

TABLE OF CONTENTS:

SHEET 1	NEIGHBORHOOD PLAN
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SUBDIVISION PLAN
SHEET 4	EASEMENT PLAN
SHEET 5	PROPOSED ROAD SITE PLAN
SHEET 6	ROADWAY PLAN AND PROFILE
SHEET 7	CUL-DE-SAC PLAN AND PROFILE
SHEET 8	UTILITY PLAN
SHEET 9	SEDIMENT AND EROSION CONTROL PLAN
SHEET 10	RAIN GARDENS #1 - #3 PLAN
SHEET 11	RAIN GARDENS #4 PLAN
SHEET 12	CROSS SECTIONS 0+00 TO 3+48.94
SHEET 13	CROSS SECTIONS 3+50 TO 8+73.22
SHEET 14	E101 SEDIMENT & EROSION CONTROL DETAILS
SHEET 15	E102 SEDIMENT & EROSION CONTROL DETAILS
SHEET 16	D101 DRAINAGE DETAILS
SHEET 17	C101 CONSTRUCTION DETAILS
SHEET 18	C102 CONSTRUCTION DETAILS
SHEET 19	C103 CONSTRUCTION DETAILS
SHEET 20	L101 LANDSCAPING AND DRY SWALE DETAILS
SHEET 21	L102 UTILITY DETAILS
SHEET 22	U102 UTILITY DETAILS

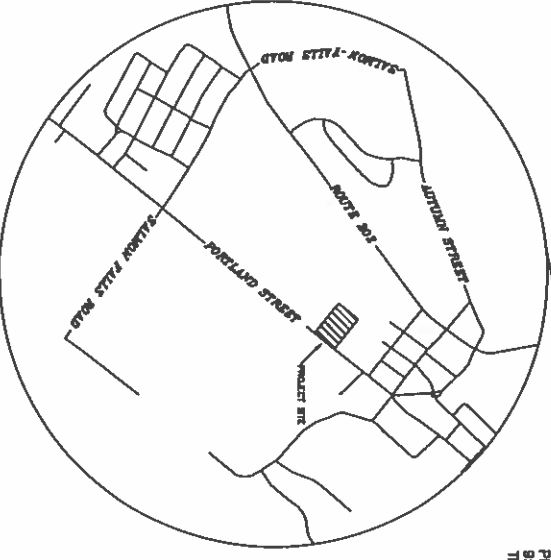
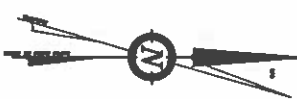
MAJOR SUBDIVISION  
FOR  
TOM AUBERT  
788 & 794 PORTLAND STREET  
ROCHESTER, N.H.  
TAX MAP 107, LOT 54 & 55

RECEIVED  
JAN 25 2016  
Planning Dept.

OWNER: TOM AUBERT  
PROPERTY ADDRESS: 788 & 794 PORTLAND STREET  
ROCHESTER, NH 03807  
MAILING ADDRESS: 5 GARY DRIVE  
ROCHESTER, NH 03807-5126  
SURVEYOR OF RECORD: KENNETH A. BERRY, P.E., LLS  
CROSS SECTION  
BERRY SURVEYING & ENGINEERING  
335 CROWN POINT ROAD  
BARRINGTON, NH 03825  
(603) 332-2863

SIGNATURE OF DEVELOPER  
DEVELOPER:  
ENGINEER OF RECORD: KENNETH A. BERRY, P.E., LLS  
CROSS SECTION  
BERRY SURVEYING & ENGINEERING  
335 CROWN POINT ROAD  
BARRINGTON, NH 03825  
(603) 332-2863

WETLANDS:  
NRCS  
PETER SPEAR (CWS #103)  
85 SILVER LAKE ROAD  
TILTON, NH 03276



REQUIRED PERMITS:  
~ US EPA CDP NOTICE OF INTENT  
~ NHDES SEWER DISCHARGE PERMIT  
~ SALMON FALLS RIVER IS OVER 2500' AWAY W/NO L.A.C.



CIS SKETCH  
ROCHESTER, N.H.  
SCALE: 1" = 100'±

GENERAL PLAN SET NOTES:  
1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.  
2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.



BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS-NOTED  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

SUBDIVISION  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



PLAN REVISIONS:

- 1) LOT LINE REVISION, ROUTE 202, ROCHESTER, N.H. FOR CIRCLE D. GERSON  
BY: NORWAY PLAINS ASSOCIATES, INC.  
DATED: NOVEMBER 2002  
S.C.R.D. PLAN # 71-38
- 2) BOUNDARY REPLACEMENT GERALD AND LORRAINE SMITH, 33 PORTLAND ST., EAST ROCHESTER, N.H.  
BY: BERRY CONSTRUCTION, CO., INC.  
DATED: APRIL 18, 2004  
S.C.R.D. PLAN # 22-158
- 3) "SUBDIVISION PLAN HIGHLAND ST., ROCHESTER, N.H. FOR WILTON ROAD REALTY TRUST  
BY: NORWAY PLAINS ASSOCIATES, INC.  
DATED: JULY 2004  
S.C.R.D. PLAN # 78-88
- 4) "ROCHESTER COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE  
BY: CHARLES H. WOOD  
DATED: FEBRUARY 8, 1999  
S.C.R.D. POCKET #1, FOLDER #10, PLAN #43

TEST PIT DATA:

TP #1 (LEDGE PROBE)  
E.S.H.W.T. @ 32"  
64" TO PARALYTIC LEDGE  
TERMINATED @ 64"  
FINE SANDY LOAM THROUGH OUT

TP #2  
0-8" 10YR 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
8-24" 10YR 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
24-48" 10YR 5/4 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
48-69" 10YR MIXED 5/4 & 5/8, YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
E.S.H.W.T. @ 48"  
PARALYTIC LEDGE @ 69"  
HARD LEDGE @ 80"  
TERMINATED @ 80"  
NO GROUND WATER

TP #3  
0-8" 10YR 2/2 VERY DARK BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
8-24" 10YR 5/8 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
24-48" 10YR 5/4 YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
48-69" 10YR MIXED 5/4 & 5/8, YELLOWISH BROWN, FINE SANDY LOAM, GRANULAR, FRAGILE  
E.S.H.W.T. @ 35"  
NO GROUND WATER

TP #4 (LEDGE PROBE)  
30" TO PARALYTIC LEDGE  
TERMINATED @ 30"

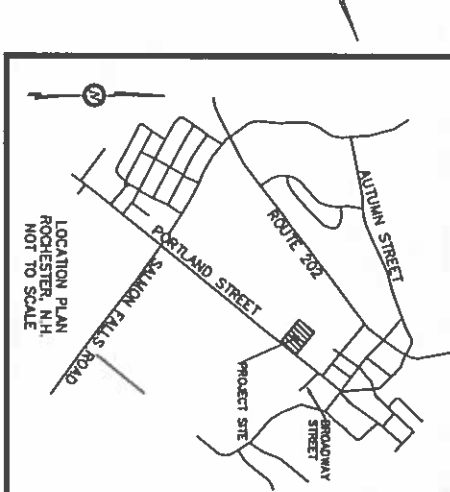
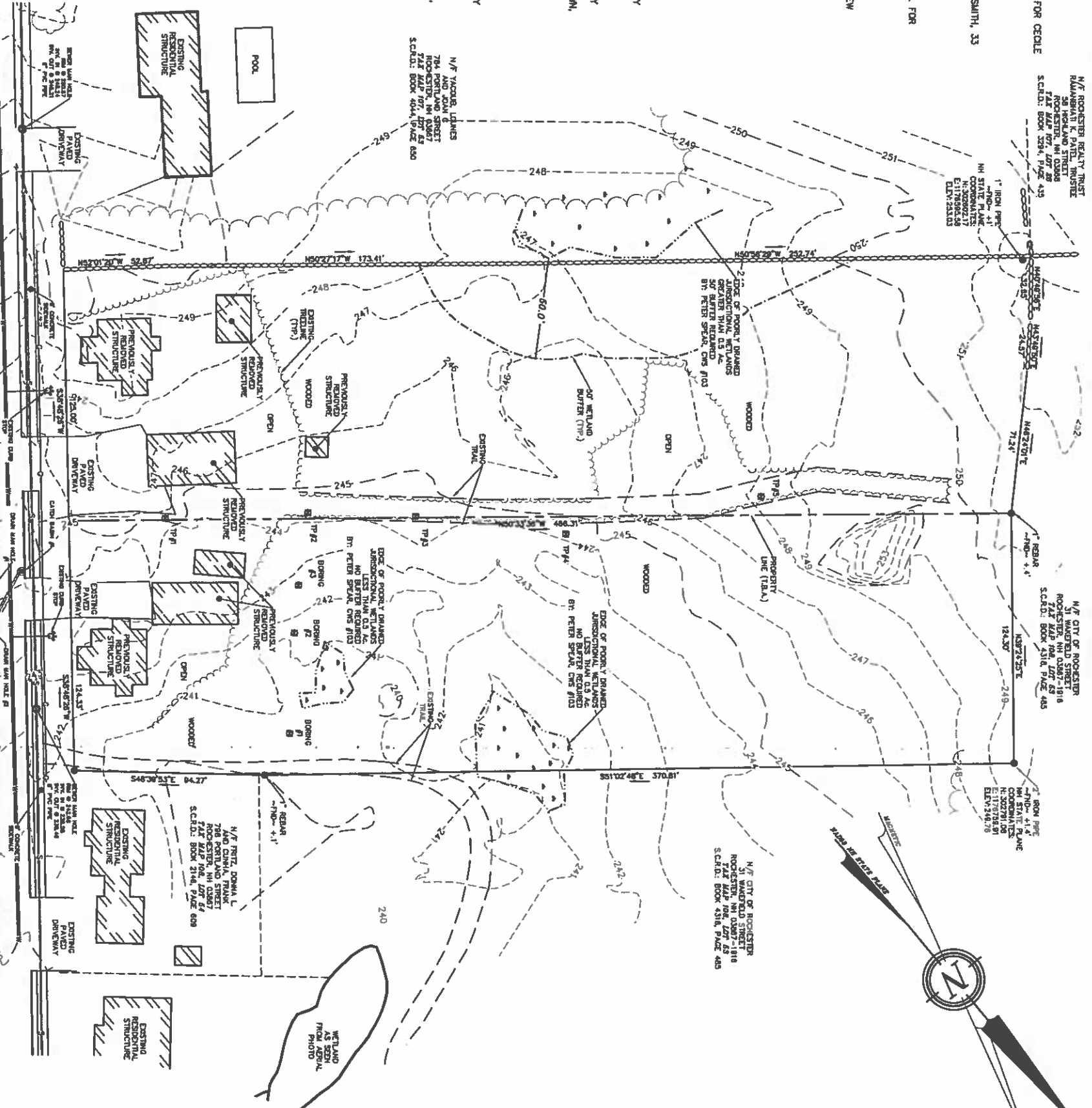
TP #5 (LEDGE PROBE)  
84" TO PARALYTIC LEDGE  
GROUND WATER @ 84"  
TERMINATED @ 84"

BORING #3

BORING #3  
E.S.H.W.T. @ 12"  
E.S.H.W.T. @ 16"  
DRAIN HAN HOLE #1  
RIM @ 24.15  
INV. OUT @ 24.02 (12" HOPE CULVERT)  
CATCH BASIN #2  
RIM @ 24.28  
INV. OUT @ 24.00 (12" HOPE CULVERT)

DRAIN HAN HOLE #2

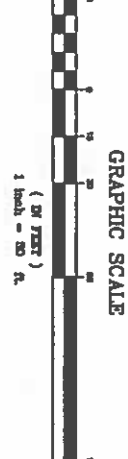
DRAIN HAN HOLE #2  
RIM @ 24.30  
INV. IN FROM CG #1 @ 23.93 (12" HOPE CULVERT)  
INV. IN FROM CG #2 @ 23.90 (12" HOPE CULVERT)  
INV. IN @ XXXXX  
INV. OUT @ 23.48 (18" HOPE CULVERT)



NOTES:

- 1) OWNER PROJECT ADDRESS: 788 AUBERT STREET, ROCHESTER, NH 03607
- 2) TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1
- 3) LOT 54 S.C.R.D. BOOK 4280, PAGE 839
- 4) LOT 53-1 S.C.R.D. BOOK 4280, PAGE 841
- 5) ZONING: R1 (RESIDENTIAL 1)
- 6) SETBACK: 10'
- 7) SETBACK: 10'
- 8) SETBACK: 10'
- 9) SETBACK: 10'
- 10) SETBACK: 10'
- 11) SETBACK: 10'

- 1) THE RIGHT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS AND LOCATED IN ROCHESTER, N.H., AS OF THE DATE OF THIS PLAN.
- 2) I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT.
- 3) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 4) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 5) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 6) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 7) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 8) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 9) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 10) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.
- 11) THE PLAN IS BASED ON A SURVEY CONDUCTED BY BERRY SURVEYING & ENGINEERING, INC. ON MAY 17, 2016.



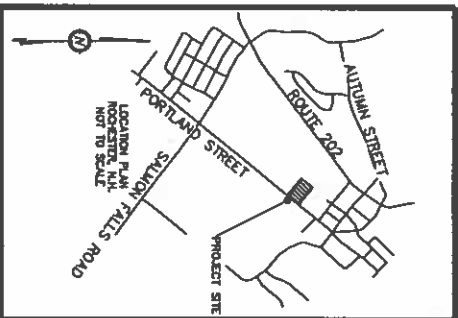
I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000- KENNETH A. BERRY L.L.S. 005 DATE 1/22/16

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 30 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

EXISTING CONDITIONS PLAN FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

N/T ROCHESTER REALTY TRUST  
RAMANBATH K. PATIL, TRUSTEE  
38 HIGHLAND STREET  
ROCHESTER, NH 03668  
FAX MAP 707, LOT 26  
S.C.R.D. BOOK 3294, PAGE 439



#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

**FINAL APPROVAL  
BY  
ROCHESTER PLANNING BOARD  
CERTIFIED BY : \_\_\_\_\_  
DATE : \_\_\_\_\_**

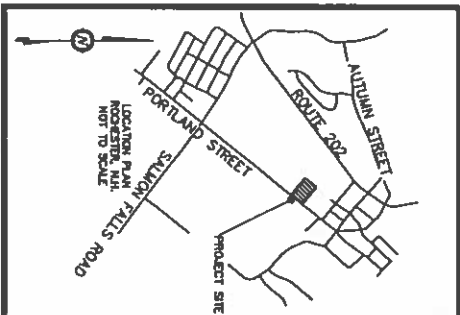
(17727)  
1 inch = 20 ft

I CERTIFY THAT THIS PLAT EXCEEDS THE  
MINIMUM REQUIREMENT FOR ACCURACY AND  
COMPLETENESS OF THE STATE OF N.H. AND  
OF THE CITY OF ROCHESTER, N.H. - 1:10.  
1/22/16

KENNETH A. BERRY L.L.S. 805 DA

N/ROCHESTER REALTY TRUST  
RAMABHARI K. PATEL, TRUSTEE  
38 HIGHLAND STREET  
ROCHESTER, NH 03669  
TAX MAP 107, LOT 23  
S.C.R.D. BOOK 1294, PAGE 435

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



EASEMENT SHEET  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
*TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1*

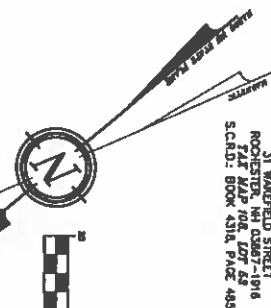
N.Y. CITY OF ROCHESTER  
31 WASHINGTON STREET  
ROCHESTER, N.Y. 14608  
716 ALP 100, LOP 23  
S.CARD: BOX 4316, PAGE 495

✓ MON PER.  
-NOV -OIL  
-NO STATE PLANE  
-NO FUEL  
E 11/27/79, 81  
OLEV244.75

GRAPHIC SCALE

LANCE:
 

- IRON BOUND (TO BE SET)
- IRON BOUND (FND)
- IRON PIPE (FND)
- GRANITE BOUND (FND OR TO BE SET)
- UTILITY POLE
- PROPOSED BOUNDARY LINES
- WETLANDS LINE
- 50' WETLAND BUFFER
- APPROX. ABUTTING BOUNDARY LINES
- STONE WALL



## GRAPHIC SCALE

७३ = पृष्ठ १

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000-

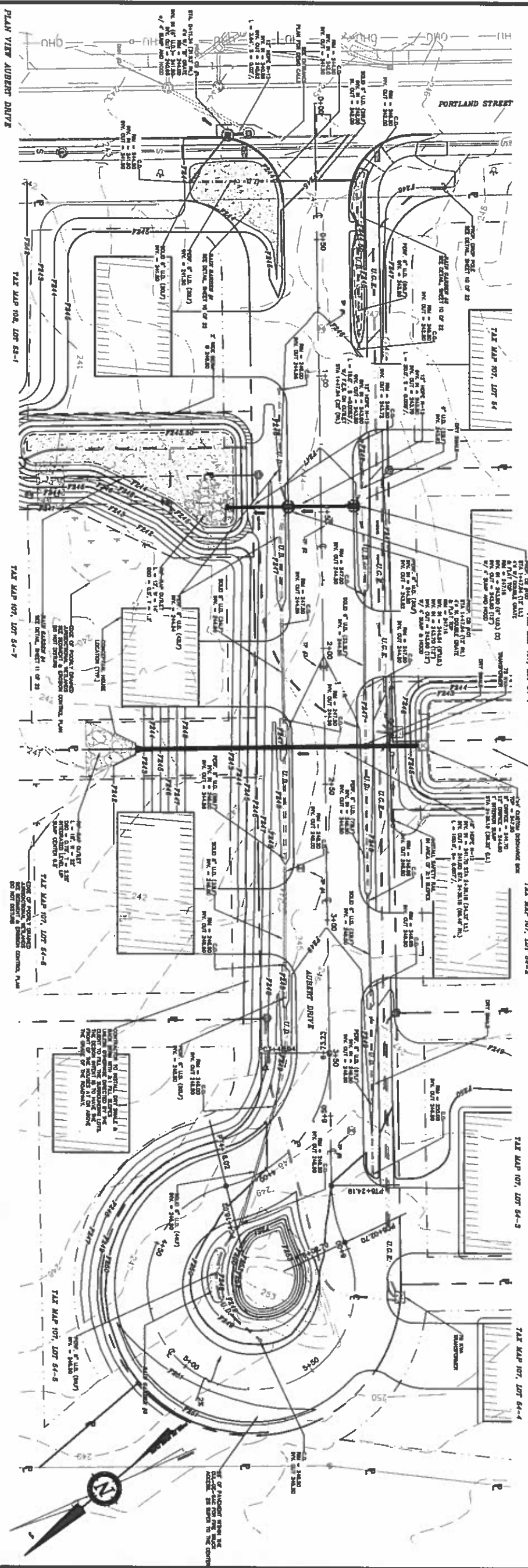
KENNETH A. BERRY L.L.S. 805 DATE

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

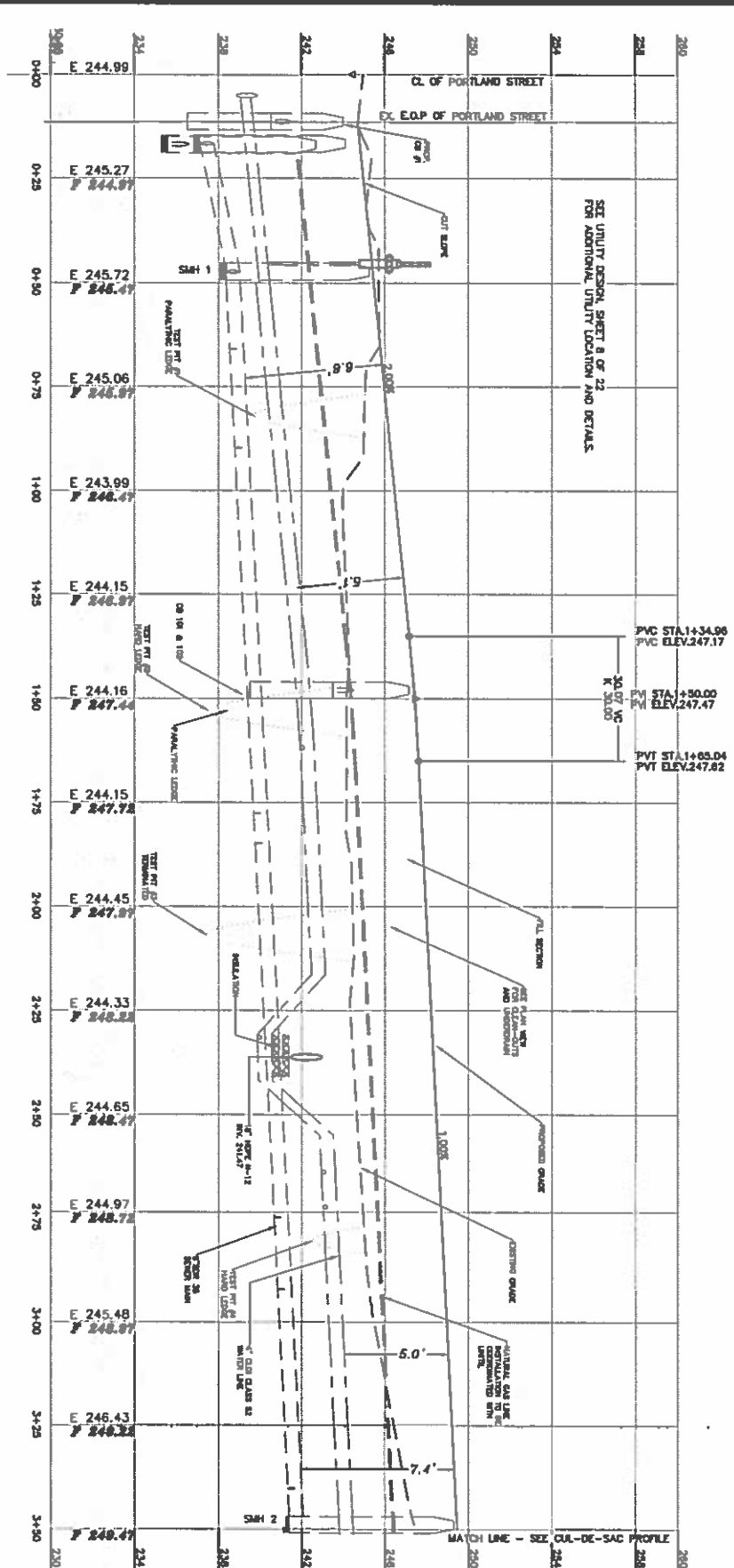
**SHEET 4 OF 22**







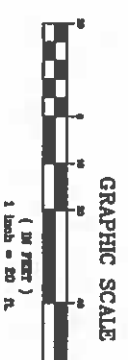
PLAN VIEW AUBERT DRIVE  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 4'



PROFILE VIEW AUBERT DRIVE 0+00 - 3+50  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 4'

NOTES:  
1) OWNER:  
TOM AUBERT  
5 QUART DRIVE  
ROCHESTER, NH 03067

- 2) CITY OF ROCHESTER TAX MAP 107, LOT 64 & TAX MAP 108, LOT 53-1
- 3) THE PURPOSE OF THIS PLAN IS TO DESIGNATE GRADING AND DRAINAGE SYSTEMS FOR THE PROPOSED ROADWAY
- 4) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE AND BELOW GROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY UTILITY CONFLICTS SHOULD BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
- 5) THE CONTRACTOR SHALL CALL AND CORRELATE WITH DESIGNEE 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION OR PUBLIC OR PRIVATE PROPERTY.
- 6) SEE DETAILS CONCERNING SITE LAYOUT, DRAINAGE, UTILITY AND EROSION CONTROLS.
- 7) ALL CATCH BASINS SHALL BE PRE-CAST 14-20 LARGING AND SHALL BE EQUIPPED WITH DEEP SLUICES (4" DIA.) AND HOODS (SEE DETAIL). SLUICES SHALL BE TO REMAIN OPEN AT ALL TIMES AND SHALL BE SECURED WITH PADLOCK KEYS. HOODS SHALL BE REMOVED IMMEDIATELY PRIOR TO CONSTRUCTION OF ROADSIDE DRAIN. HOODS ABOVE FRESH GRADE SHALL NOT BE ACCEPTED. ALL RAIN, GRADES AND COVERS ARE TO BE U.S.A. MADE.
- 8) SEE EROSION & EMISSION CONTROL PLAN FOR SLOPE PROTECTION AND EROSION CONTROLS FOR THE ENTIRE SITE.
- 9) ALL DRAINAGE PRE IS TO BE 10-12 IN. 12.5% (GREEN PVC) INDIVIDUAL PRE SIZES ARE SPECIFIED.
- 10) ALL ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE DESIGN ENGINEER IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. TEMPORARY BENCHMARKS (T.B.M.) ARE TO BE PROVIDED BY THE DESIGN ENGINEER.
- 11) NOTE THAT THE PROJECT IS SUBJECT TO THE EPA PHASE II, THE NOTICE OF VIOLATION (NOV) MUST BE FILED ALONG WITH A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). WEEKLY INSPECTIONS WILL BE CONDUCTED BY THE DESIGN ENGINEER. UPON FINAL COMPLETION AND AS STABILIZATION THE DRAINAGE SYSTEM IS TO BE CLEANED OF ALL DEBRIS TO INCLUDE THE PAVING OF THE BASIN SLUICES.
- 12) ALL IMPAVED AREAS ARE TO RECEIVE 4" QUALITY LOW AND SED.
- 13) ALL BASINS AND DRAINS ARE TO HAVE DOORS INSTALLED ON ALL INLETS AND OUTLETS.
- 14) ALL CATCH BASINS TO BE LINED WITH A POLYETHYLENE LINER.
- 15) ALL PROPOSED CLEAN CUTS ARE TO BE VERTICAL 12" 14-12 PRE WITH CAST IRON COVERS SLOTTED WITH STAINLESS STEEL. THE COVER IS TO BE DEMONSTRATED WITH A "V".
- 16) SEE SEPARATE SHEET FOR COMPLETE LOT DRAINAGE. GRADING ON THE LOTS IS SCHEDULED HEREON PROVIDES THE DESIGNERS INTENT FOR STORMWATER FLOW. IF THE DEVELOPER OF FUTURE OWNERS WISH TO MODIFY THE DRAINAGE PROVIDED, THERE MAY BE FURTHER ANALYSIS AND APPROVAL BY THE DEP UNDER THE CHAPTER 50 APPLICATION.
- 17) RELOCATION AND RISE OF THE EXISTING CATCH BASIN AND PAVING AT THE STREET HEADS TO BE APPROVED IN THE FIELD BY THE ROCHESTER CITY ENGINEER OR UTILITIES FOREMAN. IF THE STRUCTURE ON PRE ARE DEEMED INADEQUATE, NEW MATERIALS SHALL BE USED.
- 18)



STATE OF NEW HAMPSHIRE  
BERRY SURVEYING & ENGINEERING  
1024  
REGISTERED PROFESSIONAL ENGINEER - 2016

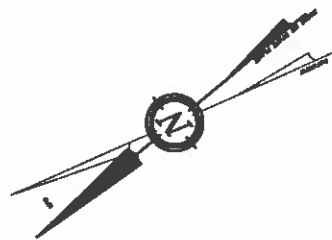
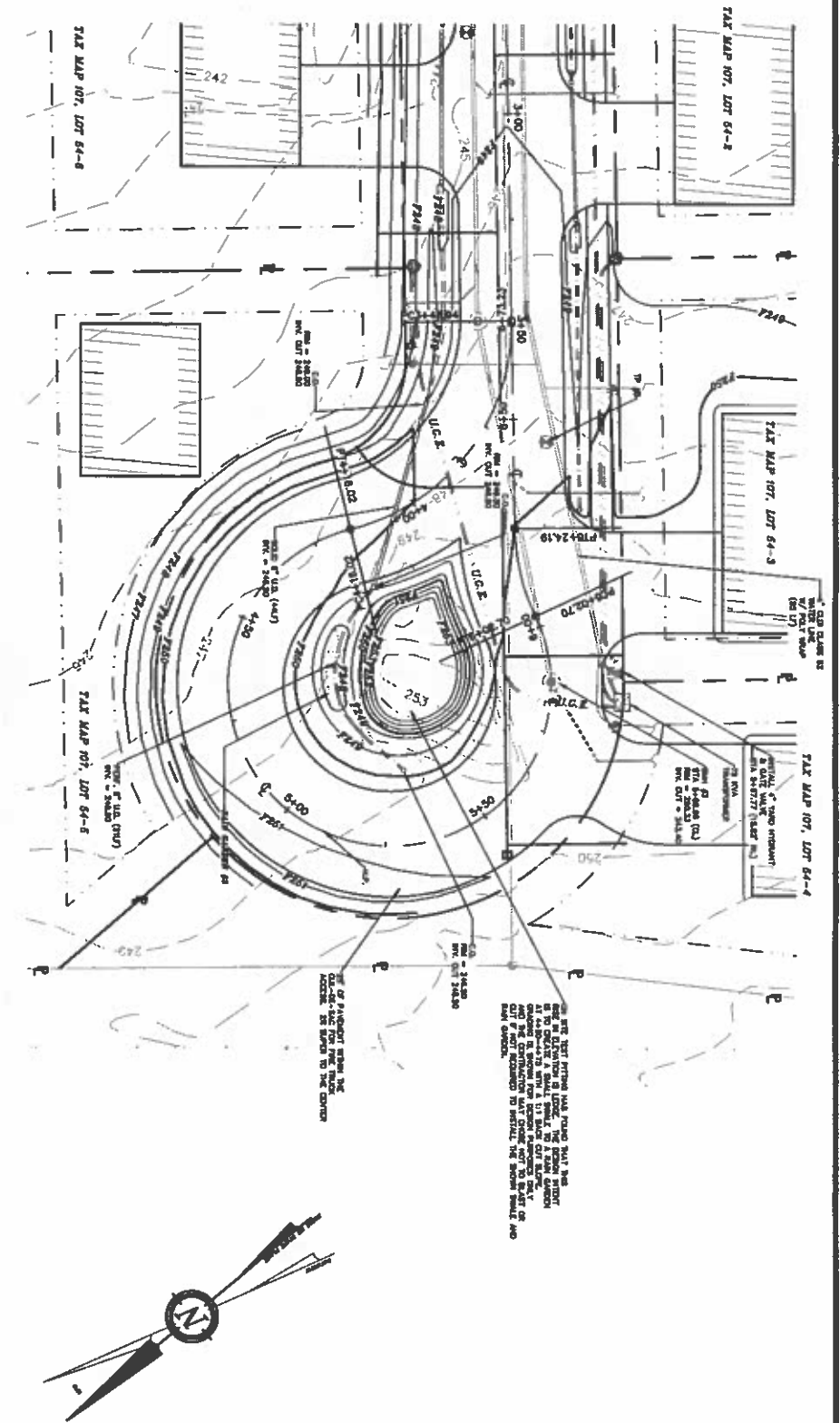
1024

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 20 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

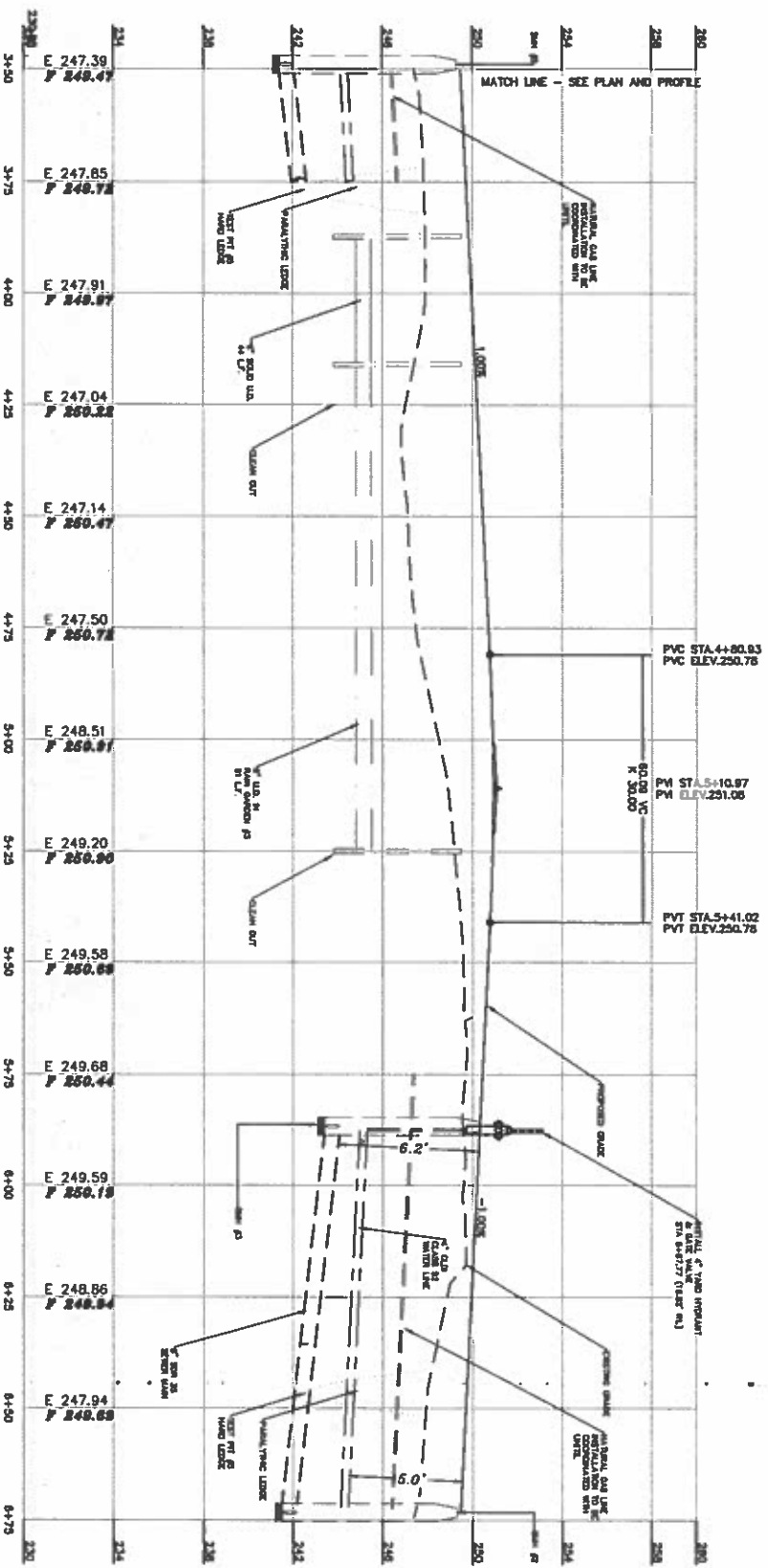
SHEET 6 OF 22

PLAN AND PROFILE  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



PLAN VIEW AUBERT DRIVE  
 PROFILE VIEW AUBERT DRIVE  
 3+50-END  
 HORIZONTAL SCALE 1" = 20'  
 VERTICAL SCALE 1" = 4'



**BERRY SURVEYING & ENGINEERING**  
 335 SECOND CROWN POINT ROAD  
 BARRINGTON, NH 03825 (603)332-2863  
 SCALE : 1 IN. EQUALS 20 FT.  
 DATE : JANUARY 1, 2016  
 FILE NO. : DB 2015 - 040

PLAN AND PROFILE OF CUL-DE-SAC  
 FOR  
 TOM AUBERT  
 788 AND 794 PORTLAND STREET  
 ROCHESTER, NH  
**TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1**

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

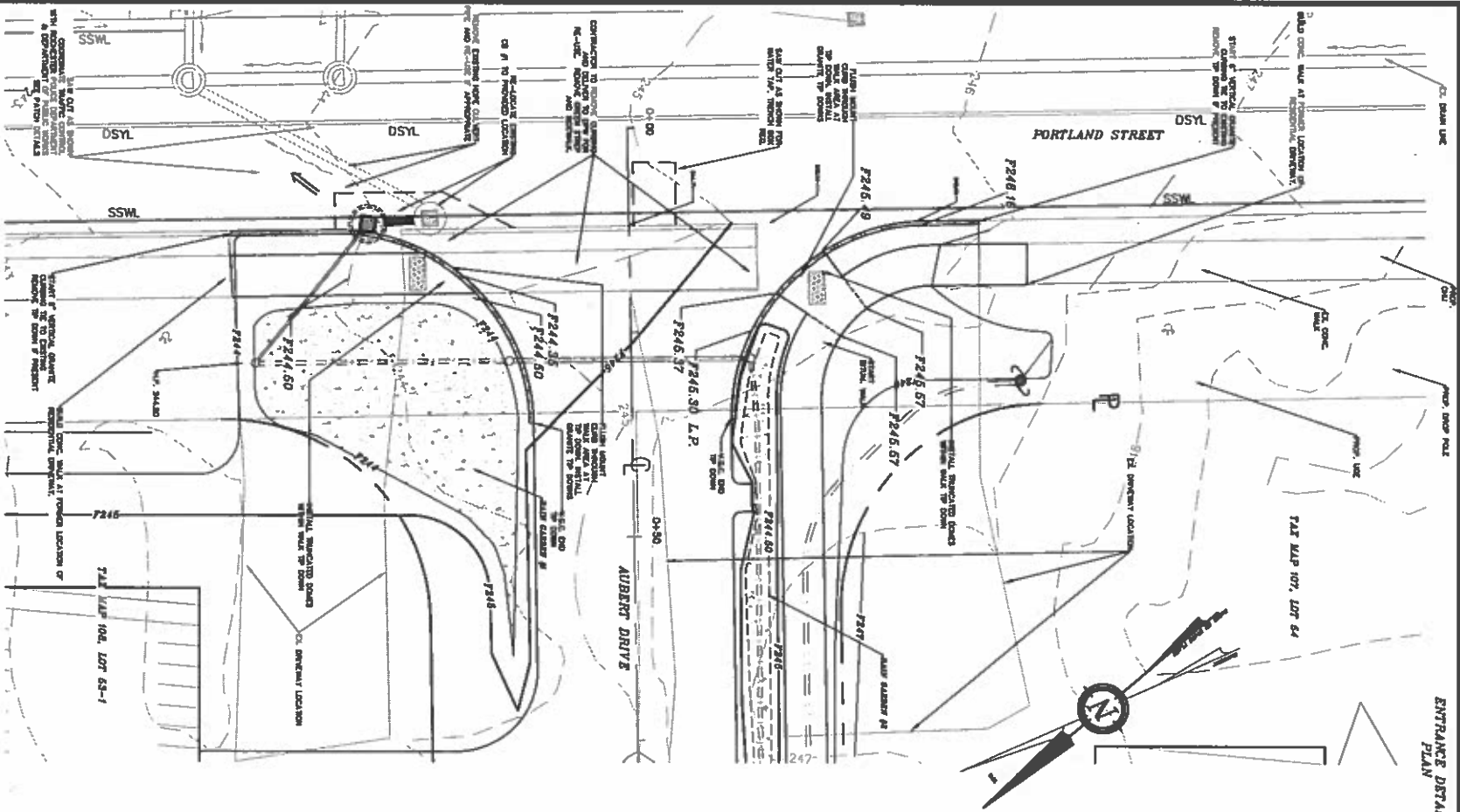
SHEET 7 OF 22



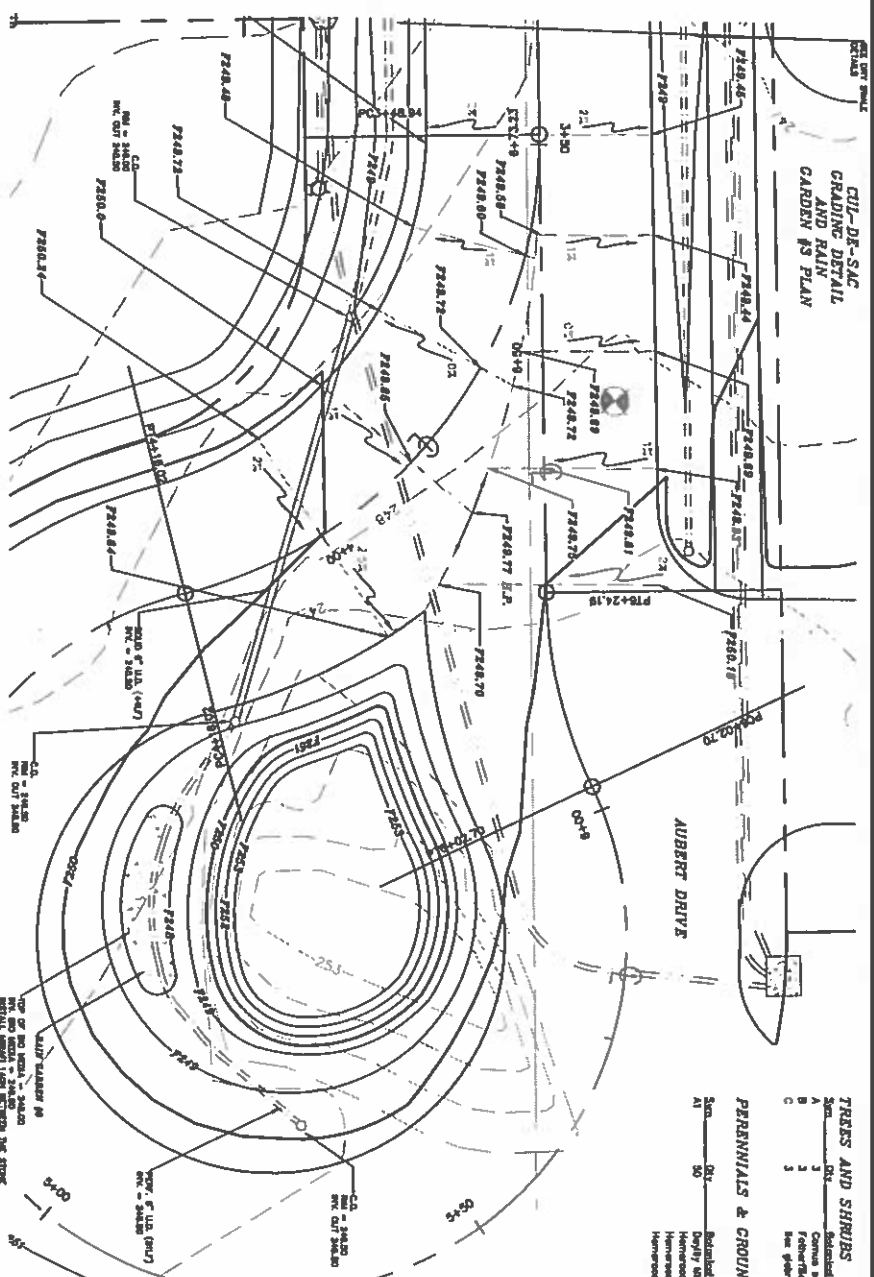




ENTRANCE DETAIL  
PLAN



CUT-DE-SAC  
GRADING DETAIL  
AND RAIN  
GARDEN #3 PLAN



TREES AND SHRUBS

Qty	Species	Plant	Size
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.

PERENNIALS & GROUND COVERS

Qty	Species	Plant	Size
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.

TREES AND SHRUBS RAIN GARDEN #1

Qty	Species	Plant	Size
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.

PERENNIALS & GROUND COVERS

Qty	Species	Plant	Size
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.

TREES AND SHRUBS RAIN GARDEN #2

Qty	Species	Plant	Size
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.
3	Red maple	Red maple	3-5' Ht.

PERENNIALS & GROUND COVERS

Qty	Species	Plant	Size
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.
30	Red maple	Red maple	3-5' Ht.

GRAPHIC SCALE



BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 10 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

RAIN GARDEN #1 - #3  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

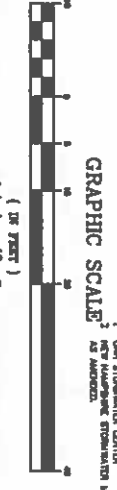




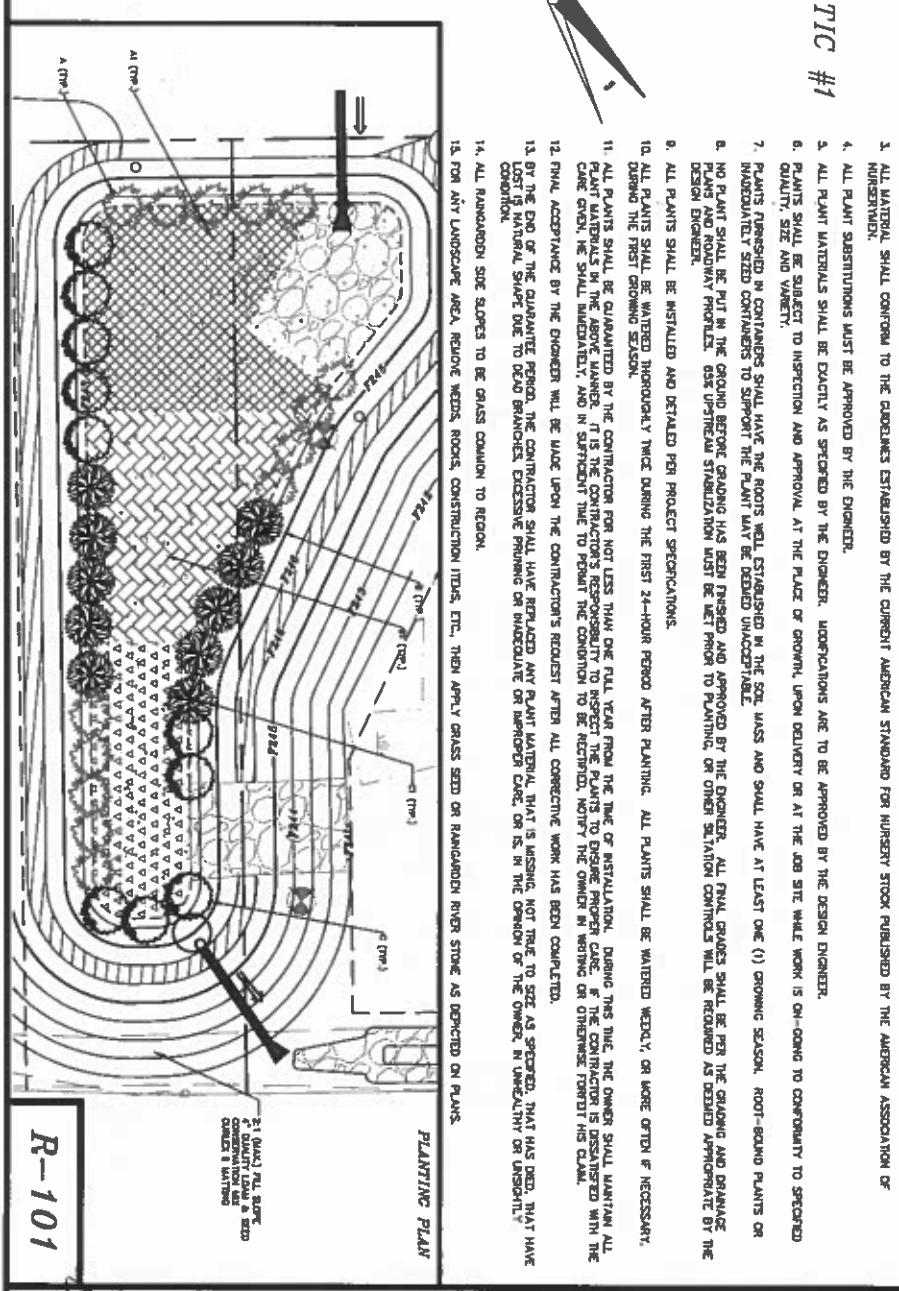
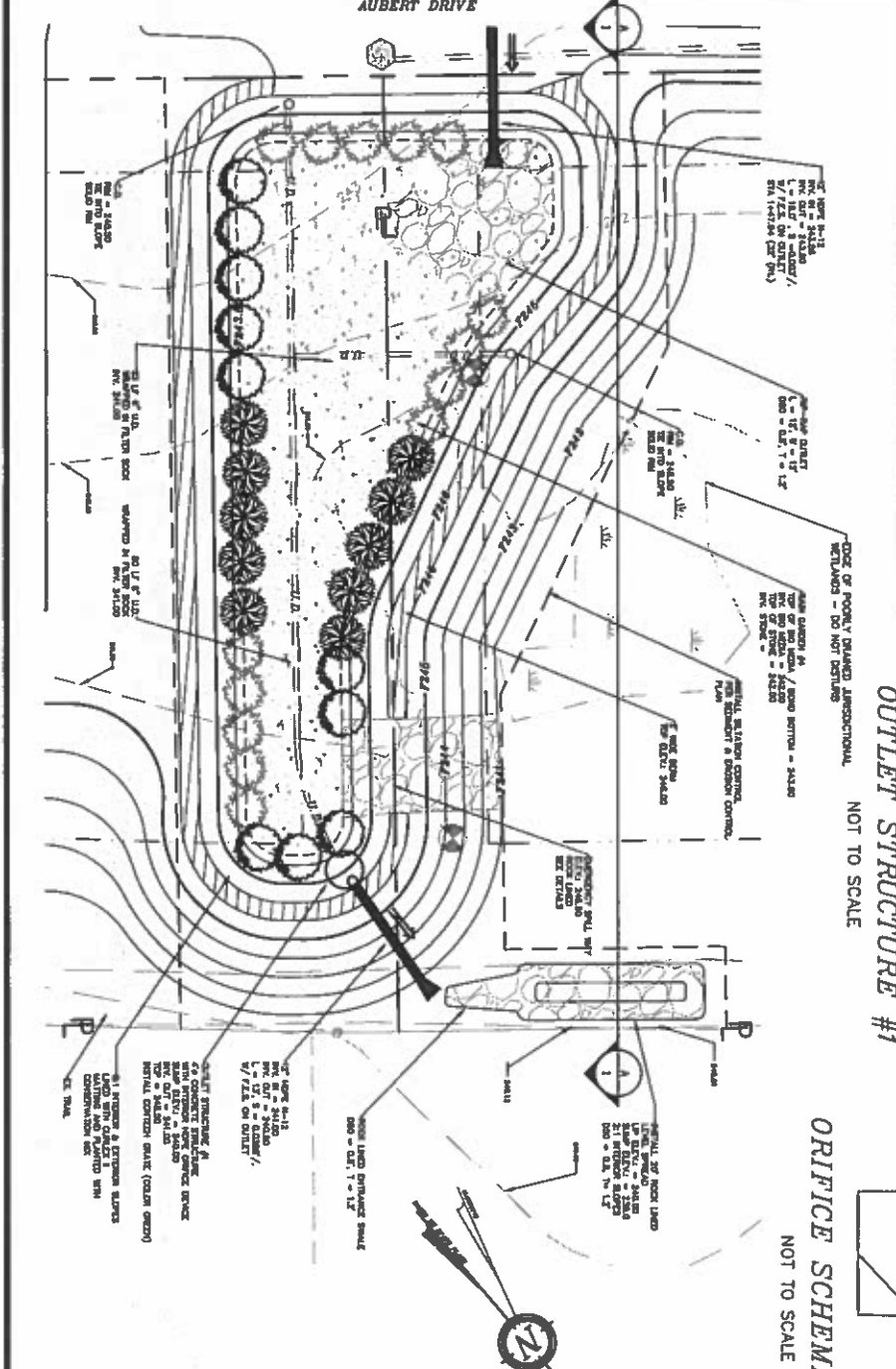
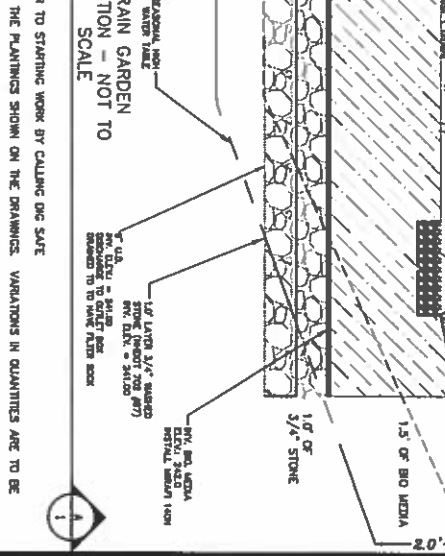
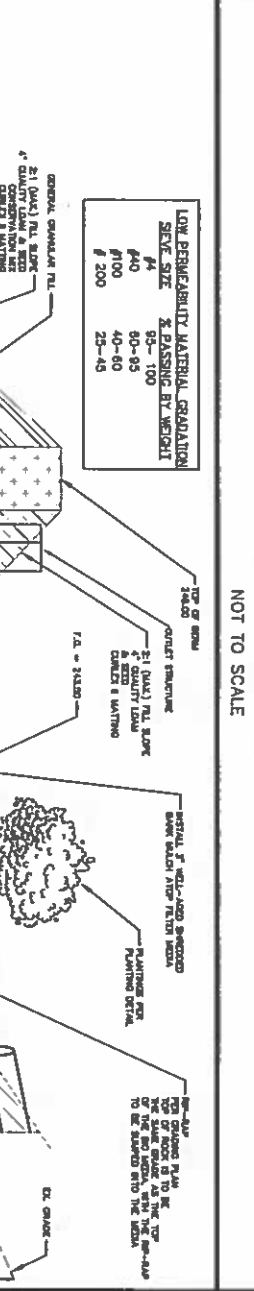
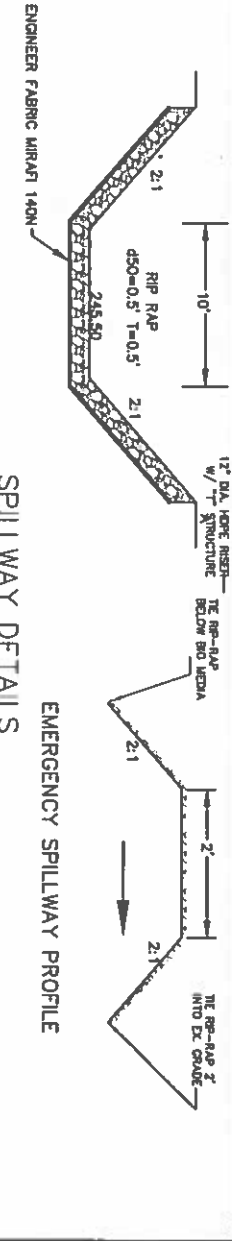
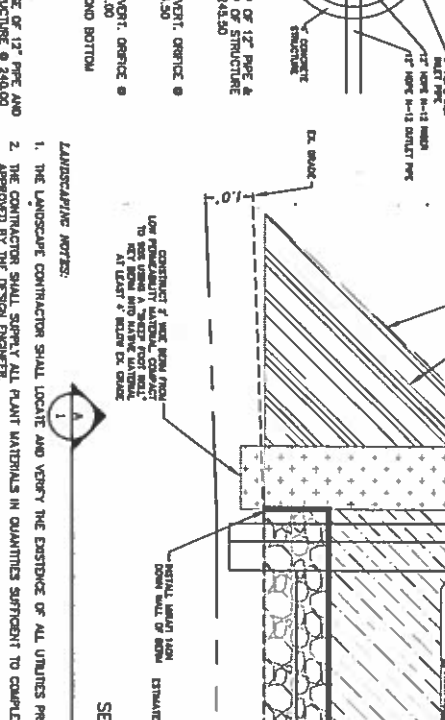
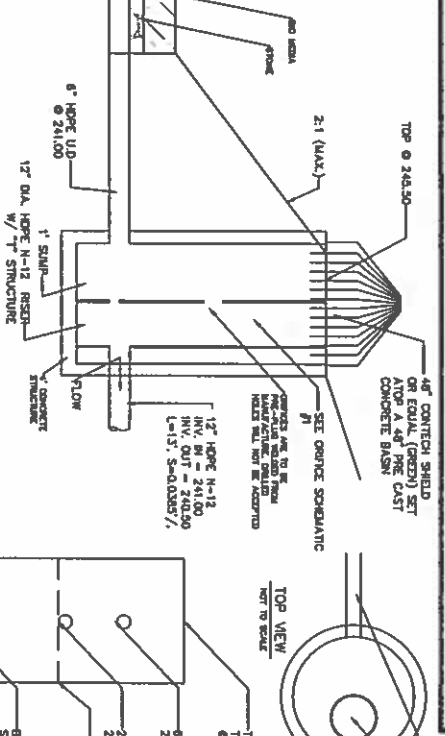
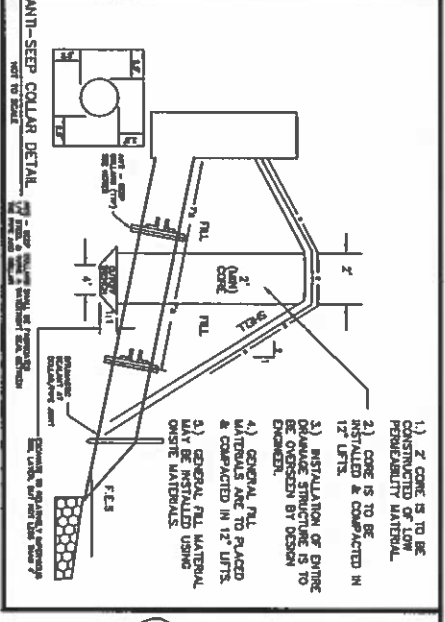
FILTER MEDIA MIXTURES			
Component Material	Percent of Material by Volume	Gradation of material	Filter Media Option A
ASTM C-33 concrete sand	50 to 55	100	100
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine graded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5

PERENNIALS & GROUND COVERS			
1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

DRAINAGE & EROSION CONTROL			
1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.	1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.



- NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

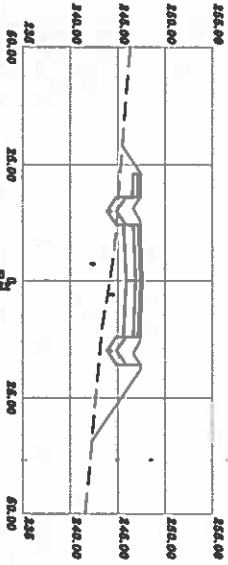
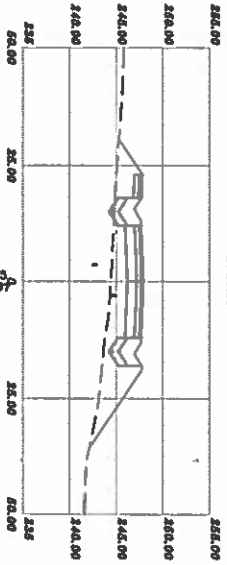
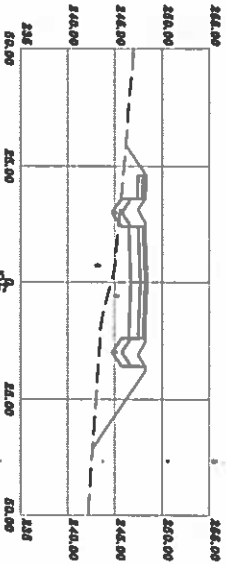
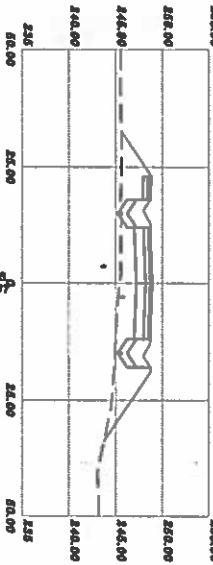
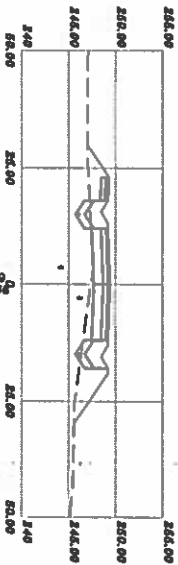
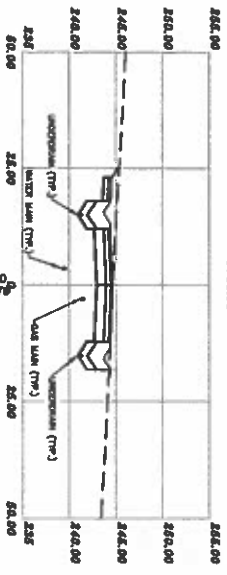
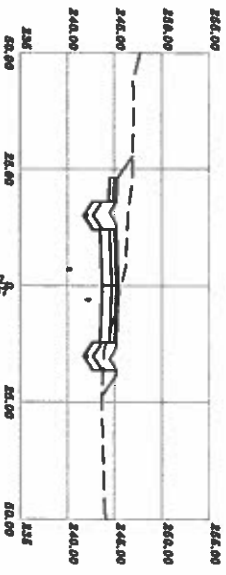
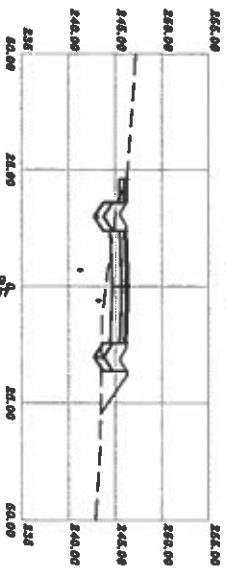
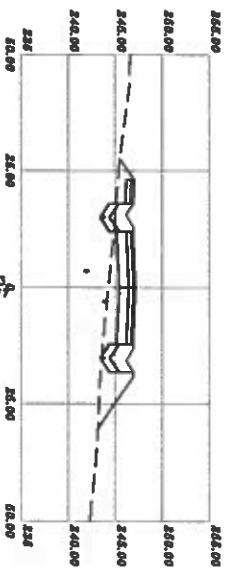
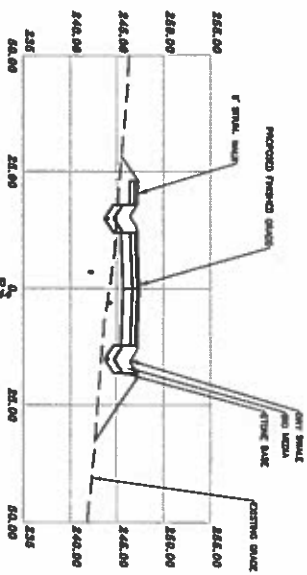


REVISION	DATE	DESCRIPTION
1-20-16		REVISED PER TRG COMMENTS

RAIN GARDEN #4  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 63-1

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : 1 IN. EQUALS 10 FT.  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

Horizontal Scale 20  
Vertical Scale 10



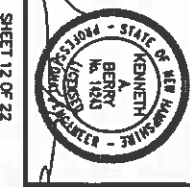
1+34.00  
7244.33

2+45.72  
7244.47

3+11.50  
7244.70



(20 FEET)  
1 inch = 20 ft.



**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS NOTED  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

CROSS SECTIONS 0+00-3+48.94  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

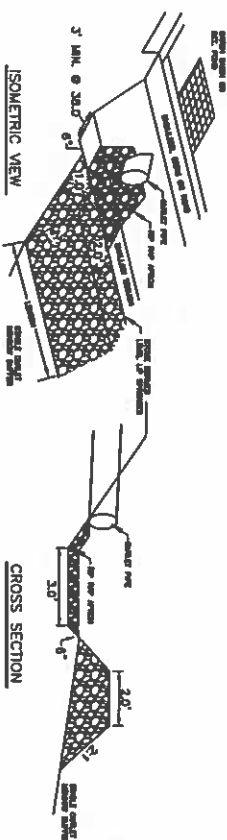
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION







**STONE BERRY LEVEL SPREADER**



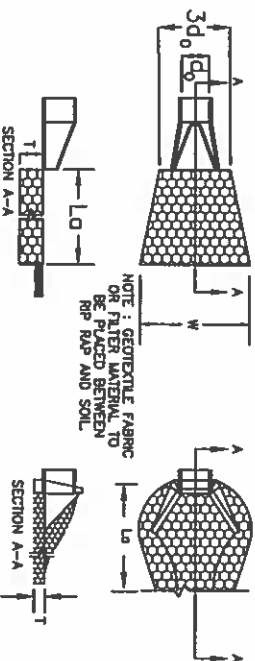
SIZE DESIGNATION	SIZE OF STONE (POUNDS)
100%5	12
84-100%5	8
68-84%5	3
43-68%5	1
2-43%5	NOT 4

1. CONSTRUCT THE LEVEL SPREADER UP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL
3. THE ENTIRE LEVEL UP AREA SHALL BE PROTECTED BY PLACING EXCELSOR ENFORCED MATTING BEHIND THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE ROW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE UP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE UP, THEN THE DAMAGE SHOULD BE REPAIRED.

## E12

## E13

### PIPE OUTLET PROTECTION



1. THE SUB GAGE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GROVES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURING OR TEARING DURING THE PLACEMENT OF THE ROCK. RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

## PIPE OUTLET PROTECTION CONSTRUCTION SPECIFICATIONS

GRD SIZE— % OF WEIGHT SMALLER THAN THE GIVEN GRD SIZE	0.5	FEET	8	INCHES
		SIZE OF STONE (INCHES) FROM		TO
100%	9			12
85%	8			11
50%	6			9
15%	2			3

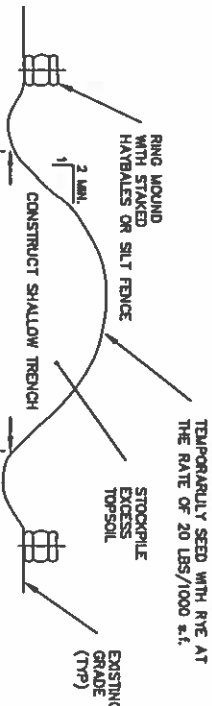
## E14

## WINTER STABILIZATION NOTES

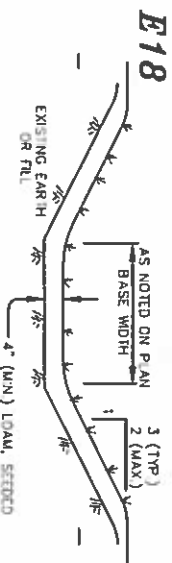
1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 65% VEGETATION COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SOLE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LEAVED WITH BIODEGRADABLE/PHOTODEGRADABLE "LUTE MULCHING" (EXCELSTOR'S CURLEY, E) EQUAL WITH OTHER SLOPES. MULCH SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR LUTE MULCHING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LEAVED WITH TEMPORARY LUTE MULCHING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MULCHED WITH PERMANENT LINERS OR RIPPED WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPE.
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, IF THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SIEDE RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 50A.1, BUT SITE SHALL HAVE BETWEEN 19-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 50A.1. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SOLE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILLS SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

## E17

## E15



**TOPSOIL STOCKPILE MOUNT**



INSPECT ANNUALLY FOR EROSION, SEDIMENT ACCUMULATIONS, VEGETATION LOSS, & INVASIVE SPECIES. REPAIR AS NECESSARY.  
MOW GRASS ANNUALLY TO A DEPTH OF 4".

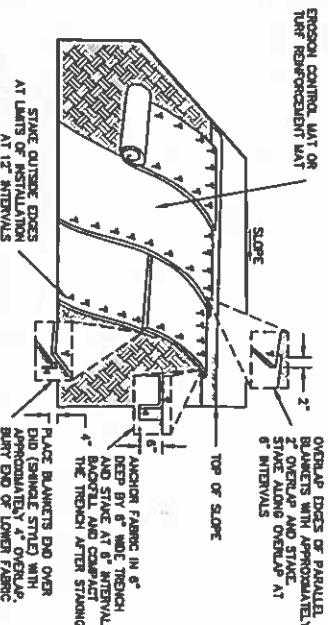
## E16

[illegible][illegible]

## SEEDING SPECIFICATIONS

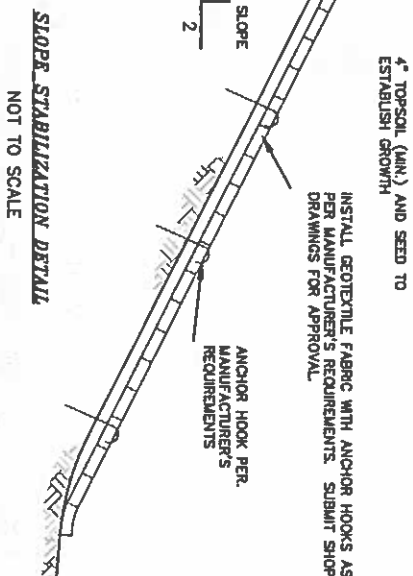
1. Grading and Seeding  
a. Grading should not be steeper than 2:1; 1 slope or flatter are preferred. Where mowing will be done, 3:1 slopes or flatter are recommended.
2. Seedbed Preparation  
a. Surface and seepage water should be drained or diverted from the site to prevent drowning or whiter  
b. Surfaces of the parent  
c. Strips larger than 4 inches and trash should be removed because they interfere with seeding and future  
restoration of the area. Where feasible, the soil should be tilled to a depth of about 4 inches to prepare  
a seedbed and then tilled and rolled the soil. The seedbed should be left in readiness from  
one season to the next. The till (long operation should be performed across the slope whenever practical.
3. Enriching Soil  
a. Lime and fertilizer should be applied prior to or at the time of seeding and incorporated into the soil  
if not covered. The following minimum amounts should be applied:  
*Agricultural limestone*, 10 tons per acre or 100lbs. per 1,000 sq.ft.  
*Nitrogen(N)*, 50lbs. per acre or 1.1lb. per 1,000 sq.ft.  
*Phosphate(P2O5)*, 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.  
*Potash(K2O)*, 100lbs. per acre or 2.2lbs. per 1,000 sq.ft.  
(Note: This is the equivalent of 500lbs. per acre of 10-20-20 fertilizer or 1,000lbs. per acre of  
5-10-10.)
4. Seed  
a. Seed should be spread uniformly by the method most appropriate for the area. Methods include  
broadcasting, drilling and hydroseeding. Where broadcasting is used, cover seed with 25 inch of soil  
or less, by sodsapping or rolling.  
b. Refer to Table(4-21 the sheet) for appropriate seed mixtures and Table(4-23 the sheet)  
for rates of seeding. All legumes (cramchick, birdfoot trefoil, and alfalfa) must be inoculated  
with their specific inoculant.  
c. Where seeders are used, seedlings may be made from early spring to early October. When  
seeders are not used, seedlings may be made from early spring to May 20 or from August  
10 to September 1.
5. Mulching  
a. Hay, straw, or other mulch, when needed, should be applied immediately after seeding.  
b. Mulch will be laid in place using appropriate techniques from the Best Management Practices for  
mulching. Hay or straw must be placed at a rate of 500bs per 1,000 sq. ft.
6. Maintenance to Establish a Stand  
a. Peralal areas should be protected from damage by fire, grazing, trilling, and deer and seed growth.  
b. Fertilization needs should be determined by soils inspections. Supplemental fertilizer is usually  
the key to fully complete the establishment of the forest because most parental sites 2 to 3 years to  
become established.  
c. In wetlands, channels, or areas where uniform flow conditions are anticipated, occasional  
mowing may be necessary to control growth of woody vegetation.

# E20



MINIMUM SPACING 5" - 0" A.C. ACROSS FABRIC.

## E19



## E21

### DEFINITION OF STABLE:

1. WHEN A BASE COURSE GABLE HAS BEEN INSTALLED
2. IN AN AREA TO BE PAVED
3. WHEN A METHOD OF GUT STABILIZATION OCCURS
4. WHEN A MINIMUM OF 5' OF NON-DISSOLVE MATERIAL, SUCH AS STONE OR RAP, HAS BEEN INSTALLED.
5. WHEN PROPER EROSION CONTROL MEASURES, SUCH AS CURBETS, E, CATCH BASINS, ETC., HAVE BEEN INSTALLED.
6. OR OTHER DOT APPROVED METHOD, HAS BEEN INSTALLED PROPERLY.

### CONSTRUCTION SEQUENCE

- 1.) CUT AND REMOVE TREES IN CONSTRUCTION AREA ONLY AS REQUIRED
- 2.) CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED
- 3.) EROSION, SEDIMENT AND DETENTION CONTROL FACILITY SHALL BE INSTALLED & STABILIZED PRIOR TO ANY EARTH MOVING OPERATION & OR DIRECTING TRAFFIC TO TRAIL
- 4.) CLEAR, CUT AND DISPOSE OF TREES IN APPROVED FACILITY
- 5.) CONSTRUCT TEMPORARY CULVERTS AS REQUIRED, OR DIRECTED
- 6.) CONSTRUCT ROADWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL ROADS SHALL BE STABILIZED IMMEDIATELY AFTER GRAVING
- 7.) INSTALL PIPE AND CONNECTIONS ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRAVING.
- 8.) REIN, PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEED OR MULCHED AS REQUIRED, OR DIRECTED. NO AREAS SHALL BE ALLOWED TO BE CONSIDERED FOR A PERIOD OF TIME THAT EXCEEDS 90 DAYS BEFORE BEING STABILIZED. MULCH, OR S IS REQUIRED.
- 9.) CONSTRUCT TEMPORARY BERMES, GRAVE DITCHES, SALT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
- 10.) INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL, WEAPONS DURING CONSTRUCTION
- 11.) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 12.) REMOVE TEMPORARY EROSION CONTROL, WEAPONS AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SNT IMPROVEMENTS ARE COMPLETE.
- 13.) SMOOTH AND REGRADE ALL DISTURBED AREAS.
- 14.) FINISH PAINTING ALL ROADWAYS

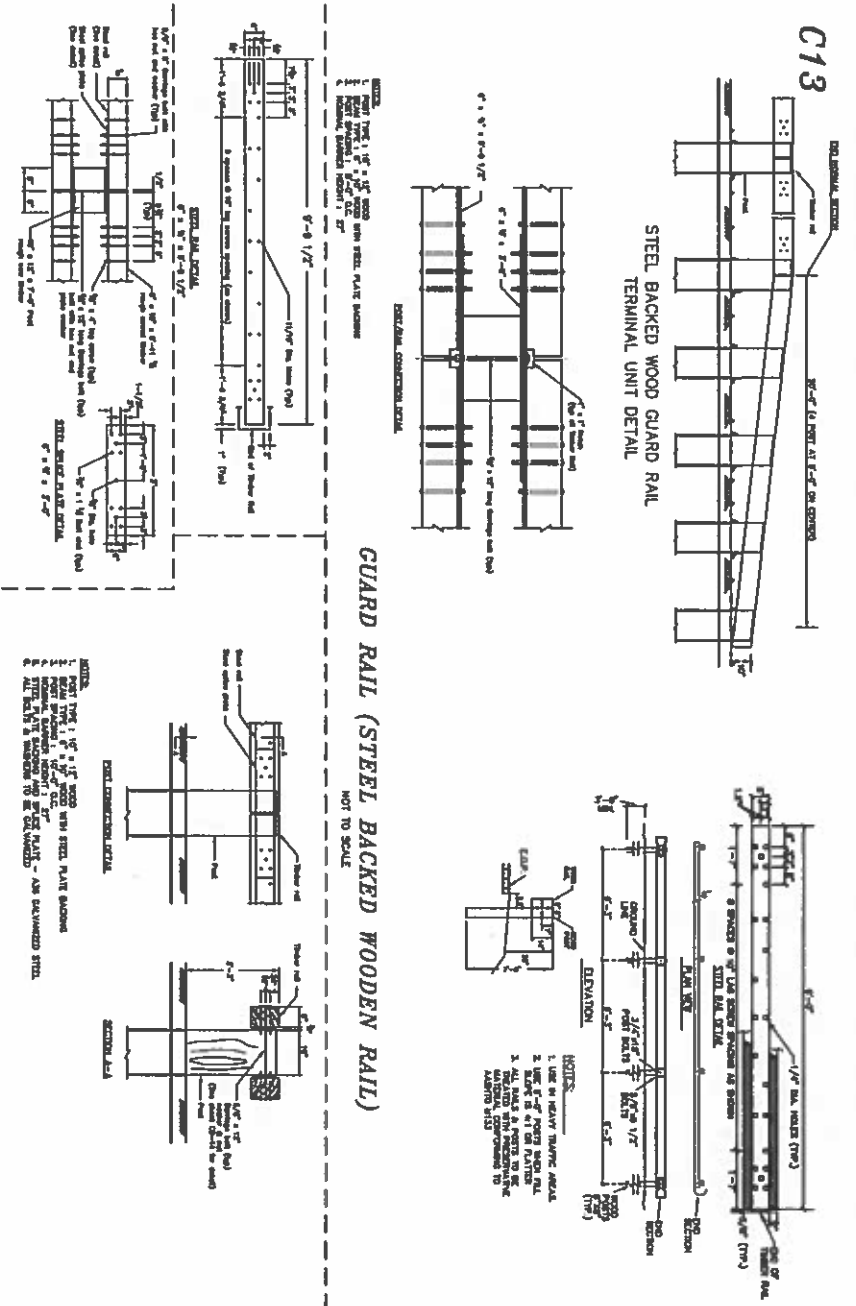
## E-102











REVISED PER TRG COMMENTS		
REVISION	DATE	DESCRIPTION
#1	1-20-16	

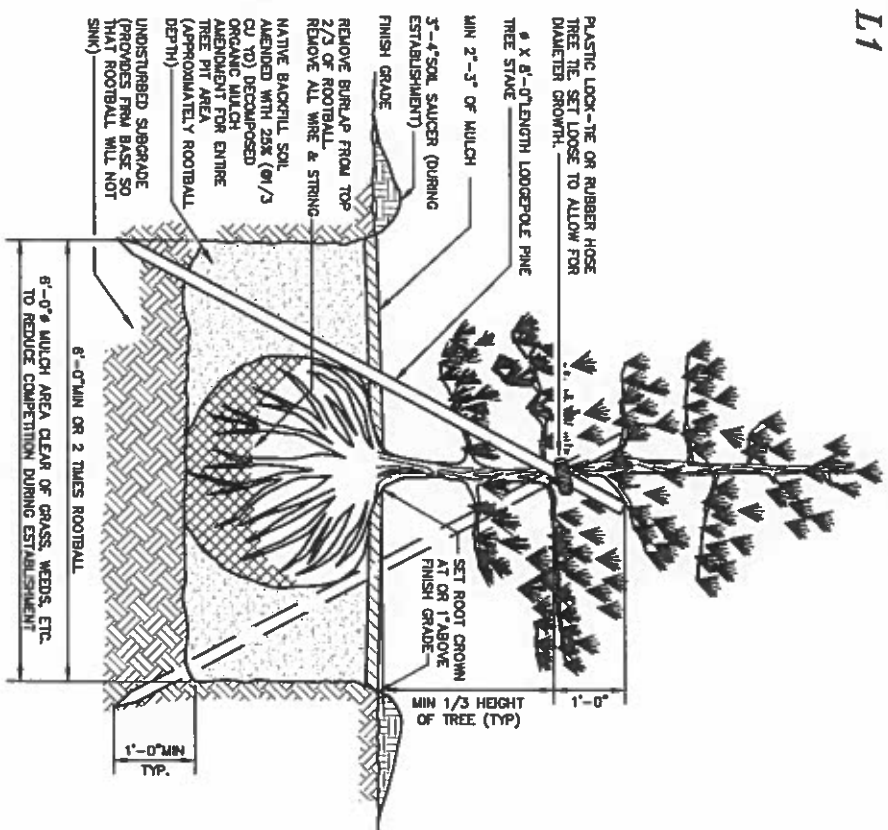
CONSTRUCTION DETAILS  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 64 AND TAX MAP 108, LOT 53-1

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS MARKED  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040



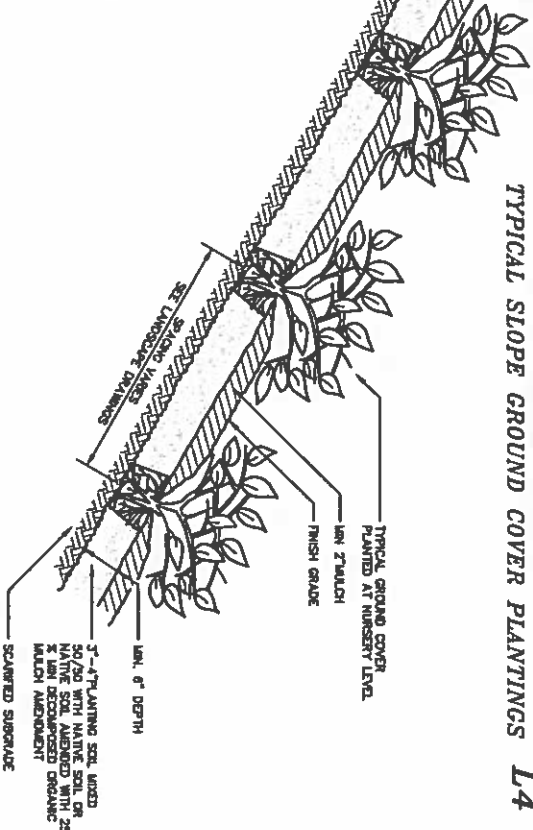
C-103

L1

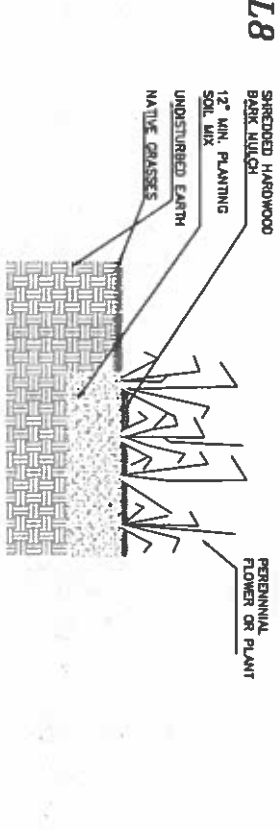


CONFEROUS TREE PLANTING

TYPICAL SLOPE GROUND COVER PLANTINGS L4

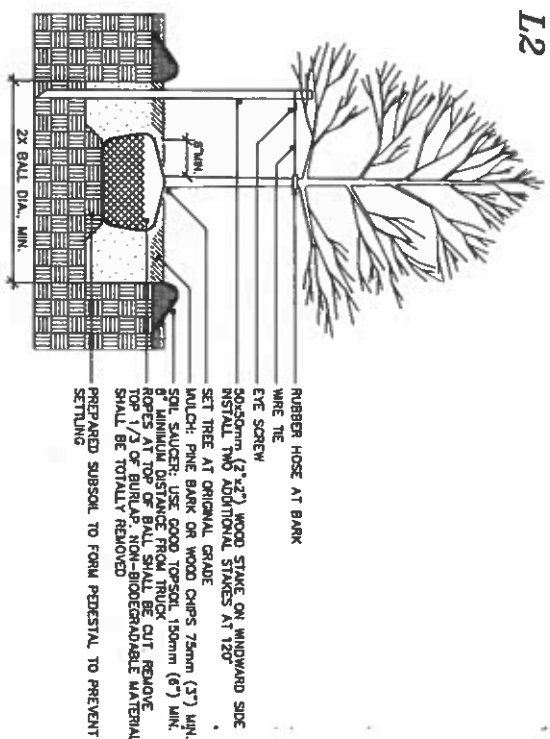


L8



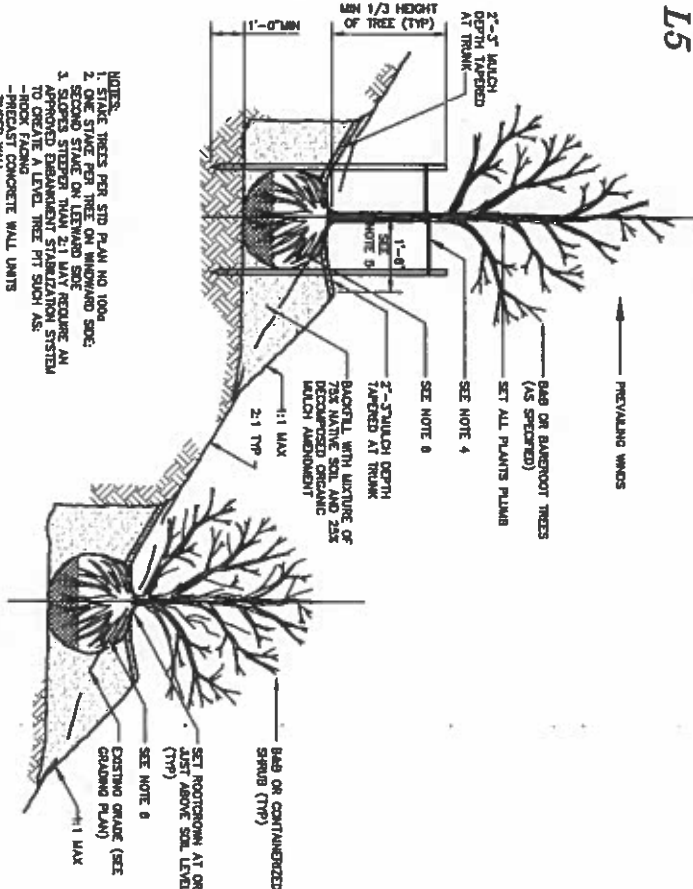
PERENNIAL PLANTING DETAIL

L2



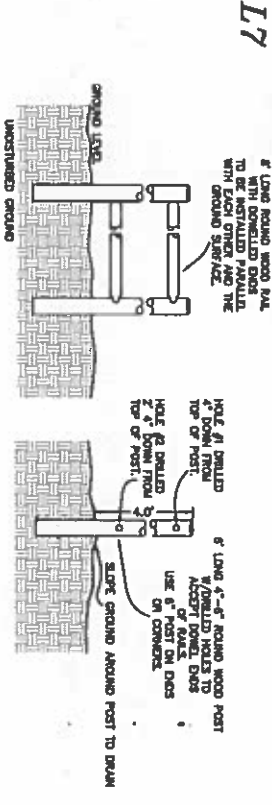
DECIDUOUS TREE PLANTING

L5



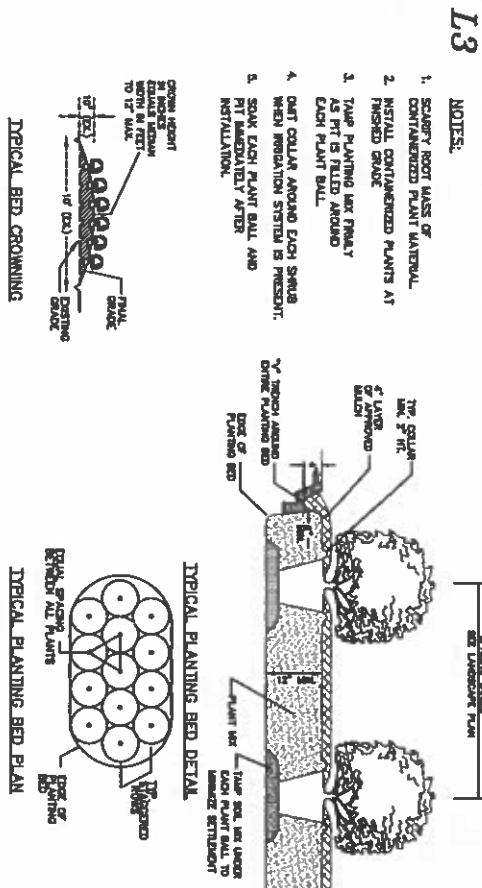
TREE PLANTING ON SLOPES

L7



TYPICAL POST & RAIL FENCE DETAIL

L3



SHRUB & HEDGE PLANTING

L6

- NOTES:
- 1) CALL OUT SAFE PRIOR TO BEGINNING WORK. (1-888-344-7233). THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF THE SAME BEFORE COMMENCING AND DURING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES DAMAGED, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER OR ORIGINAL CONTRACTOR.
  - 2) CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BEGINS. SEE NOTE 8 ON OVERALL SITE PLAN.
  - 3) PROVIDED SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
  - 4) ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - 5) ALL PLANT MATERIALS SHALL BE FREE FROM INSECTS AND DISEASE.
  - 6) ALL PLANTINGS SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING INC. PLANT BED AND TREE PIT PREPARATION, PROPER STAKING OR GUYING, WINDFIRM, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM OWNER.
  - 7) ALL GRASSES, OTHER VEGETATION AND TREES SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
  - 8) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUIVA.) AROUND EXISTING LANDSCAPE TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SHOV STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE ONE LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
  - 9) NEW PLANTINGS SHALL BE INSTALLED PER PROJECT DRAWINGS AND SPECIFICATION THAT INCLUDE FERTILIZATION AND MULCHING AS REQUIRED.
  - 10) ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDED BLACK MULCH.
  - 11) WHERE REQUIRED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF TOP PARTS TOPSOIL, TWO PARTS SPREADABLE PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH FERTILIZED OR DECOMPOSED MANURE OR COMPOST. NOTWITHSTANDING TO A DEPTH OF 8 INCHES.
  - 12) LANDSCAPE OF NEW PLANTINGS AND LIVING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUIVA.) AROUND EXISTING LANDSCAPE TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SHOV STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE ONE LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
  - 13) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY FENCING CONTROL, WEATHERED DURING THE CONSTRUCTION PROCESS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUIVA.) AROUND EXISTING LANDSCAPE TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SHOV STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE ONE LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
  - 14) THE GENERAL CONTRACTOR AND OR THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL THREE GROUND LAYERED ONCE PLANT MATERIAL HAS BEEN ESTABLISHED (UNLESS OF ONE GROUND LAYERED). ALL TEMPORARY FENCING CONTROL, WEATHERED DURING THE CONSTRUCTION PROCESS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND NEWLY PLANTED TREES AND SHRUBS DURING THE CONSTRUCTION PROCESS. WHERE REQUIRED, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING (SNOW OR EQUIVA.) AROUND EXISTING LANDSCAPE TREES AND SHRUBS THAT COULD BE IMPACTED BY THE CONSTRUCTION PROCESS. STORAGE OF CONSTRUCTION EQUIPMENT, CONSTRUCTION MATERIALS, SHOV STORAGE AND OR VEHICLE PARKING SHALL NOT BE PERMITTED WITHIN THE ONE LINE OF TREES OR TWENTY FEET WHICH EVER IS GREATER.
  - 15) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO WORKINGS FOR ALL TREE AREAS OR UNTIL ACCEPTANCE BY THE OWNER. A MINIMUM WORKING 75% CATCH OF TREE IS REQUIRED FOR ACCEPTANCE BY THE OWNER.
  - 16) ALL PLANTINGS SHALL BE WATERED REGULARLY DURING THEIR FIRST YEAR AND MAINTAINED PERMANENTLY IN GOOD GROWING CONDITION AS ALL ENTERING VISUAL SCREEN.
  - 17) SHRUBS OR TREES WHICH DE SHALL BE REPLACED WITHIN ONE GROWING SEASON WITH NEW SHRUBS OR TREES TO MAINTAIN CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS.
  - 18) ALL REQUIRED LANDSCAPING SHALL BE INSTALLED BEFORE OCCUPANCY, OR WITHIN SIX MONTHS IF OCCUPANCY OCCURS DURING WINTER CONDITIONS.
  - 19) TREES ARE TO BE 2-2.5" CALIPERS.
  - 20) ALL PLANT STOCK SHALL CONFORM TO ANSI Z600.1 - NURSERY STOCK, LATEST EDITIONS (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
  - 21) 4" ACED PERENNIAL MULCH AND A WEED BARRIER (TY-PE FABRIC OR APPROVED EQUIVA.) SHALL BE APPLIED TO ALL SHRUB AND GROUND COVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
  - 22) PLANT-SET BACK FILL SHALL BE USED AT A RATE OF 1 PARTS OF TOPSOIL TO 2 PARTS OF DECOMPOSED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. THE EXISTING ON-SITE TOPSOIL AS PART OF BLACK FILL WHEN AVAILABLE.
  - 23) ALL UNOCCUPIED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOO AS INDICATED ON PLANS.
  - 24) THE REQUIRED STREET TREES MUST BE PLANTED BY OCTOBER 15 ON ANY LOT FOR WHICH A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED ON OR PRIOR TO AUGUST 31 OF THAT SAME YEAR. NO ADDITIONAL CERTIFICATES OF OCCUPANCY WILL BE ISSUED IF THIS REQUIREMENT IS NOT MET.
  - 25) STREET TREES TO BE CHOSEN FROM THE LIST OF APPROVED TREES WITHIN THE CITY OF ROCHESTER AND ARE TO HAVE A MINIMUM OF TWO SPECIES ALTERNATING DOWN THE STREET TO DISSEMINATE A WIDE-VARIETY.

L-101

BERRY SURVEYING & ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS MARKED  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

LANDSCAPING CONSTRUCTION DETAILS  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

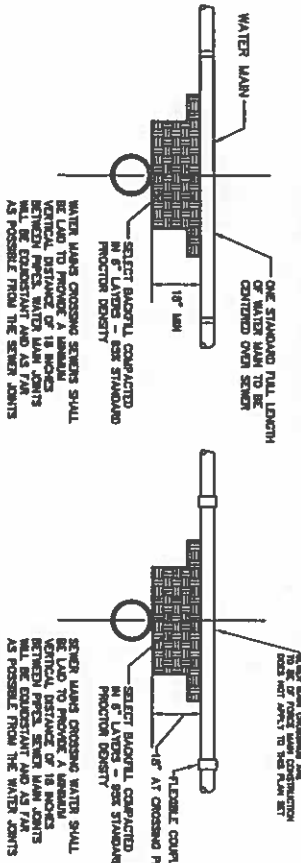
#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION



U6

SEPERATION NOTES:

1. WATER MAIN SHALL BE IN ACCORDANCE WITH THE RECOMMENDED STANDARDS FOR WATER WORKS" SO-CALLED TEN STATE STANDARDS AND NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL DESIGN STANDARDS.
2. WATER MAINS SHALL BE LAD AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IF THIS DISTANCE CANNOT BE OBTAINED, THEN THE PIPES SHALL BE INSTALLED IN A SEPERATE TRENCH AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.



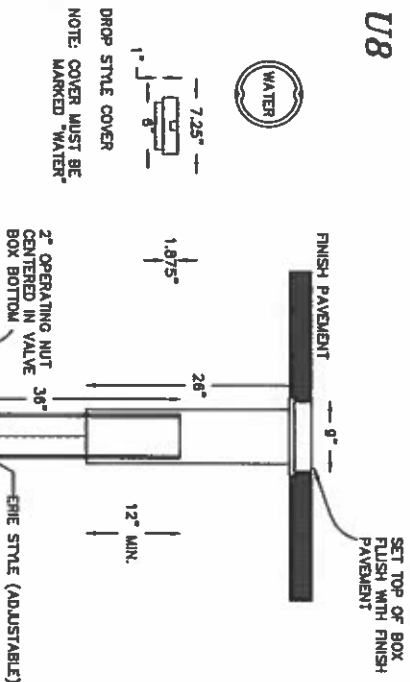
WATER MAIN ABOVE SEWER

WATER MAIN BELOW SEWER

TYPICAL WATER/SEWER SEPERATION DETAILS

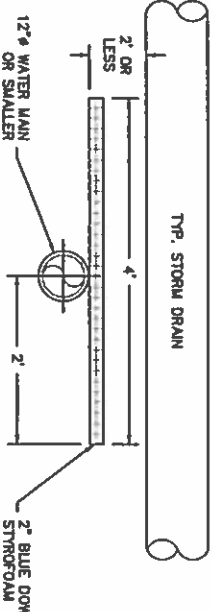
NOT TO SCALE

U8



- NOTES:
- 1.) ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO LOCAL WATER WORKS TECHNICAL SPECIFICATIONS.
  - 2.) ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 6' FROM TOP OF PIPE TO FINISH GRADE.

VALVE BOX DETAIL (N.T.S.)

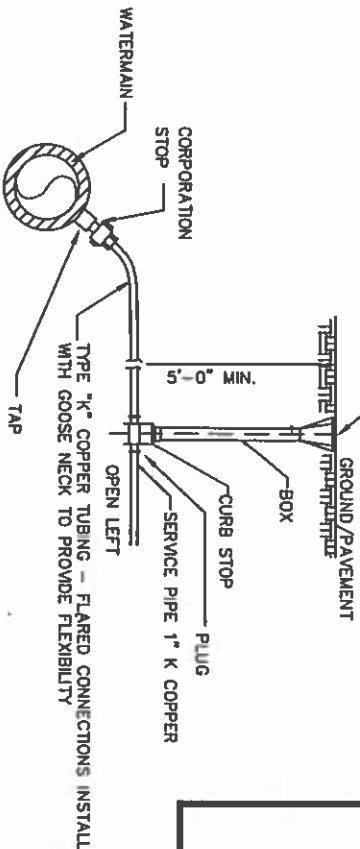


INSULATE WATER PIPE WHERE CROSSING UNDER CULTIVAT

U11

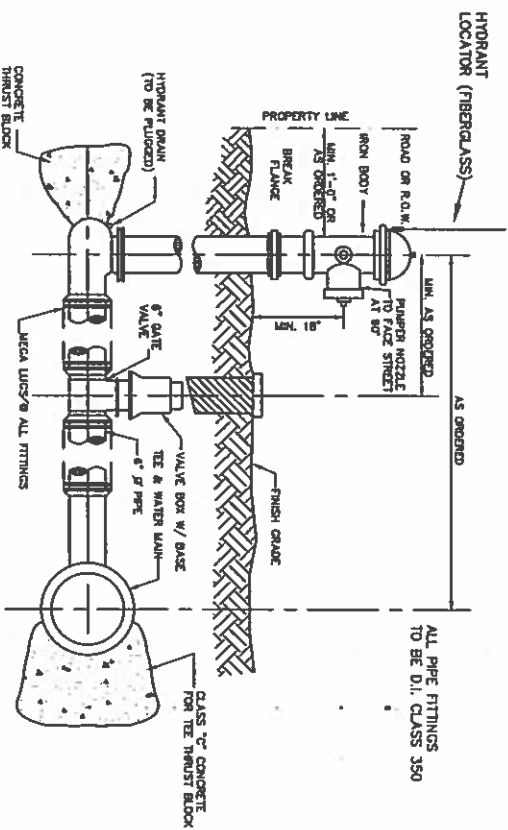
U7

SET TO FINISH  
THE END OF THE INSTALLED  
WATER SERVICE TO BE MARKED  
BY A 2X4.



TYPICAL WATER SERVICE CONNECTION

U9

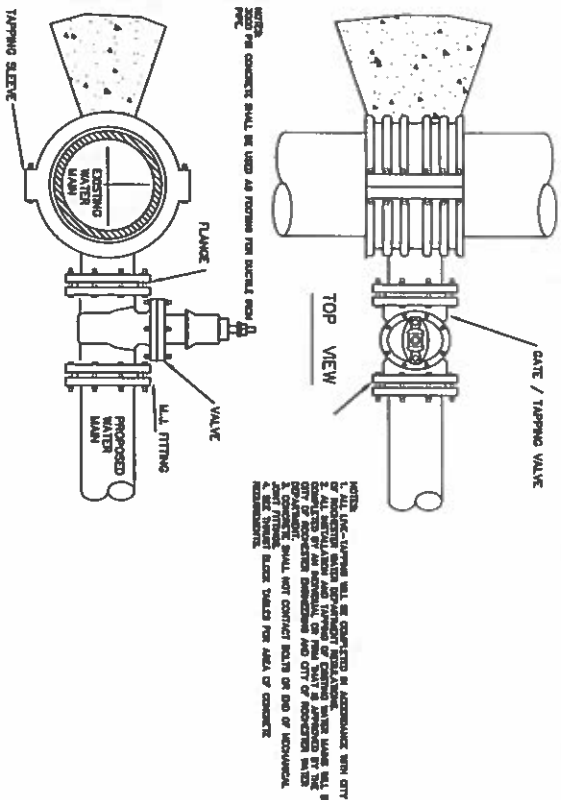


- NOTES :
- 1.) THE FIRE HYDRANT IS TO BE PAINTED CITY OF ROCHESTER STANDARD COLORS AND BE EQUIPPED WITH A HYDRANT LOCATOR.
  - 2.) THE FIRE HYDRANT SHALL BE THE "KENNEDY" TYPE OR APPROVED EQUAL.
  - 3.) K81A HYDRANTS AND GATE VALVES OPEN RIGHT

HYDRANT INSTALLATION DETAIL

- GENERAL NOTES:
1. ALL FITTINGS & EXPOSED REBAR TO BE WRAPPED W/ TWO LAYERS OF 8 MIL. POLYETHYLENE WHERE COVERED WITH CONCRETE.
  2. ALL CONCRETE SHALL BE CLASS C 3000 P.S.I. MINIMUM 28 DAYS COMPRESSIVE STRENGTH.
  3. PLACE CONCRETE AGAINST UNDISTURBED EARTH.
  4. TABLE DENOTES MINIMUM BEARING AREA OR VOLUME OF CONCRETE REQUIRED FOR EACH SIZE OF HYDRANT OR VALVE. IF THE SOIL BEARING CAPACITY IS LESS THAN 3000 P.S.I.
  5. VERTICAL SURFACES NOT BEARING AGAINST UNDISTURBED EARTH SHALL BE FORMED.
  6. KEEP CONCRETE AWAY FROM FLANGE BOLTS AND FITTINGS.

- GENERAL NOTES:
1. ALL FITTINGS & EXPOSED REBAR TO BE WRAPPED W/ TWO LAYERS OF 8 MIL. POLYETHYLENE WHERE COVERED WITH CONCRETE.
  2. ALL CONCRETE SHALL BE CLASS C 3000 P.S.I. MINIMUM 28 DAYS COMPRESSIVE STRENGTH.
  3. PLACE CONCRETE AGAINST UNDISTURBED EARTH.
  4. TABLE DENOTES MINIMUM BEARING AREA OR VOLUME OF CONCRETE REQUIRED FOR EACH SIZE OF HYDRANT OR VALVE. IF THE SOIL BEARING CAPACITY IS LESS THAN 3000 P.S.I.
  5. VERTICAL SURFACES NOT BEARING AGAINST UNDISTURBED EARTH SHALL BE FORMED.
  6. KEEP CONCRETE AWAY FROM FLANGE BOLTS AND FITTINGS.

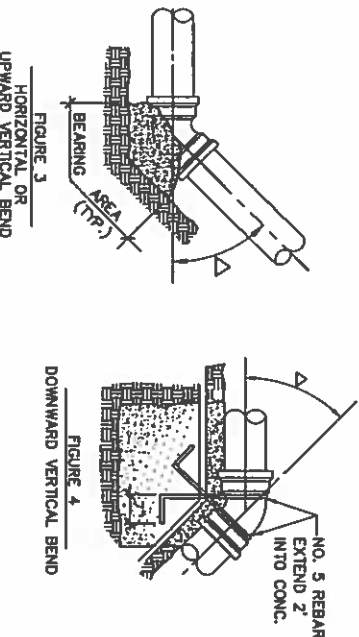
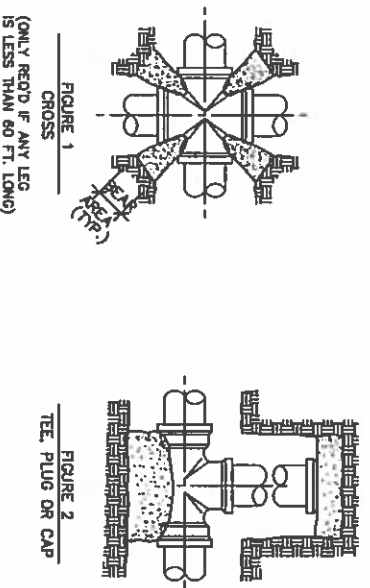


DETAIL FOR STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY

NOT TO SCALE

U10

TYPICAL THRUST BLOCKS



PIPE I.D. FIGURE	BEARING AREA SQUARE FEET	VOLUME OF CONC. CU.YD.
4"	1.1	1.1
6"	2.2	2.2
8"	3.3	3.3
10"	4.4	4.4
12"	5.5	5.5
14"	6.6	6.6
16"	7.7	7.7
18"	8.8	8.8
20"	9.9	9.9
22"	11.0	11.0
24"	12.1	12.1
26"	13.2	13.2
28"	14.3	14.3
30"	15.4	15.4
32"	16.5	16.5
34"	17.6	17.6
36"	18.7	18.7
38"	19.8	19.8
40"	20.9	20.9
42"	22.0	22.0
44"	23.1	23.1
46"	24.2	24.2
48"	25.3	25.3
50"	26.4	26.4
52"	27.5	27.5
54"	28.6	28.6
56"	29.7	29.7
58"	30.8	30.8
60"	31.9	31.9
62"	33.0	33.0
64"	34.1	34.1
66"	35.2	35.2
68"	36.3	36.3
70"	37.4	37.4
72"	38.5	38.5
74"	39.6	39.6
76"	40.7	40.7
78"	41.8	41.8
80"	42.9	42.9
82"	44.0	44.0
84"	45.1	45.1
86"	46.2	46.2
88"	47.3	47.3
90"	48.4	48.4
92"	49.5	49.5
94"	50.6	50.6
96"	51.7	51.7
98"	52.8	52.8
100"	53.9	53.9

NOTE:

MECHANICAL JOINTS AT ALL FITTINGS, IE: BENDS, TEES, CROSSES, AND VALVES SHALL BE THRUST RESTRAINT. (MEDA-LUG OR APPROVED EQUAL).

U-102

**BERRY SURVEYING & ENGINEERING**  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863  
SCALE : AS MARKED  
DATE : JANUARY 1, 2016  
FILE NO. : DB 2015 - 040

UTILITY DETAILS  
FOR  
TOM AUBERT  
788 AND 794 PORTLAND STREET  
ROCHESTER, NH  
TAX MAP 107, LOT 54 AND TAX MAP 108, LOT 53-1

#1	1-20-16	REVISED PER TRG COMMENTS
REVISION	DATE	DESCRIPTION

