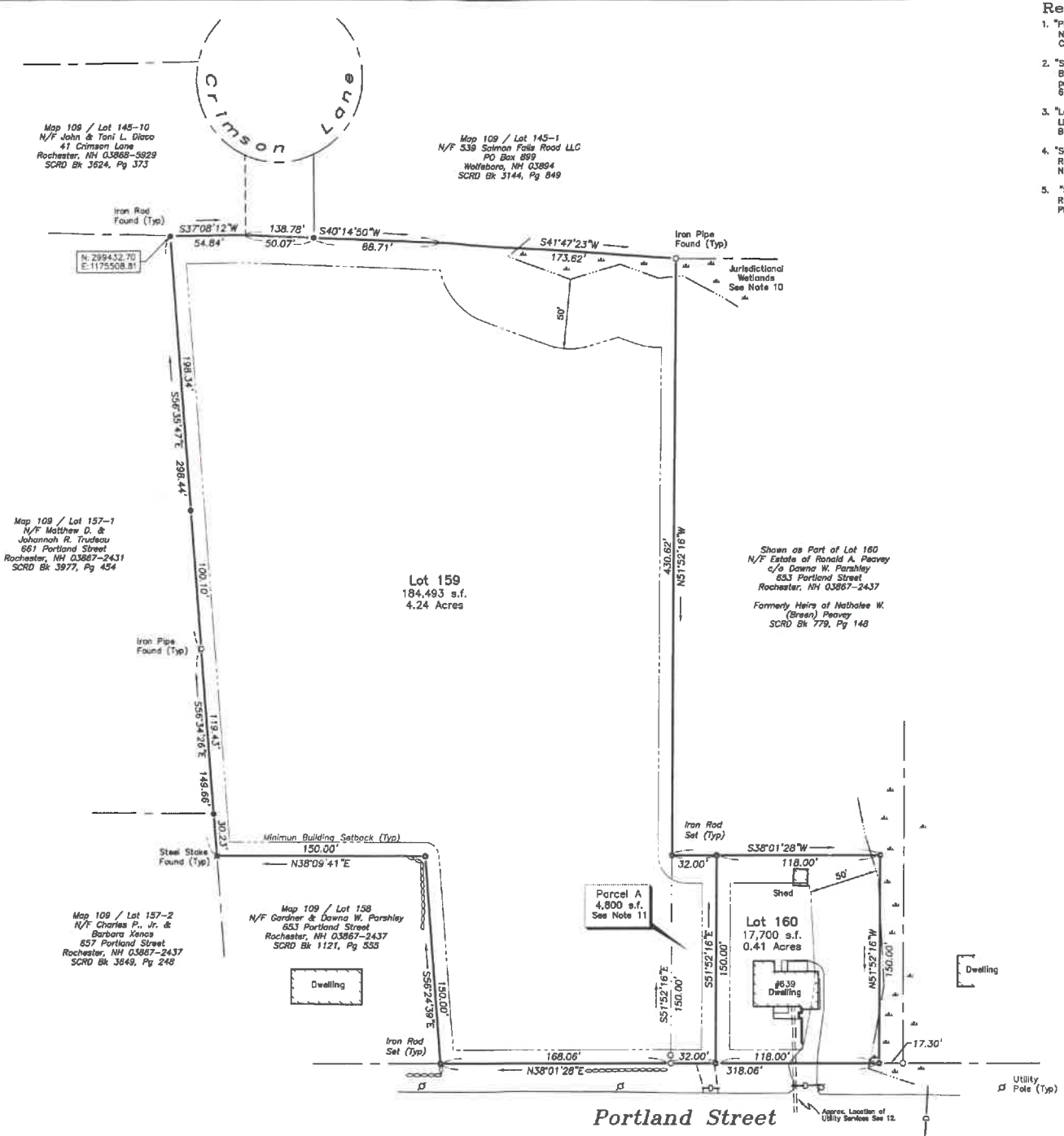


- Legend:**
- N/F Now or Formerly
 - SCRD Stafford County Registry of Deeds
 - Iron Pipe Found
 - Iron Rod Found
 - ✕ Steel Stake Found
 - ⊙ Drill Hole Found
 - ⊙ Iron Rod to be Set
 - ⊕ Utility Pole
 - Building Setback
 - Culvert
 - Stone Wall



- References:**
- "Plan of Land of the Heirs of Merritt Weeks, Rochester, NH," dated January 18, 1884, prepared by The Berry Const. Co., Inc., SCRD Pocket 8, Folder 1 Plan No. 19.
 - "Subdivision Plan for Steven H. Hilton & Michelle A. Burford, Rochester, NH," dated June 3, 2002, prepared by Trittech Engineering Corp., SCRD Plan No. 87-32.
 - "Lot Line Revision Land of Thibodeau Custom Homes, LLC, Rochester, NH," dated April 2, 2004, prepared by Berry Surveying & Engineering, SCRD Plan No. 78-48.
 - "Subdivision of Land for RSA Development, LLC, Rochester, NH," dated December 2004, prepared by Norway Plains Assoc., Inc., SCRD Plan No. 82-17.
 - "Subdivision Plan for 539 Salmon Falls Road, LLC, Rochester, NH," dated May 2005, prepared by Norway Plains Assoc., Inc., SCRD Plan No. 89-44.



- Notes:**
- The purpose of this plan is to relocate the common boundary line between Map 109 / Lots 159 & Lot 160. Each lot is served by municipal sewer and water.
 - Field Procedure: Nikon (NPL-322) Electronic Total Station Instrument & Carlson Surveyor Plus Data Collector, Adjusted Closed Traverse Performed October 2016, Least Squares Balance.
 - Error of Closure Better Than 1:28,000.
 - Parcels are shown as Lots 159 & 160 on Assessor's Map 109.
 - Parcels are located in the Residential 1 (R1) Zoning District.
 - Owners of Record:

| | |
|---|---|
| Lot 159 John A. & Marilyn W. Tapscott 229 Iniqua Road Virginia Beach, VA 23462-4004 SCRD Bk 779, Pg 145 | Lot 160 Marilyn W. Tapscott, Nancy L. Smithwick, Terry T. Shultz & John P. Tapscott 229 Iniqua Road Virginia Beach, VA 23462-4004 SCRD Bk 3190, Pg 75 |
|---|---|
 - This plan does not show any unrecorded or unwritten easements which may exist. A reasonable and diligent attempt has been made to observe any apparent, visible uses of the land; however this does not constitute that no such easements exist.
 - Parcel is not located in a Flood Hazard Zone as depicted on Flood Insurance Rate Map, No. 33017C024D, Stafford County, NH, (All Jurisdictions), Effective Date: May 17, 2003.
 - Existing Area Map 109 / Lot 159: 4.13 Acres
Proposed Area Map 109 / Lot 159: 4.24 Acres
Existing Area Map 109 / Lot 160: 0.52 Acres
Proposed Area Map 109 / Lot 160: 0.41 Acres
 - The wetland boundaries shown hereon were field delineated August 22, 2016 by Michael Cuomo, of York, ME. The wetland locations were field delineated in accordance with the Corp. of Engineers 1987 Wetland Delineation Manual. The delineated line also represents the limits of hydric or poorly drained soils per field indicators for identifying Hydric Soils in New England, Ver. 3, Apr. 2004.
 - Parcel "A" is to be conveyed from Map 109 / Lot 160 and to be merged with Map 109 / Lot 159 and is not to be considered a separate tract of land.
 - The estimated service locations are derived from the Rochester DPW tie-card records provided by the Rochester DPW. The licensed land surveyor of this plan does not warrant nor guarantee the location of utilities shown or not shown on this plan. Pursuant to New Hampshire Statute RSA 374, Sections 47-56, the contractor/owner, prior to the commencement of any construction, shall verify the location of all utilities and contact "digSafe" at 1-800-344-7233 or dial 811.

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 By _____



ZONING REQUIREMENTS

| ZONE | R-1 RESIDENTIAL |
|-------------------------|-----------------|
| LOT AREA MIN. | 10,000 SF. |
| LOT FRONTAGE | 100 FT. |
| FRONT YARD | 10 FT. |
| SIDE YARD | 10 FT. |
| REAR YARD | 20 FT. |
| WETLAND BUFFER | 50 FT. |
| MAX. LOT COVERAGE | 33% |
| MAX. BUILDING HEIGHT | 35 FT. |
| MAX. BUILDING FOOTPRINT | 30% |
| MAX. BUILDING COVERAGE | 15% |

CITY OF ROCHESTER PLANNING BOARD APPROVAL

Approved by the Rochester Planning Board on 2/6/17 Date

Signed by Michelle Neaves Staff Name Position Planner

SUBDIVISION APPROVAL Whether or not otherwise expressly recited on this subdivision plan, subdivision approval granted is conditioned on faithful and diligent adherence by the Owner/Subdivider/Developer of all terms, conditions, provisions and specifications of the City of Rochester Land Subdivision Regulations as amended or as may later be amended, in effect on the date of approval, unless or except insofar as expressly waived, in any particular, below, non-adherence may result in a revocation of approval. Any variation from the approved plan will require a resubmission for subdivision.

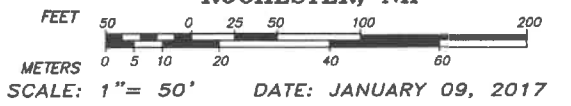
GRANTED WAIVERS:

I certify, that this plan, based upon the plan references, and a survey conducted on the ground on October 11, 2016 through October 17, 2016, meet the minimum requirements for accuracy and completeness per the State of New Hampshire and the City of Rochester.



David W. Vincent, LLS No. 821 Date 24 Feb 2017

| NO. | DATE | DESCRIPTION | BY |
|-----|---------|------------------------|-----|
| 1 | 2/23/17 | add note 12 & more set | dwv |



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