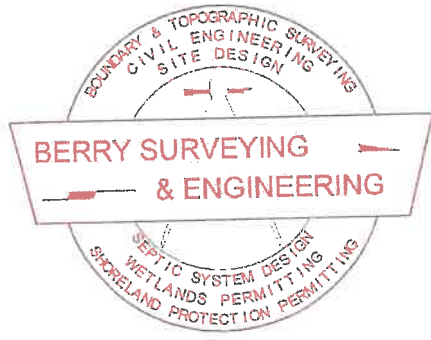




BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
Fax: (603) 335-4623
www.BerrySurveying.Com



City of Rochester Planning Board
31 Wakefield Street
Rochester, NH 03867

March 24, 2017

RE: Proposed Lot Line Revision & Major Subdivision
Portland & Franklin Street
Harold & Dorothy Caler & Real Estate Advisors Inc

Mr. Chairman and Members of the Rochester Planning Board,

As you know, late last fall the Planning Board made it clear to the applicant that a second full access point would be required for the size development contemplated for the property commonly known as 24 Jeremiah Lane. At that time the applicant had completed all of the engineering for the project and was in the middle of TRG review, as well as state and federal permitting. Since then, the applicant has secured access through Lois Erickson's parcel known as Tax Map 223, Lot 18, and we have conducted the required survey work, wetlands analysis, and site specific soils mapping required for this development, on that parcel.

The applicant was before the board in February of 2017 to present the new layout for the project, and presented the same to the TRG, where we received some technical input on dimensional requirements, but in general most seemed pleased the applicant complied with the concerns of staff and the board, with respect to the access.

The project now stands as a looping road from the intersection of Portland and Franklin, back to Portland, just west of Brenda Lane. The proposal contains 74 units, 38 single family homes, 10 duplex units, and four four-plex lots. The lot designations are labeled with an (S) for single family, (D) for duplex and a Four-Plex for the four units. The open space is now generally clustered towards the rear of the site, the perimeter, along with the front field still remaining open. Much of the concerns of the board and one of the abutting parties was centered on the easement and access road which transverses through the property. This access easement is not exclusive and is 30 feet in width. The new design designs the lots and lot lines around the existing easement, so that it now runs along the perimeter of Lots 17, 9, 10 (collectively) and then along Lot 38 and 39 (collectively.) Shared access to Lots 17, 9, 10 will be taken from the neck of Lot 17 onto Evelyn Drive, so that the access road will not be used for driveway access to those lots or units. There will be one crossing of the easement onto Lot 9. The easement then crosses Evelyn Drive once, and has no other encumbrance onto the roadway system. The easement bordering Lots 38 and 39 will be used for maintenance access to Drainage Area #3, but will remain open at all times to the easement holder.

The intersection of Portland and Franklin is still to be upgraded along with the culvert under Franklin Street, just as the original plan proposed. The traffic analysis and report is being updated pursuant to the two full access points by TEPP LLC.

The applicant has met with the Rochester Conservation Commission on two occasions, once in February, and has recently had a meeting with them on March 22nd. On the 22nd, the commission voted to recommend approval of the Conditional Use Permit and wetlands impacts associated with the project with a number of conditions. A few of these conditions were:

- Where the 50' buffer encumbers lots, the 25' buffer will be signed with placards and will be planted with native species shrubs, and a mulch berm installed. The intent is to act as a visual and structural barrier for future home owners of the lots.
- Culvert crossings are recommended to be oversized embedded culverts or box style culverts.
- The HOA documents are to discuss and regulate the use and management of the open space, disposal of yard waste, the use of low / no nitrogen and phosphate practices for fertilization, and buffer education.

Please note that this is not a complete list, and is paraphrased, but were some of the highlights. The final list will be received from the commission and incorporated into the project plans.

Some of the abutting concerns, stated at the last meeting have been:

- Drainage and wetlands.
 - Please note that a complete drainage analysis is being completed for this revised project which addresses drainage concerns for all of the analysis points within. Storm flow and treatment has been a concern of the board's from the onset of the project, and they have specifically asked for an outside review of the analysis. There will also be an internal review of the analysis as well as a state review of the analysis. Culvert sizing at the first crossing off of Franklin has been carefully considered whereas the abutting parties have provided empirical evidence throughout the process.
 - The wetlands shown on the plans are the wetlands found on the ground. The soils found on site are hydrologic soil group "C", which is a very common soil type for Rochester and New Hampshire in general. The wetlands have now been reviewed twice by Gove Environmental, who also prepared a Site Specific Soils Map for the project as required by New Hampshire Department of Environmental Services.
 - Large scale soils maps prepared by NRCS, or graphical tax maps do not supersede or override the onsite mapping conducted by a licensed professional.
 - Gove Environmental has conducted a Functions and Values analysis for the applicant, which will be submitted as part of the full application package. In it, along with the first application, they find that there are no vernal pools on site.
 - There is no spring on site. There is a structured well within the proposed open space of the project, in the lower field, adjacent to the wetlands. It is a dug well, and utilizes ground water. There are no private rights to this well.
- The existing Farm House and Jeremiah Lane



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- The existing farm house is proposed to be on lot 24, which will contain roughly $\frac{3}{4}$ of an acre.
- Jeremiah Lane is no longer going to be utilized by this project other than the existing use it enjoys today. No infrastructure is proposed on Jeremiah Lane. The limits of Jeremiah Lane can be found on the Existing Conditions Plans previously presented to the board, and will also be found on the Existing Conditions Plans presented as part of the revised project review.
- Buffers and Open Space
 - The original design kept the central field and the lower field free from development. This design develops the central field, but keeps a larger connected mass of open space, which is also connected to abutting open space. This design removes a stream crossing, has less road construction, and creates the second full connection point to Portland Street.
 - The design incorporates a buffer along the rear of Lots 25 and 26. This buffer is located on and in the open space and can therefore never be developed. The buffer is along the existing woods line so that no additional vegetation is removed.
 - There is additional constructed buffering proposed along the proposed Evelyn Drive along abutting land owned by Mr. Dillow, as well as Mr. and Mrs. Burgess. There is constructed buffering along the entrance alignment of Evelyn Drive to block the view of the road from abutting land owners on Portland Street. (Benton, Caler, and Huppe)

During the February Planning Board meeting we discussed how we now needed to get the final survey data, environmental data, and design the project. Since that time we have been doing this work and will be applying to the TRG on April 4th so they can start their review of the technical details. To date the TRG has seen this project, in its current form once, and made broad stroke comments only. TRG will not have a chance to comment further on this submission, and its only purpose is to glean comments from the board and abutting parties so that we may work with TRG on implementing those detail into final plan submissions. Please note that we have submitted DRAFT copies of the subdivision layout, so the board may review it and make comments.

We would ask that the planning board continue this application to a date certain, for the first meeting in May.

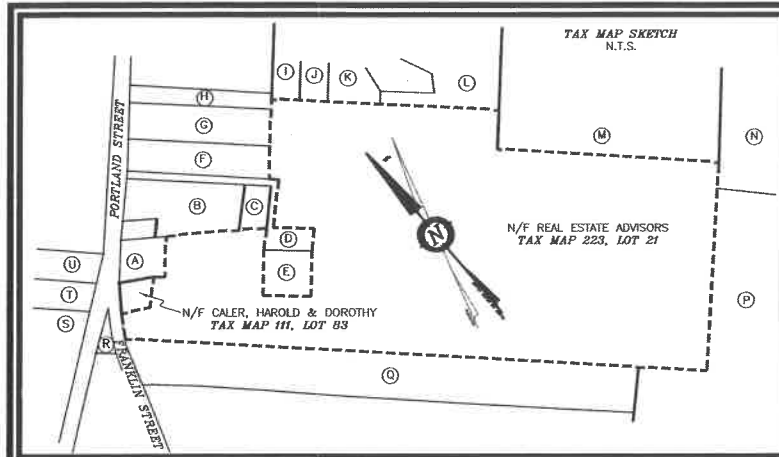
Thank you for your time and consideration to this matter.

BERRY SURVEYING & ENGINEERING

Christopher R. Berry, President



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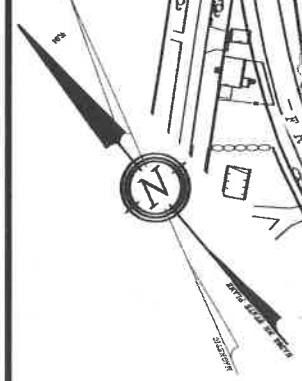


NOTES CONTINUED:

- AREAS DESIGNATED AS OPEN SPACE SHALL BE SET ASIDE AS SUCH IN PERPETUITY, FREE OF ANY ROADS, DEVELOPMENT OR SUBDIVISION.
- CONTRACTOR IS TO AVOID COMPACTION IN THE RAIN GARDEN AREAS DURING CONSTRUCTION.
- EACH INDIVIDUAL LOT WILL HAVE APPROPRIATE EROSION CONTROL DURING CONSTRUCTION PURSUANT TO CHAPTER 50.
- THIS PROJECT INCLUDES OFFSITE IMPROVEMENTS TO INCLUDE, BUT NOT LIMITED TO, THE FRANKLIN/PORTLAND INTERSECTION.
- PAGES 9-15 ARE TO BE RECORDED AT S.C.R.D.

GOVE ENV., CWS #51

SEE INTERSECTION DESIGN PLAN



PLAN REFERENCES:

- "LOT LINE ADJUSTMENT PLAN FOR JAMES A. & JANE BENTON AND JEREMIAH JACOB STUART MAP 111-LOT 82 & MAP 223-LOT 21 PORTLAND ST., ROCHESTER, N.H." BY: MOTT SURVEY COMPANY, LLC DATED: DECEMBER 6, 2007 S.C.R.D.: PLAN # 7-439 BLA
- "PROPOSED ROAD LAYOUT OF JEREMIAH LANE FOR THE CITY OF ROCHESTER & JEREMIAH STUART LOT LINE REVISION FOR JEREMIAH STUART & GERARD METAYER PORTLAND STREET ROCHESTER, N.H. TAX MAP 223, LOT 21" BY: BERRY SURVEYING & ENGINEERING DATED: SEPTEMBER 18, 2008 S.C.R.D.: PLAN # 103-15
- "PROPOSED LOT LINE REVISION FOR HAROLD C. BURGESS & LINDA WEINBERG AND ESTATE OF JEREMIAH JACOB STUART JEREMIAH LANE ROCHESTER, N.H." BY: BERRY SURVEYING & ENGINEERING DATED: SEPTEMBER 3, 2002 S.C.R.D.: PLAN #86-4

PLAN REFERENCES CONT.:

- "CORRECTED LOT LINE REVISION PLAN PRAY STREET/STONEWALL DRIVE ROCHESTER N.H. FOR GREGORY E. PRAY" BY: NORWAY PLAINS ASSOCIATES DATED: JUNE 2006 S.C.R.D.: PLAN #86-66
- "SUBDIVISION OF LAND PORTLAND ST. ROCHESTER, N.H. FOR RSA DEVELOPMENT, LLC." BY: NORWAY PLAINS ASSOCIATES, INC. DATED: DECEMBER 2004 S.C.R.D.: PLAN # 82-17
- "TAX MAP 119 LOT 100 & TAX MAP 118 LOT 51 PROPERTY OF CHAMBERLAIN INVESTMENT PROPERTIES, LLC FRANKLIN STREET/CHAMBERLAIN STREET COUNTY OF STRAFFORD ROCHESTER NEW HAMPSHIRE" BY: AMES MSC ARCHITECTS & ENGINEERS DATED: SEPTEMBER 20, 2006 S.C.R.D.: PLAN # 93-78

PLAN REFERENCES CONT.:

- "SUBDIVISION OF LAND SALMON FALLS ROAD TAX MAP 224, LOTS 321, 321-1, 324 & 328 AND TAX MAP 228, LOT 9 ROCHESTER, NH PREPARED FOR STEVEN MILLER" BY: NORWAY PLAINS ASSOCIATES, INC. DATED: NOVEMBER 2007 S.C.R.D.: PLAN # 93-42
- "TAX MAP 119, LOT 100 & TAX MAP 118, LOT 51 PROPERTY OF CHAMBERLAIN INVESTMENT PROPERTIES, LLC FRANKLIN STREET/CHAMBERLAIN STREET COUNTY OF STRAFFORD ROCHESTER NEW HAMPSHIRE" BY: AMES MSC ARCHITECTS & ENGINEERS DATED: SEPTEMBER 20, 2006 S.C.R.D.: PLAN # 93-78
- "PLAN OF LOTS WINONA M CHASE TO NORMAND W. & SANDRA CHASE & BERNARD CHASE ROCHESTER, N.H." BY: G.L. DAVIS & ASSOCIATES CIVIL ENGINEERS DATED: JULY 1976 S.C.R.D.: PLAN # 17A-49

NOTES:

- OWNER: REAL ESTATE ADVISORS, INC. 76 EXETER STREET NEW MARKET, NH 03857
- TAX MAP 223, LOT 21
- LOT AREA: 1,782,812 Sq.Ft., 40.93 Ac.
- S.C.R.D.: BOOK 4323, PAGE 128
- ZONING: RESIDENTIAL-AGRICULTURAL DISTRICT W/MUNICIPAL WATER & SEWER CONSERVATION SUBDIVISION FRONTAGE ~ 60' MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft. MINIMUM LOT SIZE (DUPLICATE) ~ 9,000 Sq. Ft. FRONT SETBACK ~ 20.0' REAR SETBACK ~ 20.0' SIDE SETBACK ~ 10.0' WETLANDS BUFFER ~ 50.0' MAX. LOT COVERAGE: 35%
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330150, MAP# - 33017002040 & 33017002120, DATED: MAY 17, 2005
- VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

OPEN SPACE CALCULATION:

REQUIRED OPEN SPACE: 590,457 Sq.Ft.
 TOTAL WETLANDS AREA: 300,668 Sq.Ft.
 AREAS > 25% SLOPES: 6,002 Sq.Ft.
 TOTAL BUILDABLE AREA: 1,476,142 Sq.Ft.

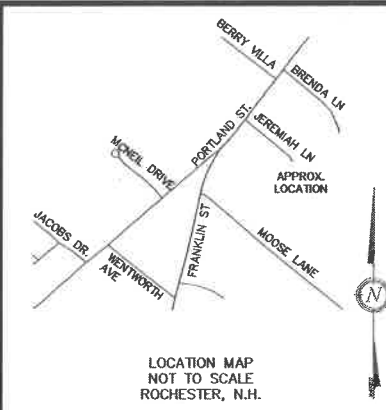
TOTAL OPEN SPACE OUTSIDE OF EASEMENTS & WETLANDS: 590,962 Sq.Ft.

PERCENTAGE OF BUILDABLE AREA REMAINING OPEN SPACE OUTSIDE OF EASEMENTS: 40%

N/F CURTIS, KELLY & MICHELLE
 43 STONEWALL DRIVE
 ROCHESTER, NH 03867
 TAX MAP 223, LOT 11-16
 S.C.R.D.: BOOK 4151, PAGE 771

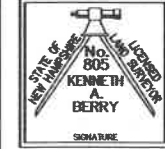
LEGEND:

- IRON PIPE (FOUND)
- REBAR (FOUND)
- IRON BOUND (FOUND)
- DRILL HOLE (FOUND OR SET)
- UTILITY POLE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- BUILDING SETBACK LINE
- WETLAND BUFFER LINE



SUBDIVISION OVERVIEW
 FOR
 STUART ACRES
 REAL ESTATE ADVISORS INC.
 24 JEREMIAH LANE
 ROCHESTER, N.H.
 TAX MAP 223, LOT 21

BERRY & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 603-332-2863
 SCALE: 1 IN. EQUALS 100 FT.
 DATE: FEBRUARY 21, 2017
 FILE NO.: DB 2015 - 114



FINAL APPROVAL
 BY
 ROCHESTER PLANNING BOARD
 CERTIFIED BY:
 DATE:

I CERTIFY THAT THIS PLAT EXCEEDS THE
 MINIMUM REQUIREMENT FOR ACCURACY AND
 PRECISION OF THE STATE OF NEW HAMPSHIRE
 OF THE CITY OF ROCHESTER, N.H. 1:10,000
 KENNETH A. BERRY L.S. 805 DATE

GRAPHIC SCALE

(IN FEET)
 1 inch = 100 ft.

NOTES:

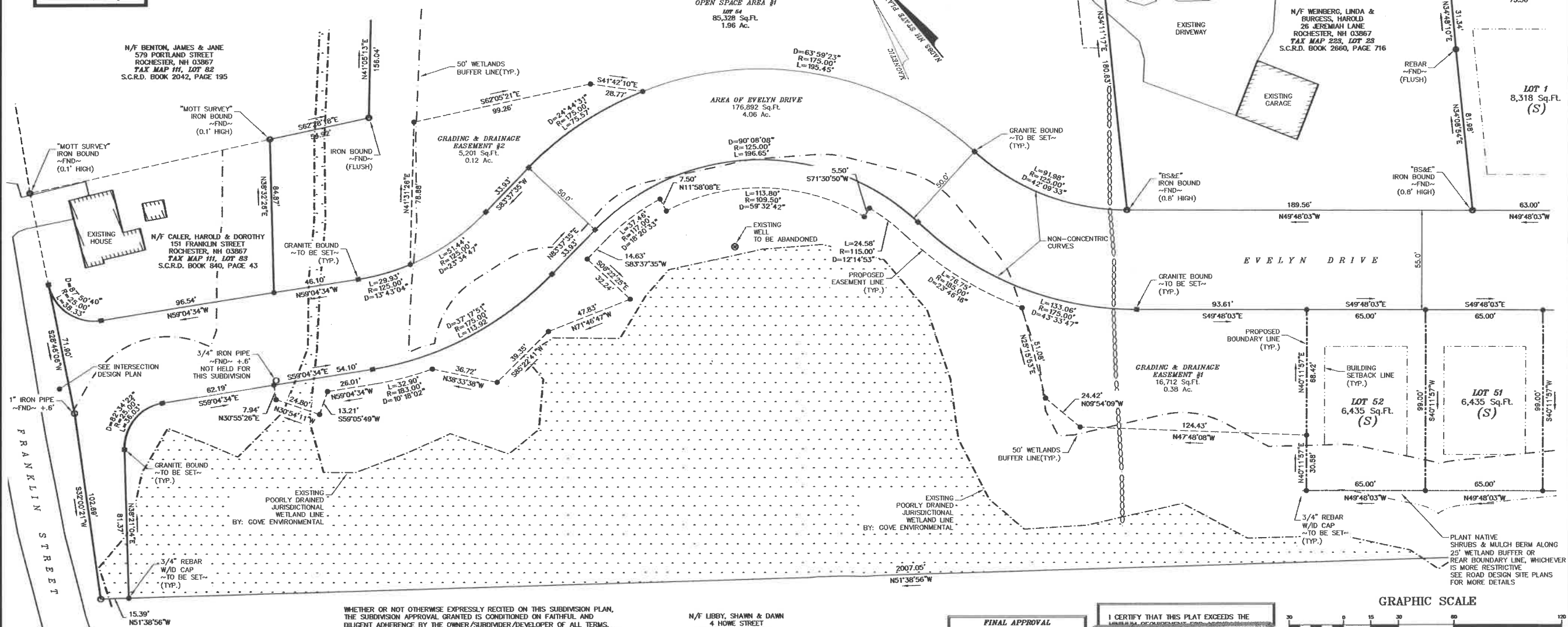
1. OWNER: REAL ESTATE ADVISORS, INC.
76 EXETER STREET
NEW MARKET, NH 03857
2. TAX MAP 223, LOT 21
3. LOT AREA: 1,811,496 Sq.Ft., 41.58 Ac.
4. S.C.R.D. BOOK 4323, PAGE 128
5. ZONING: RESIDENTIAL-AGRICULTURAL DISTRICT W/MUNICIPAL WATER & SEWER CONSERVATION SUBDIVISION
FRONTAGE ~ 60'
MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft.
MINIMUM LOT SIZE (DUPLICATE) ~ 9,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
MAX. LOT COVERAGE: 35%
6. I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330150, MAP# - 33017C0204D & 33017C0212D, DATED: MAY 17, 2005
7. VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

LOT #	AREA Sq.Ft.	FRONTAGE	LOT #	AREA Sq.Ft.	FRONTAGE	LOT #	AREA Sq.Ft.	FRONTAGE
#1	8,318	63.00'	#19	7,273	60.31'	#37	51,182	150.00'
#2	7,800	65.00'	#20	8,250	60.31'	#38	47,637	153.89'
#3	7,800	65.00'	#21	18,769	95.56'	#39	13,457	73.68'
#4	7,800	65.00'	#22	13,191	129.15'	#40	7,515	60.00'
#5	8,021	77.83'	#23	15,315	120.33'	#41	5,998	60.33'
#6	7,121	65.00'	#24	31,503	259.18'	#42	5,940	60.00'
#7	6,542	65.00'	#25	15,148	103.02'	#43	6,435	65.00'
#8	6,499	65.00'	#26	15,605	104.02'	#44	6,435	65.00'
#9	75,128	150.00'	#27	7,286	75.08'	#45	6,435	65.00'
#10	47,759	150.00'	#28	12,000	102.83'	#46	6,435	65.00'
#11	7,929	62.44'	#29	6,647	60.43'	#47	6,811	60.00'
#12	15,826	163.96'	#30	6,600	60.00'	#48	6,435	65.00'
#13	7,159	65.00'	#31	6,604	60.02'	#49	6,435	65.00'
#14	7,150	65.00'	#32	12,976	85.07'	#50	6,435	65.00'
#15	8,539	93.39'	#33	6,600	60.00'	#51	6,435	65.00'
#16	7,560	63.00'	#34	6,600	60.00'	#52	6,435	65.00'
#17	47,731	60.00'	#35	6,606	60.04'	#53	847,559	N/A
#18	6,922	60.30'	#36	16,895	60.00'	#54	85,328	N/A

LEGEND:

- GRANITE BOUND (TO BE SET)
- 3/4" REBAR W/D CAP (TO BE SET)
- IRON PIPE (FOUND)
- REBAR (FOUND)
- IRON BOUND (FOUND)
- DRILL HOLE (FOUND OR SET)
- UTILITY POLE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- BUILDING SETBACK LINE
- WETLAND BUFFER LINE

GOVE ENV., CWS #51

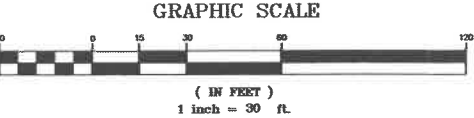


WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

N/F LIBBY, SHAWN & DAWN
4 HOWE STREET
ROCHESTER, NH 03867
TAX MAP 111, LOT 84
S.C.R.D. BOOK 4020, PAGE 151

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY:
DATE:

I CERTIFY THAT THIS PLAN EXCEEDS THE
COMPLETENESS OF THE STATE OF N.H. AND
OF THE COUNTY OF ROCHESTER, N.H.
KENNETH A. BERRY, U.S. BOY, DATE



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 603-332-2863
SCALE: 1 IN. EQUALS 30 FT.
DATE: FEBRUARY 21, 2017
FILE NO.: DB 2015 - 114



SHEET 10 OF 105

SUBDIVISION DETAIL PLAN
STUART ACRES
FOR
REAL ESTATE ADVISORS INC.
24 JEREMIAH LANE
ROCHESTER, N.H.
TAX MAP 223, LOT 21

REVISION	DATE	DESCRIPTION

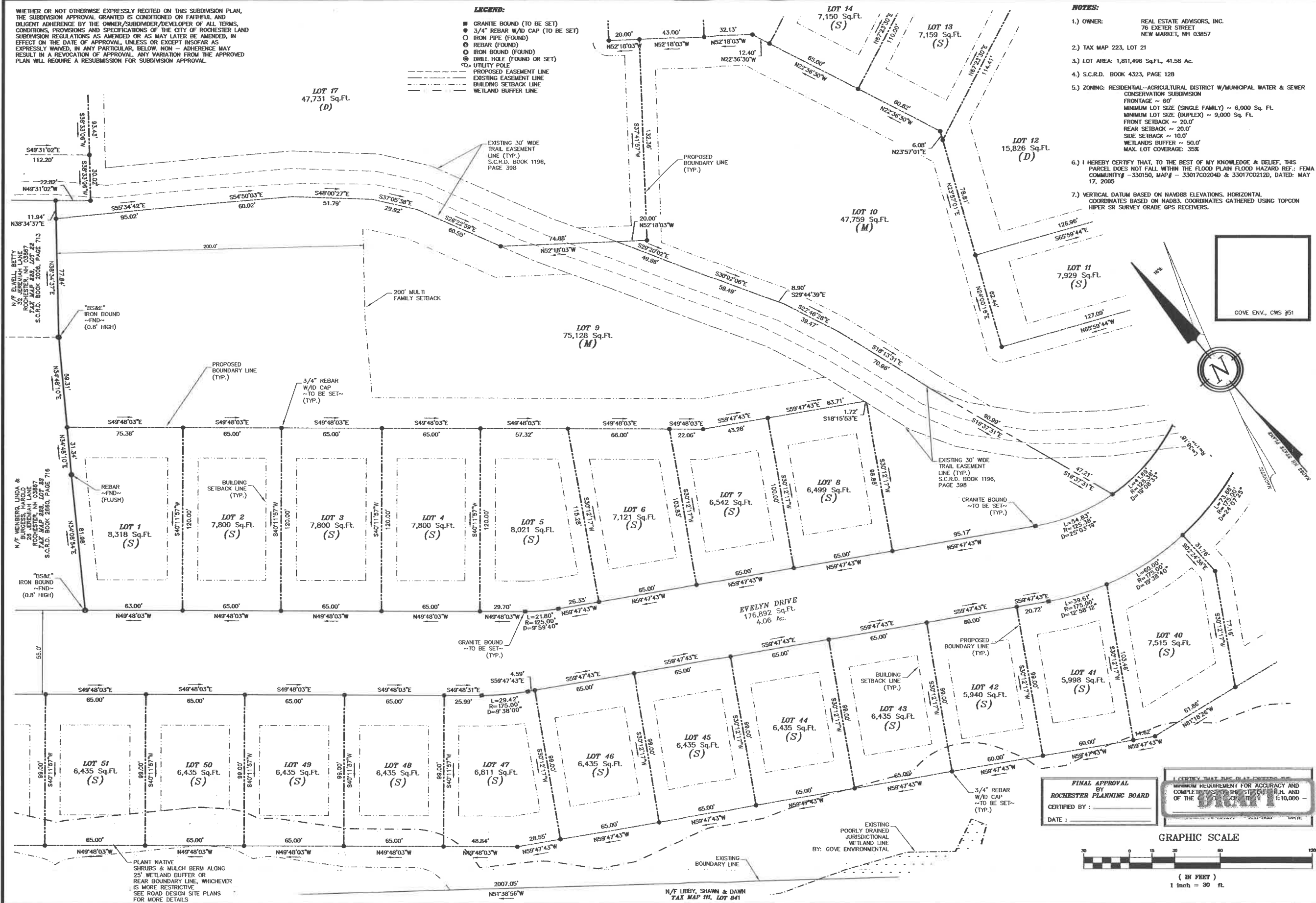
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LEGEND:

- GRANITE BOUND (TO BE SET)
- 3/4" REBAR W/D CAP (TO BE SET)
- IRON PIPE (FOUND)
- REBAR (FOUND)
- IRON BOUND (FOUND)
- DRILL HOLE (FOUND OR SET)
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- BUILDING SETBACK LINE
- WETLAND BUFFER LINE

NOTES:

- OWNER: REAL ESTATE ADVISORS, INC.
76 EXETER STREET
NEW MARKET, NH 03857
- TAX MAP 223, LOT 21
- LOT AREA: 1,811,496 Sq.Ft., 41.58 Ac.
- S.C.R.D. BOOK 4323, PAGE 128
- ZONING: RESIDENTIAL-AGRICULTURAL DISTRICT W/MUNICIPAL WATER & SEWER CONSERVATION SUBDIVISION
FRONTAGE ~ 60'
MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft.
MINIMUM LOT SIZE (DUPLEX) ~ 9,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
MAX. LOT COVERAGE: 35%
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# -330150, MAP# - 33017C0204D & 33017C0212D, DATED: MAY 17, 2005
- VERTICAL DATUM BASED ON NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

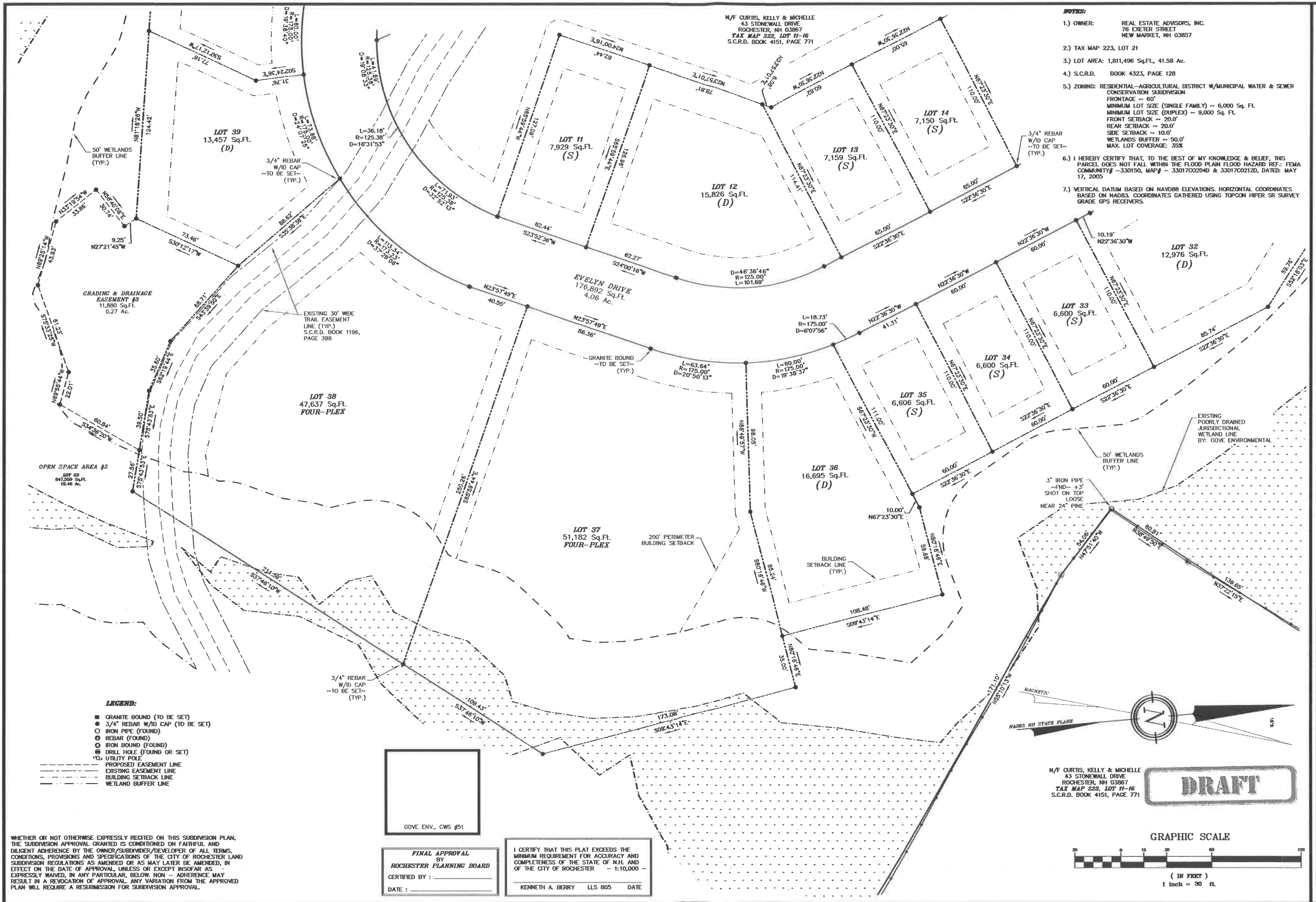


REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN
FOR
STUART ACRES
REAL ESTATE ADVISORS INC.
24 JEREMIAH LANE
ROCHESTER, N.H.
TAX MAP 223, LOT 21

BERRY & SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 603-332-2863
SCALE: 1 IN. EQUALS 30 FT.
DATE: FEBRUARY 21, 2017
FILE NO.: DB 2015 - 114





- NOTES:**
- 1.) OWNER: REAL ESTATE ADVISORS, INC.
76 EXETER STREET
NEW MARKET, NH 03857
 - 2.) TAX MAP 223, LOT 21
 - 3.) LOT AREA: 1,811,496 Sq.Ft., 41.58 Ac.
 - 4.) S.C.R.D. BOOK 4323, PAGE 128
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FRONTAGE ~ 60'
MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft.
MINIMUM LOT SIZE (DUPLEX) ~ 9,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
MAX. LOT COVERAGE: 35%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF: FEMA COMMUNITY# ~ 330150, MAP# ~ 3301700204D & 3301700212D, DATED: MAY 17, 2005
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

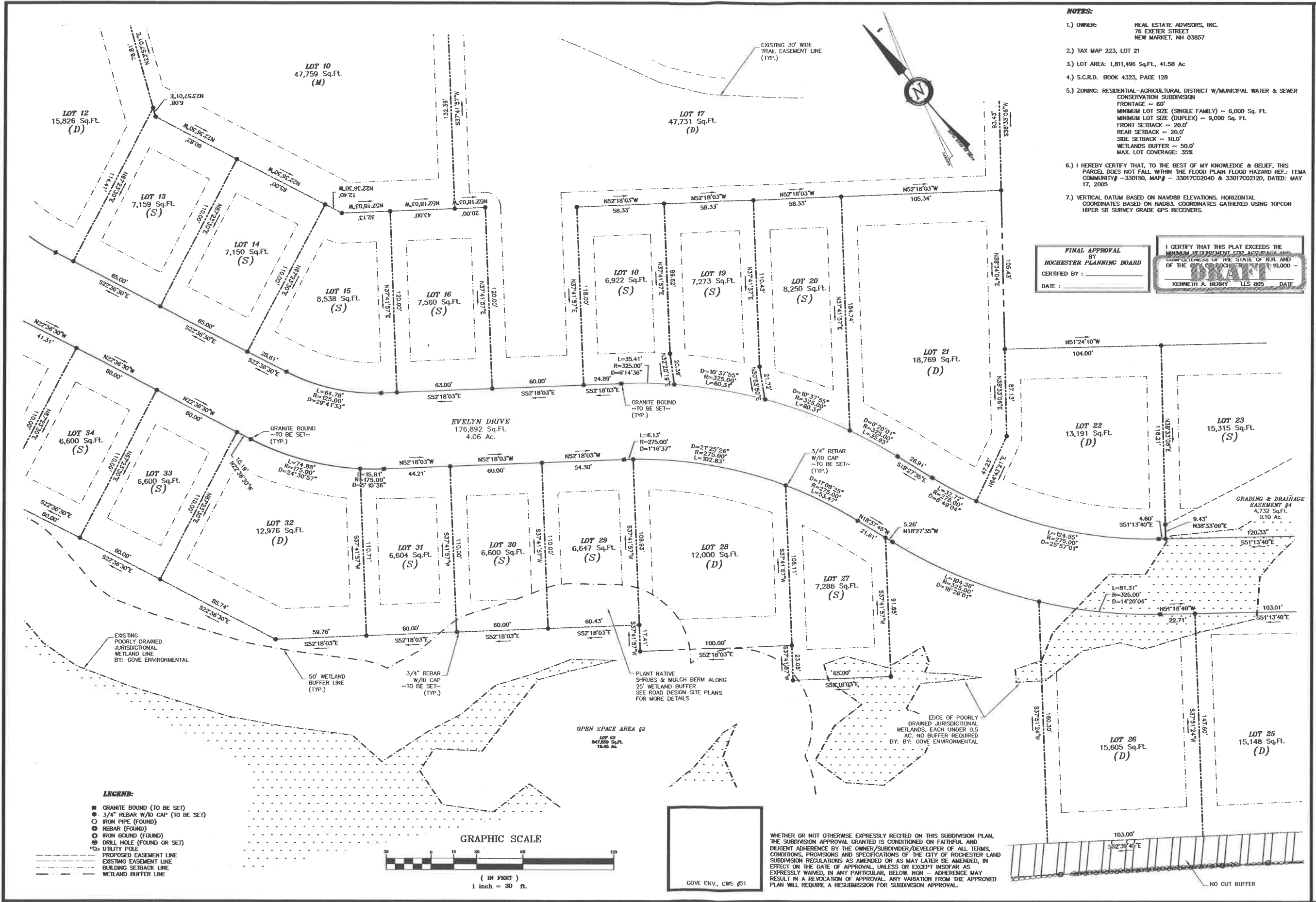
REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN FOR STUART ACRES REAL ESTATE ADVISORS INC. 24 JEREMIAH LANE ROCHESTER, N.H. TAX MAP 223, LOT 21

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 603-332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : FEBRUARY 21, 2017
FILE NO. : DB 2015 - 114

SIGNATURE
KENNETH BERRY

SHEET 13 OF 105



- NOTES:**
- 1.) OWNER: REAL ESTATE ADVISORS, INC.
76 EXETER STREET
NEW MARKET, NH 03857
 - 2.) TAX MAP 223, LOT 21
 - 3.) LOT AREA: 1,811,496 Sq.Ft., 41.58 Ac
 - 4.) S.C.R.D. BOOK 4323, PAGE 128
 - 5.) ZONING: RESIDENTIAL-AGRICULTURAL DISTRICT W/MUNICIPAL WATER & SEWER CONSERVATION SUBDIVISION
FRONTAGE ~ 60'
MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft.
MINIMUM LOT SIZE (DUPLEX) ~ 9,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
MAX. LOT COVERAGE: 35%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# - 330150, MAP# - 33017C02040 & 33017C02120, DATED: MAY 17, 2005
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ASSURANCE OF COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. 10,000 -
DRAFT
KENNETH A. BERRY ILS 805 DATE: _____

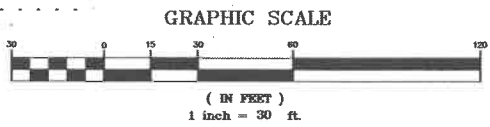
REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN
FOR
STUART ACRES
REAL ESTATE ADVISORS INC.
24 JEREMIAH LANE
ROCHESTER, N.H.
TAX MAP 223, LOT 21

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 603-332-2863
SCALE: 1 IN. = 30 FT.
DATE: FEBRUARY 21, 2017
FILE NO.: DB 2015 - 114

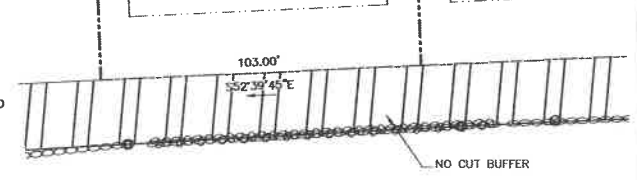
SHEET 14 OF 105

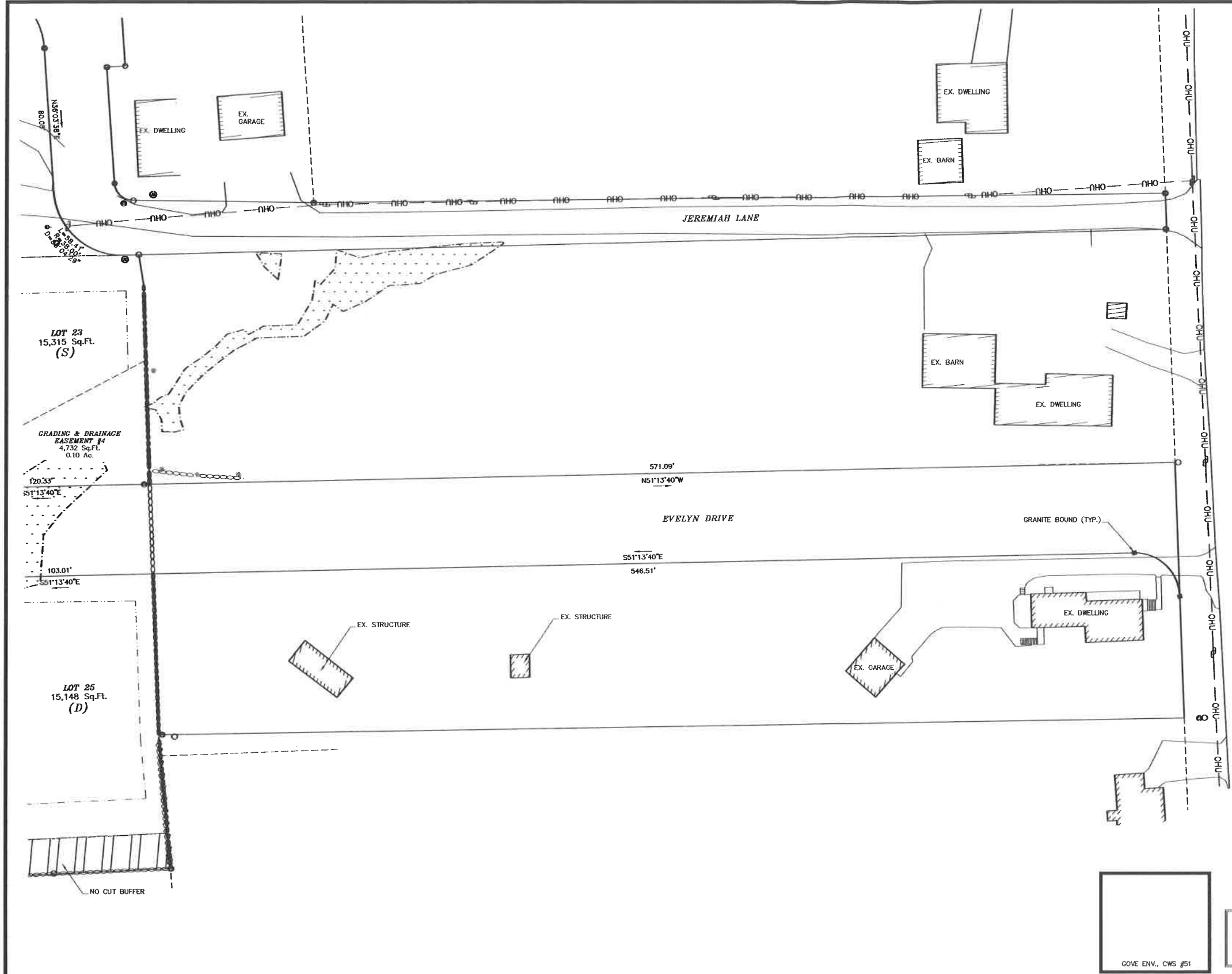
- LEGEND:**
- GRANITE BOUND (TO BE SET)
 - 3/4" REBAR W/D CAP (TO BE SET)
 - IRON PIPE (FOUND)
 - REBAR (FOUND)
 - IRON BOUND (FOUND)
 - DRILL HOLE (FOUND OR SET)
 - UTILITY POLE
 - PROPOSED EASEMENT LINE
 - EXISTING EASEMENT LINE
 - BUILDING SETBACK LINE
 - WETLAND BUFFER LINE



GOVE ENV., CWS #51

WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW. NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.





- NOTES:**
- 1.) OWNER: REAL ESTATE ADVISORS, INC.
76 EXETER STREET
NEW MARKET, NH 03857
 - 2.) TAX MAP 223, LOT 21
 - 3.) LOT AREA: 1,782,812 Sq.Ft., 40.93 Ac.
 - 4.) S.C.R.D. BOOK 4323, PAGE 128
 - 5.) ZONING: RESIDENTIAL-AGRICULTURAL DISTRICT W/MUNICIPAL WATER & SEWER CONSERVATION SUBDIVISION
FRONTAGE ~ 60'
MINIMUM LOT SIZE (SINGLE FAMILY) ~ 6,000 Sq. Ft.
MINIMUM LOT SIZE (DUPLICATE) ~ 9,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
MAX. LOT COVERAGE: 35%
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY# -330150, MAP# - 33017C0204D & 33017C0212D, DATED: MAY 17, 2005
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.

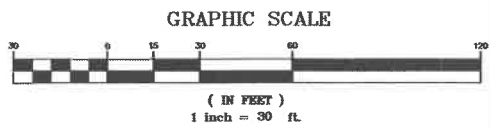


N/F CHAMBERLAIN INVEST PROP., LLC.
PO BOX 645
IPSWICH, MA 01938
TAX MAP 223, LOT 17
S.C.R.D. BOOK 2070, PAGE 652

- LEGEND:**
- GRANITE BOUND (TO BE SET)
 - 3/4" REBAR W/O CAP (TO BE SET)
 - IRON PIPE (FOUND)
 - REBAR (FOUND)
 - IRON BOUND (FOUND)
 - DRILL HOLE (FOUND OR SET)
 - UTILITY POLE
 - PROPOSED EASEMENT LINE
 - EXISTING EASEMENT LINE
 - BUILDING SETBACK LINE
 - WETLAND BUFFER LINE

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY :
DATE :

I CERTIFY THAT THIS PLAT EXCEEDS THE COMPLETENESS OF THE STATE OF NH AND OF THE CITY OF ROCHESTER, N.H. BY A SCALE OF 1 IN. EQUALS 30 FT.
DRAFT
KATHLEEN A. BERRY, L.S. 110-00000



WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.

REVISION	DATE	DESCRIPTION

SUBDIVISION DETAIL PLAN
FOR
STUART ACRES
REAL ESTATE ADVISORS INC.
24 JEREMIAH LANE
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TAX MAP 223, LOT 21

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
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SCALE : 1 IN. EQUALS 30 FT.
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FILE NO. : DB 2015 - 114

KENNETH A. BERRY
L.S. 110-00000
REGISTERED SURVEYOR