



RECEIVED

JUN 14 2016

Planning Dept.

**MINOR SUBDIVISION APPLICATION** (a total of three or fewer lots)  
**City of Rochester, New Hampshire**

[office use only. Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date paid \_\_\_\_\_]

Date: June 13, 2016 Is a conditional needed? Yes: \_\_\_\_\_ No: X Unclear: \_\_\_\_\_  
(If so, we encourage you to submit an application as soon as possible.)

**Property information**

Tax map #: 232; Lot #'s): 13; Zoning district: Mixed Residential

Property address/location: 114 Meaderboro Road, Rochester, NH

Name of project (if applicable): \_\_\_\_\_

Size of site: 66 acres; overlay zoning district(s)? \_\_\_\_\_

**Property owner**

Name (include name of individual): Daniel L. Scruton

Mailing address: PO Box 705, Rochester, NH 03866-0705

Telephone #: (603) 923-8285 Email: dscrut@gmail.com

**Applicant/developer** (if different from property owner)

Name (include name of individual): \_\_\_\_\_

Mailing address: \_\_\_\_\_

Telephone #: \_\_\_\_\_ Email: \_\_\_\_\_

**Engineer/surveyor**

Name (include name of individual): Steven M. Oles, L.L.S. Norway Plains Associates, Inc.

Mailing address: PO Box 249, Rochester, NH 03866-0249

Telephone #: (603) 335-3948 Fax #: (603) 332-0098

Email address: soles@norwayplains.com Professional license #: NH #993

**Proposed project**

Number of proposed lots: 1 new; Are there any pertinent covenants? No

Number of cubic yards of earth being removed from the site? N/A

City water? yes \_\_\_\_\_ no X; How far is City water from the site? \_\_\_\_\_

City sewer? yes \_\_\_\_\_ no X; How far is City sewer from the site? \_\_\_\_\_

Continued Minor Subdivision Plan application Tax Map: 232 Lot: 13 Zone Mixed Res )

Wetlands: Is any fill proposed? No ; area to be filled: \_\_\_\_\_ ; buffer impact? \_\_\_\_\_

### Comments

Please feel free to add any comments, additional information, or requests for waivers here:

### Submission of application

This application must be signed by the property owner, applicant/developer (if different from property owner), and/or the agent.

*I (we) hereby submit this Subdivision application to the City of Rochester Planning Board pursuant to the City of Rochester Subdivision Regulations and attest that to the best of my knowledge all of the information on this application form and in the accompanying application materials and documentation is true and accurate. As applicant/developer (if different from property owner)/as agent, I attest that I am duly authorized to act in this capacity.*

Signature of property owner: \_\_\_\_\_

Daniel L. Scruton

Date: 6-13-16

Signature of applicant/developer: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of agent: \_\_\_\_\_

Steven M. Oles, LLS

Date: 6-13-16

### Authorization to enter subject property

*I hereby authorize members of the Rochester Planning Board, Zoning Board of Adjustment, Conservation Commission, Planning Department, and other pertinent City departments, boards and agencies to enter my property for the purpose of evaluating this application including performing any appropriate inspections during the application phase, review phase, post-approval phase, construction phase, and occupancy phase. This authorization applies specifically to those particular individuals legitimately involved in evaluating, reviewing, or inspecting this specific application/project. It is understood that these individuals must use all reasonable care, courtesy, and diligence when entering the property.*

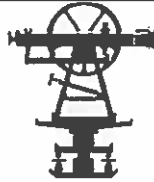
Signature of property owner: \_\_\_\_\_

Date: 6-13-16

# NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS • SEPTIC SYSTEM DESIGNERS • ENGINEERS

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June 13, 2016

Seth Creighton, Chief Planner  
Rochester Planning Board  
31 Wakefield Street  
Rochester, NH 03867

Re: Minor Subdivision of Tax Map 232, Lot 13 – Daniel L. Scruton  
114 Meaderboro Road, Rochester, Strafford County, New Hampshire

Dear Mr. Creighton & Board Members,

On behalf of Daniel L. Scruton, Norway Plains Associates Inc. is pleased to submit a Minor Subdivision Application with supporting plans and documents for a one-lot subdivision. The existing single family dwelling, located at 114 Meaderboro Road, will stay with the proposed 5-acre lot. At this time, a single family dwelling is being proposed on the front portion of the remaining 61.87 acres, topography, soils and wetlands have been shown for this portion of the lot. A waiver of Section 4.3 of the Subdivision Regulations is being requested requiring that topography, soils and wetlands be depicted on the plan of the remaining undeveloped portions of the lot.

We look forward to discussing the proposal with the Town Planner and the Planning Board. Thank you for your consideration in this matter.

Respectfully submitted,

NORWAY PLAINS ASSOCIATES, INC.

Steven M. Oles, L.L.S.  
Authorized Agent for Owner/Applicant

**APPOINTMENT OF AGENT**

I, **Daniel L. Scruton**, authorize Norway Plains Associates, Inc. to represent me before such Boards and Agencies in the City of Rochester, NH and State of NH as may be necessary to complete applications on my behalf. Norway Plains Associates, Inc. is further authorized to sign applications as may be required to complete said applications on my behalf.

Signature: \_\_\_\_\_



Date: \_\_\_\_\_

6-13-16



**Application for Waiver from Regulation**  
**City of Rochester, New Hampshire**

Project name Daniel L. Scruton

Case # NPA #184-16001

Minor  
Subdivision: X Lot line revision:        Site Plan:        Minor Site Plan:       

Section and subsection of the Subdivision Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Section 4.3 - Topography & Soil Plan requiring that topos, soils/wetlands be depicted on the plan

&/or that a High Intensity Soil Survey be provided.

OR - Article, section, and subsection of the Site Plan Regulations from which the waiver is requested (including identifying number, title, and description of provision):

Reason/justification(s) for waiver request Topos, soils and wetlands are shown on the plan  
for the front portion of the new lot. A waiver is being requested for the backland only, which exceeds  
55 acres, as no further development is being proposed at this time.

Name of applicant or agent filling out this form Steven M. Oles, LLS, Norway Plains Assoc. Inc.

Applicant?        Agent? X Today's date 6/13/2016

----- Office use below -----

Waiver approved:        Waiver denied:       

Comments:       

Signature:        Date:



