



NONRESIDENTIAL SITE PLAN APPLICATION

City of Rochester, New Hampshire

[office use only. Check # _____ Amount \$ _____ Date paid _____]

Date: 5/8/17 Is a conditional use needed? Yes: _____ No: _____ Unclear: _____
(If so, we encourage you to submit an application as soon as possible.)

Property information

Tax map #: 114; Lot #(s): 7; Zoning district: Highway Commercial - HC District

Property address/location: 361-381 North Main Street

Name of project (if applicable): Proposed Dairy Queen 'Grill and Chill' Restaurant

Size of site: 1.38 acres; overlay zoning district(s)? N/A

Property owner

Name (include name of individual): Opportunity Realty of Rochester, LLC

Mailing address: PO Box 1330, Rochester, NH 03866

Telephone #: _____ Email: _____

Applicant/developer (if different from property owner)

Name (include name of individual): Amaral Revite c/o Jeff Benevides

Mailing address: 148 West River Street, Suite 5

Telephone #: (401) 454-6867 Email: jmbenevides@amaralrevite.com

Engineer/designer

Name (include name of individual): Bohler Engineering c/o Anthony Donato

Mailing address: 352 Turnpike Road, Southborough, MA 01772

Telephone #: 508-480-9900 Fax #: 508-480-9080

Email address: adonato@bohlereng.com Professional license #: _____

Proposed activity (check all that apply)

New building(s): ☒ Site development (other structures, parking, utilities, etc.): ☒

Addition(s) onto existing building(s): _____ Demolition: _____ Change of use: _____

(Continued Nonresidential Site Plan application Tax Map: 114 Lot: 7 Zone HC)

Describe proposed activity/use: Construction of new 2,600 SF drive-through fast food restaurant,
with associated parking, utilities, grading, and site work

Describe existing conditions/use (vacant land?): Vacant land, with existing curb cuts and minor
impervious area

Utility information

City water? yes ☒ no ☐; How far is City water from the site? 50 ft

City sewer? yes ☒ no ☐; How far is City sewer from the site? 60 ft

If City water, what are the estimated total daily needs? 960 gallons per day

If City water, is it proposed for anything other than domestic purposes? yes ☐ no ☐

If City sewer, do you plan to discharge anything other than domestic waste? yes ☒ no ☐

Where will stormwater be discharged? Connected to existing stormwater structures in street

Building information

Type of building(s): Restaurant

Building height: 24 ft Finished floor elevation: 130.50

Other information

parking spaces: existing: 0 total proposed: 45; Are there pertinent covenants? No

Number of cubic yards of earth being removed from the site N/A - net fill

Number of existing employees: 0; number of proposed employees total: 8

Check any that are proposed: variance ☐; special exception ☐; conditional use ☐

Wetlands: Is any fill proposed? N/A; area to be filled: N/A; buffer impact? N/A

Proposed <u>post-development</u> disposition of site (should total 100%)		
	Square footage	% overall site
Building footprint(s) – give for each building	3,075	5.1
Parking and vehicle circulation	26,117	43.5
Planted/landscaped areas (excluding drainage)	18,081	30.1
Natural/undisturbed areas (excluding wetlands)	6,383	10.7
Wetlands	N/A	
Other – drainage structures, outside storage, etc.	6,344	10.6

(Continued Nonresidential Site Plan application Tax Map: 114 Lot: 7 Zone HC)

Comments

Please feel free to add any comments, additional information, or requests for waivers here:

Waiver will be requested for stormwater volume increase. Rates will be attenuated, but volume of stormwater being discharged from lot will increase. See drainage report for additional information.

Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

I (we) hereby submit this Site Plan application to the City of Rochester Planning Board pursuant to the City of Rochester Site Plan Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.

Signature of property owner: See Authorization letter

Date: _____

Signature of applicant/developer: See Authorization letter

Date: 5/8/17

Signature of agent: [Signature]

Date: _____

Authorization to enter subject property

I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.

Signature of property owner: See Authorization letter

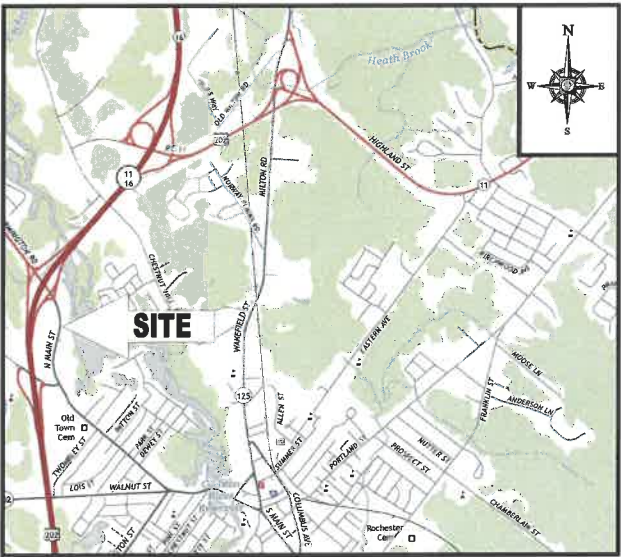
SITE DEVELOPMENT PLANS

FOR:
PROPOSED



WITH DRIVE-THRU

LOCATION OF SITE:
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NEW HAMPSHIRE
MAP 114, LOT 7

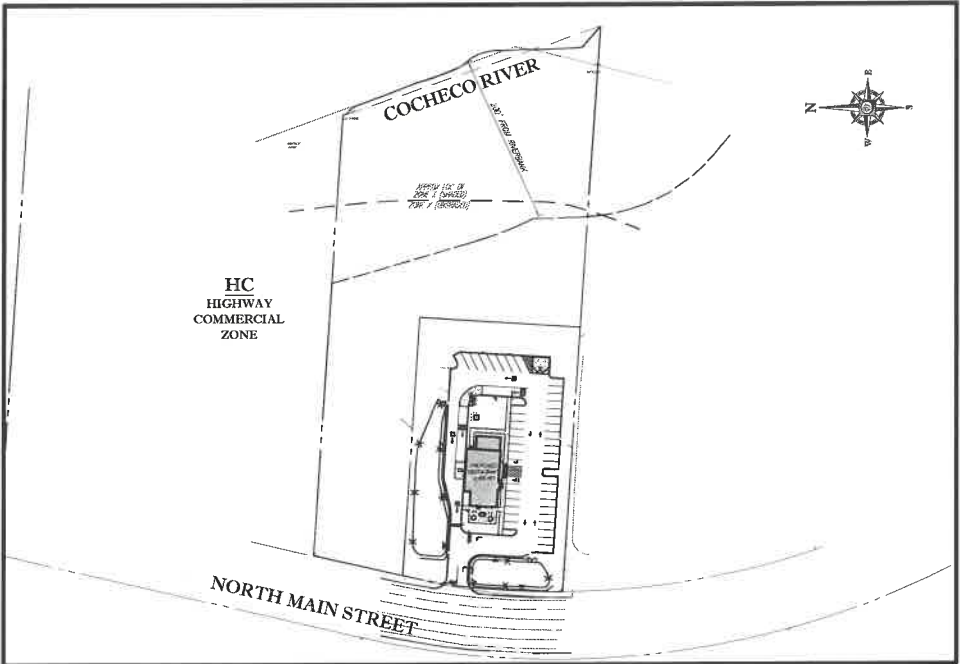


LOCATION MAP

SCALE: 1"=1000'
PLAN REFERENCE: ROCHESTER NH-MAE USGS QUADRANGLE

FOR MORE INFORMATION ON THIS SITE
PLAN CONTACT:

ENGINEER
ANTHONY DONATO
BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772



AREA PLAN

SCALE: 1"=100'

APPROVAL BLOCK

SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE
SIGNATURE	DATE

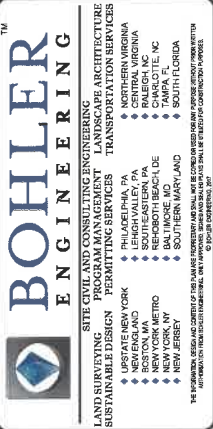
PREPARED BY



BOHLER
ENGINEERING

SHEET TITLE	SHEET NUMBER
COVER SHEET	1 OF 14
GENERAL NOTES SHEET	2 OF 14
DEMOLITION PLAN	3 OF 14
SITE PLAN	4 OF 14
GRADING & DRAINAGE PLAN	5 OF 14
UTILITY PLAN	6 OF 14
SOIL EROSION & SEDIMENT CONTROL PLAN	7 OF 14
SOIL EROSION CONTROL NOTES & DETAILS SHEET	8 OF 14
LANDSCAPE PLAN	9 OF 14
LANDSCAPE NOTES & DETAILS SHEET	10 OF 14
LIGHTING PLAN	11 OF 14
CONSTRUCTION DETAIL SHEET	12 OF 14
CONSTRUCTION DETAIL SHEET	13 OF 14
CONSTRUCTION DETAIL SHEET	14 OF 14
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1
FLOOR PLANS (BY OTHERS)	1 OF 1
BUILDING ELEVATION (BY OTHERS)	1 OF 1
SUBDIVISION PLAN (BY OTHERS)	1 OF 1

SHEET INDEX



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PRELIMINARY

PROJECT NO.: W161182
DRAWN BY: WS
CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD I.D.: W161182SS0

PROJECT: SITE
DEVELOPMENT
PLANS
FOR



LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7



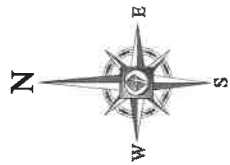
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SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1
OF 14

REV 0 - 05/08/2017



MAP 114, LOT 7
N/F LANDS OF
OPPORTUNITY REALTY OF
ROCHESTER LLC
BK 2252, PG. 150

APPROX. LIMIT OF
CLEARING (TYP.)

EXIST. WOODED
AREA (TBR)

EXIST. UTILITY POLE (TO
REMAIN) (GC TO PROTECT
DURING CONSTRUCTION)

EDGE OF
WOODS
(TBR)

APPROX. LIMIT OF
WORK LINE (TYP.)

MAP 114, LOT 8
N/F LANDS OF
MAINLY ROCHESTER PIZZA LLC
303 NORTH MAIN STREET
LOT SIZE = 156,818 SF
APPROX. BUILDING FOOTPRINTS = 5,800 SF

ZONE: HC
(HIGHWAY COMMERCIAL)
USE: RESTAURANT

ZONE: HC
(HIGHWAY COMMERCIAL)
USE: VACANT

APPROX. LIMIT OF
WORK LINE (TYP.)

EXIST. GRASS
AREA (TBR)

EXIST. UTILITY POLE (TO REMAIN)
(GC TO PROTECT DURING
CONSTRUCTION)

APPROX. LIMIT OF
CLEARING (TYP.)

EDGE OF
WOODS
(TBR)

EXIST. 8" CONCRETE
BASE (TBR)

EXIST. ASPHALT
PAVEMENT (TBR)

EXIST. STORMWATER QUALITY
STRUCTURE (TO REMAIN) (GC TO
PROTECT DURING CONSTRUCTION)
(SEE NOTE)

HIGHWAY LINE PER
BK 959, PG. 744

EXIST. CURB BOX TO
REMAIN (TYP. OF 3)

EXIST. GRANITE
CURB (TBR) (LIMIT)

EXIST. GRANITE
CURB (TBR) (LIMIT)

EXIST. GRANITE
CURB (TBR) (LIMIT)

EXIST. GRANITE
CURB (TBR) (LIMIT)

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CURB (TBR) (LIMIT)

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EXIST. GRANITE
CURB (TBR) (LIMIT)

EXIST. GRANITE
CURB (TBR) (LIMIT)

NORTH MAIN STREET

(PUBLIC - VARIABLE WIDTH)
(A.K.A. FARMINGTON ROAD)
(A.K.A. NH ROUTE 11)
(ASPHALT ROADWAY)

← TWO WAY
TRAFFIC

NOTE:
STORMWATER QUALITY STRUCTURE AS NOTED ON "STATE OF NEW
HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY
PLANS, NH PROJECT NO. 10620-D (CONSTRUCTION CONTRACT I & L)
SPAULDING TURNPIKE, NH ROUTE 16, PAGE 17 & 18," PREPARED BY
NHDOT, DATED FEBRUARY 1, 2006. NO EVIDENCE OF STRUCTURE WAS
OBSERVED IN FIELD AT TIME OF FIELD SURVEY.

REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL
PURPOSES ONLY



BOHLER ENGINEERING

LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING TRANSPORTATION SERVICES
ARCHITECTURAL DESIGN

NEW YORK: PHILADELPHIA: PITTSBURGH: RICHMOND: WASHINGTON, DC
ALBANY: ALBUQUERQUE: ANCHORAGE: ARIZONA: ARKANSAS: CALIFORNIA
CONNECTICUT: DELAWARE: FLORIDA: GEORGIA: ILLINOIS: INDIANA
IOWA: KANSAS: KENTUCKY: LOUISIANA: MAINE: MARYLAND: MASSACHUSETTS
MICHIGAN: MINNESOTA: MISSISSIPPI: MISSOURI: MONTANA: NEBRASKA
NEVADA: NEW HAMPSHIRE: NEW JERSEY: NEW MEXICO: NEW YORK
NORTH CAROLINA: NORTH DAKOTA: OHIO: OKLAHOMA: OREGON: PENNSYLVANIA
RHODE ISLAND: SOUTH CAROLINA: SOUTH DAKOTA: TENNESSEE: TEXAS
UTAH: VERMONT: VIRGINIA: WISCONSIN: WYOMING

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PRELIMINARY

PROJECT No.: W161182
DRAWN BY: WS
CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD I.D.: W161182SSD

PROJECT: **SITE
DEVELOPMENT
PLANS
FOR**



LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7

BOHLER ENGINEERING

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com



SHEET TITLE:

**DEMOLITION
PLAN**

SHEET NUMBER:
3
OF 14

REV 0 - 05/08/2017



1. APPLICANT:
AMARAL REVITE
148 WEST RIVER STREET, SUITE 5
PROVIDENCE, RI 02904
2. OWNER:
OPPORTUNITY REALTY OF ROCHESTER, LLC
PO BOX 1330
ROCHESTER, NH 03866
3. PARCEL:
MAP 114, LOT 7
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STAFFORD COUNTY, NEW HAMPSHIRE

WAIVER WILL BE REQUIRED FROM STORMWATER VOLUME REQUIREMENT (50.8 A (4) C); ROCHESTER STORMWATER MANAGEMENT REGULATIONS. PEAK RATES WILL BE DECREASED IN THE PROPOSED CONDITIONS, BUT THE OVERALL VOLUME BEING DISCHARGED FROM THE SITE WILL BE INCREASED. THIS IS DUE TO THE PRESENCE OF A FORMER TOWN-OPERATED LANDFILL BEING PRESENT UNDERNEATH THE FILL ON-SITE.

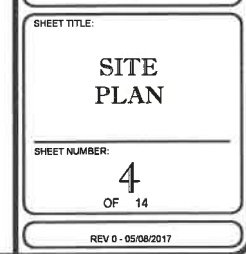
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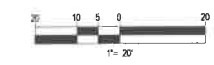
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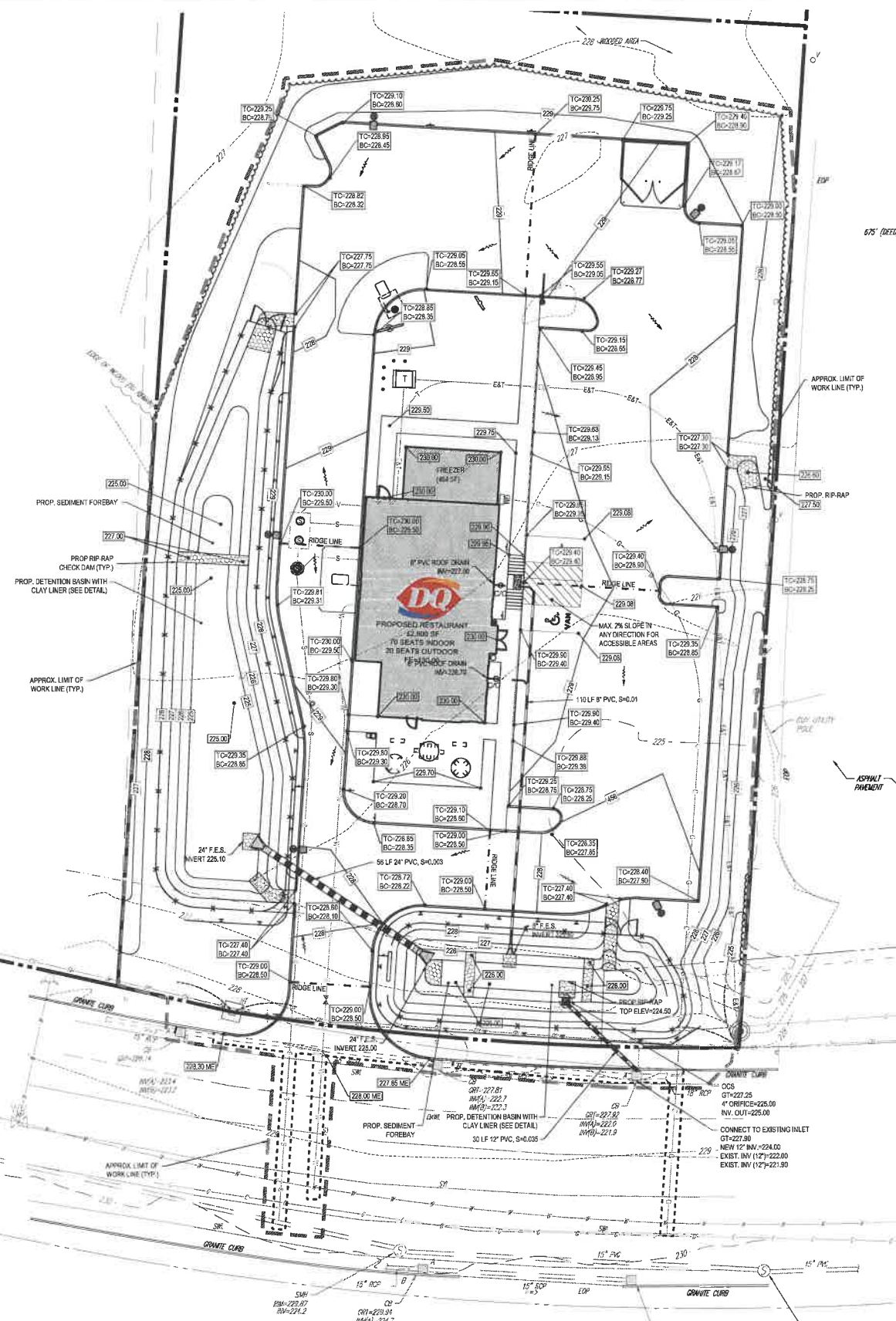
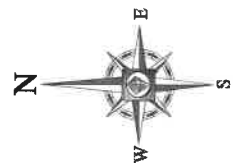
Phone: (508) 480-9900
Fax: (508) 460-9080

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THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY





NORTH MAIN STREET
(PUBLIC - VARIABLE WIDTH)
(A.K.A FARMINGTON ROAD)
(A.K.A NH ROUTE 11)
(ASPHALT ROADWAY)
← TWO WAY TRAFFIC

675' (DET'D)

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
PAVING, SITE GRADING, EROSION CONTROL, DRAINAGE, RETENTION, TRANSPORTATION SERVICES
DESIGN, CONSTRUCTION, MAINTENANCE, INSPECTION, TESTING, SURVEYING
NEW ENGLAND
NEW YORK
NEW JERSEY
NEW HAMPSHIRE
MASSACHUSETTS
CONNECTICUT
RHODE ISLAND
VIRGINIA
NORTH CAROLINA
SOUTH CAROLINA
FLORIDA
ALABAMA
LOUISIANA
MISSISSIPPI
ARKANSAS
OKLAHOMA
TEXAS
UTAH
NEVADA
IDAHO
MONTANA
WYOMING
COLORADO
KANSAS
MINNESOTA
WISCONSIN
ILLINOIS
INDIANA
OHIO
PENNSYLVANIA
DELAWARE
MARYLAND
VIRGINIA
NORTH CAROLINA
SOUTH CAROLINA
FLORIDA
ALABAMA
LOUISIANA
MISSISSIPPI
ARKANSAS
OKLAHOMA
TEXAS
UTAH
NEVADA
IDAHO
MONTANA
WYOMING
COLORADO
KANSAS
MINNESOTA
WISCONSIN
ILLINOIS
INDIANA
OHIO
PENNSYLVANIA
DELAWARE
MARYLAND

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PRELIMINARY

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PROJECT: SITE DEVELOPMENT PLANS FOR

LOCATION OF SITE
381-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7

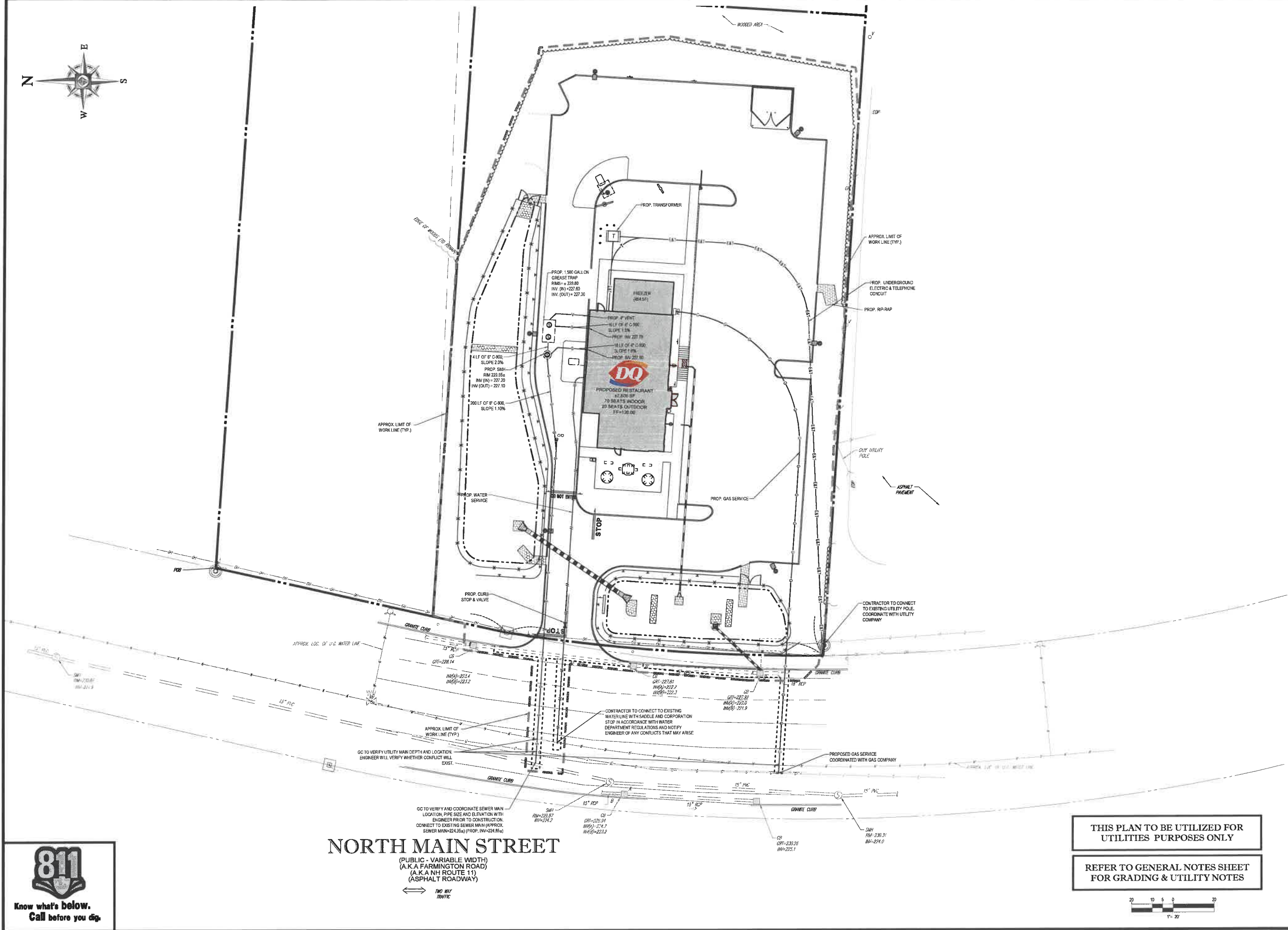
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www.BohlerEngineering.com

J.G. SWERLING
STATE OF NEW HAMPSHIRE
REGISTERED PROFESSIONAL ENGINEER
CIVIL
EXPIRATION DATE: 12/31/2018

SHEET TITLE:
GRADING & DRAINAGE PLAN

SHEET NUMBER:
5
OF 14

REV 0 - 05/08/2017



(PUBLIC - VARIABLE WIDTH)
(A.K.A FARMINGTON ROAD)
(A.K.A NH ROUTE 11)
(ASPHALT ROADWAY)

 TWO WAY
TRAFFIC

REV 0 - 05/08/2017



NORTH MAIN STREET

 TWO WAY
INTERACTION

Age Group	Percentage (%)
18-20	18
21-25	12
26-30	8
31-35	5
36-40	3
41-45	2
46-50	1
51-55	1
56-60	1
61-65	1
66-70	1
71-75	1
76-80	1
81-85	1
86-90	1
91-95	1
96-100	1



REVISIONS

PRELIMINARY

PROJECT: **SITE
DEVELOPMENT
PLANS
—FOR—**


BOHLER
ENGINEERING

A circular professional engineer seal for J.G. Swerling, State of New Hampshire, License No. 1000. The seal features the text "J.G. SWERLING" at the top, "STATE OF NEW HAMPSHIRE" around the perimeter, and "PROFESSIONAL ENGINEER" and "LICENSE NO. 1000" in the center.

SHEET TITLE:

SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER: 7 OF 14

REV D - 05/08/2017

EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 19-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT) TO 50% CALCIUM PLUS MAGNESIUM OXIDE AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BANK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH MULCH BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION/PROTECT AREA	MULCH STRAW	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)*	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELISOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEGS AND TWINE (1 SQ. YARD/LOCK). MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LB/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SEPARATE STRAIGHT DOK. NETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR SEED AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINE GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300# HIGH (CH) THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNPROTECTED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



Know what's below.
Call before you dig.

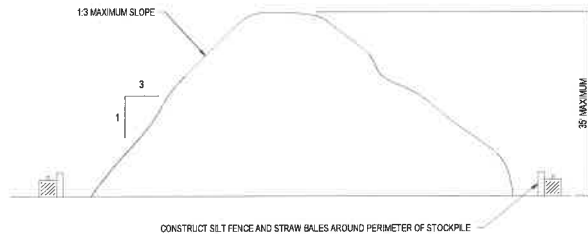
CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

TREE PROTECTION DURING CONSTRUCTION

N.T.S.



TEMPORARY STOCKPILE DETAIL

N.T.S.

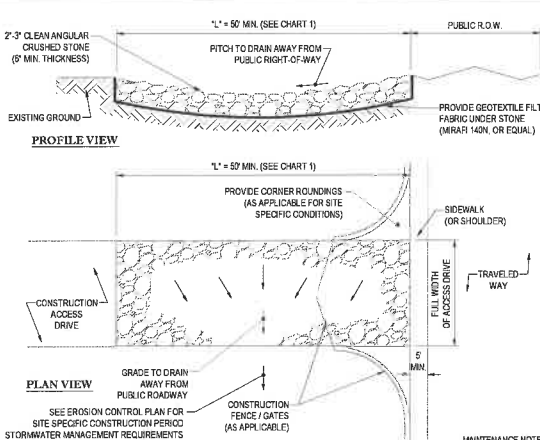


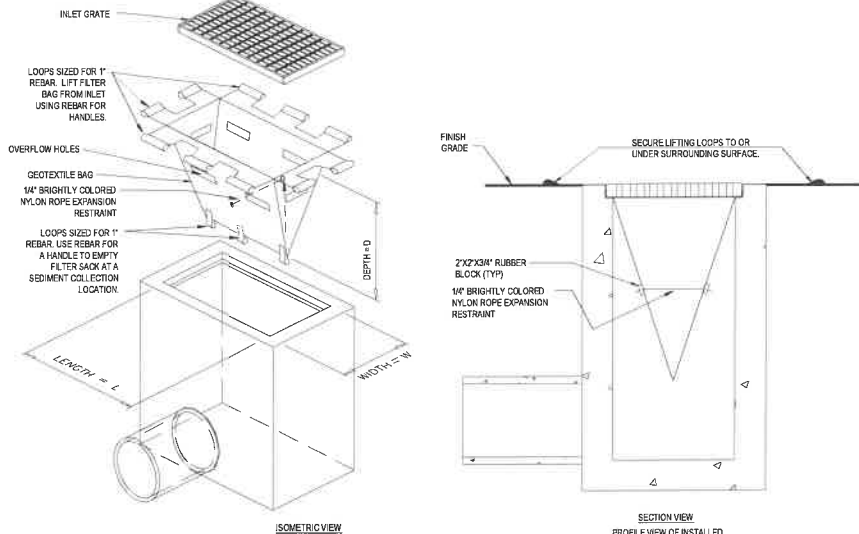
CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABRIC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

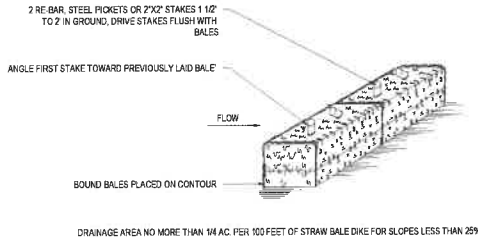
STABILIZED CONSTRUCTION EXIT

N.T.S.



FILTER SACKS (GRADED INLETS)

N.T.S.



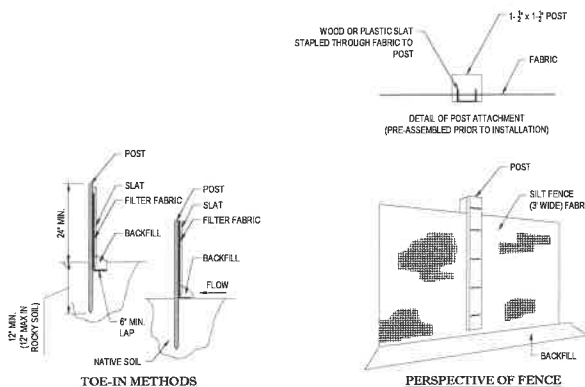
NOTES:

- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
- EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DETAIL

N.T.S.

- INSTALLATION:
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.



TYP. SILTATION FENCE DETAIL

N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4532	300 LBS	
GRAB TENSILE ELONGATION	ASTM D-4532	20 %	
PUNCTURE	ASTM D-4533	120 LBS	
MULLER BURST	ASTM D-5786	800 PSI	
TRAPEZOID TEAR	ASTM D-4533	120 LBS	
UV RESISTANCE	ASTM D-4355	80 %	
APPROXIMATE OPENING SIZE	ASTM D-4751	40 US SIEVE	
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4481	0.55 SEC-1	

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4532	250 LBS	
GRAB TENSILE ELONGATION	ASTM D-4532	20 %	
PUNCTURE	ASTM D-4533	135 LBS	
MULLER BURST	ASTM D-5786	420 PSI	
TRAPEZOID TEAR	ASTM D-4533	45 LBS	
UV RESISTANCE	ASTM D-4355	80 %	
APPROXIMATE OPENING SIZE	ASTM D-4751	20 US SIEVE	
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT	
PERMITTIVITY	ASTM D-4481	1.5 SEC-1	

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ABSORBENT PAD OR FLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING
MAY CAUSE TRAFFIC HAZARDS.
TO BE USED IN EXISTING RIGHT OF WAY

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
PERMITTING SERVICES TRANSPORTATION SERVICES
SUSTAINABLE DESIGN

NEW HAMPSHIRE
MAINE
VERMONT
NEW JERSEY
NEW YORK
CONNECTICUT
MASSACHUSETTS
RHODE ISLAND
PENNSYLVANIA
DELAWARE
MARYLAND
VIRGINIA
NORTH CAROLINA
SOUTH CAROLINA
FLORIDA
ALABAMA
LOUISIANA
MISSISSIPPI
ARKANSAS
OKLAHOMA
TEXAS
UTAH
NEVADA
IDAHO
MONTANA
WYOMING
COLORADO
KANSAS
MINNESOTA
WISCONSIN
ILLINOIS
INDIANA
OHIO
MICHIGAN
WYOMING
NEVADA
IDAHO
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REVISIONS

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PRELIMINARY

PROJECT NO.: W161182
DRAWN BY: HNS
CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD I.D.: W161182SSD

SITE DEVELOPMENT PLANS FOR



LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7

BOHLER ENGINEERING

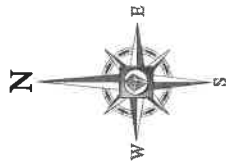
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com



SOIL EROSION CONTROL NOTES & DETAILS SHEET

SHEET NUMBER:
8
OF 14

REV 0 - 05/08/2017



10' SIDE YARD DISTANCE LANDSCAPE BUFFER

ZONE: MC
(HIGHWAY COMMERCIAL)
USE: VACANT

PROP. BIO-RETENTION SEED MIX
OVER 6" NEW TOPSOIL (TYP.)

PROP. HYDROSEED LAWN
OVER 6" NEW TOPSOIL (TYP.)

PROP. 3" LAYER OF DOUBLE SHREDDED
HARDWOOD BARK MULCH OVER WATER
PERMEABLE WEED BARRIER FABRIC IN
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HARDWOOD BARK MULCH OVER WATER
PERMEABLE WEED BARRIER FABRIC IN
ALL PLANT BEDS (TYP.)

PROP. 3" LAYER OF DOUBLE SHREDDED
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PROP. 3" LAYER OF DOUBLE SHREDDED
HARDWOOD BARK MULCH OVER WATER
PERMEABLE WEED BARRIER FABRIC IN
ALL PLANT BEDS (TYP.)

NORTH MAIN STREET

(PUBLIC - VARIABLE WIDTH)
(A.K.A FARMINGTON ROAD)
(A.K.A NH ROUTE 11)
(ASPHALT ROADWAY)

← TWO WAY TRAFFIC →



Know what's below.
Call before you dig.

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
AR	5	ACER RUBRUM	RED MAPLE	3-3 1/2" CAL	B+B
QP	2	QUERCUS PALUSTRIS	PIN OAK	3-3 1/2" CAL	B+B
SUBTOTAL:	7				
DECIDUOUS SHRUB(S)					
CA	20	CLETHRA ALNIFOLIA	SUMMERWEET CLETHRA	24-30"	#5 CAN
CAE	18	CORNUS ALBA 'ELEGANTISSIMA'	VAREGATED RED TWIG DOGWOOD	2-3"	B+B
SBC	16	SPIRAEA X. SUMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	24-30"	#5 CAN
SJLP	9	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24-30"	#5 CAN
SUBTOTAL:	64				
EVERGREEN SHRUB(S)					
ICH	2	ILEX CRENATA 'HELLER'	HELLER JAPANESE HOLLY	24-30"	#5 CAN
IGC	16	ILEX GLABRA 'COMPACTA'	DWARF INKBERY HOLLY	24-30"	#5 CAN
RGPW	44	RHOODODENDRON X GIRARD 'GIRARD'	GIRARD PLEASANT WHITE AZALEA	24-30"	#5 CAN
TH	16	TAXUS MEDIA 'HOLBY'	HICKS YEW	30-36"	B+B
SUBTOTAL:	78				
PERENNIAL(S)					
H-R	62	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER
SUBTOTAL:	62				
ORNAMENTAL GRASS(S)					
CAK	23	CALAMAGROSTIS ARUNDINACEA 'KARL FORSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
SUBTOTAL:	23				

CITY OF ROCHESTER LANDSCAPE REQUIREMENTS

SECTION OF BY-LAW	DESCRIPTION	REQUIRED	PROPOSED
SECTION 5 LANDSCAPING	A 10' WIDE SIDE LANDSCAPE BUFFER SHALL BE ESTABLISHED ALONG THE ENTIRE SIDE OF LINE ALONG THE RIGHT OF WAY.	YES	YES
D.8.b.	AT LEAST ONE SHADE TREE SHALL BE PLANTED IN THE FRONT BUFFER FOR EVERY 40' OF BUFFER. 156 LF / 40' = 3.9, OR 4 SHADE TREES	4 TREES	4 TREES
D.8.c.	AT LEAST 2 SHADE TREES SPACED 40' APART SHALL BE PLANTED WITHIN THE 50' OF EACH SIDE BUFFER	YES	YES
D.8.f.	THE FRONT BUFFER AND FRONT 50' FEET OF BOTH SIDE BUFFERS SHALL BE PLANTED WITH SUFFICIENT TREES AND SHRUBS IN ORDER THAT AT MATURITY (DEFINED HEREIN TO BE 5 YEARS FROM INSTALLATION), AT LEAST 33-1/3% OF AN AREA OF THE BUFFER, AS LOOKED DOWN UPON FROM ABOVE, WOULD BE COVERED BY THE CANOPIES OF THE TREES AND SHRUBS.	YES	YES
E.2.	ALL OFF STREET PARKING SHALL BE SCREENED FROM THE RIGHT OF WAY TO PROVIDE AT LEAST 3.5' OF SCREENING ABOVE GRADE.	YES	YES
E.8.	SHADE TREES SHALL BE PLANTED NO FURTHER AWAY THAN 75' ON CENTER AROUND OR WITHIN THE PARKING LOT.	YES	YES
E.11.	THERE SHALL BE A MINIMUM 4' WIDE FOUNDATION PLANTING BUFFER ALONG THE BUILDING.	YES	YES

OWNER MAINTENANCE RESPONSIBILITIES

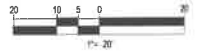
UPON OWNERS (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE (SPEC: WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (TOP ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PROPOSED LOTS AND ADJACENT FOREST AREAS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES &
DETAILS SHEET FOR LANDSCAPE
NOTES AND DETAILS



REVISIONS

REV	DATE	COMMENT	BY
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PRELIMINARY

PROJECT No.: W161182
DRAWN BY: VMS
CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD I.D.: W161182SSD

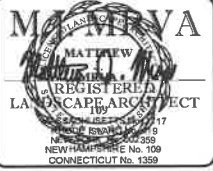
SITE DEVELOPMENT PLANS FOR



LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com



SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:
9
OF 14

REV D - 05/08/2017

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK

THE LANDSCAPE CONTRACTOR OR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LAWN MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS. DRINKING WATER.

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5% A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.

I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CRP SEED.

II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES DETAILS.

E. FERTILIZER

I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER.

II. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.

III. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 8% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL

I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).

II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.

IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED.

V. PLANTS SHALL NOT BE SOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.

VII. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.

VIII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB AND NOT TO THE LONGEST BRANCH.

IX. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS. SOD AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION

A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISIFENCE, OR APPROVED EQUIV., MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOMES OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.

I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12" OF COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.

II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.

III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 80%) BY ADDING ORGANIC MATTER AND/OR DIRTY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINISH GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRACED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING

A. CONTRACTOR SHALL PROVIDE A 2" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM MANNER TO ACHIEVE THE DESIRED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.A.3)).

I. 20 POUNDS "GRO-POWER" OR APPROVED SOIL CONDITIONER/FERTILIZER.

II. 20 POUNDS NITRO-FORM (COURSES) 30-0-0 BLUE CHAP OR APPROVED NITROGEN FERTILIZER.

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING

A. INsofar AS IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LAND PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-Biodegradable MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

I. PLANTS: MARCH 15 TO DECEMBER 15

II. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER RUBRUM

BETULA VARIETIES

CARPINUS VARIETIES

CRATAEGUS VARIETIES

KOELERUTERIA

LIQUIDAMBAR STYRACIFLUA

LIRIODENDRON TULIPIFERA

PLATANUS X ACERIFOLIA

POPULUS VARIETIES

PRUNUS VARIETIES

PYRUS VARIETIES

QUERCUS VARIETIES

TILIA TOMENTOSA

ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

I. 1 PART PEAT MOSS

II. 1 PART COMPOSTED COW MANURE BY VOLUME

III. 3 PARTS TOPSOIL BY VOLUME

IV. 21 GRAMS AGRIFORM PLANTING TABLETS (OR APPROVED EQUIV.) AS FOLLOWS:

A) 2 TABLETS PER 1 GALLON PLANT

B) 7 TABLETS PER 5 GALLON PLANT

C) 4 TABLETS PER 15 GALLON PLANT

D) LARGER PLANTS 2 TABLETS PER 1" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

L. GROUND COVER AREAS SHALL RECEIVE A 1" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)

A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.

13. CLEANUP

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

14. MAINTENANCE (ALTERNATIVE BID)

A. 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MAINTAINED TO THE APPROVAL OF THE OWNER/OPERATOR.

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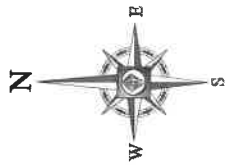
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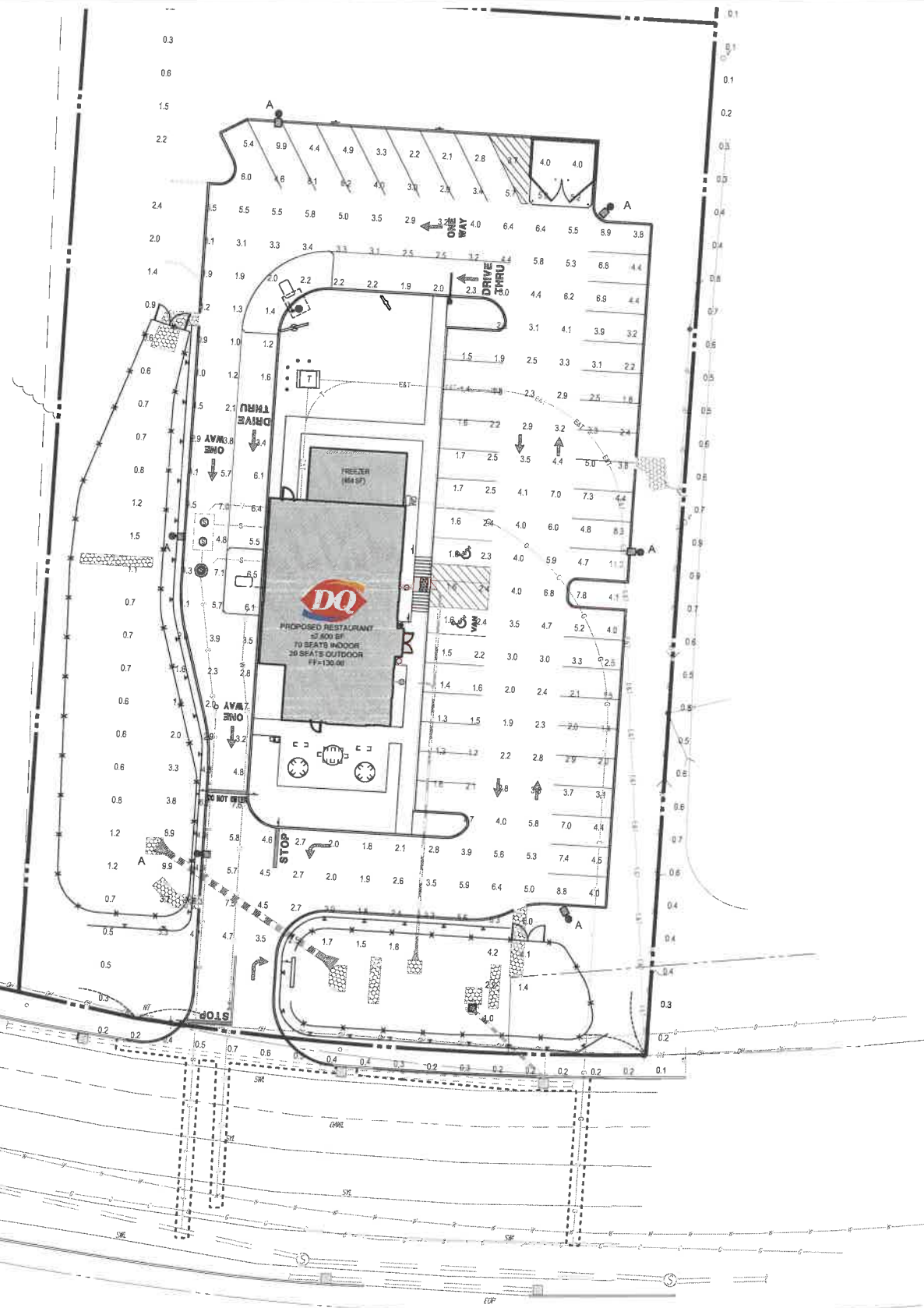
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERT



NORTH MAIN STREET

(PUBLIC - VARIABLE WIDTH)
(A.K.A FARMINGTON ROAD)
(A.K.A NH ROUTE 11)
(ASPHALT ROADWAY)

← TWO WAY TRAFFIC →



LIGHTING NOTES:

- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL, GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING OF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES. UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNERS ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS LIGHTING CONTRACTORS RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNERS ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- LIGHTING PLAN BASED UPON A PLAN TITLED "POINT-TO-POINT FOOTCANDLE PLOT FOR DAIRY QUEEN ROCHESTER NH", PREPARED BY SECURITY LIGHTING, DATED 11/29/16.

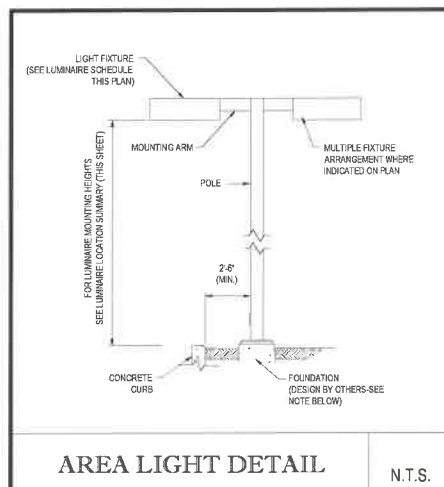
NUMERIC SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED SURFACE READINGS	ILLUMINANCE	FC	3.80	17.8	0.5	7.51	35.50
PROPERTY LINE READINGS	ILLUMINANCE	FC	0.50	2.8	0.0	N/A	N/A

LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
⊙ A	6	SINGLE	N/A	0.87	VPL-58NS-285-SL-T4-UNV-RA-11" WITH SSP-4118-11" TT (4") POLE (MOUNTED AT 20')

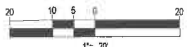
** - SPECIFY COLOR



NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY



BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES
PALESTINE, PA 17251
BOSTON, MA 02108
NEW ENGLAND, MA 01901
NEW YORK, NY 10001
NEW JERSEY 07001
SOUTH CAROLINA 29405
SOUTH DAKOTA 57001
TAMPA, FL 33601
TULSA, OK 74101
UTAH 84001
VIRGINIA 22001
WASHINGTON, DC 20001
WEST VIRGINIA 26001
WISCONSIN 53001
WYOMING 82001

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PRELIMINARY

PROJECT No.: W181182
DRAWN BY: WS
CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD I.D.: W181182SSO

PROJECT: SITE DEVELOPMENT PLANS FOR

LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7

BOHLER ENGINEERING

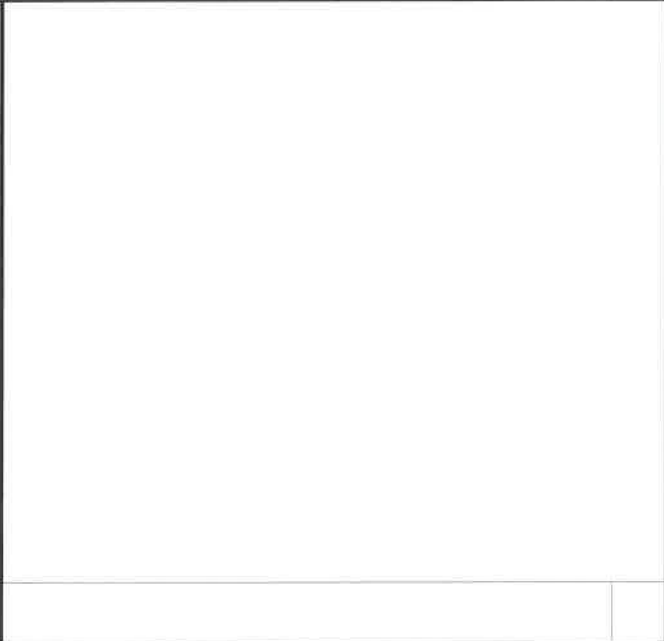
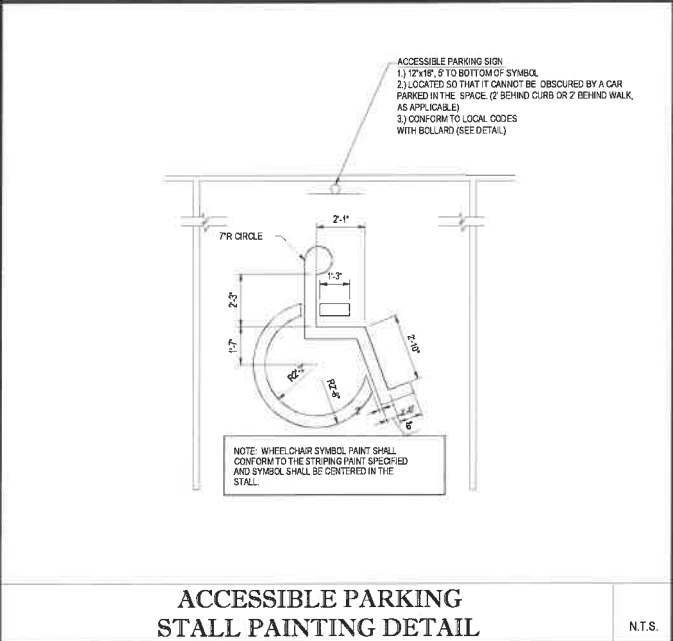
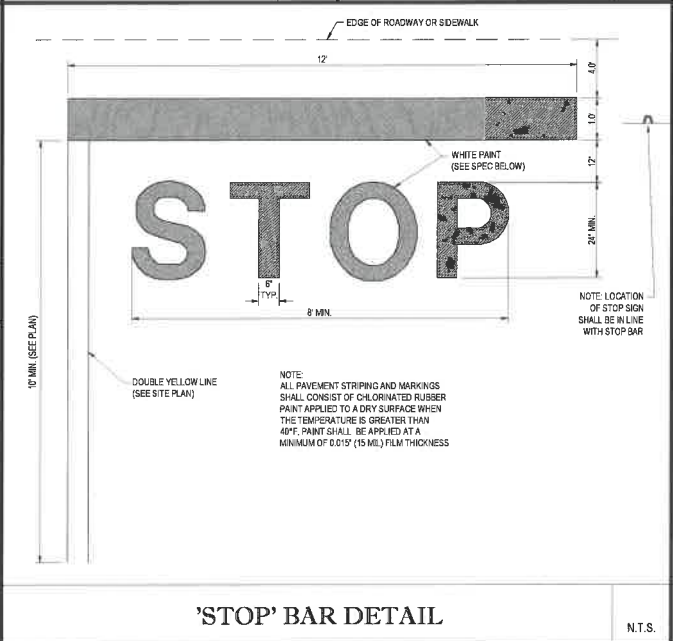
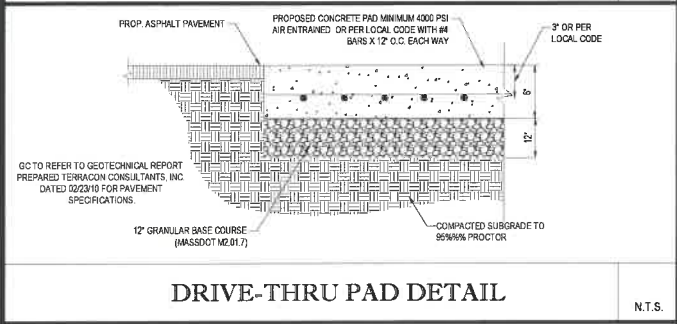
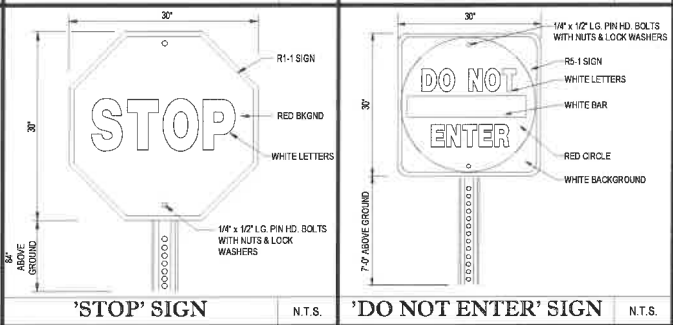
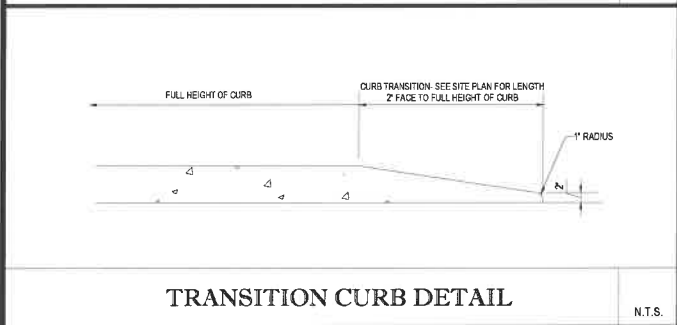
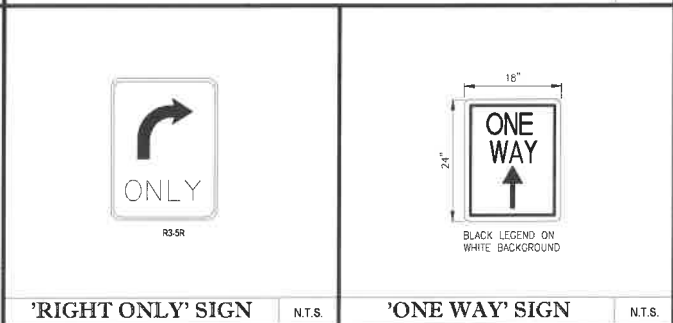
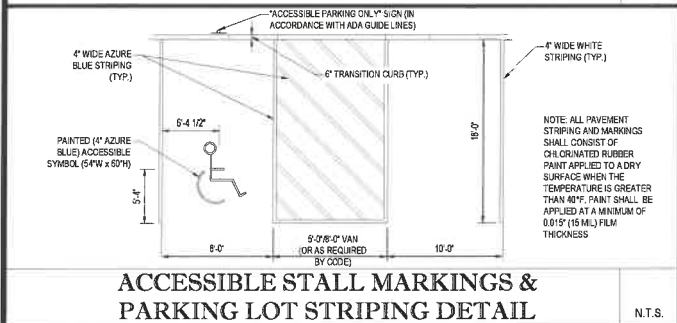
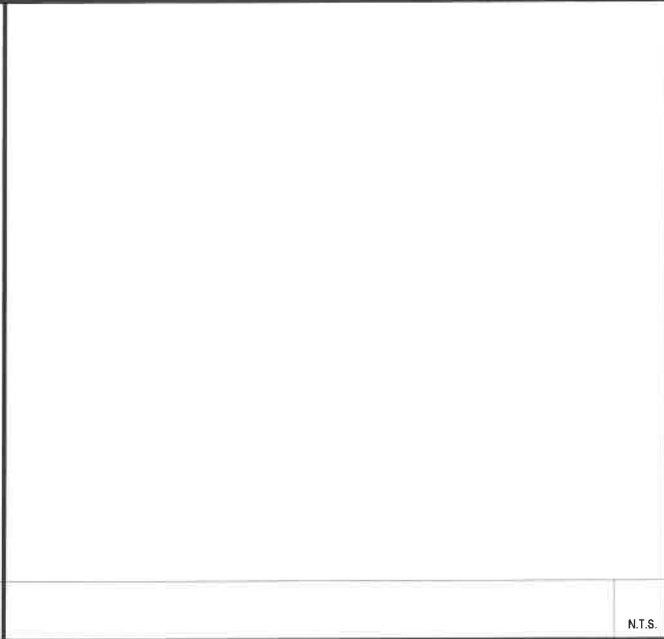
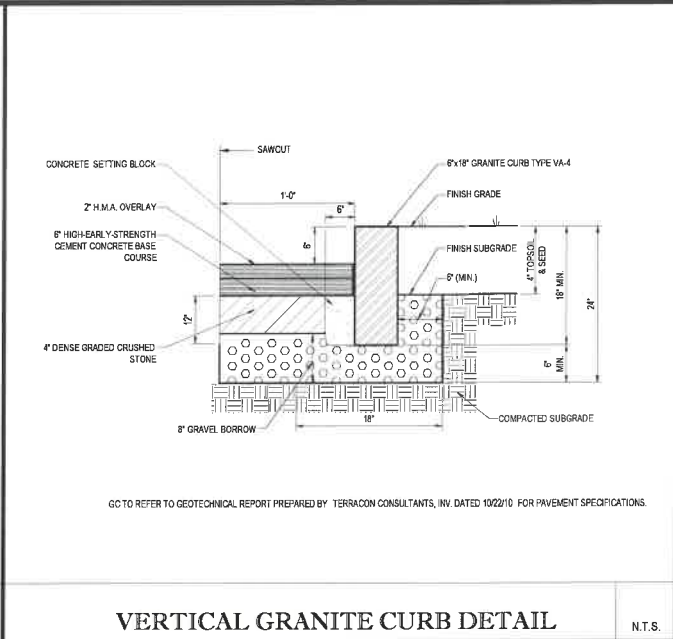
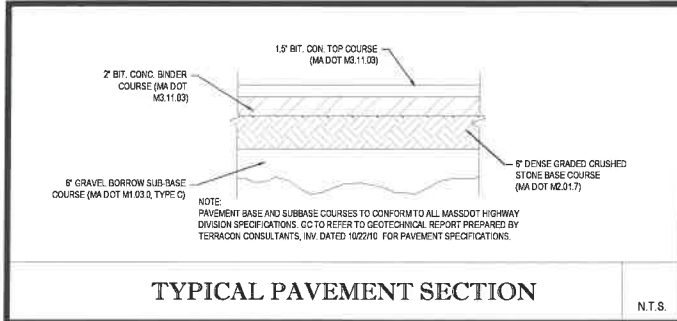
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

J.G. SWERLING
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE
LICENSE NO. 10000
EXPIRATION DATE 12/31/2018

SHEET TITLE:
LIGHTING PLAN

SHEET NUMBER:
11
OF 14

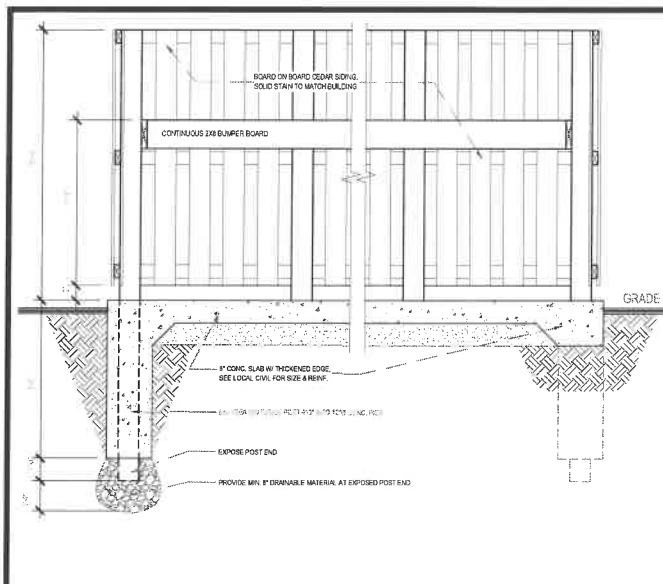
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BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
ESTIMATION PERMITS TRANSPORTATION SERVICES
PAVEMENT DESIGN
NEW HAMPSHIRE
MASSACHUSETTS
NEW JERSEY
NEW YORK
PENNSYLVANIA
RHODE ISLAND
VIRGINIA
WASHINGTON
WISCONSIN
FLORIDA
ALABAMA
ARIZONA
CALIFORNIA
CONNECTICUT
DELAWARE
ILLINOIS
INDIANA
IOWA
KANSAS
KENTUCKY
LOUISIANA
MARYLAND
MASSACHUSETTS
MICHIGAN
MINNESOTA
MISSISSIPPI
MISSOURI
MONTANA
NEBRASKA
NEVADA
NEW HAMPSHIRE
NEW JERSEY
NEW YORK
NORTH CAROLINA
NORTH DAKOTA
OHIO
OKLAHOMA
OREGON
PENNSYLVANIA
RHODE ISLAND
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Tennessee
Texas
Utah
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Wyoming

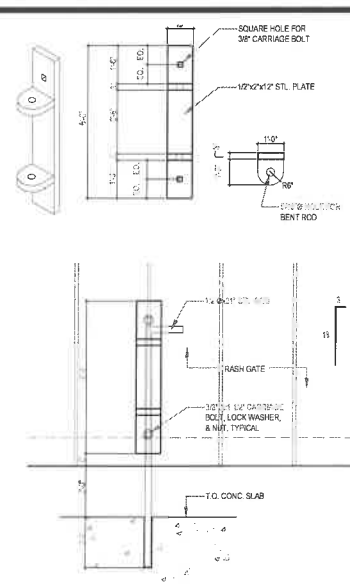
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PRELIMINARY
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CHECKED BY: AD
DATE: 04/25/17
SCALE: AS NOTED
CAD ID: W161182SSD
PROJECT: SITE DEVELOPMENT PLANS FOR
DQ
LOCATION OF SITE
361-381 NORTH MAIN STREET
CITY OF ROCHESTER
STRAFFORD COUNTY, NH
MAP 114, LOT 7
BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com
J.G. SWERLING
PROFESSIONAL ENGINEER
SHEET TITLE:
CONSTRUCTION DETAIL SHEET
SHEET NUMBER:
12
OF 14
REV 0 - 05/08/2017



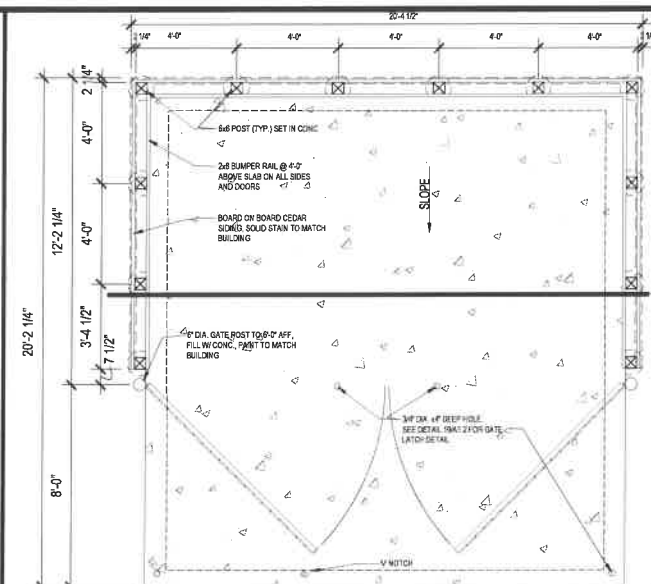
DUMPSTER DETAILS

N.T.S.



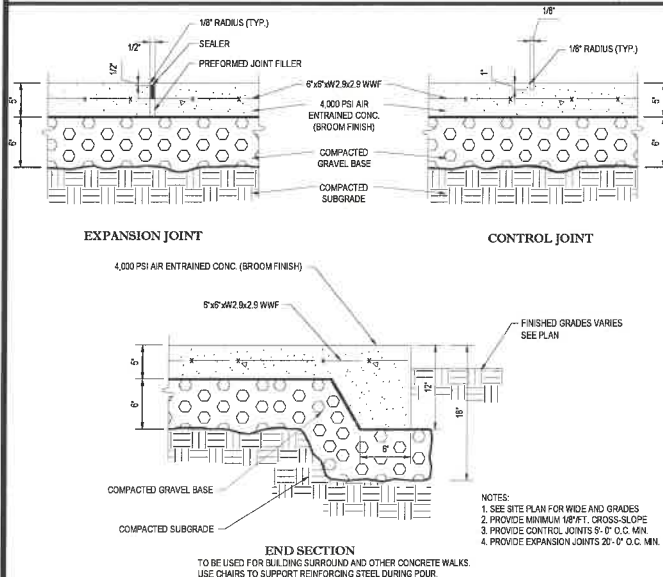
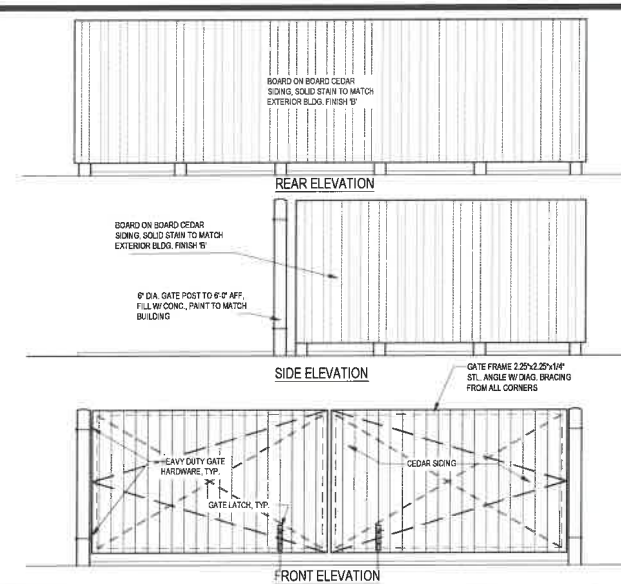
DUMPSTER GATE DETAILS

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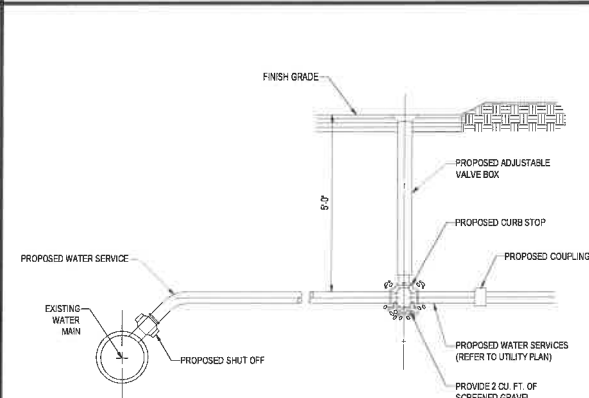
DUMPSTER DETAILS

N.T.S.



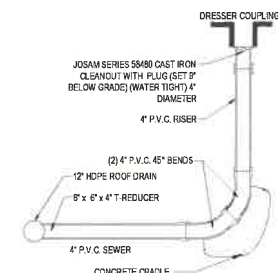
MONOLITHIC CONC. SIDEWALK DETAILS

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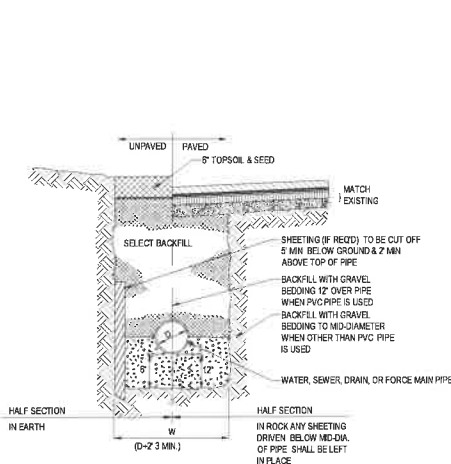
SERVICE CONNECTION DETAIL

N.T.S



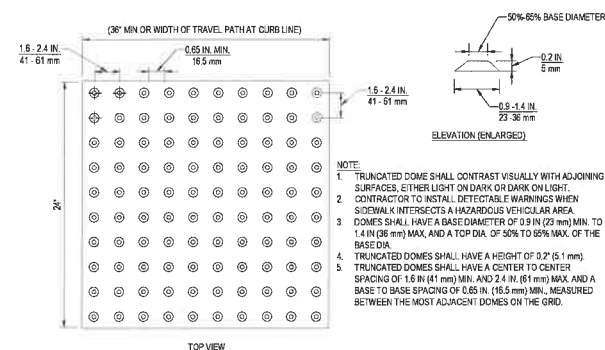
CLEANOUT DETAIL

N.T.S.



TYPICAL UTILITY TRENCH

N.T.S.



TRUNCATED DOME PATTERN

N.T.S.

SERVICE CONNECTION DETAIL

N.T.S

CLEANOUT DETAIL

N.T.S.



TYPICAL UTILITY TRENCH

N.T.S.



TRUNCATED DOME PATTERN


N.T.S.

SERVICE CONNECTION DETAIL

N.T.S

CLEANOUT DETAIL

N.T.S.



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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
LAND DEVELOPMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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◆ WEST COAST

◆ NEW YORK METRO

◆ NEW YORK STATE

◆ NEW JERSEY

◆ PHILADELPHIA, PA

◆ PITTSBURGH, PA

◆ SOUTH CAROLINA

◆ SOUTH EASTERN PA

◆ REPODOTH BEACH, DE

◆ SOUTHERN MARYLAND

◆ NORTH ENN VIRGINIA

◆ VIRGINIA

◆ CHARLOTTE, NC

◆ SOUTH FLORIDA

REVISIONS

REV	DATE	COMMENT	BY
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3			
4			
5			
6			
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12			
13			
14			
15			

PRELIMINARY

PROJECT No.: _____

WY161182

DRAWN BY: _____

WS

CHECKED BY: _____

AD

DATE: _____

04/25/17

SCALE: _____


AS NOTED

CAD ID: _____


W1611822850

PROJECT: **SITE DEVELOPMENT PLANS**

FOR



LOCATION OF SITE
 361-381 NORTH MAIN STREET
 CITY OF ROCHESTER
 STRAFFORD COUNTY, NH
 MAP 114, LOT 7




BOHLER
ENGINEERING

352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772

Phone: (508) 480-9900
 Fax: (508) 480-9080

www.BohlerEngineering.com

J.G. SWERLING



SHEET TITLE:

CONSTRUCTION
DETAIL SHEET

SHEET NUMBER:

13

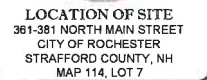
OF 14

REV C - 05/08/2017



PRELIMINARY

PROJECT: **SITE
DEVELOPMENT
PLANS**
—FOR—



352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com



REV 0 - 05/08/2017

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UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW HAMPSHIRE ONE-CALL SYSTEM (1-888-364-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 2016401287

UTILITY COMPANY	PHONE NUMBER
METROCAST CABLEVISION	800-652-1001
FAIRPOINT	800-400-6586
UNITIL - NORTHERN UTILITIES - NH - GAS	603-772-0775
EVERSOURCE ENERGY - PSNH	866-654-8025
ROCHESTER PUBLIC WORKS DEPARTMENT	507-338-9000
ON TARGET LOCATING	508-429-1022

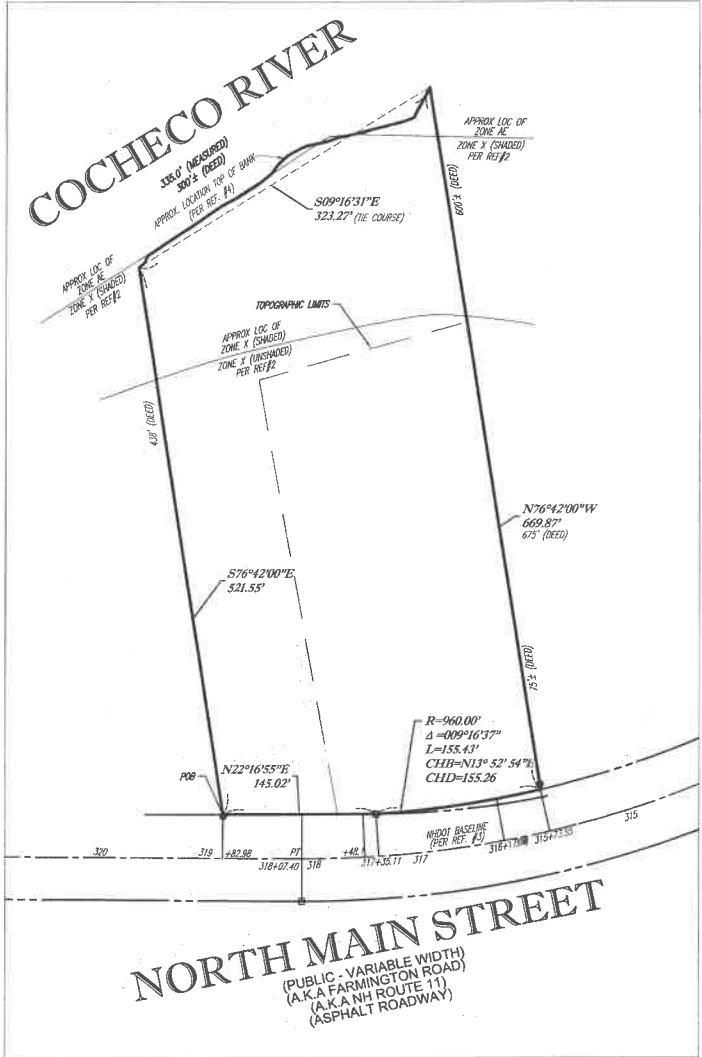
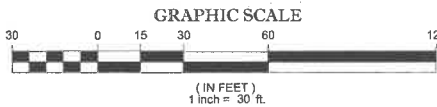


NORTH MAIN STREET

(PUBLIC - VARIABLE WIDTH)
(A.K.A FARMINGTON ROAD)
(A.K.A NH ROUTE 11)
(ASPHALT ROADWAY)

← TWO WAY TRAFFIC

THE STATE OF NEW HAMPSHIRE REQUIRES NOTIFICATION BY EXCAVATORS ORIGINATORS, OR ANY PERSON PREVIEWING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



NOTES:

- PROPERTY KNOWN AS LOT 7 AS SHOWN ON THE CITY OF ROCHESTER, STRAFFORD COUNTY, STATE OF NEW HAMPSHIRE, ASSESSORS MAP NO. 114.
 - AREA (APPROXIMATE LOCATION OF TOP OF BANK) = 181,000± SQ. FEET OR 4.155± ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED, ELEVATION = 226 - NAVD83), FLOOD HAZARD ZONE X (SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), AND FLOOD HAZARD ZONE X (UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) PER REF. #2
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARK SET:
- TBM-A: BOLT IN HYDRANT. ELEVATION = 231.36
- TBM-B: SPIKE IN UTILITY POLE. ELEVATION = 231.15
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
 - THE PROPERTY HAS ACCESS TO NORTH MAIN STREET.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF THE CITY OF ROCHESTER, STRAFFORD COUNTY, NEW HAMPSHIRE, SHEET #114.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, STRAFFORD COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), PANEL 203 OF 405, MAP NUMBER 33017C02030, MAP REVISED MAY 17, 2005.
- MAP ENTITLED "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, RIGHT-OF-WAY PLANS, NH PROJECT NO. 10850-D (CONSTRUCTION CONTRACT I & L) SPALLING TURNPIKE, NH ROUTE 18, PAGE 17 & 18" PREPARED BY NHDOT, DATED FEBRUARY 1, 2006.
- MAP ENTITLED "TOPOGRAPHIC PLAN OF LAND, NORTH MAIN STREET / NH ROUTE 11, ROCHESTER, STRAFFORD COUNTY, NEW HAMPSHIRE, FOR OPPORTUNITY REALTY OF ROCHESTER, LLC," PREPARED BY NORWAY PLAINS ASSOCIATES, INC., DATED JULY 2016.
- GAS MAPPING PROVIDED BY UNITIL.
- WATER AND SEWER MAPPING PROVIDED BY THE CITY OF ROCHESTER.

LEGEND

- | | |
|----------|-------------------------------------|
| --- | EXISTING CONTOUR |
| X 123.45 | EXISTING SPOT ELEVATION |
| SMH | SANITARY/SEWER MANHOLE |
| CB | CATCH BASIN OR INLET |
| HYD | HYDRANT |
| G | APPROX. LOC. UNDERGROUND GAS LINE |
| W | APPROX. LOC. UNDERGROUND WATER LINE |
| CW | GUY WIRE |
| UP | UTILITY POLE |
| SWL | SOLID WHITE LINE |
| STL | SOLID YELLOW LINE |
| GRT | GRATE ELEVATION |
| PVC | POLYVINYL CHLORIDE PIPE |
| INV | INVERT ELEVATION |
| DWL | DASHED WHITE LINE |
| EDP | EDGE OF PAVEMENT |
| WV | WATER VALVE |
| NT | NON-TANGENT |
| NV | NOT FIELD VERIFIED |

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



JOHN P. LYNCH
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

DATE
10/26/2016

FIELD DATE
10-10-16
FIELD BOOK NO.
16-05
FIELD BOOK PG.
40

FIELD CREW
S.B.H.
DRAWN
PRIMA

REVIEWED
R.D.N.

DQ
DAIRY QUEEN
0 NORTH MAIN STREET
LOT 7, MAP 114
CITY OF ROCHESTER, STRAFFORD COUNTY
STATE OF NEW HAMPSHIRE

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTH BOKROCK, MA 01772
508.948.3000 - 508.948.3003 FAX

APPROVED
J.P.L.

DATE
10-26-16

SCALE
1"=30'

FILE NO.
03-160218

DWG. NO.
1 OF 1



148 West River St.
Suite 5
Providence, RI 02904
T: 401.454.6867
F: 401.454.5485

CONSULTANT:

SEAL:

REVISIONS:
DATE DESCRIPTION

SCALE: NOTED

DRAWN BY: WRG

CHECKED BY:

DATE ISSUED: 11-28-16

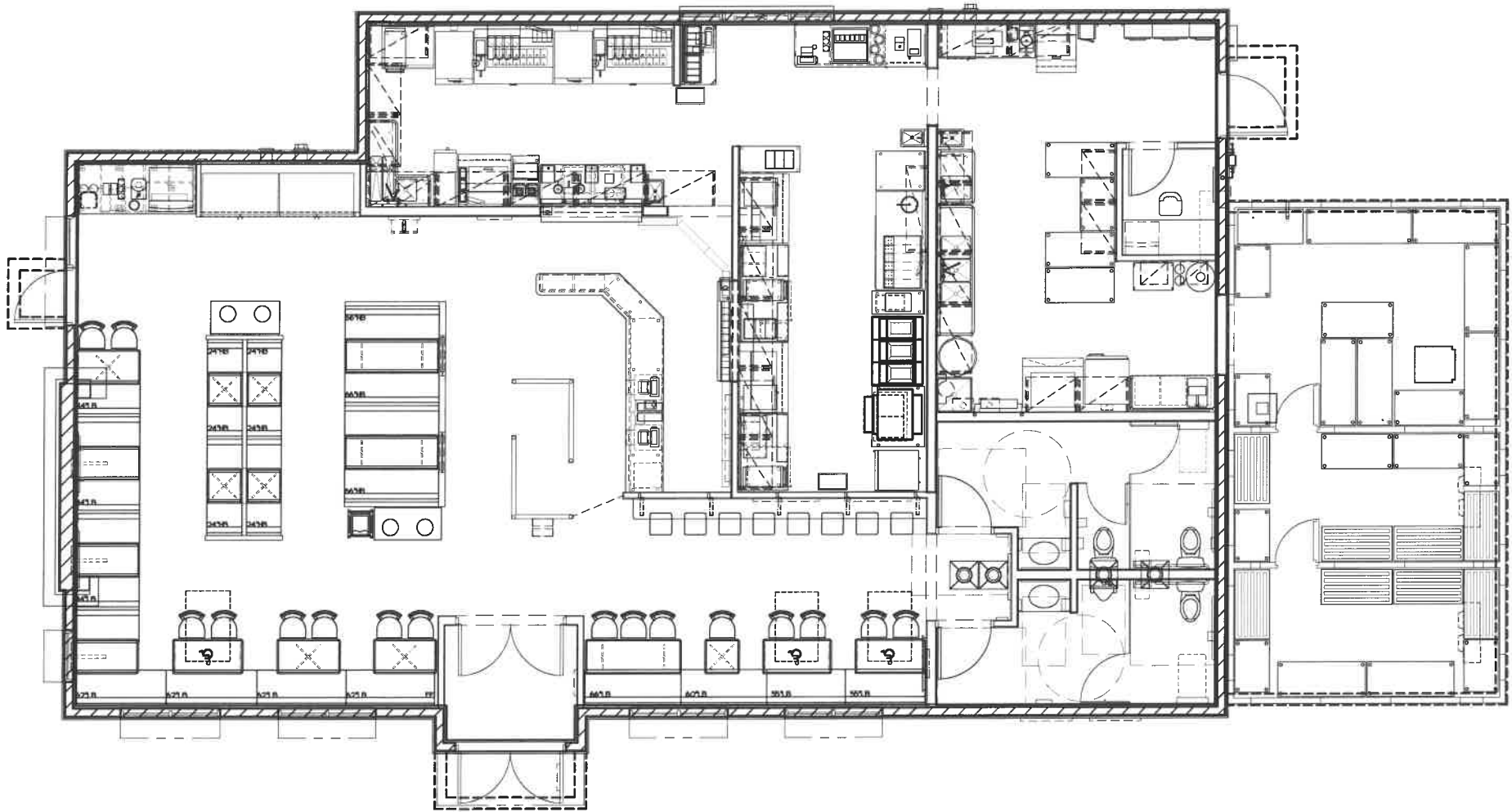
JOB NUMBER: 16023

FLOOR PLAN

PROJECT:
DAIRY QUEEN
NORTH MAIN STREET/ ROUTE 11
ROCHESTER, NH

SHEET NUMBER:

A2.1



GENERAL NOTES

1. UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING.
2. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
3. REFER TO DRAWINGS AND SPECIFICATIONS PREPARED BY EQUIPMENT SUPPLIERS AND MECHANICAL SUPPLIER FOR THEIR UNIQUE REQUIREMENTS. ALL MATERIALS ARE TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FLOOR PLAN NOTES

1. GENERAL CONTRACTOR SHALL INSTALL EXHAUST HOOD PACKAGE AS WELL AS PROVIDE ANY/ALL NECESSARY MATERIALS IN ORDER FOR PROPER HOOD OPERATION. SEE SHEETS P1, P2, E1, M1, M3, & M5 FOR ADDITIONAL INFORMATION AND DETAILS. ANSUL SYSTEM PROVIDED AND INSTALLED BY HOOD SUPPLIER.
2. GENERAL CONTRACTOR TO PROVIDE AND INSTALL 2x6 HORIZONTAL WOOD BLOCKING (LET IN) TO STUDS BEHIND GYP. BD. CENTER OF BLOCKING TO BE AT 10" AFF AND 28" AFF. MIN. LENGTH OF BLOCKING AS NOTED, END OF BLOCKING MUST LAND ON STUD.
3. PROVIDE 5/8" INTERIOR SANDED PLYWOOD IN LIEU OF GYPSUM WALL BOARD.
4. PROVIDE 5/8" CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD.
5. PROVIDE WD. BLOCKING AT WALL SHELVES COORDINATE EXTENT WITH EQUIPMENT PLAN, SEE DETAIL 6/A6.2.
6. COUNTERS AND DECOR WALLS ARE PART OF COUNTER MILLWORK PKG. SEE "P" SHEETS FOR PLAN, ELEVATION AND DETAILS.
7. G.C. TO COORDINATE FRAMED OPENING WITH WALL FINISHES AND EXPEDITER SHELF SIZE.
8. CONC. STUOP, SEE STRUCTURAL.
9. GENERAL CONTRACTOR SHALL INSTALL WALK-IN COOLER/FREEZER PACKAGE. PROVIDE SEALED TRIM FROM COOLER BOX TO SIDE WALL. VERIFY SEALING REQUIREMENTS PER LOCAL CODES. (COOLER TYPICALLY 1" FROM WALLS - REFER TO DETAILS 2, 3, & 4/A6.1)
10. MOP SINK, SEE DETAIL 1/A6.2.
11. ELECTRICAL PANEL SEE ELEC DNGS - VERIFY MANUFACTURER INSTALL REQUIREMENTS.
12. WATER METER LOCATION, SEE PLUMBING SHEETS.
13. WATER HEATER, SEE PLUMBING DNGS.
14. WATER FILTER SYSTEM.
15. ELECTRICAL DISCONNECT AND METER SOCKET.
16. PHONE BOARD.
17. GAS METER.
18. PROVIDE WOOD BLOCKING, AS REQUIRED, BEHIND GYP. BD. FOR WALL MOUNTED TELEVISION.
19. PROVIDE FULL HEIGHT WOOD BLOCKING BEHIND GYP. BD. FOR CAKE ENCLOSURE.
20. G.C. TO VERIFY AND PROVIDE BLOCKING PER MANUFACTURERS REQUIREMENTS.
21. G.C. TO PROVIDE FLUSH MOUNTED STEEL COUNTER SUPPORT BRACKETS, COORDINATE EXTENT AND SPACING WITH COUNTER SUPPLIER.

PARTITION TYPES

1. 2x4 WOOD FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 1A. 2x4 WOOD FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
2. 2x6 WOOD FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 2A. 2x6 WOOD FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
3. 6" MTL. FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 3A. 6" MTL. FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
4. 3 5/8" MTL. FRAMING @ 16" O.C. EXTEND TO ROOF STRUCTURE.
- 4A. 3 5/8" MTL. FRAMING @ 16" O.C. PROVIDE FULL THICKNESS & FULL HEIGHT SOUND BATT INSULATION EXTEND TO ROOF STRUCTURE.
5. 2x4 WOOD FRAMING @ 16" O.C. PARTIAL HEIGHT WALL SEE PLAN FOR HEIGHT.

GENERAL NOTES:
1. PROVIDE 5/8" GYP. BD. ON ALL WALL SURFACES UNLESS NOTED OTHERWISE.
2. PROVIDE MOISTURE RESISTANT GYP. BD. AT WET WALL LOCATIONS.
3. ALL INTERIOR WALL SHEATHING (GYP. BD. OR PLYWOOD) TO EXTEND 3" ABOVE CEILING.



ENTRANCE ELEVATION

EXTERIOR FINISH MATERIALS

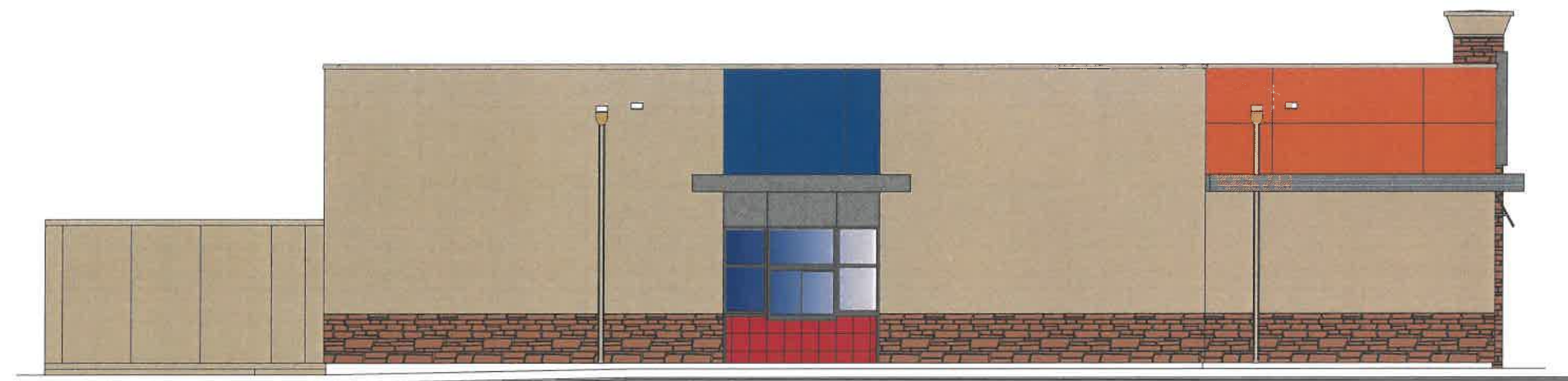
STONE:
 MFR: CULTURED STONE
 STYLE: COUNTRY LEDGE STONE - WET STACK
 COLOR: CHARDONNAY 20006
 SUPPLIER: BORAL STONE
 GROUT: GREY

EIFS:
 MFR: STO CORPORATION
 COLOR: NAI-0034 (MATCHES BENJAMIN MOORE SANDY BROWN #1046)
 FINISH: 306 STO MEDIUM SAND
 VENDOR: STO CORPORATION
 NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0" A.F.F.

CERAMIC TILE:
 MFR: MARAZZI
 SERIES: 1 COLORI
 COLOR: GRAYONS RED LUSTER
 SIZE: 12"x12"
 GROUT: "LATICRETE"
 GROUT COLOR: ALMOND 85
 SUPPLIER: HJC
 NOTE: MUST BE INSTALLED PER TILE COUNCIL OF NORTH AMERICA "M244E-04" AND ANSI "A118.4"

FABRIC AWNING:
 MFR: COOL PLANET AWNING
 MATERIAL: SUNBRELLA
 COLOR: JOCKEY RED
 FRAME: 1"x1" ALUMINUM (WELD ALL JOINTS, GRIND SMOOTH)
 FINISH: ANODIZED CLEAR SATIN
 VENDOR: COOL PLANET AWNING OR HJC

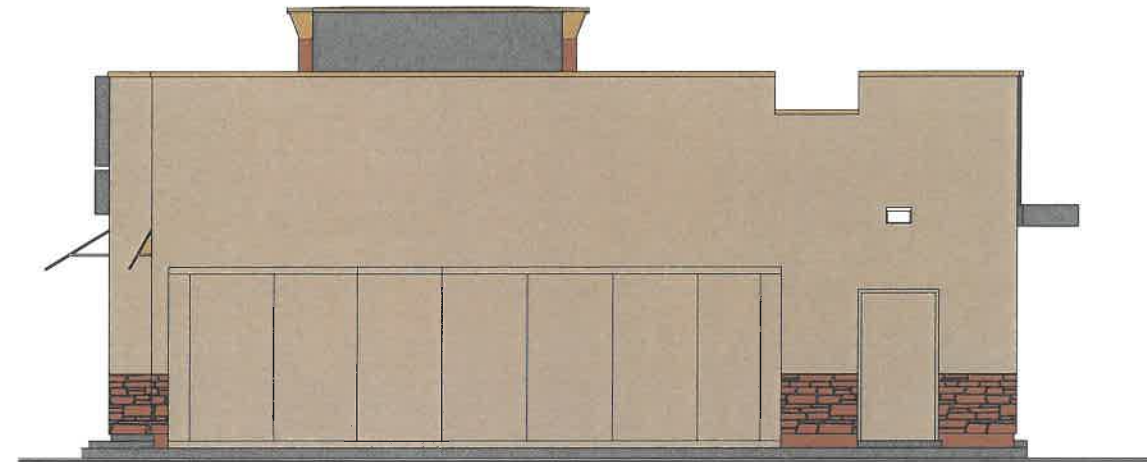
METAL PANEL:
 MFR: ALPOLIC
 STYLE: 3MM
 COLOR: DQ RED
 NOTE: MUST BE INSTALLED HORIZONTALLY. REFERENCE ARROWS ON BACK OF PANEL MUST BE ALIGNED IN THE SAME DIRECTION.
 VENDOR: NU LOOK EXTERIORS



DRIVE-THRU ELEVATION



FRONT ELEVATION



REAR ELEVATION



148 West River St.
 Suite 5
 Providence, RI 02904
 T: 401.454.6867
 F: 401.454.5485

CONSULTANT:

SEAL:

REVISIONS:

SCALE: NOTED

DRAWN BY: WRG

CHECKED BY:

DATE ISSUED: 10-28-16

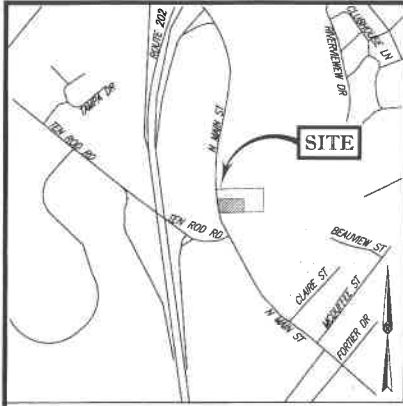
JOB NUMBER: 16023

RENDERED ELEVATIONS

PROJECT:
 PROPOSED DAIRY QUEEN
 NORTH MAIN STREET / ROUTE 11
 ROCHESTER, NH

SHEET NUMBER:

A3.1



LOCUS MAP

1"=1,000' ±

LEGEND

- HYDRANT
UTILITY POLE
NON-TANGENT

ZONING INFORMATION
HC, HIGHWAY COMMERCIAL DISTRICT
SOURCE: ROCHESTER, NH ZONING ORDINANCE
TABLE 19-B DIMENSIONAL STANDARDS
COMMERCIAL DISTRICTS 87/2014
(ADOPTED BY THE CITY COUNCIL: 4/22-14
COMMITTEE: 8-4-14
AMENDMENT (6))

ITEMS	REQUIRED
MIN LOT AREA	20,000 SQ. FT.
MIN FRONTAGE	100 FT.
MIN FRONT YARD	20 FT.
MIN SIDE YARD	10 FT.
MIN REAR YARD	20 FT.
MAX BUILDING HEIGHT	3 STORIES

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

COCHECO RIVER
335.0' (MEASURED)
300' ± (DEED)
(ALONG THE BANK OF THE
COCHECO RIVER)
APPROX. LOCATION TOP OF BANK
(PER REF. #4)

S19°50'39"E (NAD83)
509'16'31"E
323.27' (DE COURSE)

PROPOSED LOT 2
AREA = 120,949 SQUARE FEET OR 2.777 ACRES

298.5' (MEASURED)
300' (DEED)
REAR TO BE SET
N=297,498.07
E=1,163,506.01

S87°16'08"E (NAD83)
S76°42'00"E
521.55'

S87°16'08"E (NAD83)
N76°42'00"W
306.06'

PROPOSED LOT 1
AREA = 60,000 SQUARE FEET OR 1.377 ACRES
MAP 114, LOT 7
N.F. LANDS OF
OPPORTUNITY REALTY OF ROCHESTER LLC
BK. 2252, PG. 150

R=960.00'
Δ=009°16'37"
L=155.43'
CHB=N13°52'54"E
CHD=N03°18'46"E (NAD83)
CHD=155.26'

TBM-B
SPIKE
ELV=231.15

N22°16'55"E
145.02'
N=297,618.89
E=1,163,222.32

S87°19'34"E
40.0'

S87°19'34"E
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S87°19'34"E
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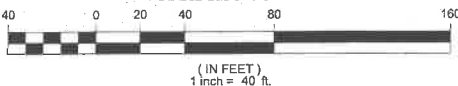
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NORTH MAIN STREET
(PUBLIC - VARIABLE WIDTH)
(A.K.A. FARMINGTON ROAD)
(A.K.A. NH ROUTE 11)
(ASPHALT ROADWAY)

GRAPHIC SCALE



NOTES:

- PROPERTY KNOWN AS LOT 7 AS SHOWN ON THE CITY OF ROCHESTER, STRAFFORD COUNTY, STATE OF NEW HAMPSHIRE; ASSESSORS MAP NO. 114.
 - AREA
PROPOSED LOT 2 (APPROX. LOC. OF TOP OF BANK) = 120,949± SQUARE FEET OR 2.777± ACRES
PROPOSED LOT 1 = 60,000± SQUARE FEET OR 1.377± ACRES
TOTAL=180,949± SQUARE FEET OR 4.154± ACRES
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - PROPERTY CORNERS SHOWN ON THIS PLAT ARE TO BE INSTALLED.
 - THE SUBDIVISION SHOWN DOES NOT INTEND TO IMPLY OR CONVEY RIGHTS OR OWNERSHIP TO THE PUBLIC.
 - THE PROPERTY HAS ACCESS TO NORTH MAIN STREET.
 - IMPROVEMENTS HAVE NOT BEEN SHOWN.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE CREATION OF TWO (2) LOTS FROM LOT 7, MAP 114.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARKS SET:
- TBM-A: BOLT IN HYDRANT. ELEVATION = 231.38
- TBM-B: SPIKE IN UTILITY POLE. ELEVATION = 231.15
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- COORDINATES SHOWN ARE BASED UPON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNET GPS) NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM NAD 1983.
 - LETTER FROM RECORD OWNER WITH SIGNATURES IS SUBMITTED UNDER SEPARATE COVER AND ATTACHED HERETO.
 - SUBDIVISION APPROVAL WHETHER OR NOT OTHERWISE EXPRESSLY RECITED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL GRANTED IS CONDITIONED ON FAITHFUL AND DILIGENT ADHERENCE BY THE OWNER/SUBDIVIDER/DEVELOPER OF ALL TERMS, CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED, IN EFFECT ON THE DATE OF APPROVAL, UNLESS OR EXPECT INSOFAR AS EXPRESSLY WAIVED, IN ANY PARTICULAR, BELOW, NON-ADHERENCE MAY RESULT IN A REVOCATION OF APPROVAL. ANY VARIATION FROM THE APPROVED PLAN WILL REQUIRE A RESUBMISSION FOR SUBDIVISION APPROVAL.
 - THIS PLAN IS BASED UPON A FIELD SURVEY WITH A TRAVERSE WITH AN ERROR OF CLOSURE GREATER THAN 1:10,000

APPROVED BY THE
ROCHESTER PLANNING BOARD ON _____ DATE _____

SIGNED BY _____ NAME _____ POSITION _____

THIS IS TO CERTIFY THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND NO NEW STREETS OR WAYS ARE SHOWN.

NOT A VALID ORIGINAL DOCUMENT UNLESS STAMPED WITH AN INK SEAL.



JOHN P. LYNCH
NEW HAMPSHIRE LICENSED LAND SURVEYOR #899

DATE
5-8-17

FIELD DATE
10-10-16
FIELD BOOK NO.
16-05
FIELD BOOK PG.
40



SUBDIVISION PLAN
DAIRY QUEEN
NORTH MAIN STREET
LOT 7, MAP 114
CITY OF ROCHESTER, STRAFFORD COUNTY
STATE OF NEW HAMPSHIRE

FIELD CREW
S.B.H.
DRAWN:
E.J.L.

CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 • 508.948.3003 FAX
WARREN, NJ 908.668.0099
CHALFONTE, PA 215.712.9800

REVIEWED: J.P.L. APPROVED: J.P.L. DATE: 5-8-17 SCALE: 1"=40' FILE NO.: 03-160218 DWG. NO.: 1 OF 1