



NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: _____ Is a conditional use needed? Yes: _____ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 115 ; Lot #'(s): 19 ; Zoning district: Residential 1 (R1)

Property address/location: 248 North Main Street

Name of project (if applicable): Seacoast Dental Implant and Oral Surgery Center

Size of site: 0.76 acres; overlay zoning district(s)? _____

Property owner

Name (include name of individual): Emerald Knight Properties, LLC; c/o Dave Pak

Mailing address: 74 Bagdad Road, Durham, NH 03824

Telephone #: 603 332-0818 Email: davepakoms@gmail.com

Applicant/developer (if different from property owner)

Name (include name of individual): Dr. Dave Pak, DMD, MD, PA

Mailing address: 123 Washington Street, Rochester, NH 03867

Telephone #: 603 332-0818 Email: davepakoms@gmail.com

Engineer/designer

Name (include name of individual): Norway Plains Associates, Inc.; c/o Scott Lawler, PE

Mailing address: PO Box 249, Rochester, NH 03866-0249

Telephone #: 603 335-3948 Fax #: 603 332-0098

Email address: slawler@norwayplains.com Professional license #: NH PE 10026

Proposed activity (check all that apply)

New building(s): Site development (other structures, parking, utilities, etc.):

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 115 Lot: 19 Zone R1)

Describe proposed activity/use: Proposed 2,868 square foot dental/medical office building

Describe existing conditions/use (vacant land?): Vacant

Utility information

City water? yes no ; How far is City water from the site? At the Street

City sewer? yes no ; How far is City sewer from the site? At the Street

If City water, what are the estimated total daily needs? 240 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes no

If City sewer, do you plan to discharge anything other than domestic waste? yes no

Where will stormwater be discharged? On site Infiltration Basin

Building information

Type of building(s): Single story wood framed building

Building height: 15' Finished floor elevation: 228.0'

Other information

parking spaces: existing: 0 total proposed: 18; Are there pertinent covenants?

Number of cubic yards of earth being removed from the site less than 500

Number of existing employees: 0; number of proposed employees total: 6

Check any that are proposed: variance ; special exception ; conditional use

Wetlands: Is any fill proposed? No; area to be filled: ; buffer impact? n/a

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	2,868 sf	8.65%
Parking and vehicle circulation	8,344 sf	25.18%
Planted/landscaped areas (excluding drainage)	16,961 sf	55.17%
Natural/undisturbed areas (excluding wetlands)	0 sf	0.00%
Wetlands	0 sf	0.00%
Other – drainage structures, outside storage, etc.	4,970 sf	15.00%

(Continued Nonresidential Site Plan application Tax Map: 115 Lot: 19 Zone R-1)

Comments

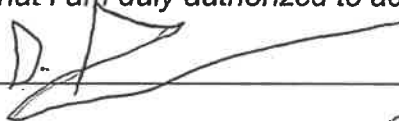
Please feel free to add any comments, additional information, or requests for waivers here:

Parcel received a use variance to allow for a medical/dental office within the Residential 1 zoning district on May 19, 2015 (case #2015-13).

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

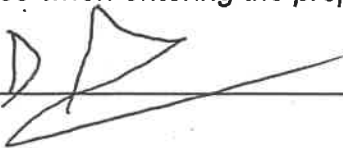
Signature of property owner: 
Date: 3/3/17

Signature of applicant/developer: _____
Date: _____

Signature of agent: 
Date: 3/3/17

Authorization to enter subject property

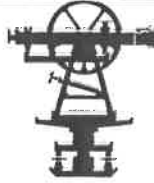
I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: 

NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS • SEPTIC SYSTEM DESIGNERS • ENGINEERS

P.O. Box 249
Continental Blvd. (03867)
Rochester, NH 03866-0249
Fax (603)332-0098
Phone (603) 335-3948 / (800) 479-3948
slawler@norwayplains.com



P. O. Box 268
31 Mooney St.
Alton, NH 03809
www.norwayplains.com
Phone & Fax (603) 875-3948
rtetreault@norwayplains.com

March 6, 2017

Seth Creighton, Chief Planner
Department of Planning and Development
Second Floor, City Hall
31 Wakefield Street
Rochester, NH 03867-1917



Re: Non- Residential Site Plan Application; Seacoast Dental Implant and Oral Surgery Center – 248 North Main Street & Cushing Boulevard, Map 115, Lot 19.

Dear Mr. Creighton:

On behalf of Dr. Dave Pak, DMD and Seacoast Dental Implant and Oral Surgery Center, we hereby submit plans and nonresidential site plan application for a proposed dental and medical business at 248 North Main Street. Mr. Pak will be relocating his business from its current location at 123 Washington Street to this location.

The 0.76 acre property is currently owned by Emerald Knight Properties, LLC and located within the Residential 1 (R1) zoning district. The vacant parcel was granted a variance by the Rochester Zoning Board of Adjustments to allow a dental / medical use in the R1 zone on May 19, 2015.

The parcel is located at the southwestern corner of North Main Street and Cushing Boulevard. Abutting the parcel to the south and west are residential properties, as is across North Main Street. A fast food restaurant, Burger King, is located on the opposite side of Cushing Boulevard. Although the parcel was once developed with a residential home, the structure was removed and has been vacant for more than 25 years. The existing grade of the parcel is mostly flat with a gentle slope southerly and westerly towards the abutting properties. The parcel is generally vegetated with brush and small trees with a few mature trees are located on along the property lines.

Seacoast Dental Implant and Oral Surgery Center is proposing to construct a single story 2,868 square foot dental / medical office building. The proposed building will have 4 treatment rooms, an imaging room, offices and staff rooms. The center currently has one doctor, Dr. Pak, and five fulltime employees. The business is open Monday through Friday from 9 am to 5 pm and typically sees approximately 30 patients a day (2 to 4 per hour). Although the building has been designed as a single story, provisions have been incorporated into the design to allow for the potential expansion by creating a second story in the future.

Access to the site will be from a new driveway off Cushing Boulevard. A new parking lot will accommodate 18 vehicles at which two spaces are designated as accessible. A walkway will connect the front entrance to the sidewalk on North Main Street and there will be a sidewalk along the proposed parking lot. Since the business is based on scheduled appointments, the applicant does not anticipate generating more than 4 to 8 peak hour trips in and out of the site. Cushing Boulevard is currently still under a 5-year construction moratorium, due to expire in 2018. As such, a petition to the City Public Works Committee will be filed to allow for minor construction within the right of way to install the driveway.

The stormwater from the impervious surfaces will be directed towards a sediment forebay and a grass infiltration basin located at the rear of the site. The stormwater will be treated and infiltrated back into the ground. The

stormwater management system treats almost 100% of the runoff generated from the impervious surfaces, with only a small amount of runoff from the proposed driveway and front sidewalk discharging towards the City drainage system along North Main Street and Cushing Boulevard. As a result of these two small impervious surfaces, a waiver is being requested to allow for an insignificant increase in rate of discharge, 0.1 cubic feet per second, and volume of runoff, 0.01 acre/feet for the 10-year 24-hour storm event.

The site will to be serviced by City water and sewer systems via new connections within the North Main Street ROW. The proposed building will also tie into Unitil natural gas and run underground utility conduits from the street. The applicant is proposing some decorative pole mounted lighting fixtures and some smaller walkway bollard lights.

In conjunction with the lighting, an aesthetic landscaping plan was developed to screen the parking lot from the roadway and to enhance the architectural elements of the building. Some street trees will be added along North Main Street and Cushing Boulevard to complete the plantings. A new cedar plank fence will be installed along the southern and western property lines to create a screen the proposed commercial use from the residential properties. A dumpster with fence enclosure will be constructed at the end of the proposed parking.

We look forward to discussing this project with staff and the Planning Board. Thank you for your consideration

Sincerely,

NORWAY PLAINS ASSOCIATES, INC.



By:
Scott A. Lawler, PE, Project Engineer

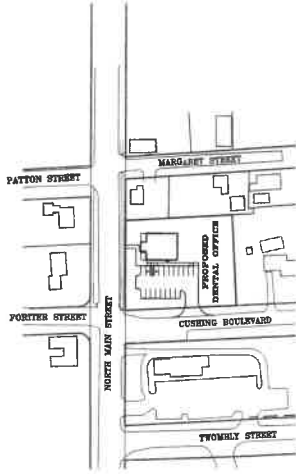
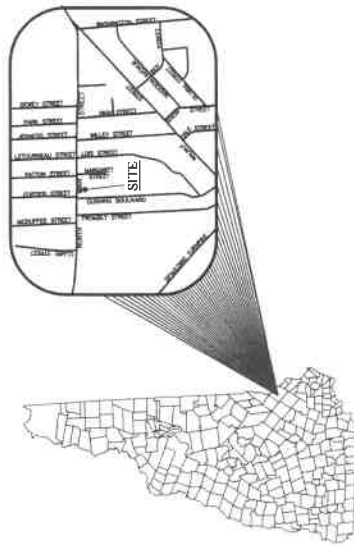
cc: Dr. Dave Pak, DMD, MD, PA



PROPOSED DENTAL / MEDICAL OFFICE 248 NORTH MAIN STREET AND CUSHING BOULEVARD

PREPARED FOR

SEACOAST DENTAL IMPLANT AND ORAL SURGERY CENTER ROCHESTER, N.H. 03867 MARCH 2017



OVERALL SITE
1" = 100'



CIVIL ENGINEERS
NORWAY PLAINS ASSOCIATES, INC.
2 CONTINENTAL BOULEVARD
ROCHESTER, NH 03867
(603) 336-3846

ARCHITECTS
ALBA ARCHITECTS, LLP
137 MAIN STREET
NORTH WOODSTOCK, NH 03262
(603) 745-4770

LANDSCAPING ARCHITECTS
WOODBURN & COMPANY LANDSCAPE ARCHITECTURE, LLC
103 KENT PLACE
NEW MARKET, NH 03857
(603) 650-5949

OWNER OF RECORD
TAX MAP 015, LOT 19
BARBARA NEWPORT PROPERTIES, LLC
DUBLIN, NH 03824
S.C.R.D. BOOK 4303, PAGE 061

APPLICANT
DR. DAVE C. PAIK, D.D., M.D., M.S.
1 ROCHESTER, NH 03839
(603) 332-0810

CALL TO REVIEW ALL SHEETS OF THIS PROJECT TO INSURE PROPER CONSTRUCTION. BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER ARE RESPONSIBLE FOR ANY ERRORS. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WITHIN THE PLAN SET. IF THERE ARE ANY QUESTIONS WITH THE DESIGN PRESENTED IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-336-3846.

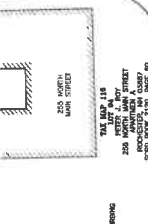
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FINAL APPROVAL BY
ROCHESTER PLANNING BOARD

CERTIFIED BY: _____ DATE: _____

FILE NO. 104
PLAN NO. C-3789
DEC. NO. 1525/SP-1
P.B. 06

- LEGEND**
- PROPERTY LINE
 - EXISTING BEE LINE
 - EXISTING OVERHEAD WIRES
 - EXISTING UTILITY POLE
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - PROPOSED PAVEMENT
 - PROPOSED PAVEMENT WITH CURBING
 - PROPOSED DRIVE LINE
 - PROPOSED W/FL FENCE



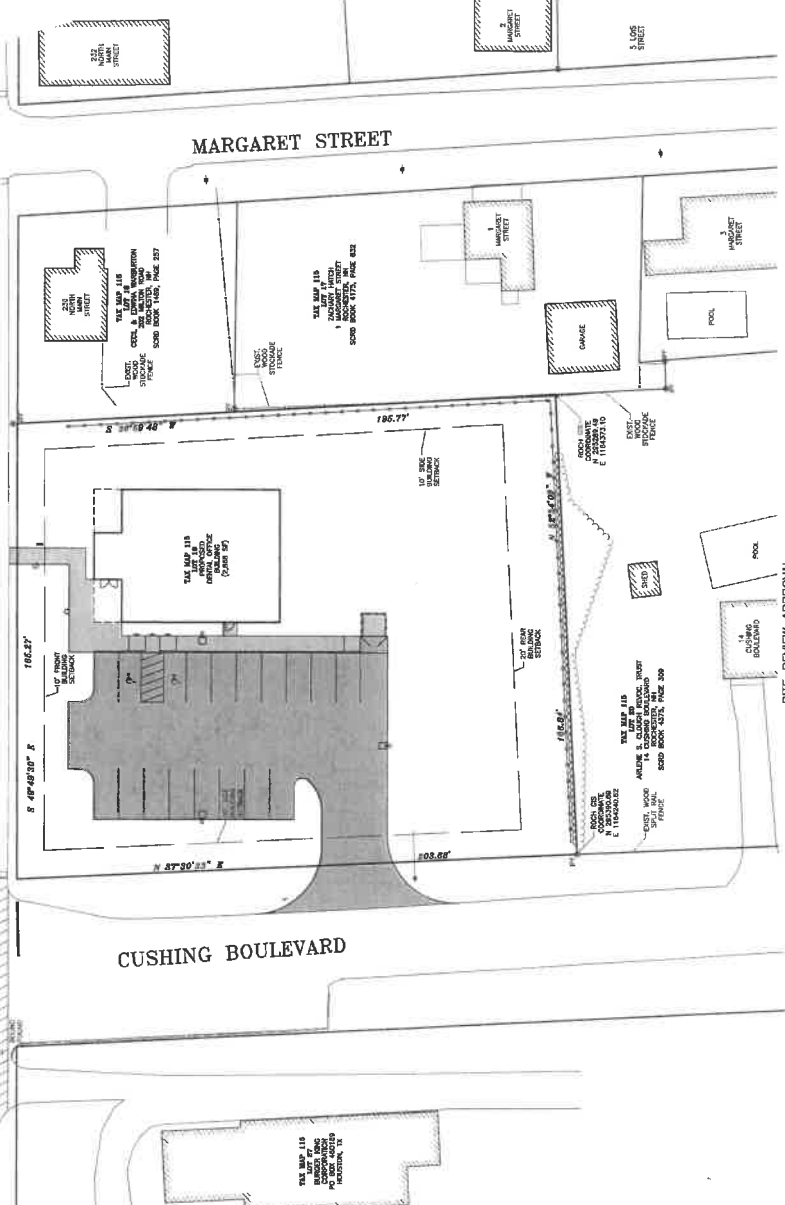
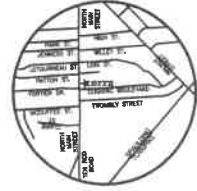
GENERAL SET OF THIS PLAN IS TO BE KEPT ON THE OFFICE FILES OF THE ENGINEERING STAFF AT MORRIS PLAINS. THE PLAN IS TO BE KEPT ON THE OFFICE FILES OF THE ENGINEERING STAFF AT MORRIS PLAINS.

1. THE PURPOSE OF THIS PLAN IS TO SUBMIT THE DESIGN FOR THE CONSTRUCTION OF THE SEPTIC SYSTEM AND TO PROVIDE THE NECESSARY INFORMATION FOR THE DESIGN OF THE SEPTIC SYSTEM.
2. THE DESIGN OF THE SEPTIC SYSTEM IS BASED ON THE ASSUMPTIONS SET FORTH IN THE SPECIFICATIONS AND THE DESIGN NOTES.
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NORTH MAIN STREET

MARGARET STREET

CUSHING BOULEVARD



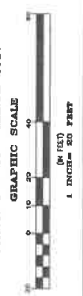
SITE REVIEW APPROVAL

WHETHER OR NOT OTHERWISE EXPRESSLY NOTED ON THE SITE REVIEW PLAN, THE SITE OWNER/DEVELOPER TO ALL WRITTEN AND VERBAL REPRESENTATIONS MADE REGARDING SUCH MATTERS AS USE, NUMBER OF EMPLOYEES, DRAINAGE, CONSTRUCTION, ETC. AS WELL AS ALL PLAN REVIEW REGULATIONS OF THE CITY OF ROCHESTER, N.H., AS AMENDED IN EFFECT ON THE DATE OF THE SUBMISSION AND APPROVAL OF A USE SITE REVIEW APPLICATION. ALSO INCLUDE THE SUBMISSION AND APPROVAL OF A USE SITE REVIEW APPLICATION.

FINAL APPROVAL BY
 ROCHESTER PLANNING BOARD
 CERTIFIED BY: _____ DATE: _____

OWNER OF RECORD:
 EMERALD 74 DADDAD ROAD
 S.C.R.D. BOOK 4308, PAGE 861

OVERALL SITE PLAN
 24B NORTH MAIN STREET &
 CUSHING BOULEVARD
 STRAFFORD COUNTY
 ROCHESTER
 NEW HAMPSHIRE
 PREPARED FOR:
 SEACOAST DENTAL IMPLANT
 AND ORAL SURGERY
 CENTER



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER FOR ANY AVAILABLE GEOTECHNICAL OR HYDROLOGICAL INFORMATION AVAILABLE BUT NOT OBTAINED IN THE PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY PLAINS ASSOCIATES, INC. (603)-338-3848

PATTON STREET

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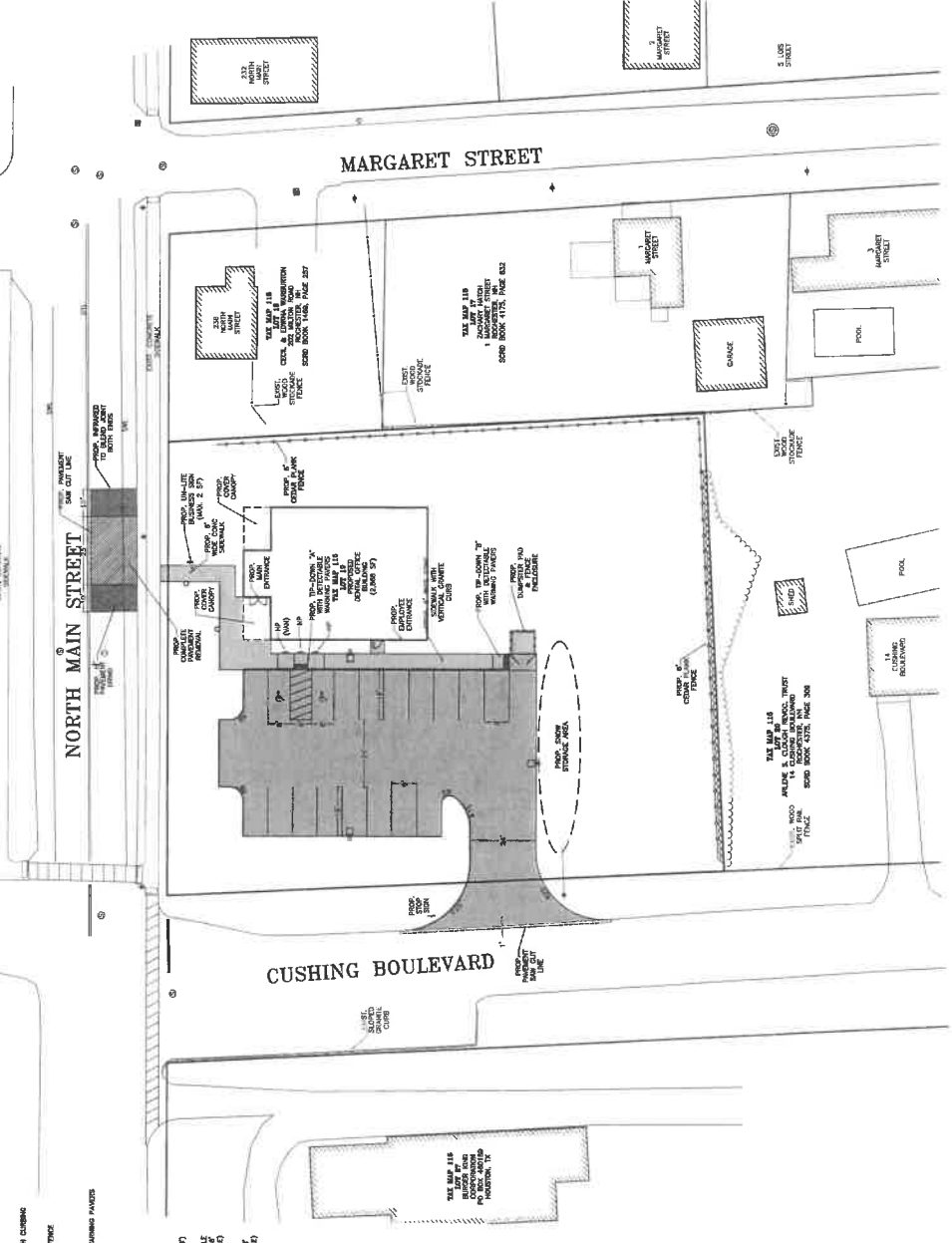
FORTIER DRIVE

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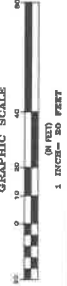
MARGARET STREET

CUSHING BOULEVARD



SITE LAYOUT PLAN
 248 NORTH MAIN STREET &
 CUSHING BOULEVARD
 STRAFFORD COUNTY
 ROCHESTER
 NEW HAMPSHIRE
 PREPARED FOR:
**SEACOAST DENTAL IMPLANT
 AND ORAL SURGERY
 CENTER**

SCALE: 1" = 20' GRAPHIC SCALE
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 0 10 20 30 40 50
 1" = 20' GRAPHIC SCALE
 0 10 20 30 40 50
 1" = 20' GRAPHIC SCALE



1. Containment Blvd., Rochester, N.H. 603-338-3848
 2. Containment Blvd., Rochester, N.H. 603-338-3848
 C-2

NORWAY PLAINS ASSOCIATES, INC.

31. Mossey Street, Altus, N.H. 603-476-3348

FILE NO. 188
 PLAN NO. C-2827
 DPC NO. 6507 (SP-1)
 P.O. NO. 528-C-188-314-11-11-11-11



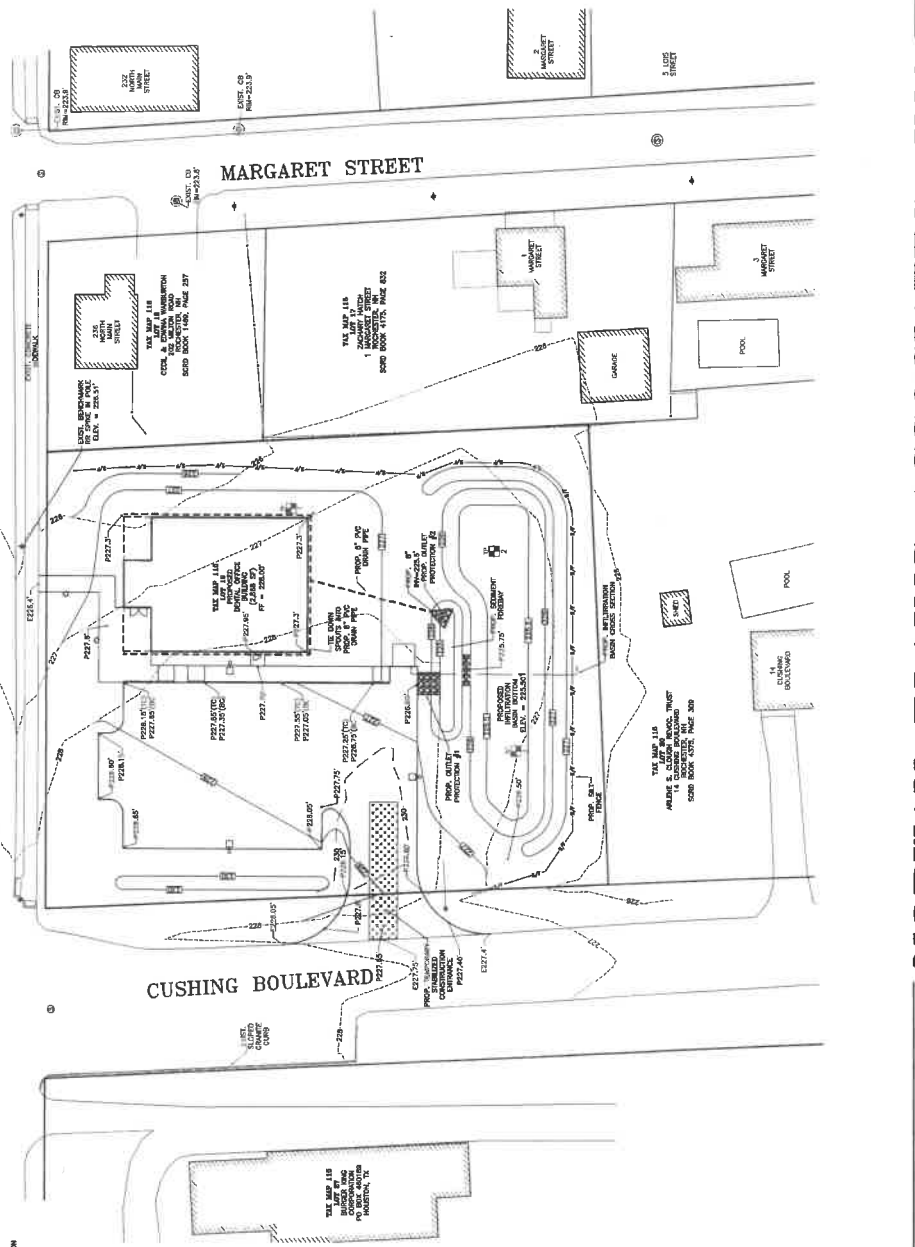
- LEGEND**
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 - - - - - EXISTING CONDUIT LINE
 - - - - - EXISTING UTILITY LINE
 - - - - - EXISTING SEWER LINE
 - - - - - PROPOSED SEPTIC DRAIN
 - - - - - PROPOSED SEPTIC MANHOLE
 - - - - - PROPOSED SEPTIC MAIN
 - - - - - PROPOSED SEPTIC CLEANOUT
 - - - - - PROPOSED SEPTIC TANK
 - - - - - PROPOSED SEPTIC BODIES
 - - - - - PROPOSED SEPTIC SAND/SAND FILTER
 - - - - - PROPOSED SEPTIC EFFLUENT LINE
 - - - - - PROPOSED SEPTIC WASTEWATER TREATMENT SYSTEM
 - - - - - PROPOSED SEPTIC PUMP-OUT STATION
 - - - - - PROPOSED SEPTIC PUMP
 - - - - - PROPOSED SEPTIC TRENCH (FT)
 - - - - - COMBINED MULTIPLE PIPE
 - ○ ○ ○ ○ CATCH BASIN
 - ○ ○ ○ ○ AREA BASIN
 - ○ ○ ○ ○ TOP OF WALL
 - ○ ○ ○ ○ TOP OF SAND
 - ○ ○ ○ ○ TOP OF CURB
 - ○ ○ ○ ○ PROPOSED OUTLET PROTECTION

THE MAP IS TO BE USED IN CONNECTION WITH THE SEPTIC SYSTEM DESIGN AND TO BE USED AS A GUIDE TO CONSTRUCTION.

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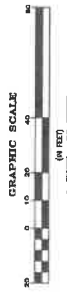
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GRADING, DRAINAGE, EROSION
AND SEDIMENTATION
CONTROL PLAN
248 NORTH MAIN STREET &
CUSHING BOULEVARD
STRAFFORD COUNTY
ROCHESTER
NEW HAMPSHIRE

PREPARED FOR:
SEACOAST DENTAL IMPLANT
AND ORAL SURGERY CENTER

SCALE: 1" = 20' MARCH 2017





CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION OF THE SEPTIC SYSTEM. CONTACT THE DESIGNER FOR ANY INFORMATION. CONTACT THE DESIGNER FOR ANY INFORMATION. CONTACT THE DESIGNER FOR ANY INFORMATION.

231 NORTH MAIN STREET
PATTON STREET
231 NORTH MAIN STREET

231 NORTH MAIN STREET
FORTIER DRIVE
231 NORTH MAIN STREET

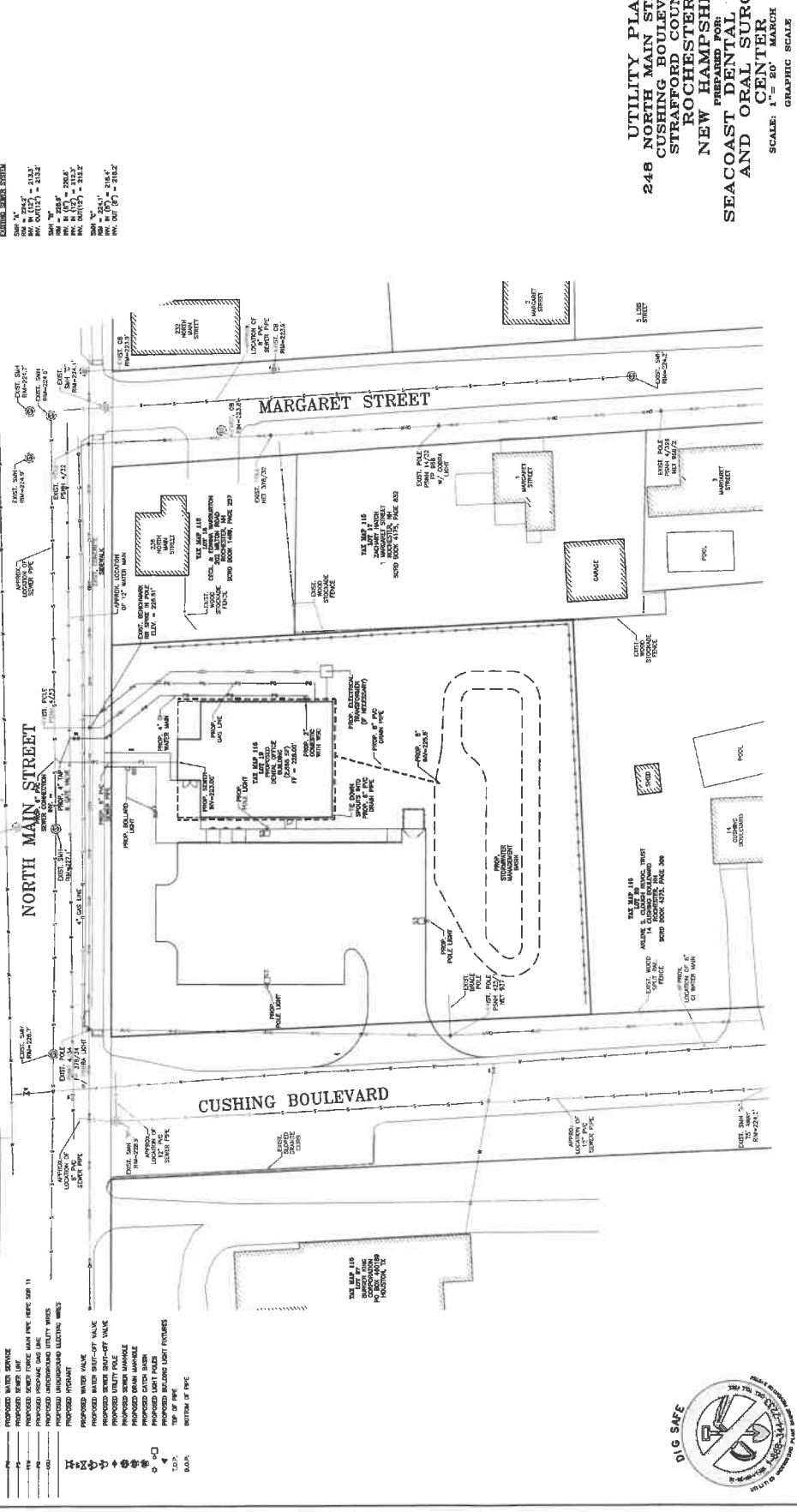
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CUSHING BOULEVARD
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MARGARET STREET
231 NORTH MAIN STREET

LEGEND
PROPERTY LINE
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EXISTING QUANTITY SEWER MAIN
EXISTING UNDERGROUND ELECTRIC WIRE
EXISTING UNDERGROUND UTILITY WIRE
EXISTING GAS PIPE
EXISTING WATER MAIN
EXISTING WATER DATE OR SHUT-OFF VALVE
EXISTING UTILITY POLE
EXISTING CATCH BASIN
EXISTING LIGHT POLES
PROPOSED WATER SERVICE
PROPOSED SEWER MAIN
PROPOSED UNDERGROUND ELECTRIC WIRE
PROPOSED UNDERGROUND UTILITY WIRE
PROPOSED WATER VALVE
PROPOSED WATER SHUT-OFF VALVE
PROPOSED UTILITY POLE
PROPOSED SEWER MANHOLE
PROPOSED CATCH BASIN
PROPOSED LIGHT POLES
PROPOSED BELOW GROUND LIGHT FIXTURES
DATE: 11/11/17

EXISTING SEWER SYSTEM
DATE: 11/11/17
DATE: 11/11/17
DATE: 11/11/17
DATE: 11/11/17
DATE: 11/11/17
DATE: 11/11/17



UTILITY PLAN
248 NORTH MAIN STREET &
CUSHING BOULEVARD
STRAFFORD COUNTY
ROCHESTER
NEW HAMPSHIRE
PREPARED FOR:
SEACOAST DENTAL IMPLANT
AND ORAL SURGERY
CENTER
SCALE: 1" = 50'
MARCH 2017

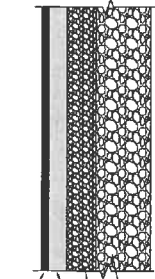
GRAPHIC SCALE
1" = 50' FEET

31 Messey Street, Alton, N.H. 030-870-8948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3848

C-4



PARKING LOT CROSS-SECTIONS

NOT TO SCALE

SUBGRADE/COMMON FILL

PAVEMENT NOTES:

1. PLACE GRANITE CURB IN 12" HIGH LIFTS, COMPACT TO 98% MAXIMUM PROCTOR DENSITY.
2. PLACE GRANITE CURB IN MAXIMUM 6" HIGH LIFTS, COMPACT TO 98% MAXIMUM PROCTOR DENSITY.
3. PLACE GRANITE CURB IN 12" MAXIMUM LIFTS, COMPACT TO 98% MAXIMUM PROCTOR DENSITY.
4. GRANITE CURB SHALL BE INSTALLED IN TWO COURSES, A 6" COURSE AND A 6" COURSE.

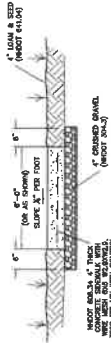
TYPICAL PAVEMENT MATCHING DETAIL

NOT TO SCALE

GRAVEL FILL MATERIAL

PAVEMENT NOTES:

1. 12" GRANITE CURB (MEET 304.1)
2. 4" GRANITE CURB (MEET 304.1)
3. 4" GRANITE CURB (MEET 304.1)
4. 12" GRANITE CURB (MEET 304.1)



CONCRETE SIDEWALK DETAIL

NOT TO SCALE

CONCRETE SIDEWALK WITH GRANITE CURB DETAIL

PAVEMENT NOTES:

1. 12" GRANITE CURB (MEET 304.1)
2. 4" GRANITE CURB (MEET 304.1)
3. 4" GRANITE CURB (MEET 304.1)
4. 12" GRANITE CURB (MEET 304.1)

CONCRETE SIDEWALK WITH GRANITE CURB DETAIL

NOT TO SCALE

PAVEMENT NOTES:

1. 12" GRANITE CURB (MEET 304.1)
2. 4" GRANITE CURB (MEET 304.1)
3. 4" GRANITE CURB (MEET 304.1)
4. 12" GRANITE CURB (MEET 304.1)

DETECTABLE WARNING PAVEMENT DETAIL

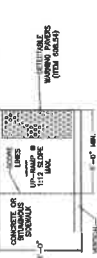
NOT TO SCALE

DETECTABLE WARNING PAVEMENT NOTES:

1. DETECTABLE WARNING PAVEMENT SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE SIDEWALK OF THE DRIVEWAY.
2. DETECTABLE WARNING PAVEMENT SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
3. DETECTABLE WARNING PAVEMENT SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
4. DETECTABLE WARNING PAVEMENT SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.

HANDICAP RAMP DETAIL "A"

NOT TO SCALE



HANDICAP RAMP DETAIL "B"

NOT TO SCALE



GENERAL NOTES:

1. THE GRANITE CURB SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
2. THE GRANITE CURB SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
3. THE GRANITE CURB SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
4. THE GRANITE CURB SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.

FILE NO. 188
 PLAN NO. C-2821
 DATE: 03/20/17
 P.E. J.B. SBT-1

31 Money Street, Altam, N.H. 603-970-3948

ITEM NO.	HEIGHT	WIDTH	TEXT	NO. REQUIRED
RT-1	30"	30"	STOP	1
RT-2	18"	12"	WHEELCHAIR	2
RT-3	6"	12"	NO PARKING	1
RT-4	18"	12"	NO PARKING	1

SIGN SCHEDULE

NOT TO SCALE

NOTES:

1. ALL SIGNS SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

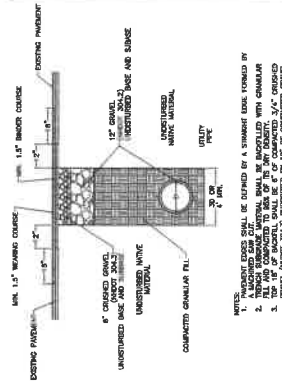


TYPICAL TRAFFIC SIGN

NOT TO SCALE

NOTES:

1. SIGNS SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. SIGNS SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
3. SIGNS SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
4. SIGNS SHALL BE PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.



TRENCH PATCH PROFILE

NOT TO SCALE

NOTES:

1. TRENCH PATCH SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
2. TRENCH PATCH SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
3. TRENCH PATCH SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
4. TRENCH PATCH SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.

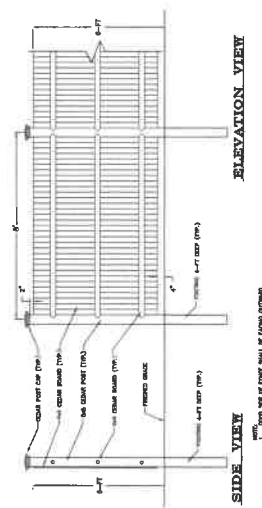


DUMPSTER PAD DETAIL

NOT TO SCALE

NOTES:

1. DUMPSTER PAD SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
2. DUMPSTER PAD SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
3. DUMPSTER PAD SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.
4. DUMPSTER PAD SHALL BE DEFINED BY A THICKNESS INDICATED BY THE DRAWING.



TYPICAL SOLID BOARD FENCE

NOT TO SCALE

NOTES:

1. TYPICAL BOARDING SHALL BE 4" X 6" X 12'.
2. TYPICAL BOARDING SHALL BE 4" X 6" X 12'.
3. TYPICAL BOARDING SHALL BE 4" X 6" X 12'.
4. TYPICAL BOARDING SHALL BE 4" X 6" X 12'.

ACCESSIBLE SYMBOL

NOT TO SCALE

ACCESSIBLE SYMBOL NOTES:

1. ACCESSIBLE SYMBOL SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
2. ACCESSIBLE SYMBOL SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
3. ACCESSIBLE SYMBOL SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
4. ACCESSIBLE SYMBOL SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.

STALL STRIPING DETAIL

NOT TO SCALE

STALL STRIPING DETAIL NOTES:

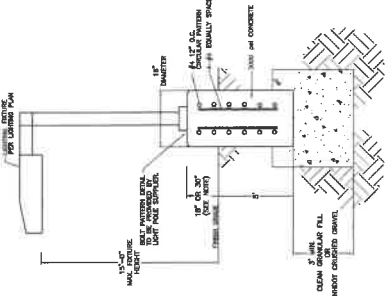
1. STALL STRIPING SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
2. STALL STRIPING SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
3. STALL STRIPING SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.
4. STALL STRIPING SHALL BE INSTALLED IN ALL CROSSINGS OF THE CURB TO THE DRIVEWAY.



CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. SPECIFIC SITE CONDITIONS SHOULD BE EXPLORED PRIOR TO CONSTRUCTION. CONTACT GEOTECHNICAL OR HYDROGEOLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED IN THIS PLAN SET. PLEASE CONTACT THE ENGINEERING FIRM AT URINARY PLAINS ASSOCIATES, INC. (603)-335-3946.

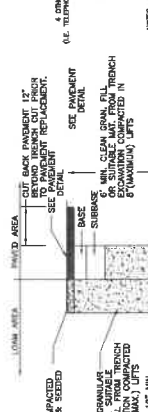
GENERAL UTILITY NOTES

- CONTRACTOR SHALL NOTIFY 310-SAFE (1-888-344-7223) 72 HOURS PRIOR TO THE START OF ANY UTILITY WORK.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. THESE PLAN SHOWN DO NOT TAKE INTO ACCOUNT ANY UTILITIES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SURFACE STRUCTURES, UTILITIES, ETC. DOES NOT CONSTITUTE A WARRANTY OF ANY KIND.
- ANY UTILITY POLES THAT NEED TO BE RELOCATED SHALL BE COORDINATED WITH THE UTILITY COMPANY PRIOR TO ANY WORK. THE CONTRACTOR SHALL OBTAIN LOCATION OF ALL EXISTING UTILITIES AND TRANSFORMER PAD WITH FISH AND OTHER PERTINENT INFORMATION PRIOR TO ANY WORK.
- WATER AND SEWER LINES SHALL BE INSTALLED A MINIMUM OF 10-FT APART.
- A MINIMUM 5'-FT HORIZONTALLY FROM THE WATER LINE AND A VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES.
- SEWER PIPE JOINTS SHALL BE TESTED WITH ZERO LEAKAGE AT 25 POUNDS PER SQUARE INCH (PSI) PRESSURE FOR 15 MINUTES.
- FORCE MAINS FOR GRAVITY SEWER AND AT 1-1/2 TIMES WORKING PRESSURE FOR ALL OTHER SEWER LINES.
- WATERLINE CONDUITING: THE MATERIAL USED SHALL MEET ROADSIDE WATER DEPARTMENT AND ROADSIDE ENGINEERING DEPARTMENT SPECIFICATIONS. WATER LINES SHALL BE A MIN. CLASS 52 CONCRETE UNCOATED DUCTILE IRON PIPE (CULVERT) WITH A 15' MIN. COVER. RESIDENT SEAT TYPE MANHOLES PROVIDED BY AGENCY OF PUBLIC WORKS SHALL BE USED. THE COVER IS NOT AVAILABLE WATER LINE SHALL BE INSULATED AS SHOWN IN THE SHALLOW COVER TRENCH DETAIL FOR INSULATED WATER PIPE.
- PROPOSED WATER GATE VALVE SHALL OPEN CLOSURE (RIGHT).
- WORK TO CONNECT INTO THE WATER OR SEWER MAINS REQUIRES A PERMIT FROM THE ROADSIDE PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE TO BE PRE-QUALIFIED.



POLE MOUNTED LIGHT DETAIL

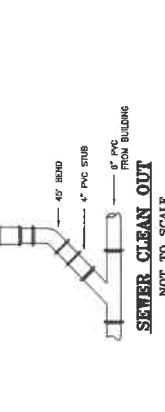
NOTE: LIGHT POLE BASE SHALL BE 18\"/>



NOTES: THE CONTRACTOR SHALL VERIFY THE EXISTING BASE BEFORE ANY WORK. THE CONTRACTOR SHALL VERIFY THE EXISTING BASE BEFORE ANY WORK. THE CONTRACTOR SHALL VERIFY THE EXISTING BASE BEFORE ANY WORK.

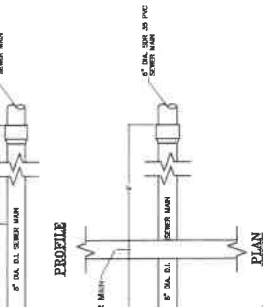
TRENCH DETAIL FOR SEWER PIPE

NOTE: FINISH GRADE TO BE 18\"/>



SEWER CLEAN OUT

NOTE: FINISH GRADE TO BE 18\"/>



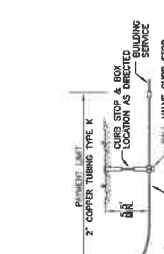
WATER MAIN/SEWER MAIN CROSSING DETAIL

NOTE: WATER MAIN SHALL BE INSTALLED 18\"/>



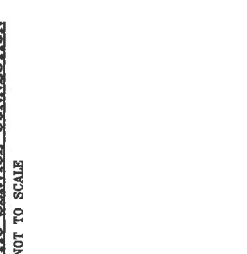
TYPICAL DOMESTIC SERVICE CONNECTION

NOTE: SERVICE LINE SHALL BE TYPE K COPPER CONFORMING TO ASTM-D88



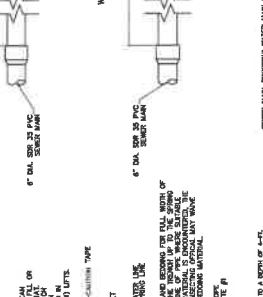
WATER MAIN CONNECTION

NOTE: SERVICE LINE SHALL BE TYPE K COPPER CONFORMING TO ASTM-D88



SEWER SERVICE DETAIL

NOTE: FINISH GRADE TO BE 18\"/>



WATER PIPE TRENCH INSTALLATION DETAIL

NOTE: TRENCH SHALL BE 18\"/>



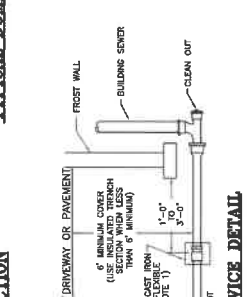
WATER MAIN THRUST BLOCK DETAILS

NOTE: SIZE OF THRUST BLOCKS SHALL BE DETERMINED BY THE ENGINEER

PIPE SIZE (IN)	THRUST (LBS)	THRUST BLOCK SIZE (IN)
4	100	12
6	200	18
8	300	24
10	400	30
12	500	36
14	600	42
16	700	48
18	800	54
20	900	60
24	1000	72

WATER MAIN CONNECTION

NOTE: SERVICE LINE SHALL BE TYPE K COPPER CONFORMING TO ASTM-D88



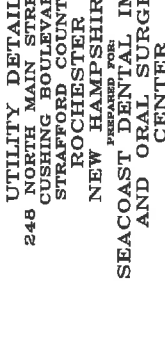
SEWER SERVICE DETAIL

NOTE: FINISH GRADE TO BE 18\"/>



ELECTRICAL & UNDERGROUND UTILITY TRENCH INSTALLATION DETAIL

NOT TO SCALE



UTILITY DETAILS

248 NORTH MAIN STREET & CUSHING BOULEVARD STRAFFORD COUNTY ROCHESTER NEW HAMPSHIRE

SEACOAST DENTAL IMPLANT AND ORAL SURGERY CENTER PREPARED FOR: AS SHOWN MARCH 2017 SCALE: AS SHOWN

FILE NO. 188
PLAN NO. C-2821
DTC NO. 16207A(S)-1
P.E. J.C. BIRK

RIP-RAP GRADATION

Table with columns for Rip-Rap Size, % of Weight, and % of Stone. Includes a small diagram of rip-rap gradation.

APRON DIMENSION TABLE

Table with columns for Apron Length, Apron Width, and Apron Thickness. Includes a small diagram of an apron.

PIPE OUTLET PROTECTION DETAIL



NOTE: THE FILTER SHALL HAVE ONE STRAINER OR LOGS... THE FILTER SHALL BE MADE OF... THE FILTER SHALL BE MADE OF...

DUST CONTROL PRACTICES:

- 1. DUST CONTROL SHALL BE MAINTAINED... 2. DUST CONTROL SHALL BE MAINTAINED... 3. DUST CONTROL SHALL BE MAINTAINED...

STOCKPILE PRACTICES:

- 1. STOCKPILES SHALL BE COVERED WITH ANCHORED... 2. STOCKPILES SHALL BE COVERED WITH ANCHORED... 3. STOCKPILES SHALL BE COVERED WITH ANCHORED...

FILE NO. 188
PLAN NO. C-2621
DEC. NO. 15207A(17-1)
P.B. 106 658-31

31. Monroy Street, Alton, N.H. 603-875-3848

PERMANENT VEGETATION:

- 1. PERMANENT VEGETATION SHALL BE MAINTAINED... 2. PERMANENT VEGETATION SHALL BE MAINTAINED... 3. PERMANENT VEGETATION SHALL BE MAINTAINED...

GENERAL CONSTRUCTION PHASING:

- 1. CONSTRUCTION PHASING SHALL BE MAINTAINED... 2. CONSTRUCTION PHASING SHALL BE MAINTAINED... 3. CONSTRUCTION PHASING SHALL BE MAINTAINED...

PROJECT SPECIFIC PHASING:

- 1. PROJECT SPECIFIC PHASING SHALL BE MAINTAINED... 2. PROJECT SPECIFIC PHASING SHALL BE MAINTAINED... 3. PROJECT SPECIFIC PHASING SHALL BE MAINTAINED...

WINTER STABILIZATION & CONSTRUCTION PRACTICES:

- 1. WINTER STABILIZATION SHALL BE MAINTAINED... 2. WINTER STABILIZATION SHALL BE MAINTAINED... 3. WINTER STABILIZATION SHALL BE MAINTAINED...

PERMANENT VEGETATION SEEDING RECOMMENDATIONS

Table with columns for Use, Native, Species, and Lbs./Acre. Includes a small diagram of a seeding area.

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

- 1. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 2. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 3. PERMANENT EROSION CONTROL SHALL BE MAINTAINED...

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

- 1. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 2. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 3. PERMANENT EROSION CONTROL SHALL BE MAINTAINED...

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

- 1. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 2. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 3. PERMANENT EROSION CONTROL SHALL BE MAINTAINED...

CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION.

CONSTRUCTION SHALL BE MAINTAINED... THE CONTRACTOR SHALL BE RESPONSIBLE FOR... THE CONTRACTOR SHALL BE RESPONSIBLE FOR...

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

- 1. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 2. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 3. PERMANENT EROSION CONTROL SHALL BE MAINTAINED...

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

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PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS

- 1. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 2. PERMANENT EROSION CONTROL SHALL BE MAINTAINED... 3. PERMANENT EROSION CONTROL SHALL BE MAINTAINED...

NORWAY PLAINS ASSOCIATES, INC.

PERMANENT EROSION CONTROL SEDIMENTATION CONTROL DETAILS
248 NORTH MAIN STREET & CUSHING BOULEVARD
STAFFORD COUNTY ROCHESTER
NEW HAMPSHIRE
PREPARED FOR:
SEACOAST DENTAL IMPLANT AND ORAL SURGERY CENTER
SCALE: AS SHOWN MARCH 2017

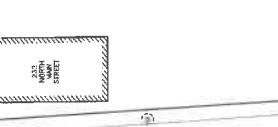
CAREFULLY REVIEW ALL SHEETS OF THIS PACKAGE TO INSURE PROPER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION CONTAINED HEREON. BOTH THE DESIGN ENGINEER AND THE PROJECT OWNER DO NOT WARRANT THE TECHNICAL OR METEOROLOGICAL INFORMATION AVAILABLE BUT NOT CONTAINED HEREON. IN THIS PLAN SET PLEASE CONTACT THE ENGINEERING STAFF AT NORWAY ASSOCIATES, INC. (603)-335-3948

LEGEND

PROVIDE LINE	PROPOSED FURNISHING AND CURBING
ADDITIONAL METALS	PROPOSED LIGHT FIXTURES
EXISTING OVERHEAD WIRES	PROPOSED LIGHT FOOTCANDLE
EXISTING LIGHT POLES	PROPOSED LIGHT COLLOCATION LINES
PROPOSED BUILDING	
PROPOSED PAVEMENT	
PROPOSED DRIVE	
PROPOSED DRIVE	
PROPOSED DRIVE	
PROPOSED DRIVE	
PROPOSED DRIVE	



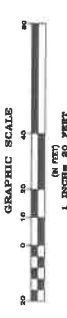
RZRB1
RAZAR SERIES LED ARCHITECTURAL BOLLARD FIXTURE
BY U.S. ARCHITECTURAL LIGHTING



RAZAR
(MODELS: RZRM, RZR and RZR-G)
RAZAR SERIES LED ARCHITECTURAL LIGHTING POLE MOUNTED FIXTURE
BY U.S. ARCHITECTURAL LIGHTING



LIGHTING PLAN AND FIXTURE DETAILS
248 NORTH MAIN STREET & CUSHING BOULEVARD
STAFFORD COUNTY
ROCHESTER
NEW HAMPSHIRE
SEACOAST DENTAL IMPLANT AND ORAL SURGERY CENTER
SCALE: 1" = 20'



Sheet No. 1
PARKING LOT AREA
Illuminance (FC)
Maximum = 1.2
Minimum = 0.3
Avg. Illuminance = 0.75
Lux/ft² Ratio = 4.00

Luminaire Schedule

SY	TYPE	HEIGHT	SPACING
1	ST	35'	35'
2	ST	25'	35'

FILE NO. 188
PLAN NO. C-2881
PG. NO. SDR-1
P.E. NO. SDR-227

31. Monsey Street, Alton, N.H. 603-875-3948

NORWAY PLAINS ASSOCIATES, INC.

2 Continental Blvd., Rochester, N.H. 603-335-3948

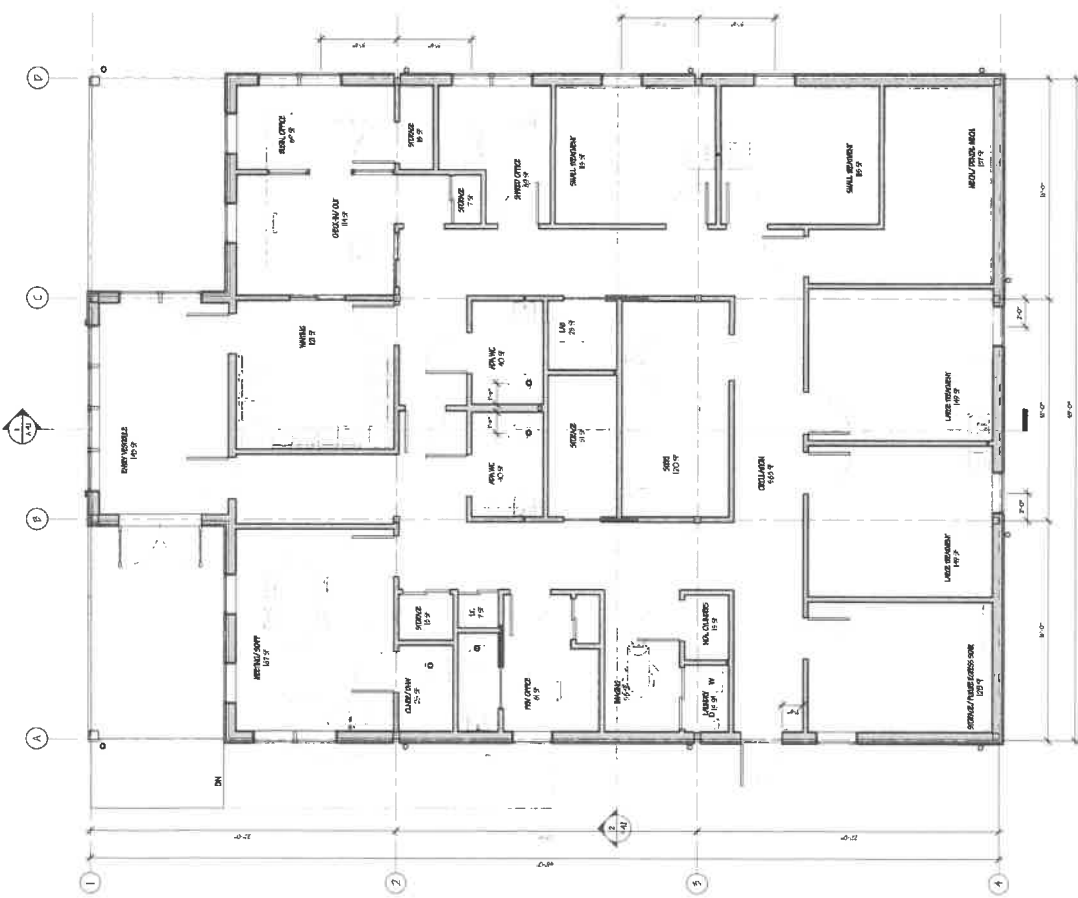
MAIN LEVEL PLAN

PROJECT NAME & ADDRESS
 Pa. Dental
 Pa. Dental PA
 245 North Main Street, Rochester, New Hampshire

A11

**PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION**
 THESE DRAWINGS ARE OF SOLE RESPONSIBILITY OF THE ARCHITECT

Item Number	Item Name	Unit	Qty	Comments
01	CEILING	Sq. Ft.	177.9	01
02	FLOOR	Sq. Ft.	177.9	02
03	WALLS	Sq. Ft.	177.9	03
04	DOORS	Each	1	04
05	WINDOWS	Each	1	05
06	STAIRS	Sq. Ft.	177.9	06
07	MECHANICAL	Sq. Ft.	177.9	07
08	ELECTRICAL	Sq. Ft.	177.9	08
09	PLUMBING	Sq. Ft.	177.9	09
10	MECHANICAL	Sq. Ft.	177.9	10
11	ELECTRICAL	Sq. Ft.	177.9	11
12	PLUMBING	Sq. Ft.	177.9	12
13	MECHANICAL	Sq. Ft.	177.9	13
14	ELECTRICAL	Sq. Ft.	177.9	14
15	PLUMBING	Sq. Ft.	177.9	15
16	MECHANICAL	Sq. Ft.	177.9	16
17	ELECTRICAL	Sq. Ft.	177.9	17
18	PLUMBING	Sq. Ft.	177.9	18
19	MECHANICAL	Sq. Ft.	177.9	19
20	ELECTRICAL	Sq. Ft.	177.9	20
21	PLUMBING	Sq. Ft.	177.9	21
22	MECHANICAL	Sq. Ft.	177.9	22
23	ELECTRICAL	Sq. Ft.	177.9	23
24	PLUMBING	Sq. Ft.	177.9	24
25	MECHANICAL	Sq. Ft.	177.9	25
26	ELECTRICAL	Sq. Ft.	177.9	26
27	PLUMBING	Sq. Ft.	177.9	27
28	MECHANICAL	Sq. Ft.	177.9	28
29	ELECTRICAL	Sq. Ft.	177.9	29
30	PLUMBING	Sq. Ft.	177.9	30
31	MECHANICAL	Sq. Ft.	177.9	31
32	ELECTRICAL	Sq. Ft.	177.9	32
33	PLUMBING	Sq. Ft.	177.9	33
34	MECHANICAL	Sq. Ft.	177.9	34
35	ELECTRICAL	Sq. Ft.	177.9	35
36	PLUMBING	Sq. Ft.	177.9	36
37	MECHANICAL	Sq. Ft.	177.9	37
38	ELECTRICAL	Sq. Ft.	177.9	38
39	PLUMBING	Sq. Ft.	177.9	39
40	MECHANICAL	Sq. Ft.	177.9	40
41	ELECTRICAL	Sq. Ft.	177.9	41
42	PLUMBING	Sq. Ft.	177.9	42
43	MECHANICAL	Sq. Ft.	177.9	43
44	ELECTRICAL	Sq. Ft.	177.9	44
45	PLUMBING	Sq. Ft.	177.9	45
46	MECHANICAL	Sq. Ft.	177.9	46
47	ELECTRICAL	Sq. Ft.	177.9	47
48	PLUMBING	Sq. Ft.	177.9	48
49	MECHANICAL	Sq. Ft.	177.9	49
50	ELECTRICAL	Sq. Ft.	177.9	50
51	PLUMBING	Sq. Ft.	177.9	51
52	MECHANICAL	Sq. Ft.	177.9	52
53	ELECTRICAL	Sq. Ft.	177.9	53
54	PLUMBING	Sq. Ft.	177.9	54
55	MECHANICAL	Sq. Ft.	177.9	55
56	ELECTRICAL	Sq. Ft.	177.9	56
57	PLUMBING	Sq. Ft.	177.9	57
58	MECHANICAL	Sq. Ft.	177.9	58
59	ELECTRICAL	Sq. Ft.	177.9	59
60	PLUMBING	Sq. Ft.	177.9	60
61	MECHANICAL	Sq. Ft.	177.9	61
62	ELECTRICAL	Sq. Ft.	177.9	62
63	PLUMBING	Sq. Ft.	177.9	63
64	MECHANICAL	Sq. Ft.	177.9	64
65	ELECTRICAL	Sq. Ft.	177.9	65
66	PLUMBING	Sq. Ft.	177.9	66
67	MECHANICAL	Sq. Ft.	177.9	67
68	ELECTRICAL	Sq. Ft.	177.9	68
69	PLUMBING	Sq. Ft.	177.9	69
70	MECHANICAL	Sq. Ft.	177.9	70
71	ELECTRICAL	Sq. Ft.	177.9	71
72	PLUMBING	Sq. Ft.	177.9	72
73	MECHANICAL	Sq. Ft.	177.9	73
74	ELECTRICAL	Sq. Ft.	177.9	74
75	PLUMBING	Sq. Ft.	177.9	75
76	MECHANICAL	Sq. Ft.	177.9	76
77	ELECTRICAL	Sq. Ft.	177.9	77
78	PLUMBING	Sq. Ft.	177.9	78
79	MECHANICAL	Sq. Ft.	177.9	79
80	ELECTRICAL	Sq. Ft.	177.9	80
81	PLUMBING	Sq. Ft.	177.9	81
82	MECHANICAL	Sq. Ft.	177.9	82
83	ELECTRICAL	Sq. Ft.	177.9	83
84	PLUMBING	Sq. Ft.	177.9	84
85	MECHANICAL	Sq. Ft.	177.9	85
86	ELECTRICAL	Sq. Ft.	177.9	86
87	PLUMBING	Sq. Ft.	177.9	87
88	MECHANICAL	Sq. Ft.	177.9	88
89	ELECTRICAL	Sq. Ft.	177.9	89
90	PLUMBING	Sq. Ft.	177.9	90
91	MECHANICAL	Sq. Ft.	177.9	91
92	ELECTRICAL	Sq. Ft.	177.9	92
93	PLUMBING	Sq. Ft.	177.9	93
94	MECHANICAL	Sq. Ft.	177.9	94
95	ELECTRICAL	Sq. Ft.	177.9	95
96	PLUMBING	Sq. Ft.	177.9	96
97	MECHANICAL	Sq. Ft.	177.9	97
98	ELECTRICAL	Sq. Ft.	177.9	98
99	PLUMBING	Sq. Ft.	177.9	99
100	MECHANICAL	Sq. Ft.	177.9	100



1 Main Level
 1/4" = 1'-0"

GENERAL NOTES

GENERAL NOTES

1. SEE ARCHITECT'S MANUAL FOR SPECIFICATIONS AND SCHEDULES.

2. ALL MATERIALS AND FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

3. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL FINISHES TO BE AS SHOWN IN THE MATERIAL SCHEDULE.

6. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. ALL UTILITIES TO BE LOCATED AND DEPTH NOTED PRIOR TO CONSTRUCTION.

8. ALL FOUNDATION WORK TO BE IN ACCORDANCE WITH THE FOUNDATION SPECIFICATIONS.

9. ALL ROOFING TO BE IN ACCORDANCE WITH THE ROOFING SPECIFICATIONS.

10. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK TO BE IN ACCORDANCE WITH THE RESPECTIVE SPECIFICATIONS.

11. ALL EXTERIOR WORK TO BE IN ACCORDANCE WITH THE EXTERIOR FINISHES SPECIFICATIONS.

12. ALL INTERIOR WORK TO BE IN ACCORDANCE WITH THE INTERIOR FINISHES SPECIFICATIONS.

13. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE ARCHITECT'S GENERAL NOTES AND SPECIFICATIONS.

EXTERIOR ELEVATIONS

A3.1

PROJECT NAME & ADDRESS
 2419 North Main Street, Rochester, New Hampshire
 PA, 03074



1 NORTH ELEVATION
 1/4" = 1'-0"

2 WEST ELEVATION
 1/4" = 1'-0"

**PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION**

PROWARRING SUBJECT TO CHANGE. ALL WORKED UP BASED ON
 THE INFORMATION AS OF THE DATE OF PREPARATION OF THE DRAWING.

REVISIONS:

1. REVISED PER ARCHITECT'S COMMENTS.

2. REVISED PER ARCHITECT'S COMMENTS.

3. REVISED PER ARCHITECT'S COMMENTS.

4. REVISED PER ARCHITECT'S COMMENTS.

5. REVISED PER ARCHITECT'S COMMENTS.

6. REVISED PER ARCHITECT'S COMMENTS.

7. REVISED PER ARCHITECT'S COMMENTS.

8. REVISED PER ARCHITECT'S COMMENTS.

9. REVISED PER ARCHITECT'S COMMENTS.

10. REVISED PER ARCHITECT'S COMMENTS.

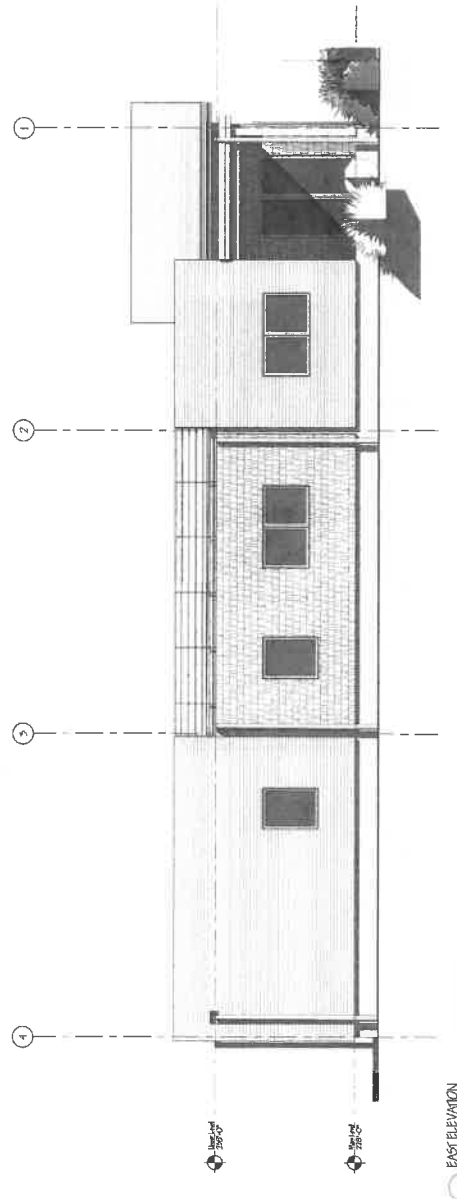
EXTERIOR ELEVATIONS

A3.2

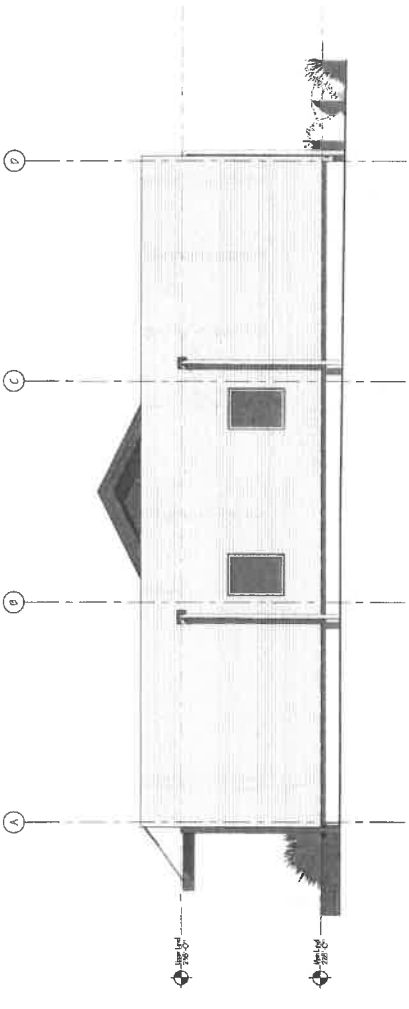
PROJECT NAME & ADDRESS
DR. David PA
249 North Main Street, Rochester, New Hampshire

GENERAL NOTES

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**
THESE DRAWINGS ARE NOT TO BE USED FOR THE PURPOSE
OF OBTAINING PERMITS OR FOR CONSTRUCTION.



2 EAST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**
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BUILDING SECTIONS
A 4.1
PROJECT NAME & ADDRESS
PAK Pavilion
240 North Main Street, Rochester, New Hampshire

A 4.1

