



NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]



Date: April 4, 2017 Is a conditional use needed? Yes: x No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 205; Lot #'s: 134; Zoning district: Highway Commercial

Property address/location: Milton Road

Name of project (if applicable): Warehouse space Colony Used Auto Parts.

Size of site: 2.27 acres; overlay zoning district(s)? HC
99,219 Sq. Ft.

Property owner

Name (include name of individual): CPJ Properties, LLC.

Mailing address: 880 Central Ave., Dover, NH 03820

Telephone #: 335-3600 Email: _____

Applicant/developer (if different from property owner)

Name (include name of individual): Same

Mailing address: _____

Telephone #: _____ Email: _____

Engineer/designer

Name (include name of individual): Kenneth A. Berry, LLS, PE

Mailing address: 335 Second Crown Point Rd., Barrington, NH 03825

Telephone #: 603-332-2863 Fax #: 603-335-4623

Email address: crberry@metrocast.net Professional license #: #14243

Proposed activity (check all that apply)

New building(s): x Site development (other structures, parking, utilities, etc.): x

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

Describe proposed activity/use: We are proposing a 45'x 70' warehouse to store engines

and transmissions when they are removed from the cars. All parts will be stored under cover and on a concrete pad or on shelves.

Describe existing conditions/use (vacant land?): Colony Used Auto Parts currently uses this

property to store cars that have been totaled or scrapped.

Utility information

City water? yes x no ; How far is City water from the site? At entrance

City sewer? yes no x; How far is City sewer from the site? Over a mile

If City water, what are the estimated total daily needs? 0 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes no N/A

If City sewer, do you plan to discharge anything other than domestic waste? yes no N/A

Where will stormwater be discharged? The roof runoff will be discharged to the 2' wide by 5' deep drip edge infiltration trench.

Building information

Type of building(s): Warehouse

Building height: Less than 35' Finished floor elevation: 233.50

Other information

parking spaces: existing: 0 total proposed: 4; Are there pertinent covenants? No

Number of cubic yards of earth being removed from the site 0

Number of existing employees: 5; number of proposed employees total: 0 (overlap)

Check any that are proposed: variance ; special exception x; conditional use
see case 2016-23

Wetlands: Is any fill proposed? No; area to be filled: ; buffer impact?

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	3,150 Sq. ft.	3.18%
Parking and vehicle circulation	648 Sq. Ft.	.65%
Planted/landscaped areas (excluding drainage)	10,666 Sq. Ft.	10.75%
Natural/undisturbed areas (excluding wetlands)	84,475 Sq. Ft.	85.14%
Wetlands	N/A	N/A
Other – drainage structures, outside storage, etc.	280 Sq. Ft.	.28%

(Continued Nonresidential Site Plan application Tax Map: 205 Lot: 134 Zone HC)

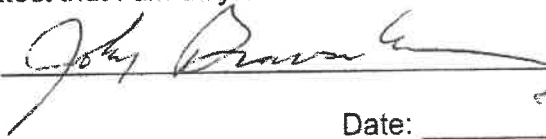
Comments

Please feel free to add any comments, additional information, or requests for waivers here:

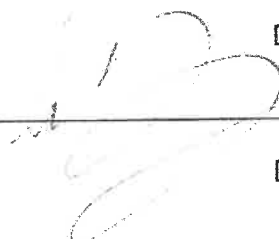
Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.


Signature of property owner:  Date: 7-5-16

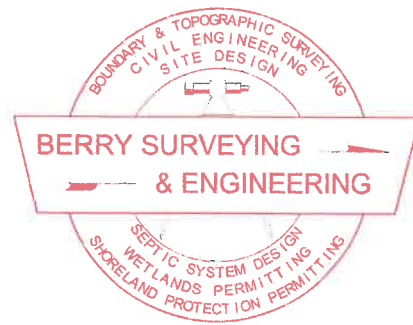
Signature of applicant/developer: SAKE Date: 7-5-16

Signature of agent:  Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: 



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
Fax: (603) 335-4623
www.BerrySurveying.Com
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April 3, 2017

City of Rochester Planning Board
31 Wakefield Street
Rochester, NH 03867

Re: Drainage Narrative
Colony Used Auto Parts
Off Milton Road
Rochester, NH
Tax Map 205, Lot 134

Mr. Chairman and Members of the Rochester Planning Board,

On behalf of Colony Use Auto Parts, (Colony) Berry Surveying & Engineering (BS&E) submits for Planning Board approval a Site Review Application and associated plans for the construction of a 45'x70' warehouse building. The roof line for the building runs gable to gable and therefor splits the roof in half. Each side of the structure has a proposed infiltration trench, which is designed to be 2' wide and 5' deep. The stone is proposed to be 3/4" NHDOT #67, with an emergency overflow under drain.

The onsite soils are very sandy, and an on site test pit was conducted within the center of where the proposed structure is located. At the high point of the design, no water or water table was found within 8' of the grounds surface. The infiltration rate provided by the NRCS soils map is shown to be extremely high. 1 In/Hr to 99.9 In/Hr. A conservative number of 5 In/Hr was use in the enclosed simply analysis.

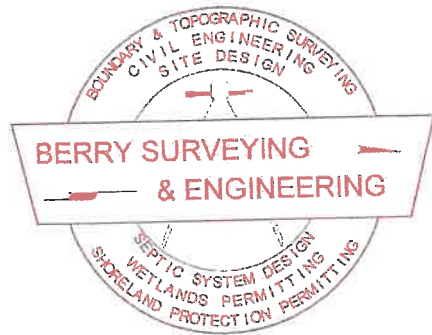
Enclosed is a simply HydroCAD analysis of half of the building draining to one of the infiltration trenches. Both sides will work in the same fashion. The analysis shows that all of the roof runoff drains through the stone and soil for the 100Yr/24Hr rain event, and does not flood to the proposed under drain. This means that the rate and volume of runoff from the proposed building is zero, and therefore matches the existing condition.

Please let us know if there are further question on this matter.

Berry Surveying & Engineering

Christopher R. Berry
Principal, President

Kenneth A. Berry PE, LLS
CPESC, CESSWI, CPSWQ
Principal, VP Technical Operations



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Off Milton Road
Rochester, NH
Tax Map 205, Lot 134

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On behalf of Colony Use Auto Parts, (Colony) Berry Surveying & Engineering (BS&E) submits for Planning Board approval a Site Review Application and associated plans for the construction of a 45'x70' warehouse building.

Colony utilizes Lots 134, 83, and 137 and owns the same through various legal entities as noted on the plans. The site review application has been filed on Lot 134 whereas that is where the building is proposed to be located. The site gains access to this part of the lot over the abutting lots 137 & 83, with mutual access easements now shown on the site plan. (Draft Deed Language Pending) Therefore BS&E has provided relevant information on the two other affected parcels in addition to the parcel under consideration.

Colony has achieved the status of being one New Hampshire's "Green Yards", which is awarded to used auto parts establishments which meet certain environmental standards. It should be noted that they are one of the few establishments in the area that has achieved this. To continue this effort Colony needs to build a small warehouse on site to store materials in. The primary use would be for parts that formerly had fluids contained within them to further contain migration. (Engines and Transmissions) Colony currently stores these items off site, and would like the business contained within the same immediate area. There is no storage of any other hazardous materials proposed within the structure, only the salvaged parts.

The proposal is to construct a small warehouse building on lot 134 which is in the Highway Commercial Zone. The proposed site sits on a sand bed and grades to a depressed area on the same lot. Storm flow from the building will enter a stone lined drip edge which is designed to be 2' wide and 5' deep for the rein filtration of the clean impervious surface. (See a more detailed Drainage Narrative.) An intensive survey of the area of development is provided as part of the plan package, with aerial topography provided on the remainder of the parcel. The Salmon Falls River is the Easterly boundary line of lot 137, but is not within 250' of the area of development. The proposed structure will not have water or facilities, will not be lit in any way, and has no proposed power requirements. Doors will be situated on the front (facing lot 137) for ease of transporting inventory in and out from the complimentary operation known as Colony Use Auto Parts. A spill prevention plan will be required as part of the building permit. There is no storage of materials other than salvaged parts.

July 5, 2016

Grading will be required around the structure and is shown on the plan with some Sediment & Erosion Control devices as required. Construction Details are found on E101 and E102.

With respect to the original TRG Comment letter we submit the following:

- "A junkyard is permitted by Special Exception in this zoning district. Please provide proof that Map 205 Lot 134 has obtained local approvals to operate as a junkyard or seek Special Exceptions.
 - A Special Exception was applied for and granted by the Rochester Zoning Board of Adjustments. Case #2016-23
- These Lots must be merged; Planning Staff will not support the proposal if the lots are not merged.
 - The lots can not be merged whereas the parcels are owned in different entities which carry different financial responsibilities and lien holders. This application will clarify access rights of ways and limits for each property.
- Zoning Ordinance 42:20(b)(6) stipulates specific criteria for junkyards; please incorporate or seek a variance.
 - This specifically requires an 8' fence. This project is not expanding the currently occupied junk yard, only providing a building to place the salvaged parts. We would submit that the building to be installed will effectively block any view of the existing yard from the closest abutter affected by the new building. The installation of a fence would require vegetation to be removed to the lot line, which doesn't seem in the best interest of the abutting part. The application now provides for the installation of some White Spruce trees at the base of the fill to be installed around the pad site.
- Overhead utilities.....
 - There are no utilities required or proposed for this project.
- Please submit Site Plan Checklist, drainage study, and abutters fees.
 - Site Plan Checklist is enclosed.
 - A Drainage Narrative is enclosed.
 - Fees are provided
- Please submit copies of deed restrictions, legal description of easements, site easements, rights-of-way, reservations and other restrictions. Please also show these on the plans. The assumption is that many easements exist, if not, many will be required for cross connections between the lots.
 - Access easements are now shown on the plans. We have contacted the project attorney to start addressing the written requirements. In short, Lots 83 & 134, need access easements over Lot 137. Lot 83 needs an access easement over 134, and Lot 134 needs an easement over Lot 83.
 - There is an existing utility easement, and is show on the site plan.
 - There is an existing access easement in favor of abutting Lot 135 and is shown on the existing conditions plan.
- The plan set does not address any of the Site Plan Regulations, some we have listed here, but please read and apply all of the Site Plan Regulations or request waivers.
 - Please submit architectural elevations for the proposed warehouse
 - A sketch of the building is now provided. The building will have vertical steel siding and will be a natural gray color.
 - Please submit lighting Plan



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July 5, 2016

- There is no lighting proposed as part of this project
- Please submit a list of Hazardous Materials per Site Plan Regulations Section 12 (B)
 - No materials are to be stored in the warehouse other than parts removed from vehicles. The items are drained and then stored dry.
- Please show parking and parking calculations.
 - The new warehouse space requires 3.15 spaces. 4 spaces and a calculation table is now provided for on the plan.
- Please show access and traffic circulation.
 - The existing traffic patterns are now shown using hatching to denote traveled ways from other sandy parking surfaces. The proposed crushed gravel proposed around the building is now shown in a different hatch pattern and annotated.
- No dumpsters are proposed. Will trash be kept inside the warehouse?
 - There is no trash proposed. The building is simply for the storage of salvaged parts. No dumpsters are proposed.
- Show snow storage areas per Site Plan Article III Section 9(c)
 - Snow storage areas are now shown on the site plan.
- Show any proposed outdoor use areas.
 - There are no outdoor use areas associated with the proposed warehouse.
- Please submit a landscaping and buffering plan.
 - A specific plan is not provided. 6' tall White Spruce trees are now proposed at the base of the constructed fill slope and are shown on the site plan.
- A detailed description.....
 - As noted above, the parts are removed from vehicles and are to be stored in this warehouse. This will mostly be drained engines, and drained transmissions. The draining takes place in the existing building on site, (if it needs to take place at all) and its stored in a containment room in the existing building. Nothing other than parts is to be stored in this building.
- Sheet 3 has a note that describes conflicting survey results and that this information now creates a "gore" between the two parcels. Please discuss this with the assessor to determine what action and plan revisions are required.
 - We will provide the assessor with an updated survey for their records.
- Sheet 4 shows "edges of traveled way" that appear to disappear at sporadic locations...is this a drafting/surveying error or does the gravel way simply disappear.....and If it does , what does the ground cover become?
 - The site is covered in sandy material, with traveled ways between the parked cars and is compact gravel. These traveled area are now better shown on the existing conditions and site plans through the use of hatching. Please also see the enclosed aerial photo.
- It is not clear where the 6" crushed gravel will begin and end.
 - Material types are now better shown through the use of hatching, and annotations.
- Is a vegetated slope practical in a site that appears to be mostly sand?
 - The proposed slope is a constructed fill section. This is done with imported material that is compacted, lined with 4" loam and seed, and lined with Curlexx II stabilization matting.
- Construction Details:
 - The construction details now pertain to this project proposal.

DPW Comments:


- Need to see some drainage calcs or estimates. Cannot just claim it is sandy so it is okay. It is recognized that Hinckley soils have saturated hydraulic conductivities that are high or very high, but some sort of calculation or show of how the runoff will travel, be dealt with, will be retained without overflow is needed.



July 5, 2016

- A drainage narrative is now provided along with a 100 YR/24Hr. analysis of the infiltration drip edge proposed.
- Curlex II Matting, will that be permanent? What will be stabilizing the slope in the long term? Is that the grass detail?
 - The slope is a constructed slope which will have 4" loam and seed applied along with the Curlex II for construction stabilization.
- What catches the rain off the roof or prevents channeling of flow?
 - An infiltration drip edge is now proposed.
- Where is the grass swale going?
 - This detail has been removed.
- Eliminate blank details if they are not going to be used.
 - They are to be used for interim construction stabilization.
- DPW stormwater permit will be required.
 - A Chapter 50 Permit will be applied for as part of the Building Permit Process
- 6" crushed stone around building? Stone or gravel?
 - There will be a 2' drip edge against the building constructed of 3/4" stone. There will be an access pad around the front entrance and three supporting sides constructed of 6" crushed gravel.
- Fire Comments:
 - The applicant met with the fire Marshal who reviewed water access and access to the site. Access around the building was found not be required. Access to within 50' of the front door is provided, and access within 150' of any corner of the building is provided.

Berry Surveying & Engineering



Christopher R. Berry
Principal, President



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SITE PLAN
FOR
COLONY USED AUTO PARTS
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

OWNER:

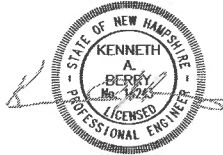
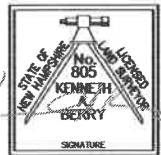
- (A) CPJ PROPERTIES, LLC
880 CENTRAL AVE.
DOVER, NH 03820
- (B) CHARLES S. JR. & PAUL E. ARVENTIS
181A MILTON ROAD
ROCHESTER, NH 03868-8714
- (C) CHARLES S. JR. & PAUL E. ARVENTIS
& BRANSCOMBE, JOHN J.
181A MILTON ROAD
ROCHESTER, NH 03868-8714

SURVEYOR OF RECORD: KENNETH A. BERRY, PE, ILS
CPESC, CESSWI, CPSWQ
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
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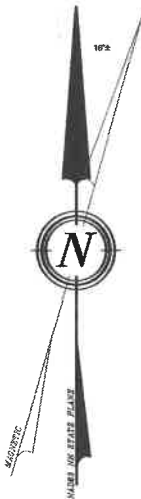
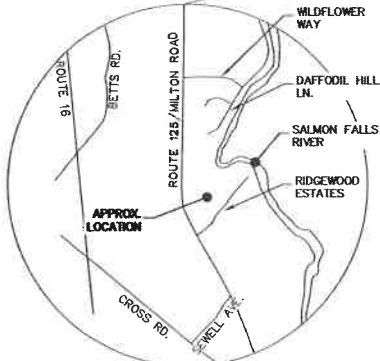
DEVELOPER: COLONY USED AUTO PARTS
ROUTE 125/MILTON ROAD
ROCHESTER, NH 03867

WETLAND SCIENTIST: STONEY RIDGE ENVIRONMENTAL
CYNTHIA M. BALCIUS, CSS, CWS, CPESC
229 PARKER MOUNTAIN ROAD
ALTON, NH 03809
603-776-5825



VICINITY SKETCH
ROCHESTER, N.H.
SCALE: 1" = 200'±

LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



GENERAL PLAN SET NOTES:

- 1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
- 2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.

PERMITS:

- LOCAL CHAPTER 50
- SPECIAL EXCEPTION, CASE # 2016-23

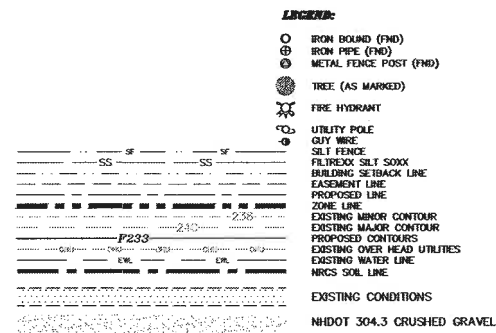
WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SITE PLAN, THE SITE PLAN APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SITE PLAN REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXCEPT INsofar AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW NON - ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SITE PLAN APPROVAL.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY : _____
DATE : _____

REVISION	DATE	DESCRIPTION

SITE PLAN
FOR COLONY USED AUTO PARTS
LAND OF
CPJ PROPERTIES, LLC.
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: AS NOTED
DATE : APRIL 4, 2017
FILE NO. : DB 2016-049



GIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 100'±

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

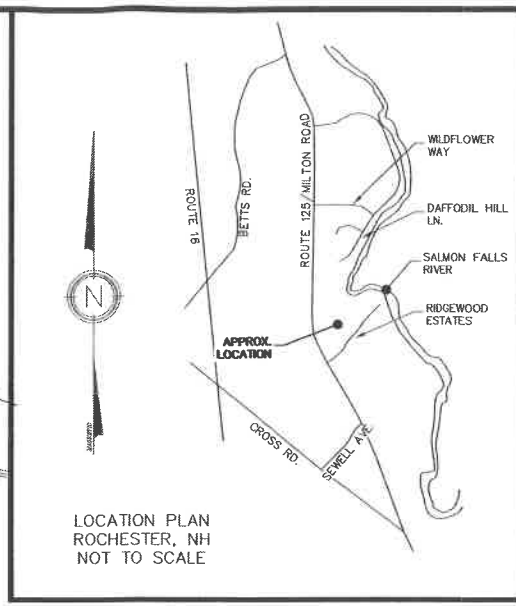
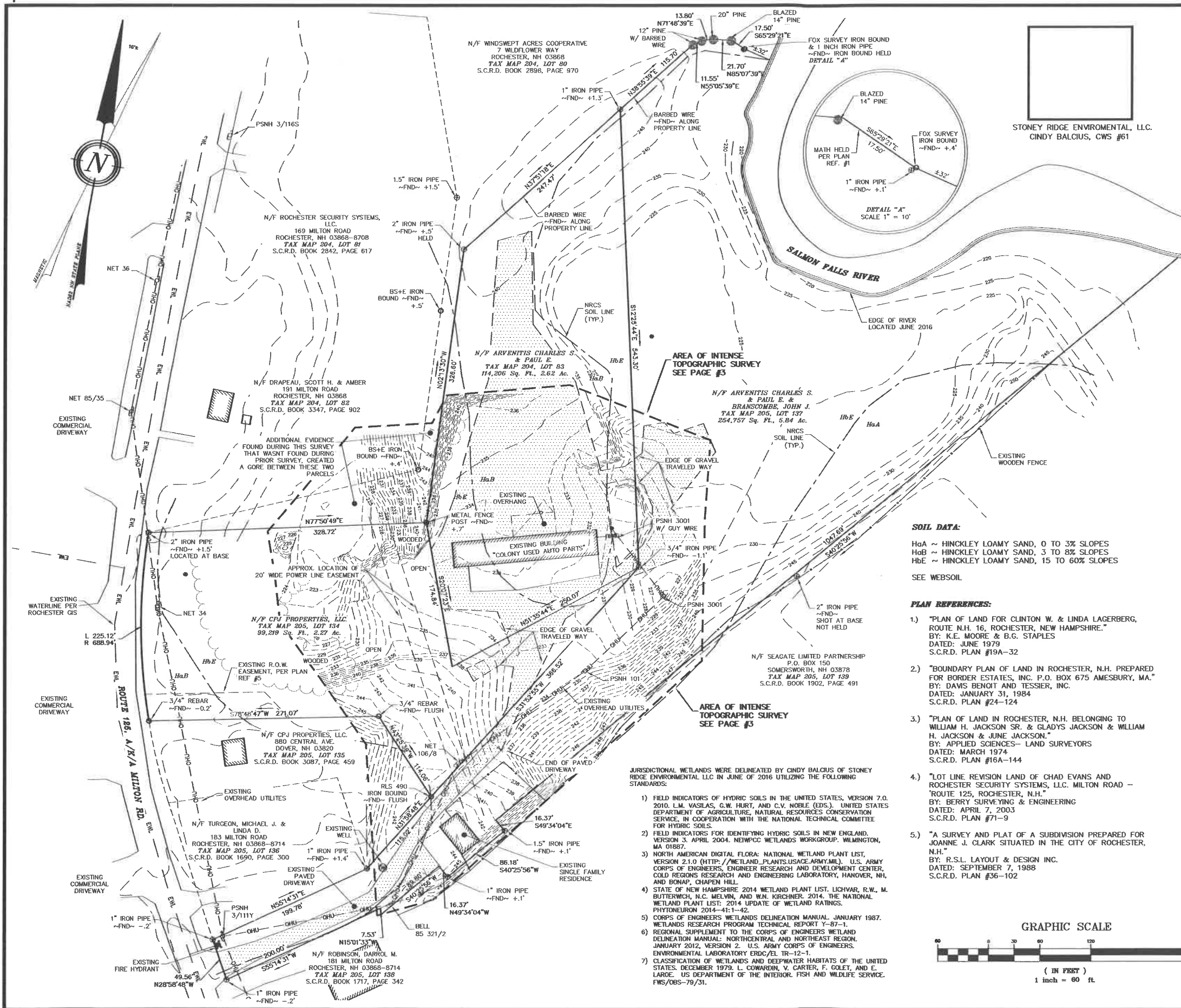
SCHEDULE: AS NOTED

DATE : APRIL 4, 2017

FILE NO. : DB 2016-049

NEIGHBORHOOD PLAN
FOR COLONY USED AUTO PARTS
LAND OF
CPJ PROPERTIES, LLC.
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

REVISION	DATE	DESCRIPTION



- NOTES:**
- 1.) OWNER:
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DOVER, NH 03820
(B) CHARLES S. JR. & PAUL E. ARVENTIS
181A MILTON ROAD
ROCHESTER, NH 03868-8714
(C) CHARLES S. JR. & PAUL E. ARVENTIS &
BRANSCOMBE, JOHN J.
181A MILTON ROAD
ROCHESTER, NH 03868-8714
 - 2.) TAX MAP: (A) TAX MAP 205, LOT 134
(B) TAX MAP 204, LOT 83
(C) TAX MAP 205, LOT 137
 - 3.) LOT AREA: (A) 99,219 Sq. Ft., 2.27 Ac.
(B) 114,206 Sq. Ft., 2.62 Ac.
(C) 254,757 Sq. Ft., 5.84
 - 4.) S.C.R.D.: (A) BOOK 3087, PAGE 459
(B) BOOK 1357, PAGE 84
(C) BOOK 1348, PAGE 619
 - 5.) ZONING: HIGHWAY COMMERCIAL
FRONTAGE ~ 100.0'
MINIMUM LOT SIZE ~ 20,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 25.0'
SIDE SETBACK ~ 10.0' (UNLESS IT ABUTS RES. DISTRICT)
MAX. LOT COVERAGE: 85%
WETLANDS BUFFER ~ 50.0'
AGRICULTURAL (OTHER USES BESIDES RESIDENTIAL)
FRONTAGE ~ 150.0'
MINIMUM LOT SIZE ~ 45,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'

- PLAN REFERENCES:**
- 1.) "PLAN OF LAND FOR CLINTON W. & LINDA LAGERBERG, ROUTE N.H. 16, ROCHESTER, NEW HAMPSHIRE." BY: K.E. MOORE & B.G. STAPLES
DATED: JUNE 1979
S.C.R.D. PLAN #19A-32
 - 2.) "BOUNDARY PLAN OF LAND IN ROCHESTER, N.H. PREPARED FOR BORDER ESTATES, INC. P.O. BOX 675 AMESBURY, MA." BY: DAVIS BENGT AND TESSIER, INC.
DATED: JANUARY 31, 1984
S.C.R.D. PLAN #24-124
 - 3.) "PLAN OF LAND IN ROCHESTER, N.H. BELONGING TO WILLIAM H. JACKSON SR. & GLADYS JACKSON & WILLIAM H. JACKSON & JUNE JACKSON." BY: APPLIED SCIENCES- LAND SURVEYORS
DATED: MARCH 1974
S.C.R.D. PLAN #16A-144
 - 4.) "LOT LINE REVISION LAND OF CHAD EVANS AND ROCHESTER SECURITY SYSTEMS, LLC. MILTON ROAD - 'ROUTE 125, ROCHESTER, N.H.'" BY: BERRY SURVEYING & ENGINEERING
DATED: APRIL 7, 2003
S.C.R.D. PLAN #71-9
 - 5.) "A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR JOANNE J. CLARK SITUATED IN THE CITY OF ROCHESTER, N.H." BY: R.S.L. LAYOUT & DESIGN INC.
DATED: SEPTEMBER 7, 1988
S.C.R.D. PLAN #36-102

I CERTIFY THAT THIS PLAT EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000 - 4-4-17

KENNETH A. BERRY LLS 805 DATE

EXISTING CONDITIONS PLAN (60 SCALE) FOR COLONY USED AUTO PARTS		DESCRIPTION	
REVISION	DATE	REVISION	DATE
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CPJ PROPERTIES, LLC.		CPJ PROPERTIES, LLC.	
ROUTE 125/MILTON ROAD		ROUTE 125/MILTON ROAD	
ROCHESTER, N.H.		ROCHESTER, N.H.	
TAX MAP 205, LOT 134		TAX MAP 205, LOT 134	
FILE NO. : DB 2016-049		FILE NO. : DB 2016-049	
DATE : APRIL 4, 2017		DATE : APRIL 4, 2017	
SCALE : 1 IN. EQUALS 60 FT.		SCALE : 1 IN. EQUALS 60 FT.	
BARRINGTON, NH 03825 (603)332-2863		BARRINGTON, NH 03825 (603)332-2863	
335 SECOND CROWN POINT ROAD		335 SECOND CROWN POINT ROAD	
BERRY SURVEYING & ENGINEERING		BERRY SURVEYING & ENGINEERING	
NO. 805 KENNETH A. BERRY		NO. 805 KENNETH A. BERRY	
SHEET 2 OF 7		SHEET 2 OF 7	

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DATED: JANUARY 31, 1984
S.C.R.D. PLAN #24-124
- 3) "PLAN OF LAND IN ROCHESTER, N.H. BELONGING TO WILLIAM H. JACKSON SR. & GLADYS JACKSON & WILLIAM H. JACKSON & JUNE JACKSON."
BY: APPLIED SCIENCES- LAND SURVEYORS
DATED: MARCH 1974
S.C.R.D. PLAN #16A-144
- 4) "LOT LINE REVISION LAND OF CHAD EVANS AND ROCHESTER SECURITY SYSTEMS, LLC. MILTON ROAD - ROUTE 125, ROCHESTER, N.H."
BY: BERRY SURVEYING & ENGINEERING
DATED: APRIL 7, 2003
S.C.R.D. PLAN #71-9
- 5) "A SURVEY AND PLAT OF A SUBDIVISION PREPARED FOR JOANNE J. CLARK SITUATED IN THE CITY OF ROCHESTER, N.H."
BY: R.S.L. LAYOUT & DESIGN, INC.
DATED: SEPTEMBER 7, 1989
S.C.R.D. PLAN # 36-102

N/F DRAPEAU, SCOTT H. & AMBER
191 MILTON ROAD
ROCHESTER, NH 03868
TAX MAP 204, LOT 82
S.C.R.D. BOOK 3347, PAGE 902

ADDITIONAL EVIDENCE
FOUND DURING THIS SURVEY
THAT WASNT FOUND DURING
PRIOR SURVEY. CREATED
A GORE BETWEEN THESE TWO
PARCELS

N/F ARVENITIS CHARLES S.
& PAUL E.
TAX MAP 204, LOT 83
114,206 Sq. Ft. 2.62 Ac.

N/F ARVENITIS CHARLES S.
& PAUL E.
& BRANSCOMBE, JOHN J.
TAX MAP 205, LOT 137
254,757 Sq. Ft. 5.84 Ac.

N/F CPJ PROPERTIES, LLC.
TAX MAP 205, LOT 134
99,219 Sq. Ft. 2.27 Ac.
(SUBJECT PARCEL)

SOIL DATA:

HaA ~ HINCKLEY LOAMY SAND, 0 TO 3% SLOPES
HaB ~ HINCKLEY LOAMY SAND, 3 TO 8% SLOPES
HbE ~ HINCKLEY LOAMY SAND, 15 TO 60% SLOPES

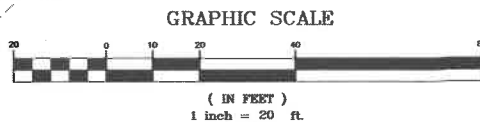
SEE WEBSOIL



LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE

NOTES:

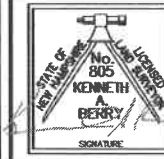
1. OWNER:
(A) CPJ PROPERTIES, LLC.
880 CENTRAL AVE.
DOVER, NH 03820
(B) CHARLES S. JR. & PAUL E. ARVENTIS
181A MILTON ROAD
ROCHESTER, NH 03868-8714
(C) CHARLES S. JR. & PAUL E. ARVENTIS &
BRANSCOMBE, JOHN J.
181A MILTON ROAD
ROCHESTER, NH 03868-8714
2. TAX MAP: (A) TAX MAP 205, LOT 134
(B) TAX MAP 204, LOT 83
(C) TAX MAP 205, LOT 137
3. LOT AREA: (A) 99,219 Sq. Ft., 2.27 Ac.
(B) 114,206 Sq. Ft., 2.62 Ac.
(C) 254,757 Sq. Ft., 5.84
4. S.C.R.D.: (A) BOOK 3087, PAGE 459
(B) BOOK 1357, PAGE 84
(C) BOOK 1349, PAGE 619
5. ZONING: HIGHWAY COMMERCIAL
FRONTAGE ~ 100.0'
MINIMUM LOT SIZE ~ 20,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 25.0'
SIDE SETBACK ~ 10.0' (UNLESS IT ABUTS RES. DISTRICT)
MAX. LOT COVERAGE: 85%
WETLANDS BUFFER ~ 50.0'
AGRICULTURAL (OTHER USES BESIDES RESIDENTIAL)
FRONTAGE ~ 150.0'
MINIMUM LOT SIZE ~ 45,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 20.0'
SIDE SETBACK ~ 10.0'
WETLANDS BUFFER ~ 50.0'
6. I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF TAX MAP 205, LOT 137 & TAX MAP 204 LOT 83 DO FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF.: FEMA COMMUNITY # - 330150, MAP# - 33017022010, DATED: MAY 17, 2005, TAX MAP 205, LOT 134 DOES NOT FALL IN THE FLOOD PLAIN SHOWN ON THE SAME MAP
7. VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
8. THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JUNE OF 2016, WITH AN ERROR OF CLOSURE OF 1 PART IN 27,621.
9. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 205, LOT 134 & 137 & TAX MAP 204, LOT 83 AS OF THE DATE OF THIS PLAN.
10. FOR MORE INFORMATION ON THIS MINOR SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WAKEFIELD STREET, ROCHESTER, NH 03867, (603) 335-1338.
11. NO WETLANDS FOUND IN THE AREA OF INTENSE SURVEY SEE SHEET 2 FOR WETLAND NOTE.

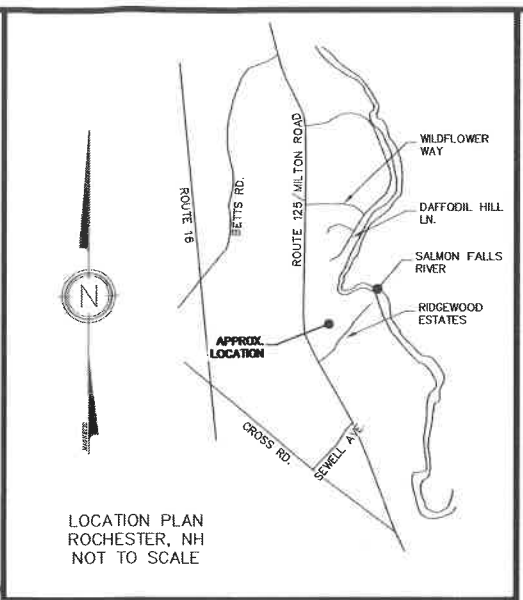
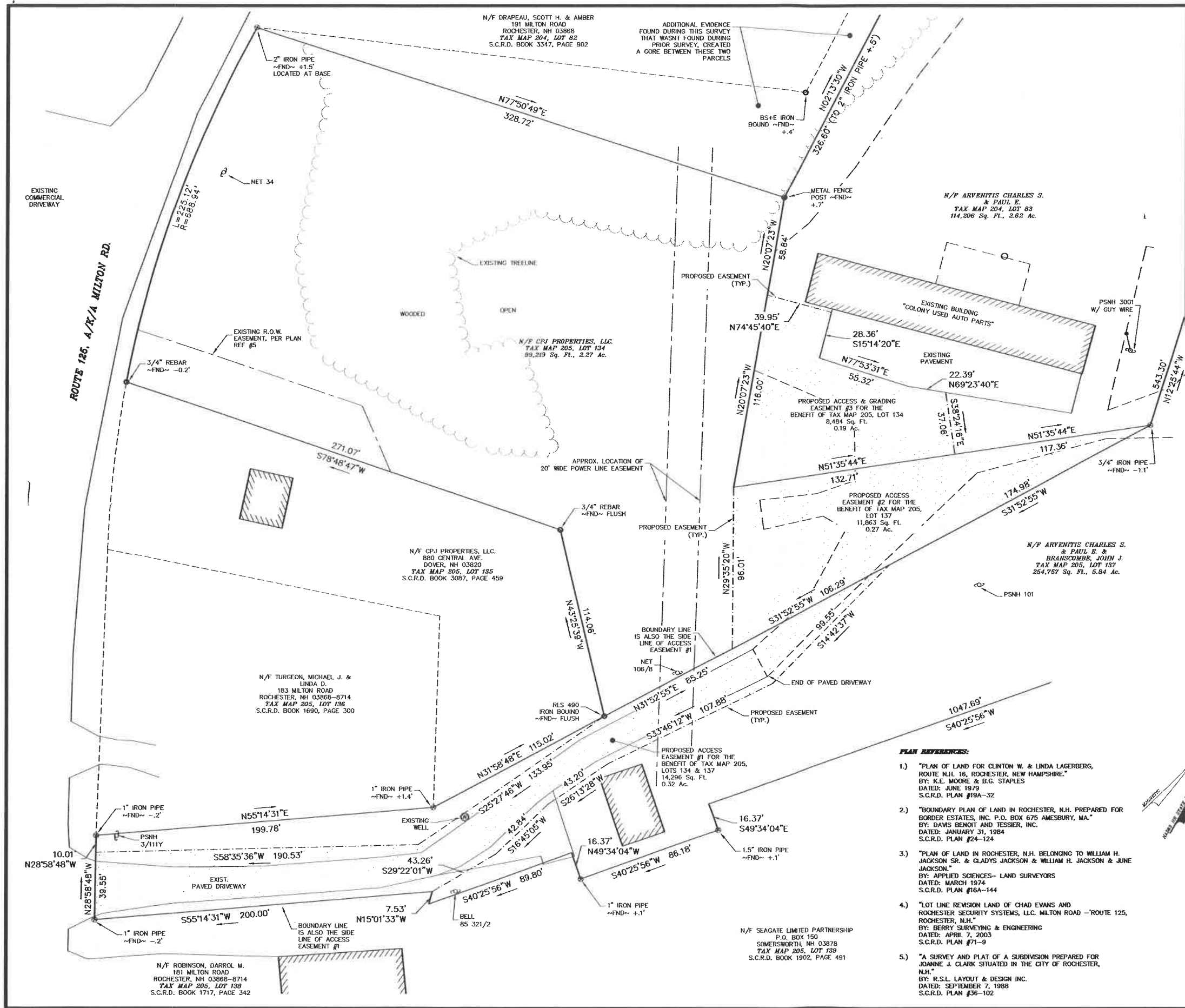


I CERTIFY THAT THIS PLAT EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER, N.H. - 1:10,000 -
4-4-17
KENNETH A. BERRY LLS 805 DATE

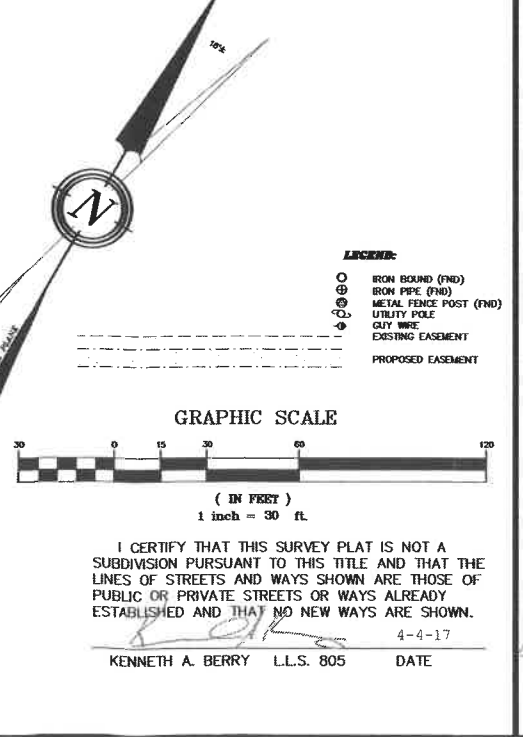
EXISTING CONDITIONS PLAN (20 SCALE)
FOR COLONY USED AUTO PARTS
CPJ PROPERTIES, LLC.
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : APRIL 4, 2017
FILE NO. : DB 2016-049





- NOTES:**
1. OWNER:
(A) CPJ PROPERTIES, LLC.
880 CENTRAL AVE.
DOVER, NH 03820
(B) CHARLES S. JR. & PAUL E. ARVENTIS
181A MILTON ROAD
ROCHESTER, NH 03868-8714
(C) CHARLES S. JR. & PAUL E. ARVENTIS &
BRANSCOMBE, JOHN J.
181A MILTON ROAD
ROCHESTER, NH 03868-8714
 2. TAX MAP:
(A) TAX MAP 205, LOT 134
(B) TAX MAP 204, LOT 83
(C) TAX MAP 205, LOT 137
 3. LOT AREA:
(A) 99,219 Sq. Ft., 2.27 Ac.
(B) 114,206 Sq. Ft., 2.62 Ac.
(C) 254,757 Sq. Ft., 5.84
 4. S.C.R.D.:
(A) BOOK 3087, PAGE 459
(B) BOOK 1357, PAGE 84
(C) BOOK 1349, PAGE 619
 5. VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 6. THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JUNE OF 2016, WITH AN ERROR OF CLOSURE OF 1 PART IN 27,621.
 9. THE INTENT OF THIS PLAN IS TO SHOW THREE PROPOSED EASEMENTS AREAS.

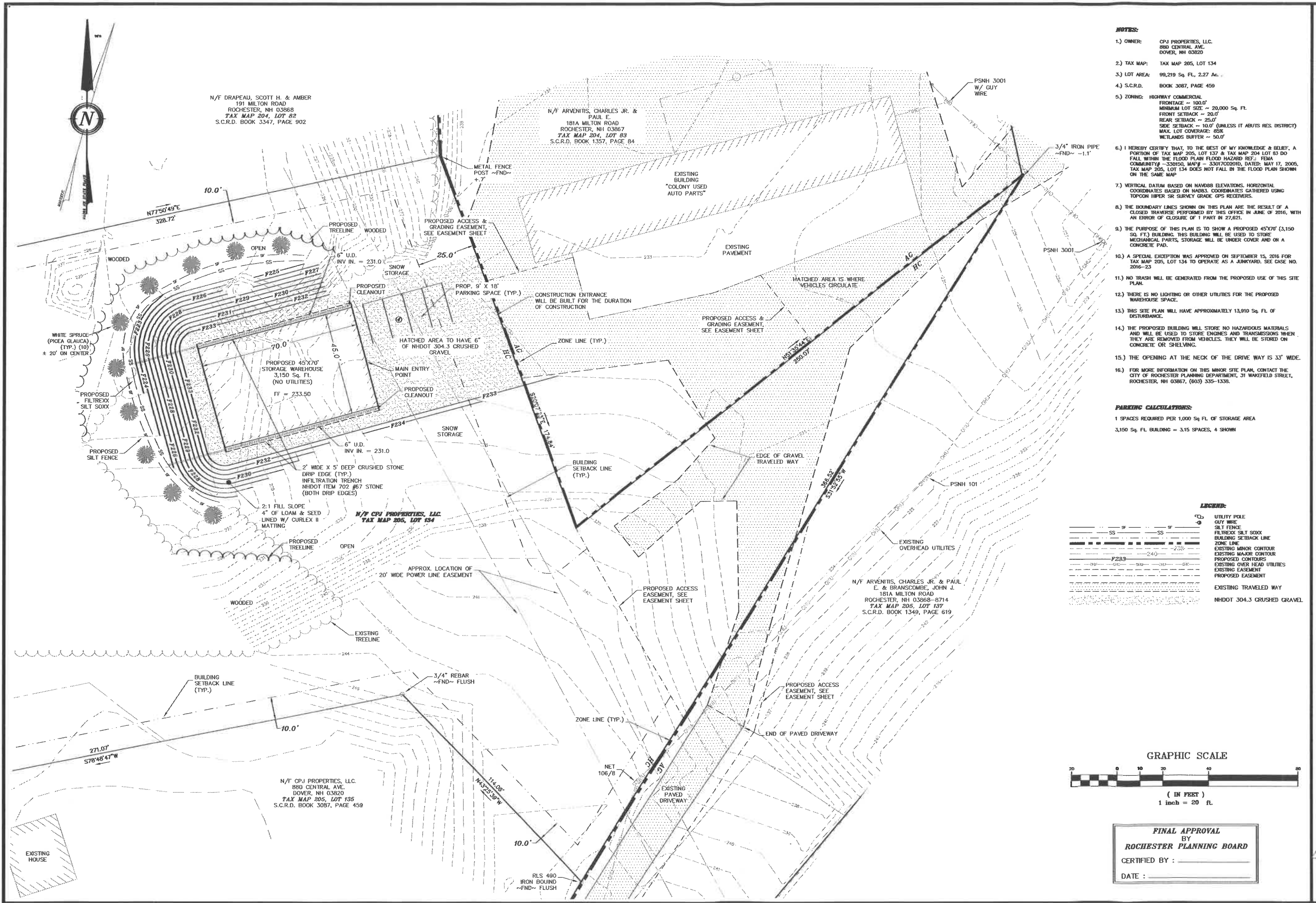


EASEMENT PLAN FOR COLONY USED AUTO PARTS LAND OF CPJ PROPERTIES, LLC. ROUTE 125/MILTON ROAD ROCHESTER, N.H. TAX MAP 205, LOT 134	
REVISION	DATE

BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863	SCALE : 1 IN. EQUALS 30 FT.
	DATE : APRIL 4, 2017
FILE NO. : DB 2016-049	

SIGNATURE

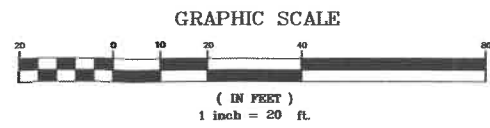
SHEET 4 OF 7



- NOTES:**
- 1.) OWNER: CPJ PROPERTIES, LLC.
880 CENTRAL AVE.
DOVER, NH 03820
 - 2.) TAX MAP: TAX MAP 205, LOT 134
 - 3.) LOT AREA: 98,219 Sq. Ft., 2.27 Ac.
 - 4.) S.C.R.D. BOOK 3087, PAGE 459
 - 5.) ZONING: HIGHWAY COMMERCIAL
FRONTAGE ~ 100.0'
MINIMUM LOT SIZE ~ 20,000 Sq. Ft.
FRONT SETBACK ~ 20.0'
REAR SETBACK ~ 25.0'
SIDE SETBACK ~ 10.0' (UNLESS IT ABUTS RES. DISTRICT)
MAX. LOT COVERAGE: 65%
WETLANDS BUFFER ~ 50.0'
 - 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF TAX MAP 205, LOT 137 & TAX MAP 204 LOT 83 DO FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF. FEMA COMMUNITY# 330150, MAP# 33017002010, DATED: MAY 17, 2005, TAX MAP 205, LOT 134 DOES NOT FALL IN THE FLOOD PLAIN SHOWN ON THE SAME MAP.
 - 7.) VERTICAL DATUM BASED ON NAVD83 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING TOPCON HIPER SR SURVEY GRADE GPS RECEIVERS.
 - 8.) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN JUNE OF 2016, WITH AN ERROR OF CLOSURE OF 1 PART IN 27,621.
 - 9.) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 45'x70' (3,150 SQ. FT.) BUILDING. THIS BUILDING WILL BE USED TO STORE MECHANICAL PARTS, STORAGE WILL BE UNDER COVER AND ON A CONCRETE PAD.
 - 10.) A SPECIAL EXCEPTION WAS APPROVED ON SEPTEMBER 15, 2016 FOR TAX MAP 205, LOT 134 TO OPERATE AS A JUNKYARD. SEE CASE NO. 2016-23
 - 11.) NO TRASH WILL BE GENERATED FROM THE PROPOSED USE OF THIS SITE PLAN.
 - 12.) THERE IS NO LIGHTING OR OTHER UTILITIES FOR THE PROPOSED WAREHOUSE SPACE.
 - 13.) THIS SITE PLAN WILL HAVE APPROXIMATELY 13,910 Sq. Ft. OF DISTURBANCE.
 - 14.) THE PROPOSED BUILDING WILL STORE NO HAZARDOUS MATERIALS AND WILL BE USED TO STORE ENGINES AND TRANSMISSIONS WHEN THEY ARE REMOVED FROM VEHICLES. THEY WILL BE STORED ON CONCRETE OR SHELVING.
 - 15.) THE OPENING AT THE NECK OF THE DRIVE WAY IS 33' WIDE.
 - 16.) FOR MORE INFORMATION ON THIS MINOR SITE PLAN, CONTACT THE CITY OF ROCHESTER PLANNING DEPARTMENT, 31 WATKINS STREET, ROCHESTER, NH 03867, (603) 335-1338.

PARKING CALCULATIONS:
1 SPACES REQUIRED PER 1,000 Sq. Ft. OF STORAGE AREA
3,150 Sq. Ft. BUILDING = 3.15 SPACES, 4 SHOWN

- LEGEND:**
- UTILITY POLE
 - GUY WIRE
 - SILT FENCE
 - FILTREXX SILT SOXX
 - BUILDING SETBACK LINE
 - ZONE LINE
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED CONTOUR
 - EXISTING OVER HEAD UTILITIES
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING TRAVELED WAY
 - NHDOT 304.3 CRUSHED GRAVEL



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

REVISION	DATE	DESCRIPTION

PROPOSED SITE PLAN
FOR COLONY USED AUTO PARTS
LAND OF
CPJ PROPERTIES, LLC.
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE: 1 IN. EQUALS 20 FT.
DATE: APRIL 4, 2017
FILE NO.: DB 2016-049

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 1409

SHEET 4 OF 7

E1

E2

SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 6" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A
2. MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER;
3. THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT
4. REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE
5. FOR SEDIMENT STORAGE SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND
6. THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME
2. INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT.
3. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE
4. FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL
N.T.S.

E5

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

E8

SILT SOXX/SILT FENCE DETAIL
NOT TO SCALE

E2

EROSION CONTROL MIX BERM

EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

- (A) BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
- (B) THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
- (C) THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
- (D) SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100%, DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
- (E) WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
- (F) THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
- (G) THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 0.75-INCH SCREEN.
- (H) THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
- (I) THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.

E7

FILTREXX SEDIMENT CONTROL
NOT TO SCALE

SECTION NOT TO SCALE

NOTES

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILT/ROCK MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILT/ROCK COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.

Filtrexx International, LLC
35481 Grafton Eastern Rd | Grafton, Oh 44044
440-926-2607 | fax: 440-926-4021
WWW.FILTREXX.COM

E9

12" CAST IRON GRATE
NOT TO SCALE

BACKFILL MATERIAL SHALL BE THE TYPICAL CROSS SECTION PROVIDED

CASTINGS ARE RATED FOR H20 WHEEL LOAD TRAFFIC

PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

ADS N-12 INLINE DRAIN
NOT TO SCALE USED FOR CLEANOUTS

E3

TEMPORARY EROSION CONTROL MEASURES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 60 DAYS. AT ANY ONE TIME, NO MORE THAN 2 ACRES, (87,120 Sq. Ft.) WILL BE DISTURBED.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA CGP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.5" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN.

E4

INFILTRATION & SUBDRAIN DETAIL TYPICAL

NOT TO SCALE

CRUSHED STONE BEDDING *

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #57 - SECTION 702 OF NHDOT STANDARD SPECIFICATIONS

CONIFEROUS TREE PLANTING

MIN 2"-3" OF MULCH

3"-4" SOIL SAUCER (DURING ESTABLISHMENT)

FINISH GRADE

REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL. REMOVE ALL WIRE & STRING

NATIVE BACKFILL SOIL AMENDED WITH 25% (01/3 CU YD) DECOMPOSED ORGANIC MULCH AMENDMENT FOR ENTIRE TREE PIT AREA (APPROXIMATELY ROOTBALL DEPTH)

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)

6'-0" MIN OR 2 TIMES ROOTBALL

6'-0" MULCH AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION DURING ESTABLISHMENT

1'-0" MIN. TYP.

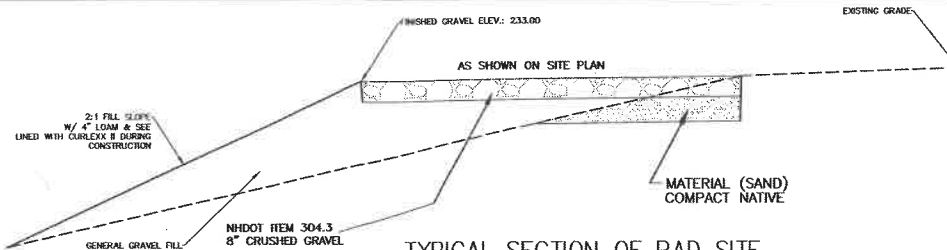
EROSION & SEDIMENT CONTROL & MISC. DETAILS
FOR COLONY USED AUTO PARTS
CPI PROPERTIES, LLC.
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205 LOT 134

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : APRIL 4, 2017
FILE NO. : DB 2016-049

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
LICENSED PROFESSIONAL ENGINEER

E-101
SHEET 6 OF 7

E10



TYPICAL SECTION OF PAD SITE

NOT TO SCALE

CROSS SECTION NOTES

1. ALL FILL TO BRING PAD SITE TO SUBGRADE SHALL BE INSTALLED IN LIFTS NO GREATER THAN 12".
2. ALL FILL SHALL BE COMPACTED TO 95% MINIMUM.

NOTE: Temporary seed mix for stabilization of turf shall be winter rye or oats at a rate of 2.5 lbs. per 1000 s.f. and shall be placed prior to OCT. 15, if permanent seeding not yet complete.

SEEDING GUIDE

USE	SEEDING MIXTURE 1/	MOISTURE	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND TROPICAL AREAS	A	POOR	GOOD	GOOD	POOR
	B	POOR	GOOD	GOOD	POOR
	C	POOR	GOOD	GOOD	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	POOR
	B	GOOD	GOOD	GOOD	POOR
	C	GOOD	GOOD	GOOD	POOR
LIGHTLY USED PARKING LOTS, OLD AREAS, UNGRADED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	POOR
	B	GOOD	GOOD	GOOD	POOR
	C	GOOD	GOOD	GOOD	POOR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	F	FAR	EXCELLENT	EXCELLENT	EXCELLENT
	G	FAR	EXCELLENT	EXCELLENT	EXCELLENT

GRAVEL, P.S. SEE NH-PW-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

SEEDING RATES

MIXTURE	POUNDS PER 1000 S.F.	POUNDS PER 1000 S.F.
A. TALL FESCUE	20	0.45
B. CREEPING RED FESCUE	20	0.45
C. RED TOP	40	0.90
D. TOTAL	80	1.80
E. TALL FESCUE	20	0.45
F. CREEPING RED FESCUE	20	0.45
G. CROWN VETCH	15	0.35
H. TOTAL	55	1.25
I. TALL FESCUE	24	0.55
J. CREEPING RED FESCUE	24	0.55
K. BRASS ROOT TREFOIL	40	0.90
L. TOTAL	88	1.95
M. TALL FESCUE	20	0.45
N. FLAT PEA	30	0.65
O. TOTAL	50	1.10
P. CREEPING RED FESCUE 1/	50	1.15
Q. KENTUCKY BLUEGRASS 1/	50	1.15
R. TOTAL	100	2.30
S. TALL FESCUE 1	100	2.30

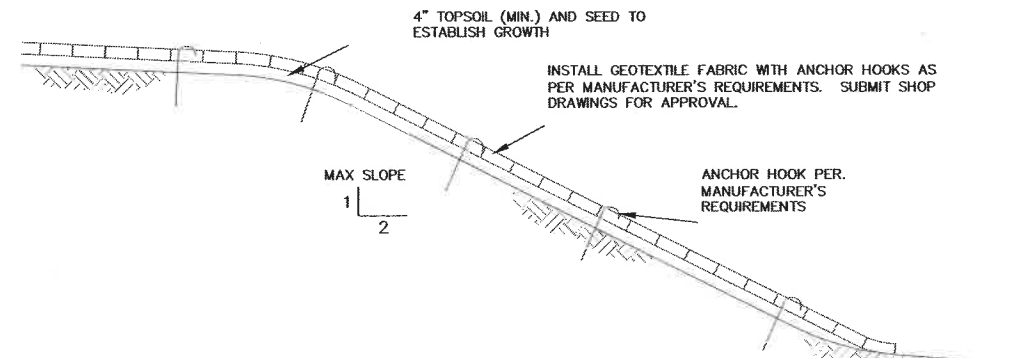
SEEDING SPECIFICATIONS

1. Grading and Shaping
 - a. Slopes shall not be steeper than 2:1; 3:1 slopes or flatter are preferred. Where mowing will be done, 3:1 slopes or flatter are recommended.
2. Seedbed Preparation
 - a. Surface and seepage water should be drained or diverted from the site to prevent drowning or winter killing of the plants.
 - b. Stones larger than 4 inches and trash should be removed because they interfere with seeding and future maintenance of the area. Where feasible, the soil should be tilled to a depth of about 4 inches to prepare a seedbed and mix fertilizer and lime into the soil. The seedbed should be left in reasonably firm and smooth condition. The last tillage operation should be performed across the slope wherever practical.
3. Establishing a Stand
 - a. Lime and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
Agricultural limestone, 2 tons per acre or 100lbs. per 1,000 sq.ft.
Nitrogen(N), 50lbs. per acre or 1.1lbs. per 1,000 sq.ft.
Phosphate(P2O5), 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.
Potash(K2O), 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.
(Note: This is the equivalent of 500lbs. per acre of 10-20-20 fertilizer or 1,000lbs. per acre of 5-10-10.)
 - b. Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling and hydroseeding. Where broadcasting is used, cover seed with .25 inch of soil or less, by cultipacking or raking.
 - c. Refer to Table(G-E1 this sheet) for appropriate seed mixtures and Table(H-E1 this sheet) for rates of seeding. All legumes (crownvetch, birdsfoot trefoil, and flatpea) must be inoculated with their specific inoculant.
 - d. When seeded areas are mulched, plantings may be made from early spring to early October. When seeded areas are not mulched, plantings should be made from early spring to May 20 or from August 10 to September 1.
4. Mulch
 - a. Hay, straw, or other mulch, when needed, should be applied immediately after seeding.
 - b. Mulch will be held in place using appropriate techniques from the Best Management Practice for mulching. Hay or straw mulch shall be placed at a rate of 90lbs per 1000 s.f.
5. Maintenance to Establish a Stand
 - a. Planted area should be protected from damage by fire, grazing, traffic, and dense weed growth.
 - b. Fertilization needs should be determined by onsite inspections. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennial take 2 to 3 years to become established.
 - c. In waterways, channels, or swales where uniform flow conditions are anticipated, occasional mowing may be necessary to control growth of woody vegetation.

DEFINITION OF STABLE:

1. WHEN A BASE COURSE GRAVEL HAS BEEN INSTALLED IN AN AREA TO BE PAVED.
2. WHEN A MINIMUM OF 85% STABILIZATION OCCURS.
3. WHEN A MINIMUM OF 3" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
4. WHEN PROPER EROSION CONTROL BLANKETS, SUCH AS CURLEX II, C350 OR OTHER DOT APPROVED MATTING, HAS BEEN INSTALLED PROPERLY.

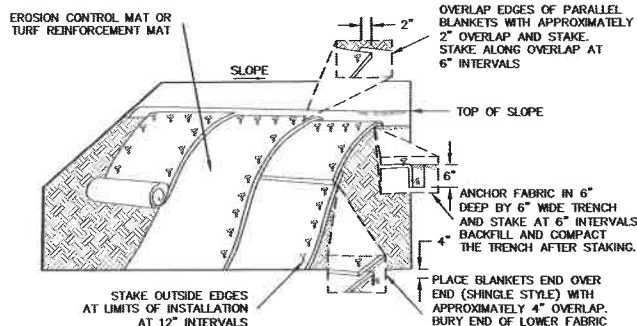
E13



SLOPE STABILIZATION DETAIL

NOT TO SCALE

E15



NOTE : STAKING PATTERNS SHALL FOLLOW MANUFACTURERS RECOMMENDATIONS.
MINIMUM SPACING 3' - 0" O.C. ACROSS FABRIC.

INSTALLATION OF EROSION CONTROL FABRICS

NOT TO SCALE

CONSTRUCTION SEQUENCE:

- 1.) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED
- 2.) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED.
- 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO ANY EARTH MOVING OPERATION & OR DIRECTING RUNOFF TO THEM.
- 4.) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
- 5.) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. BRING PAD SITE TO GRADE USING APPROVED MATERIALS.
- 6.) INSTALL PAD SITE AND START VERTICAL CONSTRUCTION.
- 7.) INSTALL DRIP EDGE AND INFILTRATION TRENCH.
- 8.) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE DISTURBED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED.
- 9.) CONSTRUCT TEMPORARY BERMS, DRAINS DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. NONE PROPOSED AT THIS TIME. HOWEVER THE ON SITE STORM WATER INSPECTOR MAY REQUIRE ADDITIONAL CONTROLS.
- 10.) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
- 11.) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12.) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
- 13.) SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- 14.) TOP AND COMPACT AREAS NEEDING CRUSHED GRAVEL, IF DISTURBED DURING CONSTRUCTION.

E16

E12

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

EROSION & SEDIMENT CONTROL & MISC. DETAILS

FOR COLONY USED AUTO PARTS
LAND OF
CPJ PROPERTIES, LLC
ROUTE 125/MILTON ROAD
ROCHESTER, N.H.
TAX MAP 205, LOT 134

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : APRIL 4, 2017
FILE NO. : DB 2016-049

STATE OF NEW HAMPSHIRE
KENNETH A. BERRY
Professional Engineer

E-102