

TABLE OF CONTENTS:

SHEET 1	NEIGHBORHOOD PLAN
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SUBDIVISION PLAN
SHEET 4	EASEMENT PLAN
SHEET 5	PROPOSED ROAD SITE PLAN
SHEET 6	ROADWAY PLAN AND PROFILE
SHEET 7	CUL-DE-SAC PLAN AND PROFILE
SHEET 8	UTILITY PLAN
SHEET 9	SEDIMENT AND EROSION CONTROL PLAN
SHEET 10	RAIN GARDENS #1 - #3 PLAN
SHEET 11	RAIN GARDENS #4 PLAN
SHEET 12	CROSS SECTIONS 9+00 TO 3+48.94
SHEET 13	CROSS SECTIONS 3+50 TO 8+73.22
SHEET 14	E101 SEDIMENT & EROSION CONTROL DETAILS
SHEET 15	E102 SEDIMENT & EROSION CONTROL DETAILS
SHEET 16	E101 DRAINAGE DETAILS
SHEET 17	E102 DRAINAGE DETAILS
SHEET 18	C103 CONSTRUCTION DETAILS
SHEET 19	C103 CONSTRUCTION DETAILS
SHEET 20	L101 LANDSCAPING AND DRY SWALE DETAILS
SHEET 21	L101 UTILITY DETAILS
SHEET 22	U102 UTILITY DETAILS

MAJOR SUBDIVISION
FOR
TOM AUBERT
788 & 794 PORTLAND STREET
ROCHESTER, N.H.
TAX MAP 107, LOT 54
TAX MAP 108, LOT 53-1

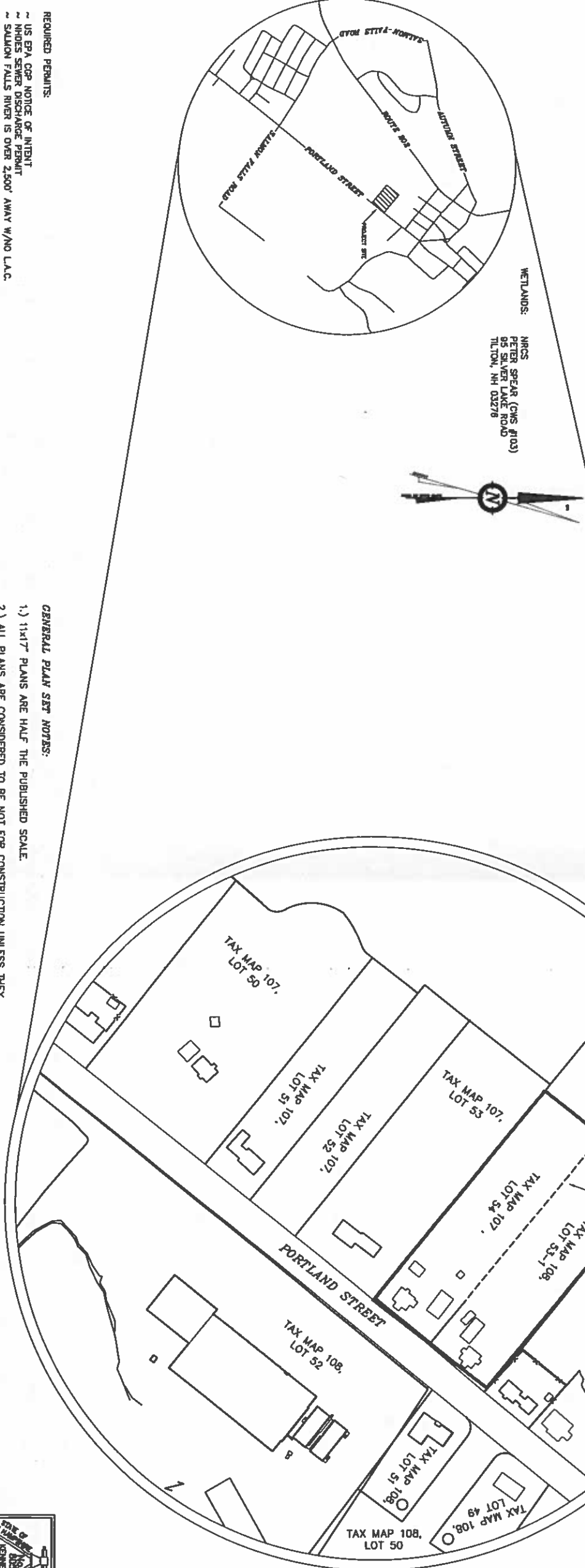
RECEIVED
FEB 16 2016
Planning Dept.

OWNER: TOM AUBERT
PROPERTY ADDRESS: 788 & 794 PORTLAND STREET
ROCHESTER, NH 03867
MAILING ADDRESS: 5 GARY DRIVE
ROCHESTER, NH 03867-5128

SURVEYOR OF RECORD: KENNETH A. BERRY, P.E., L.S.
CROSS SECTION
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, P.E., L.S.
CROSS SECTION
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

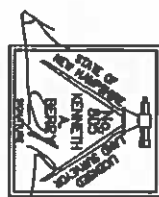
SIGNATURE OF DEVELOPER
DEVELOPER:



GIS SKETCH
ROCHESTER, N.H.
SCALE: 1" = 100'±

REQUIRED PERMITS:
~ US EPA CGP NOTICE OF INTENT
~ NHDES SEWER DISCHARGE PERMIT
~ SALMON FALLS RIVER IS OVER 2,500' AWAY W/NO L.A.C.

GENERAL PLAN SET NOTES:
1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY
CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS-NOTED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

SUBDIVISION
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

#	DATE	DESCRIPTION
2	2-10-16	REVISED PER PB, DPW & PLANNING
1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

PLAN REFERENCES:

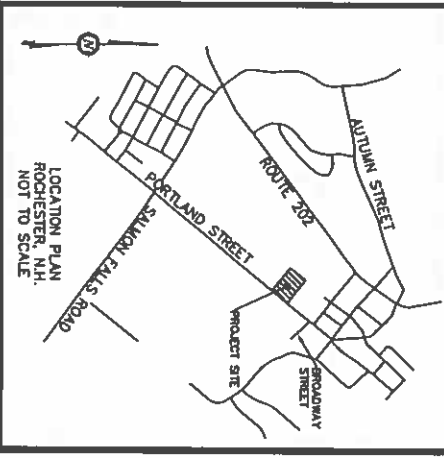
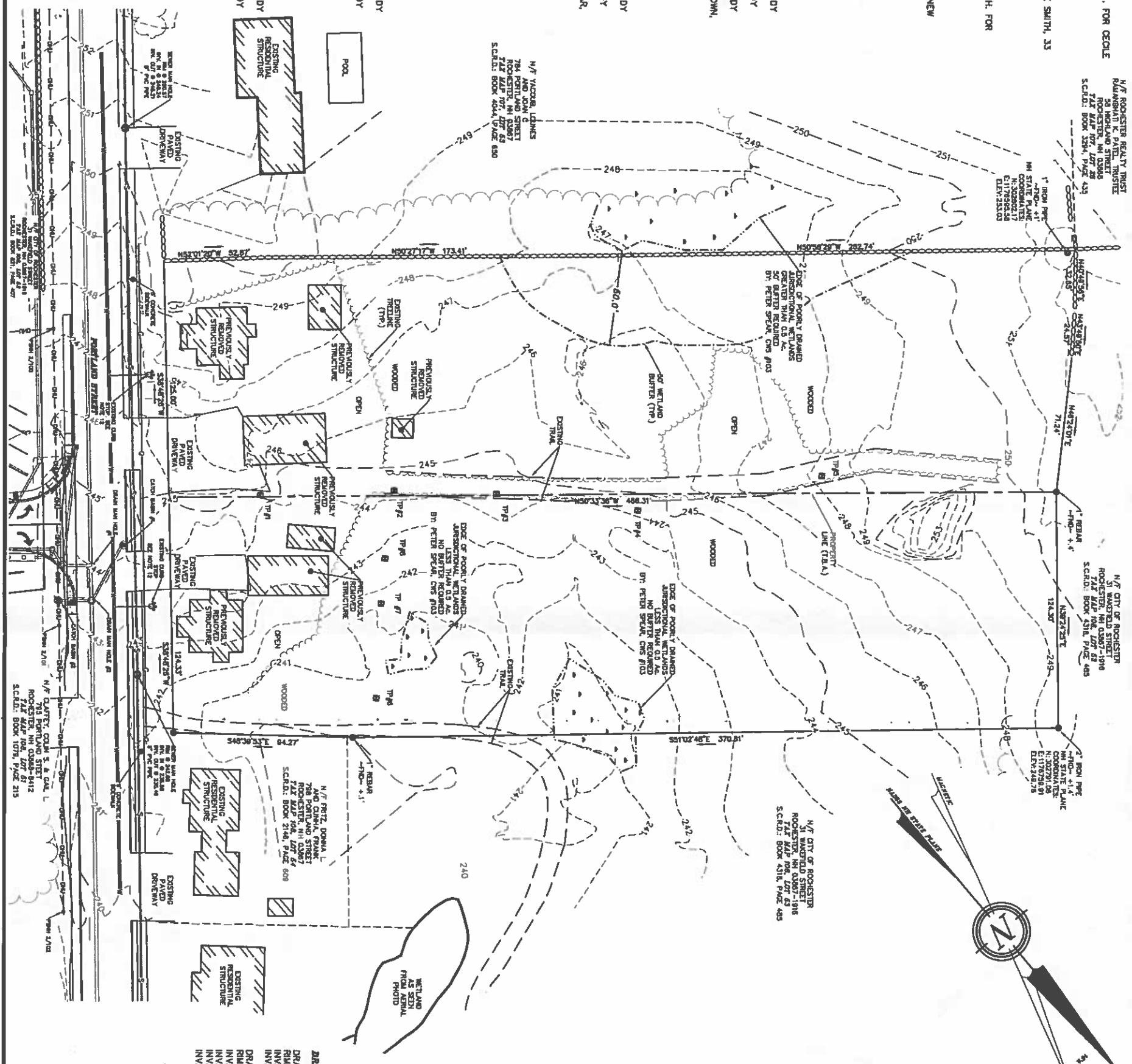
- 1) LOT LINE REVISION, ROUTE 202, ROCHESTER, N.H. FOR GEORGE D. GERMON
BY: NORWAY PLANS ASSOCIATES, INC.
DATED: NOVEMBER 2002
S.C.R.D. PLAN # 71-36
- 2) BOUNDARY RETACEMENT GERALD AND LORRAINE SMITH, 33 PORTLAND ST., EAST ROCHESTER, N.H.
BY: BERRY CONST. CO., INC.
DATED: APRIL 16, 1984
S.C.R.D. PLAN # 22-158
- 3) "SUBDIVISION PLAN HIGHLAND ST., ROCHESTER, N.H. FOR MILTON ROAD REALTY TRUST"
BY: NORWAY PLANS ASSOCIATES, INC.
DATED: JULY 2004
S.C.R.D. PLAN # 78-88
- 4) ROCHESTER, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE
BY: CHASE H. WOOD
DATED: FEBRUARY 8, 1999
S.C.R.D. POCKET #1, FOLDER #10, PLAN #43

TEST PIT DATA:

- TP #1 (LEDGE PROBE)
E.S.W.T. @ 32"
64" TO PARALYTIC LEDGE
TERMINATED @ 64"
FINE SANDY LOAM THROUGH OUT
- TP #2
0-8" 10R 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
8-24" 10R 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
24-48" 10R 5/4, YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
48-68" 10R MIXED 5/4 & 5/8, YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
E.S.W.T. @ 48"
PARALYTIC LEDGE @ 68"
HARD LEDGE @ 80"
TERMINATED @ 80"
NO GROUND WATER
- TP #3
0-8" 10R 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
8-24" 10R 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
24-48" 10R 5/4, YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
48-68" 10R MIXED 5/4 & 5/8, BULSH GRAY, MASSIVE
E.S.W.T. @ 35"
NO REFUSAL
TERMINATED @ 85"
GROUND WATER @ 48"
- TP #4 (LEDGE PROBE)
34" TO PARALYTIC LEDGE
30" TO HARD LEDGE
TERMINATED @ 30"
- TP #5 (LEDGE PROBE)
35" TO PARALYTIC LEDGE
84" TO HARD LEDGE
GROUND WATER @ 64"
TERMINATED @ 64"
- TP #6 & 7
0-6" 10R 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
6-12" 10R 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
12-48" 10R 5/2 LIGHT BROWNISH GRAY, FINE SANDY LOAM, BLOCKY, FIRM
E.S.W.T. @ 12"
NO REFUSAL
TERMINATED @ 48"
GROUND WATER AT 20"
- TP #8
0-6" 10R 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
6-18" 10R 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE
12-48" 10R 5/2 LIGHT BROWNISH GRAY, FINE SANDY LOAM, BLOCKY, FIRM
E.S.W.T. @ 18"
NO REFUSAL
TERMINATED @ 48"

CATCH BASIN DATA:

- CATCH BASIN #1
RIM @ 244.15
INV. OUT @ 240.62 (12" HOPE CULVERT)
RIM @ 242.98
INV. OUT @ 240.00 (12" HOPE CULVERT)



NOTES:

- 1) OWNER PROJECT ADDRESS: TOM ALBERT
788 AND 794 PORTLAND ST.
ROCHESTER, NH 03607
MAILING ADDRESS: TOM ALBERT
788 AND 794 PORTLAND ST.
ROCHESTER, NH 03607
- 2) TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1
- 3) LOT 64 S.C.R.D. BOOK 4280, PAGE 838
LOT 53-1 S.C.R.D. BOOK 4280, PAGE 841
- 4) LOT 64Z
LOT 53-1Z
LOT 53-1Z S.C.R.D. BOOK 4280, PAGE 841
- 5) ZONING: R1 (RESIDENTIAL 1)
SETBACKS:
FRONT - 10'
REAR - 10'
SIDE - 10'
WETLAND: 50' (WETLANDS GREATER THAN 50' AC.)
WATER: 100'
WATER: 100'
WATER: 100'
WATER: 100'
- 6) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING ROADS AND LOCATIONS OF THE LOTS, AS OF THE DATE OF THIS PLAN, 05-11-11. HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE NOT BEEN ADVISED OF ANY CHANGES TO THE INFORMATION PROVIDED HEREIN SINCE THE DATE OF THIS PLAN.
- 7) VERTICAL DATA BASED ON MANGOS ELEVATION MONITORING DATA BASED ON MANGOS STATE PLANE COORDINATES DATUMED UTM83 TOPCON HERRN 58 SURVEY GRADE CPM.
- 8) THE BOUNDARY LINES SHOWN ON THIS PLAN ARE THE RESULT OF A SURVEY CONDUCTED BY THE SURVEYOR ON THE DATE OF THIS PLAN, 05-11-11. ANY ERROR OR OMISSION OF 1 PART IN 25,000.
- 9) TOPOGRAPHY PROVIDED IS DERIVED FROM 1" INTERVALS, AND IS THE RESULT OF A FIELD SURVEY PERFORMED MAY 2011.
- 10) THIS SITE IS SERVED BY MANHOLE, SEWER AND WATER.
- 11) SECTION OF THE TWO EXISTING CURB STOPS BY THE CITY ENGINEER IS INDICATED FROM THE EXISTING AS SHOWN ON SHEET B.
- 12) SECTION OF THE TWO EXISTING CURB STOPS BY THE CITY ENGINEER IS INDICATED FROM THE EXISTING AS SHOWN ON SHEET B.

- 408 - ACTION FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES
409 - RIDGEURTY FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
SEE WESLO, USDA-NRCS
- DRAIN MANHOLE DATA:
DRAIN MAN HOLE #1
RIM @ 244.15
INV. OUT @ 240.62 (12" HOPE CULVERT)
RIM @ 242.98
INV. OUT @ 240.00 (12" HOPE CULVERT)
- DRAIN MAN HOLE #2
RIM @ 243.50
INV. IN FROM CB #1 @ 238.63 (12" HOPE CULVERT)
INV. IN FROM CB #2 @ 238.80 (12" HOPE CULVERT)
INV. IN @ 200.00
INV. OUT @ 251.48 (18" HOPE CULVERT)
- GRAPHIC SCALE
1 inch = 50 feet

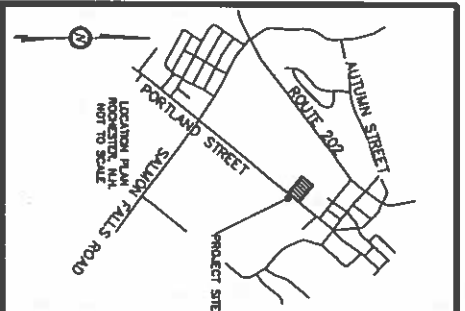
I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF NH, AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
KENNETH A. BERRY L.L.S. B.O.S. DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

EXISTING CONDITIONS PLAN
FOR
TOM ALBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

N/F ROCHESTER REALTY TRUST
RAJANENHAT K. PATEL, TRUSTEE
56 HIGHLAND STREET
ROCHESTER, NH 05668
TAX MAP 107, LOT 25
S.C.R.D.: BOOK 3284, PAGE 433



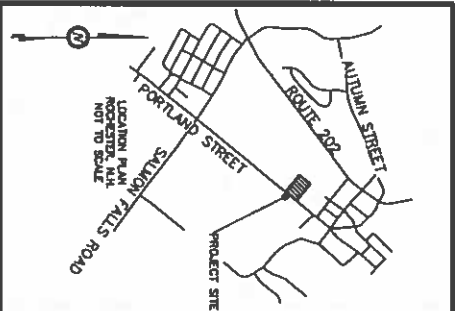
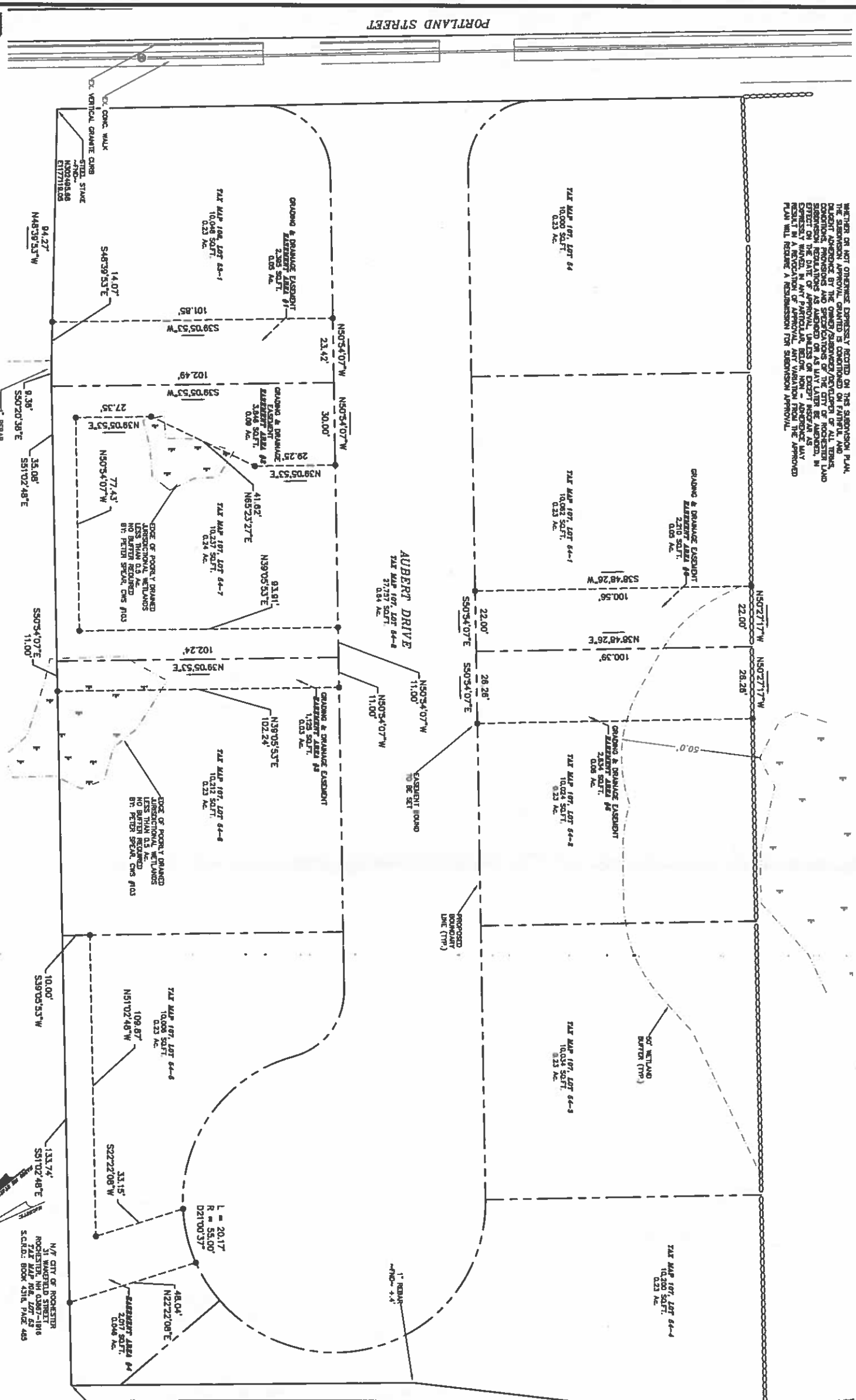
- I CERTIFY THAT THIS PLAY EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCRACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER, N.H. - 1:10,000-
- KENNETH A. BERRY L.L.S. 805 DATE

BERRY SURVEYING
& ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

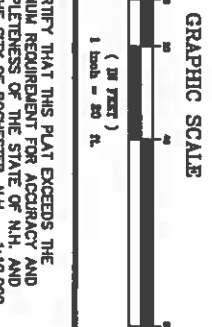
WHETHER OR NOT OTHERWISE EXPRESSLY NOTED ON THIS SUBDIVISION PLAN, THE SUBDIVISION APPROVAL, GRANTED BY THE CITY OF ROCHESTER, NH, IS CONDITIONED UPON THE SUBDIVISION BEING CONFORMANT WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY THE CITY OF ROCHESTER, NH, AND AS MAY BE AMENDED, IN THE FUTURE. THE SUBDIVISION APPROVAL, GRANTED BY THE CITY OF ROCHESTER, NH, IS CONDITIONED UPON THE SUBDIVISION BEING CONFORMANT WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY THE CITY OF ROCHESTER, NH, AND AS MAY BE AMENDED, IN THE FUTURE. THE SUBDIVISION APPROVAL, GRANTED BY THE CITY OF ROCHESTER, NH, IS CONDITIONED UPON THE SUBDIVISION BEING CONFORMANT WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY THE CITY OF ROCHESTER, NH, AND AS MAY BE AMENDED, IN THE FUTURE.

N/F ROCHESTER REALTY TRUST
RAMSEYMAN K. PATEL, TRUSTEE
794 PORTLAND STREET
ROCHESTER, NH 03602
S.C.D. BOOK 324, PAGE 435

DEVELOPERS OF ALL NEW MAJOR SUBDIVISIONS WITH NEW ROADS WHICH ARE INTENDED TO BE CONVEYED TO THE CITY OF ROCHESTER, NH, SHALL BE REQUIRED TO SUBMIT TO THE CITY OF ROCHESTER, NH, A CONSTRUCTION ZONE SIGN FOR THE MAINTENANCE OF TRAFFIC CONTROL DURING CONSTRUCTION AND TO BE PLACED AT ALL ENTRY POINTS TO THE SUBDIVISION. THESE SIGNS SHALL BE PLACED AT ALL ENTRY POINTS TO THE SUBDIVISION. THESE SIGNS SHALL BE PLACED AT ALL ENTRY POINTS TO THE SUBDIVISION. THESE SIGNS SHALL BE PLACED AT ALL ENTRY POINTS TO THE SUBDIVISION.



- LEGEND:**
- IRON BOUND (TO BE SET)
 - IRON PIPE (FND)
 - GRAVITE BOUND (FND OR TO BE SET)
 - UTILITY POLE
 - PROPOSED BOUNDARY LINES
 - SETBACK BOUNDARY LINES
 - APPROX. ADJUTING BOUNDARY LINES
 - STONE WALL



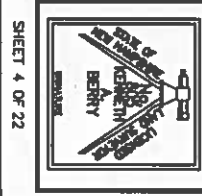
I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF NH, AND OF THE CITY OF ROCHESTER, NH, - 1:10,000-

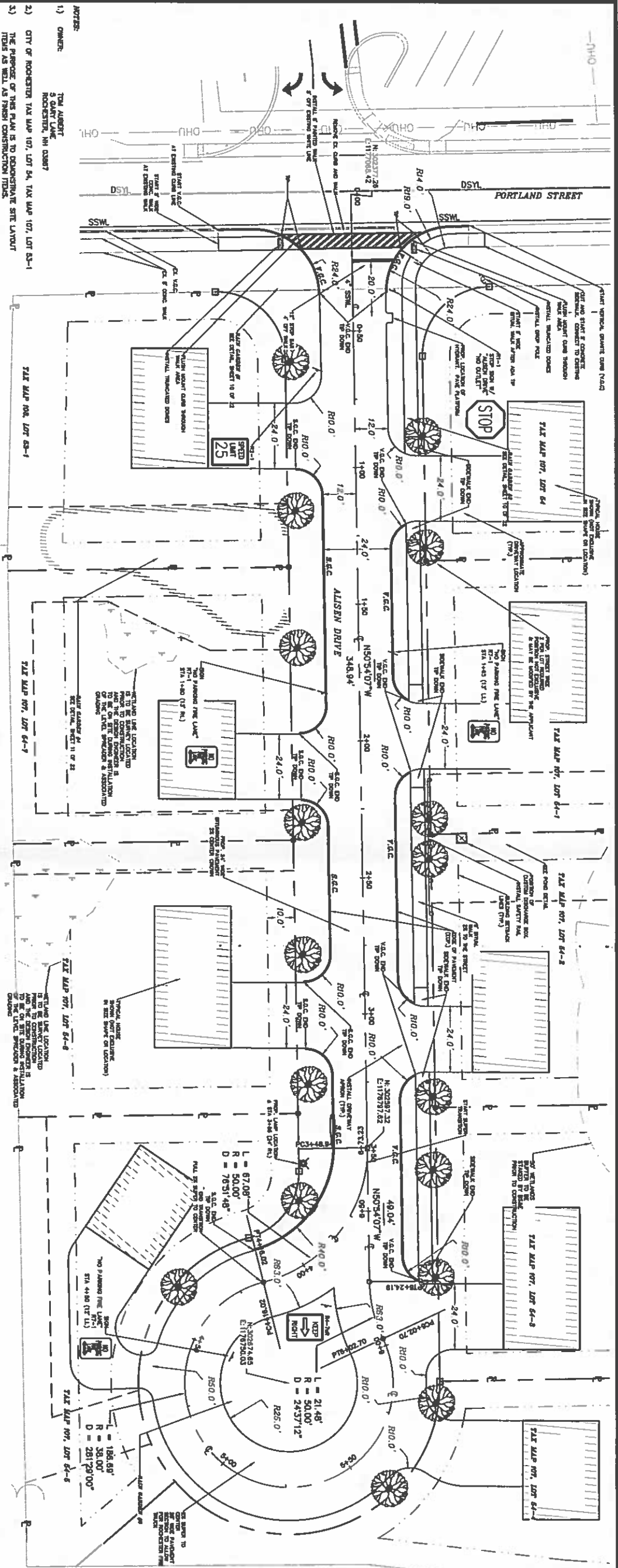
KENNETH A. BERRY L.L.S. 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

EASEMENT SHEET
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 65-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

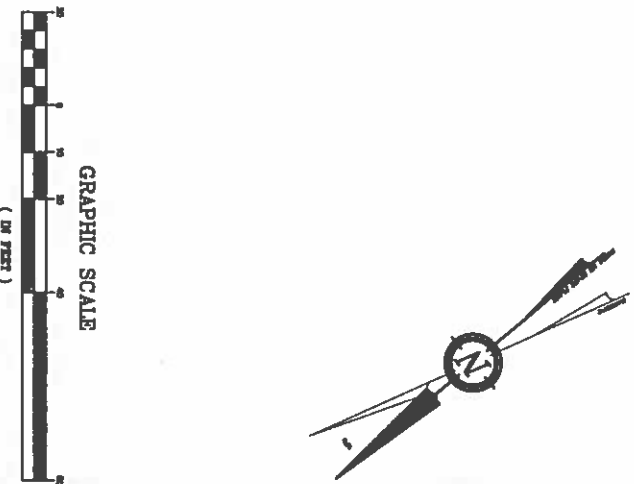




NOTES:
1) OWNER:
TOM AUBERT
3 QUARRY LANE
ROCHESTER, NH 03807
2) CITY OF ROCHESTER TAX MAP 107, LOT 54, TAX MAP 107, LOT 63-1
3) THE PURPOSE OF THIS PLAN IS TO RECONSTRUCT THE SITE LAYOUT
ITEMS AS WELL AS FINISH CONSTRUCTION ITEMS.

GENERAL PLAN SET NOTES:

- 1) AS-BUILT PLANS OF THE SITE SHALL BE SUBMITTED ON A REPRODUCIBLE UNIFORM MEDIUM AND IN A PORTABLE PDF FORMAT ON CD TO THE CITY OF ROCHESTER ON OR BEFORE COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PROVIDED AND CENTERED CORRECT BY A L.S. ON P.L.
- 2) EXISTING LIGHTING SHALL BE CUT-OFF TYPE FIXTURES AND SHALL PROVIDE LIGHTING DIRECTED ON-SITE ONLY.
- 3) TOPOGRAHY SURVEY PERFORMED BY BERRY SURVEYING & ENGINEERING IN 2015.
- 4) DATE: PROJECT DATA IS BASED ON GPS COORDINATES ESTABLISHED WITH A TOPCON LEICA SR 1000 IN JUNE 2015 AND REPRESENTED IN NEW HAMPSHIRE STATE PLANE COORDINATES.
- 5) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.
- 6) CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
- 7) ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS.
- 8) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EXISTENCE AT (905) 438-7708. ALL ELECTRICAL INSTALLATION SHALL BE INSPECTED BY EXISTENCE PRIOR TO BACKFILL. A 48-HOUR WRITTEN NOTICE IS REQUIRED.
- 9) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FARRINGTON COMMUNICATIONS AT (603) 427-8023.
- 10) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH METROCAST.
- 11) ALL NEW ON-SITE UTILITIES SHALL BE INSTALLED UNDERGROUND WITH THE EXCEPTION OF PROPOSED DRAIN POLE.
- 12) THE SUBJECT PARCELS ARE SERVED BY MUNICIPAL WATER AND SEWER.
- 13) BACKFILL PRESENTATIONS SHALL BE PROVIDED FOR DOMESTIC WATER LINES.
- 14) ALL UTILITIES AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY AND STATE CODES.
- 15) ALL CONSTRUCTION SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 16) PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DESIGNED SUBGRADE, TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE MAY BE IMPROVED BY EXCAVATION, LIFTING, OR OTHER MEANS. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE CONSTRUCTION OF PROTECTIVE EMBANKMENTS, OR OTHER MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK.
- 17) IF THE EXISTING IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SUBGRADE ARE SUSCEPTIBLE TO FROST. NO FILL OR FINISHES SHALL BE PLACED ON FROZEN GROUND. THIS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR ANY EXCAVATION OR OTHER WORK.
- 18) PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVE SET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. VIBES BETWEEN STUDIES AND CLIMATES OF MATERIAL SHALL BE FILLED WITH THE MATERIAL.
- 19) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND SOILS AND EROSION CONTROLS.
- 20) ALL CATCH BASINS SHALL BE PRE-CAST IN-20 LANDING AND SHALL BE EQUIPPED WITH DEEP SLIPS (4 IN.) AND HOODS (SEE DETAILS). HOODS ARE TO BE THE ELEVATION OF THE FINISH GRADE. HOODS ARE TO BE SET WITH FINISH GRADE UNLESS OTHERWISE INSTRUCTED DURING CONSTRUCTION BY ROCHESTER DPW. RIMS ABOVE FINISH GRADE WILL BE NOT BE ACCEPTED. ALL RIMS, GRATES AND COVERS ARE TO BE U.S.A. MADE.
- 21) ALL EXISTING CONCRETE NOTES SHALL INCLUDE PROVISIONS FOR CONSTRUCTION SEQUENCING, TEMPORARY EROSION CONTROL, WEATHERS, AND PROTECTIVE STANDARDS SUCH AS LOAD SPREAD RATE FOR DISTURBED AREAS, RATES OF LIFT, TYPE AND RATES FOR FERTILIZER, AND SEED AND MULCH MIXTURE WITH RATES OF APPLICATION. FILL/BOX SOIL IS PREPARED OVER THE USE OF SET FENCE. FENCING IS TO BE USED ON SITE ONLY AS RED AND DIRECTED BY THE SWAMP INSPECTION.
- 22) SEE SEWERAGE & EROSION CONTROL PLAN FOR SLOPE PROTECTION DETAILS.
- 23) ALL DRAINAGE PIPE IS TO BE HOPE H-12. MINIMUM PIPE SIZES ARE SPECIFIED.
- 24) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 25) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA PHASE II. THE NOTICE OF INTENT (NOI) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
- 26) UPON FINAL COMPLETION AND USE STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BLOW DOWN.
- 27) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOAM AND SEED.
- 28) ALL BASINS AND DRAINS ARE TO HAVE DOORS INSTALLED ON ALL INLETS AND OUTLETS.
- 29) THE LIMITS OF CONSTRUCTION DISTURBANCE AND TREE CLEARING LIMITS ARE TO BE MARKED OUT AND APPROVED BY THE CITY PRIOR TO WORK.
- 30) ALL TREATMENT SHALL BE CONSTRUCTED SHALL HAVE SOO BOTTOMS UNLESS OTHERWISE INSTRUCTED BY THE DESIGN ENGINEER DURING CONSTRUCTION.
- 31) A LETTER OF CREDIT FOR THE COST OF RE-VEGETATING ALL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS, AS MAY BE APPLICABLE.
- 32) A PRE-CONSTRUCTION CONFERENCE WITH THE DEVELOPER, THE DESIGN ENGINEER, THE EARTHWORK CONTRACTOR AND ROCHESTER CITY STAFF SHALL OCCUR PRIOR TO ANY EARTH DISTURBING ACTIVITY.
- 33) BUILDING ADDRESSES SHALL BE DETERMINED BY THE BUILDING OFFICIAL.
- 34) THE FOLLOWING FEDERAL AND STATE PERMITS HAVE BEEN ISSUED FOR THE SUBJECT PROPERTY:
EPA WATER OF WETLAND (NOI)
EPA WATER OF WETLAND PERMIT
EPA WATER OF WETLAND PERMIT
- 35) LIST ANY VARIANCES OR SPECIAL EXCEPTIONS GRANTED BY THE ZONING BOARD OF ADJUSTMENT, NONE.
- 36) THE PLAN PROPOSES 50,000 SQ. FT. OF DISTURBANCE. PER EN-101.0012 (B) AN ALTERATION OF TEMPORARY PERMIT IS NOT REQUIRED. AREA OF DISTURBANCE INCLUDES HOOD STREETS.
- 37) CALL DO NOT SUE PRIOR TO BEGINNING WORK (1-800-344-7233).
- 38) WRITTEN DISCUSSION ON THE PLAN TAKE PRECAUTIONS OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING DIMENSIONS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONSTRUCTION IS TO CONFORM ALL ELEVATIONS. CONFLICTS WILL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- 39) PROTECT TO COMPLETION OF TREE CLEARING. THE WETLAND BOUNDARY AND SETBACKS SHALL BE MARKED FROM BOUNDARY. FROM BOUNDARY ARE TO BE USED AT THE LIMITS OF THE WETLAND BOUNDARY WITH BLACK AND YELLOW FLAGGING. THE APPROVED PLANNING DEPARTMENT BARRIER SIGN WILL BE PLACED ALONG THE WETLAND SETBACK BOUNDARY EVERY 25'.
- 40) RESIDENTIAL CARS STOPS ARE TO BE PLACED IN CARS STOPS. IF LOCATED WITHIN PAVED AREAS THEY ARE TO BE PLACED IN DRIVE ROADS.

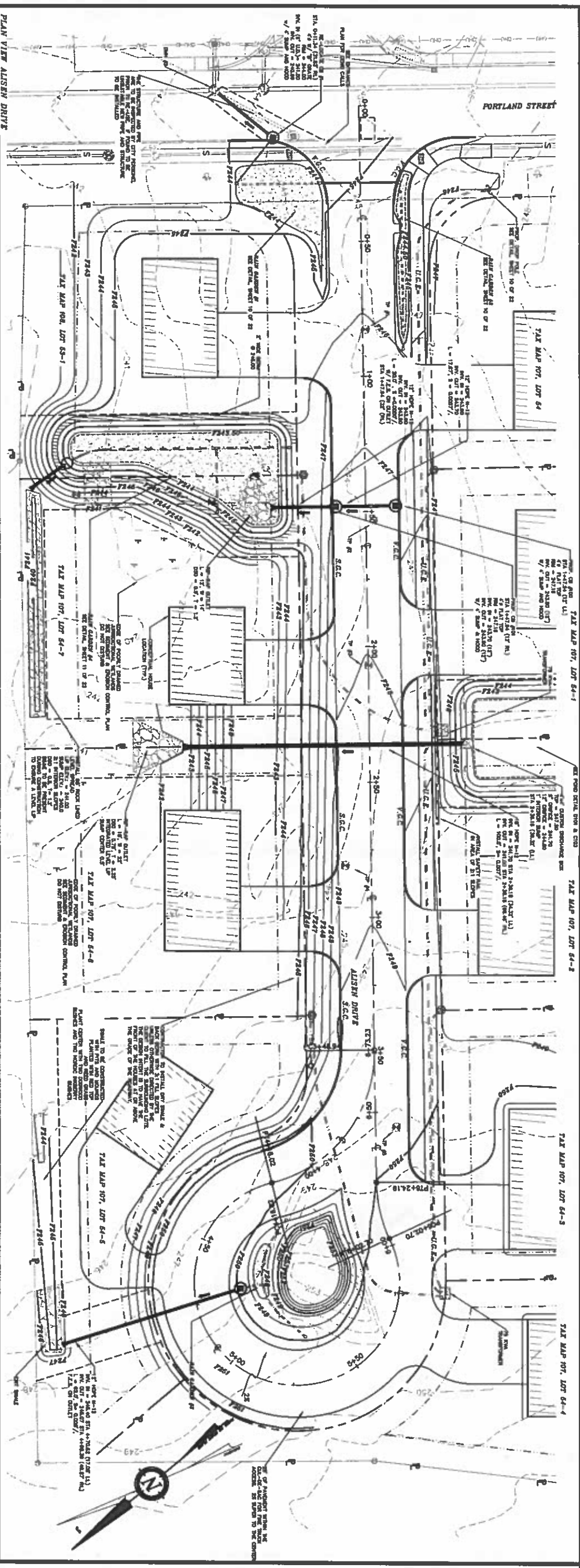


SHEET 5 OF 22

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

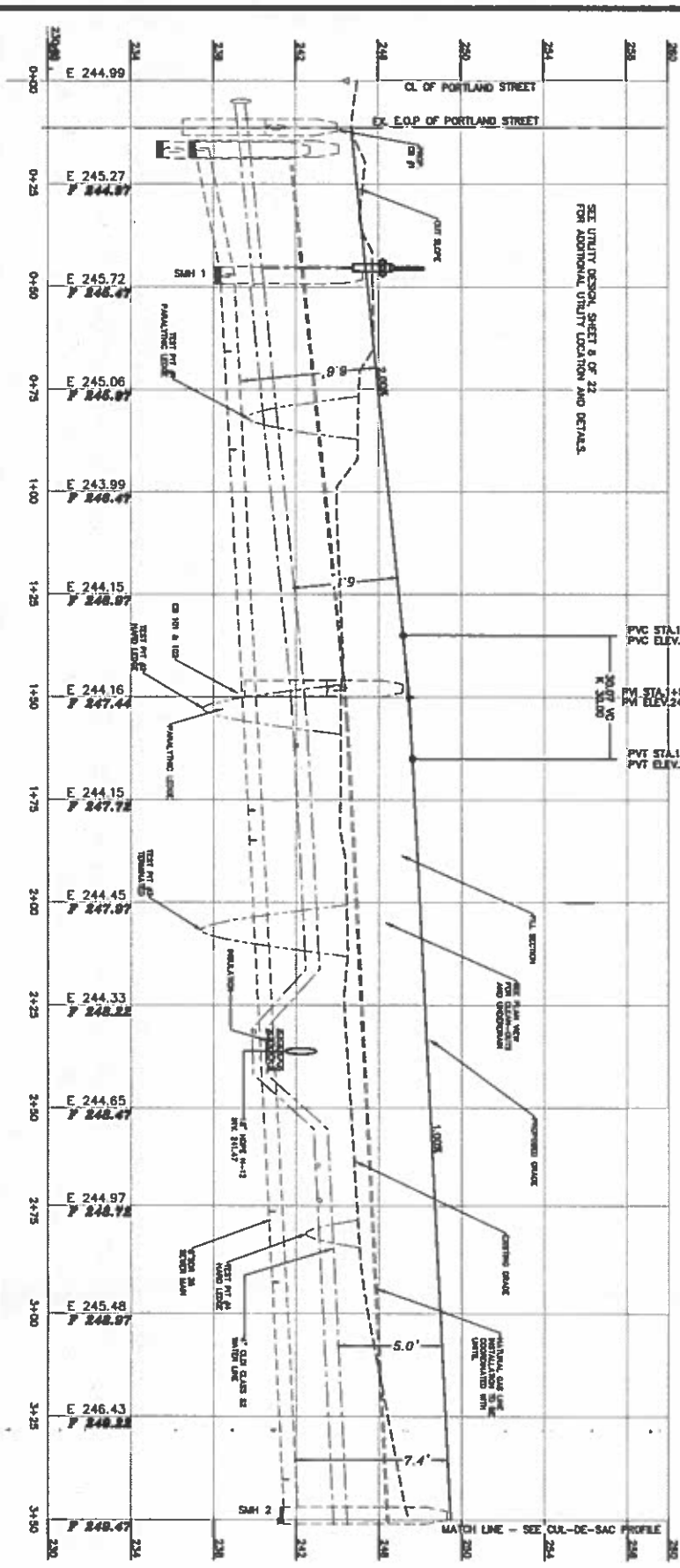
SUBDIVISION
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



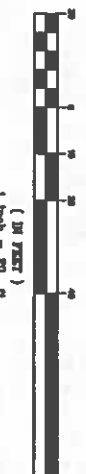
PLAN VIEW AISEN DRIVE

PROFILE VIEW AISEN DRIVE 0+00 - 3+50
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'



NOTES:
1) OWNER: TOM AUBERT
3 QUAY DRIVE
ROCHESTER, NH 03607

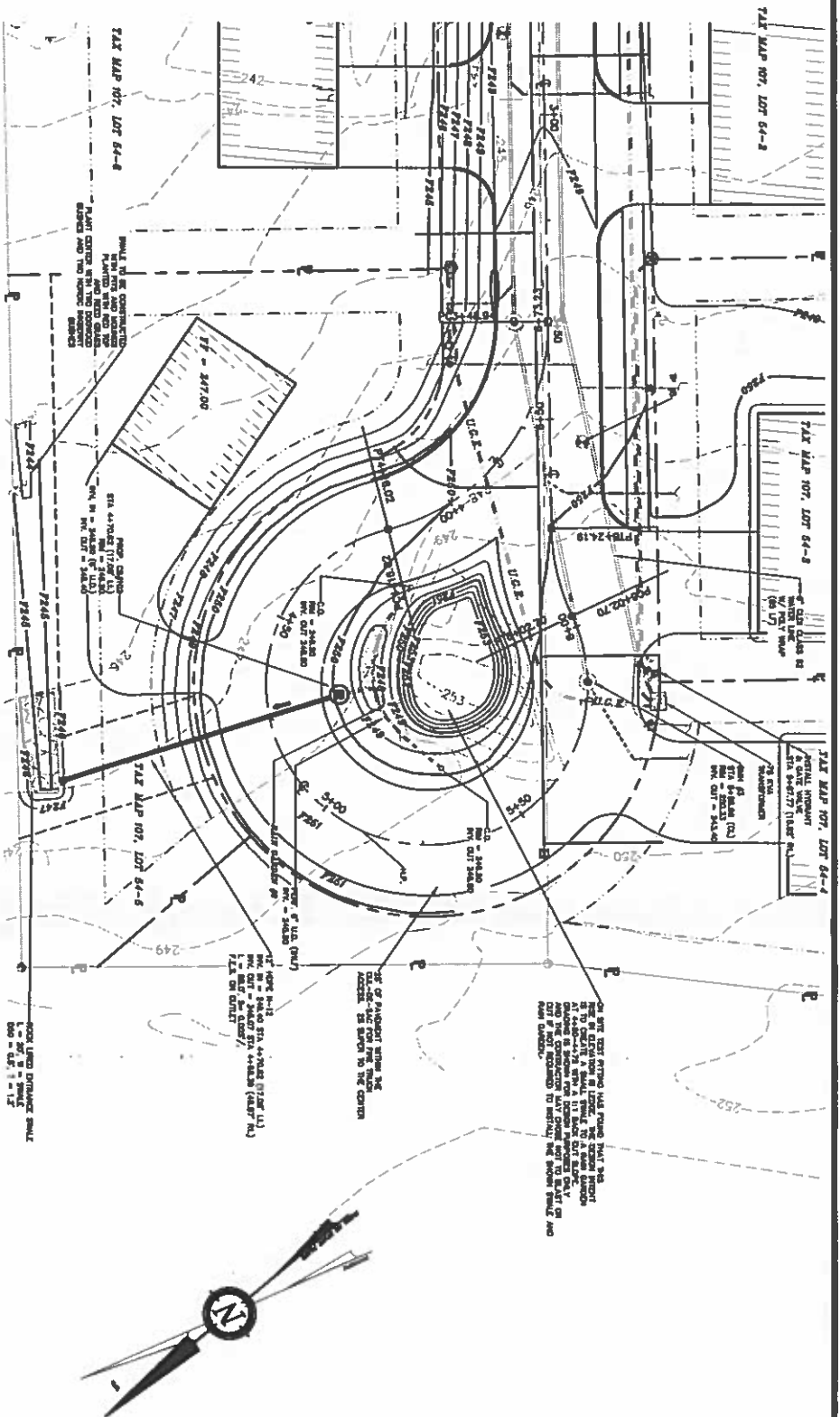
- 1) CITY OF ROCHESTER TAX MAP 107, LOT 54 & TAX MAP 108, LOT 53-1
- 2) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE GRADING AND DRAINAGE SYSTEMS FOR THE PROPOSED ROADWAY
- 3) UNPROPOSED UTILITY LOCATIONS ARE SHOWN BY DASHED LINES AND ARE NOT TO BE MOVED. LOCATION AND DEPTH OF ANY EXISTING UTILITY ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 4) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DEPARTMENT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 5) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND EROSION CONTROLS.
- 6) ALL CATCH BASINS SHALL BE PRE-CAST 18" x 20" LANDING AND SHALL BE EQUIPPED WITH DEEP SLUICES (4" DIA.) AND HOODS (SEE DETAIL) HOODS ARE TO BE THE STANDARD BY ROCHAMSTER, NH AND SHALL BE SET FLUSH WITH THE FINISHED GRADE. ALL BASIN GRATES AND COVERS ARE TO BE 18" x 20" IN SIZE.
- 7) SEE SCHEDULE A EROSION CONTROL PLAN FOR SLOPE PROTECTION AND CONTROLS FOR THE ENTIRE SITE.
- 8) ALL DRAINAGE PIPE IS TO BE 12" DIA. 40' L.S. (GREEN PIPE). MINIMUM PIPE SIZES ARE SPECIFIED.
- 9) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 10) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA PHASE II. THE NOTICE OF VIOLATION (NOV) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER.
- 11) UPON FINAL COMPLETION AND ASB STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEARED OF ALL DEBRIS TO INCLUDE THE PUMPING OF THE BASIN SURF.
- 12) ALL UNPAVED AREAS ARE TO RECEIVE 4" QUALITY LOW AND SEED.
- 13) ALL BASINS AND DRAINS ARE TO HAVE BODIES INSTALLED ON ALL INLETS AND OUTLETS.
- 14) ALL CATCH BASINS TO BE LINED WITH A POLYETHYLENE LINER.
- 15) ALL PROPOSED CLEAN OUTS ARE TO BE VERTICAL 12" DIA. WITH CAST IRON COVERS SCREWED WITH STAINLESS SCREWS. THE COVER IS TO BE DETACHED WITH A "T".
- 16) SEE SEPARATE SHEET FOR COMPLETE LOT GRADING. GRADING ON THE LOTS IS SCHEMATIC HOWEVER PROVIDES THE DESIGNERS INTENT FOR STABILIZATION. IF THE DEVELOPER OR FUTURE OWNERS WISH TO MODIFY THE GRADING PROVIDED, THERE MAY BE RELOCATION AND SIZE OF THE EXISTING CATCH BASIN AND PUMPING AT THE STREET NEEDS TO BE APPROVED BY THE CITY OF ROCHESTER. CITY ENGINEER OR UTILITIES DEPARTMENT. IF THE STRUCTURE ON PIPE ARE DEEMED NECESSARY, NEW MATERIALS SHALL BE USED.



BERRY SURVEYING & ENGINEERING
335 SECOND POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

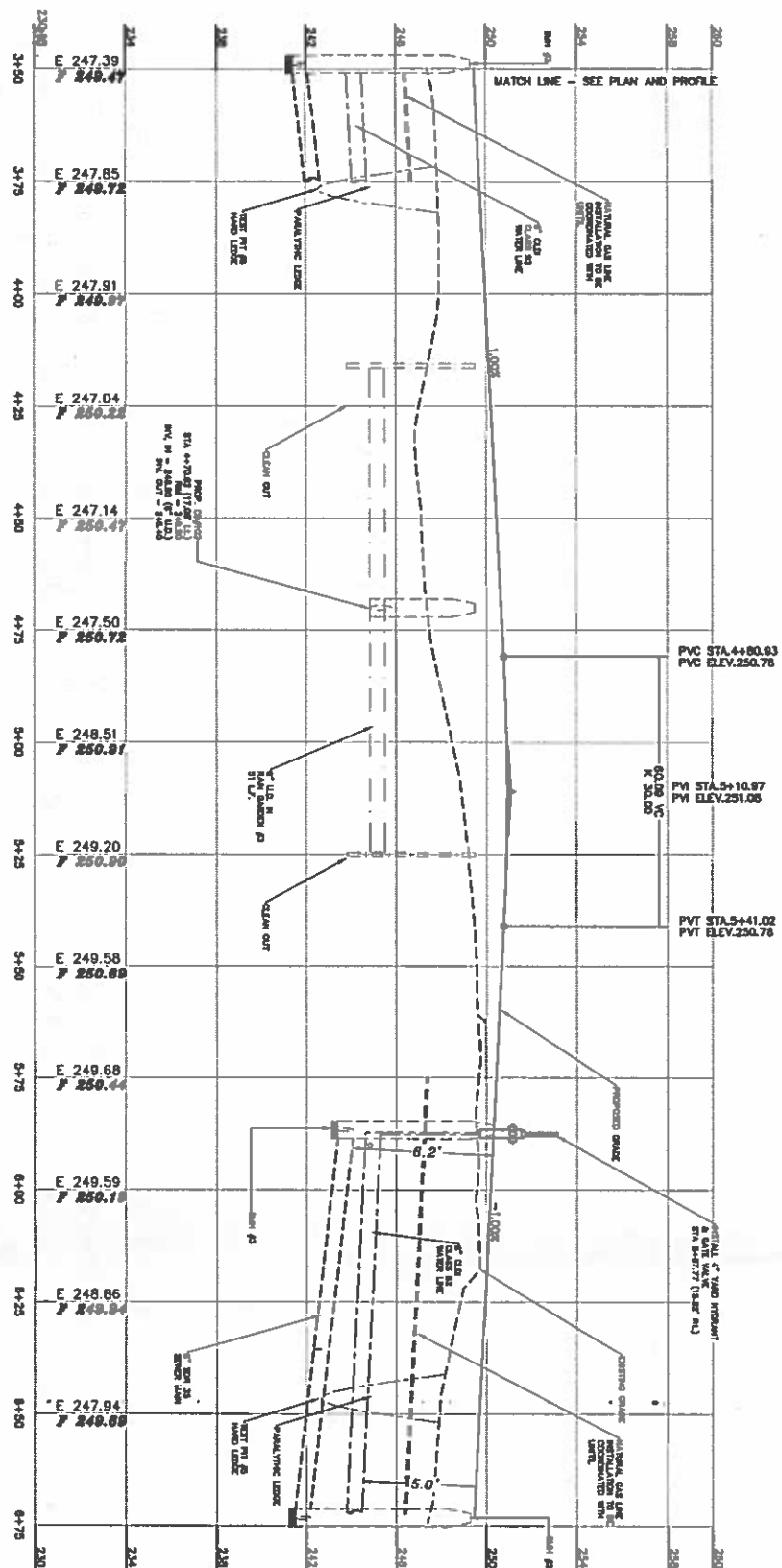
PLAN AND PROFILE
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS



PLAN VIEW ALLEN DRIVE

PROFILE VIEW ALLEN DRIVE
3+60-END
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 4'



(IN FEET)
1 inch = 20 feet

STATE OF NEW HAMPSHIRE

SEAL

BERRY & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : JANUARY 1, 2016

FILE NO. : DB 2015 - 040

BERRY & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 20 FT.

DATE : JANUARY 1, 2016

FILE NO. : DB 2015 - 040

PLAN AND PROFILE OF CUL-DE-SAC

FOR

TOM AUBERT

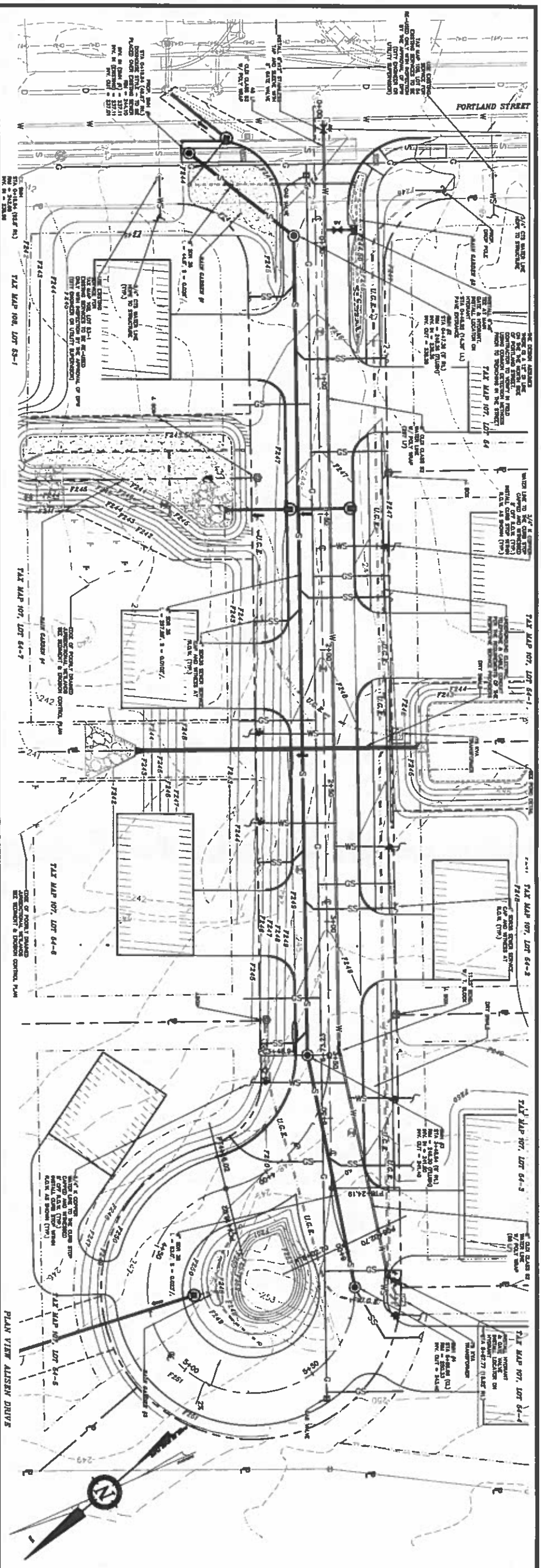
788 AND 794 PORTLAND STREET

ROCHESTER, NH

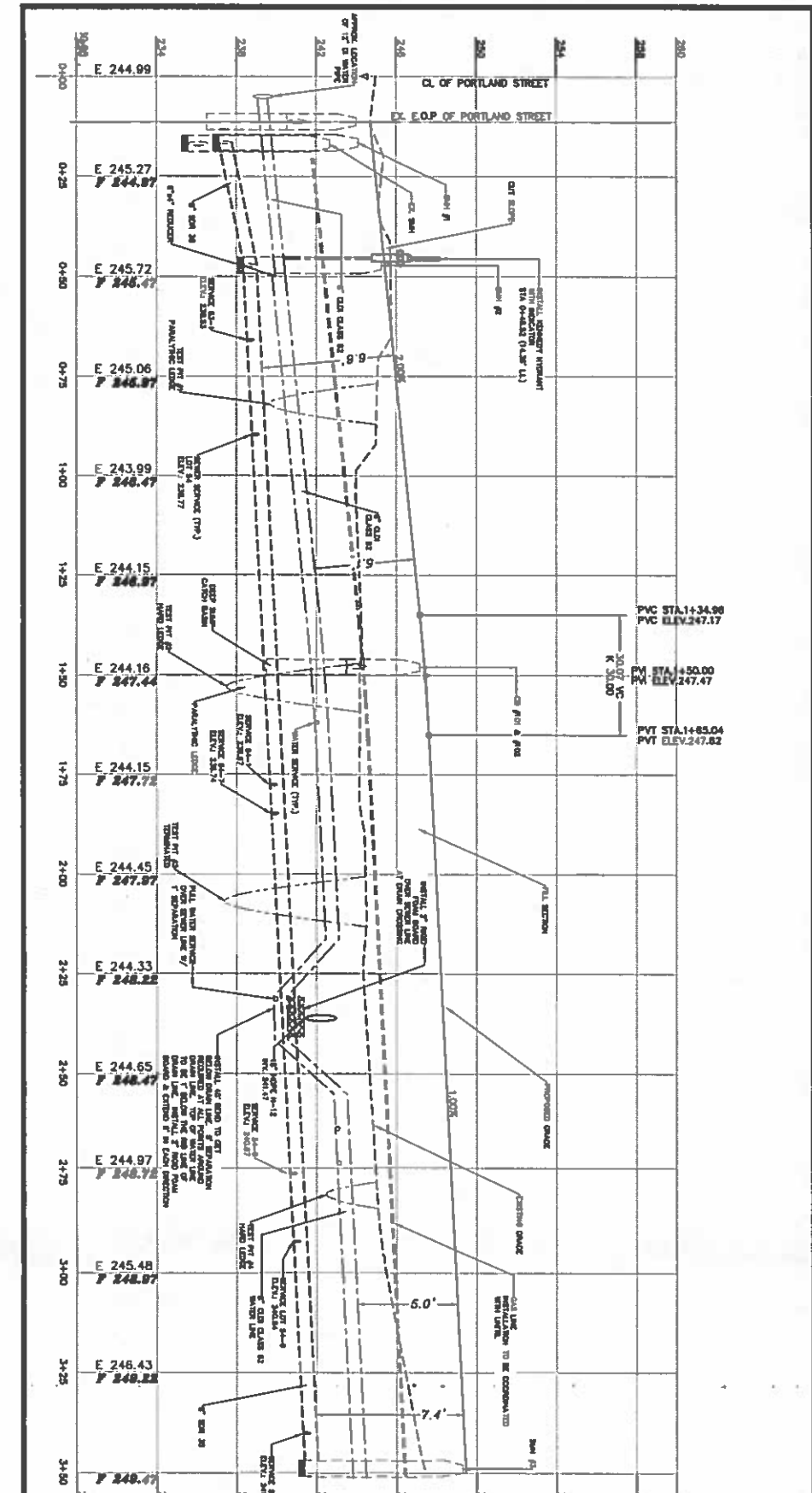
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

SHEET 7 OF 22



DESIGN R UBERT ORTLAND STREET ER, NH TAX MAP 108, LOT 53-1		#2 #1	2-10-16 1-20-16	REVISED PER PB, DPW & PLANNING REVISED PER TRG COMMENTS
		REVISION	DATE	DESCRIPTION



- NOTES:
- 1) OWNER: TMA AUBERT
5 CLAY DRIVE
ROCHESTER, NH 03607
 - 2) CITY OF ROCHESTER TAX MAP 107, LOT 64 & TAX MAP 108, LOT 53-1
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE THE PUBLIC UTILITIES WITHIN THE SUBDIVISION
 - 4) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 5) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DISSECT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 6) PROTECTION OF SURFACES: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE OPERATING SURFACES, TROTCERS, AND OTHER AREAS DURING CONSTRUCTION. SURFACE DISTURBANCES MAY BE REDUCED BY EXCAVATION METHODS, INCLUDING PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SURFACE DISTURBANCES, SUCH AS EXCAVATION, EROSION, AND OTHER ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SURFACE DISTURBANCES, SUCH AS EXCAVATION, EROSION, AND OTHER ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SURFACE DISTURBANCES, SUCH AS EXCAVATION, EROSION, AND OTHER ACTIVITIES.
 - 7) IF THE EXCAVATION IS PERFORMED DURING FREEZING WEATHER (NOT ALLOWED IN CITY R.O.W.), EXPOSED SURFACES ARE SUBJECT TO THE CONTRACTOR'S RISK. NO TIL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE ADJACENT PROPERTY.
 - 8) PLACEMENT OF BOMBARD MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION. WOODS BETWEEN STONES AND CLIMBERS OF MATERIAL SHALL BE FILLED WITH THE MATERIALS.
 - 9) FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ROCHESTER DPW.
 - 10) CONTRACTOR TO CONTACT ROCHESTER DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY CONSTRUCTION TO COORDINATE ALL WORK CONCERNING INSTALLATION OF ANY PROPOSED WATER LINE IMPROVEMENTS.
 - 11) ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL CONFORM TO CITY OF ROCHESTER STANDARDS.
 - 12) CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVIDENCE AT (800) 663-7764. ALL ELECTRICAL CONDUIT INSTALLATION SHALL BE INSPECTED BY EVIDENCE PRIOR TO BACKFILL. A 48-HOUR WARNING NOTICE IS REQUIRED.
 - 13) ALL SEWER INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF HANCO & ROCHESTER DPW SEWER DIVISION STANDARDS.
 - 14) CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH FARMPOINT COMMUNICATIONS AT (800) 427-8223.
 - 15) CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH METROCAST.
 - 16) ALL SEWER MAIN HOLE RIMS & COVERS ARE TO BE PAINTED.
 - 17) ALL WATER SERVICES ARE TO BE WITNESSED WITH A 27% PAINTED BLUE. ALL SEWER SERVICES ARE TO BE WITNESSED WITH A 27% PAINTED YELLOW.
 - 18) IT IS THE DESIGN INTENT TO NOT HAVE ANY WATER SHUT OFF VALVES WITHIN PAVED AREAS. ALL CURB STOPS ARE TO BE LOCATED IN CURB BOARDS. IF DURING CONSTRUCTION IT BECOMES REQUIRED TO PLACE THE STOP IN A PAVED AREA IT IS TO BE PLACED WITHIN A BLUE BOX AT NO ADDITIONAL EXPENSE TO THE OWNER. THIS IS TO BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER PRIOR TO INSTALLATION.

BERRY & SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

UTILITY DESIGN
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

#2	#1	REVISION	DATE	DESCRIPTION
2-10-16	1-20-16			REVISED PER PB, DPW & PLANNING
				REVISED PER TRG COMMENTS

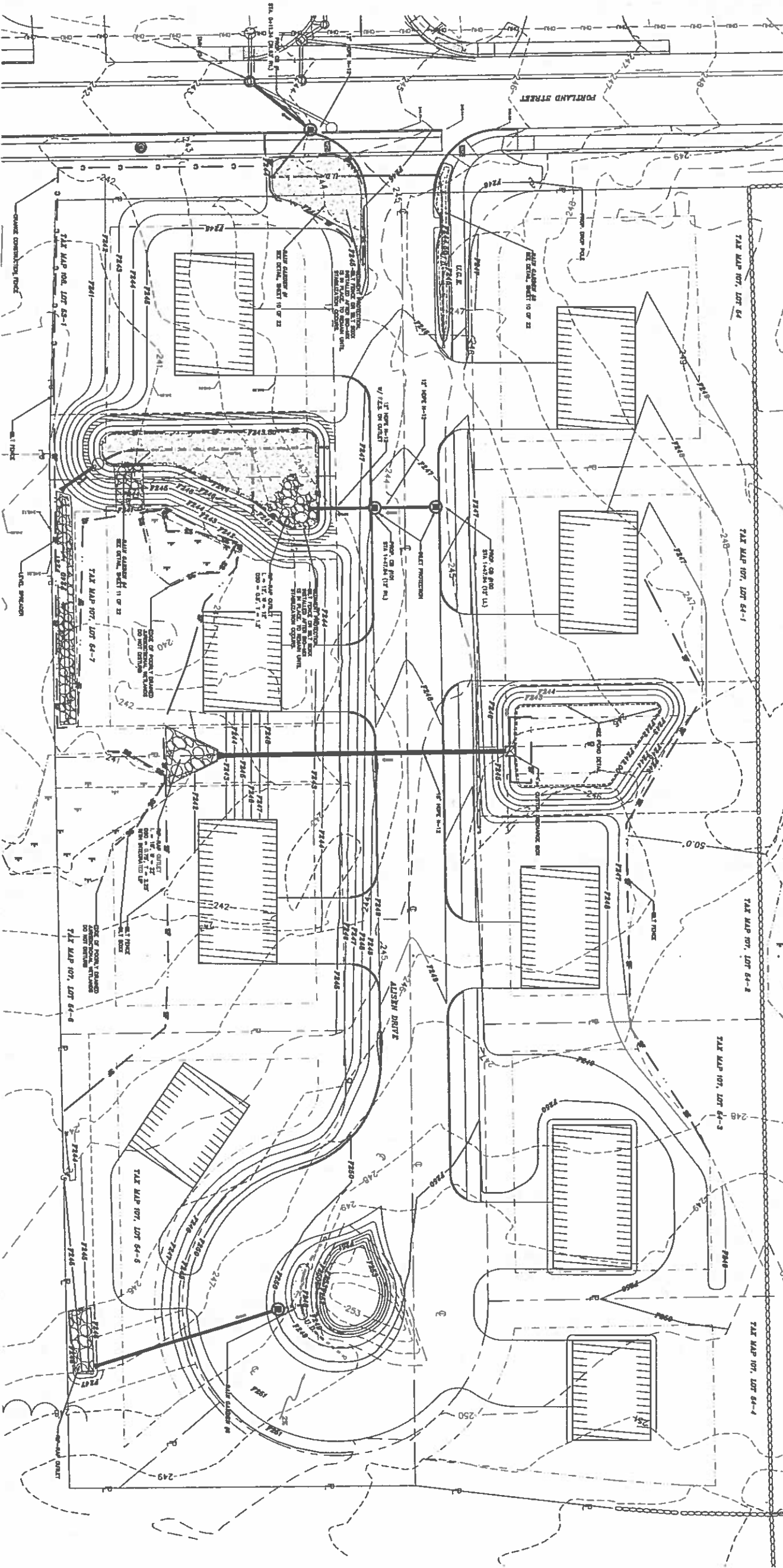


- NOTES:**
- 1) OWNER: TOM AUBERT
8 DARTY DRIVE
ROCHESTER, NH 03827
 - 2) CITY OF ROCHESTER TAX MAP 107, LOT 54 & TAX MAP 108, LOT 53-1
 - 3) THE PURPOSE OF THIS PLAN IS TO DEMONSTRATE EROSION & SEDIMENT CONTROL PROTECTION FOR THE SITE DEVELOPMENT.
 - 4) UNDESIGNED UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. ANY DISCREPANCY BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
 - 5) THE CONSTRUCTION SHALL CALL AND COORDINATE WITH DEPART. 4-888-344-7233 AT LEAST 48 HOURS PRIOR TO COMMENSAL ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 6) ALL BIO-HAZARD WILL BE INSPECTED PRIOR TO INSTALLATION AND AFTER INSTALLATION CONSTRUCTION THAT IS UNDERTAKEN WITHIN 50 FEET OF JURISDICTIONAL WETLANDS IS REQUIRED TO HAVE TWO LAYERS OF SEDIMENT PROTECTION PER EPA CDP.

- NOTES (CONT.):**
- 8) A SEDIMENTATION POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER (P.E.) LICENSED IN THE STATE OF NEW HAMPSHIRE PRIOR TO THE START OF CONSTRUCTION. THE SWPPP SHALL BE SUBMITTED TO THE CITY OF ROCHESTER FOR REVIEW AND APPROVAL. THE SWPPP SHALL BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY OF ROCHESTER AT ANY TIME.
 - 9) UPON FINAL COMPLETION AND INSPECTION, THE SWPPP SHALL BE TO BE CANCELLED BY ALL PARTIES TO THE SWPPP.
 - 10) ALL UNPAVED AREAS ARE TO BE COVERED WITH A MINIMUM OF 3" OF MULCH OR GRASS SEEDING. ALL PAVED AREAS ARE TO BE COVERED WITH A MINIMUM OF 2" OF MULCH OR GRASS SEEDING.
 - 11) A COPY OF THE SWPPP IS TO BE SUBMITTED TO THE CITY OF ROCHESTER PRIOR TO THE START OF CONSTRUCTION. A COPY OF THE SWPPP IS TO BE SUBMITTED TO THE CITY OF ROCHESTER PRIOR TO THE START OF CONSTRUCTION.
 - 12) THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY OF ROCHESTER AT ANY TIME.
 - 13) THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY OF ROCHESTER AT ANY TIME.
 - 14) THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY OF ROCHESTER AT ANY TIME.
 - 15) THE SWPPP IS TO BE MAINTAINED ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE AVAILABLE FOR INSPECTION BY THE CITY OF ROCHESTER AT ANY TIME.

NOTES & REFERENCES:

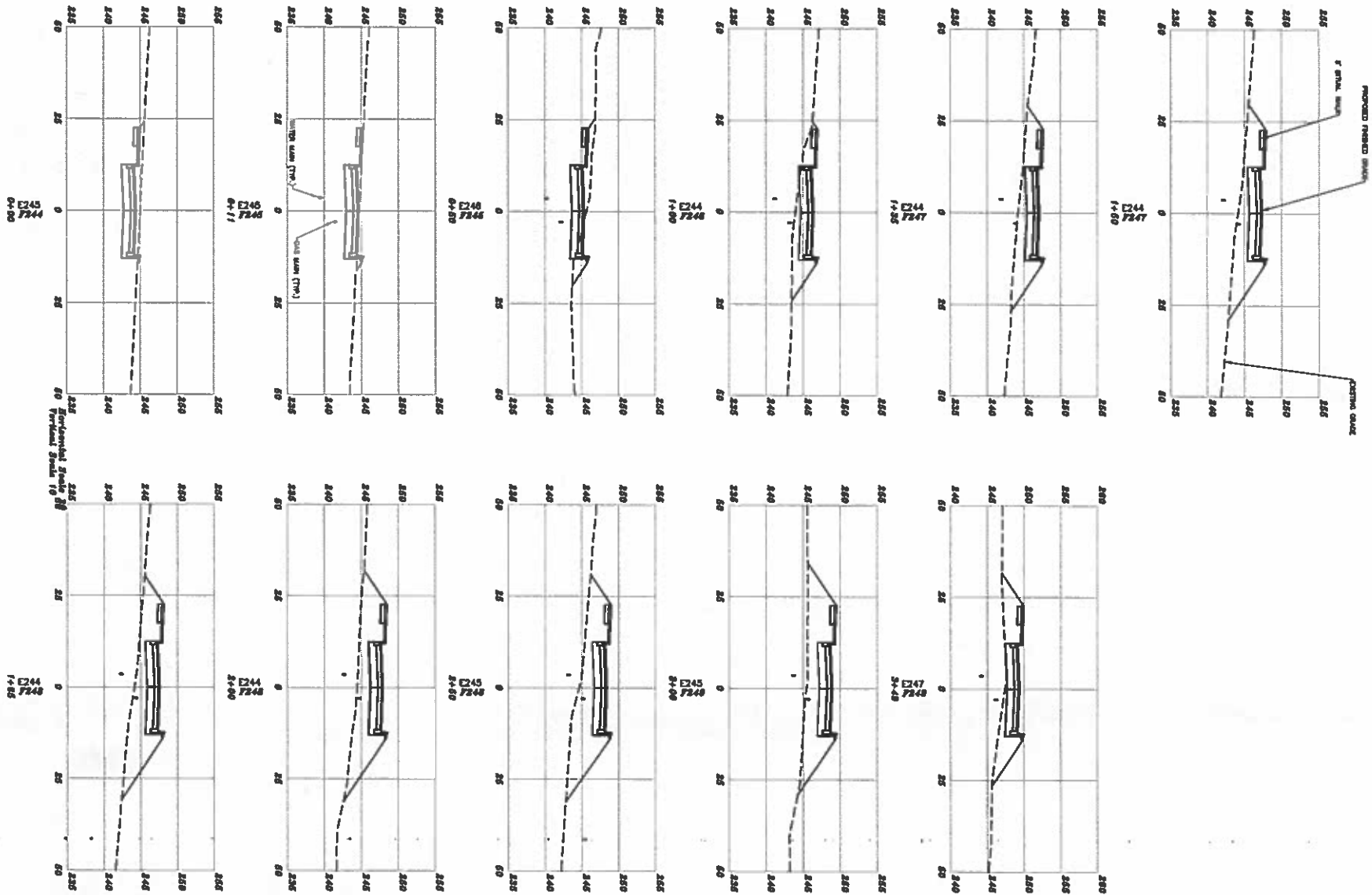
1. ACTION PERMITS: 0 TO 5 PERCENT SLOPES
2. ACTION PERMITS: 5 TO 8 PERCENT SLOPES
3. ACTION PERMITS: 8 TO 15 PERCENT SLOPES
4. ACTION PERMITS: 15 TO 25 PERCENT SLOPES
5. ACTION PERMITS: 25 TO 35 PERCENT SLOPES
6. ACTION PERMITS: 35 TO 45 PERCENT SLOPES
7. ACTION PERMITS: 45 TO 55 PERCENT SLOPES
8. ACTION PERMITS: 55 TO 65 PERCENT SLOPES
9. ACTION PERMITS: 65 TO 75 PERCENT SLOPES
10. ACTION PERMITS: 75 TO 85 PERCENT SLOPES
11. ACTION PERMITS: 85 TO 95 PERCENT SLOPES
12. ACTION PERMITS: 95 TO 100 PERCENT SLOPES



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : 1 IN. EQUALS 20 FT.
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

SEDIMENT & EROSION CONTROL PLAN
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS



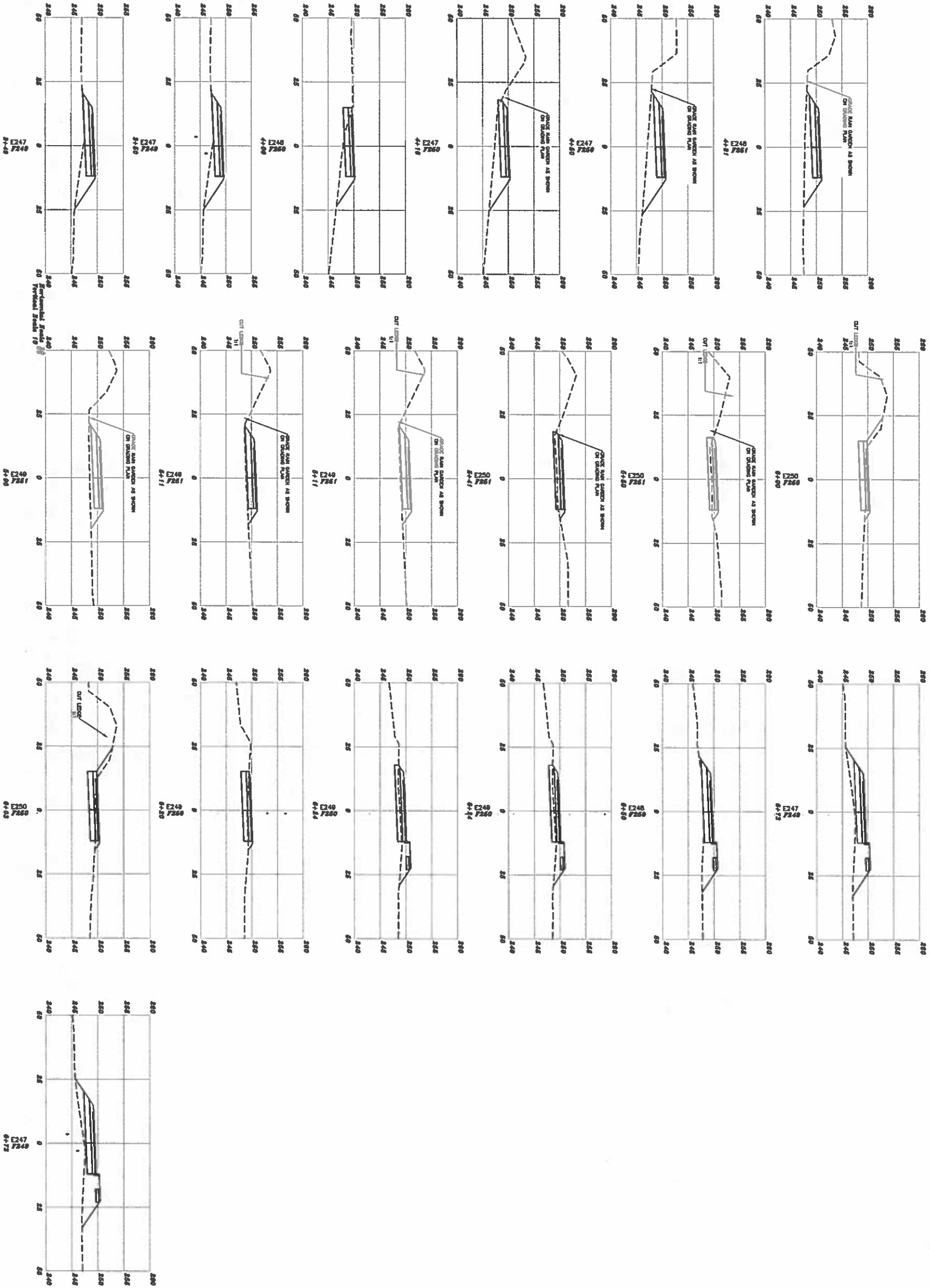
SHEET 12 OF 22



BERRY SURVEYING & ENGINEERING
 335 SECOND CROWN POINT ROAD
 BARRINGTON, NH 03825 (603)332-2863
 SCALE : AS NOTED
 DATE : JANUARY 1, 2016
 FILE NO. : DB 2015 - 040

CROSS SECTIONS 0+00-3+48.94
 FOR
 TOM AUBERT
 788 AND 794 PORTLAND STREET
 ROCHESTER, NH
 TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

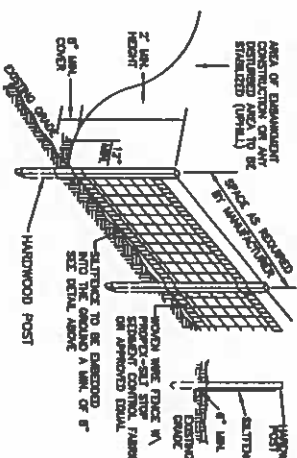


#	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

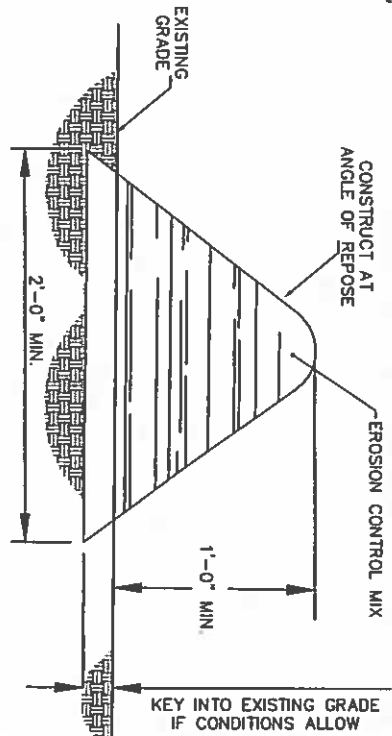
CROSS SECTIONS 3+50-6+73.22
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS NOTED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

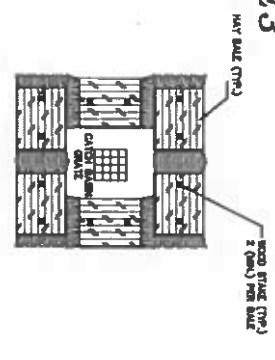




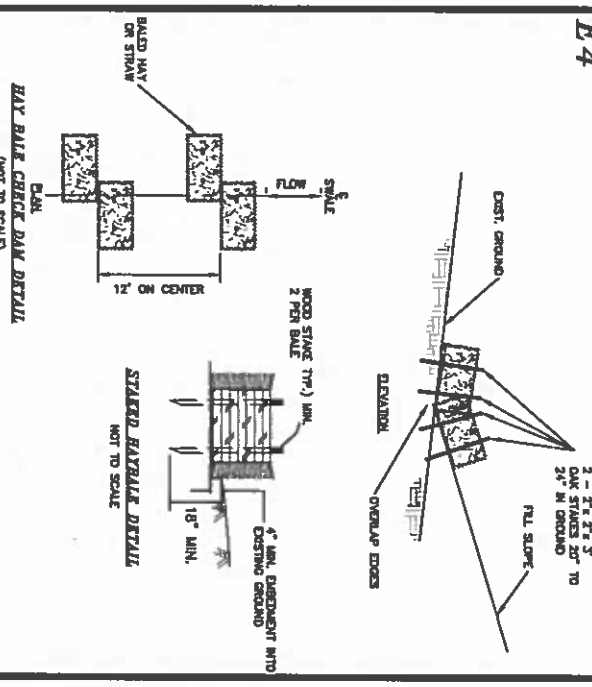
E1
EROSION CONTROL MIX BERM



E2
EROSION CONTROL MIX BERM



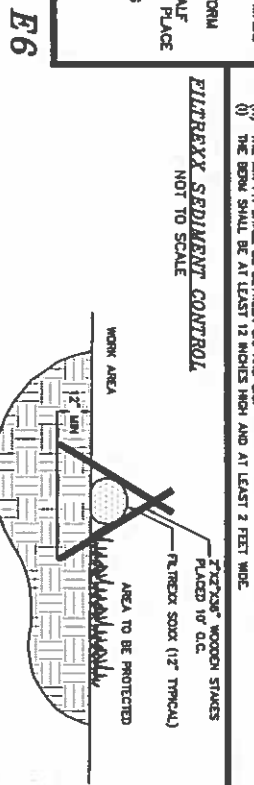
E3
HAY BALE SEDIMENT CONTROL



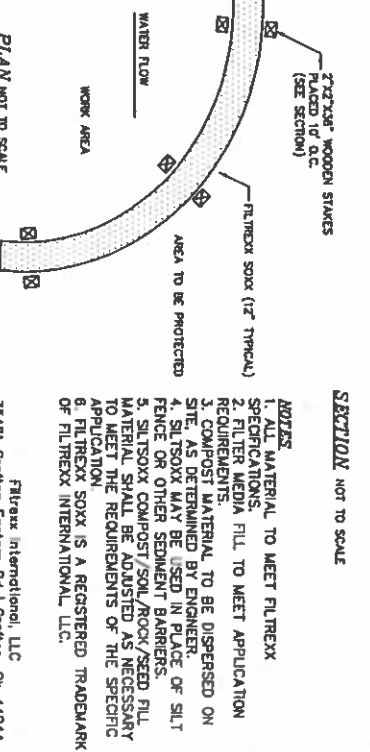
E4
BAY BALE CHECK DAM DETAIL

CONSTRUCTION SPECIFICATIONS
FOR STRAW OR HAY BALE BARRIERS

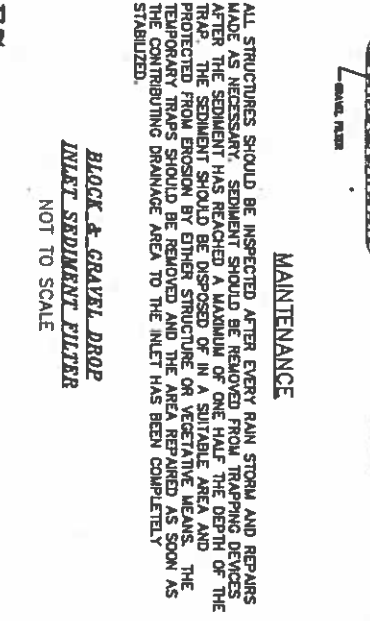
1. BARRIERS SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS.
2. CONSTRUCTION OPERATIONS SHALL BE COMPLETED BY 10:00 A.M. ON THE DAY OF INSTALLATION.
3. BARRIERS SHALL BE MAINTAINED AT ALL TIMES TO REMAIN EFFECTIVE.
4. BARRIERS SHALL BE REMOVED WHEN THEY ARE NO LONGER EFFECTIVE.
5. BARRIERS SHALL BE REINSTALLED WHEN THEY ARE NO LONGER EFFECTIVE.
6. BARRIERS SHALL BE MAINTAINED AT ALL TIMES TO REMAIN EFFECTIVE.
7. BARRIERS SHALL BE REMOVED WHEN THEY ARE NO LONGER EFFECTIVE.
8. BARRIERS SHALL BE REINSTALLED WHEN THEY ARE NO LONGER EFFECTIVE.



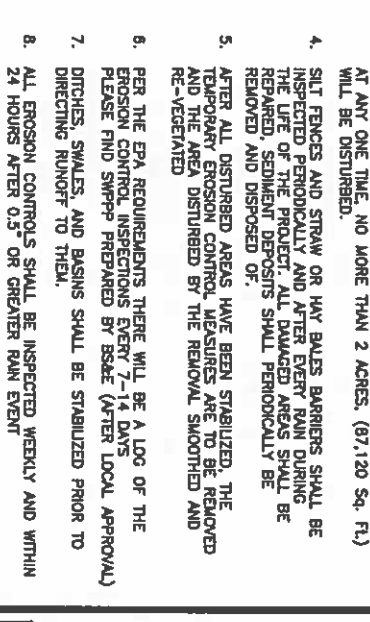
E5
FILTERBEXX SEDIMENT CONTROL



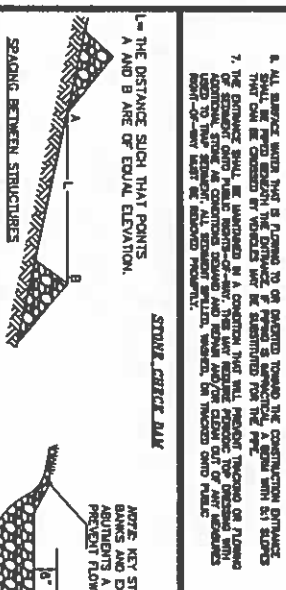
E6
FILTERBEXX SEDIMENT CONTROL



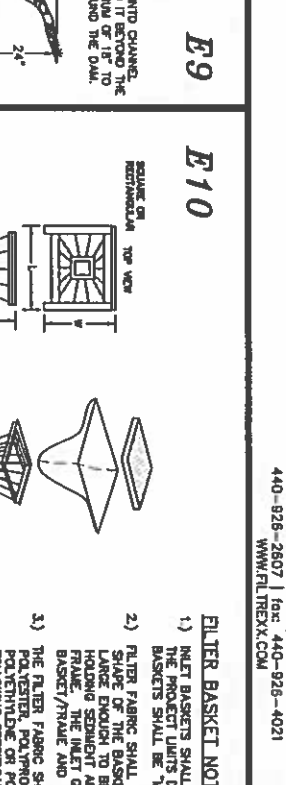
E7
BLOCK & GRAVEL DROP INLET SEDIMENT FILTER



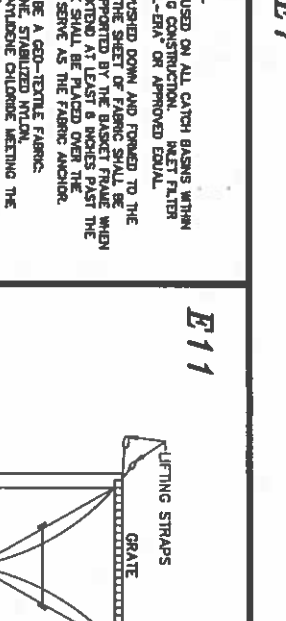
E8
TEMPORARY EROSION CONTROL MEASURES



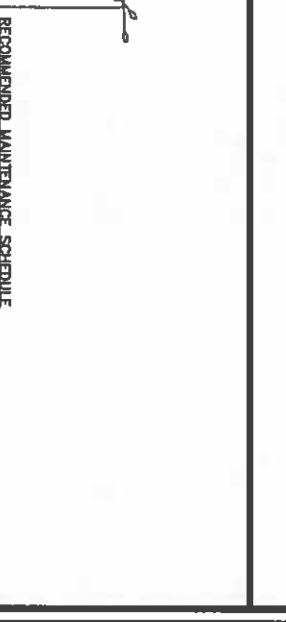
E9
STONE CHECK DAM



E10
INLET FILTER BASKET



E11
SLITSACK DETAIL

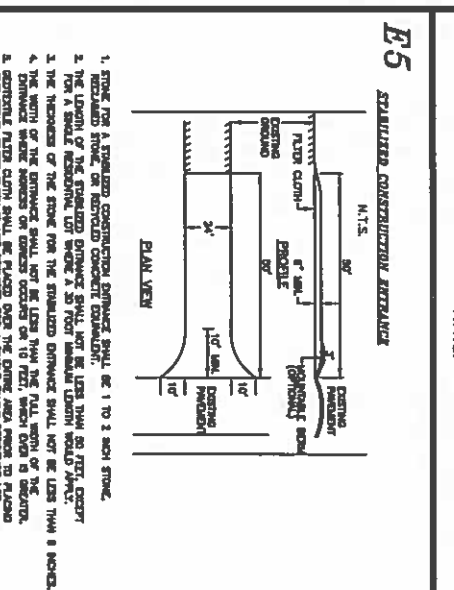


E12
SLITSACK DETAIL

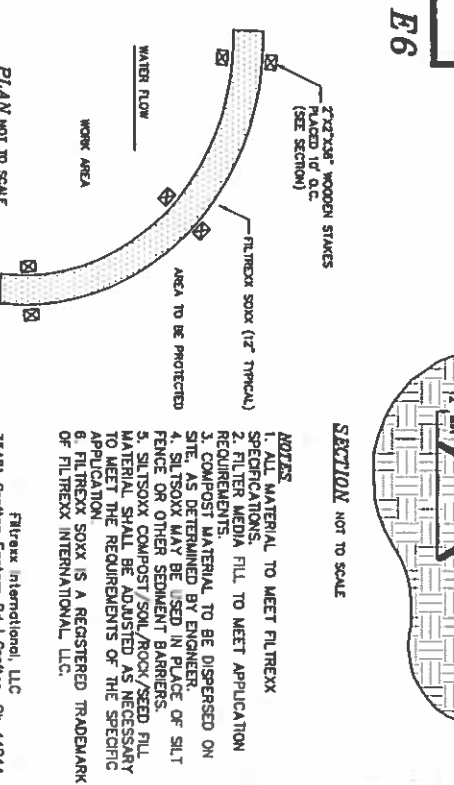
SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
2. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
3. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
4. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
5. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
6. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
7. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
8. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
9. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.
10. WOVEN WIRE FENCE SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP AND BOTTOM.

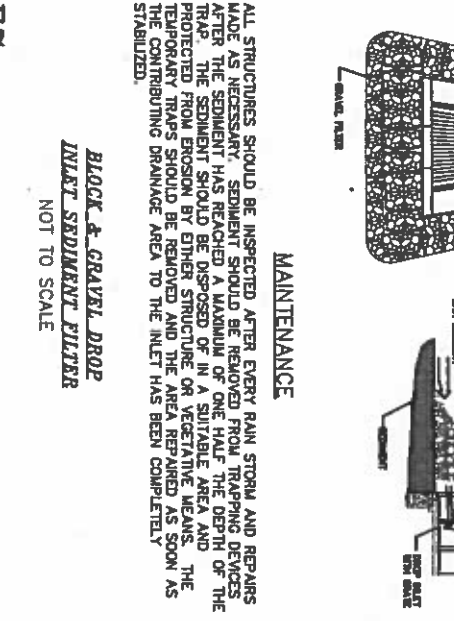
E5
SILT FENCE CONSTRUCTION SPECIFICATIONS



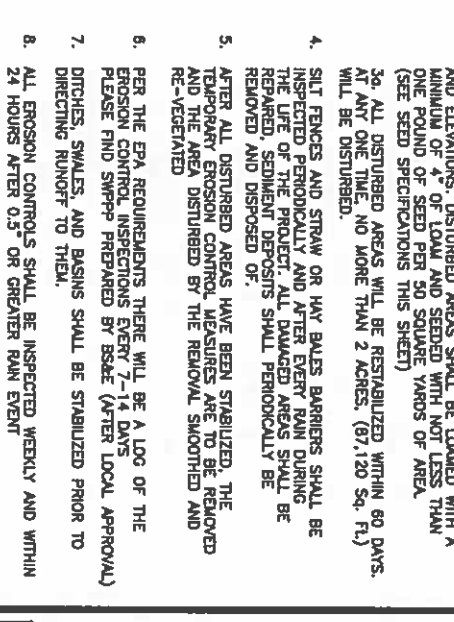
E5
STABILIZED CONSTRUCTION ENTRANCE



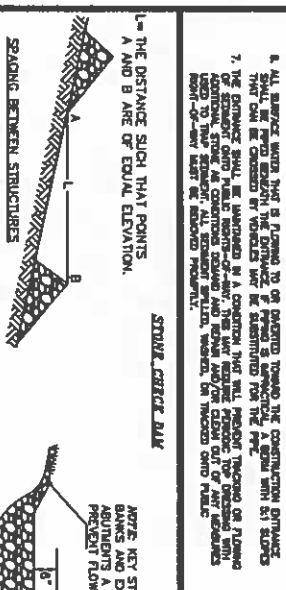
E6
FILTERBEXX SEDIMENT CONTROL



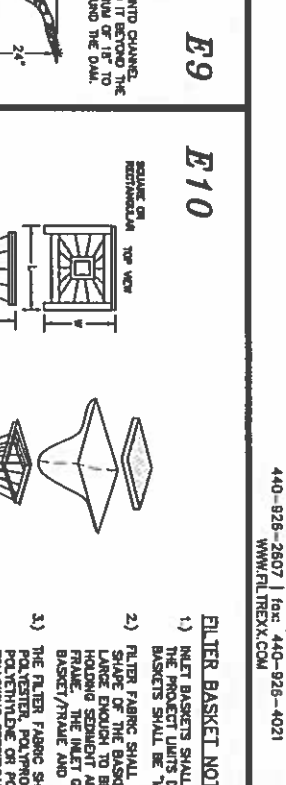
E7
BLOCK & GRAVEL DROP INLET SEDIMENT FILTER



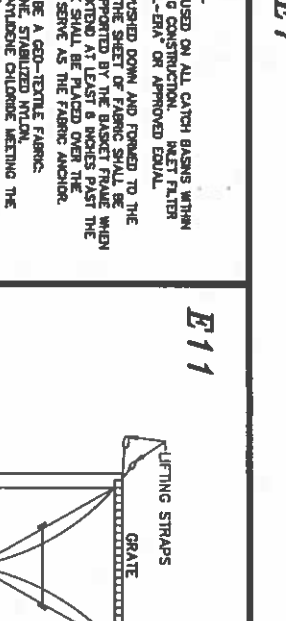
E8
TEMPORARY EROSION CONTROL MEASURES



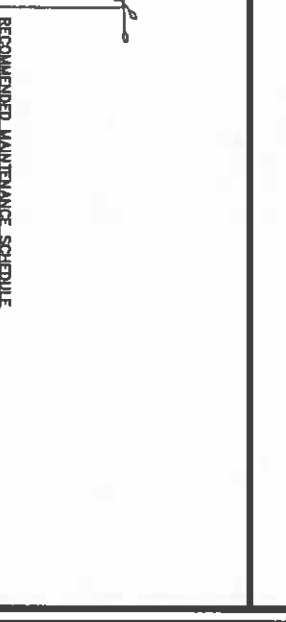
E9
STONE CHECK DAM



E10
INLET FILTER BASKET



E11
SLITSACK DETAIL

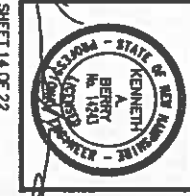


E12
SLITSACK DETAIL

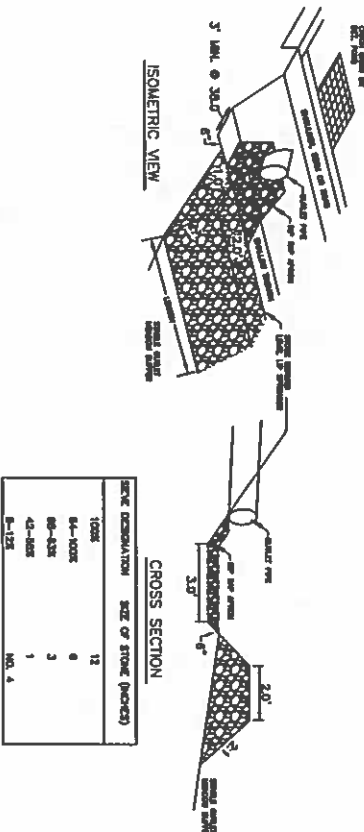
REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

SEDIMENT & EROSION CONTROL DETAILS
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040



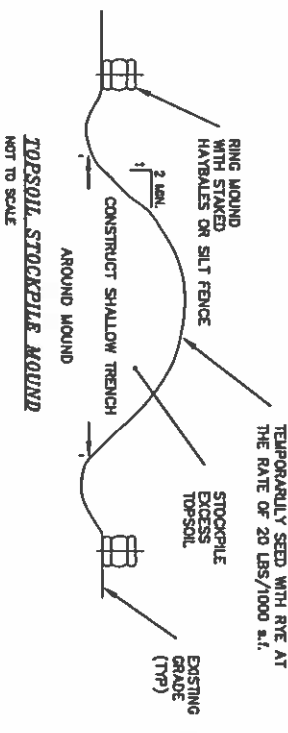
STONE BERM LEVEL SPREADER



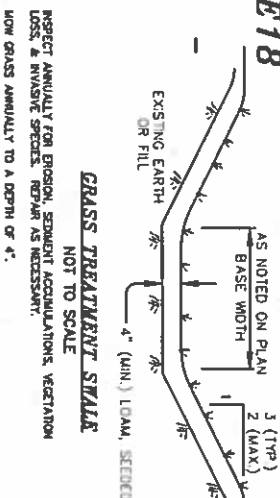
E12

1. CONSTRUCT THE LEVEL SPREADER UP ON A OR GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNSTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL UP AREA SHALL BE PROTECTED BY PLACING EXCESSOR ENFORCER MATTING BEHIND THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTFLOW ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE UP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEGMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE UP, THEN THE DAMAGE SHOULD BE REPAIRED.

E15



E18



INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATION, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.

GRASS TREATMENT STAKE
NOT TO SCALE

E16

SEEDING GUIDE									
SEED TYPE	SEED RATE (LBS/1000 SQ FT)	SEED TYPE	SEED RATE (LBS/1000 SQ FT)	SEED TYPE	SEED RATE (LBS/1000 SQ FT)	SEED TYPE	SEED RATE (LBS/1000 SQ FT)	SEED TYPE	SEED RATE (LBS/1000 SQ FT)
ALFALFA	100	BERMUDGRASS	100	CRABGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100
AMARANTH	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BARBER	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BARNYARD	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BELLY	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BELLY	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BELLY	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BELLY	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100
BELLY	100	BROMEGRASS	100	DAKOTA BLUEGRASS	100	FLORIDA BLUEGRASS	100	FLORIDA BLUEGRASS	100

SEEDING SPECIFICATIONS

1. Grading and Seeding
 - a. Slopes shall not be steeper than 2:1 (2:1 slopes or flatter are preferred. Where mowing will be done, 3:1 slopes or flatter are recommended).
 - b. Seeding Preparation
 - i. Surface and subgrade shall be cleared or disturbed from the site to prevent drowning or rotting.
 - ii. Slopes larger than 4:1 and less than 1:1 shall be removed because they interfere with seeding and future maintenance of the area. Where feasible, the soil should be tilled to a depth of about 4 inches to prepare a seedbed and mix fertilizer and lime into the soil. The best design operation should be performed across the slope whenever practical.
 - iii. Establishing a Stand
 - i. Lime and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil by hand or machine. The following minimum amounts should be applied:
 - Ammonium Nitrate, 2 tons per acre or 1,000 lbs.
 - Ammonium Phosphate, 2 tons per acre or 1,000 lbs.
 - Ammonium Potassium, 2 tons per acre or 1,000 lbs.
 - Ammonium Sulfate, 2 tons per acre or 1,000 lbs.
 - Ammonium Nitrate, 2 tons per acre or 1,000 lbs.
 - Ammonium Phosphate, 2 tons per acre or 1,000 lbs.
 - Ammonium Potassium, 2 tons per acre or 1,000 lbs.
 - Ammonium Sulfate, 2 tons per acre or 1,000 lbs.
 - ii. Note: This is the equivalent of 500 lbs. per acre of 16-20-20 fertilizer or 1,000 lbs. per acre of 5-10-10.

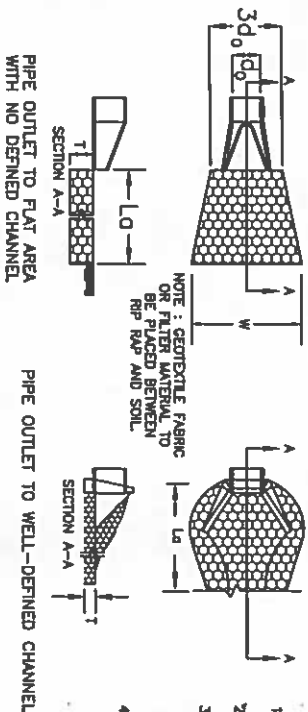
- a. Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling, or using a seed drill. Where broadcasting is used, cover seed with 1/2 inch of soil or less, by raking, rolling, or tamping.
- b. Refer to Table E-1 (this sheet) for appropriate seed and fertilizer (this sheet) for rates of seeding, all legumes (concentrated, banded, and mixed) must be inoculated with their specific bacterium.
- c. When seeded areas are mowed, planting may be made from early spring to early October. When seeded areas are not mowed, planting should be made from early spring to May 20 or from August 10 to September 1.
- d. Hay, straw, or other mulch, when needed, should be applied immediately after seeding.
- e. Mulch will be laid in place using appropriate techniques from the Best Management Practices for Erosion Control. Hay or straw mulch shall be placed at a rate of 1000 sq ft.
- f. Maintenance to Establish a Stand
 - i. Perennial areas should be protected from damage by fire, grazing, traffic, and other weed growth.
 - ii. Fertilization needs should be determined by soil inspections. Supplemental fertilizer is usually the key to fully complete the establishment of the stand because most perennial seeds 2 to 3 years to become established.
 - iii. In wetlands, grasses, or grasses where uniform firm conditions are established, occasional mowing may be necessary to control growth of woody vegetation.

E21

- DEFINITION OF STABLE:**
1. WHEN A BASE COURSE GRAVEL HAS BEEN INSTALLED IN AN AREA TO BE PAVED.
 2. WHEN A LAYER OF 5" OR NON-EROSIVE MATERIAL, SUCH AS STONE OR OTHER DOT APPROVED MATERIAL, HAS BEEN INSTALLED PROPERLY.
 3. WHEN PROTECTIVE EROSION CONTROL MEASURES, SUCH AS CHECK DAMS, ARE INSTALLED PROPERLY.
 4. WHEN PROTECTIVE EROSION CONTROL MEASURES, SUCH AS CHECK DAMS, ARE INSTALLED PROPERLY.

E13

PIPE OUTLET PROTECTION



1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL, USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETING REPAIRMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND IN SUCH A MANNER AS TO PREVENT SEPARATION OF THE STONE SIZES.

PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

WINTER STABILIZATION NOTES

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 65% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SLOPE SLOPES STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIOERODIBLE/PHOTODEGRADABLE "LITE MATING" (EXCEPTOR'S CURLEY II OR EQUIV.). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR LITE MATING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE STONE LINED WITH TEMPORARY LITE MATING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED) STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MAINTAINED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHED, GROWED, AND A 3" LAYER OF CRUSHED STONE SHALL BE PLACED OVER THE SUBGRADE. THE CRUSHED STONE SHALL BE PLACED AT A RATE OF 300.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE. THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SPRING SHALL BE SEEDING BY THE DATE AFTER OCTOBER 15TH. ANY NEW OR DISTURBED AREAS SHALL BE LINED WITH BIOERODIBLE/PHOTODEGRADABLE "LITE MATING" OR EQUIV. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

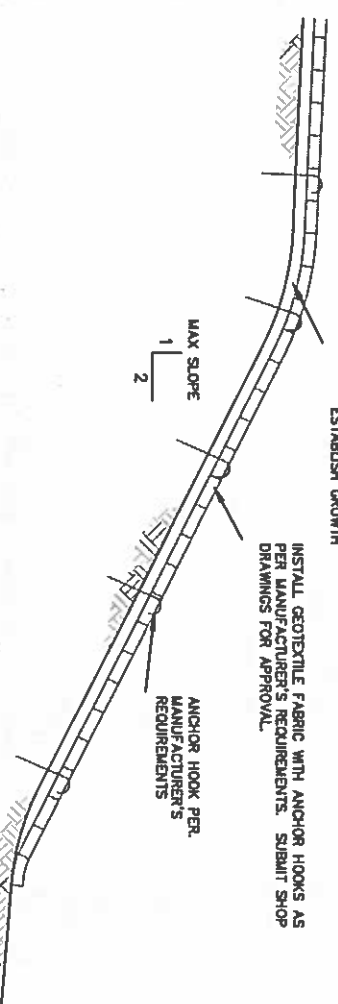
E17

E14

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES			
DESIGN SIZE	0.5	FEET	8 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN DESIGN SIZE			
100%	9	12	
85%	8	11	
50%	6	9	
15%	2	3	

SLOPE STABILIZATION DETAIL

NOT TO SCALE

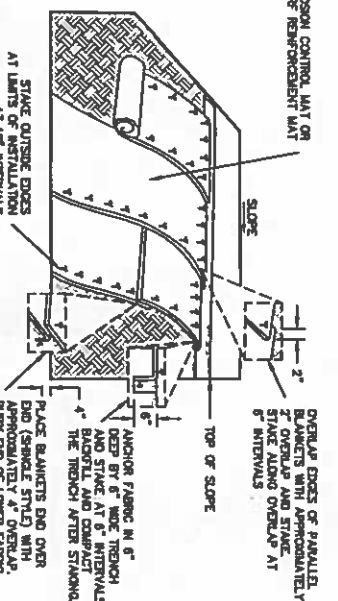


4" TOPSOIL (MIN.) AND SEED TO ESTABLISH GROWTH

INSTALL GEOTEXTILE FABRIC WITH ANCHOR HOOKS AS PER MANUFACTURER'S REQUIREMENTS. SUBMIT SHOP DRAWINGS FOR APPROVAL.

ANCHOR HOOK PER MANUFACTURER'S REQUIREMENTS

E20



EROSION CONTROL MAT ON TYPICAL REINFORCEMENT MAT

ANCHOR FABRIC IN 6" TRENCH

PLACE BARRIERS END OVER END (SHIELD STYLE) WITH 6" OVERLAP AND STAKE AT 6' INTERVALS. BACKFILL AND COMPACT THE TRENCH AFTER STAKING.

NOTE: STAKING PATTERNS SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS. MINIMUM SPACING 5' - 0" O.C. ACROSS FABRIC.

INSTALLATION OF EROSION CONTROL FABRICS

NOT TO SCALE

E22

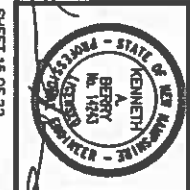
- CONSTRUCTION SEQUENCE:**
- 1) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED
 - 2) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED.
 - 3) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO ANY EARTH MOVING OPERATION & OR DIRECTING RUNOFF TO THEM.
 - 4) CLEAR, CUT AND DISPOSE OF DEBRIS IN APPROVED FACILITY
 - 5) CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
 - 6) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 - 7) INSTALL FIRE AND CONSTRUCTION ASSOCIATED APF/ADW/ADWS AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
 - 8) BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND TIL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREA IS ALLOWED TO BE LEFT UNSEED FOR A LENGTH OF TIME THAT EXCEEDS 60 DAYS BEFORE BEING STABILIZED. DAILY, OR AS REQUIRED.
 - 9) CONSTRUCT TEMPORARY BERM, DRAIN DITCHES, SILT FENCE, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
 - 10) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
 - 11) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
 - 12) REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE.
 - 13) SMOOTH AND REINSTATE ALL DISTURBED AREAS.
 - 14) FINISH PAVING ALL ROADWAYS

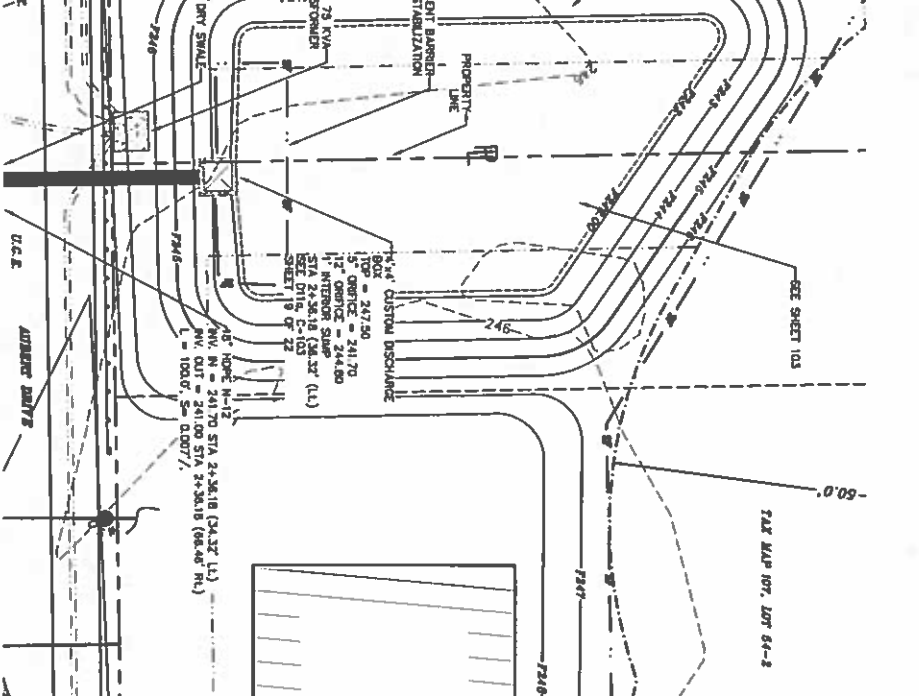
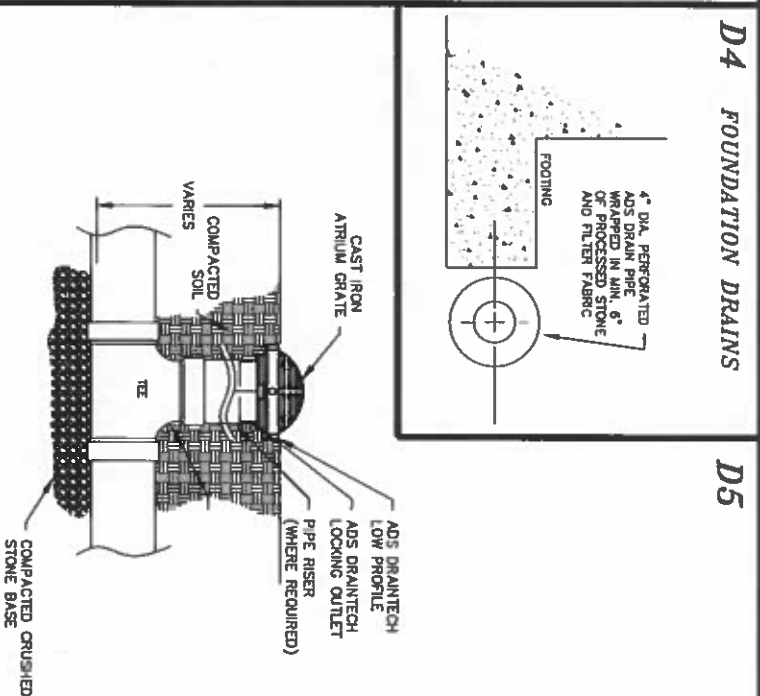
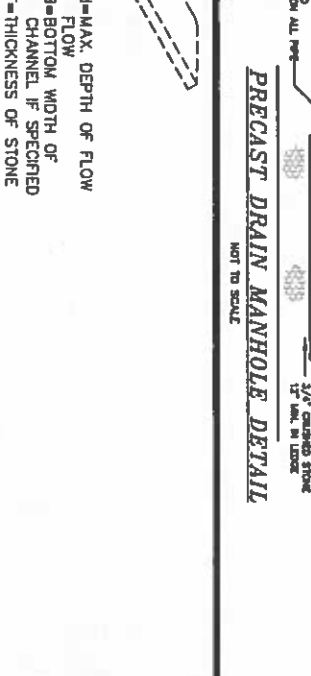
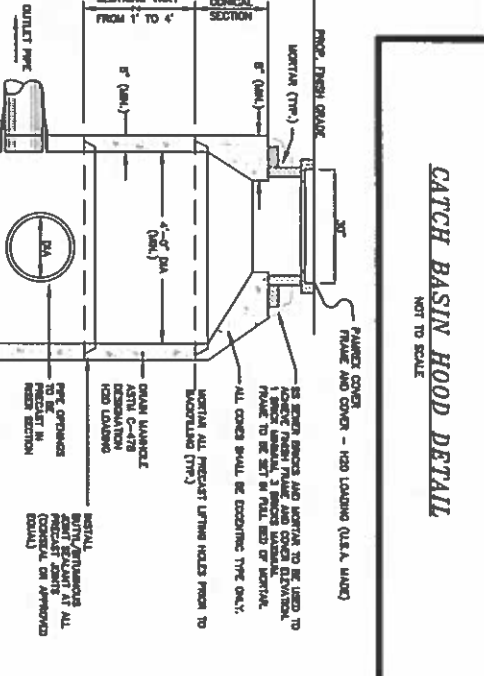
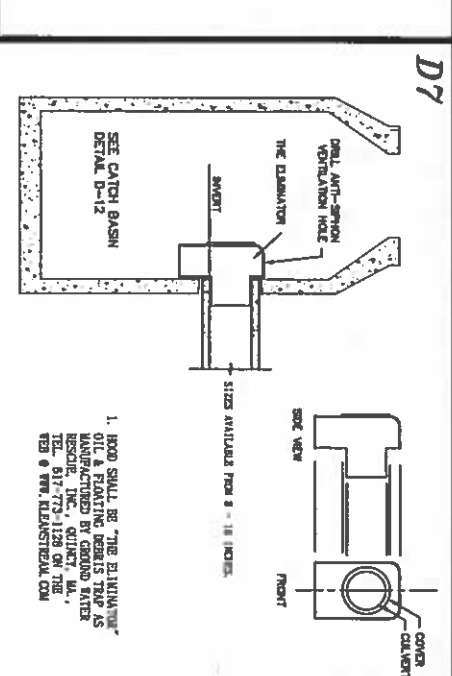
E-102

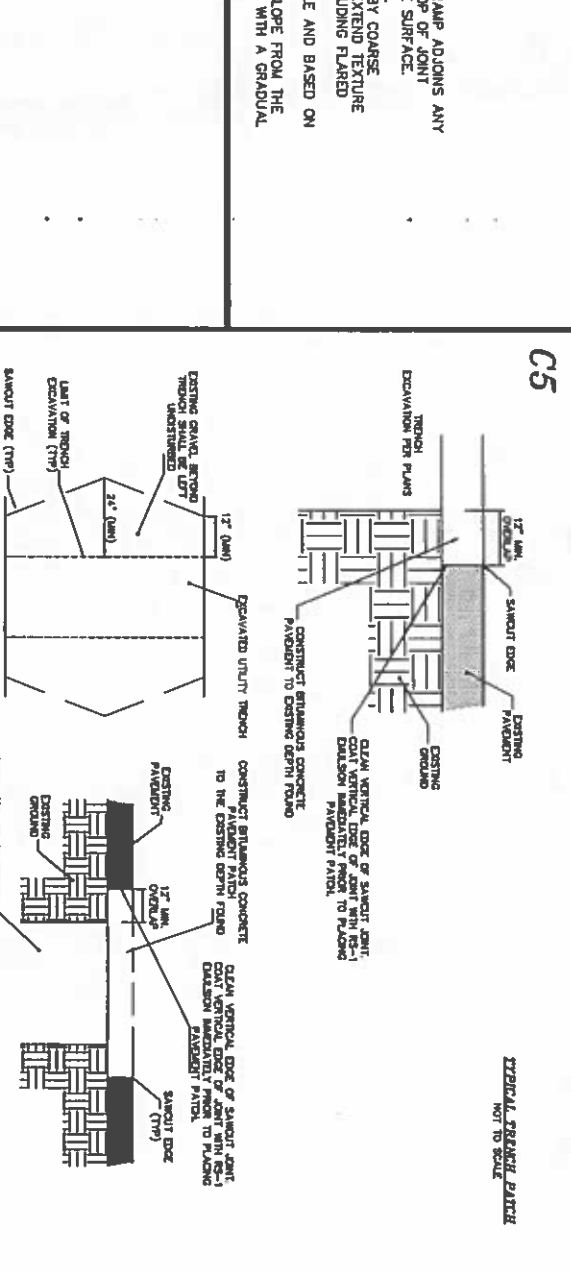
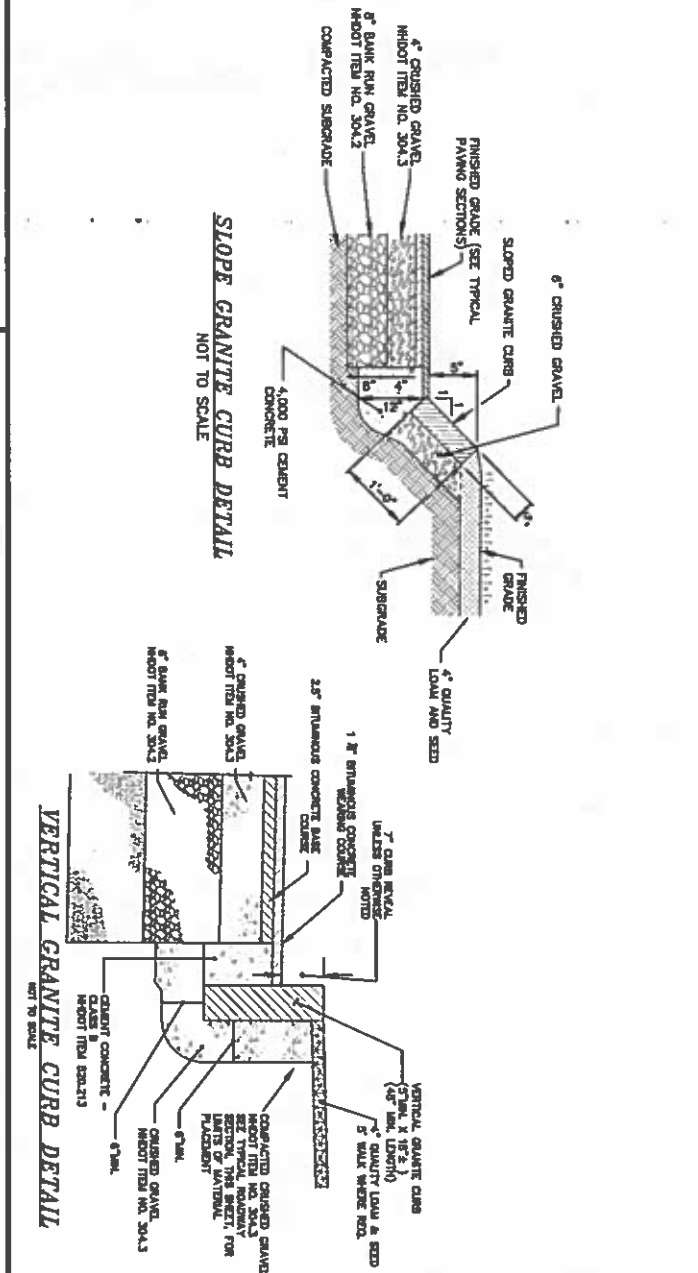
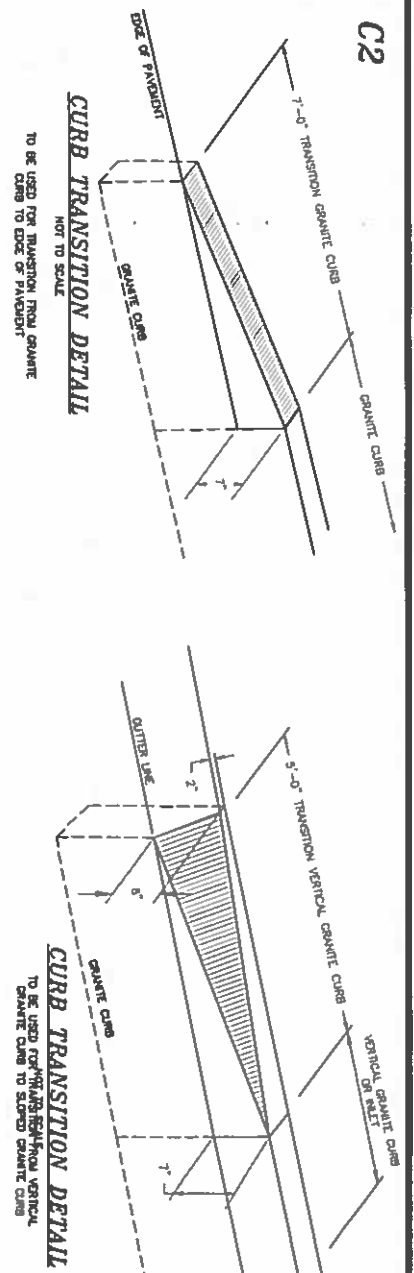
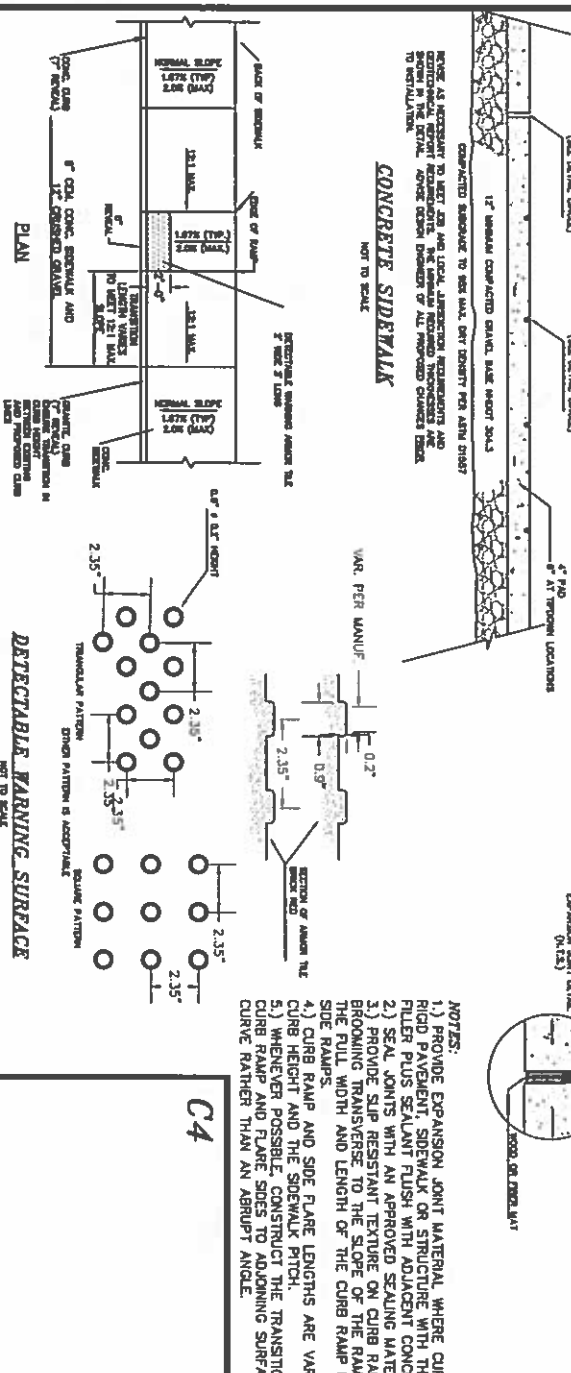
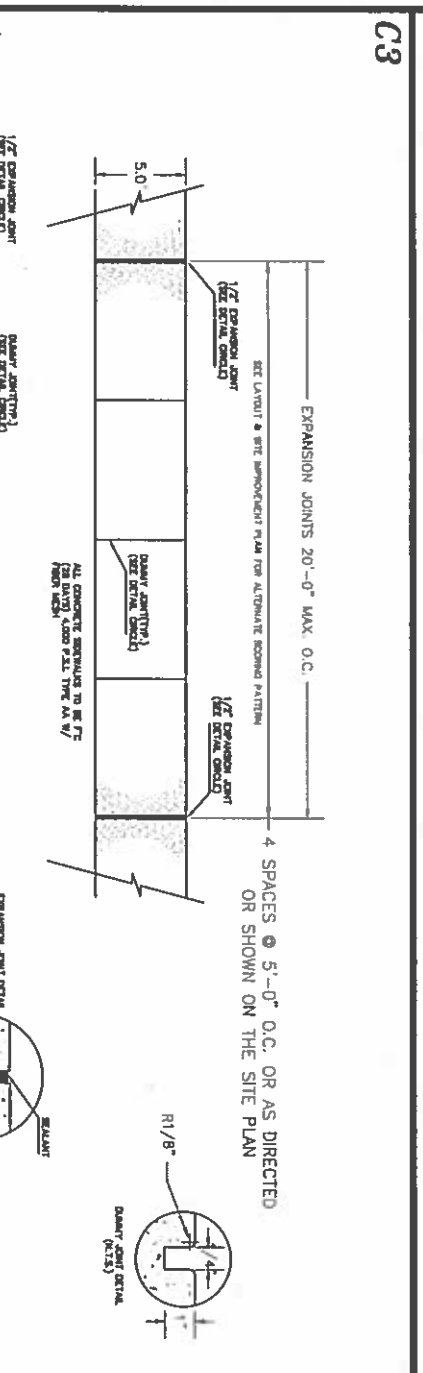
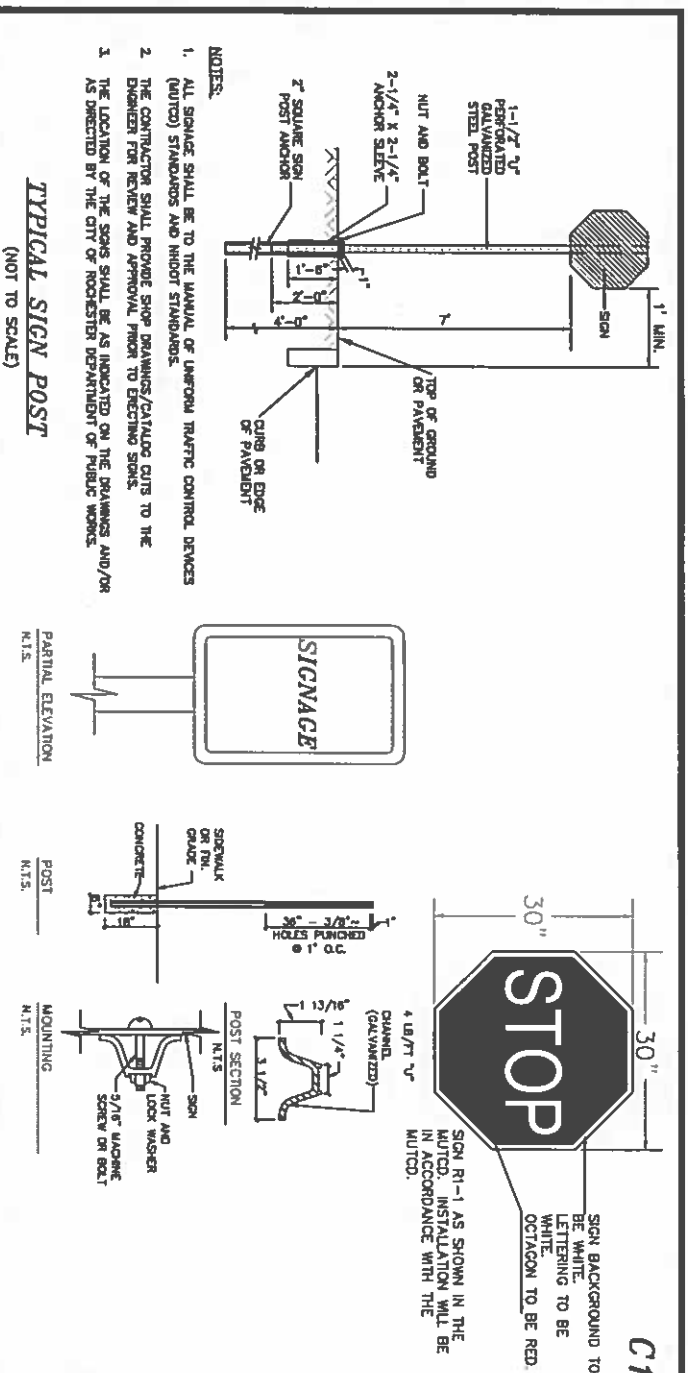
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

SEDIMENT & EROSION CONTROL DETAILS
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS







REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

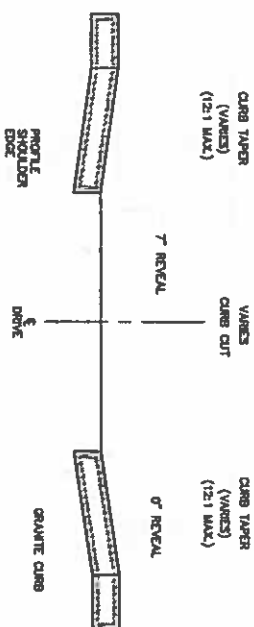
CONSTRUCTION DETAILS
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

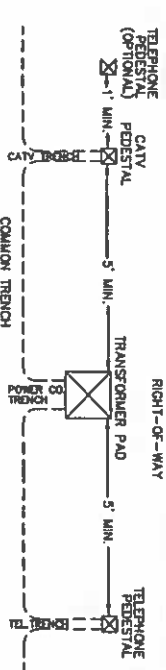


END VIEW
(NOT TO SCALE)

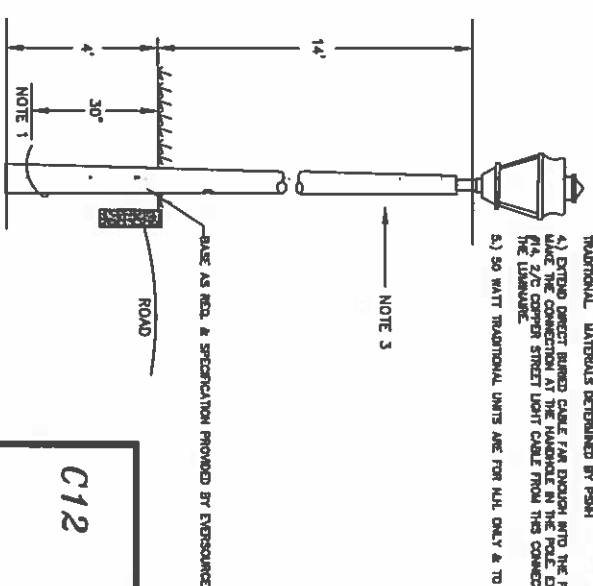
DETAILS FOR SIDEWALK RAMPS
(NOT TO SCALE)



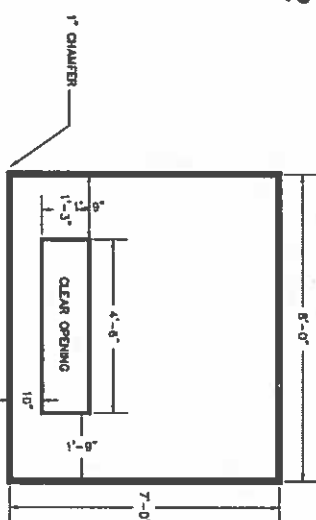
PEDESTAL PLACEMENT



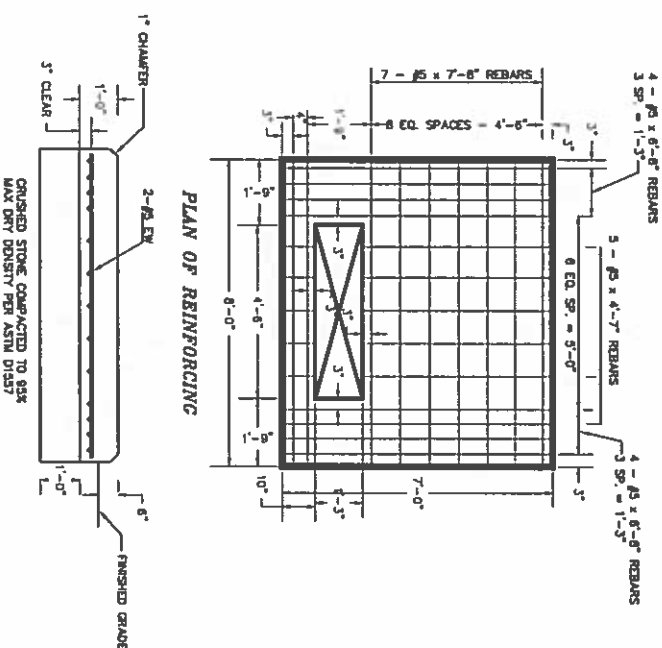
LEADING NOTES

[illegible]

PLAN VIEW



PLAN OF REINFORCING



TRANSFORMER PAD DETAIL

NOT TO SCALE

C-102

SHEET 18 OF 22

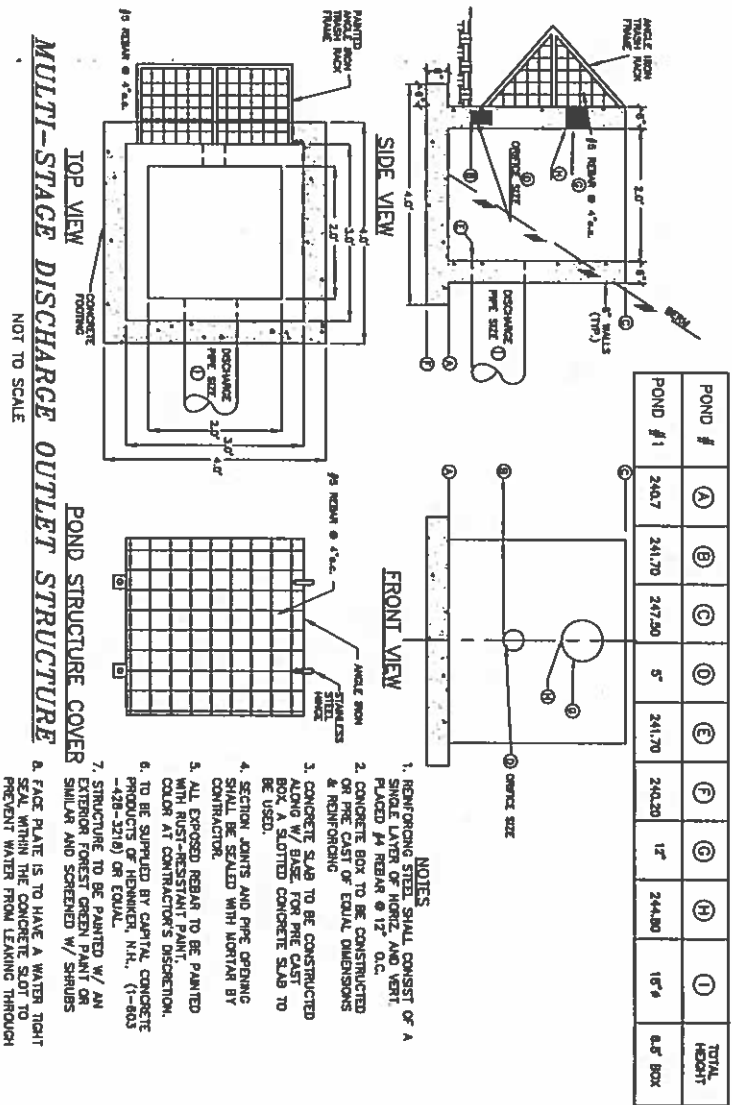
BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

CONSTRUCTION DETAILS
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

#2 #1	2-10-16 1-20-16	REVISED PER PB, DPW & PLANNING REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



RESERVED FOR SAFETY RAIL DETAIL



STATE OF NEW HAMPSHIRE

KENNETH A. BERRY

REGISTERED PROFESSIONAL ENGINEER

NO. 1143

EXPIRATION DATE 12/31/2018

BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD

BARRINGTON, NH 03825 (603)332-2863

SCALE : AS MARKED

DATE : JANUARY 1, 2016

FILE NO. : DB 2015 - 040

CONSTRUCTION DETAILS FOR

TOM AUBERT

788 AND 794 PORTLAND STREET

ROCHESTER, NH

TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

Diagram illustrating the cross-section of a tree pit and its surrounding structure, showing various layers and dimensions:

- Tree Trunk:** MIN 2'-3" OF MULCH
- Tree Stage:** MIN 8'-0" LENGTH LODGEPOLE PINE
- Soil Layer:** 3'-4" SOIL SAUCER (DURING ESTABLISHMENT)
- Root Crown:** SET ROOT CROWN AT OR 1" ABOVE FINISH GRADE
- Tree Height:** MIN 1/3 HEIGHT OF TREE (TYP)
- Rootball:** 8'-0" MIN OR 2 TIMES ROOTBALL
- Subgrade:** UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)
- Rootball:** 2'-3" OF ROOTBALL
- Mulch:** REMOVE BURLAP FROM TOP REMOVE ALL WIRE & STRING
- Soil:** NATIVE BACKFILL SOIL, AMENDED WITH 25% (W/V) CU YD) DECOMPOSED ORGANIC MULCH
- Pit Area:** TREE PIT AREA (APPROXIMATELY ROOTBALL DEPTH)
- Finish Grade:** FINISH GRADE
- Clearance:** 6'-0" MIN AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION DURING ESTABLISHMENT
- Typical Dimensions:** 1'-0" MIN TYP.

A cross-sectional diagram of a slope ground cover planting. The diagram shows a slope with a topsoil layer, a drainage layer, and a scarified subgrade. Three plants are shown at different heights on the slope. Labels and dimensions include:

- SCARIFIED SUBGRADE**: The base layer of the slope.
- MULCH**: A layer of organic material applied over the scarified subgrade.
- 3"-4" PLANTING SOIL MIXED SOLO WITH NATIVE SOIL OR SOLO RECOMPOSED WITH 25% MULCH AND ORGANIC**: The soil layer in which the plants are growing.
- MIN. 6" DEPTH**: The minimum depth of the planting soil layer.
- MIN. 2" MULCH**: The minimum depth of the mulch layer.
- FRESH GRADE**: The surface of the slope.
- TYPICAL GROUND COVER PLANTED AT MINIMUM LEVEL**: A plant growing at the base of the slope.
- 32" DRAPAGE DRAINING**: A dimension indicating the length of a drainage layer.
- 32" DRAPAGE DRAINING**: A dimension indicating the length of a drainage layer.

PERENNIAL PLANTING DETAIL

Diagram illustrating the components and dimensions of a tree stump puller assembly:

- 2X BALL DIA. MIN.
- 3/4" MIN.
- 8" MINIMUM DISTANCE FROM TRUCK ROPE AT TOP OF BALL SHOULD BE CUT, REMOVE ROPE AT TOP OF BALL, REMOVE EXCESSIVE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING
- WIRE TIE
- RUBBER HOSE AT BARK
- EYE SCREW
- 50x50mm (2"x2") WOOD STAKE ON WINDOW SIDE INSTALL TWO ADDITIONAL STAKES AT 120°
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
- SOIL SAUCER: USE GOOD TOPSOIL, 150mm (6") MIN.

NOTE: STAGING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

6. REMOVE ALL WIRE AND STRING. REMOVE TOP 2/3 OF BURLAP.

TYPICAL POST & RAIL FENCE DETAIL
M1.3


1. SEVERY ROOT MASS OF CONTAINERIZED PLANT MATERIAL
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE
3. TAMP PLANTING MIX FIRMLY AS IT IS FILLED AROUND EACH PLANT BALL.
4. GIRT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT
5. SOAK EACH PLANT BALL AND IMMEDIATELY AFTER INSTALLATION.

Diagram illustrating the cross-section of a road structure. The layers are labeled from top to bottom: CRUSH HEIGHT IN FEET, CRUSHED LUMINA WITH IN FEET TO 17 IN., DRAIN GRADE, and EXISTING GRADE. The diagram shows a cross-section of a road with a drainage layer and a crushed lumina layer.

TYPICAL PLANTING BED PLAN

- 1.) CALL DO NOT START PRIOR TO BEGINNING WORK. (1-988-344-7213). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE LOCATION AND LOCATION OF THE SAME BEFORE COMMENCING ANY DRIVING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVEMENT, WALLS, CURBSIDE, ETC. DAMAGED IN PERFORMANCE OF THIS CONTRACT AT AN ADDITIONAL COST TO THE OWNER OR GENERAL CONTRACTOR.
- 2.) CONTRACTOR SHALL THOROUGHLY FUMIGATE TREES/SHRUBS WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINNING. SEE NOTE B ON OVERALL SITE PLAN.
- 3.) PROVIDED SUGGEST TRANSPORTATION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- 4.) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 5.) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
- 6.) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PROPER STAKING OR STUNTING, WATERING, PRUNING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
- 7.) ALL GRASS, OTHER VEGETATION AND OTHERS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- 8.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SHOW OR EXPLAIN) AROUND EXISTING TREES AND SHRUBS THAT COULD BE DAMAGED BY THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, WALLS, CURBSIDE AND OR FENCED YARDING SHALL NOT BE PERMITTED WITHIN THE ONE FOOT OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
- 9.) NEW PLANTINGS SHALL BE INSTALLED FOR PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.

- 10.) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDED BLACK MULCH.
- 11.) WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS PLANTING PEAT MOSS, AND ONE PART HORTICULTURAL PERITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-SORTED OR DECOMPOSED MANURE OR COMPOST. HORTICULT BEDS TO A DEPTH OF 8 INCHES.
- 12.) MAINTENANCE OF NEW PLANTINGS AND LUMBS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR LANDSCAPE SUBCONTRACTOR UNIT, ACCEPTANCE BY THE OWNER. RESPONSIBILITIES SHALL INCLUDE WATERING, WEEDING AND MOWING AS NECESSARY. ALL PLANT MATERIAL SHALL BE QUANTIFIED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENT MATERIAL SHALL BE OBTAINED FOR AND APPROVED FOR PRIOR TO THE OF REPLANTATION.
- 13.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY EROSION CONTROL MEASURES DURING THE CONSTRUCTION PHASE AND UNTIL ALL AREAS HAVE BEEN STABILIZED AND ACCEPTED BY THE OWNER. THE GENERAL CONTRACTOR SHALL PROVIDE WEEKLY INSPECTIONS OF EROSION RESISTANCE AND IMMEDIATELY AFTER STORM EVENTS AND REPAIR AS NECESSARY.
- 14.) THE GENERAL CONTRACTOR AND/OR THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GIVING MATERIALS ONCE PLANT MATERIAL HAS BEEN ESTABLISHED. (MINIMUM OF ONE GROWING SEASON). ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE STABILIZATION OF DISTURBANCE HAS BEEN ACCEPTED BY OWNER.
- 15.) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO MONITORING FOR ALL TURF AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM MONITORING FOR GRASS OF TURF IS REQUIRED FOR ACCEPTANCE.
- 16.) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS AN EFFECTIVE VISUAL SCREEN.
- 17.) SHRUBS OR TREES WHICH ARE TO BE PLANTED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO EXISTING CONTAINED CONDUCTIONS WITH APPLICABLE LANDSCAPING REQUIREMENTS.
- 18.) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
- 19.) TREES ARE TO BE 3-2.5" CALIPER.
- 20.) ALL PLANT STOCK SHALL CONFORM TO ANSI Z290.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- 21.) 4" AND LARGER WILLOW AND A WEED BARRIER (TYPICAL PLANTING OR APPROVED EQUIV.) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. METALL WEED BARRIERS AS PER MANUFACTURERS RECOMMENDATIONS.
- 22.) PLANT BED BACK-FILL SHALL BE USED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DECOMPOSED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACK FILL WHEN AVAILABLE.
- 23.) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON PLANS.
- 24.) THE REQUIRED STREET TREES MUST BE PLANTED BY OCTOBER 15 ON ANY LOT FOR WHICH A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED OR PRIOR TO AUGUST 31 OF THAT SAME YEAR. NO ADDITIONAL CERTIFICATES OF OCCUPANCY WILL BE ISSUED IF THIS REQUIREMENT IS NOT MET.
- 25.) STREET TREES TO BE CHOSEN FROM THE LIST OF APPROVED TREES WITHIN THE CITY OF ROCKESTER AND ARE TO HAVE A MINIMUM OF TWO SPECIES ATENDING DOWN THE STREET TO DECOMPOSE A WOOD-CULTURE.



BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863

SCALE : AS MARKED

DATE : JANUARY 1, 2016

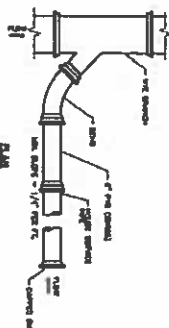
FILE NO. : DB 2015 - 040

#2 #1	2-10-16 1-20-16	REVISED PER PB, DPW & PLANNING REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

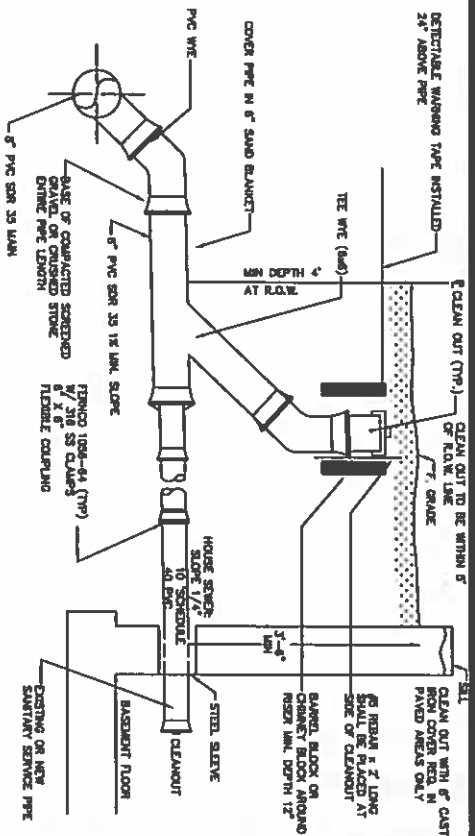
SHEET 20 OF 22

U1

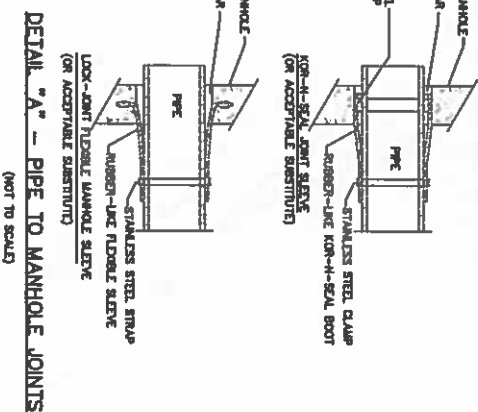
- 1) SEE DETAILS FOR SERVICE CONNECTION REQUIREMENTS
- 2) SERVICE CONNECTION SHALL BE INSTALLED BELOW WATER MAIN WHERE POSSIBLE
- 3) CLEANOUTS SHALL BE INSTALLED AT EACH SERVICE CONNECTION
- 4) REPAIR SHALL BE PLACED AT SIDE OF CLEANOUT
- 5) CLEANOUT SHALL BE USED TO PUMP AND TEST ALL NEW INSTALLATIONS PRIOR TO DESTRUCTION OF HOMEOWNERS SANITARY SYSTEM
- 6) CLEANOUT SHALL BE USED TO PUMP AND TEST ALL NEW INSTALLATIONS PRIOR TO DESTRUCTION OF HOMEOWNERS SANITARY SYSTEM
- 7) CLEANOUT SHALL BE USED TO PUMP AND TEST ALL NEW INSTALLATIONS PRIOR TO DESTRUCTION OF HOMEOWNERS SANITARY SYSTEM



DETAIL OF HOUSE SEWER SERVICE



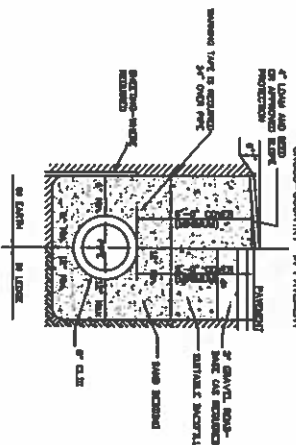
U3a



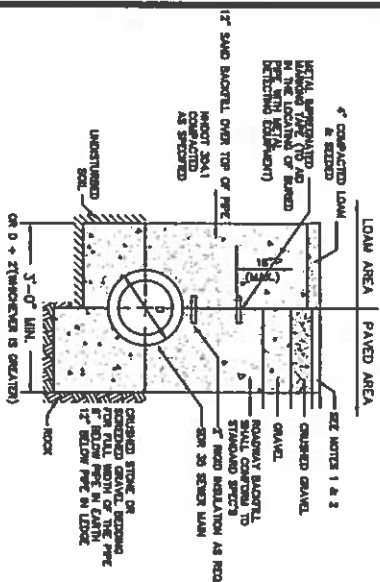
DETAIL "A" - PIPE TO MANHOLE JOINTS

U4

TYPICAL TRENCH DETAIL FOR WATER TRENCH SYSTEM



U2



U5

TYPICAL SEWER TRENCH DETAIL

NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET DEPARTMENT SPECIFICATIONS
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

U6

TYPICAL SEWER MANHOLE

NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET DEPARTMENT SPECIFICATIONS
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

U6

TYPICAL DOORHOUSE STYLE SEWER MANHOLE

NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET DEPARTMENT SPECIFICATIONS
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

U6

TYPICAL DOORHOUSE STYLE SEWER MANHOLE

NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET DEPARTMENT SPECIFICATIONS
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

U6

U1

LEDGE CONSTRUCTION

NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET DEPARTMENT SPECIFICATIONS
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECS.

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U1

U-101

U-101

U-101

U-101

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

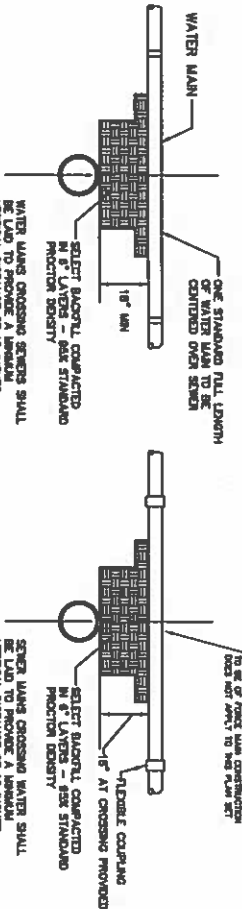
UTILITY DETAILS FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

U6

SEPERATION NOTES:

1. WATER MAIN SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR WATER WORKS SO-CALLED TEN STATE STANDARDS AND NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL DESIGN STANDARDS.
2. WATER MAINS SHALL BE LAD AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IF THIS DISTANCE CANNOT BE OBTAINED, THEN THE PIPES SHALL BE INSTALLED IN A SEPERATE TRENCH AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

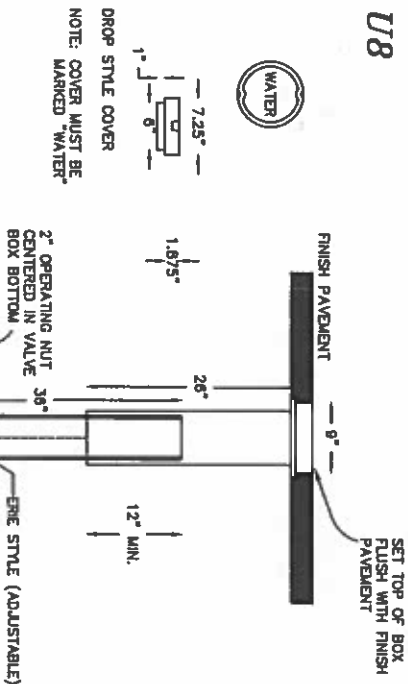


WATER MAIN ABOVE SEWER

WATER MAIN BELOW SEWER

TYPICAL WATER/SEWER SEPERATION DETAILS
NOT TO SCALE

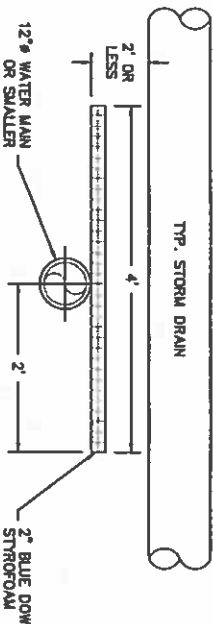
U8



NOTE: COVER MUST BE MARKED "WATER"

- NOTES:
- 1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.
 - 2.) ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 6' FROM TOP OF PIPE TO FINISH GRADE.

VALVE BOX DETAIL (N.T.S.)

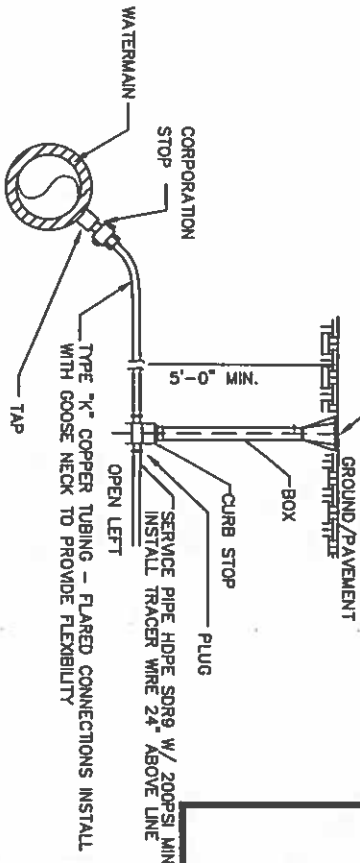


INSULATE WATER PIPE WHERE CROSSING UNDER CURB/STREET

U11

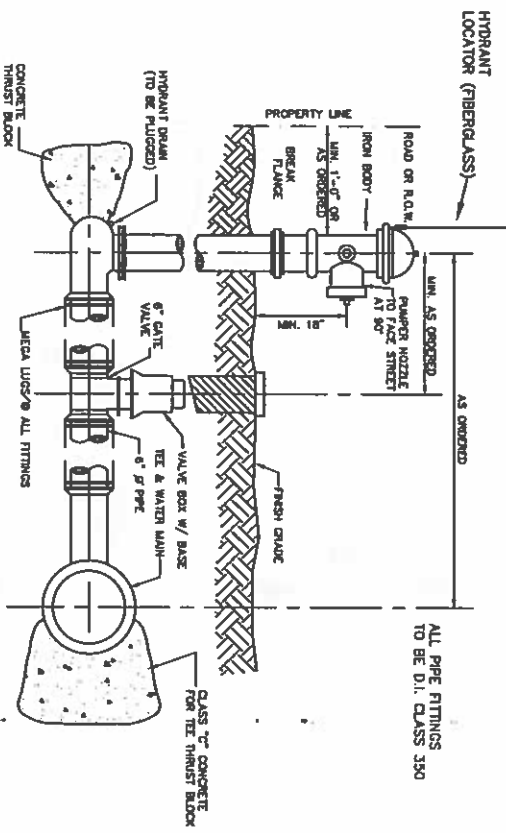
U7

SET TO FINISH
THE END OF THE INSTALLED WATER SERVICE TO BE MARKED BY A 2X4.



TYPICAL WATER SERVICE CONNECTION

U9



- NOTES:
- 1.) THE FIRE HYDRANT IS TO BE PAINTED CITY OF ROCHESTER STANDARD COLORS AND BE EQUIPPED WITH A HYDRANT LOCATOR.
 - 2.) THE FIRE HYDRANT SHALL BE THE "KEMER" TYPE OR APPROVED EQUAL.
 - 3.) KEMER HYDRANTS AND GATE VALVES OPEN RIGHT.

HYDRANT INSTALLATION DETAIL

U10

TYPICAL THRUST BLOCKS

DETAIL FOR STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY
NOT TO SCALE

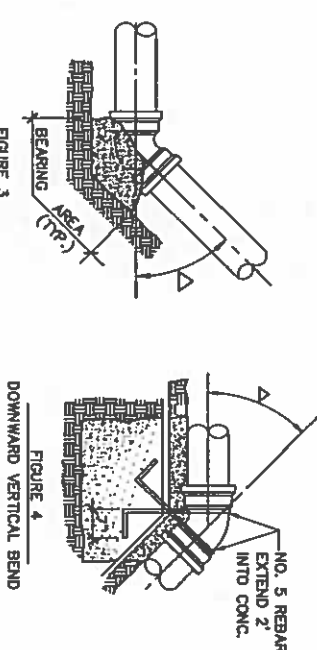
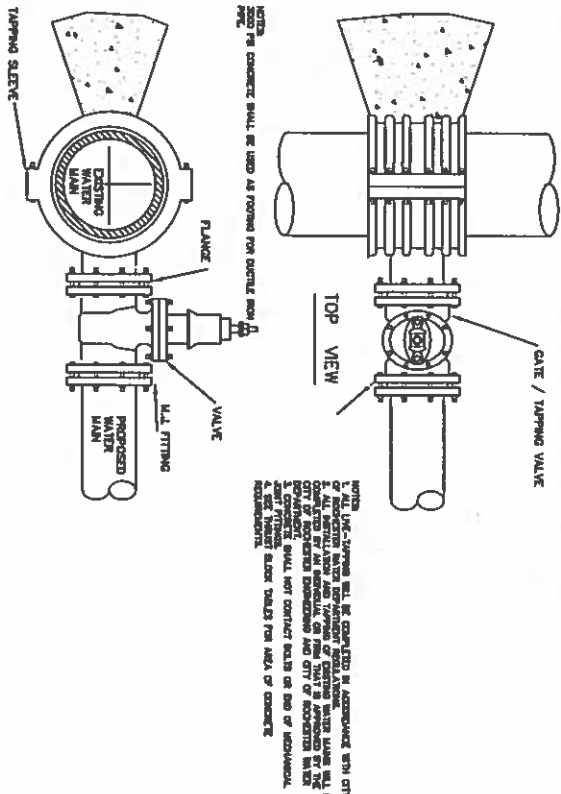


FIGURE 3
UPWARD VERTICAL BEND

FIGURE 4
DOWNWARD VERTICAL BEND

NOTE:
MECHANICAL JOINTS AT ALL FITTINGS, TEES, CROSSES, AND BENDS. VALVES SHALL BE THRUST RESTRAINT (WREN-LUG OR APPROVED EQUAL).

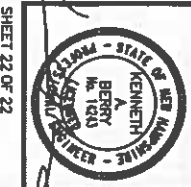
PIPE I.D.	FIGURE 3	FIGURE 4	FIGURE 5	FIGURE 6	FIGURE 7	FIGURE 8	FIGURE 9	FIGURE 10	FIGURE 11	FIGURE 12	FIGURE 13	FIGURE 14	FIGURE 15	FIGURE 16	FIGURE 17	FIGURE 18	FIGURE 19	FIGURE 20
4"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
6"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
8"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
10"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
12"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
14"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
16"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
18"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
20"	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 (603)332-2863
SCALE : AS MARKED
DATE : JANUARY 1, 2016
FILE NO. : DB 2015 - 040

UTILITY DETAILS
FOR
TOM AUBERT
788 AND 794 PORTLAND STREET
ROCHESTER, NH
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

REVISION	DATE	DESCRIPTION
#2	2-10-16	REVISED PER PB, DPW & PLANNING
#1	1-20-16	REVISED PER TRG COMMENTS

U-102



SHEET 22 OF 22