

RECENTED JUN 1 4 2016 Planting Lept.

MINOR SUBDIVISION APPLICATION (a total of three or fewer lots) City of Rochester, New Hampshire

	[office use only. Check #	Amount \$	<u></u>	Date paid]
Date:June 13, 2016				
Property information	(If so, we encourage yo	u to submit an ap	plication as	soon as possible.)
Tax map #: _232; Lot	#/'s\· 13 · :	Zonina district:	Mixed Resi	idential
Property address/location:				
-				
Name of project (if applicable				
Size of site: 66 acres;	overlay zoning distric	t(s)?		
Property owner				
Name (include name of indiv	idual): Daniel L. Scrute	on		
Mailing address: PO Box 70	5, Rochester, NH 03866	-0705		
Telephone #: _(603) 923-8285	3	Email: dscrut@	gmail.com	
Applicant/developer (if o	different from property o	wner)		
Name (include name of indiv	idual):			
Mailing address:				
Telephone #:		Email:		
Engineer/surveyor				
Name (include name of indiv	idual): Steven M. Oles,	L.L.S. Norway Pl	ains Associa	ates, Inc.
Mailing address: PO Box 249	, Rochester, NH 03866-0	249		
Telephone #: <u>(603) 335-3948</u>		Fax #: _(603) 3	32-0098	
Email address: _soles@norwa				
Proposed project				
Number of proposed lots:	l new; Are	there any pertin	ent covena	ants? No
Number of cubic yards of ear	th being removed fron	n the site? N/A		
City water? yes no X	; How far is City wa	ter from the site	?	
City sewer? yes no _X	; How far is City sev	ver from the site	?	

Continued Minor Subdivision Plan application Tax Map: 232	Lot: 13 Zone Mixed Res
Wetlands: Is any fill proposed? No; area to be filled	
Comments Please feel free to add any comments, additional infor	
Submission of application This application must be signed by the property owner property owner), and/or the agent.	r, applicant/developer (if different from
I (we) hereby submit this Subdivision application to the pursuant to the <u>City of Rochester Subdivision Regulation</u> knowledge all of the information on this application for materials and documentation is true and accurate. As property owner)/as agent, I attest that I am duly authority Signature of property owner:	ions and attest that to the best of my m and in the accompanying application applicant/developer (if different from
Daniel L. Scruton	Date: _ le -13 - 16
Signature of applicant/developer:	<i>a</i> .
Signature of agent: Steven M. Oles, LLS	Date:
Authorization to outer out is a manual.	Julio
Authorization to enter subject property I hereby authorize members of the Rochester Planning Conservation Commission, Planning Department, and boards and agencies to enter my property for the purpo- including performing any appropriate inspections during post-approval phase, construction phase, and occupant specifically to those particular individuals legitimately in inspecting this specific application/project. It is understore reasonable care, courtesy, and diligence when entering Signature of property owner:	other pertinent City departments, ose of evaluating this application g the application phase, review phase, ncy phase. This authorization applies avolved in evaluating, reviewing, or good that these individuals must use all
	Date: 6-13-16
Page 2 (of 2 pages)	

 ${\bf Macintosh\ HD: Users: jaredrose: Desktop: Subdivision,\ Minor\ Application\ 4/11/2013}$

NORWAY PLAINS ASSOCIATES, INC.

SURVEYORS • SEPTIC SYSTEM DESIGNERS • ENGINEERS

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www.norwayplains.com

June 13, 2016

Seth Creighton, Chief Planner Rochester Planning Board 31 Wakefield Street Rochester, NH 03867

Re: Minor Subdivision of Tax Map 232, Lot 13 - Daniel L. Scruton

114 Meaderboro Road, Rochester, Strafford County, New Hampshire

Dear Mr. Creighton & Board Members,

On behalf of Daniel L. Scruton, Norway Plains Associates Inc. is pleased to submit a Minor Subdivision Application with supporting plans and documents for a one-lot subdivision. The existing single family dwelling, located at 114 Meaderboro Road, will stay with the proposed 5-acre lot. At this time, a single family dwelling is being proposed on the front portion of the remaining 61.87 acres, topography, soils and wetlands have been shown for this portion of the lot. A waiver of Section 4.3 of the Subdivision Regulations is being requested requiring that topography, soils and wetlands be depicted on the plan of the remaining undeveloped portions of the lot.

We look forward to discussing the proposal with the Town Planner and the Planning Board. Thank you for your consideration in this matter.

Respectfully submitted,

NORWAY PLAINS ASSOCIATES, INC.

Steven M. Oles, L.L.S.

Authorized Agent for Owner/Applicant

APPOINTMENT OF AGENT

I, Daniel L. Scruton, authorize Norway Plains Associates, Inc. to represent me before
such Boards and Agencies in the City of Rochester, NH and State of NH as may be
necessary to complete applications on my behalf. Norway Plains Associates, Inc. is
further authorized to sign applications as may be required to complete said applications
on my behalf.

Signature:

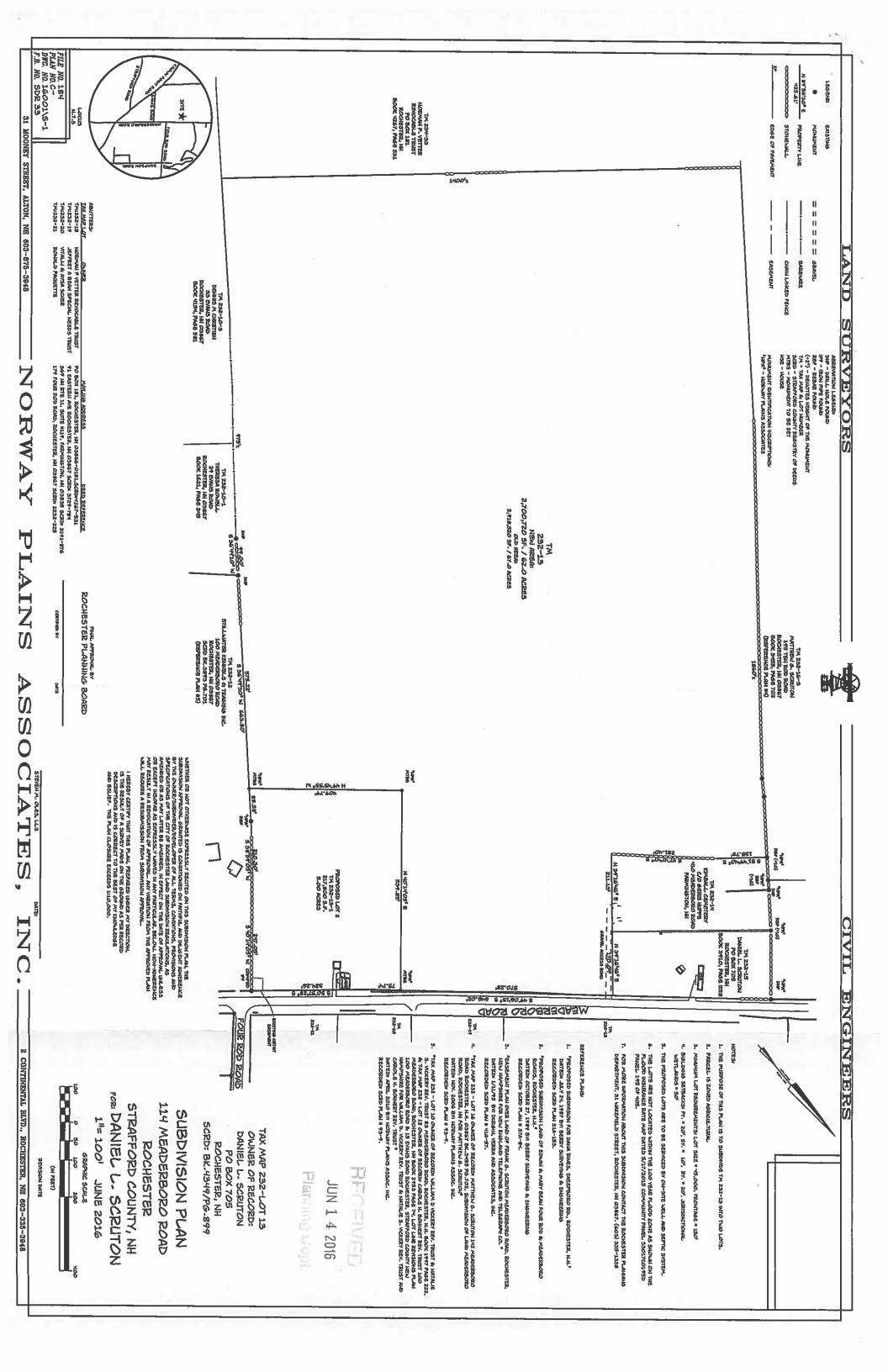
Date: 6-13-16



Application for Waiver from Regulation

City of Rochester, New Hampshire

Project name Daniel L. Scruton
Case # NPA #184-16001
Minor Subdivision: X Lot line revision: Site Plan: Minor Site Plan:
Section and subsection of the <u>Subdivision Regulations</u> from which the waiver is requested (including identifying number, title, and description of provision):
Section 4.3 - Topography & Soil Plan requiring that topos, soils/wetlands be depicted on the plan
&/or that a High Intensity Soil Survey be provided.
OR - Article, section, and subsection of the <u>Site Plan Regulations</u> from which the waiver is requested (including identifying number, title, and description of provision):
Reason/justification(s) for waiver request
for the front portion of the new lot. A waiver is being requested for the backland only, which exceeds
55 acres, as no further development is being proposed at this time.
Name of applicant or agent filling out this form Steven M. Oles, LLS, Norway Plains Assoc. In
Applicant? Agent? _X Today's date _6/13/2016
Office use below
Waiver approved: Waiver denied:
Comments:
Signature: Date:



FILE NO. 184 PLAN NO. C-DNG. NO. 16001\S-1 F.B. NO. SDR 3-3 EDGE OF WETLAND CASEMENT SETBACK LINE CHAIN LINKED FENCE **GRAVEL** DINT ALXBADEL TEST PIT Barbwrze EDGE OF PAVEMENT STONEWALL CHALLAN EXISTING MEMBINGH TM 232-15 New Area: 2,700,720 Sf. / 62-0 Acres Old Area: 2,716,520 Sf. / 67-0 Acres AND SURVEYORS MAILING ADDRESS

PO BOX 121, ROCHESTER, NH 03864-0181,5CDN 3729-784
91 EASTERN ARE EXCHESTER, NH 03867-5CDN 3729-784
369 NH ETS 11, SHITE 8119, FARWASTON, AH 03825-5CDN 3191-976
119 FOUR ROD ROAD, ROCHESTER, NH 03867-5CDN 2232-225 PSS/FOIS — PALHSTEINE BECARD-LEAVED DECIDIOUS SCRUB-SHRUB/FORESTED, SEASONALLY FLOODED/SATURATED PFO16 - PALUSTRINE BROAD-LEAVED DECIDIOUS FORESTED, SEASOWILLY PLOCHED/SATIRATED Pemie – Palietrne Persistent Emergent, Seasonally Floodedysaturated METLAND LEGEND ROCHESTER PLANNING BOARD E N <u>০ব০৪বর্র</u>ব৮র W OND GOD SIDO. STEVEN M. OLES, LLS i Hereby Certay that this plan, prepared whoer my doecton, is the result, of a survey made on the ground as fire record descript of any encounters from the set of my encounteds and becare that becare to the best of my encounteds and belief. The plan closure exceeds ind.000. TEST PIT M

O"-16" TOPSOL, FINE SANDY LOAM,

GRANULAR FRUBLE, 10'R 2/2 O'-5° FNE SANDY LOAM,
GEANGLAR FRINGLE, 1072 2/1 ESHUT : 27°
ROOTS : 27°
NO REFUSAL @ 50°
NO OBSERVED WATER
PERC RATE LOMBUNCH ESHUT : 18°
NO ROOTS
NO REFUSAL & 48°
NO OBSERVED WATER eshut : 28" No roots No refusal & 54" No observed water 27⁴-50⁴ Suty Loam, Grandlar, Fram with Redox 2.57 5/3 15"-15" FINE SETY SAND, GRANIEAR,
ROCKY, FRAN WITH REDOX 2.5Y 5/6 23°-54° LOAMY SAID, GRANULAR, FRA ESHVT : 24°
NO 2007S
NO REPUSAL ® 48°
NO 005ERYCD WATER
PERC RATE \$MIN/NICH 124-34 Frie Loamy Sand, Grandlar, Friable, 1072 4/6 245—486 COMMY SAND, GEANULAE, FRA WITH REDOX 107R-4/6 Fine Sandy Loam, Granular, Frable, 1072 4/6 PRIE SANDY LOAM, GRANILAR, PRIEBLE, 10YR 4/6 Fire Loamy Sard, Granular, France, 10yr 4/6 Topsoil, find sway loam, Beanniae Femble, loye 2/2 ENGINEERS State and federal Jersdictonal Wetlands Nere Delarated by N.H. Certaed Wetland Scentist, Bazzy H. Kethi, on Docember 28, 2015. Wetlands Amprica Mus Dome by N.H. Lichber Land Surrayozs, Norman Planes Associates, NRL Using Total Station Surray methods and in accordance with the following gudance documents: WETLAND HOTES LLS. DEPARTMENT OF ADECULTURE, NATIONAL RESOURCE CONSERVATION SERVES. 2010. FRELD ADMINITORS OF NYDRIC SOLUS, IN THE UNITED STATES, VERSION 7-0.4 L.M. WISHLAS, 6-M. HIRT, AND C.M. NORLE (EDS.). USDA, RIZES, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR NYDRIC SOLUS. neu erranda proec sols tejinaal committel zoom, sed ed, feld indicades for dentifina proec sols in neu england, neu england interstate mater follition commicl commission, longill, me. N.H. CODE OF ADMINISTRATIVE RULES (EWI-WT 301.02) WITH THE U.S. FISH AND MUDLIFE SERVICE MANUAL PUS/CES-79/31 ENTITLED "CLASSIFICATION OF WETLANDS AND DEEPWITER HIBITATS OF THE WHITED STATES, COMMEDIN ET AL, 1979." U.S. ARMY CORPS OF EMBNIEESS. ZOIZ. "NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST REGION, U.S. ARMY CORPS OF EMGNIEERS RESEARCH AND DEPELOPMENT CENTER, ENTRONMENTAL LABORATORY. U.S. Army Corps of Embinees. Zoop. "Regional Supplement to the Corps of Embinees Netland Delmation Mannal Mortheritza. And Northeast Region. U.S. Army Corps of Embinees Research and Development Center, Enadonmental Laboratory Erdc/El. 12-09-19." n.H. Code of Administrative Relies (ent-ut 301.01) with the techniques outlined in the 1987 "H.S. Army corps of engineers wetland delineation mannal, technical report Y-87-1." The LOTS are NOT LOCATED WITHIN THE LOO YEAR FLOOD ZONE AS SHOWN ON THE FLOOD INSERNACE BATE MAP DATED S/12/2015 COMMUNITY PANEL, SEOTIZO195D PANEL 195 OF MOS. 4. BUILDING SETBACKS, FY. = 20', SY. = 10', RY. = 20', JURISHITONN, WETLANDS = 50' 5. The Proposed Lots are to be seenced by On-Site well and septic system. 3. MINIMUM LOT REGUREMENTS: LOT SIZE = 45,000, FRONTAGE = 150 2. PARCEL IS ZONED AGRICULTURAL 1. THE PLEPOSE OF THIS PLAN IS TO SUBDIMIDE TM 252-15 NTO TWO LOTS. FOR MORE INFORMATION ABOUT THIS SUBDIMISION CONTACT THE ROCHESTER PLANNING DEPARTMENT, ST LINCEFIELD STREET, ROCHESTER, NH 03867. (603) 335-1338 FOR DANIEL L. SCRUTON STRAFFORD COUNTY, NH 114 MEADERBORO ROAD SUBDIVISION PLAN 111= 1001 JUNE 2016 ROCHESTER, NH SCRD: BK.4349/PG.899 TAX MAP 232-LOT 13 OWNER OF RECORD: DANIEL L. SCRUTON ROCHESTER PO BOX 705 GRAPHIC SCALE REVISION DATE (W FEET)

31 MOONEY STREET, ALTON, NH 603-875-3948

NORWAY

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2 CONTINENTAL RIVIN ROCHECTER NH ROS-SSK-SOAR