



Rochester City Council

Granite State Business Park Tax Increment Financing District

Advisory Board Meeting

May 12, 2020

Remote Meeting via Microsoft Teams

MEETING MINUTES

Blaine Cox, City Manager - District Administrator

Mark Hourihane, Mayoral Appointee, Hourihane, Cormier and Associates

Karen Brieger, Next Phase Medical

Brian Godbout, Solid Machine

Kristen Bournival, Safran Aerospace Composites

Troy Dillow, REDC, Bernier Insurance

Meeting Date:	October 17, 2019
----------------------	------------------

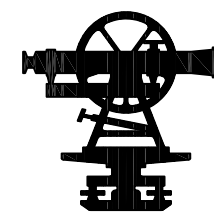
Members Present:	Members Absent:
-------------------------	------------------------

Blaine Cox Brian Godbout Karen Brieger Kristen Bournival Mark Hourihane	Troy Dillow
---	-------------

Other:	Mike Scala, Economic Development Director Jennifer Marsh, Economic Development Specialist Katie Ambrose, Deputy City Manager
---------------	--

CALL TO ORDER	Mr. Scala called the meeting to order at 1:07 PM and read the Covid-19 preamble.
INTRODUCTION	Attendance was taken via Roll Call

<p>DISCUSSION: Review subdivision for Granite State Business Park</p>	<p>Mr. Scala stated the reason for calling this meeting was to review the GSBP subdivision plans (attached) that were drawn up and presented at the May 2020 Planning Board (PB) meeting. At the meeting PB Chair Sylvain requested Mike have both the REDC and GSBP TIF Advisory Board review said plans and send a letter of support to the PB if the groups do support the subdivision.</p> <p>Norway Plains performed an initial survey of the property and then was asked to create a subdivision due to an interested business looking to locate to Rochester. This business would be constructed a 150,000 square foot building with 100,000 square feet for a warehouse and the additional 50,000 square feet to be subleased to an future business looking to locate in the GSBP. This larger green lot on attached plans is necessary due to the size of the proposed building and also due to some wetlands and higher elevations are not as suitable for building.</p> <p>Mr. Hourihane asked if the larger green lot could be further subdivided and Mr. Scala noted that it potentially could but would have increased costs due to said elevations and wetlands.</p> <p>Mr. Scala read a letter that he drafted for the PB (draft attached) that showed support of the subdivision by the GSBP TIF Advisory Board.</p>
<p>APPROVAL: Recommendations</p>	<p>Mr. Hourihane made a motion to send a letter of support to the Chair of the PB for Mr. Cox to sign. Ms. Bournival seconded the motion. Roll Call was taken and all members approved the letter of support to be sent.</p>
<p>ADJOURN</p>	<p>Mr. Hourihane made a motion to adjourn the meeting at 1:31 PM. Mr. Godbout seconded the motion. Roll Call was taken and all members were in favor of adjourning the meeting.</p>
<p>Next Meeting</p>	<p>The next meeting will be scheduled to review the TIF financial in the fall.</p>



FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

LEGEND

- ⊙ MONUMENT
- NO MONUMENT FOUND OR SET
- ⊙ UTILITY POLE
- PROPERTY LINE
- STONEWALL
- EP EDGE OF PAVEMENT
- EXISTING CULVERT
- ZONING LIMIT (SEE NOTE X)
- EDGE OF WETLAND
- EASEMENT
- ↔ HOOK/MERGE LOT
- RBCS REBAR WITH ID CAP SET
- IPF IRON PIPE FOUND
- SSF STEEL STAKE FOUND
- GLD GRANT L. DAVIS ASSOCIATES
- DHF DRILL HOLE FOUND
- TBS MONUMENT TO BE SET

ADDITIONAL ABUTTERS:

MAP 255, LOT 15
PATRICK M. MURRAY
17 HILLCREST DRIVE, DOVER, NH 03820
SCRD 1728-756

MAP 254, LOT 18
MACARDI, LLC
254 DRAKE HILL ROAD, STRAFFORD, NH 03884
SCRD 4524-470

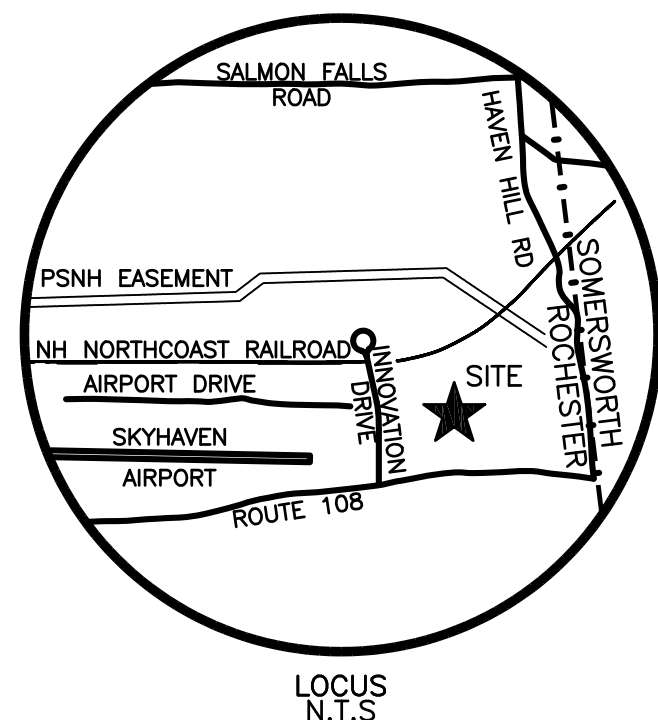
MAP 242, LOT 1
SAKUNTALA, LLC
32 INNOVATION DRIVE, ROCHESTER, NH 03867
SCRD 4099-767

MAP 242, LOT 3-1
AMAROSA PERKINS DEVELOPMENT, LLC
19 CHERRY LANE, MADBURY, NH 03823
SCRD 3673-398

MAP 255, LOT 24-3
MJS DEVELOPMENT LLC
55 HOMESTEAD LANE, BRENTWOOD, NH 03833
SCRD 4561-126

MAP 255, LOT 24-4
MJS DEVELOPMENT LLC
55 HOMESTEAD LANE, BRENTWOOD, NH 03833
SCRD 4561-126

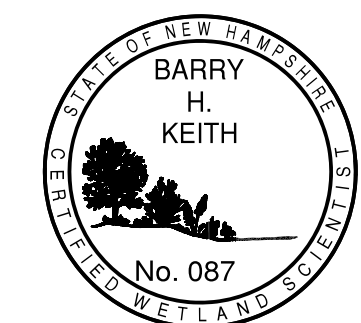
SKYHAVEN
AIRPORT



FILE NO. 104
PLAN NO. C-3012-S
DWG. NO. 19289 S-1

31 MOONEY STREET, ALTON, NH 603-875-3948

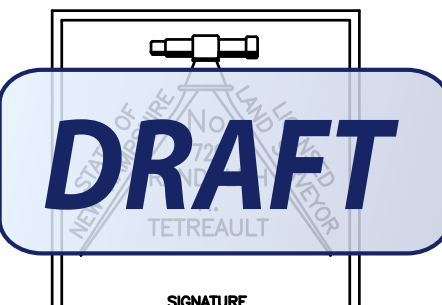
NORWAY PLAINS ASSOCIATES, INC.



RESERVED REGISTRY OF DEEDS

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS, AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FROM SUBDIVISION APPROVAL.

I HEREBY CERTIFY THAT THIS PLAN, PREPARED UNDER MY DIRECTION, IS THE RESULT OF A SURVEY MADE ON THE GROUND AS PER RECORD DESCRIPTIONS AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE PLAN CLOSURE EXCEEDS 1:10,000.



RANDOLPH R. TETRAULT, LLS DATE

NOTES:

- THE PURPOSE OF THIS PLAN TO SUBDIVIDE LAND DESCRIBED IN STRAFFORD COUNTY REGISTRY OF DEEDS, BOOK 4448, PAGE 224 AND BOOK 4424, PAGE 664 INTO THREE LOTS.
- THE PARCELS ARE IN THE GENERAL INDUSTRIAL DISTRICT ZONE (OI) AND THE CONSERVATION OVERLAY DISTRICT. MINIMUM LOT REQUIREMENTS WITH WATER AND SEWER:
LOT AREA = 20,000 SQ.FT.
FRONTAGE = 100 FT.
FRONT = 25 FT.
SIDE = 20 FT.
REAR = 25 FT.
MAXIMUM BUILDING HEIGHT = 55 FT.
BUILDING SETBACKS:
"NO INDUSTRIAL BUILDING OR OPERATION SHALL BE SITUATED CLOSER THAN 100 FEET TO THE BOUNDARY LINE OF ANY ADJACENT RESIDENTIAL PROPERTY". THE PLANNING BOARD MAY REDUCE THIS SETBACK TO 50 FEET BY CONDITIONAL USE OR WHERE THE USE IS ACCESSORY TO A PRIMARY SECTION 275-7.2.B.
- THE LOTS ARE CURRENTLY UNDEVELOPED.
- A PORTION OF TAX MAP 255, LOT 21 IS LOCATED WITHIN THE 100 YEAR FLOOD ZONE A AS SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 30, 2015, COMMUNITY PANEL 3307C0218E, PANEL 218 OF 405.
- THE SURVEYED LOTS ARE SUBJECT TO AN AVIATION AND FLIGHT CLEARANCE EASEMENT AS OUTLINED IN BOOK 1167, PAGE 280, AS SHOWN. SEE ALSO BOOK 1166, PAGE 633 AND BOOK 1166, PAGE 604.
TAX MAP 255, LOT 18 IS SUBJECT TO A 60' RIGHT OF WAY IN FAVOR OF TAX MAP 255, LOT 19. SEE BOOK 860, PAGE 462.
- TAX MAP 255, PAGE 21 IS SUBJECT TO ANY RIGHTS TO CROSS AT RAILROAD TRACKS AND/OR RIGHT-OF-WAY OF BOSTON AND MAINE RAILROAD LOCATED BETWEEN PARCELS B AND C. REFERENCE IS MADE TO RIGHTS RESERVED BY TIMOTHY HANSON (PREDECESSOR IN TITLE TO THE RESURRECTION LUTHERAN CHURCH) TO GREAT FALLS AND CONWAY RAILROAD (PREDECESSOR IN TITLE TO BOSTON AND MAINE RAILROAD) DATED JANUARY 10, 1850. SEE BOOK 206, PAGE 16, TOGETHER WITH AN EASEMENT TO PASS AND REPASS OVER ROADS CURRENTLY EXISTING OR TO BE CONSTRUCTED ON LAND OF GRANITE STATE BUSINESS PARK, INC. SEE BOOK 1466, PAGE 340 & BOOK 1593, PAGE 716.
- ELEVATIONS AND CONTOURS SHOWN ON THIS PLAN ARE BASED ON NAVD88 (GEOID18). SOME CONTOURS ARE DERIVED FROM LIDAR DATA ACQUIRED BY NOAA IN 2015.
- BEARINGS REFER TO GRID NORTH, NH STATE PLANE NAD83 (2007) BASED ON GPS NETWORK OBSERVATIONS. DISTANCES SHOWN ARE GROUND DISTANCES.
- UTILITIES SHOWN ON THIS PLAN WERE LOCATED FROM EXISTING ABOVE-GROUND STRUCTURES & EXISTING PLANS. NPA MAKES NO GUARANTEE THAT THEY COMPRISE ALL SUCH UTILITIES OR THAT THEY ARE IN THE EXACT LOCATION SHOWN. NPA HAS NOT LOCATED THE UNDERGROUND UTILITIES.
- THE LOCATION OF THE ROADS SHOWN ON THIS PLAN ARE BASED ON EXISTING PLANS AND MONUMENTS FOUND.
- FOR MORE INFORMATION ON THIS LOT CONSOLIDATION PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT; 33 WAKEFIELD STREET, ROCHESTER, NH 03867, (603)335-1338.

REFERENCE PLANS:

- "SUBDIVISION OF LAND, ROCHESTER, NH, FOR ROCHESTER INDUSTRIAL PARK, INC." DATED: JUNE 22, 1987 BY NORWAY PLAINS SURVEY ASSOCIATES, INC. RECORDED: PLAN # SCRD 37A-29
- "LOT LINE REVISION, AIRPORT DRIVE, TAX MAP 242, LOTS 5 & 6, ROCHESTER, NH, PREPARED FOR THE CITY OF ROCHESTER" DATED: MAR. 2012 BY NORWAY PLAINS ASSOCIATES, INC. RECORDED: PLAN # SCRD 103-89
- "PLAN OF LANDS, NH ROUTE 108, ROCHESTER HILL ROAD, ROCHESTER, NH FOR THE CITY OF ROCHESTER," DATED: SEPTEMBER 2019 BY NORWAY PLAINS ASSOCIATES, INC. RECORDED: PLAN # SCRD 12041.

SEE PLAN REF. 3 FOR ADDITIONAL REFERENCE PLANS.

FOR COMMENT

TM 255-18, 19 & 21
THE CITY OF ROCHESTER
31 WAKEFIELD STREET
ROCHESTER, NH 03867
SCRD 4446-224
SCRD 4424-664

SUBDIVISION PLAN
ROUTE 108
ROCHESTER HILL ROAD
INNOVATION DRIVE
ROCHESTER
STRAFFORD COUNTY, NH
FOR:
CITY OF ROCHESTER

1" = 100' APRIL 2020
GRAPHIC SCALE

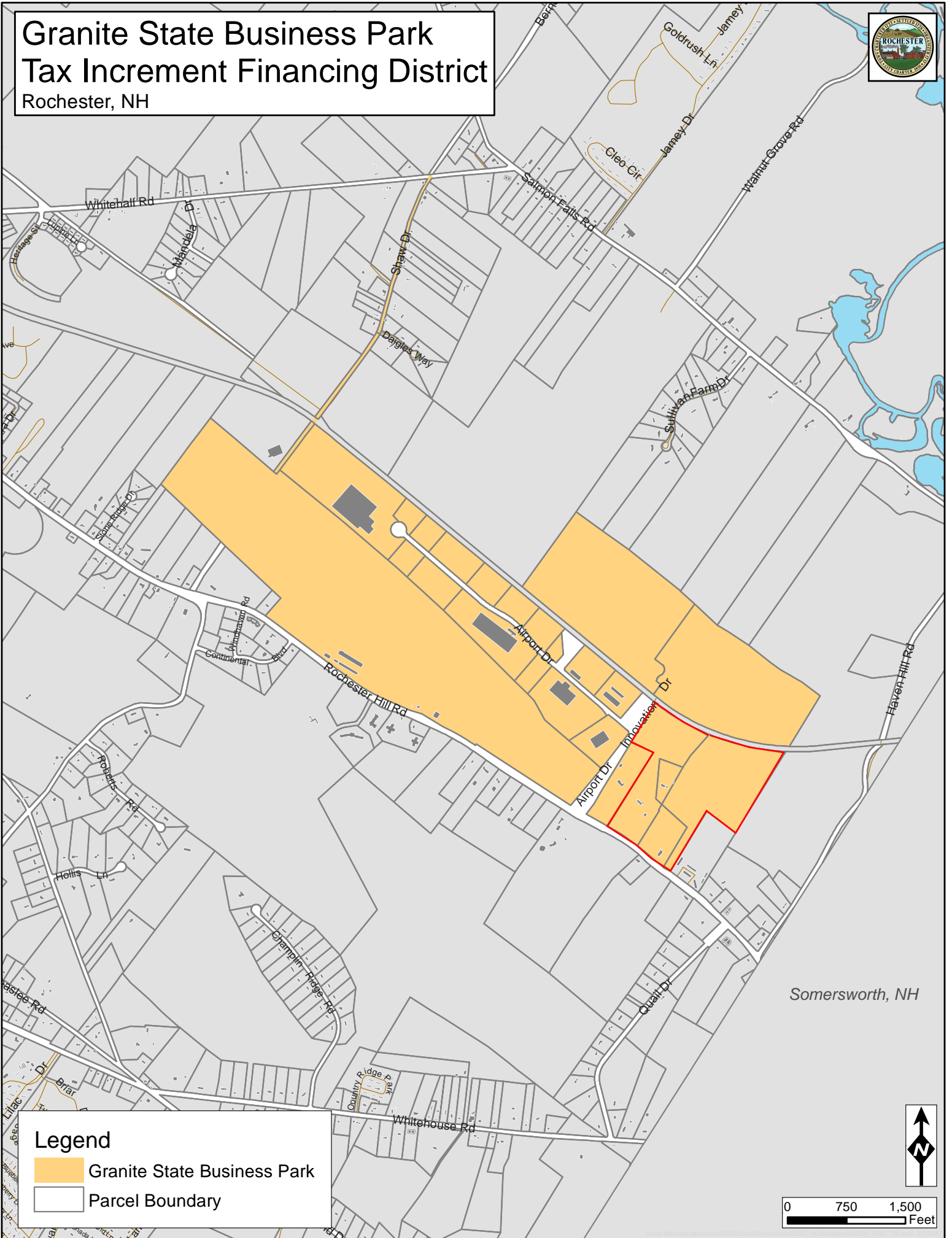


REVISIONS:

2 CONTINENTAL BLVD., ROCHESTER, NH 603-335-3948

Granite State Business Park Tax Increment Financing District

Rochester, NH



- Legend**
- Granite State Business Park
 - Parcel Boundary

0 750 1,500 Feet



City of Rochester, New Hampshire
Office of Economic & Community Development
33 Wakefield Street, Rochester, NH 03867
(603) 335-7522, www.rochesteredc.com

May 12, 2020

Mr. Nel Sylvain
Chairman
City of Rochester Planning Board
31 Wakefield Street
Rochester, NH 03867

RE: GSBP Subdivision Letter of Support

Dear Mr. Chairman,

Based on the advice of the Granite State Business Park Advisory Board I would like to express my support of the 3-lot subdivision as proposed by the Department of Economic Development and reviewed by your Board on Monday, May 4, 2020.

The Advisory Board's mission is to advise the City Manager on the health and growth of the GSBP TIF District, and they feel that the creation of this subdivision, and the proposed construction of the 150,000 sf. warehouse, will be of significant benefit to the park.

For this reason, I support the creation of this subdivision as proposed by the Department of Economic Development.

Sincerely,

Blain Cox
City Manager