new 4-3-4 plan. He stated that the accountants are looking to put a five-year rolling average maximum on bonded CIP projects that would be within our current debt limitations. The 4-3-4 plan represents annual CIP budgets of 4 million general fund, 3 million water fund and 4-million-sewer fund. Mr. Cox stated that City Staff met on November 1 to discuss plans for the FY2020 budgeting process. He stated the discussion was based on this proposed 4-3-4 plan and how it is driven by the City's debt service and meeting the statutory debt limits. Mr. Cox discussed current debt limits and the process used for forecasting budgeting limits. Mr. Cox stated that he wanted the Council to know that we are implementing procedures to meet these limits and implementing procedures which will lead to stronger debt ratings for the City overall. The new budget will have a placeholder called "draft holds". This designation will be for future projects or ideas, but will not be in the 5-year plan until pulled in. Mr. Nourse stated that he supports the plan and believes that we can work closely within the parameters. Mr. Nourse stated his concerns for the pavement condition index (PCI) which is currently 59 or a D+. He stated that the CIP Projects that include roadway-resurfacing help to maintain that level and if we cut down on those projects the PMI could slip. He stated that the 1.5 million we typically budget in the cash CIP would not be enough to maintain that level.

9. FY2020 Paving

Mr. Nourse apologized that he did not have the list of recommended streets for discussion this month. He stated that last month he had presented the draft list generated by the pavement conditions assessment software. He stated that the department had not been able to evaluate the entire list yet to give the committee the recommendations. He stated he would have the list next month for discussion and bidding as soon as possible after that.

10. DPW Facility Update

Mr. Nourse stated that Weston & Sampson has developed a schedule with milestones to

meet for this project. He will bring that for display next month. He stated that we are on schedule and in the design and development stage. He stated that staff has had several meetings to refine the indoor particulars to make sure we are planning smart. They have met with the shop supervisors to design for maintenance and equipment storage needs.

The Schedule is as follows:

Design & Development – Now through February

Initial Permitting – Now through February

Initial Cost Estimate – March

Construction Documents available between April & June of 2019

Final Permitting between April & June of 2019

The final cost estimate in July of 2019.

Quality Assurance (QA) and Quality Control (QC) review of documents also in July 2019. Bids available to bidders August 15, 2019.

Opening in October 15, 2019

Award and notice to proceed in November 2019

Construction approximately 16 months November 2019 through March 2021.

Councilor Varney asked if the footprint of the building could be moved within the lot.

Mr. Nourse stated that currently it is tentative and could be moved side-to-side or further back within the lot. He stated that we were trying to keep the building further away from the mobile home park as those are the only surrounding residential units. Councilor Varney suggested that once the design has been developed that the architects come to this Committee with renderings monthly until the final design is completed. He would like to have Council participation throughout the process.

11. Other

City Wide Parking Ban – Mr. Nourse stated that there is a Citywide Parking Ban in place tonight due to the expected 5-8” of snow.

Signalizations – Mr. Nourse stated that after last month’s discussion about the traffic congestion along the Rt. 125 Corridor, from Brock Street to Old Dover Road, he met with our traffic signalization consultants. He stated that he believe we could cover this small project with funds within the O&M City Lights Budget. He stated that they would start by putting in digital GPS clocks so that each signal would be on the exact same time without minute or second discrepancies. Then they would mount temporary cameras for a day or so to capture traffic data, and then experiment with the timings to see if we could keep the traffic moving better. Councilor Walker stated that the signals turn too quickly from the side streets stopping the traffic too often. Councilor Keans stated if each light turned quicker, no one would get frustrated. She suggested looking at the timing on North Main and Union Street. Mr. Nourse discussed the modern traffic signals and stated we should be moving in that direction.

Nate Mears, Emerging Leaders – Mr. Nourse stated that in the October DPW Report that will be in the next packet there is a write up about Nathaniel Mears. Nate is the

Municipal Services Supervisor for the Utilities Division. Mr. Nourse stated that Nate had participated in the Primex Emerging Leaders Program and that he had excelled in the program. Mr. Nourse stated that a requirement of the program included a presentation that would positively benefit our organization. Mr. Nourse stated that Nate's project was a scale model of a "Healthy Water Distribution System" that he could use for training and to demonstrate valve operation and the direction-flushing program. Mr. Nourse stated it was by far the most interesting presentation of the whole program and that Nate did an excellent job. The Committee was pleased.

Banners & Temp Signage at Community Center – Councilor Varney stated that when banners or signs are put up at the Community Center, and on the fence for events, there needs to be a policy for a better standard of sign and they must remove them in a timely manner. Councilor Keans stated that deposits used to be kept and not returned if the banners or signs were not removed. Mr. Cox stated he would look into it.

Tennis Court Lighting Project – Councilor Torr stated that he had not seen the lights working yet but they are all up and look good.

.
Councilor Walker made a motion to adjourn at 7:55 pm. Councilor Haman seconded the motion. The motion passed unanimously.

Minutes respectfully submitted by Lisa J. Clark, City of Rochester Administration and Utility Billing Supervisor.

City of Rochester, NH
Office of the Honorable Mayor Carolyn McCarley
31 Wakefield Street
Rochester, NH 03867

NP Rochester Associates, LLC
Robert Graham
PO box 178
Stratham, NH 03885

September 18, 2018

RE: Petition for Road Acceptance

Honorable Mayor,

NP Rochester Associates, LLC, respectfully submits the attached materials associated with Phase II and the Pump Station facilities for acceptance by the city of Rochester. Please find enclosed;

1. City of Rochester Street Acceptance Checklist
2. All required materials for the check list
3. Draft Road Acceptance plan
4. Draft Roadway warranty deed

Please, schedule our road acceptance process with the Planning Department and the Public Works. We have cc'd all departments with these materials.

If there are any further materials required, please do not hesitate to call.

Sincerely,

Robert Graham

NP Rochester Associates, LLC

603-479-3666

Rob@Graham-Consult.com

This conveyance is exempt from the
NH Real Estate Transfer Tax
pursuant to RSA 78-B:2 I.

This transfer is also exempt from
the LCHIP surcharge pursuant to
RSA 478:17-g II (a).

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS that **NP ROCHESTER ASSOCIATES, LLC**, a New Hampshire limited liability company with a principal place of business at 142 Portsmouth Avenue, Stratham, New Hampshire, for consideration paid, grants to **THE CITY OF ROCHESTER**, a New Hampshire municipal corporation with a place of business at 31 Wakefield Street, Rochester, New Hampshire, with WARRANTY COVENANTS, the following described premises:

Certain roadways located in the City of Rochester, Strafford County, State of New Hampshire, being bounded and described as follows:

Beginning at a point on the southerly side line of Miller's Farm Drive N 52°37'58"
W a distance of 4.09' from the northeast corner of lot 215A-12-91 and the
northeast corner of lot 215A-12-92,

thence across Miller's Farm Drive N 37°22'02" E a distance of 50.00' to a point at
lot 215A-12 and on the northeasterly side line of Miller's Farm Drive

thence turning and running along Miller's Farm Drive S 52°37'58" E a distance of
104.94' to a point,

thence along a curve turning to the right with a radius of 175.00' and a length of
361.66' to a point,

thence turning and running S 65°46'40" W a distance of 61.72' to a point,

thence along a curve turning to the right with a radius of 175.00' and a length of
234.39' to a point,

thence along a curve turning to the left with a radius of 535.00' and a length of
181.23' to a point,

thence along a curve turning to the right with a radius of 175.00' and a length of
334.29' to a point,

thence along a curve turning to the left with a radius of 475.00' and a length of 92.44' to a point,

thence turning and running across Miller's Farm Drive S 48°35'32" E a distance of 50.00' to a point;

thence along a curve turning to the right with a radius of 525.00' and a length of 102.17' to a point,

thence along a curve turning to the left with a radius of 125.00' and a length of 238.78' to a point,

thence along a curve turning to the right with a radius of 585.00' and a length of 198.17' to a point,

thence along a curve turning to the left with a radius of 125.00' and a length of 21.55' to a point at the southeast corner of lot 215A-12-98 and the southwest corner of a proposed pump station easement that is located on lot 215A-12-93,

thence along a curve turning to the left with a radius of 125.00' and a length of 74.60' and said pump station easement to a point at the southwest corner of lot 215A-12-97,

thence along a curve turning to the left with a radius of 125.00' and a length of 71.27' and lot 215A-12-97 to a point,

thence turning and running N 65°46'40" E a distance of 61.72' to a point,

thence along a curve turning to the left with a radius of 125.00' and a length of 258.33' to a point,

thence turning and running N 52°37'58" W a distance of 104.94' to the point of beginning.

Believed but not warranted to contain 62,555 square feet or 1.44 acres.

Meaning and intending to convey a portion of Miller's Farm Drive, as shown on a plan entitled "Road Acceptance Plan, Phase III, Miller's Farm Road, Rochester, Strafford County, New Hampshire, for NP Rochester Associates, LLC & The City of Rochester", September 2018, as revised, by Norway Plains Associates, Inc., to be recorded herewith at the Strafford County Registry of Deeds.

For title reference see re-recorded Warranty Deed from Barbara A. Deneault and Michael D. Tancreti, as Trustees of Norway Plains Realty Trust to NP Rochester Associates, LLC recorded in the Strafford County Registry of Deeds at Book 4096, Page 0385.

Executed as a sealed instrument this ____ day of _____, 2018.

NP ROCHESTER ASSOCIATES, LLC

By: _____
Robert V. Graham III, Manager

STATE OF NEW HAMPSHIRE
COUNTY OF _____

On this, the ____ day of _____, 2018, personally appeared the above named Robert V. Graham III, duly authorized Manager of NP Rochester Associates LLC, a new Hampshire limited liability company, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument and acknowledged the same to be his free act and deed for the purposes contained therein on behalf of the limited liability company. Before me,

Notary Public/Justice of the Peace
Print Name: _____
Commission expires: _____

ACCEPTANCE

The undersigned City of Rochester hereby accepts this Deed and the roadways herein described as public streets within the City of Rochester.

CITY OF ROCHESTER

By: _____
Name: _____
Title: _____
Being duly authorized

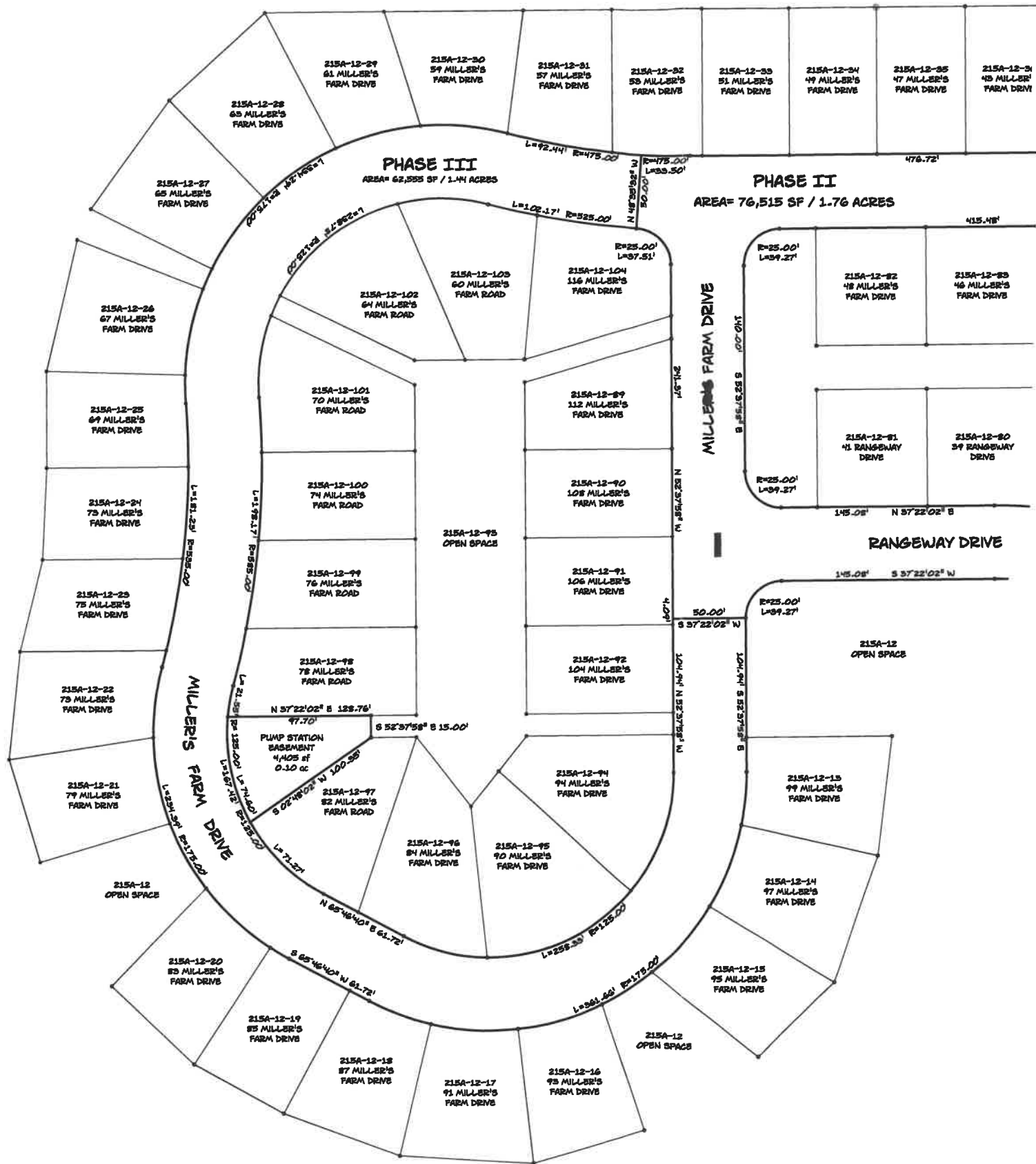
STATE OF NEW HAMPSHIRE
COUNTY OF _____

On this, the ____ day of _____, 2018, personally appeared the above named _____, duly authorized _____ of the City of Rochester, known to me or satisfactorily proven to be the person whose name is subscribed to the foregoing instrument and acknowledged the same to be her/his free act and deed for the purposes contained therein on behalf of the City. Before me,

Notary Public/Justice of the Peace
Print Name: _____
Commission expires: _____

LAND SURVEYORS

CIVIL ENGINEERS



I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



JOEL D. RUNNALS, L.L.S. No. 865
ON BEHALF OF NORWAY PLAINS ASSOCIATES, INC.

FOR RECORDING
ROCHESTER PLANNING BOARD

CERTIFIED BY _____ DATE _____

REFERENCE PLAN:

1. "AMENDED SUBDIVISION PLAN, NORWAY PLAINS ROAD, ROCHESTER, NH, FOR NP REALTY ASSOCIATES, LLC"
DATED: JULY 2013 BY NORWAY PLAINS ASSOCIATES, INC.
RECORDED: SCRD 106-45, 106-46, 106-47
2. "ROAD ACCEPTANCE PLAN PHASE IA, NORWAY PLAINS RD, RANGWAY DR, LANTERN LN, & MILLER'S FARM RD, ROCHESTER, STRAFFORD COUNTY, NH FOR NP ROCHESTER ASSOC., LLC & THE CITY OF ROCHESTER, NH"
DATED: DEC 2014 BY NORWAY PLAINS ASSOCIATES, INC.
RECORDED: SCRD 109-85

NOTE:

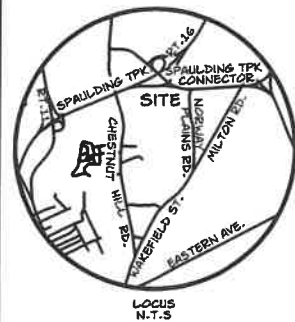
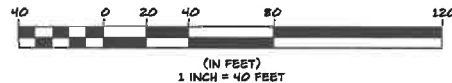
THE PURPOSE OF THIS PLAN IS TO DEPICT THE BOUNDARY OF THAT PORTION OF TM 215A-12-106 THAT IS PHASE II OF THE CITY OF ROCHESTER'S ACCEPTANCE OF THE ROAD SYSTEM SHOWN ON THE EXISTING REFERENCED SUBDIVISION PLANS, AND TO DESIGNATE THE LIMIT AREA OF WINTER SNOW PLOWING.

TAX MAP 215A, LOT 12-106
OWNER OF RECORD:
NP ROCHESTER ASSOCIATES, LLC
PO BOX 178, STRATHAM, NH 03885-0178
SCRD BOOK 4096, PAGE 385

ROAD ACCEPTANCE PLAN
PHASE III
MILLER'S FARM ROAD
ROCHESTER
STRAFFORD COUNTY
NEW HAMPSHIRE

FOR: NP ROCHESTER ASSOCIATES LLC
& THE CITY OF ROCHESTER, NEW HAMPSHIRE

1"= 40' SEPTEMBER 2018
GRAPHIC SCALE



FILE NO. 149
PLAN NO. C-2295-RA-III
DWC. NO. 14186/S-6
F.B. NO.

31 MOONEY STREET, ALTON, NH 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 CONTINENTAL BLVD., ROCHESTER, NH 603-335-3948



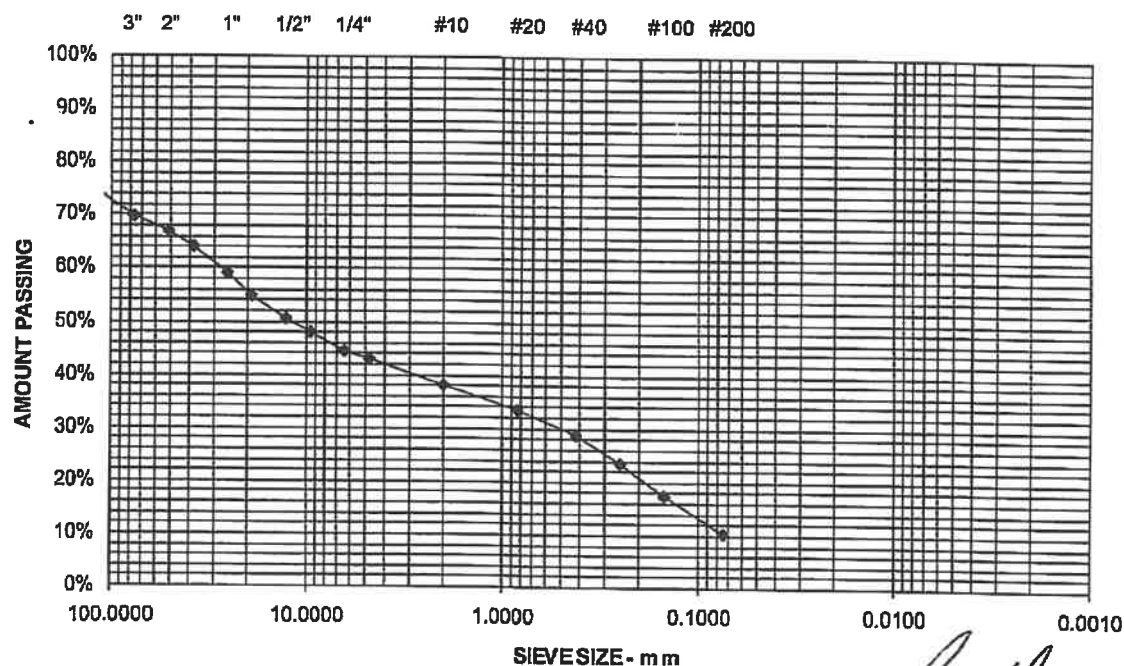
Report of Gradation

ASTM C-117 & C-136

Project Name ROCHESTER NH - NORWAY PLAINS SUBDIVISION -
CONSTRUCTION MATERIAL TESTING SERVICES
Client SEVERINO TRUCKING
Material Type 6" MINUS GRAVEL
Material Source RT 11. ROCHESTER, NH

Project Number 11-0052.50
Lab ID 14879S
Date Received 7/25/2016
Date Completed 7/27/2016
Tested By BRADLEY GERSCHWILER

<u>STANDARD</u> <u>DESIGNATION (mm/um)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	<u>SPECIFICATIONS (%)</u>
200 mm	8"	84	
100 mm	4"	73	
75 mm	3"	70	
50 mm	2"	67	
38.1 mm	1-1/2"	64	
25.0 mm	1"	59	
19.0 mm	3/4"	55	
12.5 mm	1/2"	50	
9.5 mm	3/8"	48	
6.3 mm	1/4"	45	
4.75 mm	No. 4	43	
2.00 mm	No. 10	38	
850 um	No. 20	33	
425 um	No. 40	29	
250 um	No. 60	23	
150 um	No. 100	18	
75 um	No. 200	10.3	



Comments 100% Passing The 10" Sieve

10 Centre Road, Somersworth, NH 03878-2926 • Tel (603) 692-0088 • Fax (603) 692-0044 • www.swcole.com



Report of Field Density ASTM D6938

Project: ROCHESTER NH - NORWAY PLAINS SUBDIVISION - CONSTRUCTION
MATERIAL TESTING SERVICES

Project Number: 11-0052.50

Client: SEVERINO TRUCKING

Field Density Test Results

Test #	Test Date	Tech	Test Location	Elev Feet	Test Depth	Lab ID	Dry Density	Moisture Content Percent	Compaction Percent	Required Compaction
24	7/27/2016	RKK	STA: 19+50' ; 10' RT OF CL	98.2	12	14880S	131.4	3.5	98.4	95
25	7/27/2016	RKK	STA: 18+50' ; 10' LT OF CL	98.2	12	14880S	134.6	3.5	100.7	95
26	7/27/2016	RKK	STA: 17+50' ; 10' RT OF CL	98.2	12	14880S	127.1	3.8	95.1	95
27	7/27/2016	RKK	STA: 16+50' ; 10' LT OF CL	98.2	12	14880S	132.0	4.4	98.8	95
28	7/27/2016	RKK	STA: 15+50' ; 10' RT OF CL	98.2	12	14880S	127.2	4.9	95.2	95

Laboratory Compaction Test Reference

Lab ID	Date Received	Material Source	Material Type	Method	Max Dry Density PCF	Optimum Moisture Content (%)	Comments
14880S	7/25/2016	RT 11 - ROCHESTER, NH	6" CRUSHED STONE BASE	ASTM D-1557 Modified C	133.6	7.6	

Elevation Notes:

TOP OF PAVEMENT = 100.0'

Comments:

TESTS PERFORMED ON MILLERS FARM ROAD SUBGRADE.
CL - CENTER LINE / RT - RIGHT / LT - LEFT

Reviewed By



Report of Field Density ASTM D6938

Project: ROCHESTER NH - NORWAY PLAINS SUBDIVISION - CONSTRUCTION
MATERIAL TESTING SERVICES

Project Number: 11-0052.50

Client: SEVERINO TRUCKING

Field Density Test Results

Test #	Test Date	Tech	Test Location	Elev Feet	Test Depth	Lab ID	Dry Density	Moisture Content Percent	Compaction Percent	Required Compaction
29	7/28/2016	SLP	STA: 19+00' ; 2' LT	99.25	12	14881S	132.1	4.9	97.8	95
30	7/28/2016	SLP	STA: 18+00' ; 1' RT	99.25	12	14881S	128.4	4.6	95.0	95
31	7/28/2016	SLP	STA: 17+00' ; 10' LT	99.25	12	14881S	132.5	3.9	98.1	95
32	7/28/2016	SLP	STA: 16+00' ; 15' RT	99.25	12	14881S	130.1	4.0	96.3	95
33	7/28/2016	SLP	STA: 15+00' ; 4' LT	99.25	12	14881S	130.5	5.8	96.6	95
34	7/28/2016	SLP	STA: 14+50' ; 14' RT	99.25	12	14881S	129.3	3.8	95.7	95

Laboratory Compaction Test Reference

Lab ID	Date Received	Material Source	Material Type	Method	Max Dry Density PCF	Optimum Moisture Content (%)	Comments
14881S	7/25/2016	SUNNINGDALE - SOMERSWORTH, NH	3" CRUSHED GRAVEL BLEND	ASTM D-1557 Modified C	135.1	6.7	

Elevation Notes:

Comments:

TESTS PERFORMED ON ROAD SUBBASE


 Reviewed By



Report of Field Density ASTM D6938

Project: DOVER NH - POINT PLACE - CONSTRUCTION MATERIALS TESTING SERVICES

Project Number: 11-0052.52

Client: SEVERINO TRUCKING

Field Density Test Results

Test #	Test Date	Tech	Test Location	Elev Feet	Test Depth	Lab ID	Dry Density	Moisture Content Percent	Compaction Percent	Required Compaction
13	12/15/2015	MRS	160' E & 35' N OF SWBC	615	12	14273S	123.8	4.3	97.1	95
14	12/15/2015	MRS	90' W & 25' S OF NEBC	612	12	14273S	125.7	4.0	98.6	95
15	12/15/2015	MRS	30' W & 25' S OF NEBC	612	12	14273S	125.9	3.6	98.7	95
16	12/15/2015	MRS	100' W & 25' N OF SEBC	615	12	14273S	129.2	4.0	101.3	95
17	12/15/2015	MRS	90' W & 20' N OF SEBC	615	12	14273S	121.7	4.2	95.5	95

Laboratory Compaction Test Reference

Lab ID	Date Received	Material Source	Material Type	Method	Max Dry Density PCF	Optimum Moisture Content (%)	Comments
14273S	12/14/2015	STCI Proven Pit	4" Crushed 2:1 Blend	ASTM D-1557 Modified A	127.5	7.3	

Elevation Notes:

Comments:

TESTS PERFORMED ON STRUCTURAL FILL

SWBC - SOUTHWEST BUILDING CORNER / NEBC - NORTHEAST BUILDING CORNER / SEBC - SOUTHEAST BUILDING CORNER


 Reviewed By



Report of Moisture-Density

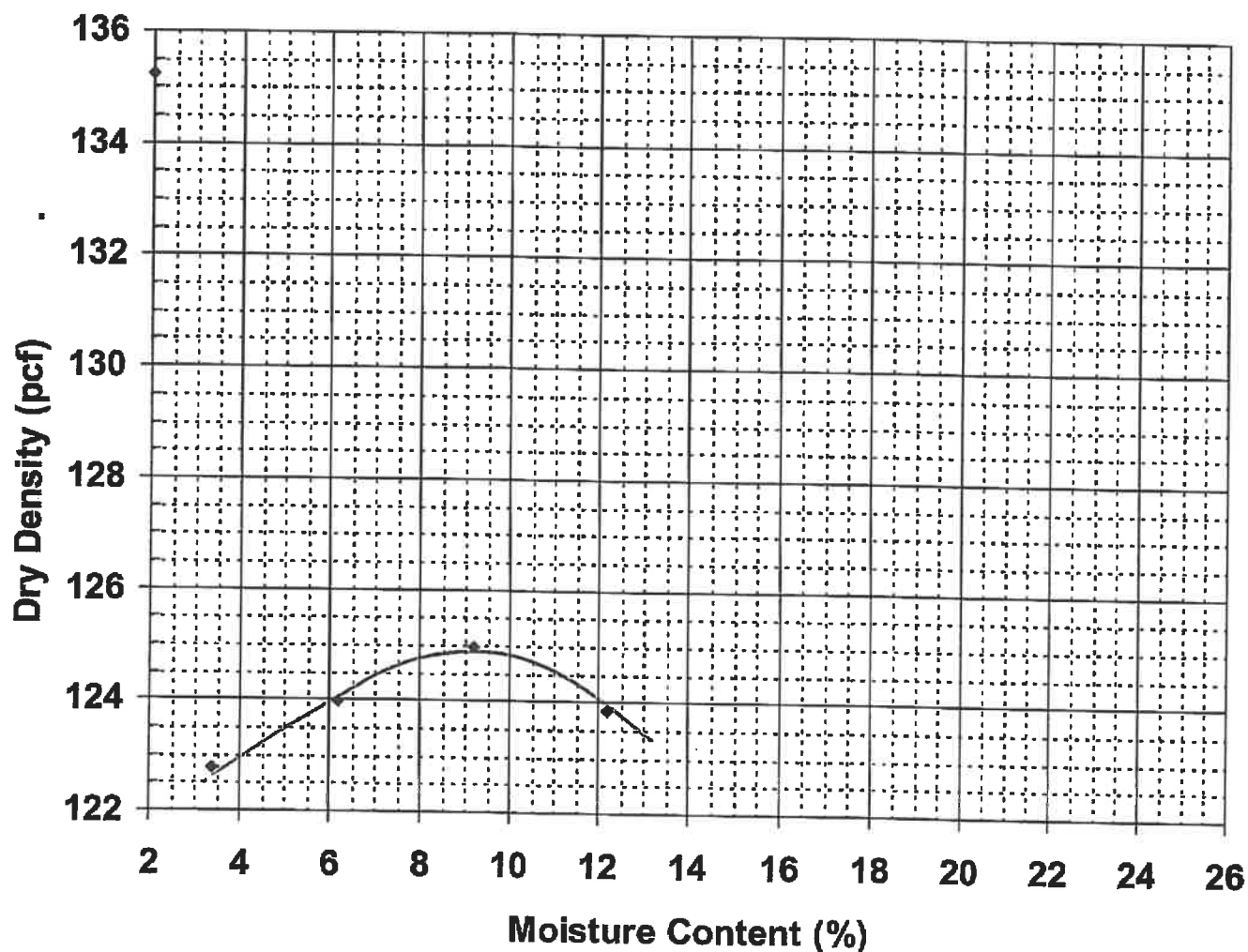
Method ASTM D-1557 MODIFIED

Procedure C

Project Name ROCHESTER NH - NORWAY PLAINS SUBDIVISION -
CONSTRUCTION MATERIAL TESTING SERVICES
Client SEVERINO TRUCKING
Material Type 3" CRUSHED GRAVEL BLEND
Material Source SUNNINGDALE - SOMERSWORTH, NH

Project Number 11-0052.50
Lab ID 14881S
Date Received 7/25/2016
Date Completed 7/27/2016
Tested By BRADLEY GERSCHWILER

Moisture-Density Relationship Curve



Maximum Dry Density (pcf) 125
Optimum Moisture Content (%) 9.2
Percent Oversized 35.0%

Corrected Dry Density (pcf) **135.1**
Corrected Moisture Content (%) **6.7**

Comments

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Report of Gradation

ASTM C-117 & C-136

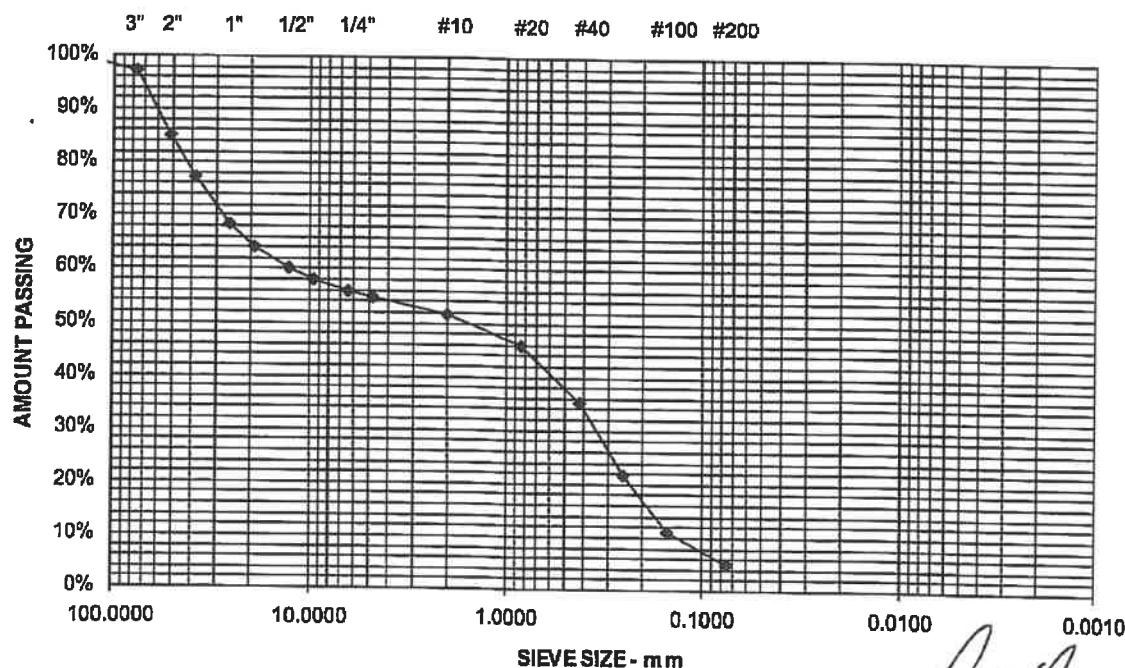
Project Name ROCHESTER NH - NORWAY PLAINS SUBDIVISION -
CONSTRUCTION MATERIAL TESTING SERVICES
Client SEVERINO TRUCKING
Material Type 3" CRUSHED GRAVEL BLEND
Material Source SUNNINGDALE - SOMERSWORTH, NH

Project Number 11-0052.50
Lab ID 14881S
Date Received 7/25/2016
Date Completed 7/26/2016
Tested By BRADLEY GERSCHWILER

<u>STANDARD</u> <u>DESIGNATION (mm/μm)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	<u>NHDOT 304.2 GRAVEL</u> <u>SPECIFICATIONS (%)</u>
150 mm	6"	100	100
75 mm	3"	97	
50 mm	2"	85	
38.1 mm	1-1/2"	77	
25.0 mm	1"	68	
19.0 mm	3/4"	64	
12.5 mm	1/2"	60	
9.5 mm	3/8"	58	
6.3 mm	1/4"	56	
4.75 mm	No. 4	55	25 - 70
2.00 mm	No. 10	52	
850 μm	No. 20	46	
425 μm	No. 40	35	
250 μm	No. 60	22	
150 μm	No. 100	11	
75 μm	No. 200	5.1	
75 μm	No. 200*	9.4	0 - 12

* OF THE FRACTION PASSING THE NO. 4 SIEVE

SAMPLE MEETS SPECIFICATION



Comments

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Report of Moisture-Density

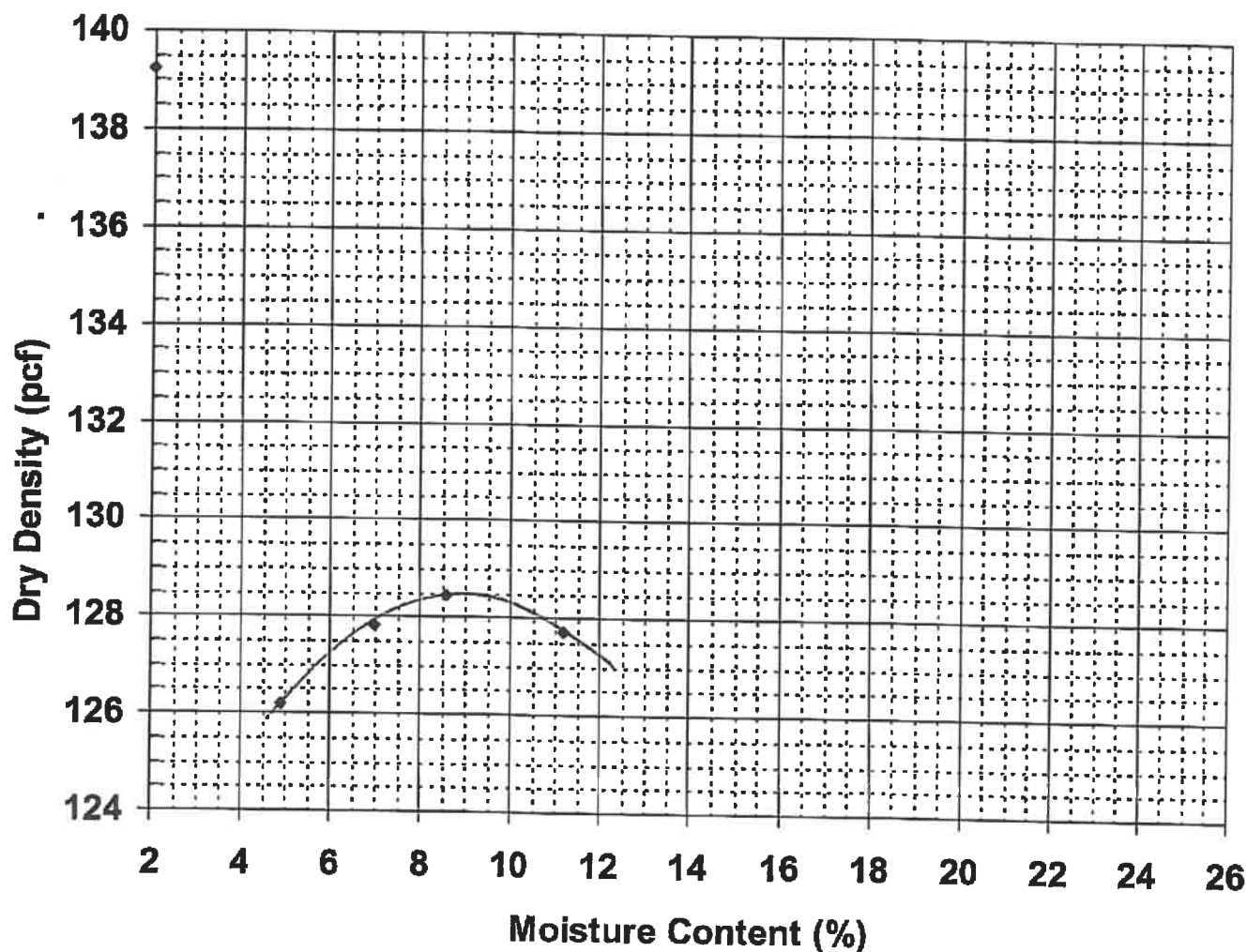
Method ASTM D-1557 MODIFIED

Procedure C

Project Name ROCHESTER NH - NORWAY PLAINS SUBDIVISION -
CONSTRUCTION MATERIAL TESTING SERVICES
Client SEVERINO TRUCKING
Material Type 6" CRUSHED STONE BASE
Material Source RT 11 - ROCHESTER, NH

Project Number 11-0052.50
Lab ID 14880S
Date Received 7/25/2016
Date Completed 7/29/2016
Tested By BRADLEY GERSCHWILER

Moisture-Density Relationship Curve



Maximum Dry Density (pcf) 128.6
Optimum Moisture Content (%) 9
Percent Oversized 20.5%

Corrected Dry Density (pcf) 133.6
Corrected Moisture Content (%) 7.6

Comments

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Report of Gradation

ASTM C-117 & C-136

Project Name ROCHESTER NH - NORWAY PLAINS SUBDIVISION -
CONSTRUCTION MATERIAL TESTING SERVICES

Project Number 11-0052.50

Client SEVERINO TRUCKING

Lab ID 14880S

Material Type 6" CRUSHED STONE BASE

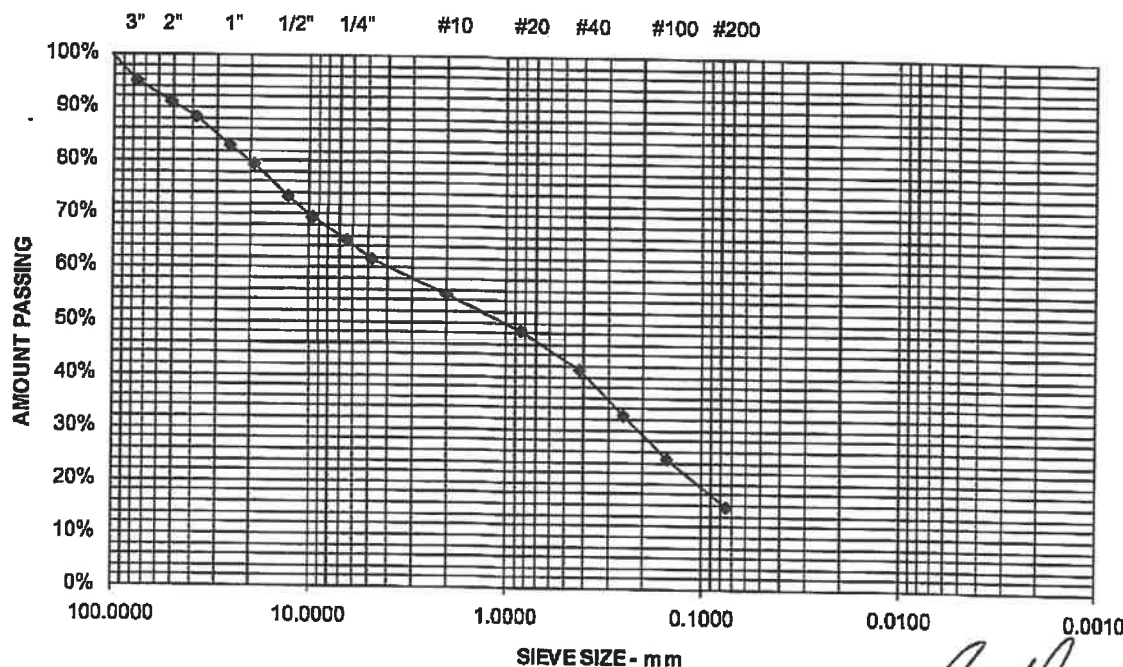
Date Received 7/25/2016

Material Source RT 11 - ROCHESTER, NH

Date Completed 7/27/2016

Tested By BRADLEY GERSCHWILER

<u>STANDARD</u> <u>DESIGNATION (mm/μm)</u>	<u>SIEVE SIZE</u>	<u>AMOUNT PASSING (%)</u>	<u>SPECIFICATIONS (%)</u>
100 mm	4"	100	
75 mm	3"	95	
50 mm	2"	91	
38.1 mm	1-1/2"	88	
25.0 mm	1"	83	
19.0 mm	3/4"	79	
12.5 mm	1/2"	73	
9.5 mm	3/8"	69	
6.3 mm	1/4"	65	
4.75 mm	No. 4	62	
2.00 mm	No. 10	55	
850 μm	No. 20	48	
425 μm	No. 40	41	
250 μm	No. 60	33	
150 μm	No. 100	25	
75 μm	No. 200	15.8	



Comments

10 Centre Road, Somersworth, NH 03878-2926 • Tel (603) 692-0088 • Fax (603) 692-0044 • www.swcole.com



Soils Observation Report

Project Name/Location:	Norway Plains Subdivision	Project No:	11-0052.50
Client/Client's Rep.:	Severino	Date:	7-28-2016
Earthwork Contractor:	S.U.R	Sheet:	1 of 1
SWCE Rep.:	Severino	Arrived at Site:	3:00 pm
		Left Site:	3:45 pm

Weather			Site Conditions		Materials Used
<input type="checkbox"/> Clear	<input type="checkbox"/> Snow	<input checked="" type="checkbox"/> Warm	<input checked="" type="checkbox"/> Dusty	<input type="checkbox"/> Snow	<input checked="" type="checkbox"/> 14881S 6" Minus Gravel
<input checked="" type="checkbox"/> M. Sunny	<input type="checkbox"/> Fog	<input type="checkbox"/> Hot	<input checked="" type="checkbox"/> Muddy	<input type="checkbox"/>	
<input type="checkbox"/> Rain	<input type="checkbox"/> Cold	<input type="checkbox"/> Breezy	<input type="checkbox"/> Frozen	Temp: 80° F	

Soils Work Performed:		<input type="checkbox"/> Site Prep	<input checked="" type="checkbox"/> Earthwork	<input type="checkbox"/> Planting Soils
<input type="checkbox"/> Building Earthwork	<input type="checkbox"/> Utilities Earthwork	<input type="checkbox"/>	<input type="checkbox"/>	

Compaction Equipment Used: ☒ Large Roller ☐ Small Roller ☐ Trench Roller ☐ Large Plate Tamp
☐ Small Tamp ☐ Jumping Jack ☐

Soils Observations	In Compliance		Comments
Site Preparation:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Fill Placement:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Material Type (<i>proper material used</i>):	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	6" Minus Gravel
Lift Size:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	~12"
Compaction:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	95% or greater
In-place Densities:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
In-place Density Frequency:	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	~100'
Non-Conformance Items	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	

Non-Conformance Item Description:

Action Taken by SWCE:

Person(s) Notified:

Notes: Area(s) of Observation and Discussions:

Severino placed a 6" minus gravel as a road subbase. Field density tests were performed at approximate 100' spacing from stations 19+00 - 14+00. The material appeared well compacted and achieved a minimum 95% compaction as per ASTM D-1557.

Attachments: _____

Reviewed By: 

SEACOAST ANALYTICAL SERVICES

Route 125 & Pinkham Road
 Lee, New Hampshire
 603 868 1457

(Mail to: PO Box 555, Barrington, NH 03825)

**WATER TEST RESULTS**

Date: August 1, 2016

Reference #: S07296X

Client: Severino Trucking

Water location: Norway Plains
 Millers Farm Road Water Main
 Rochester, NH

Test Method	ANALYTE (mg/L) = milligrams per liter	EPA recommended concentration	YOUR WATER'S VALUE	Exceeds Primary Standard
COLILERT	Total Coliform Bacteria	absent	absent	-
COLILERT	<u>E. Coli</u> Bacteria	absent	absent	-

THE TESTED PARAMETERS MEET FEDERAL PRIMARY DRINKING WATER STANDARDS. Analytes which exceed the recommended concentration or range are indicated with an X above. This report relates only to the sample received.

<http://des.nh.gov/organization/commissioner/pip/index.htm>
 is the NHDES website where you can get information about water contaminants. Scroll down to 'Publications', and choose 'Fact Sheets', then Drinking Water/Ground Water.

Date/time sampled: 07/29/16 12:00
 COLILERT analysis: 07/29/16 16:00
 Date rec'd: 07/29/16
 Temp (°C) rec'd: 24

THIS REPORT IS CONFIDENTIAL. IF YOU RECEIVE THIS INFORMATION IN ERROR, PLEASE CALL 603-868-1457.

SEACOAST ANALYTICAL SERVICES is a NHELAP Accredited Laboratory (# 1733) for the analysis of fluoride, chloride, nitrite-N, nitrate-N, pH, sodium, calcium, magnesium, total hardness, iron, manganese, lead, arsenic, copper, total coliform bacteria and E. coli bacteria by Colilert and Colisure. This sample was received and analyzed in compliance with the National Environmental Laboratory Accreditation Conference (NELAC) requirements unless noted. Please call with questions regarding this analysis, or anytime that we might be of service.

Seacoast Analytical Services - TRUE COPY

Katy Anderson, Technical Director

THE TESTING & CORING CO.



329 RAND HILL ROAD
ALTON BAY, NH 03810

Telephone 603-875-3858
Cell 603-534-0288
Fax 603-875-8585

testingandcoring.com

SEWER TEST REPORT

DATE: 3/12/15

CONTRACTOR:

Severino Trucking
Candia N.H.

TEST LOCATION:

214374
Norway Plains
Phase II
Rochester N.H.

Station Number	Length & Diameter or Depth	Amount of Pressure or Vacuum	Length of Test	Drop (if any)	Pass
SMH # 19 to SMH # 19	+ - 6'	10 Hg.	2 min.	X	Pass
SMH # 19 to SMH # 20	+ - 96' x 8" PVC	4 #	5 min.	X	Pass
SMH # 20 to SMH # 20	+ - 6'	10 Hg.	2 min.	X	Pass
SMH # 20 to SMH # 21	+ - 259' x 8" PVC	4 #	5 min.	X	Pass
SMH # 21 to SMH # 21	+ - 6'	10 Hg.	2 min.	X	Pass
SMH # 21 to SMH # 22	+ - 6'	10 Hg.	2 min.	X	Pass
SMH # 22 to SMH # 22	+ - 259' x 8" PVC	4 #	5 min.	X	Pass
SMH # 22 to SMH # 23	+ - 227' x 8" PVC	4 #	5 min.	X	Pass
SMH # 23 to SMH # 23	+ - 111' x 8" PVC	4 #	5 min.	X	Pass
SMH # 23 to SMH # 24	+ - 164' x 8" PVC	4 #	5 min.	X	Pass
SMH # 23 to SMH # 23	Existing + - 6'	10 Hg.	2 min.	X	Pass
SMH # 23 to SMH # 24	+ - 6'	10 Hg.	2 min.	X	Pass

Test Accepted by:

THE TESTING & CORING CO.

Comments:

Ben Shibley

Page 1 of 1

WATER LINE PRESSURE TEST**UNDERGROUND TESTING AND SERVICES, INC.**

809 Back Mountain Road
 Goffstown, NH 03045
 Tel/Fax (603) 497-5549
 Cell (603) 759-4088



213374-20601

Client: Severino truckingProject Name: Norway Plains ^{MAN}

Address: _____

Location: Willows FarmRochester NHTest Date: 7-26-16Water System: RochesterDiameter of Main: 8"Length of Main: 630'Time Start: 1035Time Finished: 1235Static Pressure: 65

Diameter of Main: _____

Length of Main: _____

Test Requirements: 150 PSI for 2 Hrs.Allowable Leakage Loss: 0 OZ. for 2 Hrs.Actual Loss: 0 OZ. for 2 Hrs.Inspector: markHydrostatic Pressure Test: _____ Passed _____ Failed

Approved by: _____ Date: _____

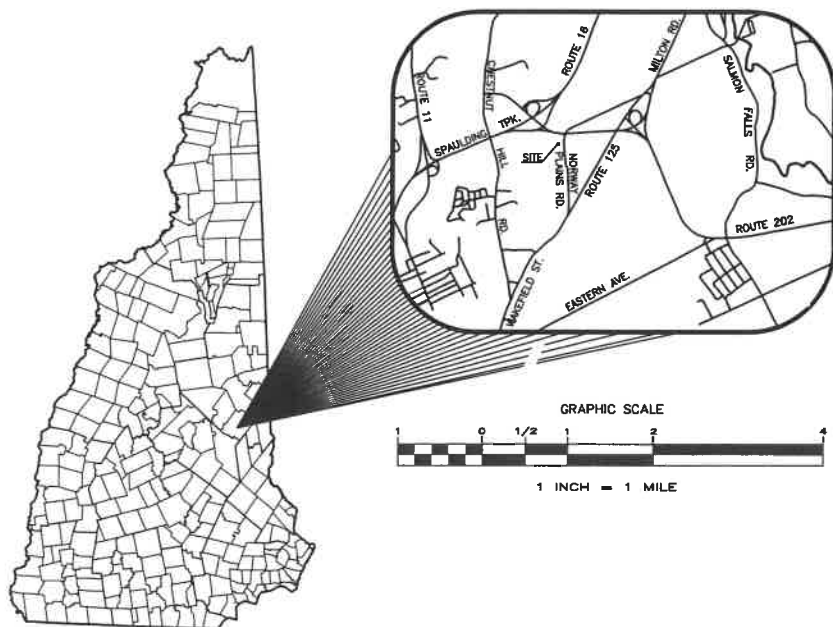
UTS Operator: Sean Lynch Date: 7-26-16Chlorination Requirements: 5 Gallons of 12.5 % Solution.

Results and Comments: _____



REVISIONS:

AMENDED SUBDIVISION PLAN FOR NP REALTY ASSOCIATES, LLC NORWAY PLAINS ROAD ROCHESTER, NH JULY 2013



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-335-3948.

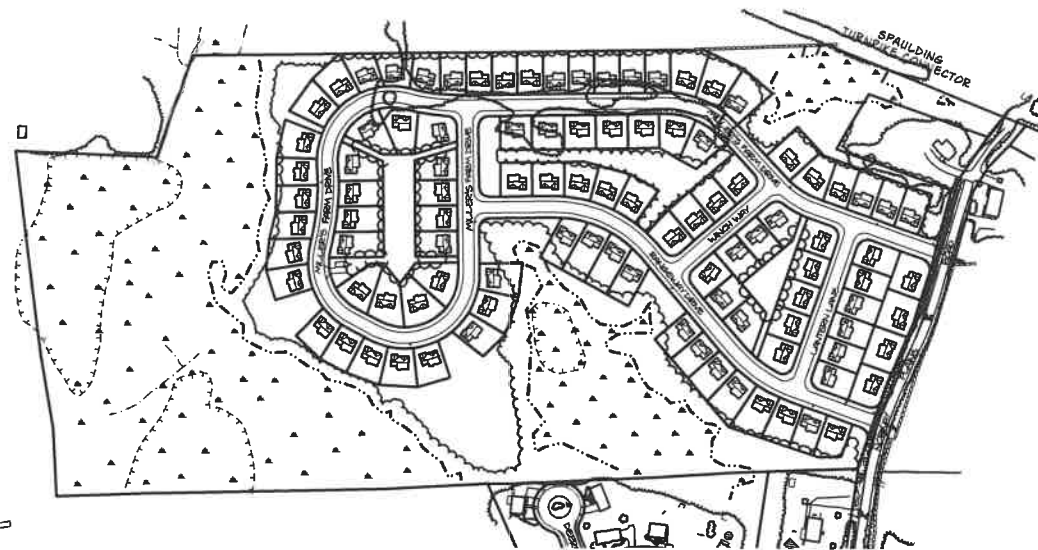
STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES SITE SPECIFIC: NPS-7285
NHDES SEWER CONNECTION PERMIT: D2009-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.



GRAPHIC SCALE
(IN FEET)
1 INCH = 200FT.

CIVIL ENGINEERS
NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
P.O. BOX 249
ROCHESTER, NEW HAMPSHIRE 03866-0249
(603) 335-3948

LAND OWNER
NP REALTY ASSOCIATES, LLC
P.O. BOX 178
STRATHAM, NEW HAMPSHIRE 03888-0178
(603) 479-3666

DEVELOPER
NP REALTY ASSOCIATES, LLC
P.O. BOX 178
STRATHAM, NEW HAMPSHIRE 03888-0178
(603) 479-3666

SHEET INDEX		
	COVER SHEET	AS SHOWN
S1	OVERALL SUBDIVISION PLAN	1" = 100'
S2	SUBDIVISION PLAN	1" = 40'
S3	SUBDIVISION PLAN	1" = 40'
S4	OVERALL TOPOGRAPHIC PLAN	1" = 100'
C1-C7	GRADING, DRAINAGE STRUCTURES AND EROSION CONTROL PLAN AND PROFILES	1" = 40'
CB-C14	UTILITIES PLAN AND PROFILES	1" = 40'
C15-C16	ROADWAY IMPROVEMENT AND SEWER PLAN AND PROFILE NORWAY PLAINS ROAD	1" = 40'
C17	EROSION CONTROL DETAILS	AS SHOWN
C18	EROSION CONTROL AND DETENTION POND DETAILS	AS SHOWN
C19	DRAINAGE STRUCTURE DETAILS	AS SHOWN
C20	CONSTRUCTION DETAILS	AS SHOWN
C21	UTILITIES DETAILS	AS SHOWN
C22-C23	SEWER DETAILS	AS SHOWN
C24	PUMP STATION DETAILS	AS SHOWN
C25	PUMP STATION ELEVATIONS	AS SHOWN

FILE NO. 149
PLAN NO. C-2295-S
DWG. NO. 02184\S-4
F.B. NO.

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249

ABUTTERS MAP-LOT	OWNER	MAILING ADDRESS
215-4	PAUL W. & MICHELLE E. LACLAIR	11 BUTTERFLY LANE; ROCHESTER, NH 03867
222-72	JOSEPH M. & JAMIE MARSTON	25 DEERFIELD COURT; ROCHESTER, NH 03867
215-7	JESSE S. & MICHAEL M. MOONEY	16 NORWAY PLAINS ROAD; ROCHESTER, NH 03866-8807
215-12-0	OPEN SPACE, COMMON OWNERSHIP	2 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-2	RONALD R. & PATRICIA D. GAGNON	6 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-3	RONALD A. & PATRICIA R. MOODY	10 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-4	TODD J. & TRACY M. MAUSER	12 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-5	LOREN E. & NANCY J. SMITH	14 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-6	PAUL M. & TINA SIBOS	16 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-7	JAMES D., KATHY SUE, & JESSICA E. SPEILMAN	18 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-10	MATTHEW J. LEFEVRE & NICOLE M. PELLETIER	15 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-11	BARRY AN NICKERSON	9 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-12	ROBERT N. SR. & ROSE H. ACKERSON	7 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-13	ALLEGRA L. & ARON S. ROSLER	2 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-14	DEBRA S. HADDEN	22 NORWAY PLAINS ROAD; ROCHESTER, NH 03867
215-12-15	MATTHEW L. DUPREY & ASHLEY L. HANCOCK	20 NORWAY PLAINS ROAD; ROCHESTER, NH 03867
215-12-16	WILLIAM, LISA & ALICIA MARIE ORR	1 RANGWAY DRIVE; ROCHESTER, NH 03867

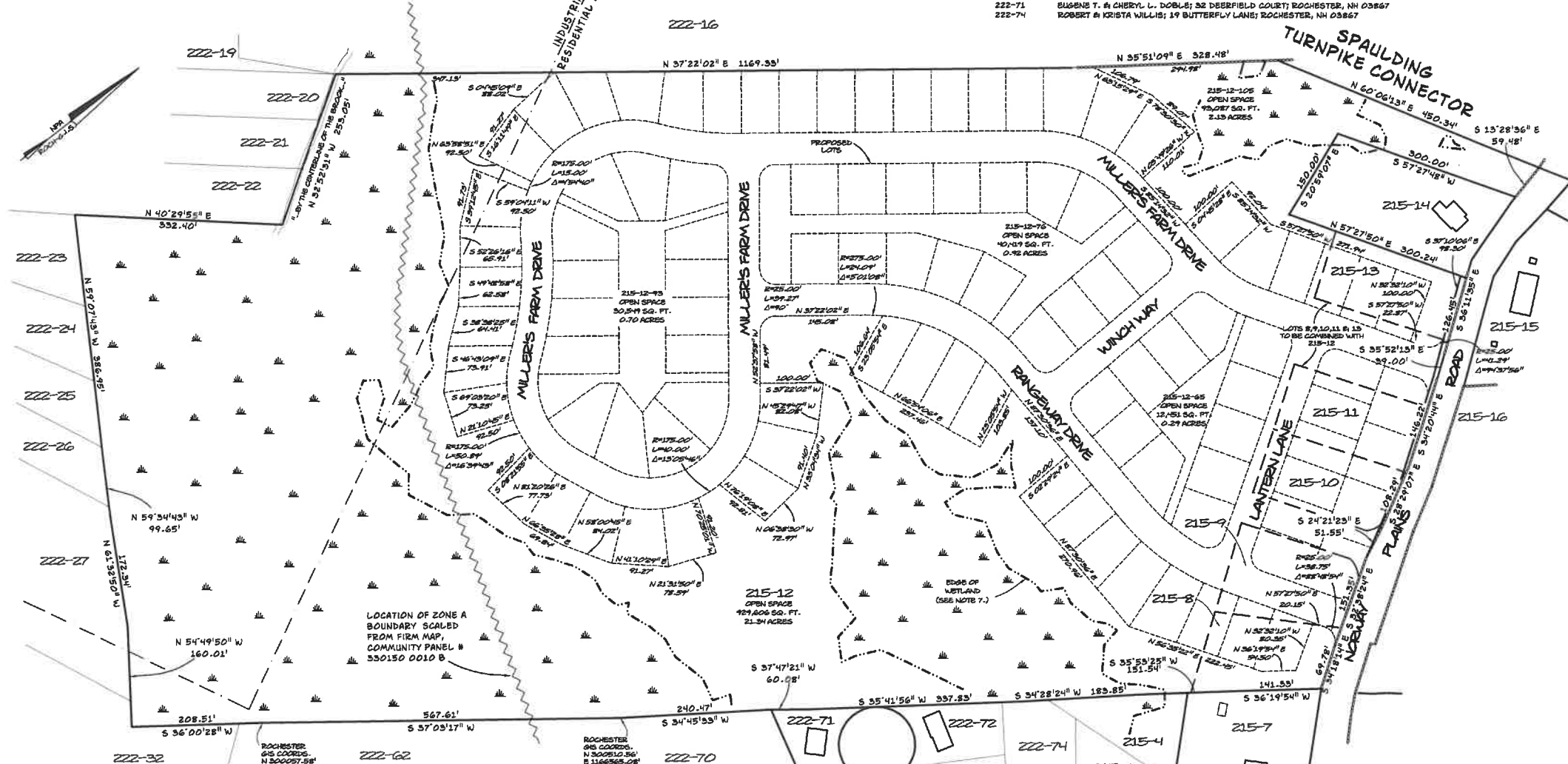
215-12-54	PAMELA WHITE	5 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-55	RENE A. RAINVILLE	3 LANTERN LANE; ROCHESTER, NH 03867
215-12-56	THOMAS CHARLES, JR. & JENNIFER MARIE DALY	7 LANTERN LANE; ROCHESTER, NH 03867
215-12-57	THOMAS M. & BRENDA L. DUNN	9 LANTERN LANE; ROCHESTER, NH 03867
215-12-58	WERYL J. JENKINS	11 LANTERN LANE; ROCHESTER, NH 03867
215-12-59	COVILLE FAMILY REVOCABLE TRUST, PAMELA S. COVILLE, TRUSTEE	13 LANTERN LANE; ROCHESTER, NH 03867
215-12-62	BEN C. & ACINTYA M. FOSTER	8 LANTERN LANE; ROCHESTER, NH 03867
215-12-65	OPEN SPACE, COMMON OWNERSHIP	13 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-82	NORWAY PLAINS REALTY TRUST, BARBARA A. DENSAULT & MICHAEL D. TANCREST, TRUSTEES	18 MILLERS FARM ROAD; ROCHESTER, NH 03867
215-12-105	OPEN SPACE, COMMON OWNERSHIP	0 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-115	DAYTON L. ELIJAH & VANESSA J. GRANT	24 NORWAY PLAINS ROAD; ROCHESTER, NH 03868-8807
215-15	J & T TRUST C/O JEROME BRODSKY	141 SOUTH MAIN STREET; ROCHESTER, NH 03867-5121
215-16	WOODEN BULLER REALTY, LLC	95 THIRD STREET; DOVER, NH 03820
215-17	J. BRUCE & JUNE L. ROBERTS	15 NORWAY PLAINS ROAD; ROCHESTER, NH 03868-8807



215-19	NORBERT THERRIEN & TANA PROPERTIES LTD. PARTNERSHIP	2927 SE OCEAN BOULEVARD, APT. 157-11, STUART, FL 34994-2173
222-16	THOMAS R. MILLER	P.O. BOX 1676; ROCHESTER, NH 03866-1676
222-20	MARK A. & MELISSA B. DEMERS	197 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-21	ARLON BROOKS	95 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-22	LARRY J. COSSETTE	75 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-23	RICHARD T., II & TARA BONHAM	91 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-24	SCOTT DEMERS	12 WOODLAWN ROAD DOVER, NH 03820
222-25	HEIDI J. & JOHN J., III KENNAN	87 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122 HOLDERS OF CONSERVATION/PRESERVATION EASEMENTS
222-26	JOSEPH R. & RITA E. WILSON	83 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-62	MAUSER LIVING TRUST C/O VANDERLIL & WIGNA B. MAUSER, TRUSTEES	83 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-28	NICHOLAS DREW & KATE LEIGHTON	81 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5121
222-32	JOSHUA M. & ROBERT J. JORDAN & BONNIE L. GONYA	159 HARVEY ROAD; NORTHWOOD NH, 03261
222-62	DAVID HOWARD	24 DEERFIELD COLONY; ROCHESTER, NH 03867
222-71	EUGENE T. & CHERYL L. DOBLE	32 DEERFIELD COLONY; ROCHESTER, NH 03867
222-74	ROBERT & KRISTA WILLIS	19 BUTTERFLY LANE; ROCHESTER, NH 03867

REFERENCE PLANS:

1. OVERALL SUBDIVISION PLAN, NORWAY PLAINS ROAD, ROCHESTER, N.H., P.O. BOX 249, ROCHESTER, N.H., DATED NOVEMBER 2004, REVISION 1/30/06, BY NP REALTY ASSOCIATES, LLC, RECORDED BOOK 84-60, 61, 62



- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE AMENDMENTS TO THE ORIGINAL SUBDIVISION DESCRIBED IN THE REFERENCE PLANS.
 2. PROPOSED ARE ZONED R-2 (AS SHOWN)
 3. MINIMUM LOT REQUIREMENTS: LOT SIZE = 6,000 SQ. FT., FRONTAGE = 60'
 4. BUILDING SETBACKS: FY. = 15' SY. = 8' BY. = 25'
 5. THE LOTS ARE TO BE SERVED BY CITY WATER & SEWER.
 6. FOR MORE INFORMATION ABOUT THIS SUBDIVISION CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, N.H. 03867, (603) 325-1306.
 7. EDGE OF JURISDICTIONAL WETLANDS DELINEATED BY JOHN P. HAYES III, CWS, CSS OF NH SOILS INC. ON APRIL 9, 2004.
 8. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SETBACKS AND REMAIN WITHIN ITS PERIMETER.
 9. THE DETENTION POND SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE REPAIRED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 10. A PORTION OF THIS SITE IS IN FLOOD HAZARD ZONE A, WHICH IS NOTED AS BEING WITHIN THE 100 YEAR FLOOD PLAN BUT BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS HAVE NOT BEEN DETERMINED, AS REFERENCED FROM THE FLOOD HAZARD MAP FROM COMMUNITY PANEL # 330150 0010 B, EFFECTIVE DATE: SEPTEMBER 16, 1992. THE BOUNDARY OF ZONE A HAS BEEN SCALED FROM THE FIRM MAP AND DRAWN ON THIS SHEET FOR REFERENCE.

SIGHT DISTANCE:

11. THE SIGHT DISTANCE AT THE ENTRANCES TO THE SUBDIVISION WILL BE ADEQUATE. NO IMPEDIMENT IS CREATED BY THE ALIGNMENT OR GRADE OF NORWAY PLAINS ROAD OR THE GRADE PROPOSED ENTRANCES. IN THE EVENT THAT AN OBSTRUCTION IS PRESENT (I.E. VEGETATION) IT WILL BE REMOVED FROM EITHER THE RIGHT-OF-WAY OR THE BUFFER ALONG NORWAY PLAINS ROAD.

AREA TO BE CONVEYED TO CITY OF ROCHESTER:

12. AN AREA LABELED AS LOT 215-12-106 ON SHEET 53 IS TO BE CONVEYED TO THE CITY OF ROCHESTER IN ORDER TO CREATE A 150-FT. RIGHT-OF-WAY FOR NORWAY PLAINS ROAD IN FRONT OF THE PROJECT. LOT 215-12-106 HAS AN AREA OF 2,878-SQ. (0.06 ACRES).

UTILITIES EASEMENTS:

13. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A UTILITIES EASEMENT. THE UTILITIES EASEMENT CONSISTS OF AN AREA 15-FT. WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT. OF THE LOTS PARALLEL TO ANY STREET).

TREE PLANTING EASEMENT:

14. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A TREE PLANTING EASEMENT. THE TREE PLANTING EASEMENT CONSISTS OF AN AREA 15-FT. WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT. OF THE LOTS PARALLEL TO ANY STREET). THE PURPOSE OF THIS EASEMENT IS TO ALLOW FOR PLANTING AND MAINTENANCE OF STREET TREES AT ANY TIME BY EITHER THE DEVELOPER OR THE CITY OF ROCHESTER. REFER TO CONDITIONS OF APPROVAL NOTES 14.

GENERAL PHASING CONSIDERATIONS:

15. DUE TO THE LENGTH OF ROAD AND AMOUNT OF EARTHWORK INVOLVED THIS PROJECT REQUIRES PHASING. FOR A DETAILED DISCUSSION OF EACH PHASE REFER TO THE COMPLETE CONSTRUCTION SEQUENCING NOTES (PHASING) FOUND ON SHEET C17 "EROSION CONTROL DETAILS".
16. PHASES MAY BE CONSTRUCTED SIMULTANEOUSLY AS LONG AS 5 ACRES OF DISTURBED AREA IS NOT EXCEEDED.
17. DUE TO UTILITY REQUIREMENTS, PHASE I SHOULD BE CONSTRUCTED FIRST.
18. ANY COMBINATIONS OF PHASES TO BE CONSTRUCTED TOGETHER SHOULD INCLUDE PHASE I IF THE COMBINATION IS THE INITIAL CONSTRUCTION OF THE PROJECT.

RECLAMATION OF NORWAY PLAINS ROAD:

19. NORWAY PLAINS ROAD SHALL BE RECLAIMED UPON COMPLETION OF PHASES I THROUGH III. IN THE INTERIM CASES SHALL BE TAKEN TO PATCH NORWAY PLAINS ROAD IN THE LOCATION OF THE NEW GRAVITY SEWER LINE FROM THE SEWER MANHOLE AT THE INTERSECTION OF NORWAY PLAINS ROAD AND DEERFIELD COLONY TO THE LAST PROPOSED SEWER MANHOLE AT THE END OF NORWAY PLAINS ROAD.
20. RECLAMATION OF NORWAY PLAINS ROAD SHALL INCLUDE GRADING THE EXISTING PAVEMENT AS SHOWN ON THE PLANS, REGRADING FOR A PROPER CROWN AND RE-PAVING. THIS PROPOSED RECLAMATION SHALL BE PERFORMED IN ACCORDANCE WITH THE NORWAY PLAINS ROAD RECLAMATION CROSS SECTION ON SHEET C17 OF THIS PLAN SET.

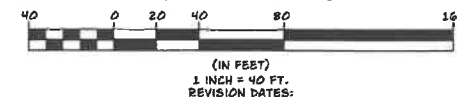
HOURS OF OPERATION:

21. CONSTRUCTION OPERATIONS FOR THIS PHASES I THROUGH III OF THIS PROJECT SHALL TAKE PLACE AT THE FOLLOWING TIMES:
MONDAY THROUGH FRIDAY 7:00AM TO 6:00PM
SATURDAY 12:00PM TO 6:00PM
22. RECLAMATION OF, AND ANY UTILITIES WORK IN NORWAY PLAINS ROAD SHALL TAKE PLACE AT THE FOLLOWING TIMES:
MONDAY THROUGH FRIDAY 7:00AM TO 6:00PM
SATURDAY 12:00PM TO 6:00PM
23. CONSTRUCTION SHALL TAKE PLACE ONLY AT THE TIMES STATED ABOVE. NO WORK SHALL BE PERFORMED AT ANY OTHER TIME.

TOTAL PARCEL AREA:
45.89 ACRES

OWNER OF RECORD:
MAP 215 LOTS 12-1, 12-8 TO 45, 12-47, 12-60,
12-61, 12-63 TO 81, 12-83 TO 104, 12-106
NP REALTY ASSOCIATES, LLC
P.O. BOX 178, STRATHAM, N.H.
BK. 4087 PG. 474

OVERALL
AMENDED SUBDIVISION PLAN
NORWAY PLAINS ROAD
ROCHESTER, N.H.
FOR
NP REALTY ASSOCIATES, LLC
1"=100' JULY 2013
GRAPHIC SCALE



SUBDIVISION APPROVAL WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/ DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUB-DIVISION APPROVAL.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.

ARTHUR H. NICKLESS, JR., L.L.S. DATE:

APPROVED FOR RECORD:

ROCHESTER PLANNING BOARD

SHEET 51-R

CONDITIONS OF APPROVAL NOTES:

1. ALL LOT CORNERS SHALL BE MARKED WITH CAPPED IRON MARKERS OR APPROPRIATE MONUMENTATION AFTER THE CONSTRUCTION OF THE ROAD IS COMPLETE.
2. THERE SHALL BE NO FURTHER SUBDIVISION OF ANY OF THE LOTS. LOT LINES MAY BE ADJUSTED BUT NO SUBDIVISION SHALL BE PERMITTED WHICH WOULD YIELD ADDITIONAL BUILDABLE LOTS BEYOND THE NUMBER APPROVED IN THE PLAT (THIS REQUIREMENT IS MADE PURSUANT TO THE PLANNING BOARD'S REVIEW OF THE PARENT PARCEL, AND A DETERMINATION THAT THE NUMBER OF LOTS APPROVED IS THE MAXIMUM APPROPRIATE FOR THIS PARCEL AS SUBDIVIDED).
3. IT IS THE DEVELOPER'S SOLE RESPONSIBILITY TO INSTALL, OR HAVE INSTALLED, A RAILROAD SIGNAL CROSSING ON NORWAY PLAINS ROAD (WITH OR WITHOUT A CROSS ARM AS DETERMINED BY DOT). THE CROSSING MUST BE INSTALLED PRIOR TO THE ISSUANCE OF THE 34TH BUILDING PERMIT. NO MORE THAN 55 BUILDING PERMITS WILL BE ISSUED UNTIL THE CROSSING IS INSTALLED.
4. PRIOR TO DEDICATION OF THE STREETS TO THE CITY TWO STREET TREES (DECIDUOUS SHADE TREES) MUST BE MAINTAINED OR PLANTED WITHIN THE FRONT 15 FEET OF EACH LOT, OR, WITH THE APPROVAL OF THE PUBLIC WORKS DEPARTMENT, WITHIN THE RIGHT-OF-WAY. A 15-FT. WIDE EASEMENT IS PROVIDED ALONG THE FRONTAGE OF EACH LOT TO ALLOW FOR THE TREE PLANTING (REFER TO TREE PLANTING EASEMENT NOTE 14). AS A PRESENT CONDITION, THE APPLICATION MUST IDENTIFY / FLAG APPROPRIATE, HEALTHY, INDIVIDUAL TREES ON SITE THAT MEET THIS OBJECTIVE AND/OR SHOW LOCATIONS OF PROPOSED TREES. NEWLY PLANTED TREES MUST BE SUITABLE TO THE SITE CONDITIONS AND OF NURSERY STOCK WITH A DIAMETER AT FOUR FEET BREAST HEIGHT OF AT LEAST 2 INCHES. SUGGESTED (BUT NOT REQUIRED) SPECIES INCLUDE MAPLE, WHITE OAK, SCARLET OAK, LINDEN, THORNLESS HONEYLOCUST, MARSHALL SEEDLESS ASH, EUROPEAN HORNBEAM, CALLERY PEAR (NOT BRADFORD), CHINESE ELM, AND JAPANESE ZELKOVA. WHERE SUITABLE COVERAGE OF EXISTING EVERGREEN TREES IS PRESENT, THESE MAY BE SUBSTITUTED FOR DECIDUOUS TREES. TYPICAL LOCATIONS FOR TREES ARE CALLED OUT ON THE EASTERN MOST LOTS DEPICTED ON SHEETS 52 AND 53 THIS PLANTING ARRANGEMENT SHALL CONTINUE THROUGHOUT THE SUBDIVISION WHERE EVER EXISTING TREES ARE NOT SUFFICIENT.
5. PER CONDITION OF APPROVAL, SIGNAGE IS PROVIDED AT THE ENTRANCE TO THE OPEN SPACE WHERE IT IS ACCESSIBLE BY THE PUBLIC IN ORDER TO IDENTIFY THE ENTRANCES TO SAID OPEN SPACE.
6. ADDITIONAL TREES SHALL BE ADDED TO THE BUFFERS BETWEEN THE SUBDIVISION AND TAX MAP 215 LOT 14 AND TAX MAP 215 LOT 7. NINE(9) 6" TO 8" FT. EASTERN PINE AND TEN(10) 6" TO 8" FT. DARK AMERICAN ARBORVITAE SHALL BE PLANTED ALONG THE SHARED PROPERTY LINE OF TAX MAP 215 LOT 14 AND EIGHT(8) 6" TO 8" FT. DARK AMERICAN ARBORVITAE SHALL BE PLANTED ALONG THE SHARED PROPERTY LINE OF TAX MAP 215 LOT 7 AS SHOWN ON SHEET 5-3.
7. PER CONDITION OF APPROVAL TAX MAP 215 LOT 7, TAX MAP 215 LOT 14, AND TAX MAP 215 LOT 15 SHALL BE PROVIDED SEWER STUBS 10-FT. ONTO EACH PROPERTY. REFER TO SHEET C15 AND SHEET C16 OF THIS PLAN SET.

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES SITE SPECIFIC NHDES SEWER CONNECTION PERMIT: WPS-7295 D0025-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

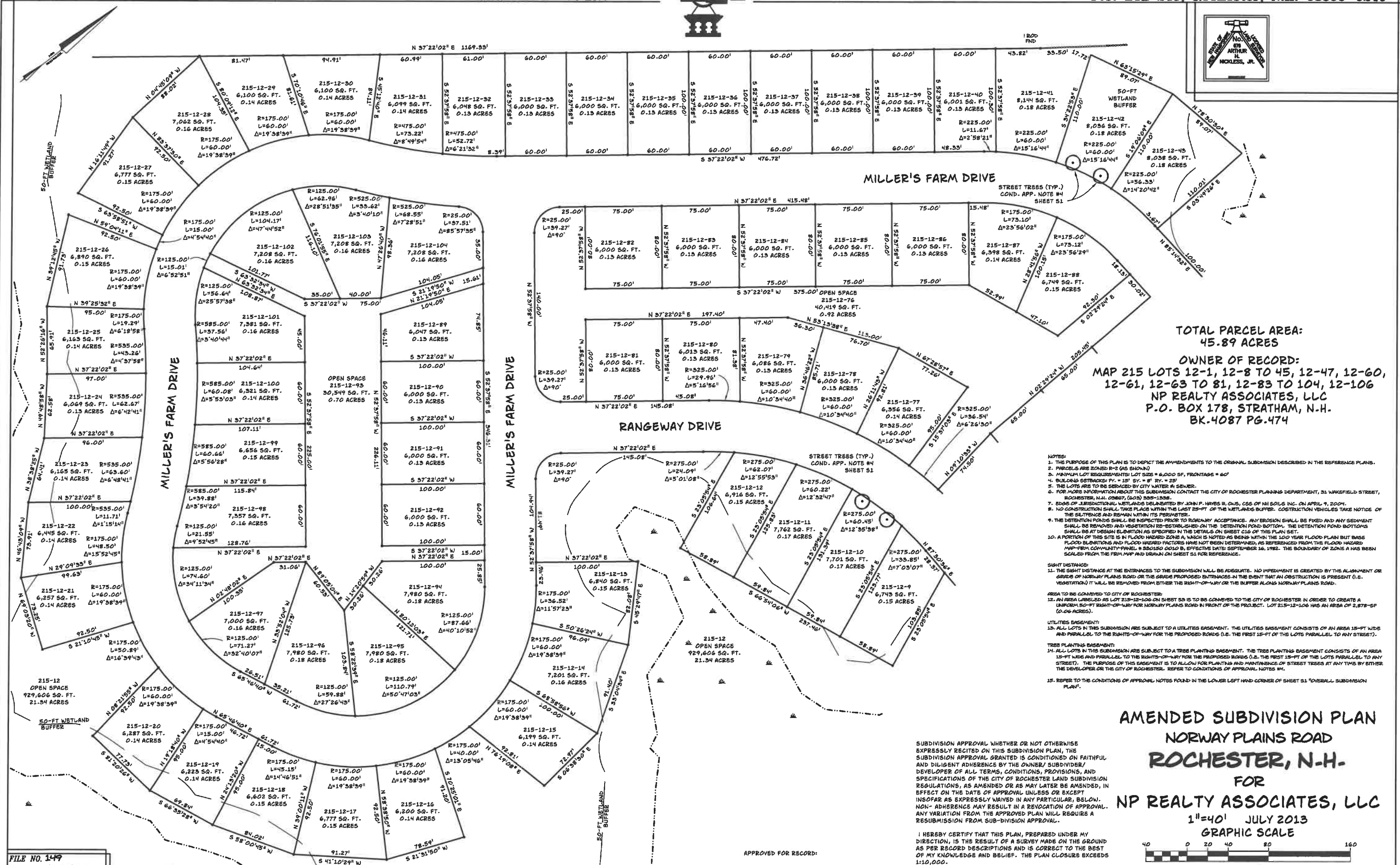
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249

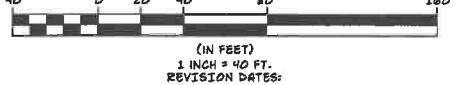


TOTAL PARCEL AREA:
45.89 ACRES

OWNER OF RECORD:
MAP 215 LOTS 12-1, 12-8 TO 45, 12-47, 12-60,
12-61, 12-63 TO 81, 12-83 TO 104, 12-106
NP REALTY ASSOCIATES, LLC
P.O. BOX 178, STRATHAM, N.H.
BK-4087 PG-474

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE AMENDMENTS TO THE ORIGINAL SUBDIVISION DESCRIBED IN THE REFERENCE PLANS.
 2. PARCELS ARE ZONED R-2 (AS SHOWN).
 3. MINIMUM LOT REQUIREMENTS: LOT SIZE = 6,000 SQ. FT., FRONTAGE = 60'
 4. BUILDING SETBACKS: FR. = 15' SY. = 8' RE. = 25'
 5. THE LOTS ARE TO BE SERVICED BY CITY WATER & SEWER.
 6. FOR MORE INFORMATION ABOUT THIS SUBDIVISION CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, N.H. 03867, (603) 385-1300.
 7. EDOS OF JURISDICTIONAL WETLANDS DELINEATED BY JOHN P. HAYES II, CIVS, CSS OF NH SOILS INC. ON APRIL 9, 2004.
 8. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SETBACKS AND REMAIN WITHIN ITS PERIMETER.
 9. THE DETENTION POND SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET 51 OF THIS PLAN SET.
 10. A PORTION OF THIS SITE IS IN FLOOD HAZARD ZONE A, WHICH IS NOTED AS BEING WITHIN THE 100 YEAR FLOOD PLAIN BUT BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS HAVE NOT BEEN DETERMINED, AS REFERENCED FROM THE FLOOD HAZARD MAP-TOWN COMMUNITY-PARCEL # 200400000 BY EFFECTIVE DATE SEPTEMBER 16, 1982. THE BOUNDARY OF ZONE A HAS BEEN SCALED FROM THE FIRM MAP AND DRAWN ON SHEET 51 FOR REFERENCE.
 11. THE SIGHT DISTANCE AT THE ENTRANCES TO THE SUBDIVISION WILL BE ADEQUATE. NO IMPEDIMENT IS CREATED BY THIS ALIGNMENT OR GRADE OF NORWAY PLAINS ROAD OR THE GRADES PROPOSED ENTRANCES IN THE EVENT THAT AN OBSTRUCTION IS PRESENT (I.E. VEGETATION) IT WILL BE REMOVED FROM EITHER THE RIGHT-OF-WAY OR THE BUFFER ALONG NORWAY PLAINS ROAD.
 12. AN AREA LABELED AS LOT 215-12-106 ON SHEET 51 IS TO BE CONVEYED TO THE CITY OF ROCHESTER IN ORDER TO CREATE A UNIFORM 50-FT RIGHT-OF-WAY FOR NORWAY PLAINS ROAD IN FRONT OF THE PROJECT. LOT 215-12-106 HAS AN AREA OF 2,878-SQ (0.06 ACRES).
 13. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A UTILITIES EASEMENT. THE UTILITIES EASEMENT CONSISTS OF AN AREA 15-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT OF THE LOTS PARALLEL TO ANY STREET).
 14. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A TREE PLANTING EASEMENT. THE TREE PLANTING EASEMENT CONSISTS OF AN AREA 15-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT OF THE LOTS PARALLEL TO ANY STREET). THE PURPOSE OF THIS EASEMENT IS TO ALLOW FOR PLANTING AND MAINTENANCE OF STREET TREES AT ANY TIME BY EITHER THE DEVELOPER OR THE CITY OF ROCHESTER. REFER TO CONDITIONS OF APPROVAL SHEET 51.
 15. REFER TO THE CONDITIONS OF APPROVAL NOTES FOUND IN THE LOWER LEFT HAND CORNER OF SHEET 51 "OVERALL SUBDIVISION PLAN".

AMENDED SUBDIVISION PLAN
NORWAY PLAINS ROAD
ROCHESTER, N.H.
FOR
NP REALTY ASSOCIATES, LLC
1"=40' JULY 2013
GRAPHIC SCALE



FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184/S-5
P.B. NO. "33" GAK

APPROVED FOR RECORD:
ROCHESTER PLANNING BOARD

SUBDIVISION APPROVAL WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/ SUBDIVIDER/ DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS, AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW.

NOV- ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUB-DIVISION APPROVAL.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORDED DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.

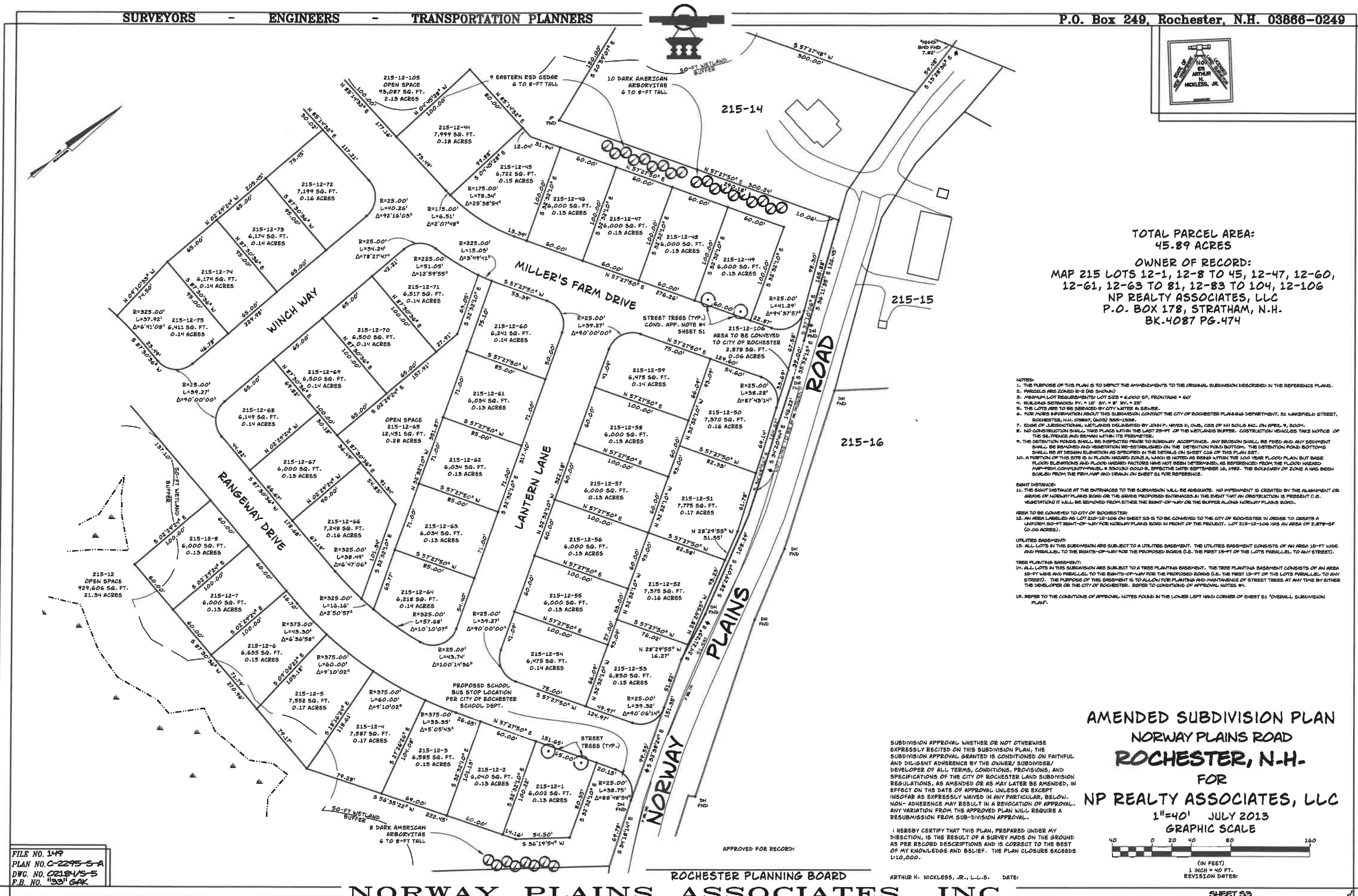
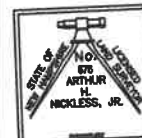
ARTHUR H. NICKLESS, JR., L.L.S. DATE:

NORWAY PLAINS ASSOCIATES, INC.

SHEET 52-R

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249



TOTAL PARCEL AREA:
45.89 ACRES

OWNER OF RECORD:
MAP 215 LOTS 12-1, 12-8 TO 45, 12-47, 12-60,
12-61, 12-63 TO 81, 12-83 TO 104, 12-106
NP REALTY ASSOCIATES, LLC
P.O. BOX 178, STRATHAM, N.H.
BK-4087 PG-474

- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE AMENDMENTS TO THE ORIGINAL SUBDIVISION DESCRIBED IN THE REFERENCE PLANS.
 2. PARCELS ARE ZONED R-2 (AS SHOWN).
 3. MINIMUM LOT REQUIREMENTS: LOT SIZE = 6,000 SQ. FT., FRONTAGE = 60'
 4. BUILDING DISTANCES: P.L. = 15' S.Y. = 8' S.Y. = 25'
 5. THE LOTS ARE TO BE SERVED BY CITY WATER & SEWER.
 6. FOR MORE INFORMATION ABOUT THIS SUBDIVISION, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 51 WAKEFIELD STREET, ROCHESTER, N.H. 03866, (603) 305-1306.
 7. EDGES OF JURISDICTIONAL WETLANDS DELINEATED BY JOHN P. HAYES III, CWS, CES OF NH SOLS INC. ON APRIL 9, 2004.
 8. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SALTENCE AND REMAIN WITHIN ITS PERIMETER.
 9. THE DETENTION POND SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET S3 OF THIS PLAN SET.
 10. A PORTION OF THIS SITE IS IN FLOOD HAZED ZONE A, WHICH IS NOTED AS BEING WITHIN THE 100 YEAR FLOOD PLAIN BUT BASE FLOOD ELEVATIONS AND FLOOD HAZED FACTORS HAVE NOT BEEN DETERMINED, AS REFERENCED FROM THE FLOOD HAZED MAP-FIRM COMMUNITY-PANEL N 330150 DOLD B, EFFECTIVE DATE: SEPTEMBER 16, 1982. THE BOUNDARY OF ZONE A HAS BEEN SCALED FROM THE FIRM MAP AND DRAWN ON SHEET S3 FOR REFERENCE.
- RIGHT DISTANCE:
11. THE RIGHT DISTANCE AT THE ENTRANCES TO THE SUBDIVISION WILL BE ADEQUATE. NO IMPEDIMENT IS CREATED BY THE ALIGNMENT OR GRADE OF ADJACENT PLANS ROAD OR THE GRADE PROPOSED ENTRANCES IN THE EVENT THAT AN OBSTRUCTION IS PRESENT (I.E. VEGETATION) IT WILL BE REMOVED FROM EITHER THE RIGHT-OF-WAY OR THE BUFFER ALONG ADJACENT PLANS ROAD.
- AREA TO BE CONVEYED TO CITY OF ROCHESTER:
12. AN AREA L-100' AS LOT 215-12-106 ON SHEET S3 IS TO BE CONVEYED TO THE CITY OF ROCHESTER IN ORDER TO CREATE A UNIFORM 50-FT RIGHT-OF-WAY FOR ADJACENT PLANS ROAD IN FRONT OF THE PROJECT. LOT 215-12-106 HAS AN AREA OF 2,878-SQ (0.06 ACRES).
- UTILITIES EASEMENT:
13. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A UTILITIES EASEMENT. THE UTILITIES EASEMENT CONSISTS OF AN AREA 15-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT OF THE LOTS PARALLEL TO ANY STREET).
- TREE PLANTING EASEMENT:
14. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A TREE PLANTING EASEMENT. THE TREE PLANTING EASEMENT CONSISTS OF AN AREA 15-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 15-FT OF THE LOTS PARALLEL TO ANY STREET). THE PURPOSE OF THIS EASEMENT IS TO ALLOW FOR PLANTING AND MAINTENANCE OF STREET TREES AT ANY TIME BY EITHER THE DEVELOPER OR THE CITY OF ROCHESTER. REFER TO CONDITIONS OF APPROVAL NOTES 14.
15. REFER TO THE CONDITIONS OF APPROVAL NOTES FOUND IN THE LOWER LEFT HAND CORNER OF SHEET S1 "OVERALL SUBDIVISION PLAN".

AMENDED SUBDIVISION PLAN
NORWAY PLAINS ROAD
ROCHESTER, N.H.
FOR
NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013
GRAPHIC SCALE



(IN FEET)
1 INCH = 40 FT.
REVISION DATES:

SHEET S3

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184/S-5
P.B. NO. 1331 GAK

APPROVED FOR RECORD:

ROCHESTER PLANNING BOARD

NORWAY PLAINS ASSOCIATES, INC.

ARTHUR H. NICKLESS, JR., L.L.S. DATE:

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249



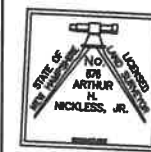
ADJUTERS MAP-LOT	OWNER	MAILING ADDRESS
215-4	PAUL W. & MICHELLE E. LACLAIR	11 BUTTERFLY LANE; ROCHESTER, NH 03867
222-72	JOSEPH M. & JENNIE MARSTON	25 DEERFIELD COURT; ROCHESTER, NH 03867
215-7	JERI S. & MICHAEL M. MOONEY	16 NORWAY PLAINS ROAD; ROCHESTER, NH 03868-8807
215-12-0	OPEN SPACE, COMMON OWNERSHIP	2 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-2	RONALD R. & PATRICIA D. GAGNON	2 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-3	RONALD A. & PATRICIA R. MOODY	10 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-4	TODD J. & TRACY M. MAURER	12 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-5	LORAN E. & NANCY J. SMITH	14 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-6	PAUL N. & TINA S. SIO	16 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-7	JAMES D., KATHY SUE, & JESSICA E. SPEILMAN	18 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-8	MATTHEW J. LEFERVRE & NICOLE M. PELLSTIER	15 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-9	BARRY J. NICKERSON	9 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-10	ROBERT N. SR. & ROSIE H. ACKERSON	7 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-11	ALLEGRA L. & AARON S. ROSLER	2 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-12	DEBRA G. HADDEN	22 NORWAY PLAINS ROAD; ROCHESTER, NH 03867
215-12-13	MATTHEW L. DUFFREY & ASHLEY L. HANCOCK	20 NORWAY PLAINS ROAD; ROCHESTER, NH 03867
215-12-14	WILLIAM, LEA & ALICIA MARIE ORR	1 RANGWAY DRIVE; ROCHESTER, NH 03867

215-12-15	PAMELA WHITE	5 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-16	RENE A. BAINVILLE	3 LANTERN LANE; ROCHESTER, NH 03867
215-12-17	THOMAS CHARLES, JR. & JENNIFER MARIE DALY	7 LANTERN LANE; ROCHESTER, NH 03867
215-12-18	THOMAS M. & BRENDA L. DINN	9 LANTERN LANE; ROCHESTER, NH 03867
215-12-19	DARRELL JENKINS	11 LANTERN LANE; ROCHESTER, NH 03867
215-12-20	COVILLE FAMILY REVOCABLE TRUST	PAMELA S. COVILLE, TRUSTEE; 13 LANTERN LANE; ROCHESTER, NH 03867
215-12-21	SSA C. & ACINTIA M. FOSTER	5 LANTERN LANE; ROCHESTER, NH 03867
215-12-22	OPEN SPACE, COMMON OWNERSHIP	15 RANGWAY DRIVE; ROCHESTER, NH 03867
215-12-23	NORWAY PLAINS REALTY TRUST	BARBARA A. DENEALTY & MICHAEL D. TANCREDI, TRUSTEES; 48 MILLERS FARM ROAD; ROCHESTER, NH 03867
215-12-24	OPEN SPACE, COMMON OWNERSHIP	0 MILLERS FARM DRIVE; ROCHESTER, NH 03867
215-12-25	DARTON L. ELLIOT & VANESSA J. GRANT	24 NORWAY PLAINS ROAD; ROCHESTER, NH 03868-8807
215-12-26	J & T TRUST C/O JEROME GROSSMAN	194 SOUTH MAIN STREET; ROCHESTER, NH 03867-3121
215-12-27	WOODEN BULDER REALTY, LLC	35 THIRD STREET; DOVER, NH 03820
215-12-28	J. BRUCE & JUNE L. ROBERTS	15 NORWAY PLAINS ROAD; ROCHESTER, NH 03868-8807

215-19	NORBERT TREBBIEN & TANA PROPERTIES LTD. PARTNERSHIP	2929 SE OCEAN BOULEVARD, APT. 137-11; STUART, FL 34996-2784
222-16	THOMAS R. MULLER & P. O. BOX 1676	ROCHESTER, NH 03866-1676
222-20	MARK A. & MELISSA B. DEMERS	197 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-21	MARION BROOKS	95 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-22	LARRY J. COSETTE	95 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-23	RICHARD T., III & TANYA BOWEN	91 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-24	SCOTT DEMERS	12 WOODLAWN ROAD DOVER, NH 03820
222-25	HEIDI J. & JOHN J., III KEENAN	87 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122 HOLDERS OF CONSERVATION/PRESERVATION EASEMENTS
222-26	JOSEPH E. & RITA E. WILSON	85 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-27	MAUSER LIVING TRUST C/O WENDELL & WJONA B. MAUSER, TRUSTEES	83 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5122
222-28	NICHOLAS DREW & KATE LEIGHTON	81 CHESTNUT HILL ROAD; ROCHESTER, NH 03867-5121
222-32	JOSHUA M. & ROBERT J. JORDAN & BONNIE L. BONNY	159 HARVEY ROAD; NORTHWOOD NH, 03861
222-62	DAVID HOWARD	14 DEERFIELD COURT; ROCHESTER, NH 03867
222-71	EUGENE T. & CHERYL L. DOBLE	32 DEERFIELD COURT; ROCHESTER, NH 03867
222-74	ROBERT & KRISTA WILLIS	19 BUTTERFLY LANE; ROCHESTER, NH 03867

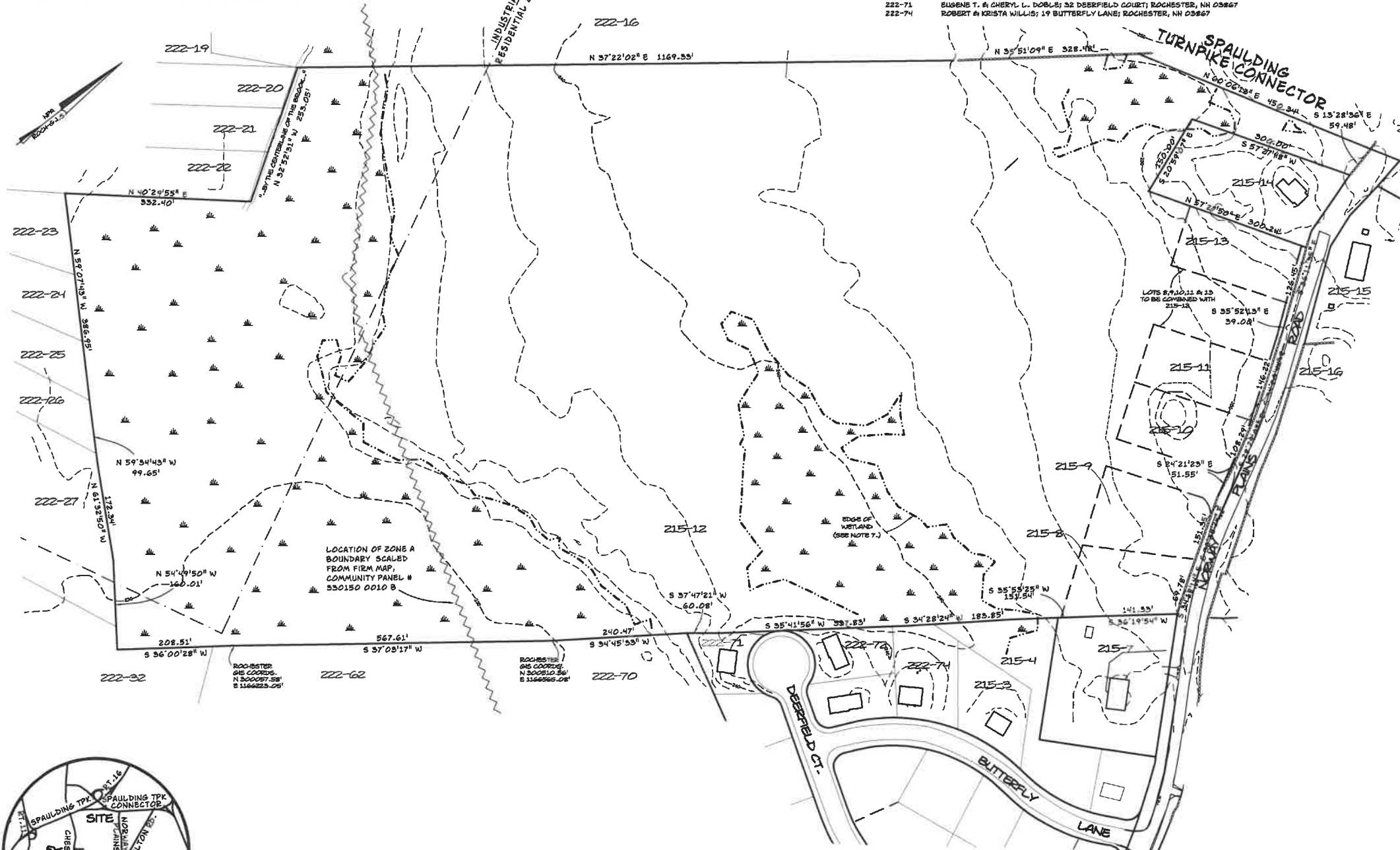
REFERENCE PLANS:

1. "OVERALL SUBDIVISION PLAN, NORWAY PLAINS ROAD, ROCHESTER, N.H., PO BOX 249, ROCHESTER, N.H. 03866-0249, DATED NOVEMBER 2004, REVISED 1/30/06, BY NORWAY PLAINS SURVEY ASSOCIATES INC., RECORDED SCRD 84-80, 83, 82



REVISIONS:

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE AMENDMENTS TO THE ORIGINAL SUBDIVISION DESCRIBED IN THE REFERENCE PLANS.
 2. PARCELS ARE ZONED R-2 (AS SHOWN)
 3. MINIMUM LOT REQUIREMENTS: LOT SIZE = 6,000 SF, FRONTAGE = 60'
 4. BUILDING SETBACKS: FY. = 15' SV. = 8' RY. = 25'
 5. THE LOTS ARE TO BE SURVEYED BY CITY WRITER & SINKER.
 6. FOR MORE INFORMATION ABOUT THIS SUBDIVISION CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, N.H. 03867, (603) 355-1336.
 7. EASE OF JURISDICTIONAL WETLANDS DELINEATED BY NH SOILS INC.
 8. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE BUFFER AND REMAIN WITHIN ITS PERIMETER.
 9. THE DETENTION POND SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 10. A PORTION OF THIS SITE IS IN FLOOD HAZARD ZONE A, WHICH IS NOTED AS BEING WITHIN THIS 100 YEAR FLOOD PLAN BUT BASED FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS HAS NOT BEEN DETERMINED, AS REFERENCED FROM THE FLOOD HAZARD MAP-FIRM COMMUNITY-PANEL # 330150 0010 B, EFFECTIVE DATE: SEPTEMBER 16, 1982. THE BOUNDARY OF ZONE A HAS BEEN SCALED FROM THE FIRM MAP AND DRAWN ON THIS SHEET FOR REFERENCE.



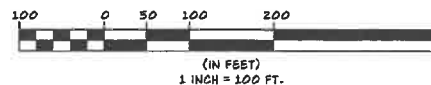
**TOTAL PARCEL AREA:
45.89 ACRES**

**OWNER OF RECORD:
MAP 215 LOTS 12-1, 12-8 TO 45, 12-47, 12-60,
12-61, 12-63 TO 81, 12-83 TO 104, 12-106
NP REALTY ASSOCIATES, LLC
P.O. BOX 178, STRATHAM, N.H.
BK-4087 PG.474**

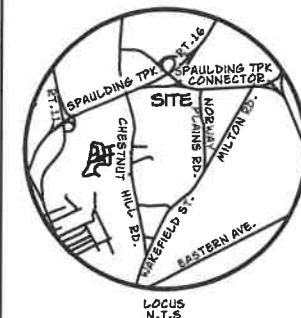
**OVERALL
TOPOGRAPHIC PLAN
NORWAY PLAINS ROAD
ROCHESTER, N.H.**

**FOR
NP REALTY ASSOCIATES, LLC**

**1"=100' JULY 2013
GRAPHIC SCALE**



SHEET 54



**FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184/S-5
P.B. NO. 11331 GAK**

NORWAY PLAINS ASSOCIATES, INC.

DRAINAGE STRUCTURE

DATA TABLE

CB22-CB31

STRUCTURE

CATCHBASIN	PIPE
CATCHBASIN #22 STA 1+24.01 34.0' R RM=250.50 INV. OUT=247.00 PIPE # 22 SUMP=243.57	PIPE #22 12" DIA. CPP L=168.50-FT. S=1.4%
CATCHBASIN #23 STA 2+98.12 2.2' R RM=248.55 INV. IN=244.85 PIPE # 22 INV. OUT=244.75 PIPE # 23 SUMP=241.75	PIPE #23 12" DIA. CPP L=2.50-FT. S=1.1%
CATCHBASIN #24 STA 2+98.14 1.1' L RM=248.52 INV. IN=244.50 PIPE # 23 INV. OUT=244.40 PIPE # 24 SUMP=241.40	PIPE #24 12" DIA. CPP L=18.25-FT. S=1.0%
CATCHBASIN #25 STA 3+09.27 31.1' L RM=247.52 INV. IN=244.00 PIPE # 24 INV. OUT=243.90 PIPE # 25 SUMP=240.90	PIPE #25 12" DIA. CPP L=21.75-FT. S=0.8%
CATCHBASIN #26 STA 3+34.95 31.1' L RM=247.52 INV. IN=243.54 PIPE # 25 INV. OUT=243.54 PIPE # 26 SUMP=240.54	PIPE #26 12" DIA. CPP L=167.25-FT. S=0.5%
CATCHBASIN #27 STA 5+00.04 12.2' L RM=246.52 INV. IN=242.50 PIPE # 26 INV. OUT=242.50 PIPE # 27 SUMP=238.70	PIPE #27 12" DIA. CPP L=20.50-FT. S=0.5%
CATCHBASIN #28 STA 5+00.04 12.2' L RM=246.52 INV. IN=242.50 PIPE # 26 INV. OUT=242.50 PIPE # 28 SUMP=238.50	PIPE #28 12" DIA. CPP L=40.00-FT. S=0.7%
CATCHBASIN #29 STA 5+00.80 20.7' L RM=245.90 INV. IN=242.15 PIPE # 28 INV. OUT=241.90 PIPE # 29 SUMP=238.50	PIPE #29 15" DIA. CPP L=20.50-FT. S=0.5%

CONTINUED ON SHEET C7

CB32-CB37

STRUCTURE

CATCHBASIN	PIPE
CATCHBASIN #32 STA 7+75.12 2.2' R RM=244.94 INV. OUT=242.00 PIPE # 32 SUMP=238.00	PIPE #32 12" DIA. RCP L=20.50-FT. S=0.5%
CATCHBASIN #33 STA 7+75.12 2.2' L RM=244.94 INV. IN=241.90 PIPE # 32 INV. OUT=241.90 PIPE # 33 SUMP=238.50	PIPE #33 12" DIA. RCP L=184.00-FT. S=0.5%

CONTINUED ON SHEET C2

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES SITE SPECIFIC: WPS-7205
NHDES SEWER CONNECTION PERMIT: 02005-1218

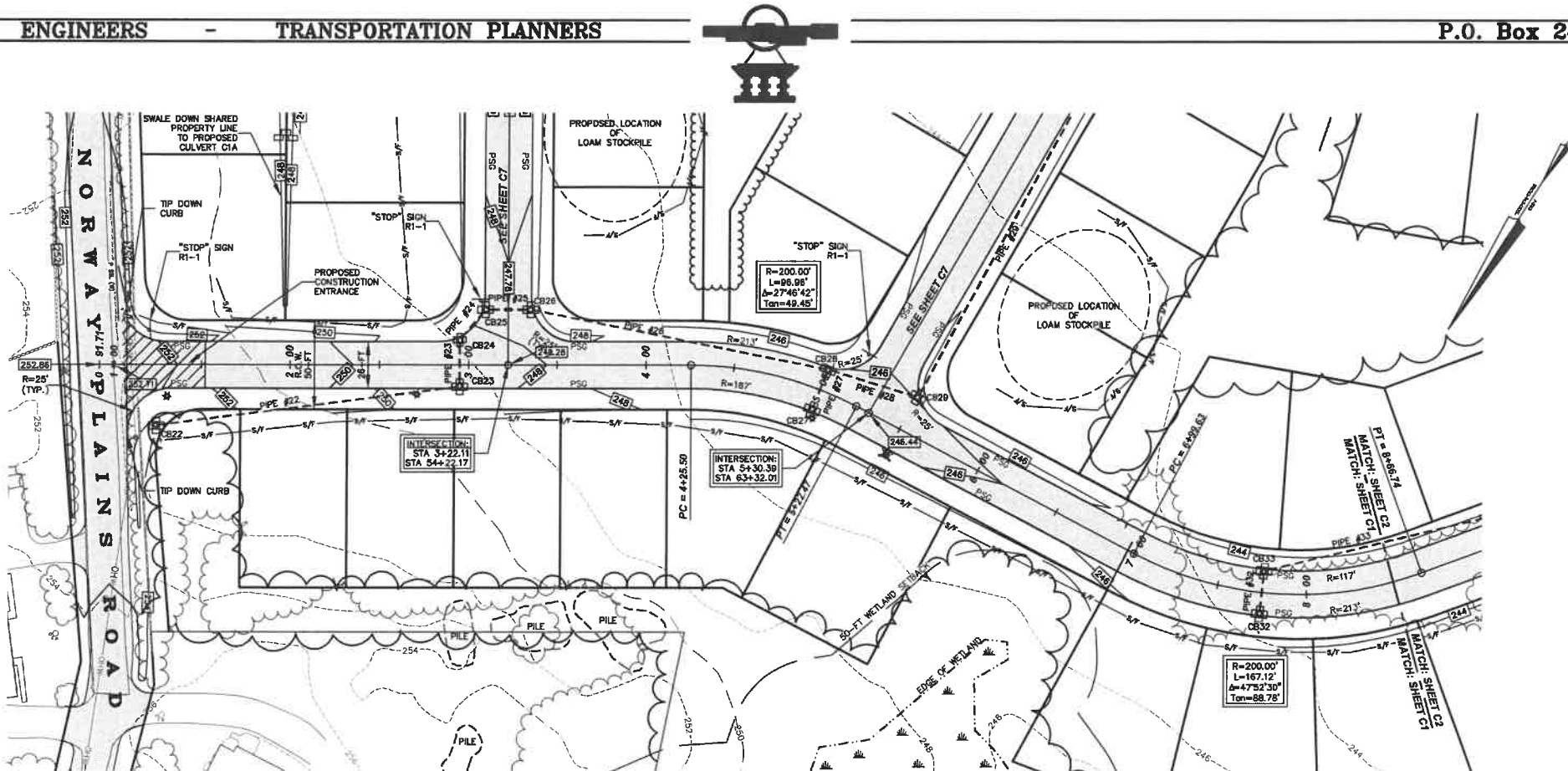
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

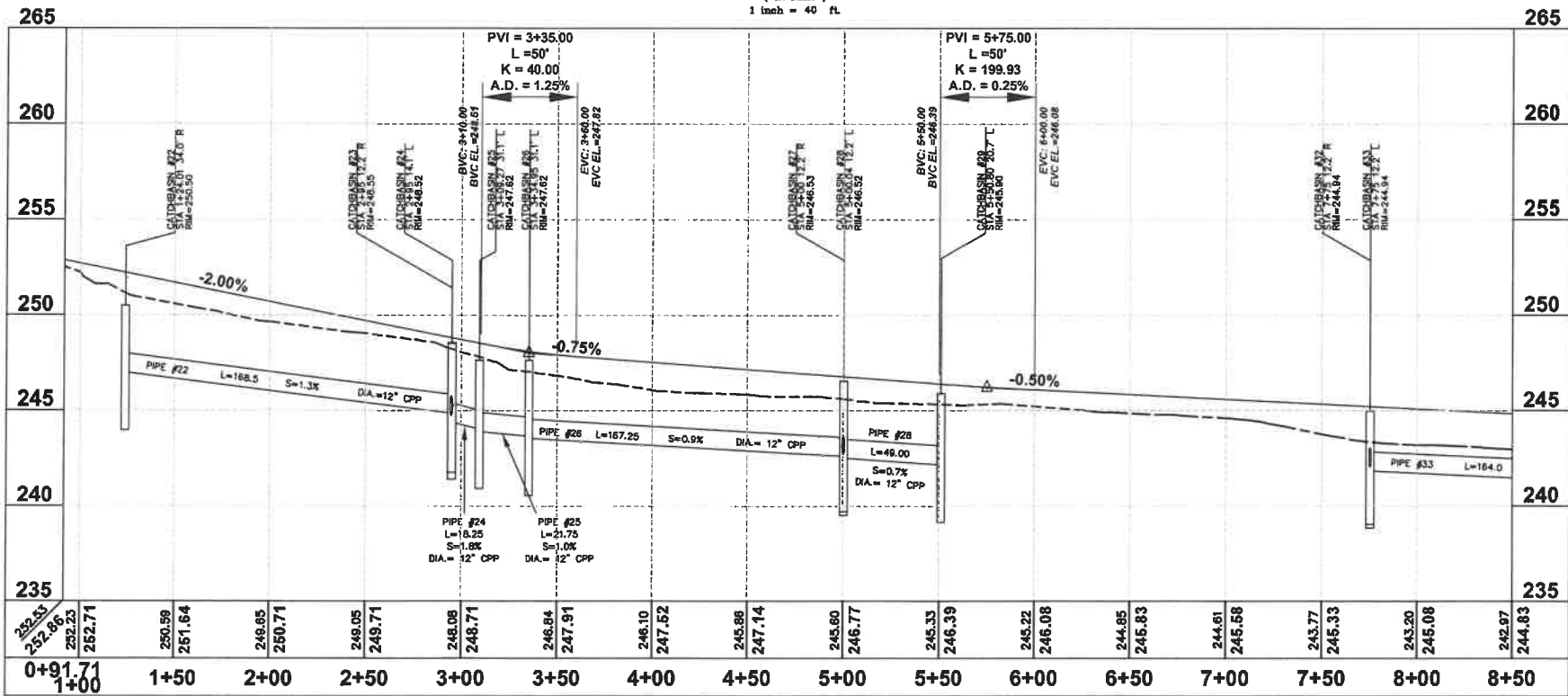
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.



GRAPHIC SCALE



SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

- NOTES:
1. INFORMATION FOR STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "DRAINAGE STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE DRAINAGE STRUCTURE TABLE FOR GUIDANCE.
 2. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SILT FENCE AND REMAIN WITHIN ITS PERIMETER.
 3. THE DETENTION PONDS SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 4. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C15. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE.
 5. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
 6. SEE SHEETS CB-C14 FOR LOCATIONS OF SEWER AND WATER IN RELATION OF THE DRAINAGE STRUCTURES. FOR CLARITY WATER AND SEWER HAVE BEEN OMITTED FROM SHEETS C1-C7.
 7. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PVG
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED CATCH BASIN
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT GRADE
 - PROPOSED TREE LINE
 - PROPOSED HAY BALES
 - PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PAVEMENT MATCHLINE (SAWCUT)
 - PROPOSED DRAIN LINE

AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C1

DRAINAGE STRUCTURE

DATA TABLE

CB32-CB37 (CONT'D)

STRUCTURE

CATCHBASIN #32 STA 8+50 12.2' R RM=244.09 INV. OUT=241.10, PIPE # 34 SUMP=237.75	PIPE #34 12" DIA. RCP L=20.50'-FT. S=0.5%
CATCHBASIN #33 STA 9+50 12.2' L RM=244.09 INV. IN=240.85, PIPE # 33 INV. OUT=240.85, PIPE # 34 SUMP=237.75	PIPE #35 15" DIA. RCP L=208.25'-FT. S=0.5%
CATCHBASIN #36 STA 12+52.22 12.2' R RM=242.58 INV. IN=239.44, PIPE # 36 SUMP=235.20	PIPE #36 12" DIA. RCP L=20.50'-FT. S=0.5%
CATCHBASIN #37 STA 12+52.22 12.2' L RM=242.58 INV. IN=239.23, PIPE # 35 INV. IN=239.33, PIPE # 36 INV. OUT=238.00, PIPE # 37 SUMP=235.00	PIPE #37 18" DIA. RCP L=18.00'-FT. S=0.5%

(CONTINUED FROM SHEET C1)
END OF NETWORK

CB38-CB42

STRUCTURE

CATCHBASIN #38 STA 14+50 12.2' R RM=241.58 INV. OUT=237.60, PIPE # 38 SUMP=234.60	PIPE #38 12" DIA. CPP L=20.50'-FT. S=0.5%
CATCHBASIN #39 STA 14+50 12.2' L RM=241.58 INV. IN=237.50, PIPE # 38 INV. OUT=237.40, PIPE # 39 SUMP=234.40	PIPE #39 12" DIA. CPP L=107.50'-FT. S=0.5%
CATCHBASIN #40 STA 15+70 12.2' L RM=240.25 INV. IN=236.85, PIPE # 39 INV. OUT=235.75, PIPE # 40 SUMP=233.75	PIPE #40 12" DIA. RCP L=103.50'-FT. S=0.5%

CONTINUED ON SHEET C3

STRUCTURE NOTES:

1. REFER TO SHEET C4 FOR INFORMATION REGARDING CB16-CB17.

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES SITE SPECIFIC: WPS-7295
NHDES SEWER CONNECTION PERMIT: 02005-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

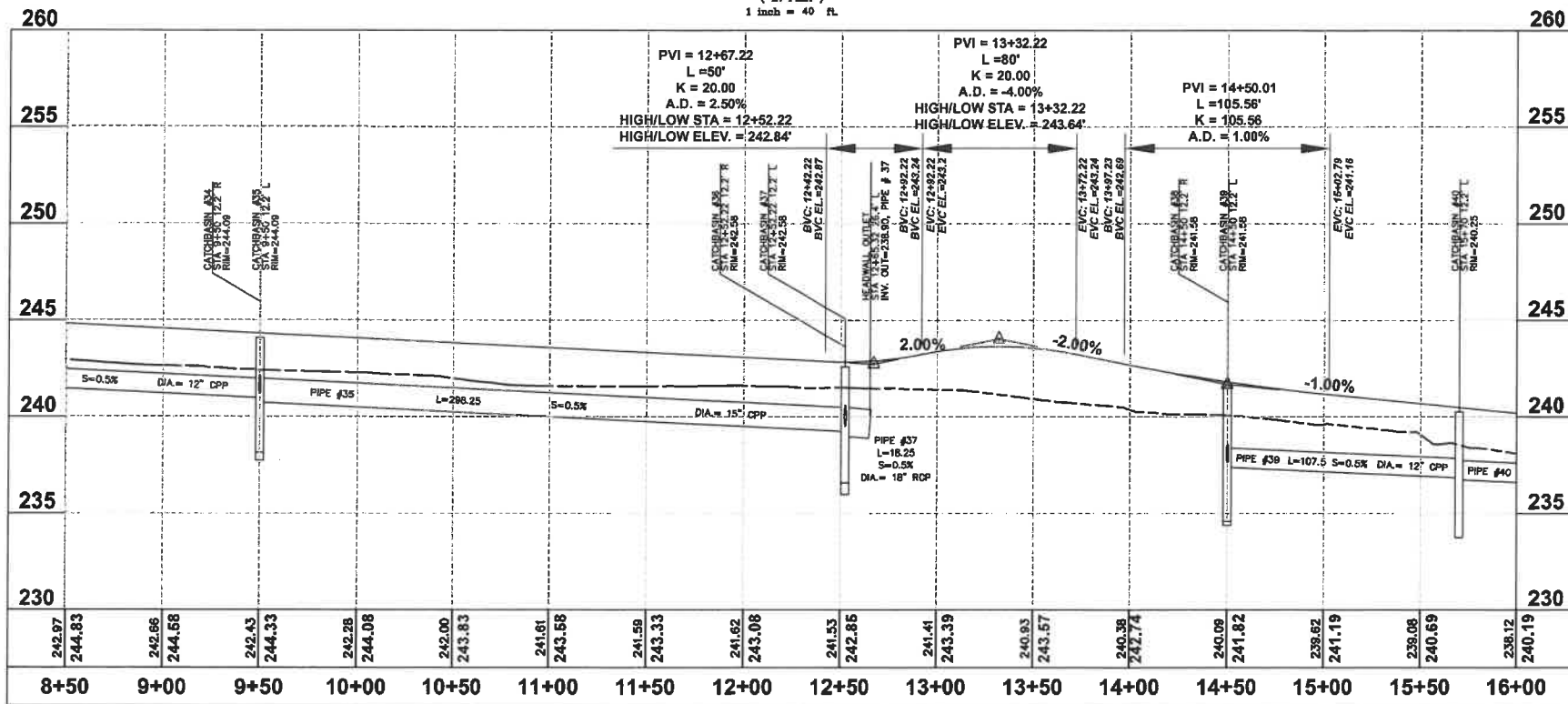
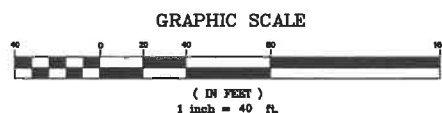
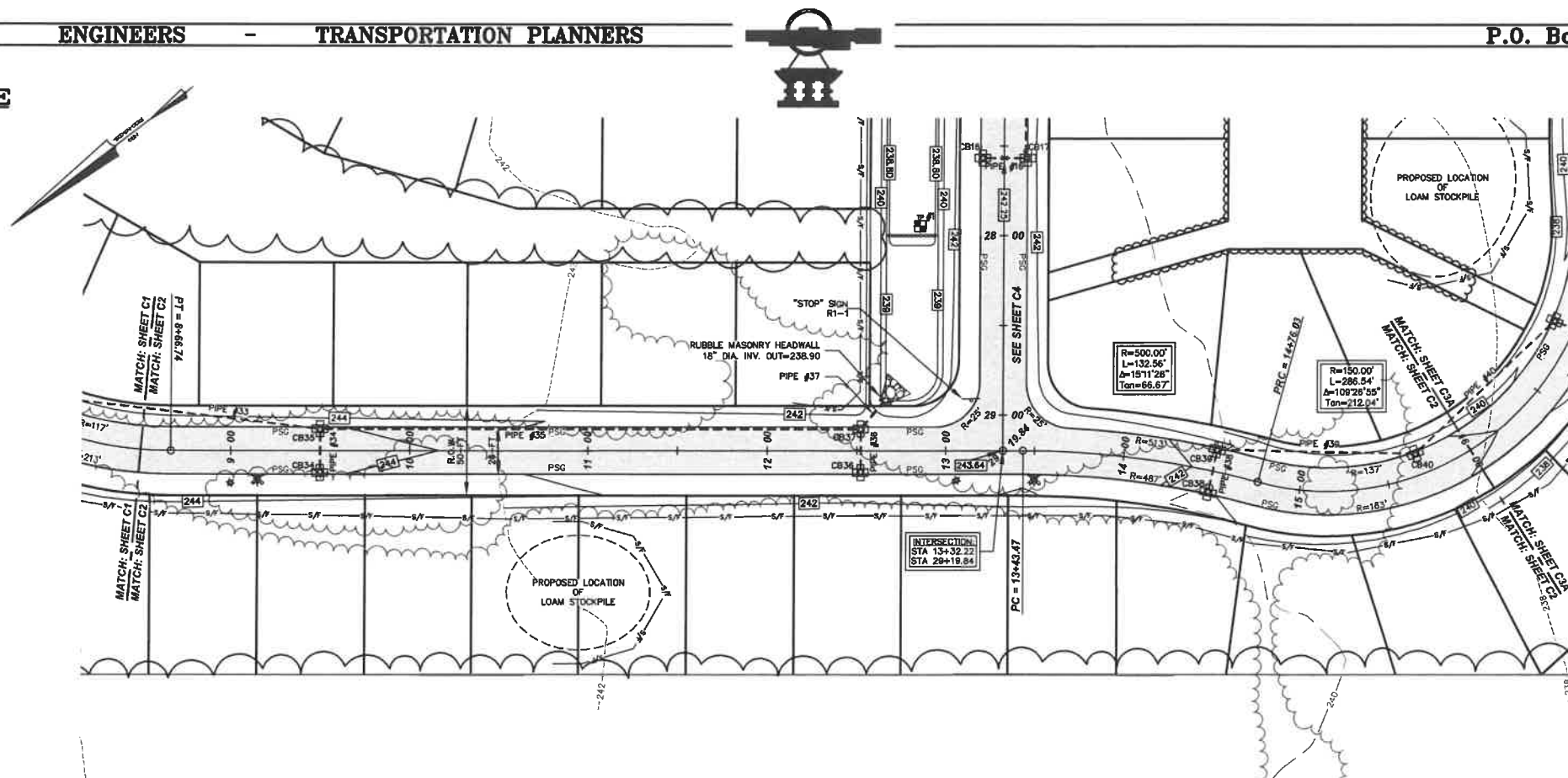
NPDES PERMIT:

REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.



SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

1. INFORMATION FOR STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "DRAINAGE STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE DRAINAGE STRUCTURE TABLE FOR GUIDANCE.
2. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25'-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SILT FENCE AND REMAIN WITHIN ITS PERIMETER.
3. THE DETENTION PONDS SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
4. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C15. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE.
5. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
6. SEE SHEETS C8-C14 FOR LOCATIONS OF SEWER AND WATER IN RELATION TO THE DRAINAGE STRUCTURES. FOR CLARITY WATER AND SEWER HAVE BEEN OMITTED FROM SHEETS C1-C7.
7. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

LEGEND

- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING SIGN
- WETLAND
- PROPERTY LINE
- SETBACK LINE
- EDGE OF WETLAND
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED CATCH BASIN
- PROPOSED UTILITY POLE
- PROPOSED LIGHT POLE
- PROPOSED SIGN
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT GRADE
- PROPOSED TREE LINE
- PROPOSED HAY BALES
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PAVEMENT MATCHLINE (SAWCUT)
- PROPOSED DRAIN LINE

AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2018

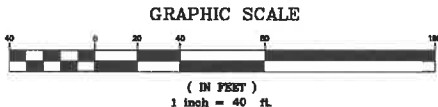
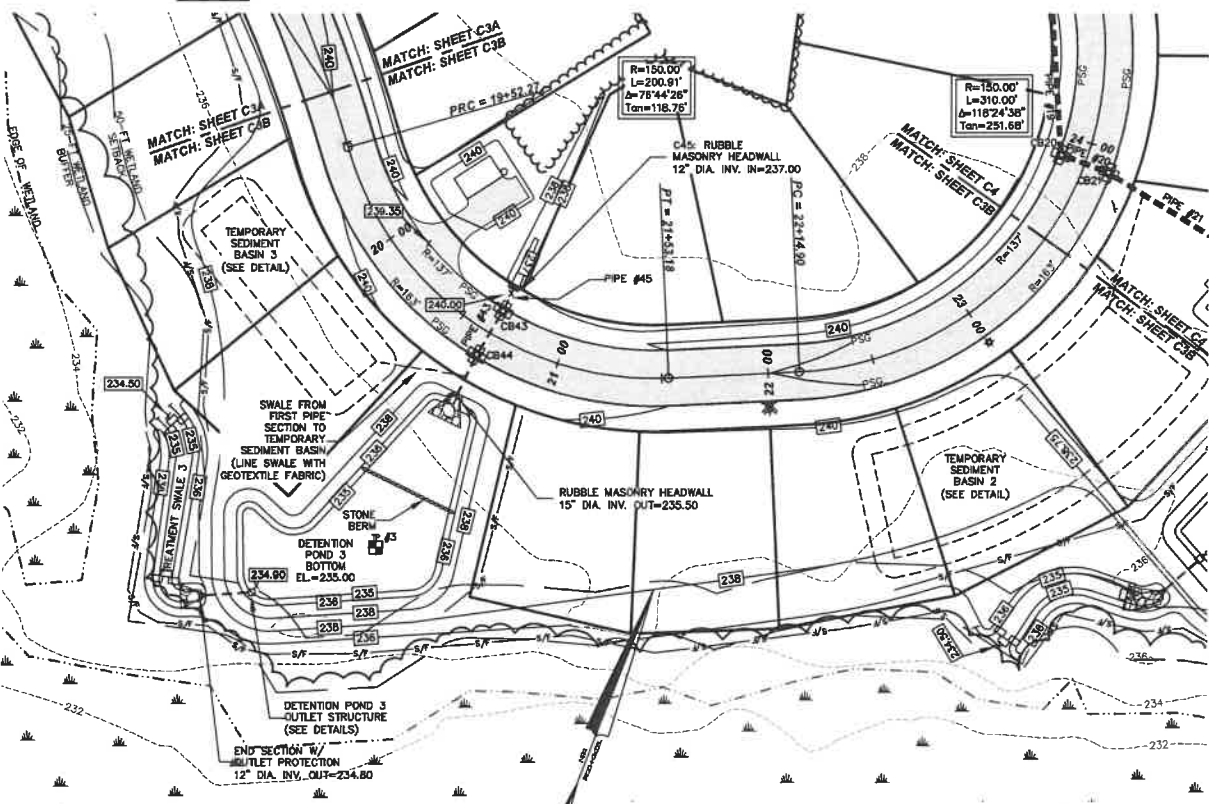
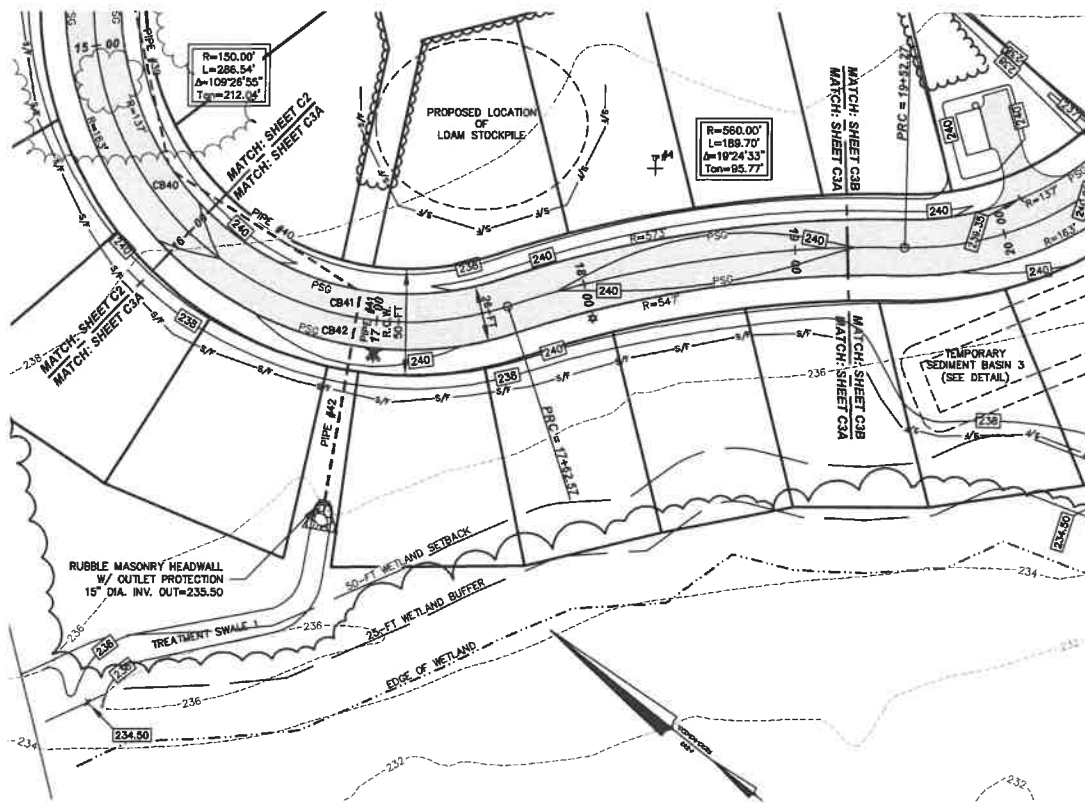
SHEET C2

NORWAY PLAINS ASSOCIATES, INC.



REVISIONS:

- NOTES:
1. INFORMATION FOR STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "DRAINAGE STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE DRAINAGE STRUCTURE TABLE FOR GUIDANCE.
 2. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25'-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SILT FENCE AND REMAIN WITHIN ITS PERIMETER.
 3. THE DETENTION PONDS SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 4. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C15. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE.
 5. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
 6. SEE SHEETS C8-C14 FOR LOCATIONS OF SEWER AND WATER IN RELATION OF THE DRAINAGE STRUCTURES. FOR CLARITY WATER AND SEWER HAVE BEEN OMITTED FROM SHEETS C1-C7.
 7. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.



DRAINAGE STRUCTURE DATA TABLE
CB38-CB42 (CONT'D)
STRUCTURE

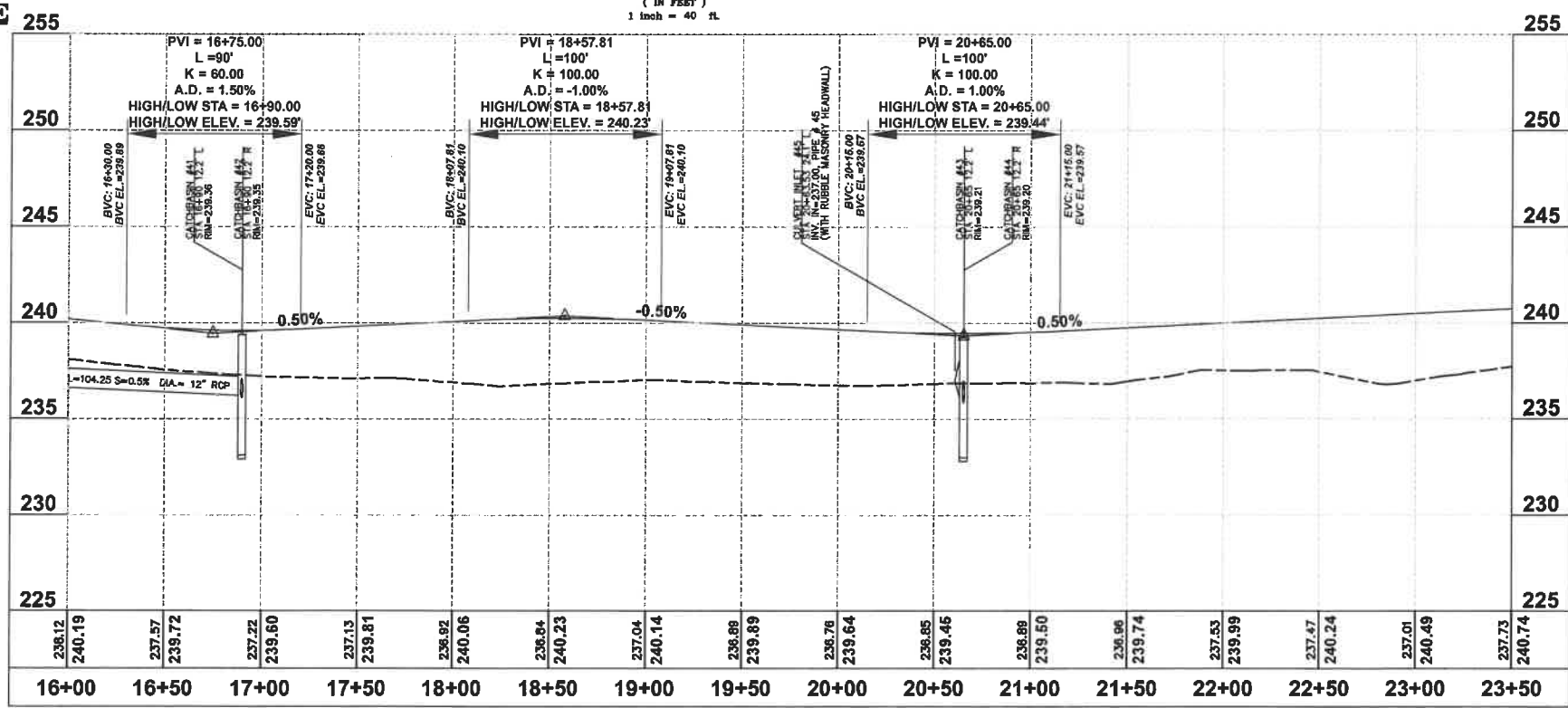
CATCH BASIN	PIPE
CATCH BASIN #41 STA 16+90.12 L RM=239.38 INV. IN=236.20, PIPE # 40 INV. OUT=235.10, PIPE # 41 SUMP=233.10	PIPE #41 12" DIA. RCP L=20.50'-FT. S=0.5%
CATCH BASIN #42 STA 18+90.12 L RM=239.38 INV. IN=236.20, PIPE # 41 INV. OUT=235.10, PIPE # 42 SUMP=233.90	PIPE #42 15" DIA. RCP L=75.00'-FT. S=0.5%

(CONTINUED FROM SHEET C2)
END OF NETWORK

C46-CB44
STRUCTURE

CATCH BASIN	PIPE
CATCH BASIN #43 STA 20+83.12 L RM=239.21 INV. IN=236.10, PIPE # 45 INV. OUT=235.00, PIPE # 43 SUMP=233.00	PIPE #43 12" DIA. RCP L=20.50'-FT. S=0.5%
CATCH BASIN #44 STA 20+83.12 L RM=239.21 INV. IN=236.10, PIPE # 45 INV. OUT=235.00, PIPE # 44 SUMP=232.80	PIPE #44 15" DIA. RCP L=20.00'-FT. S=0.5%

END OF NETWORK



- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED CATCH BASIN
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT GRADE
 - PROPOSED TREE LINE
 - PROPOSED HAY BALES
 - PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PAVEMENT MATCHLINE (SAWCUT)
 - PROPOSED DRAIN LINE

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES SITE SPECIFIC: WPS-7295
NHDES SEWER CONNECTION PERMIT: 02005-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

**AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE**
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C3

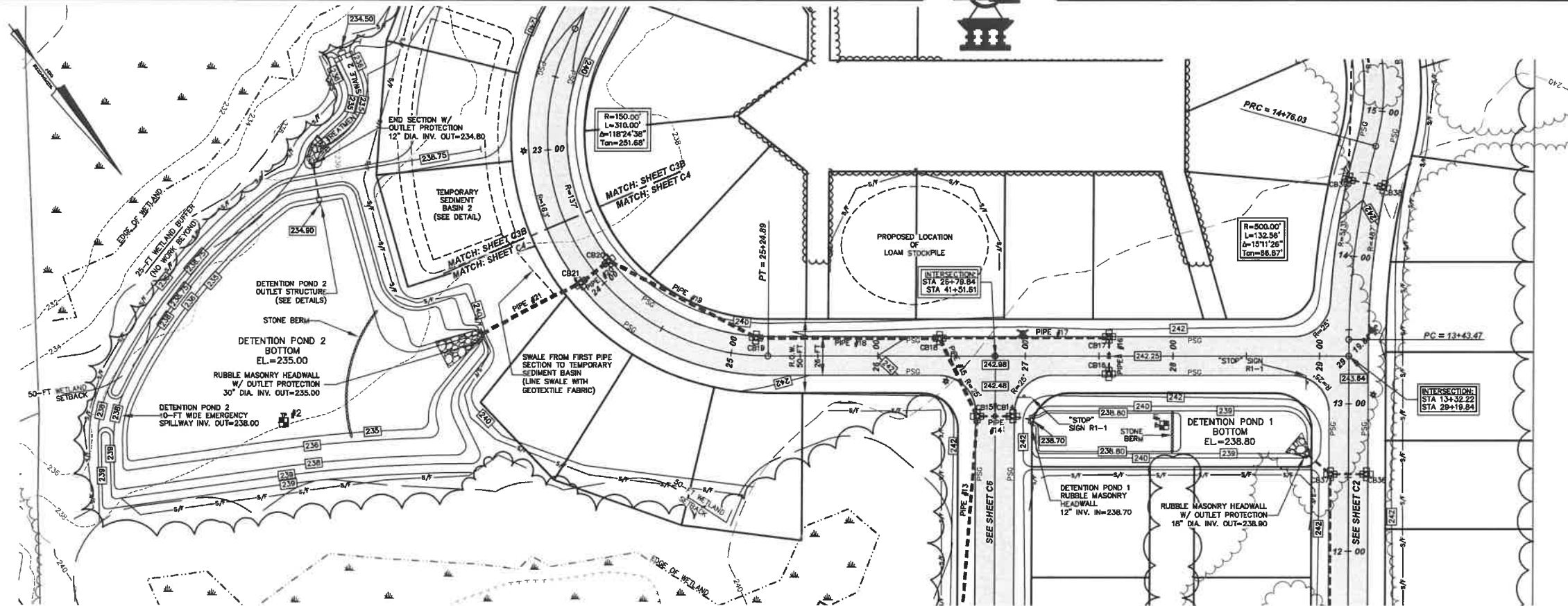
FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184/S-5
F.B. NO.

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

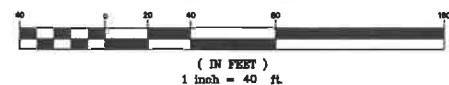
P.O. Box 249, Rochester, N.H. 03866-0249



REVISIONS:



GRAPHIC SCALE



PVI = 26+79.92
L = 40'
K = 10.00
A.D. = -4.00%
HIGH/LOW STA = 26+79.92
HIGH/LOW ELEV. = 243.02'

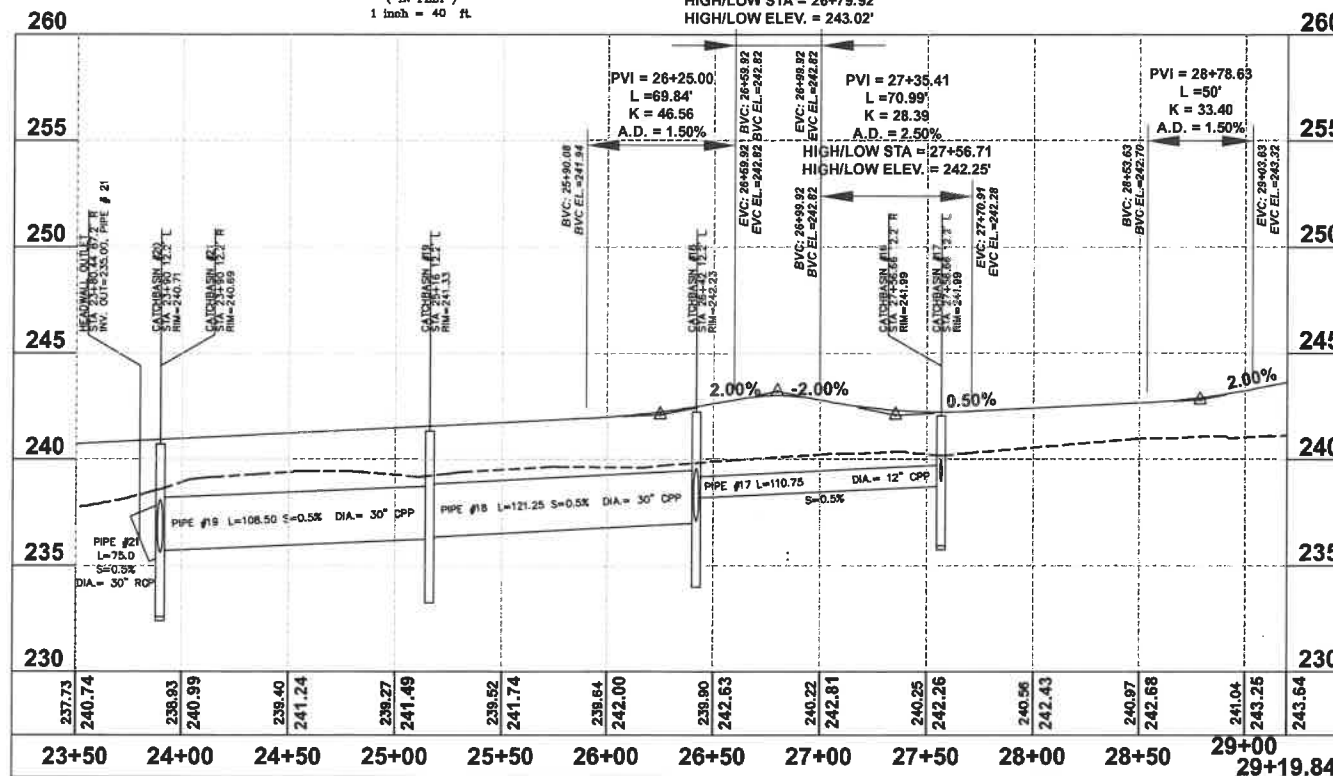
DRAINAGE STRUCTURE DATA TABLE

CB16-CB21 STRUCTURE

CATCHBASIN #	PIPE
CATCHBASIN #16 STA 27+56.66 12.2' R RM=241.99 INV. OUT=238.95, PIPE # 16 SUMP=235.95	PIPE #16 12" DIA. RCP L=20.50'-FT. S=0.5%
CATCHBASIN #17 STA 27+56.66 12.2' L RM=241.99 INV. IN=238.95, PIPE # 16 INV. OUT=238.75, PIPE # 17 SUMP=235.75	PIPE #17 12" DIA. RCP L=110.75'-FT. S=0.5%
CATCHBASIN #18 STA 26+42 12.2' L RM=242.23 INV. IN=237.10, PIPE # 15 INV. IN=238.10, PIPE # 17 INV. OUT=237.00, PIPE # 18 SUMP=234.00	PIPE #18 30" DIA. CPP L=121.50'-FT. S=0.5%
CATCHBASIN #19 STA 25+16 12.2' L RM=241.33 INV. IN=236.35, PIPE # 18 INV. OUT=238.25, PIPE # 19 SUMP=233.25	PIPE #19 30" DIA. CPP L=108.50'-FT. S=0.5%
CATCHBASIN #20 STA 23+90 12.2' L RM=240.71 INV. IN=235.70, PIPE # 19 INV. OUT=235.60, PIPE # 20 SUMP=232.60	PIPE #20 30" DIA. CPP L=20.50'-FT. S=0.5%
CATCHBASIN #21 STA 23+90 12.2' R RM=240.69 INV. IN=235.50, PIPE # 20 INV. OUT=235.40, PIPE # 21 SUMP=232.40	PIPE #21 30" DIA. RCP L=75.00'-FT. S=0.5%

END OF NETWORK

STRUCTURE NOTES:
1. REFER TO SHEET C2 FOR INFORMATION REGARDING CB36-CB39.
2. REFER TO SHEET C6 FOR INFORMATION REGARDING CB14-CB15.



SCALE: H: 1"=40', V: 1"=4'

LEGEND

EXISTING CATCH BASIN	PROPOSED UTILITY POLE
EXISTING SEWER MANHOLE	PROPOSED LIGHT POLE
EXISTING WATER GATE VALVE	PROPOSED SIGN
EXISTING FIRE HYDRANT	EXISTING CONTOURS
EXISTING UTILITY POLE	PROPOSED CONTOURS
EXISTING SIGN	PROPOSED SPOT GRADE
WETLAND	PROPOSED TREE LINE
PROPERTY LINE	PROPOSED HAY BALES
SETBACK LINE	PROPOSED INLET PROTECTION
EDGE OF WETLAND	PROPOSED SILT FENCE
PROPOSED VERTICAL GRANITE CURB	PAVEMENT MATCHLINE (SAWCUT)
PROPOSED CATCH BASIN	PROPOSED DRAIN LINE

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES SITE SPECIFIC: NPS-7285
NHDES SEWER CONNECTION PERMIT: 02005-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

**AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE**
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C4

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.

NORWAY PLAINS ASSOCIATES, INC.

DRAINAGE STRUCTURE

DATA TABLE

CB1-CB15 STRUCTURE

CATCHBASIN #1 STA 30+01.22 28.6' R RIM=247.63 INV. IN=244.50 PIPE # 1 SUMP=241.49	PIPE #1 12" DIA. RCP L=86.50'-FT. S=0.5%
HEADWALL INLET #1A STA 30+48.62 23.7' R INV. OUT=245.00 PIPE # 1A	PIPE #1A 12" DIA. RCP L=10.00'-FT. S=7.0%
CATCHBASIN #2 STA 31+90 12.2' R RIM=247.34 INV. IN=244.04 PIPE # 1 INV. IN=243.34 PIPE # 1A L=81.00'-FT. SUMP=240.94	PIPE #2 12" DIA. RCP L=81.00'-FT. S=0.5%
CATCHBASIN #3 STA 31+75 12.2' R RIM=246.76 INV. IN=243.53 PIPE # 1B INV. IN=243.43 PIPE # 2 SUMP=240.43	PIPE #3 12" DIA. RCP L=72.50'-FT. S=0.5%
CATCHBASIN #4 STA 31+75 12.2' L RIM=246.90 INV. IN=243.32 PIPE # 2 INV. OUT=243.22 PIPE # 3 SUMP=240.22	PIPE #4 12" DIA. RCP L=42.25'-FT. S=0.5%
CATCHBASIN #5 STA 32+50 12.2' L RIM=246.26 INV. IN=242.85 PIPE # 3 INV. IN=242.85 PIPE # 4 SUMP=239.60	PIPE #5 15" DIA. CPP L=86.25'-FT. S=0.5%
CATCHBASIN #6 STA 32+50 12.2' L RIM=246.54 INV. IN=242.85 PIPE # 3 INV. IN=242.85 PIPE # 4 SUMP=239.60	PIPE #6 15" DIA. CPP L=86.25'-FT. S=0.5%
HEADWALL INLET #7A STA 33+43.93 24.6' R INV. OUT=242.50 PIPE # 7A	PIPE #7A 12" DIA. RCP L=10.00'-FT. S=0.8%
CATCHBASIN #7 STA 33+50 12.2' R RIM=246.04 INV. IN=242.40 PIPE # 7A INV. OUT=242.20 PIPE # 7 SUMP=239.20	PIPE #7 12" DIA. CPP L=20.50'-FT. S=0.5%
CATCHBASIN #8 STA 33+50 12.2' L RIM=246.04 INV. IN=242.10 PIPE # 6 INV. IN=242.10 PIPE # 7 INV. OUT=241.50 PIPE # 8 SUMP=236.80	PIPE #8 18" DIA. CPP L=22.50'-FT. S=0.5%
CATCHBASIN #9 STA 35+75 12.2' R RIM=245.01 INV. IN=241.20 PIPE # 9 SUMP=236.20	PIPE #9 12" DIA. CPP L=20.50'-FT. S=0.5%
CATCHBASIN #10 STA 35+75 12.2' L RIM=245.05 INV. IN=240.70 PIPE # 8 INV. IN=241.10 PIPE # 9 INV. OUT=240.60 PIPE # 10 SUMP=237.60	PIPE #10 18" DIA. CPP L=121.00'-FT. S=0.5%
CATCHBASIN #11 STA 37+00 12.2' L RIM=244.28 INV. IN=240.00 PIPE # 10 INV. OUT=239.70 PIPE # 11 SUMP=236.70	PIPE #11 24" DIA. CPP L=136.50'-FT. S=0.5%

CONTINUED ON SHEET C6

STRUCTURE NOTES:

1. REFER TO SHEET C7 FOR INFORMATION REGARDING CB30-CB31.

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:

NHDES SITE SPECIFIC: WPS-7295
NHDES SEWER CONNECTION PERMIT: D2005-121B

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):

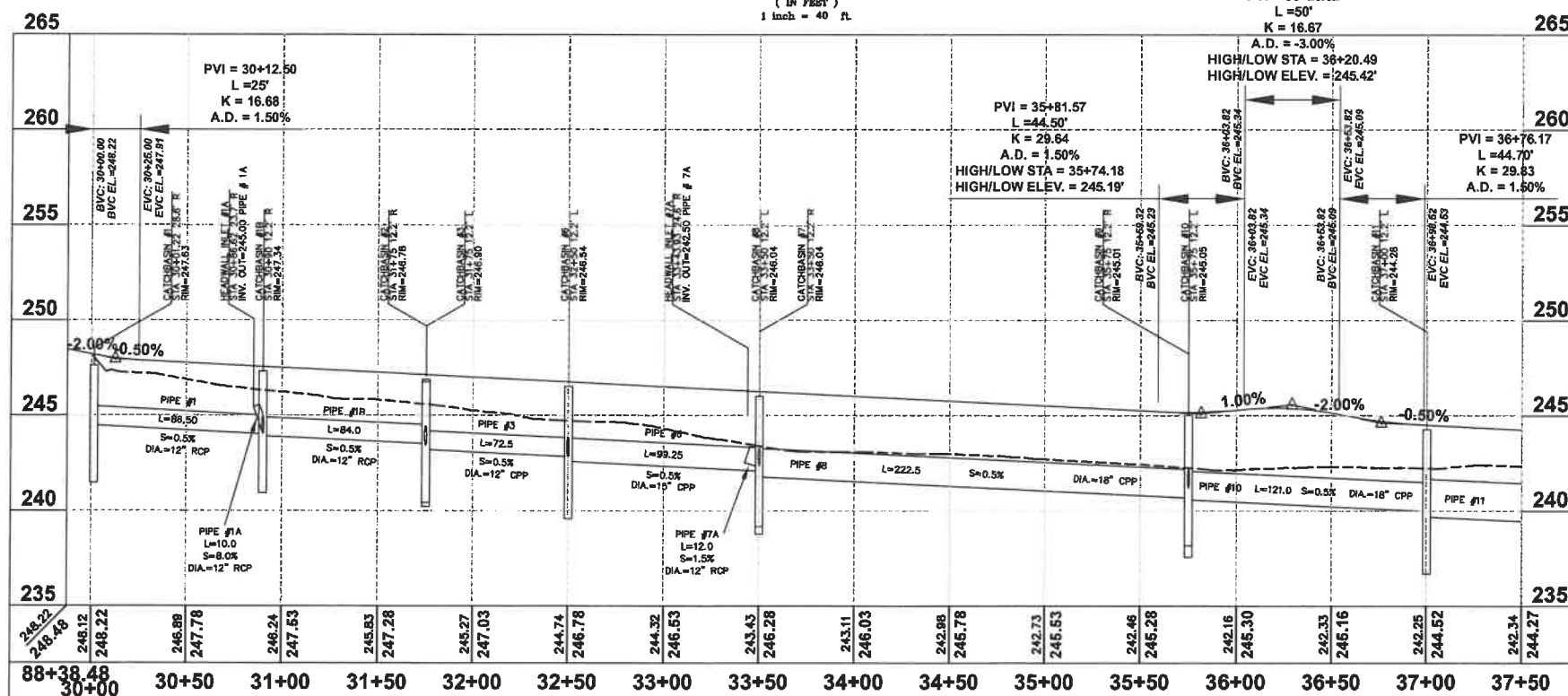
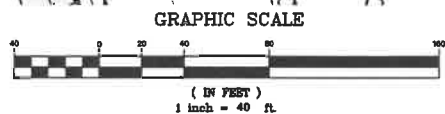
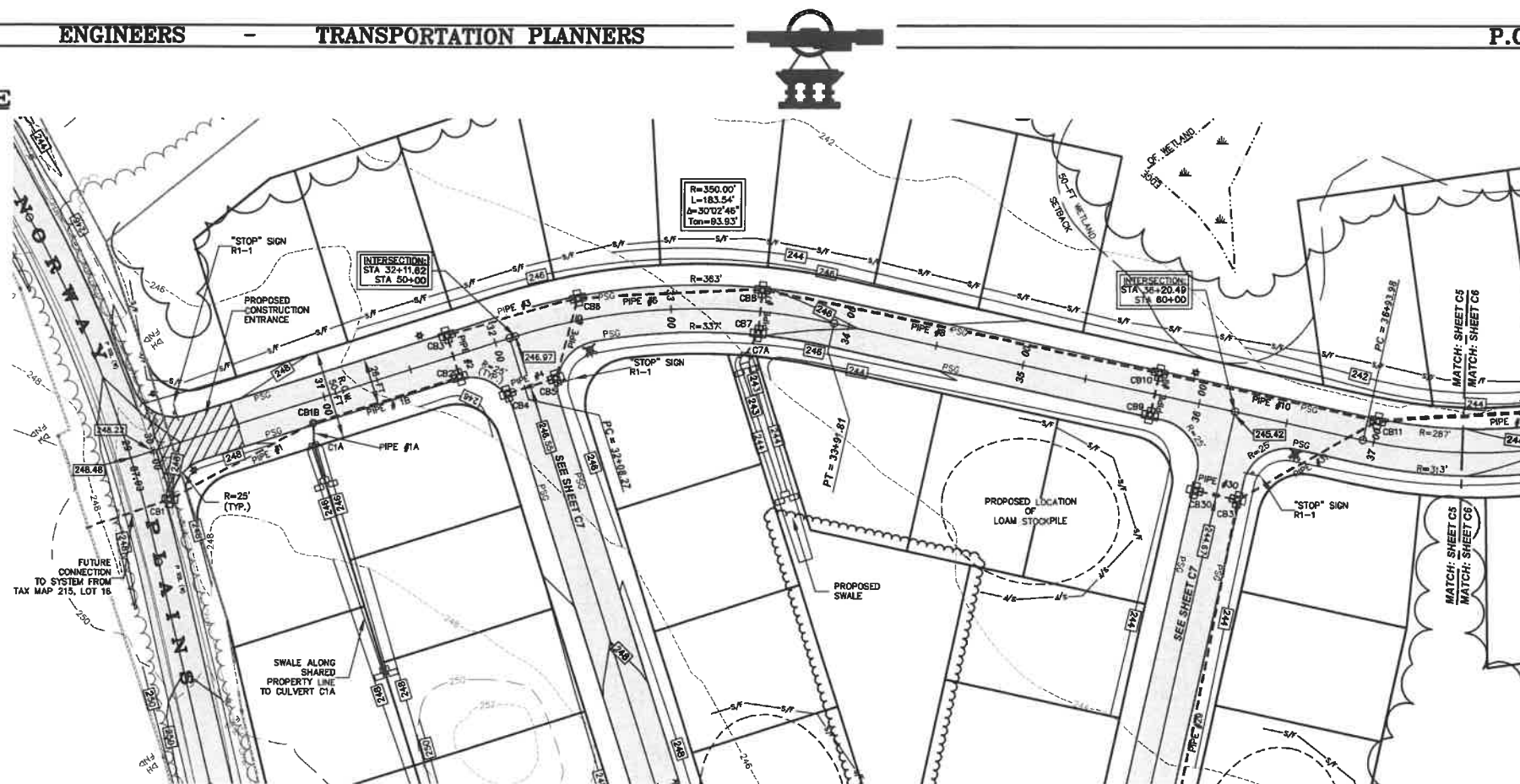
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED

NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.

FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.



- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED CATCH BASIN
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT GRADE
 - PROPOSED TREE LINE
 - PROPOSED HAY BALES
 - PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PAVEMENT MATCHLINE (SAWCUT)
 - PROPOSED DRAIN LINE

**AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE**
RANGWAY DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2018

SHEET C5

NORWAY PLAINS ASSOCIATES, INC.

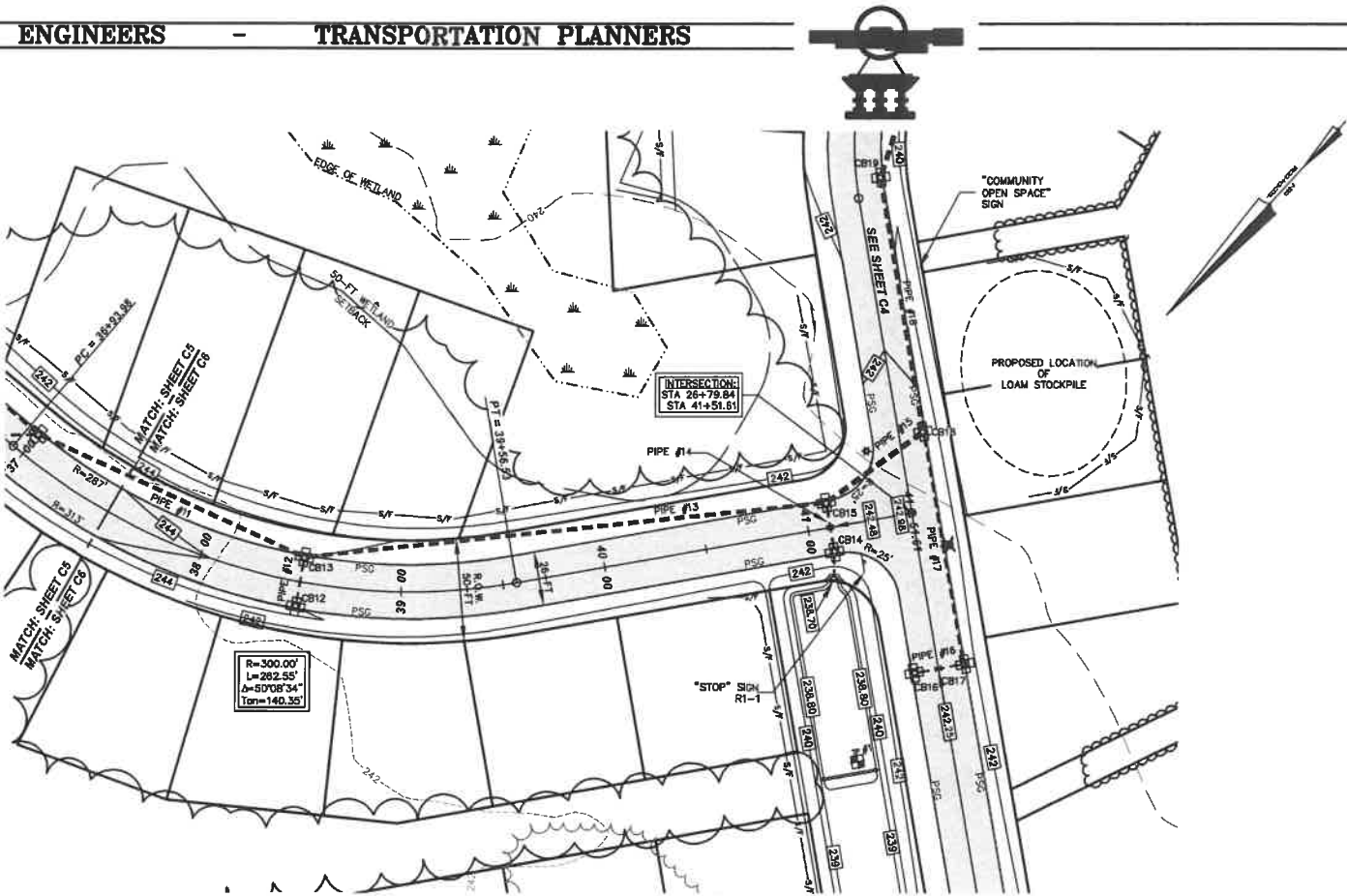
DRAINAGE STRUCTURE DATA TABLE

**CB1-CB15 (CONT'D)
STRUCTURE**

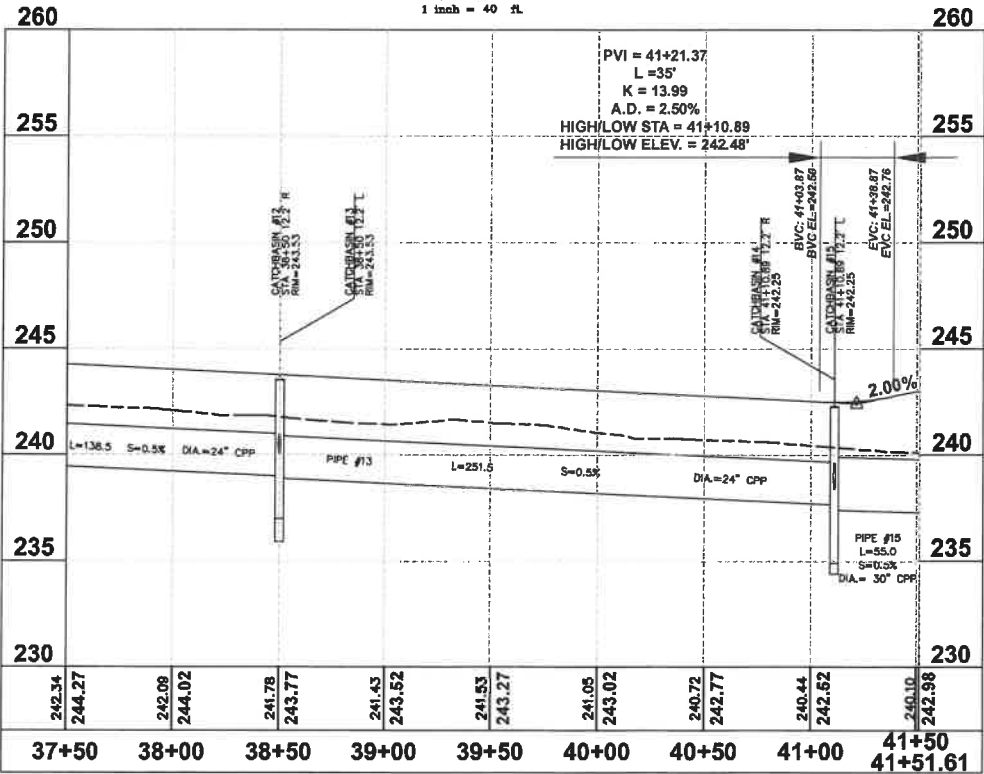
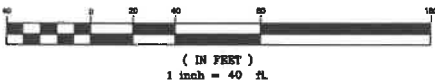
CATCHBASIN #12 STA 38+50 12.2' R RM=243.53 INV. IN=240.00, PIPE # 12 SUMP=237.00	PIPE #12 12" DIA. CPP L=20.50-FT. S=0.5%
CATCHBASIN #13 STA 39+50 12.2' L RM=243.53 INV. IN=239.00, PIPE # 11 INV. IN=238.90, PIPE # 12 INV. OUT=238.90, PIPE # 13 SUMP=235.90	PIPE #13 24" DIA. CPP L=251.50-FT. S=0.5%
CATCHBASIN #14 STA 41+10.89 12.2' R RM=242.25 INV. IN=238.60, POND OUT INV. OUT=238.50, PIPE # 14 SUMP=234.40	PIPE #14 15" DIA. CPP L=20.50-FT. S=0.5%
CATCHBASIN #15 STA 41+10.89 12.2' L RM=242.25 INV. IN=237.65, PIPE # 13 INV. IN=238.40, PIPE # 14 INV. OUT=237.40, PIPE # 15 SUMP=234.40	PIPE #15 30" DIA. CPP L=55.00-FT. S=0.5%

(CONTINUED FROM SHEET C5)
(TIES INTO CB 18)

STRUCTURE NOTES:
1. REFER TO SHEET C4 FOR INFORMATION REGARDING CB16-CB19.



GRAPHIC SCALE



SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

- NOTES:**
1. INFORMATION FOR STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "DRAINAGE STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE DRAINAGE STRUCTURE TABLE FOR GUIDANCE.
 2. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT. OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SILT FENCE AND REMAIN WITHIN ITS PERIMETER.
 3. THE DETENTION PONDS SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 4. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C15. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE.
 5. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
 6. SEE SHEETS C8-C14 FOR LOCATIONS OF SEWER AND WATER IN RELATION TO THE DRAINAGE STRUCTURES. FOR CLARITY WATER AND SEWER HAVE BEEN OMITTED FROM SHEETS C1-C7.
 7. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

LEGEND

- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING SIGN
- WETLAND
- PROPERTY LINE
- SETBACK LINE
- EDGE OF WETLAND
- PVG
- PROPOSED VERTICAL GRANITE CURB
- PROPOSED CATCH BASIN
- PROPOSED UTILITY POLE
- PROPOSED LIGHT POLE
- PROPOSED SIGN
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT GRADE
- PROPOSED TREE LINE
- PROPOSED HAY BALES
- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PAVEMENT MATCHLINE (SAWCUT)
- PROPOSED DRAIN LINE

**AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE
RANGEWAY DRIVE
ROCHESTER, N.H.**

FOR

NP REALTY ASSOCIATES, LLC

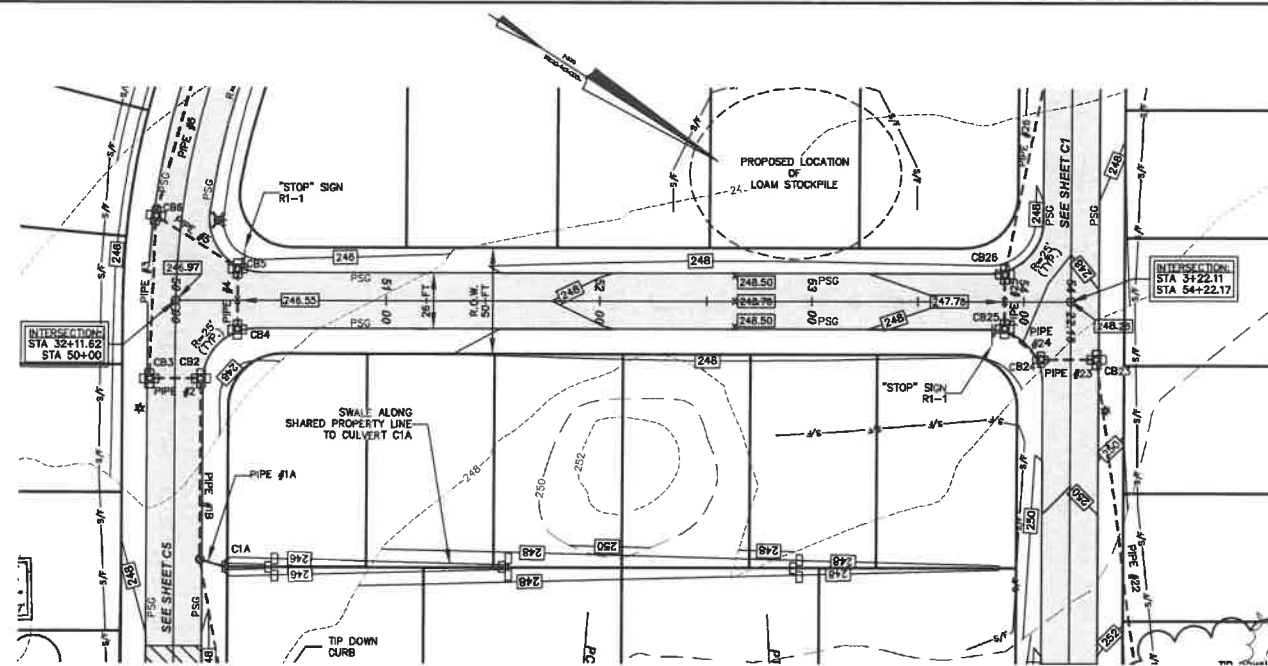
1"=40' JULY 2018

SHEET C6

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249

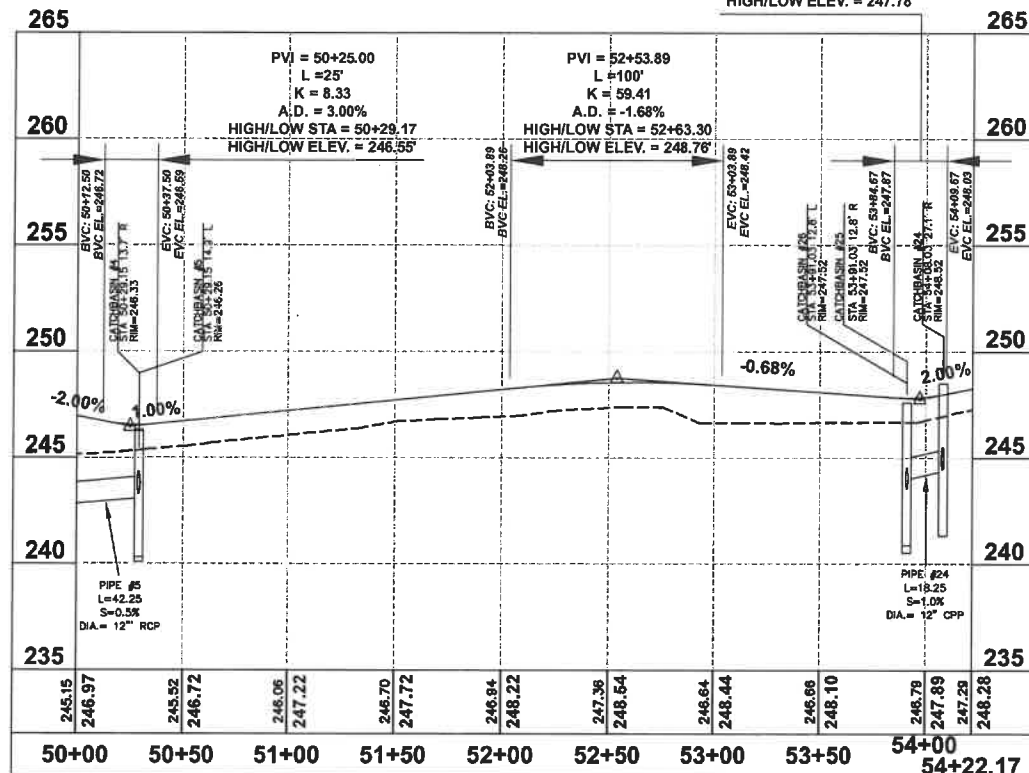


PLAN: LANTERN LANE

GRAPHIC SCALE



PVI = 53+97.17
L = 25'
K = 9.32
A.D. = 2.68%
HIGH/LOW STA = 53+91.03
HIGH/LOW ELEV. = 247.78'



PROFILE: LANTERN LANE

SCALE: H: 1"=40', V: 1"=4'

DRAINAGE STRUCTURE

DATA TABLE

CB4-CB5
STRUCTURE

CATCHBASIN #	PIPE
CATCHBASIN #4 STA 50+28.15 13.7' R RM=246.33 INV. OUT=243.33 PIPE # 4 SUMP=240.33	PIPE #4 12" DIA. RCP L=24.75-FT. S=0.5%
CATCHBASIN #5 STA 50+28.15 14.9' L RM=246.25 INV. IN=243.20 PIPE # 4 INV. OUT=243.10 PIPE # 5 SUMP=240.10	PIPE #5 12" DIA. RCP L=42.25-FT. S=0.5%

(TIES INTO CB 6)

CB24-CB26
STRUCTURE

CATCHBASIN #	PIPE
CATCHBASIN #24 STA 53+10.55 27.1' R RM=246.52 INV. IN=244.50 PIPE # 23 INV. OUT=244.40 PIPE # 24 SUMP=241.35	PIPE #24 12" DIA. RCP L=18.25-FT. S=1.0%
CATCHBASIN #25 STA 53+10.55 12.8' R RM=247.52 INV. IN=244.00 PIPE # 24 INV. OUT=243.90 PIPE # 25 SUMP=240.90	PIPE #25 12" DIA. RCP L=21.75-FT. S=0.5%
CATCHBASIN #26 STA 53+10.55 12.2' L RM=247.52 INV. IN=243.84 PIPE # 25 INV. OUT=243.54 PIPE # 26 SUMP=240.54	PIPE #26 12" DIA. RCP L=167.25-FT. S=0.5%

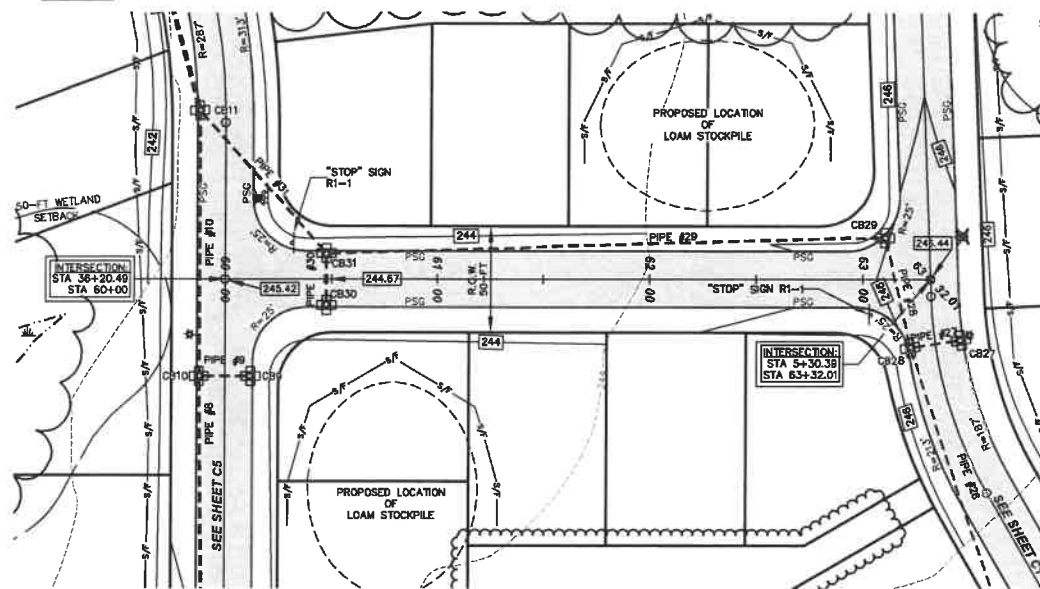
(PART OF CB22-CB31)
(TIES INTO CB 29)

CB22-C31 (CONT'D)
STRUCTURE

CATCHBASIN #	PIPE
CATCHBASIN #29 STA 53+10.55 18.6' L RM=245.90 INV. IN=242.15 PIPE # 28 INV. OUT=241.90 PIPE # 29 SUMP=238.89	PIPE #29 15" DIA. CPP L=250.25-FT. S=0.5%
CATCHBASIN #30 STA 60+47.52 12.2' R RM=244.41 INV. OUT=240.80 PIPE # 30 SUMP=237.80	PIPE #30 12" DIA. CPP L=20.50-FT. S=0.5%
CATCHBASIN #31 STA 60+47.52 12.2' L RM=244.41 INV. IN=240.55 PIPE # 29 INV. OUT=240.70 PIPE # 30 SUMP=237.45	PIPE #31 15" DIA. CPP L=86.00-FT. S=0.5%

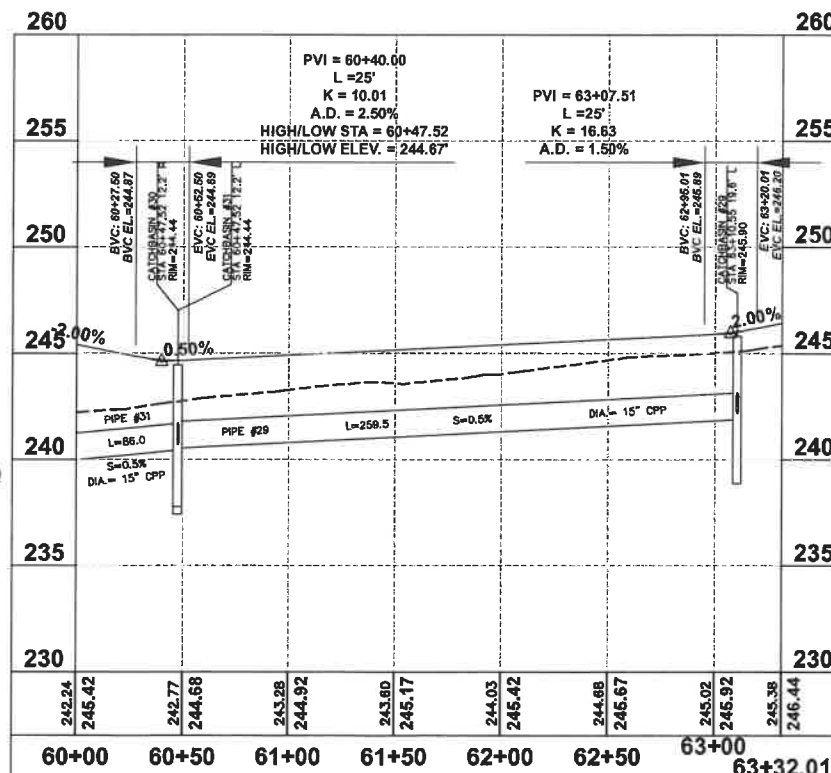
(CONTINUED FROM SHEET C1)
(TIES INTO CB11)

STRUCTURE NOTES:
1. REFER TO SHEET C5 FOR INFORMATION REGARDING CB2-CB6
& CB9-CB11.
2. REFER TO SHEET C1 FOR INFORMATION REGARDING CB23-29.



PLAN: WINCH WAY

GRAPHIC SCALE



PROFILE: WINCH WAY

SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

- NOTES:
1. INFORMATION FOR STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "DRAINAGE STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE DRAINAGE STRUCTURE TABLE FOR GUIDANCE.
 2. NO CONSTRUCTION SHALL TAKE PLACE WITHIN THE LAST 25-FT OF THE WETLANDS BUFFER. CONSTRUCTION VEHICLES TAKE NOTICE OF THE SILT FENCE AND REMAIN WITHIN ITS PERIMETER.
 3. THE DETENTION PONDS SHALL BE INSPECTED PRIOR TO ROADWAY ACCEPTANCE. ANY EROSION SHALL BE FIXED AND ANY SEDIMENT SHALL BE REMOVED AND VEGETATION RE-ESTABLISHED ON THE DETENTION POND BOTTOM. THE DETENTION POND BOTTOMS SHALL BE AT DESIGN ELEVATION AS SPECIFIED IN THE DETAILS ON SHEET C16 OF THIS PLAN SET.
 4. LOAM STOCKPILES SHALL BE SEEDING IN ACCORDANCE WITH THE SEEDING NOTES ON SHEET C15. IF STORED MORE THAN 30 DAYS, SILT FENCE SHALL BE INSTALLED AT THE DOWN GRADIENT SIDE OF THE LOAM STOCKPILE AS SHOWN IN THE PLAN VIEW AROUND AT LEAST ONE HALF THE CIRCUMFERENCE OF THE PILE.
 5. DURING ALL PHASES OF CONSTRUCTION DUST SHALL BE PREVENTED FROM BECOMING A SAFETY OR HEALTH HAZARD BY THE IMPLEMENTATION OF ACCEPTED CONTROL METHODS SUCH AS WATERING.
 6. SEE SHEETS C8-C14 FOR LOCATIONS OF SEWER AND WATER IN RELATION TO THE DRAINAGE STRUCTURES. FOR CLARITY WATER AND SEWER HAVE BEEN OMITTED FROM SHEETS C1-C7.
 7. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED CATCH BASIN
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED SPOT GRADE
 - PROPOSED TREE LINE
 - PROPOSED HAY BALES
 - PROPOSED INLET PROTECTION
 - PROPOSED SILT FENCE
 - PAVEMENT MATCHLINE (SAND/UT)
 - PROPOSED DRAIN LINE

STATE OF NEW HAMPSHIRE PERMIT NUMBERS:
NHDES SITE SPECIFIC: WPS-7295
NHDES SEWER CONNECTION PERMIT: D2009-1218

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES):
NPDES PERMITS ARE ONLY REQUIRED FOR PROJECTS MEETING THE DISTURBED AREA CRITERIA BELOW AND HAVING A POINT SOURCE STORMWATER DISCHARGE FROM THE SITE TO AN ADJACENT WETLAND OR WATER BODY (I.E. CULVERT, SWALE, ETC. OUTLETING TO A WETLAND, CREEK, STREAM OR RIVER).

NPDES PERMIT: REQUIRED
NPDES PERMITS CONSIST OF A NOTICE OF INTENT (NOI) FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY AT LEAST 48 HOURS PRIOR TO CONSTRUCTION COMMENCING AND A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING PREPARED, KEPT ON SITE AND FOLLOWED BY THE CONTRACTOR.
FOR STATUS OF THIS PERMIT CONTACT THE PROJECT GENERAL CONTRACTOR.

AMENDED GRADING,
DRAINAGE STRUCTURES
& EROSION CONTROL
PLAN AND PROFILE
LANTERN LANE & WINCH WAY
ROCHESTER, N.H.

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C7

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.

NORWAY PLAINS ASSOCIATES, INC.

DRAINAGE STRUCTURE

DATA TABLE

SMH16-SMH 18
STRUCTURE

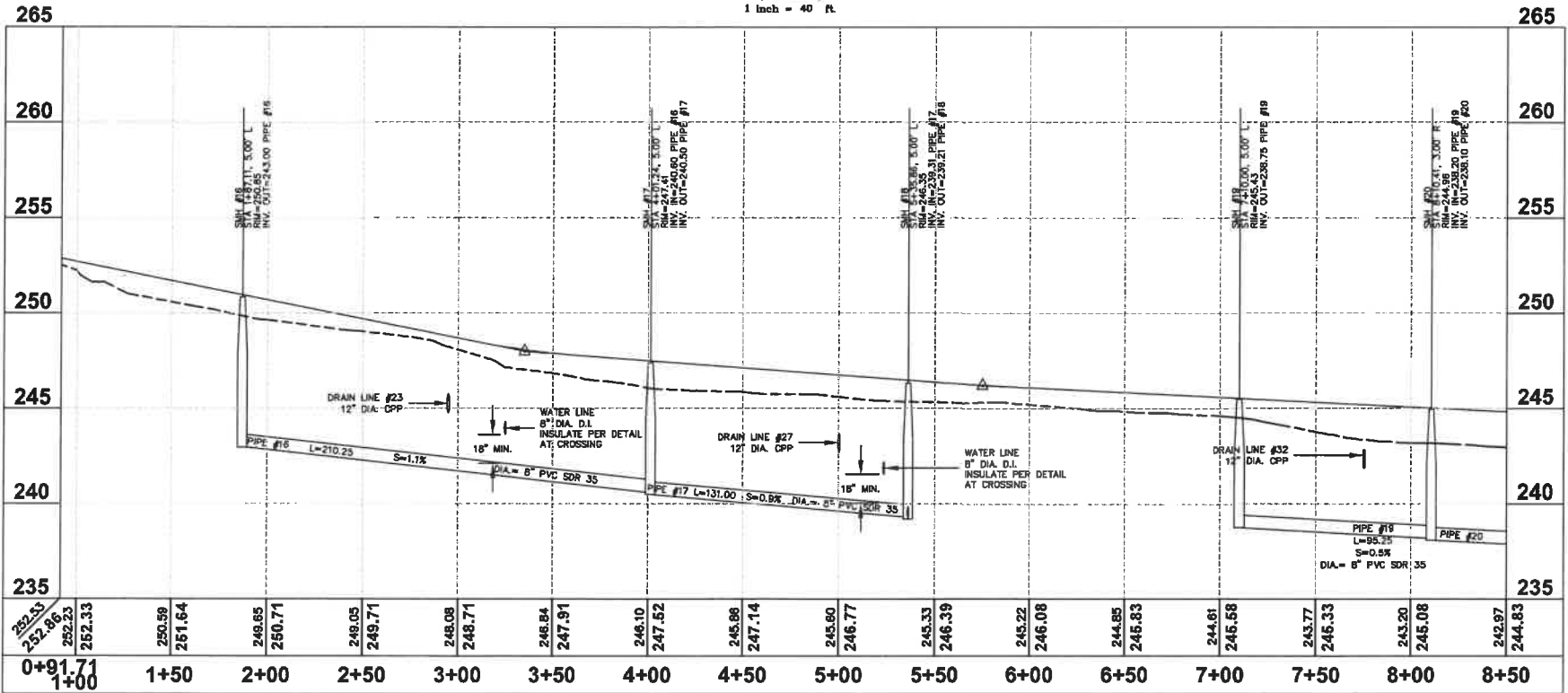
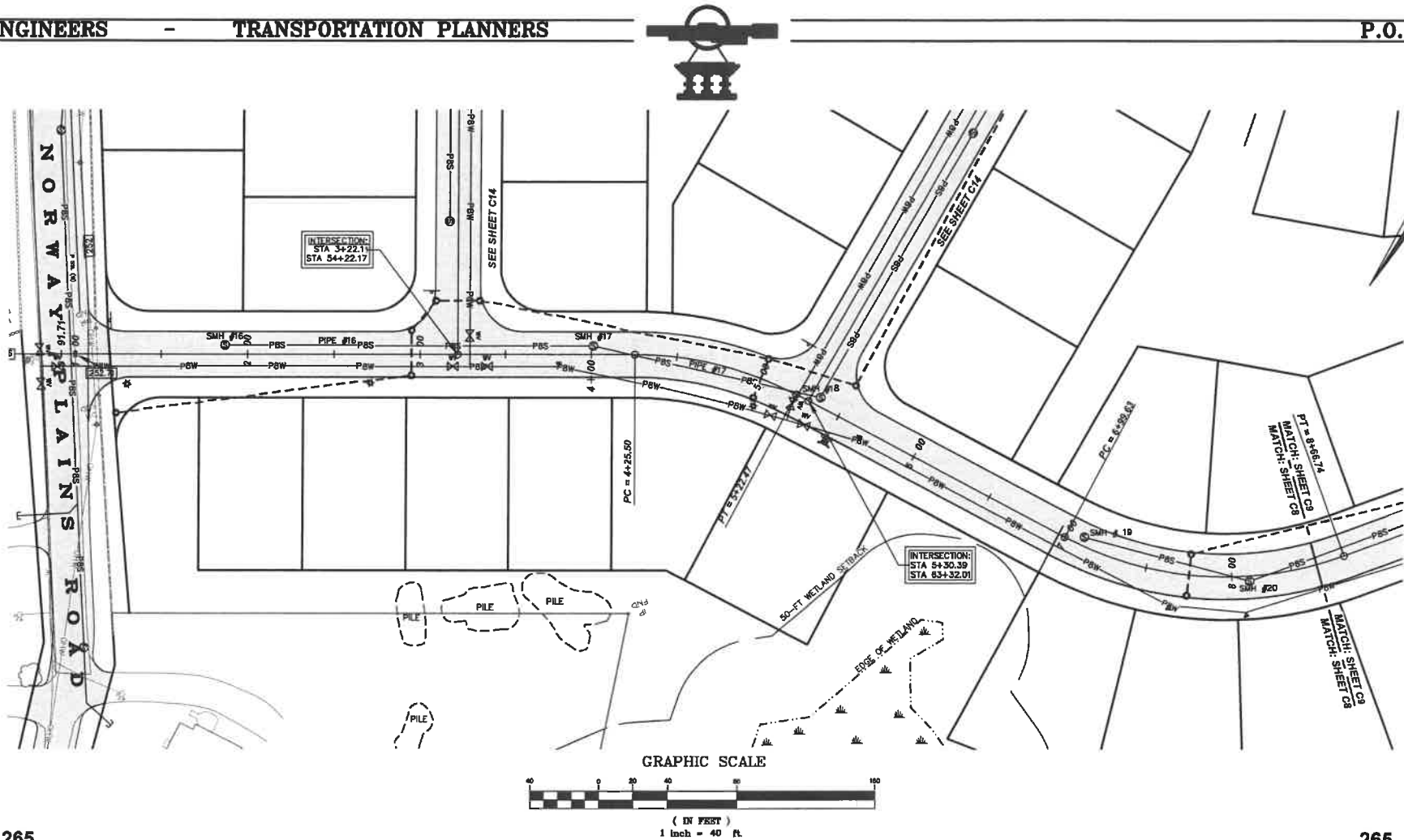
SMH	PIPE
SMH #16 STA 1+87.11, 5.00' L RM=250.85 INV. OUT=243.00 PIPE #16	PIPE #16 8" DIA. SDR 35 L=210.25-FT. S=1.1%
SMH #17 STA 2+01.24, 5.00' L RM=247.61 INV. IN=240.80 PIPE #16 INV. OUT=240.50 PIPE #17	PIPE #17 8" DIA. SDR 35 L=31.00-FT. S=0.9%
SMH #18 STA 2+35.86, 5.00' L RM=246.35 INV. IN=238.31 PIPE #17 INV. OUT=238.21 PIPE #18	PIPE #18 8" DIA. SDR 35 L=172.50-FT. S=0.6%

TIES INTO SMH 28
CONTINUES TO SMH 5

SMH19-SMH 25
STRUCTURE

SMH	PIPE
SMH #19 STA 2+10.00, 5.00' L RM=245.43 INV. OUT=238.75 PIPE #19	PIPE #19 8" DIA. SDR 35 L=85.25-FT. S=0.5%
SMH #20 STA 2+10.41, 3.00' R RM=244.95 INV. IN=238.20 PIPE #19 INV. OUT=238.10 PIPE #20	PIPE #20 8" DIA. SDR 35 L=258.50-FT. S=0.5%
SMH #21 STA 10+73.77, 5.00' L RM=243.61 INV. IN=238.75 PIPE #20 INV. OUT=236.65 PIPE #21	PIPE #21 8" DIA. SDR 35 L=289.50-FT. S=0.5%
SMH #22 STA 13+37.22, 5.00' L RM=243.46 INV. IN=235.30 PIPE #21 INV. OUT=235.20 PIPE #22	PIPE #22 8" DIA. SDR 35 L=227.50-FT. S=0.6%
SMH #23 STA 15+67.61, 7.00' R RM=240.37 INV. IN=233.75 PIPE #22 INV. OUT=233.65 PIPE #23	PIPE #23 8" DIA. SDR 35 L=111.00-FT. S=0.7%
SMH #24 STA 16+81.14, 5.00' R RM=238.50 INV. IN=232.80 PIPE #23 INV. OUT=232.70 PIPE #24	PIPE #24 8" DIA. SDR 35 L=164.00-FT. S=0.8%
SMH #25 STA 18+48.83, 5.00' L RM=240.12 INV. IN=231.45 PIPE #24 INV. OUT=231.35 PIPE #25	PIPE #25 8" DIA. SDR 35 L=144.00-FT. S=0.6%

END OF NETWORK



SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

- NOTES:
- DRAINAGE STRUCTURE AND PIPE INFORMATION CAN BE FOUND ON SHEETS C1-C7.
 - INFORMATION FOR SEWER STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "SEWER STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE SEWER STRUCTURE TABLE FOR GUIDANCE.
 - ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH PSNH.
 - PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH PSNH AND OTHER PERTINENT UTILITY COMPANIES.
 - WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10'-FT APART HORIZONTALLY.
 - WHERE SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 9'-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
 - SEWER PIPE JOINTS SHALL BE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWER AND AT 1-1/2 TIMES WORKING PRESSURE FOR ALL FORCE MAINS.
 - PER CONDITION OF APPROVAL TAX MAP 215 LOT 7, TAX MAP 215 LOT 14, AND TAX MAP 215 LOT 15 SHALL BE PROVIDED SEWER STUBS 10'-FT ONTO EACH PROPERTY. REFER TO SHEET C15 AND SHEET C16 OF THIS PLAN SET.
 - REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

UTILITIES EASEMENT:
B. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A UTILITIES EASEMENT. THE UTILITIES EASEMENT CONSISTS OF AN AREA 10'-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 10'-FT OF THE LOTS PARALLEL TO ANY STREET).

- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PROPOSED CATCH BASIN
 - PROPOSED SEWER MANHOLE
 - PROPOSED SEWER FORCEMAIN
 - CLEANOUT STRUCTURE W/ VALVES
 - PROPOSED WATER GATE VALVE
 - PROPOSED WATER SHUTOFF
 - PROPOSED FIRE HYDRANT
 - PROPOSED THRUST BLOCK
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING DRAIN LINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND UTILITIES
 - EXISTING OVERHEAD WIRES
 - PROPOSED TREE LINE
 - PAVEMENT MATCHLINE (SAWCUT)
 - PROPOSED DRAIN LINE
 - PROPOSED WATER LINE (PIPE DIA. SHOWN ON LINE)
 - PROPOSED SEWER LINE (PIPE DIA. SHOWN ON LINE)
 - PROPOSED SEWER FORCE MAIN

AMENDED UTILITIES
PLAN AND PROFILE
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C8

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
P.B. NO.

SEWER STRUCTURE

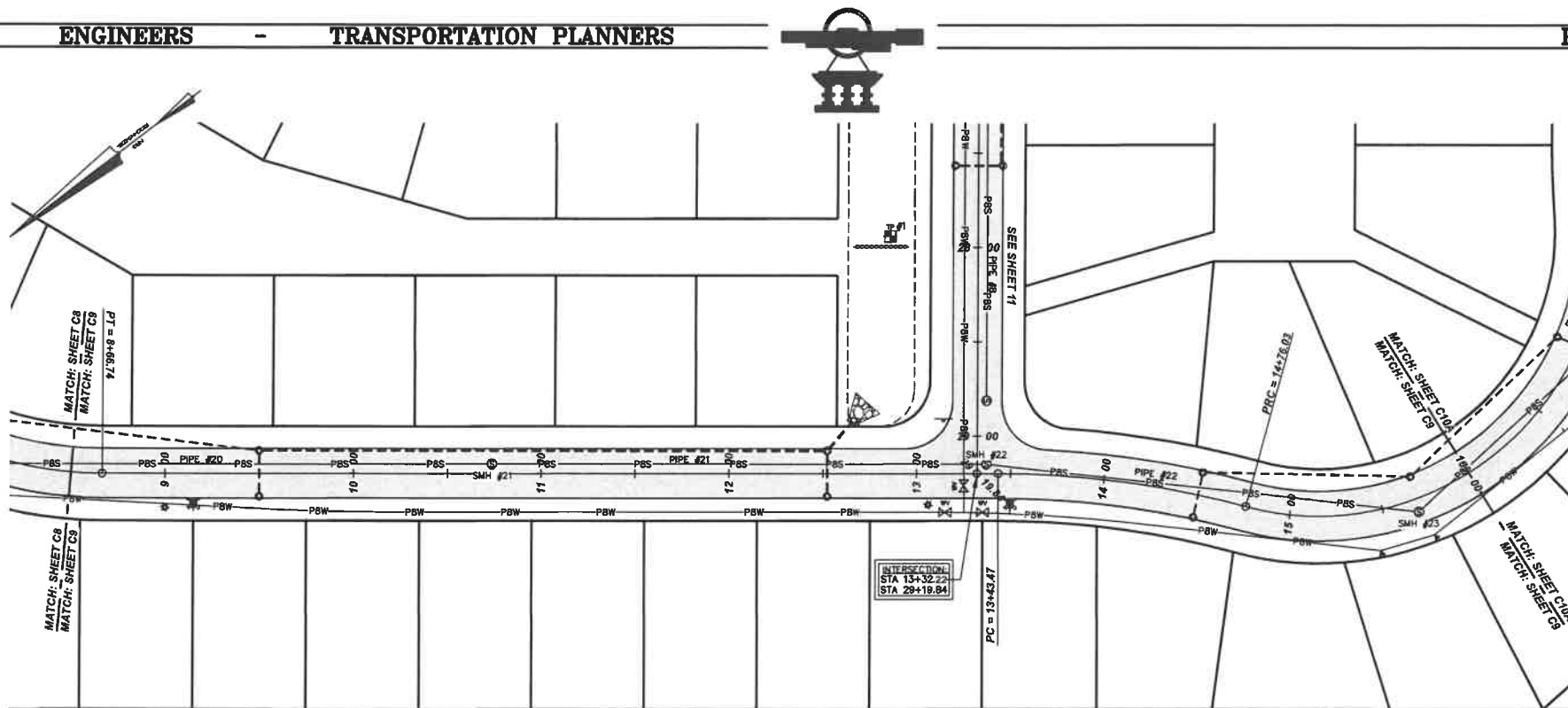
DATA TABLE

SMH16-SMH 25

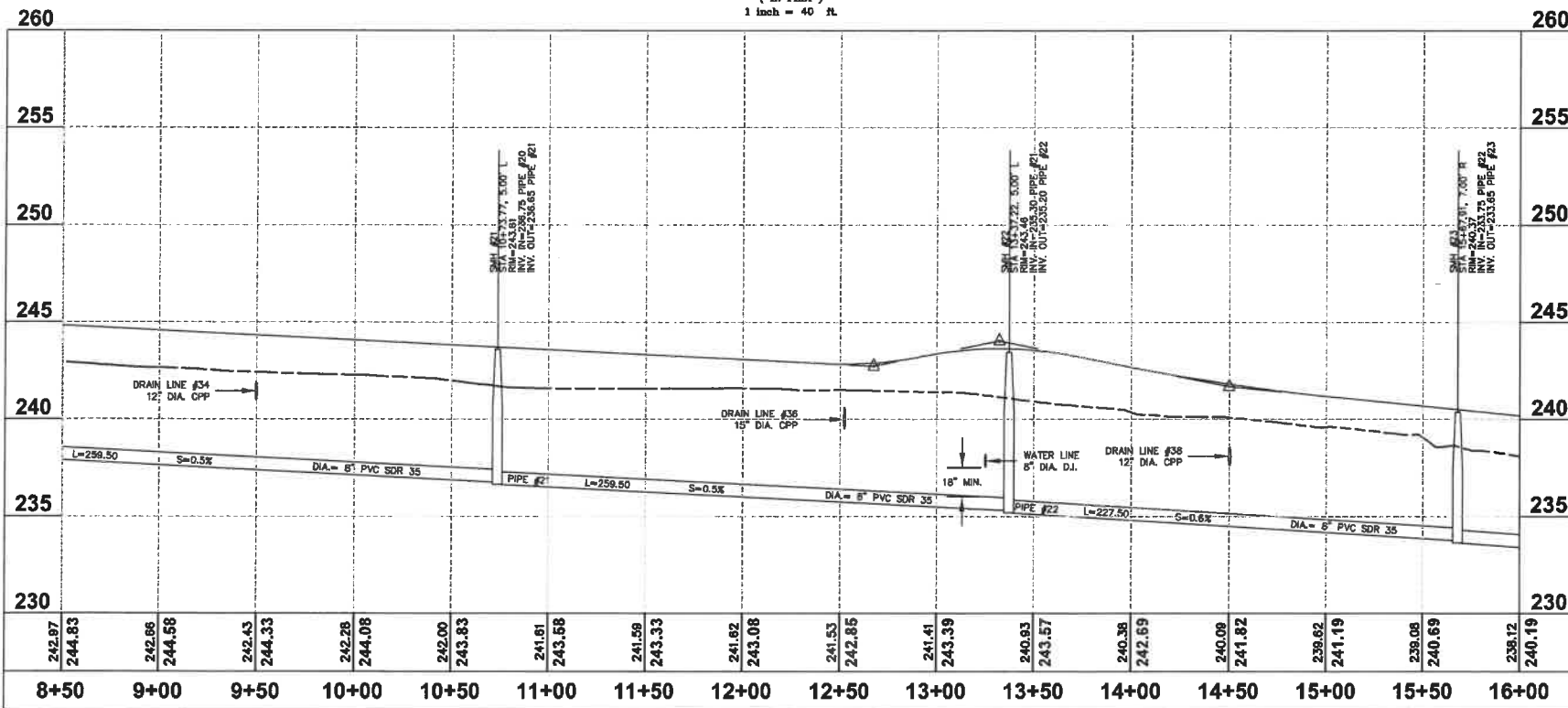
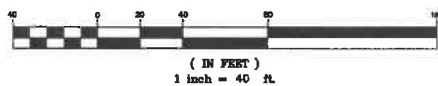
STRUCTURE

SMH #	PIPE
SMH #16 STA 14+87.11, 5.00' L RIM=250.85 INV. OUT=243.00 PIPE #16	PIPE #16 8" DIA. SDR 35 L=210.25-FT. S=1.1%
SMH #17 STA 14+01.24, 5.00' L RIM=247.41 INV. IN=240.60 PIPE #16 INV. OUT=240.50 PIPE #17	PIPE #17 8" DIA. SDR 35 L=131.00-FT. S=0.5%
SMH #18 STA 14+35.86, 5.00' L RIM=248.35 INV. IN=239.80 PIPE #17 INV. OUT=239.70 PIPE #18	PIPE #18 8" DIA. SDR 35 L=216.25-FT. S=0.5%
SMH #19 STA 14+55.96, 3.00' R RIM=248.24 INV. IN=238.60 PIPE #18 INV. OUT=238.50 PIPE #19	PIPE #19 8" DIA. SDR 35 L=51.00-FT. S=0.5%
SMH #20 STA 14+10.41, 3.00' R RIM=244.86 INV. IN=238.20 PIPE #19 INV. OUT=238.10 PIPE #20	PIPE #20 8" DIA. SDR 35 L=259.50-FT. S=0.5%
SMH #21 STA 14+73.77, 5.00' L RIM=243.61 INV. IN=238.75 PIPE #20 INV. OUT=238.65 PIPE #21	PIPE #21 8" DIA. SDR 35 L=259.50-FT. S=0.5%
SMH #22 STA 14+37.22, 5.00' L RIM=243.46 INV. IN=238.30 PIPE #21 INV. OUT=238.20 PIPE #22	PIPE #22 8" DIA. SDR 35 L=227.50-FT. S=0.6%
SMH #23 STA 14+67.91, 7.00' R RIM=240.37 INV. IN=233.75 PIPE #22 INV. OUT=233.65 PIPE #23	PIPE #23 8" DIA. SDR 35 L=111.00-FT. S=0.7%
SMH #24 STA 14+81.14, 5.00' R RIM=239.50 INV. IN=232.50 PIPE #23 INV. OUT=232.70 PIPE #24	PIPE #24 8" DIA. SDR 35 L=164.00-FT. S=0.8%
SMH #25 STA 14+48.83, 5.00' L RIM=240.12 INV. IN=231.45 PIPE #24 INV. OUT=231.35 PIPE #25	PIPE #25 8" DIA. SDR 35 L=144.00-FT. S=0.6%

END OF NETWORK



GRAPHIC SCALE



SCALE: H: 1"=40', V: 1"=4'



REVISIONS:

- NOTES:
1. DRAINAGE STRUCTURE AND PIPE INFORMATION CAN BE FOUND ON SHEETS C1-C7.
 2. INFORMATION FOR SEWER STRUCTURES OR PIPE VISIBLE IN THE PLAN VIEW BUT, NOT REPRESENTED IN THE "SEWER STRUCTURE TABLE" OR THE PROFILE IS LOCATED IN A TABLE ON THE SHEET FOR THE ALIGNMENT THAT THE STRUCTURE IN QUESTION IS ON. PLEASE REFER TO THE NOTE AT THE BOTTOM OF THE SEWER STRUCTURE TABLE FOR GUIDANCE.
 3. ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH PSNH.
 4. PROPOSED UTILITIES ARE TO BE UNDERGROUND. COORDINATE LOCATION OF UNDERGROUND UTILITIES AND TRANSFORMER PADS WITH PSNH AND OTHER PERTINENT UTILITY COMPANIES.
 5. WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10'-FT APART HORIZONTALLY.
 6. WHERE SEWER AND WATER LINES MUST CROSS, SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM 9'-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18-INCHES SHALL BE MAINTAINED.
 7. SEWER PIPE JOINTS SHALL BE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWER AND AT 1-1/2 TIMES WORKING PRESSURE FOR ALL FORCE MAINS.
 8. PER CONDITION OF APPROVAL TAX MAP 215 LOT 7, TAX MAP 215 LOT 14, AND TAX MAP 215 LOT 15 SHALL BE PROVIDED SEWER STUBS 10'-FT ONTO EACH PROPERTY. REFER TO SHEET C15 AND SHEET C16 OF THIS PLAN SET.
 9. REFER TO PLAN SET "NORWAY PLAINS ROAD AND ROUTE 125 IMPROVEMENT PLANS FOR ROCHESTER PLAINS, LLC SUBDIVISION, NORWAY PLAINS ROAD, ROCHESTER, NH" AND SHEETS C15-C16 OF THIS PLAN SET FOR SEWER WORK TO BE PERFORMED TO IMPROVE NORWAY PLAINS ROAD UP TO THE POINT OF TYING INTO THE EXISTING GRAVITY SEWER SYSTEM.

- UTILITIES EASEMENT.
8. ALL LOTS IN THIS SUBDIVISION ARE SUBJECT TO A UTILITIES EASEMENT. THE UTILITIES EASEMENT CONSISTS OF AN AREA 10'-FT WIDE AND PARALLEL TO THE RIGHTS-OF-WAY FOR THE PROPOSED ROADS (I.E. THE FIRST 10'-FT OF THE LOTS PARALLEL TO ANY STREET).

LEGEND

- EXISTING CATCH BASIN
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING SIGN
- WETLAND
- PROPERTY LINE
- SETBACK LINE
- EDGE OF WETLAND
- PROPOSED CATCH BASIN
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER FORCEMAIN
- CLEANOUT STRUCTURE W/ VALVES
- PROPOSED WATER GATE VALVE
- PROPOSED WATER SHUTOFF
- PROPOSED FIRE HYDRANT
- PROPOSED THRUST BLOCK
- PROPOSED UTILITY POLE
- PROPOSED LIGHT POLE
- PROPOSED SIGN
- EXISTING DRAIN LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND UTILITIES
- EXISTING OVERHEAD WIRES
- PROPOSED TREE LINE
- PAVEMENT MATCHLINE (SAWOUT)
- PROPOSED DRAIN LINE
- P(DIA.)W PROPOSED WATER LINE (PIPE DIA. SHOWN ON LINE)
- P(DIA.)S PROPOSED SEWER LINE (PIPE DIA. SHOWN ON LINE)
- PPM PROPOSED SEWER FORCE MAIN

AMENDED UTILITIES
PLAN AND PROFILE
MILLER'S FARM DRIVE
ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2013

SHEET C9

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.

SURVEYORS - ENGINEERS - TRANSPORTATION PLANNERS

P.O. Box 249, Rochester, N.H. 03866-0249



REVISIONS:

- NOTES:
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SEWER STRUCTURE DATA TABLE

SMH12-SEWER STRUCT. 15

STRUCTURE

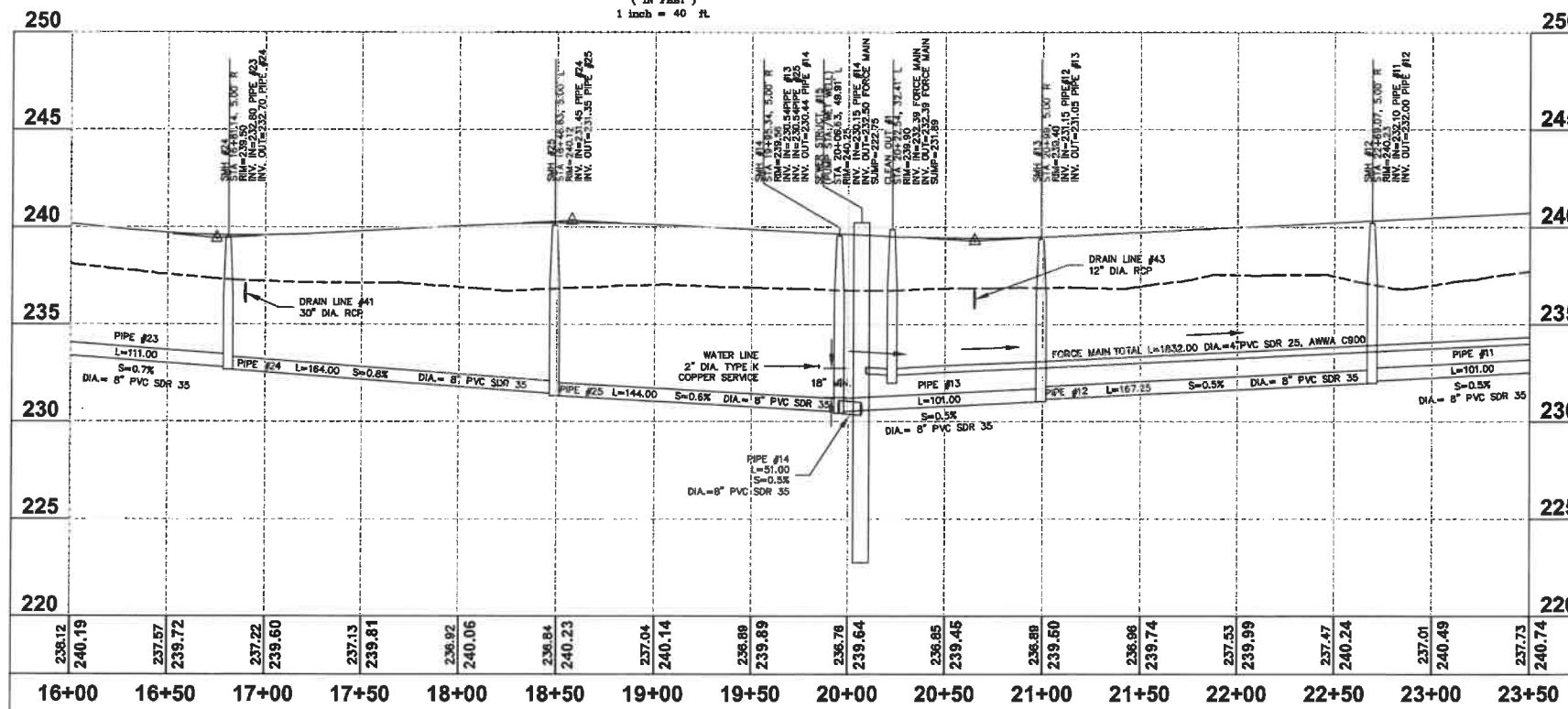
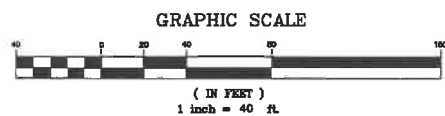
SMH #	STA	INVERT	OUTLET	PIPE #	PIPE
SMH #12	22+68.07, 5.00' R	INV. IN=232.10 PIPE #11	INV. OUT=232.00 PIPE #12	PIPE #12	8" DIA. SDR 35
					L=167.25'-FT.
					S=0.5%
SMH #13	22+88.00, 5.00' R	INV. IN=231.15 PIPE #12	INV. OUT=231.05 PIPE #13	PIPE #13	8" DIA. SDR 35
					L=101.00'-FT.
					S=0.5%
SMH #14	22+95.34, 5.00' R	INV. IN=230.54 PIPE #13	INV. OUT=230.44 PIPE #14	PIPE #14	8" DIA. SDR 35
					L=51.00'-FT.
					S=0.5%
SEWER STRUCTURE #15	22+95.34, 5.00' R	INV. IN=230.54 PIPE #13	INV. OUT=230.44 PIPE #14	PIPE #14	8" DIA. SDR 35
					L=51.00'-FT.
					S=0.5%

FOR FULL PIPE RUN SEE SHEET C12 OR C13

SMH24-SMH 25 STRUCTURE

SMH #	STA	INVERT	OUTLET	PIPE #	PIPE
SMH #24	24+81.14, 5.00' R	INV. IN=232.80 PIPE #23	INV. OUT=232.70 PIPE #24	PIPE #24	8" DIA. SDR 35
					L=164.00'-FT.
					S=0.6%
SMH #25	24+83.83, 5.00' L	INV. IN=231.45 PIPE #24	INV. OUT=231.35 PIPE #25	PIPE #25	8" DIA. SDR 35
					L=144.00'-FT.
					S=0.6%

FOR FULL PIPE RUN SEE SHEET C8 OR C9



- LEGEND
- EXISTING CATCH BASIN
 - EXISTING SEWER MANHOLE
 - EXISTING WATER GATE VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING SIGN
 - WETLAND
 - PROPERTY LINE
 - SETBACK LINE
 - EDGE OF WETLAND
 - PROPOSED CATCH BASIN
 - PROPOSED SEWER MANHOLE
 - PROPOSED SEWER FORCEMAIN
 - CLEANOUT STRUCTURE W/ VALVES
 - PROPOSED WATER GATE VALVE
 - PROPOSED WATER SHUTOFF
 - PROPOSED FIRE HYDRANT
 - PROPOSED THRUST BLOCK
 - PROPOSED UTILITY POLE
 - PROPOSED LIGHT POLE
 - PROPOSED SIGN
 - EXISTING DRAIN LINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND UTILITIES
 - EXISTING OVERHEAD WIRES
 - PROPOSED TREE LINE
 - PAVEMENT MATCHLINE (SAWCUT)
 - PROPOSED DRAIN LINE
 - P(DIA)W PROPOSED WATER LINE (PIPE DIA. SHOWN ON LINE)
 - P(DIA)S PROPOSED SEWER LINE (PIPE DIA. SHOWN ON LINE)
 - PPM PROPOSED SEWER FORCE MAIN

AMENDED UTILITIES PLAN AND PROFILE

MILERS FARM DRIVE

ROCHESTER, N.H.

FOR

NP REALTY ASSOCIATES, LLC

1"=40' JULY 2018

SHEET C10

FILE NO. 149
PLAN NO. C-2295-S-A
DWG. NO. 02184\S-5
F.B. NO.

NORWAY PLAINS ASSOCIATES, INC.



**Wyskiel,
Boc,
Tillinghast
& Bolduc, P.A.**
Attorneys at Law

William E. Boc
*Michael J. Bolduc
Thomas G. Ferrini
Abigail Sykas Karoutas
*William R. Phipps
**D. Lance Tillinghast
*Christopher A. Wyskiel

* also admitted in Maine
**also admitted in MA, ME & VT

October 25, 2018

Kelly A. Walters, City Clerk
City of Rochester
31 Wakefield Street
Rochester, NH 03867

RECEIVED

OCT 25 2018

CITY CLERK'S OFFICE
ROCHESTER, NH

**Re: Petition for Street Acceptance for
Smoke Street and Laredo Lane in
Great Woods Subdivision
off Salmon Falls Road**

Dear Clerk Walters:

This office represents Great Woods Development, LLC, and its Manager, Steven K. Miller, of 95 Blackwater Road, Rochester ("Great Woods"). Great Woods is the developer of the 46 residential lot "Great Woods Subdivision" located off Salmon Falls Road.

The subdivision has been developed in two phases. Only a few of the 25 Phase I lots have not yet been sold and developed with new homes. Smoke Street and Laredo Lane which service Phase I are complete and ready for City acceptance (and ownership of related infrastructure and appurtenant easements) as contemplated by the Planning Board's original subdivision approval.

The 21 Phase II lots on Bailey Drive are just now ready for sale and development. Bailey Drive has been built and paved with its base coat. Future City acceptance is contemplated later in time as the subdivision is built out.

Attached to this letter are three reduced size copies of the Planning Board approved subdivision plan, highlighting in yellow the two streets Great Woods is requesting the City Council to accept. Attached also is a copy of the City's two-page "Street Acceptance Procedure" outlining under paragraphs 1 and 2 required submissions which are delivered with this letter (four copies: City Clerk, Planning, Public Works and Legal).

Any questions concerning the proposed road deed and the documents evidencing deed signing authority briefly explained below should be addressed to my attention at this office. Any questions concerning construction material testing and/or the As-Built plans should be directed to:

Kelly A. Walters, City Clerk
October 25, 2018
Page 2

Scott A. Lawler, P.E., Vice President
 Norway Plains Associates, Inc.
 P. O. Box 249
 Rochester, NH 03866-0249
 (603) 335-3948
slawler@norwayplains.com

Street Acceptance Procedure
Required Submissions Enclosed

1. Petition for Street Acceptance by Great Woods
- 2 (a). Construction Materials Testing Results
- 2 (b) and (c). Proposed Road Deed with Appurtenant Easements and Transfer of Water, Sewer and Drainage Infrastructure
- 2 (d). As-Built Plans (etc., per City handout)

Additional Enclosures

1. Full size copies of the Rochester Planning Board approved Subdivision Plans, recorded at the Strafford County Registry of Deeds as:

Plan 96-22
 Plan 96-23
 Plan 96-24
 Plan 96-25
 Plan 96-26

The highlighted (yellow) reduced size plan copies attached to this letter are of the first three above-referenced plans. The description of the two streets is drafted with reference to Plan 96-23. The appurtenant easements are drafted with reference to Plan 96-25. While all five plans are included within the sets (paper and digital) of As-Built Plans submitted by Norway Plains, for staff review of the proposed deed, it is important to have copies of the plans as recorded.

2. Proposed Partial Release of Mortgage.

The roadway land (but not the appurtenant easements located on the Open Space land) is currently encumbered by a mortgage from Great Woods to the Trustees of the Danas Copp 1985 Trust and Shirley L. Copp 1985 Trust. To ensure the City takes title to the roadway land lien-free, a Partial Release of Mortgage will be obtained from the Copp Trustees for recording at the Registry of Deeds.

Kelly A. Walters, City Clerk
October 25, 2018
Page 3

3. Appendix C (Property Covenants and Restrictions) to Great Woods' NH DOJ Application for Exemption from Registration for Phase II lots.

The enclosures are included to understand who signs the proposed Road Deed to the City, and why.

The road deed has two grantors: Great Woods, and Great Woods Subdivision Homeowners' Association. The Association is included as a grantor because portions of the drainage system and drainage detention ponds, and related appurtenant easements, are located on the Subdivision's Open Space land, ownership of which was conveyed to the Homeowners' Association in 2009.

As explained in the "Title Reference" text of the proposed deed (at pages 5 and 6), Steve Miller, as Manager of Great Woods, pursuant to the Homeowners' Association By-laws, has full authority to sign the deed to the City of Rochester on behalf of the Homeowners' Association.

4. Appendix D (Homeowners' Association documents)

These enclosures evidence the legal creation and good standing of the Homeowners' Association, further evidencing the authority of Great Woods, as sole Director of the Association, to sign the deed.

5. Appendix A (Great Woods business registration documents)

These enclosures are included to evidence the legal creation and current good standing of Great Woods, and to evidence Steve Miller's authority as sole Member and Manager to sign the deed on behalf of Great Woods (as owner of the roadway land, and on behalf of the Homeowners' Association, as owner of the Open Space land).

Again, please feel free to call or e-mail me, or Scott Lawler, with any questions.

Sincerely,



Christopher A. Wyskiel
cwyskiel@wbtlaw.com

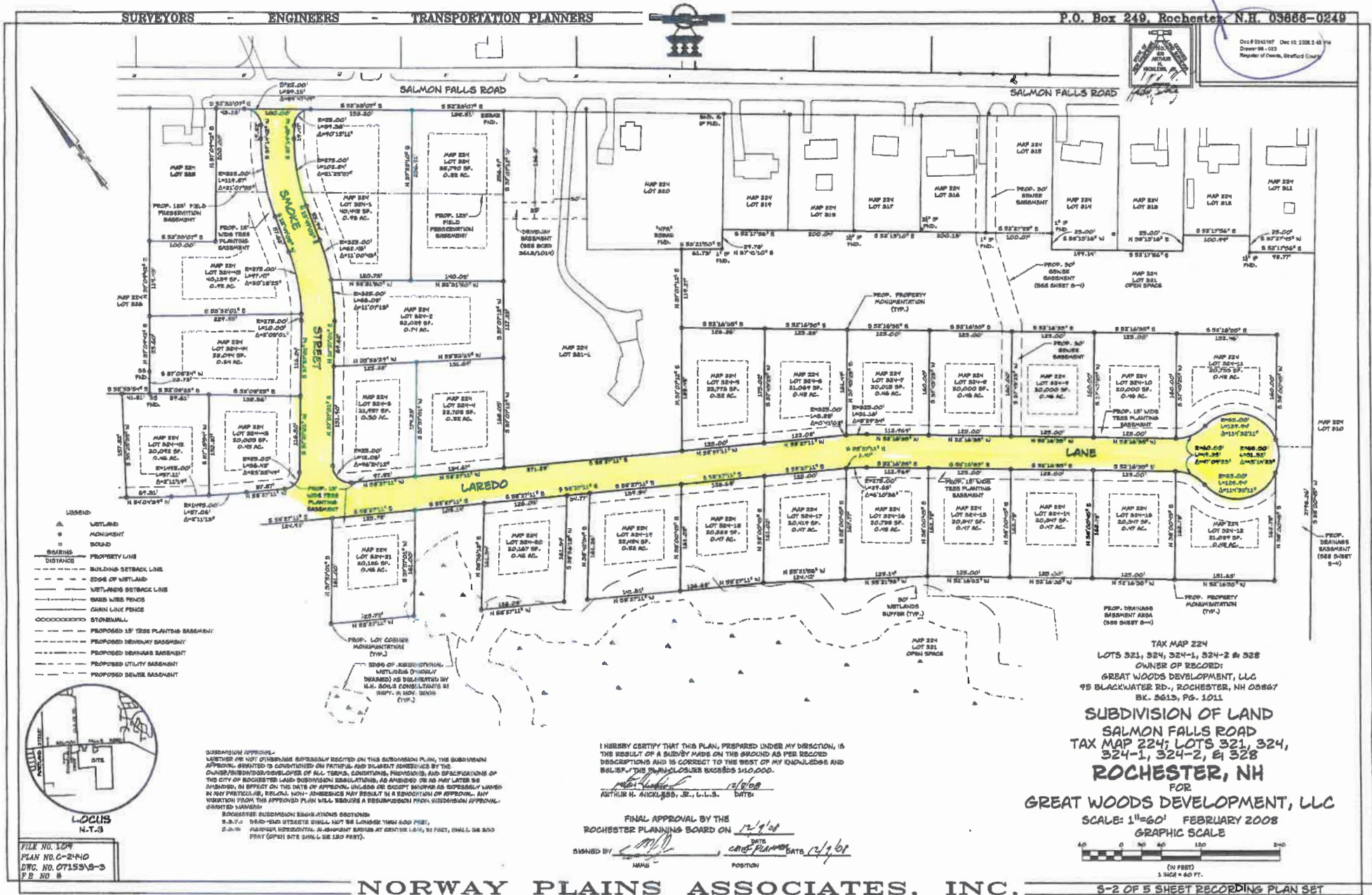
CAW/nl
Enclosures

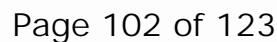
cc: Steven K. Miller
Scott Lawler

H:\RE & BUS\Great Woods Development, LLC\ROADWAY DEEDS\City Clerk Letter 2018 10 25.docx

Page 100 of 123

SCR 96-23





October 22, 2018

Rochester NH City Council
 City Hall
 31 Wakefield Street
 Rochester, NH 03867

RECEIVED

OCT 25 2018

CITY CLERK'S OFFICE
 ROCHESTER, NH

**Re: Petition to Accept Smoke Street and Laredo Lane
 in Great Woods Subdivision
 off Salmon Falls Road**

Dear Members of the Rochester City Council:

Great Woods Development, LLC, a New Hampshire limited liability company having a legal address of 95 Blackwater Road, Rochester, NH 03867, owner of the Great Woods Subdivision off Salmon Falls Road in Rochester, formally requests the Rochester City Council to accept Smoke Street and Laredo Lane and related infrastructure and appurtenant easements as wholly owned and maintained city streets. Both streets service the Phase I lots. A third street, not yet completed, services Phase II lots.

By separate letter legal counsel and the engineering firm for Great Woods Development, LLC submits and explains all information required by the City's Street Acceptance Procedure. Both streets are substantially completed. On October 15, the Planning Board substantially reduced the surety amount presently posted to assure final completion, which will be all done by the time the City Council formally considers this request and supporting submissions.

Respectfully submitted,

GREAT WOODS DEVELOPMENT, LLC

By: 
 Steven K. Miller, its Manager duly authorized

SM:clb

H:\Nancy\DOCUMENT\GREAT WOODS DEV\Rochester City Council letter 10-22-18.docx

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City Clerk's Office

**Resolution Appropriating to the 2018-2019 Department of Public Works Capital
Improvement Plan Fund and Acceptance of a New Hampshire Department of
Environmental Services (NHDES) Brownfields Cleanup Grant in the Amount of up to
\$200,000**

BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF
ROCHESTER, AS FOLLOWS:

Whereas, that a NHDES Brownfields Cleanup Grant in an amount up to Two Hundred Thousand Dollars (\$200,000.00) to be used for remedial actions at the City-owned properties located at 10 Wallace Street and 16 Wallace Street has been awarded to and is hereby accepted by the City of Rochester.

Further, that the sum of Two Hundred Thousand Dollars (\$200,000.00) be, and hereby is, appropriated to the 2018-2019 Department of Public Works Capital Improvement Plan Fund. The source of the sums necessary to fund such appropriation shall be drawn, in their entirety, from the grant.

Further, that the Mayor and City Council of the City of Rochester, by adoption of this Resolution authorize the City Manager and/or the Finance director to act as the City's representative(s) to enter into the agreement with New Hampshire Department of Environmental Services for the execution of all documents necessary for the Brownfields Cleanup Grant.

Further, to the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to identify, designate and/or establish such accounts and/or account numbers as necessary to implement the transactions contemplated by this Resolution and to establish special revenue, non-lapsing, multi-year fund account(s) as needed.

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City Clerk's Office



City of Rochester Formal Council Meeting

AGENDA BILL

NOTE: Agenda Bills are due by 10 AM on the Monday the week before the City Council Meeting.

AGENDA SUBJECT
10-16 Wallace Street NHDES Brownfields Cleanup Grant Acceptance, Supplemental Appropriation & Contract Document Authorities

COUNCIL ACTION ITEM <input checked="" type="checkbox"/>	FUNDING REQUIRED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
INFORMATION ONLY <input type="checkbox"/>	* IF YES ATTACH A FUNDING RESOLUTION FORM
RESOLUTION REQUIRED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	FUNDING RESOLUTION FORM? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

AGENDA DATE	November 20, 2018		
DEPT. HEAD SIGNATURE	Peter C. Nourse, signed original on file with City Clerk		
DATE SUBMITTED	November 19, 2018		
ATTACHMENTS YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ABFR	* IF YES, ENTER THE TOTAL NUMBER OF PAGES ATTACHED	1	

COMMITTEE SIGN-OFF

COMMITTEE	Public Works & Buildings Committee
CHAIR PERSON	Councilor Torr

DEPARTMENT APPROVALS

DEPUTY CITY MANAGER	
CITY MANAGER	

FINANCE & BUDGET INFORMATION

FINANCE OFFICE APPROVAL	
SOURCE OF FUNDS	NHDES Brownfields Grant
ACCOUNT NUMBER	15013010-771000-19XXX
AMOUNT	\$200,000
APPROPRIATION REQUIRED YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	

LEGAL AUTHORITY

City Charter, Section 4: Except as herein provided otherwise, the City Council shall have all powers conferred by law upon City Councils, Boards of Mayor and Aldermen, and the Selectmen of Towns so far as applicable to cities.

SUMMARY STATEMENT

The DPW Staff with previously approved City Council Authorization applied for a Brown Fields Grant for the 10-12 Wallace Street Property. NHDES has awarded the City with a grant in the amount of \$200,000. We are now requesting that the City Council vote to accept the Grant Fund, designate the City Manager & Finance Director the authority to enter into an agreement with NHDES and to execute all required documentation necessary for the grant and authorize a supplemental appropriation of \$200,000 with the Brownfields Grant as a funding source. .

The City will use these grant funds for the remediation of environmental soil contamination at the 10-16 Wallace Street properties.

RECOMMENDED ACTION

1. City Council Resolution to accept grant funds in the amount of \$200,000 and to enter into a grant agreement with NHDES for the Brownfields Revolving Loan Fund.
2. Resolution authorizing the City Manager, Blaine M. Cox and the Finance Director, Roland Connors, to execute the agreement and all documents associated with this Brownfields Grant.
3. Resolution for a Supplemental Appropriation to the DPW Capital Improvement Plan fund 1501 in the amount of \$200,000 with the Brownfields Grant sighted as the funding source.

AGENDA BILL - FUNDING RESOLUTION

EXHIBIT

Project Name: 10-16 Wallace Street

Date: 11/20/18

Fiscal Year: FY2019

Fund (select):

GF ☐ Water ☐ Sewer ☐ Arena ☐CIP ☒ Water CIP ☐ Sewer CIP ☐ Arena CIP ☐Special Revenue ☐Fund Type: Lapsing ☐Non-Lapsing ☒

Deauthorization

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
1				-	-	-
2				-	-	-
3				-	-	-
4				-	-	-

Appropriation

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
1	15013010	771000	19XXX	-	\$200,000.00	-
2				-	-	-
3				-	-	-
4				-	-	-

Revenue

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
1				-	-	-
2				-	-	-
3				-	-	-
4				-	-	-

DUNS # CFDA #

Grant # 16625

Grant Period: From pending G&C approval
To 12/31/2020

If de-authorizing Grant Funding appropriations: (select one)

Reimbursement Request will be reduced ☐Funds will be returned ☐

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City Clerk's Office

DRAFT

Tri-City Mayors' Task Force on Homelessness

November 15, 2018



Tri-City Joint Mayors' Task Force on Homelessness
McConnell Center, Room 232
32 St. Thomas Street
Dover, NH 03820
November 15, 2018
5:00 PM

MAYORS

Chairman

Jeremy Hutchinson

Mayor Caroline McCarley

Mayor Karen Weston

Mayor Dana Hilliard

Vice Chair

Marcia Gasses

Rochester Members

Elizabeth Atwood

Rev. Eliza Tweedy

Jeremy Hutchinson

T.J. Jean

Dover Members

Phyllis Woods

Betsey Andrews Parker

Andrew Howard

Marcia Gasses

Somersworth Members

Todd Marsh

Laura Hogan

Rick Michaud

Dina Gagnon

Alternate (Dover):

Lindsey Williams

Homeless Liaison

Terra Stewart

Survival Shelter Sub-Task Group	Master Plan Sub-Task Group
Marcia Gasses	Betsey Andrews-Parker
Todd Marsh	Todd Marsh
Elizabeth Atwood	Dina Gagnon
Andrew Howard	Eliza Tweedy
	Phyllis Woods
	Lena Nichols
	Laura Hogan
	Rich Michaud

MINUTES**1. Call to Order**

Chairman Hutchinson called the meeting to order at 5:12 PM.

2. Roll Call

Deputy City Clerk of Rochester Cassie Givara took the roll call. The following members were present: Chairman Hutchinson, Vice Chair Gasses, Betsey Andrews-Parker, Laura Hogan, Lindsey Williams, Todd Marsh, Rick Michaud, Andrew Howard, Terra Stewart, Eliza Tweedy, Phyllis Woods, Mayor Weston and Mayor McCarley.

The following members were excused/absent: Dina Gagnon, TJ Jean, Elizabeth Atwood, and Mayor Hilliard.

3. Public Input

Chairman Hutchinson invited members of the public to come forward and address the committee.

Deb Calabro, Dover resident, spoke about her past experience working with the Americorp Vista program and some of the stumbling blocks that the homeless might run into finding temporary shelter in the area. Ms. Calabro offered her assistance and expertise to the Task Force if needed.

4. Approval of Minutes**4.1 Tri-City Task Force Meeting October 18, 2018, consideration for approval**

Chairman Hutchinson stated that the minutes from the October 18, 2018 Task Force meeting would be approved in conjunction with the November meeting minutes at the December meeting following several revisions being made.

5. Communications from the Mayors

Mayor Weston expressed that she was pleased that the Task Force was working toward a conclusion on housing.

Mayor McCarley addressed the committee regarding the effort they have put forward in working towards an emergency cold weather shelter and expressed regret at the confusion and potential duplication of efforts with Emergency Services.

6. Communications from the Task Force Chairs

Chairman Hutchinson stated that he had given an update on the Task Force's progress to the Rochester City Council, which had generated some questions and feedback.

There was a question from Council in regard to the Salvation Army in Rochester having the sole shelter and why shelters were not being opened further south or midway between the cities in order to assist the homeless residents in those areas. Chairman Hutchinson had reported that the Salvation Army had volunteered their space and services, there were no other options coming forward from the other cities.

The Council had wanted assurance that the welfare departments of each City had an agreement in regards to financial obligations towards homeless residents and ensuring that these obligations weren't all transferred to Rochester where the shelter would be located.

Chairman Hutchinson requested that each member of the Task Force take a moment to state the main goal which they hope to accomplish with their work on the Committee.

Discussion began in regards to ensuring the homeless community has the education and support they need in order to secure housing and to remain in housing; Teaching life skills, budgeting and home skills and then offering follow-up services to reduce recidivism rates. This goal was echoed by multiple Task Force Members. There was also a need expressed for assisted living type facilities or resources for those in the community who need mental health support.

Betsey Andrews-Parker and Mayor McCarley both stressed the need for a comprehensive "roadmap" of available resources. It was stated that there are a great deal of resources available and significant funding which goes toward these resources, but they risk not being identified and accessed without a roadmap in place.

There was discussion of the need for improved and consolidated communication between agencies, resources and the counties.

Chairman Hutchinson expressed the need to raise awareness of the plight of the homeless population and their struggles so it is not a hidden issue. The committee also stated that education of available resources is not only important to the housing insecure, but to the general public so that they will know what can be done to sustain these resources.

DRAFT

Tri-City Mayors' Task Force on Homelessness

November 15, 2018

Changes within the municipalities' Zoning, Planning, Codes, and regulations to facilitate the availability of affordable housing was mentioned.

Eliza Tweedy stated the hope that there could be acknowledgment that homelessness is not an "us vs them" issue; that when part of our community is suffering we all suffer as a result.

Several Task Force members spoke about the need to find a permanent solution for a homeless shelter that doesn't rely on extreme cold weather to open, while also having a plan in place for an extreme cold weather shelter so it is not being thrown together last minute when it becomes necessary.

Chairman Hutchinson closed the discussion by stating that all these goals the Task Force discussed pointed toward the seven strategies which had been identified in the draft Master Plan and suggesting that the Task Force members invest that energy and passion into those strategies.

- **Salvation Army – Lieutenant Jeremiah Eisley**

Lt. Jeremiah Eisley of the Salvation Army spoke about the organization's plans to open a cold weather shelter starting in January. The Salvation Army hosts a food drive and toy campaign for the holidays. The gymnasium which will be used as the shelter will be in use as a sorting floor and storage area while these campaigns are ongoing. Lt. Eisley said the Salvation Army had hoped to find another location to use as a sorting/storage area, but the other locations had not panned out.

Lt. Eisley reported that the Salvation Army shelter would be a temporary overnight shelter for cold weather, not a permanent or long-term shelter. He stated that the Salvation Army does not discriminate based on religious standing, race, ethnicity, sexual orientation. All people will be able to obtain services if needed. The Salvation Army hopes to offer breakfast to their temporary resident when donations allow.

There was a discussion about how the Salvation Army would accommodate families as there are no single, locking bathrooms or separate locking bedding areas. They can offer partitions for some privacy, or err on the side of caution and provide a motel room for families seeking shelter.

Todd Marsh, Rochester Welfare Director, stated that the Welfare Departments of the three Cities would work to house families separate from the Salvation Army.

Mr. Marsh said that one of the goals of the Salvation Army shelter is to focus on the immediate region: Rochester, Farmington, Dover, Somersworth, and Barrington. It was clarified that the Salvation Army will not be turning anyone away regardless of the community from which they came, the organization puts no such stipulations on their

DRAFT

Tri-City Mayors' Task Force on Homelessness

November 15, 2018

services. There will be no residency requirements, the shelter will just not be promoted widely.

Lt. Eisley stated that the maximum number of people they would be comfortable housing would be 20, although if there is a greater need and they reach that maximum, they will accommodate them and find a place for them to be sheltered.

Vice Chair Gasses said she had spoken to Dover City Manager Mike Joyal who indicated that if there were enough homeless Dover residents needing shelter, Dover would open a temporary shelter in the McConnell Center for extreme cold weather.

Betsey Andrews-Parker spoke about the communities to help the process by pushing through zoning variances to facilitate shelters opening if the opportunity presents itself. The Salvation Army is opening this shelter at no cost to the City, the City can assist by ensuring that the shelter is able to operate without compromising safety.

There was a discussion about when the shelter could open due to the already frigid temperatures at night. If the Salvation Army could source another facility for the toy and food drives, they could offer shelter services before January.

Chairman Hutchinson asked Mayor McCarley if the vacant City-owned property at 38 Hanson Street in Rochester could be potentially used as a facility for the Salvation Army to store their food and toy donations. Mayor McCarley stated she would look into the use of this property.

The Committee had a brief discussion in regards to having a list of charitable organizations, churches, and resources which may be able to offer assistance if the Salvation Army is not able. Lt. Eisley said that the Salvation Army has a referral system which their social services provider can access if they are unable to offer assistance. They are also in contact with local welfare. It is unlikely this resource system would need to be used in the circumstances of a warming shelter.

When the shelter is open and operating, the Lieutenant can compile a list of donations and supplies needed which can be provided to the Task Force for distribution.

7. Affordable Housing Strategy

Paige Farmer of the Greater Seacoast Coalition to End Homelessness led a discussion on what defines affordability as well as potential municipal recommendations which can be made to increase affordable housing such as reviewing barriers in zoning and planning ordinances in regards to density and definitions of approved uses.

Ms. Farmer recommended the Committee revisit the contract with Strafford Regional Planning Commission, if not now, to be integrated as part of the Master Plan as

DRAFT

Tri-City Mayors' Task Force on Homelessness

November 15, 2018

a recommendation to the Municipalities. The SRPC has expertise when it comes to zoning policy and they would be ideal to engage when trying to create something at the Tri-City level.

Tory Jennison, Director of Population Health at Integrated Delivery Network, presented to the committee regarding affordable housing and the varying definitions of the term. Municipalities often use the term "workforce housing" interchangeably with the term affordable housing. The definition differs when it refers to what is affordable for those with employment and income as opposed to the homeless population or those with very low incomes.

Ms. Jennison addressed the Task Force regarding supportive housing and what it defines, what it provides, and permanent versus temporary supportive housing.

Ms. Jennison emphasized that the Mayors' Task Force should put their time and energy into what they personally can do to affect change; changes in zoning in regards to unit types, lot size and density, supportive services for landlords to avoid evictions, etc. There are already organizations and resources available to help the homeless community with education and necessary life-skills to find and retain housing. Ms. Jennison stated that the Task Force should work on developing recommendations for the Municipalities to invest in.

Phyllis Woods spoke about the need to educate property owners and landlords on Section 8 vouchers and other support programs. Ms. Woods also stated that there is not only a need to advertise supportive services for tenants, but to educate landlords that there are supportive services for them as well. These services can provide support and intervention prior to the need for eviction or loss of housing.

8. Other

There was a discussion in committee regarding the triggers for emergency cold weather shelters. Per Ms. Jennison, there is no mechanism in place for reimbursement if a community opens an emergency cold weather shelter. Currently, the Department of Homeland Security does not consider cold weather to be an emergency and there are no specific triggers. If the communities are asked to open emergency shelters, there is going to have to be a funding source for these shelters.

Chairman Hutchinson spoke about municipal restrictions being driven at the State level and asked for a sense of committee as to whether it may be beneficial to invite state representatives to attend the Task Force meetings.

Phyllis Woods referenced the annual legislative service request filing period to which the State Representatives adhere. Ms. Woods suggested trying to contact

DRAFT

Tri-City Mayors' Task Force on Homelessness

November 15, 2018

representatives prior to the closing of the filing period so if new legislation can be introduced, it will not have to wait a year.

Vice Chair Gasses suggested that if the committee was going to focus on making change at a local level, they should engage the planning departments of each City as opposed to zoning staff. It may be beneficial to have each municipality invite one of their planners to the next meeting for a discussion on what defines housing, approved uses, and potential changes that can be made to help increase affordable housing.

The next meeting of the Tri City Mayors' Task Force on Homelessness will be on November 29, 2018 at Community Action Partnership at 577 Central Avenue in Dover. Per Betsey Andrews-Parker, the meeting will be from 6:00 PM to approximately 9:00 PM and will be a working meeting to develop more thorough drafts of some of the Master Plan Strategies.

The date for the next Regular meeting of the Task Force is yet to be determined. It will be decided upon at the CAP meeting on the November 29.

9. Adjournment

Chairman Hutchinson **ADJOURNED** the meeting at 7:14 PM.

Respectfully Submitted,

Cassie Givara
Deputy City Clerk
Rochester, NH

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City Clerk's Office

Resolution Deauthorizing \$3,150 in funding related to the ERZ Signs Project**BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF ROCHESTER:**

That the amount of Three Thousand One Hundred Fifty Dollars (\$3,150) appropriated for the ERZ Signs Project as part of the 2017 CIP budget is hereby deauthorized and shall be returned to the General Fund Unassigned Fund Balance.

To the extent not otherwise provided for in this Resolution, the Finance Director is hereby authorized to establish and/or designate such accounts and or account numbers as are necessary to implement the transactions contemplated in this Resolution.

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City Clerk's Office



City of Rochester Formal Council Meeting

AGENDA BILL

NOTE: Agenda Bills are due by 10 AM on the Monday the week before the City Council Meeting.

AGENDA SUBJECT Deauthorization of ERZ Signs
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COUNCIL ACTION ITEM <input checked="" type="checkbox"/> INFORMATION ONLY <input type="checkbox"/>	FUNDING REQUIRED? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> * IF YES ATTACH A FUNDING RESOLUTION FORM
RESOLUTION REQUIRED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	FUNDING RESOLUTION FORM? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>

AGENDA DATE	December 4, 2018	
DEPT. HEAD SIGNATURE	Karen Pollard, Economic Development Manager, Signature	
DATE SUBMITTED	November 26, 2018	
ATTACHMENTS YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	* IF YES, ENTER THE TOTAL NUMBER OF PAGES ATTACHED	

COMMITTEE SIGN-OFF

COMMITTEE	
CHAIR PERSON	

DEPARTMENT APPROVALS

DEPUTY CITY MANAGER	
CITY MANAGER	

FINANCE & BUDGET INFORMATION

FINANCE OFFICE APPROVAL	
SOURCE OF FUNDS	
ACCOUNT NUMBER	
AMOUNT	
APPROPRIATION REQUIRED YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	

LEGAL AUTHORITY

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SUMMARY STATEMENT

The ERZ Signs were approved in the FY2017 CIP Budget for \$7,500, of \$5,500 came from the General Fund. The project was completed for \$4,350 and we ask for DEAUTHORIZATION of the remaining \$3,150 in project #17501 to be returned to the General Fund.

RECOMMENDED ACTION

DEAUTHORIZATION of the remaining \$3,150 in project #17501 to be returned to the General Fund.

AGENDA BILL - FUNDING RESOLUTION**EXHIBIT**

Project Name:

Deauthorization of ERZ Signage Allocation - Project # 17501

Date:

11/26/2018

Fiscal Year:

FY 2019

Fund (select):

GF ☒Water ☐Sewer ☐Arena ☐CIP ☐Water CIP ☐Sewer CIP ☐Arena CIP ☐Special Revenue ☐

Fund Type:

Annual Lapsing ☐Multi-year Non-Lapsing ☒**Deauthorization**

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
1	15011010	771000	17501	-	-	\$4,350
2				-	-	-
3				-	-	-
4				-	-	-

Appropriation

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
					-	\$0
					-	\$0
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-
					-	-

Revenue

	Org #	Object #	Project #	Fed Amount \$	State Amount \$	Local Amount \$
1					-	-
2					-	-
3					-	-
4					-	-
					-	-
					-	-
					-	-

DUNS #

CFDA #

Grant #

Grant Period: From

To

If de-authorizing Grant Funding appropriations: (select one)

Reimbursement Request will be reduced ☐Funds will be returned ☐