

TABLE OF CONTENTS:

SHEET 1	NEIGHBORHOOD PLAN
SHEET 2	EXISTING CONDITIONS PLAN
SHEET 3	SITE SPECIFIC SOILS MAP
SHEET 4	SUBDIVISION PLAN
SHEET 5	TOPOGRAPHY PLAN
SHEET 6	EASEMENT PLAN
SHEET 7	PROPOSED DRIVEWAY ON QUAL DRIVE
SHEET 8	PROPOSED SOUTH DRIVEWAY ON ROCHESTER HILL ROAD
SHEET 9	PROPOSED NORTH DRIVEWAY ON ROCHESTER HILL ROAD
SHEET 10-13	NHDOT SIGHT DISTANCE PLANS
SHEET 14	SEDIMENT & EROSION CONTROL DETAILS
SHEET 15	SEDIMENT & EROSION CONTROL DETAILS
SHEET 16	LOT GRADING PLAN 13-1
SHEET 17	LOT GRADING PLAN 13-2
SHEET 18	LOT GRADING PLAN 13-3
SHEET 19	LOT GRADING PLAN 13-4

OWNER: ROBERT DIBERTO
319 ROCHESTER HILL RD
ROCHESTER, NH 03867

DEVELOPER: ROBERT DIBERTO
319 ROCHESTER HILL RD
ROCHESTER, NH 03867

SURVEYOR OF RECORD: KENNETH A. BERRY, P.E., LLS
CPESC, CESSW
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

ENGINEER OF RECORD: KENNETH A. BERRY, P.E., LLS
CPESC, CESSW
BERRY SURVEYING & ENGINEERING
335 CROWN POINT ROAD
BARRINGTON, NH 03825
(603) 332-2863

WETLAND SCIENTIST: CYNTHIA M. BALCUS CSS, CWS, CPESC
STONEY RIDGE ENVIRONMENTAL, LLC
229 PROSPECT MOUNTAIN ROAD
ALTON, NH 03809
(603) 778-5825

SUBDIVISION
FOR
ROBERT DIBERTO
319 ROCHESTER HILL RD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

RECEIVED
JUN 29 2016
Planning Dept.

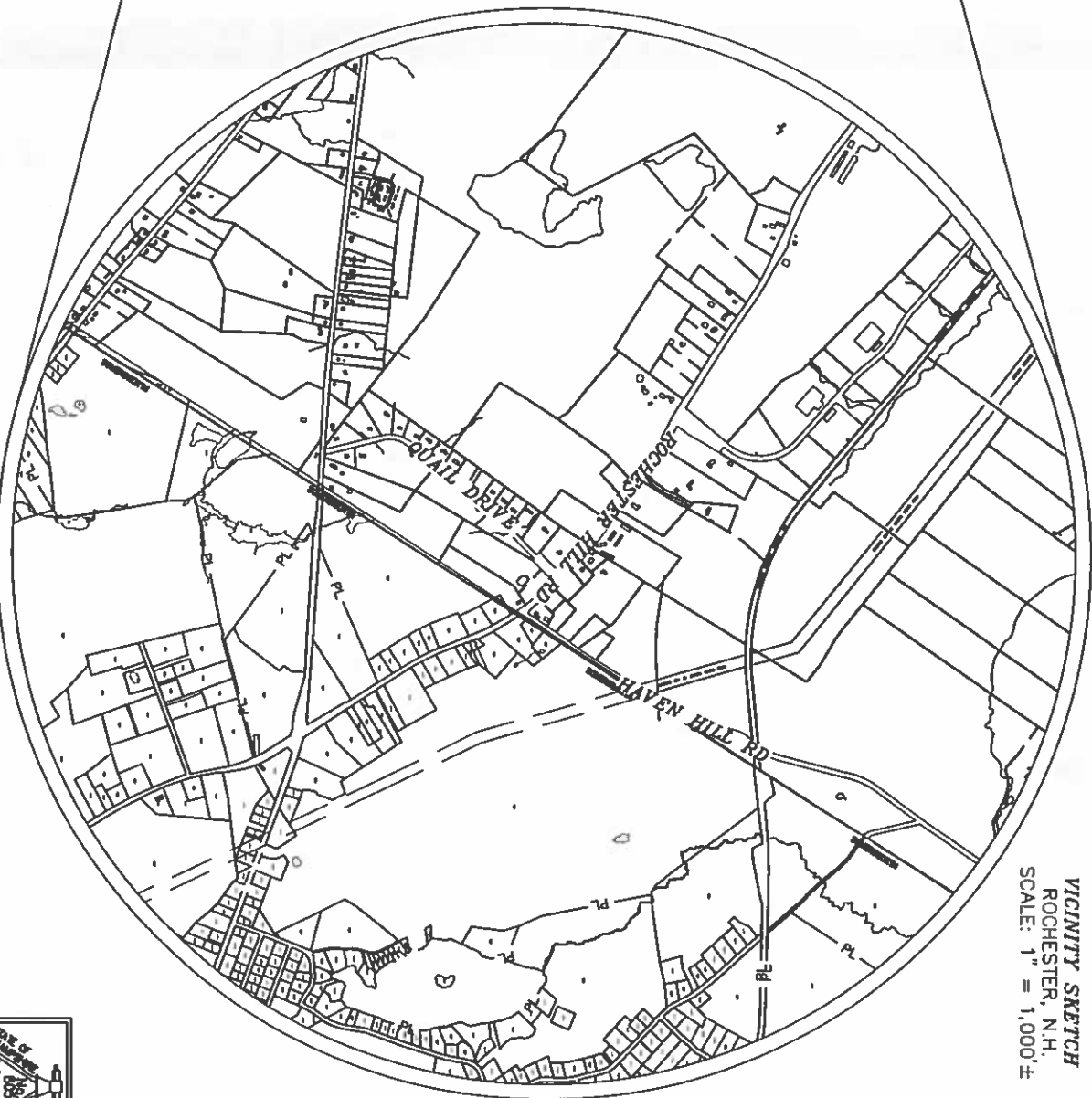
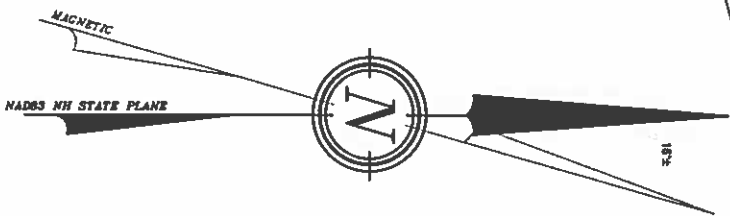
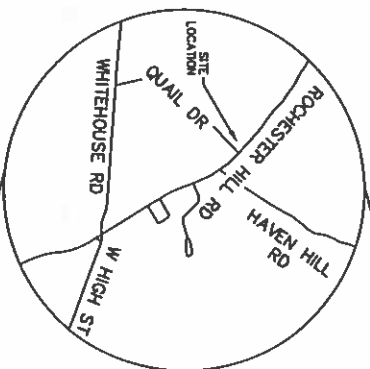
FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
CERTIFIED BY: _____
DATE: _____

I CERTIFY THAT THIS PLAN EXCEEDS THE
MINIMUM REQUIREMENT FOR ACCURACY AND
COMPLETENESS OF THE STATE OF N.H. AND
OF THE CITY OF ROCHESTER, N.H. - 1:10,000 -
KENNETH A. BERRY LLS 805 DATE 6-28-16

NOTED: DO NOT CONSIDER PROGRESS NOTED ON THE SUBMISSION PLAN.
THE SUBMISSION APPROVAL, GRANTED IS CONDITIONED ON FAITHFUL AND
DILIGENT ADHERENCE BY THE OWNER/SUBMITTER/DEVELOPER OF ALL TERMS,
CONDITIONS, PROVISIONS AND SPECIFICATIONS OF THE CITY OF ROCHESTER LAND
SUBDIVISION REGULATIONS AS AMENDED OR AS MAY LATER BE AMENDED. IN
EVENT OF VIOLATION OF ANY OF THE ABOVE, THE CITY OF ROCHESTER MAY
EXPRESSLY WAIVED, IN ANY PATROLMAN, BELOW, NOW - ABSENCE MAY
RESULT IN A REVOCATION OF APPROVAL. ANY VIOLATION FROM THE APPROVED
PLAN WILL REQUIRE A RESUBMISSION FOR SUBMISSION APPROVAL.

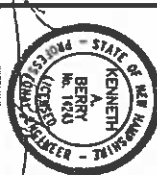
VICINITY SKETCH
ROCHESTER, N.H.
SCALE: 1" = 1,000' ±

LOCATION PLAN
ROCHESTER, NH
NOT TO SCALE



REQUIRED PERMITS:
~ NHDOT DRIVEWAY PERMIT #28-388-615
~ NHDES SUBDIVISION ~ PENDING
~ NH8 ~ NH815-1023

GENERAL PLAN SET NOTES:
1.) 11x17" PLANS ARE HALF THE PUBLISHED SCALE.
2.) ALL PLANS ARE CONSIDERED TO BE NOT FOR CONSTRUCTION UNLESS THEY
CONTAIN THE APPROVAL STAMP OF THE CITY OF ROCHESTER.



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : AS-NOTED
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-017

SUBDIVISION PLAN
FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

#2 #1	6-27-16 1-25-16	UPDATED FINAL PLANS PER PLANNING BOARD REVISED PER PB & NHDOT
REVISION	DATE	DESCRIPTION

[illegible][illegible]

RD#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
RD#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
RD#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
RD#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
RD#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
RD#	1	2	3	4	5	6																																																																																														


DETAIL SHEET / DETAIL
 PROPOSED & EXISTING TREELINE
 RIP-RAP APRON

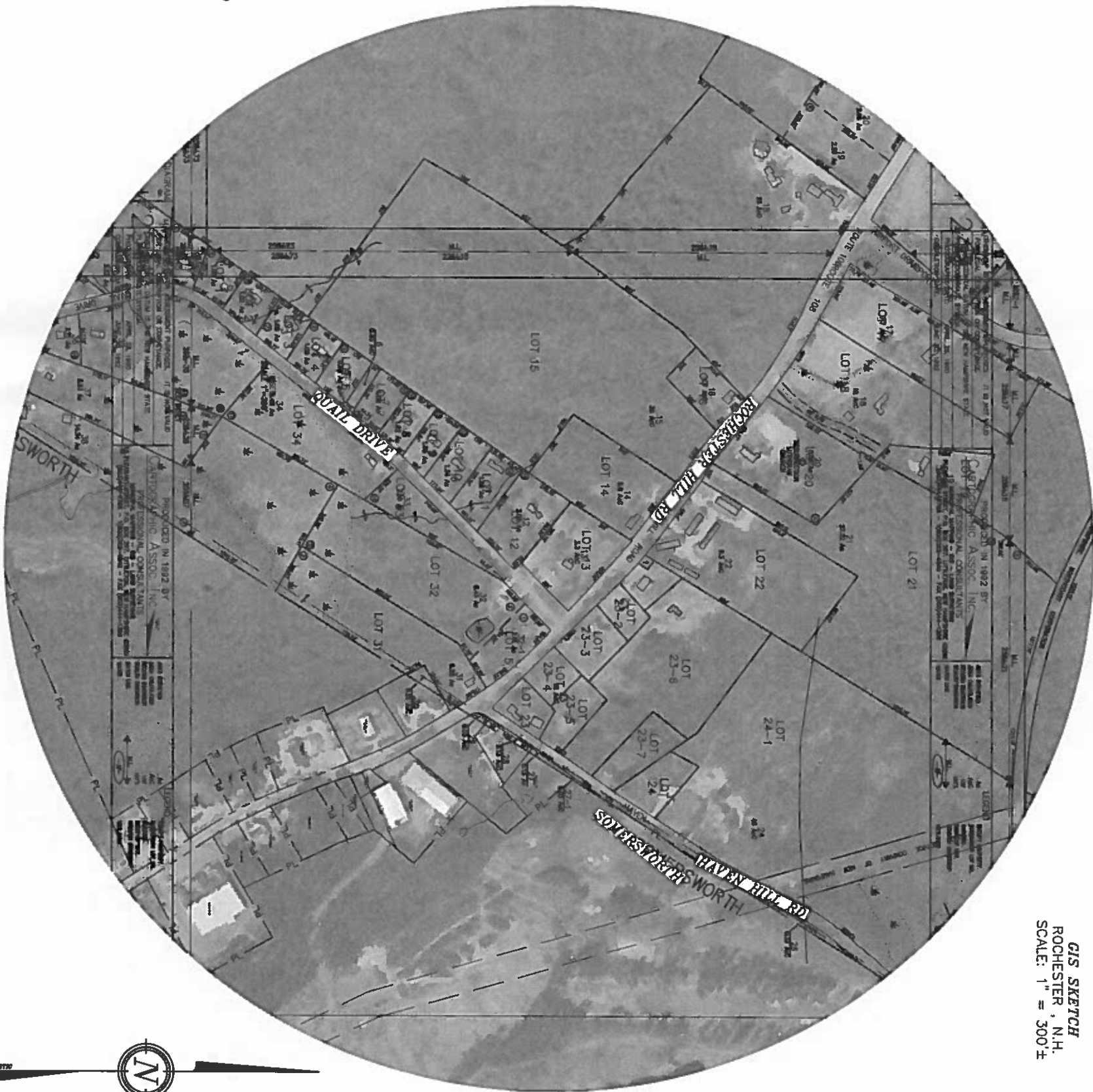

PROPOSED CENTER LINE

PROPOSED UNDERGROUND UTILITY

PROPOSED UNDER DRAIN (U.D.)

PROPOSED TRANSFORMER / JUNCTION BOX
EXISTING SECTOR CABINET AND
ELECTRIC MANHOLE

S&C	SLOPED GRANITE CURB
V&C	VERTICAL GRANITE CURB
E.O.P.	EDGE OF PAVEMENT
B&C	BITUMINOUS CONCRETE CURB
BTU	BITUMINOUS
E.O.P.	EDGE OF PAVEMENT
TRP	TYPICAL
T. BLOCK	THURST BLOCK
CONC.	CONCRETE
U&E	UNDER GROUND ELECTRIC / UTILITY
U.D.	UNDER DRAIN
F.F.E.	FLARED END SECTION
H&P	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
F.D.	FRESHED GRADE
E.D.	EXISTING GRADE
T.W.	TRAVELED WAY
SS	SS-1 SINGLE SOLID LINE (COLOR W-WHITE, Y-YELLOW)
SS	SS-2 DOUBLE SOLID LINE (COLOR W-WHITE, Y-YELLOW)
SS	SS-3 SINGLE SOLID W/ BROKEN LINE (COLOR W-WHITE, Y-YELLOW)
SS	SS-4 DOUBLE BROKEN LINE (COLOR W-WHITE, Y-YELLOW)
SS	SS-5 SINGLE BROKEN LINE (COLOR W-WHITE, Y-YELLOW)
SS	SS-6 DOUBLE BROKEN LINE (COLOR W-WHITE, Y-YELLOW)



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, NH 03825 {332-2863}
SCALE : AS-NOTED
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-017

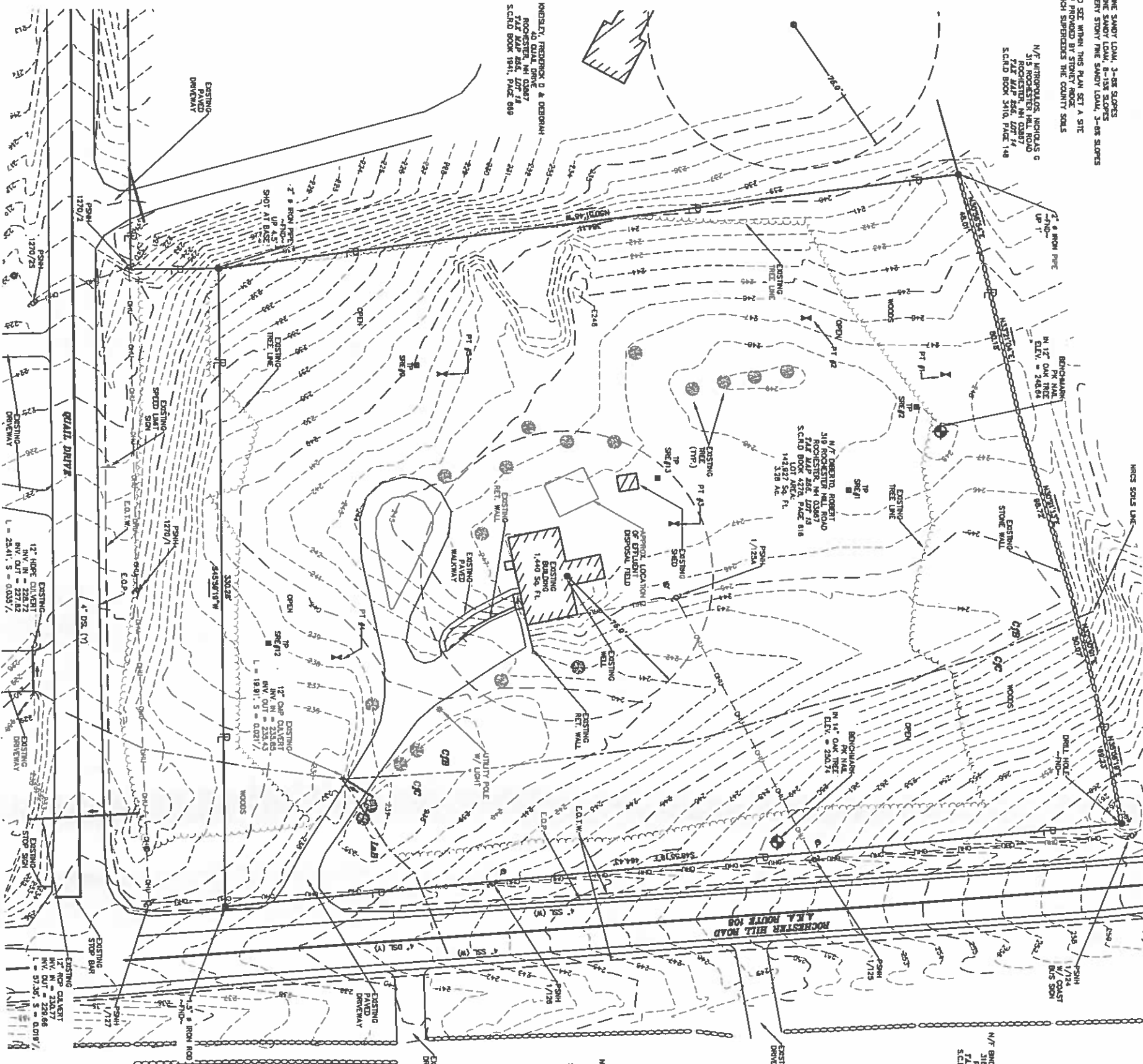
NEIGHBORHOOD PLAN
FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

#1	1-25-16	REVISED PER PB & NHDOT
REVISION	DATE	DESCRIPTION

SOILS:
C1B - CHALKY FINE SANDY LOAM, 3-8% SLOPES
C1C - CHALKY FINE SANDY LOAM, 8-15% SLOPES
L1B - LOOCHTON VERY STONY FINE SANDY LOAM, 3-8% SLOPES
SEE WEBSITE, ALSO SEE WITHIN THIS PLAN SET A SITE
SPECIFIC SOILS MAP PROVIDED BY STONEY ROCK
ENVIRONMENTAL, WHICH SUPERSEDES THE COUNTY SOILS
MAPPING.

N/F INTERPOLAR, INCORPORATED
315 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 14
SC&D BOOK 3114, PAGE 148

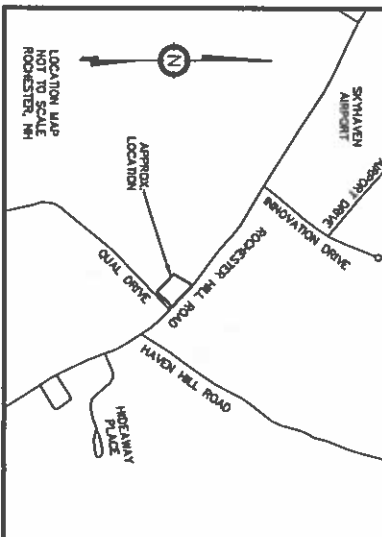
N/F KROSLY, FREDERICK D & DEBORAH
40 QUAIL DRIVE
ROCHESTER, NH 03607
TAX MAP 255, LOT 14
SC&D BOOK 1841, PAGE 888



N/F BRIDGE, LINDA J & VICTOR L JR
318 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 25-1
SC&D BOOK 3444, PAGE 18

N/F KROSLY, D.E. & SUE J
320 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 14
SC&D BOOK 3114, PAGE 15

N/F LAKE CONDOMINIUM ASSOCIATION
322 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 25-1
SC&D BOOK 3114, PAGE 842



NOTES:

- 1) OWNER: ROBERT DIBERTO, 319 ROCHESTER HILL ROAD, ROCHESTER, NH 03607
- 2) TAX MAP 255, LOT 13
- 3) LOT AREA: 142,927 SQ. FT., 3.28 AC.
- 4) SC&D BOOK 4278, PAGE 618
- 5) ZONING: DC - OFFICE COMMERCIAL

- 6) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN FLOOD HAZARD REF. MAP - 3301/02/02/02, DATED JUNE 30, 2015
- 7) VERTICAL DATUM BASED ON USGS HANDED ELEVATIONS
- 8) HORIZONTAL COORDINATES BASED ON NAD 83 (CITY OF ROCHESTER NH - CONTROL POINTS 240 & 241)
- 9) THIS IS A MULTI-PAGE PLAN SET WITH ADDITIONAL ENGINEERING INFORMATION PROVIDED.
- 10) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 255, LOT 13, AS OF THE DATE ON THIS PLAN.
- 11) THE BOUNDARIES SHOWN ON THIS PLAN ARE A RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN THE SPRING OF 2015 UNDER NO SHOW CONDITIONS, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.

LEGEND:

- BENCHMARK
- TEST PIT
- DEBRIS HOLE (THO)
- IRON BOUND (THO)
- UTILITY POLE
- QUAY POLE
- NHCS SOLS LINE
- EXISTING TREE LINE
- OVERHEAD ELECTRIC
- EDGE OF TRAVELED WAY
- STONE WALL
- MAJOR CONTIGUOUS LINE
- MINOR CONTIGUOUS LINE

GRAPHIC SCALE

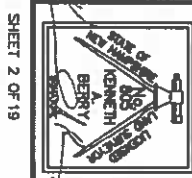


I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000 - 6-28-16
KENNETH A. BERRY ULS 805 DATE

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, N.H. (603) 332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-17

EXISTING CONDITIONS PLAN FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

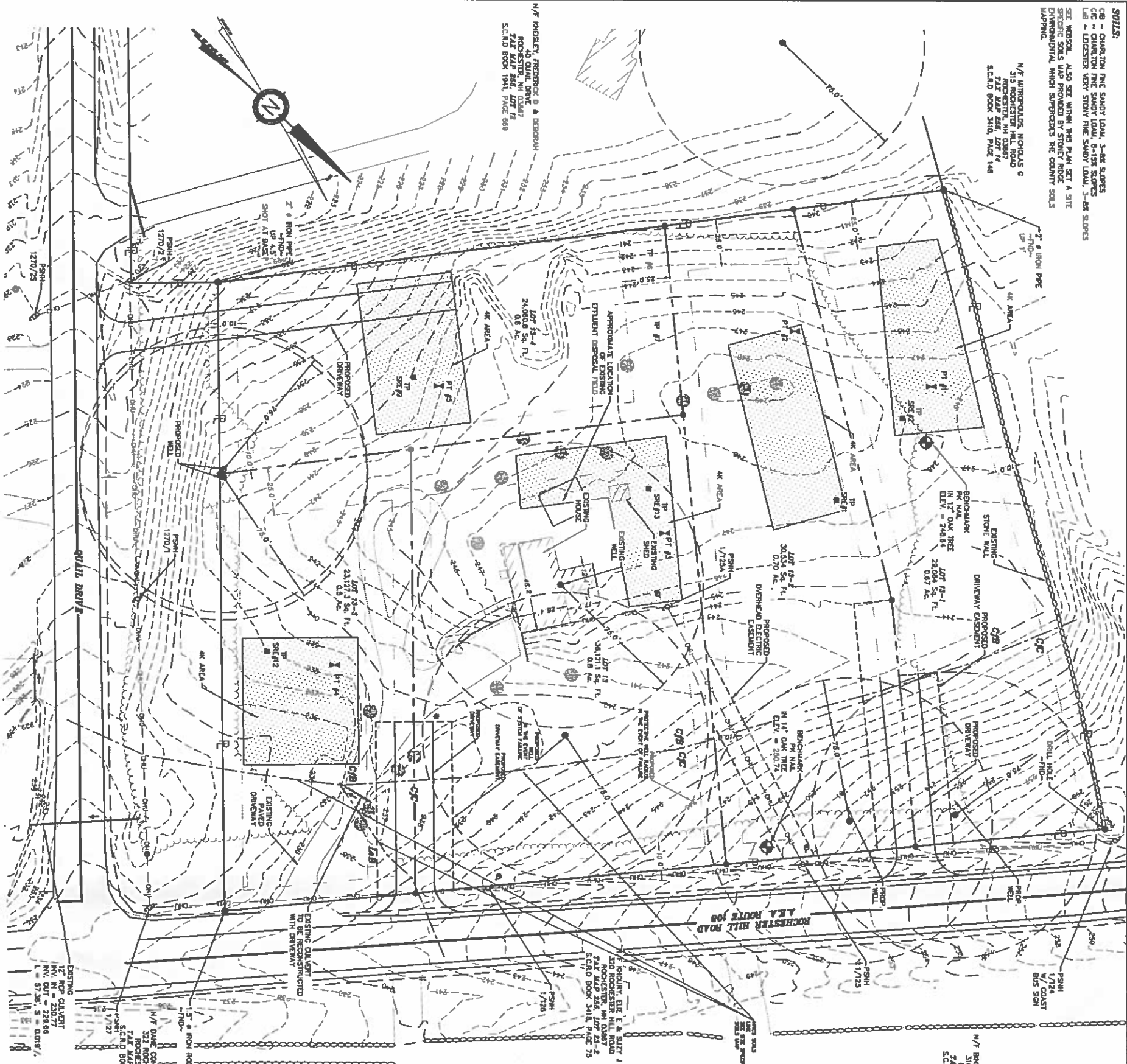
REVISION	DATE	DESCRIPTION
#2	6-27-16	FINAL PLAN REVISIONS
#1	1-25-16	REVISED PER PB & NHDOT



SOILS:
C1B ~ CHARLTON FINE SANDY LOAM, 3-8% SLOPES
C1C ~ CHARLTON FINE SANDY LOAM, 0-15% SLOPES
L8B ~ LUDGER VERT STONY FINE SANDY LOAM, 3-8% SLOPES
SEE WEBSITE. ALSO SEE WITHIN THIS PLAN SET A SITE SPECIFIC SOILS MAP PROVIDED BY STONEY RIDGE ENVIRONMENTAL WHICH SUPERSEDES THE COUNTY SOILS MAP.

N/T MITROPOLIS, NICHOLAS C
315 ROCHESTER HILL ROAD
ROCHESTER, NH 03667
TAY MAP 256, LOT 14
S.C.R.D. BOOK 3410, PAGE 148

N/F KNESELEY, FREDERICK D & DEB
40 QUAIL DRIVE
ROCHESTER, NH 03667
TAX MAP 256, LOT 12
S.C.R.D BOOK 1941, PAGE 88



N/F BINDER, LYNDIA J & VICTOR L, JR
316 ROCHESTER HILL ROAD
ROCHESTER, NH 03867
TAX MAP 256, LOT 23-1
S.C.R.D BOOK 3444, PAGE 18

LOT 10-11-16-17

LOT 13

AREA OUTSIDE WALL FOOTING

0 TO 100	0.02	Ac. = 0.02000	1.3	320	0
10 TO 200	0.07	Ac. = 0.07000	1.43	140	487
20 TO 300	0.01	Ac. = 0.02000	1.56	15	0
30 TO 400	0.00	Ac. = 0.02000	1.89	0	0
0 TO 100	0.01	Ac. = 0.02000	1.6	10	617
TOTAL AC.	=				775

LOT 12

AREA OUTSIDE WALL FOOTING

0 TO 100	0.04	Ac. = 0.02000	1.3	320	0
10 TO 200	0.09	Ac. = 0.07000	1.43	200	487
20 TO 300	0.04	Ac. = 0.02000	1.56	35	15
30 TO 400	0.00	Ac. = 0.02000	1.89	0	0
0 TO 100	0.02	Ac. = 0.02000	1.6	21	775
TOTAL AC.	=				775

LOT 10-2

AREA OUTSIDE WALL FOOTING

0 TO 100	0.04	Ac. = 0.02000	1.3	320	0
10 TO 200	0.04	Ac. = 0.02000	1.43	200	487
20 TO 300	0.02	Ac. = 0.02000	1.56	34	0
30 TO 400	0.00	Ac. = 0.02000	1.89	0	0
0 TO 100	0.02	Ac. = 0.02000	1.6	21	775
TOTAL AC.	=				775

LOT 10-3

AREA OUTSIDE WALL FOOTING

0 TO 100	0.03	Ac. = 0.02000	1.3	270	0
10 TO 200	0.01	Ac. = 0.02000	1.43	200	487
20 TO 300	0.01	Ac. = 0.02000	1.56	17	0
30 TO 400	0.00	Ac. = 0.02000	1.89	0	0
0 TO 100	0.01	Ac. = 0.02000	1.6	19	607
TOTAL AC.	=				607

LOT 10-4

AREA OUTSIDE WALL FOOTING

0 TO 100	0.03	Ac. = 0.02000	1.3	270	0
10 TO 200	0.02	Ac. = 0.02000	1.43	200	487
20 TO 300	0.02	Ac. = 0.02000	1.56	28	31
30 TO 400	0.00	Ac. = 0.02000	1.89	0	0
0 TO 100	0.02	Ac. = 0.02000	1.6	20	643
TOTAL AC.	=				643

LOCATION MAP NOT TO SCALE
ROCHESTER, NH

APPROX. LOCATION

GUAL DRIVE

ROCHESTER HILL ROAD

INNOVATION DRIVE

SCHAELEN AIRPORT

HIDEAWAY PUBLIC

- NOTES:**
- 1.) OWNER: ROBERT DIERITO
318 ROCHESTER HILL ROAD
ROCHESTER, NH 03667
 - 2.) TAX MAP 254, LOT 13
 - 3.) LOT AREA: 142,077 Sq. Ft., 3.28 Ac.
 - 4.) S.C.R.D. BOOK 427A, PAGE 818
 - 5.) ZONING: CC - OFFICE COMMERCIAL
STABULARS

- 6.) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, THIS PAPERED DOES NOT FIT WITHIN THE FLOOD RISK FLOOD HAZARD REZ.
REAR SETBACK: 25'
- 7.) VERTICAL DATUM BASED ON USGS NAVD83 ELEVATIONS.
HORIZONTAL DATUMS/COORDINATES BASED ON NAD 83 (CITY OF ROCHESTER, NH - CONTROL POINTS 240 & 241)
- 8.) THIS IS A MULTI PAGE PLAN SET WITH ADDITIONAL DIMENSION INFORMATION PROVIDED.
- 9.) THE PURPOSE OF THIS PLAN IS TO SHOW THE SATURATE ELEVATION AREAS AND SATURATE WET LOCATIONS ON TAX MAP 25A, LOT 13, AS BEING SUBDIVIDED INTO FIVE LOTS.
- 10.) THE BOUNDS SHOWN ON THIS PLAN ARE A RESULT OF A CLOSED TRAVERSE PERFORMED BY THIS OFFICE IN THE SPRING OF 2015 UNDER NO SHOW CONDITIONS, WITH AN ERROR OF CLOSURE OF BETTER THAN 1 PART IN 10,000.

Abstract:

- | | |
|---|----------------------|
| ● | DRILL HOLE (750) |
| ● | FROM BOUND (750) |
| ● | FROM BOUND (T.B.S.) |
| CO ₂ | UTILITY POLE |
| ◆ | TEST HOLE |
| --- | EDGE OF PAVEMENT |
| --- | EDGE OF TRAVELED WAY |
| CO | STONE WALL |
| --- | MAJOR CONTOUR LINE |
| --- | MINOR CONTOUR LINE |
| 4,000 Sg. Ft. LEACHING AREA (NOT EXCLUSIVE) | |
| PROPOSED WELL | |

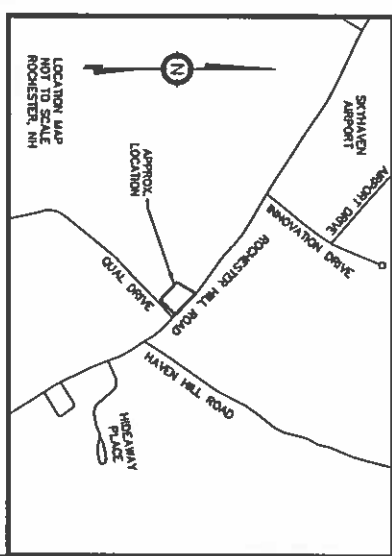
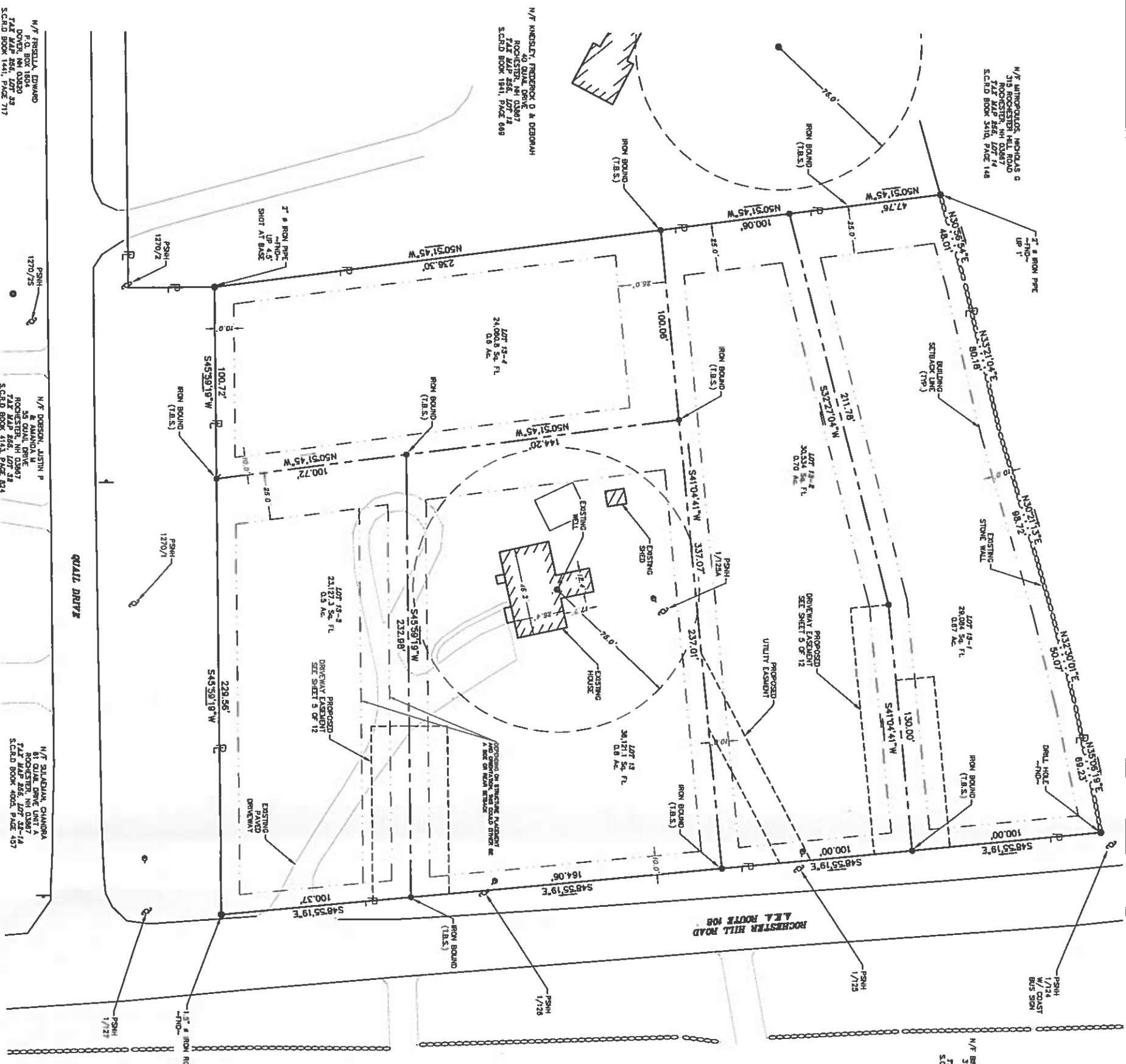
GRAPHIC SCALE



BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, N.H. (603) 332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-17

TOPOGRAPHY PLAN
FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

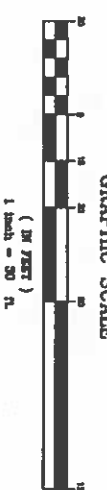
#2	6-27-16	FINAL PLAN REVISIONS REVISED PER PB & NHDOT
#1	1-25-16	
REVISION	DATE	DESCRIPTION



- NOTES:**
- 1) OWNER: ROBERT DIBERTO, 319 ROCHESTER HILL ROAD, ROCHESTER, NH 03607
 - 2) TAX MAP 255, LOT 13
 - 3) LOT AREA: 142,927 Sq. Ft., 3.28 Ac.
 - 4) S.C.R.D. BOOK 4274, PAGE 818
 - 5) ZONING: OC - OFFICE COMMERCIAL
- SETBACKS:**
- FRONTAGE: 80' MIN. LOT AREA: 10,000 Sq. Ft. PER UNIT
- FRONT SETBACK: 10'
- SIDE SETBACK: 10'
- REAR SETBACK: 25'

- 1) I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PARCEL DOES NOT FALL WITHIN THE FLOOD PLAIN HAZARD REF.: MAP - 1307/02218C, DATED: JUNE 26, 2015
- 2) VERTICAL DATA BASED ON USGS NAVD83 ELEVATIONS, CONTROL POINTS 240 & 241
- 3) THIS IS A MULTI PAGE PLAN SET WITH ADDITIONAL ENGINEERING INFORMATION PROVIDED.
- 4) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF TAX MAP 255, LOT 13, INTO FIVE LOTS.
- 5) THE BORDERS SHOWN ON THIS PLAN ARE A RESULT OF A CLOSED TRAVERSE PERFORMED BY THE SURVEYOR ON THE GROUND ON 07/22/15. THE BORDERS SHOWN ON THIS PLAN ARE OF COURSE OF BETTER THAN 1 PART IN 10,000.
- 6) PLAN RECORDING NOTICE: THAT THIS PROPOSED SUBDIVISION BE RECORDED.
- 7) THE SUBDIVISION OF THIS PARCEL INTO FIVE LOTS IS SHOWN ON SHEET 5 OF 12 ONLY TWO PLAN SHEETS ARE TO BE RECORDED.

- LEGEND:**
- DRILL HOLE (T.M.)
 - IRON BOUND (T.M.)
 - IRON BOUND (T.B.S.)
 - UTILITY POLE
 - DUT WIRE
 - DISE OF PAVEMENT
 - PROPOSED BOUNDARY LINE
 - BUILDING SETBACK LINE



FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
DATE: _____

I CERTIFY THAT THIS PLAN EXCEEDS THE MINIMUM REQUIREMENT FOR ACCURACY AND COMPLETENESS OF THE STATE OF N.H. AND OF THE CITY OF ROCHESTER, N.H. - 1:10,000 -

KENNETH A. BERRY U.S. BCS DATE 6-28-16

BERRY SURVEYING & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, N.H. (603) 332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-17

PROPOSED SUBDIVISION PLAN
FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

REVISION	DATE	DESCRIPTION
#2	6-27-16	FINAL PLAN REVISIONS
#1	1-25-16	REVISED PER PB & NHDOT

N/F RISSELL, EDWARD
40 BOX 1030
DOVER, NH 03820
TAX MAP 255, LOT 23
S.C.R.D. BOOK 1441, PAGE 717

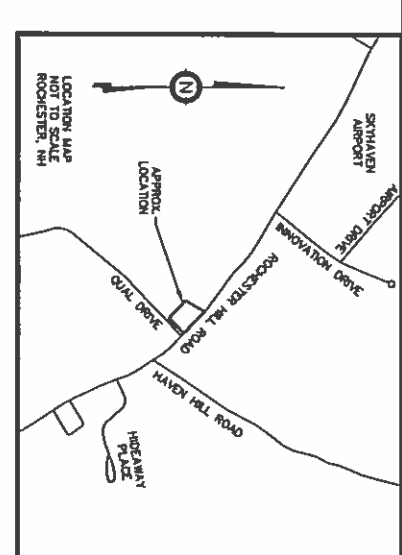
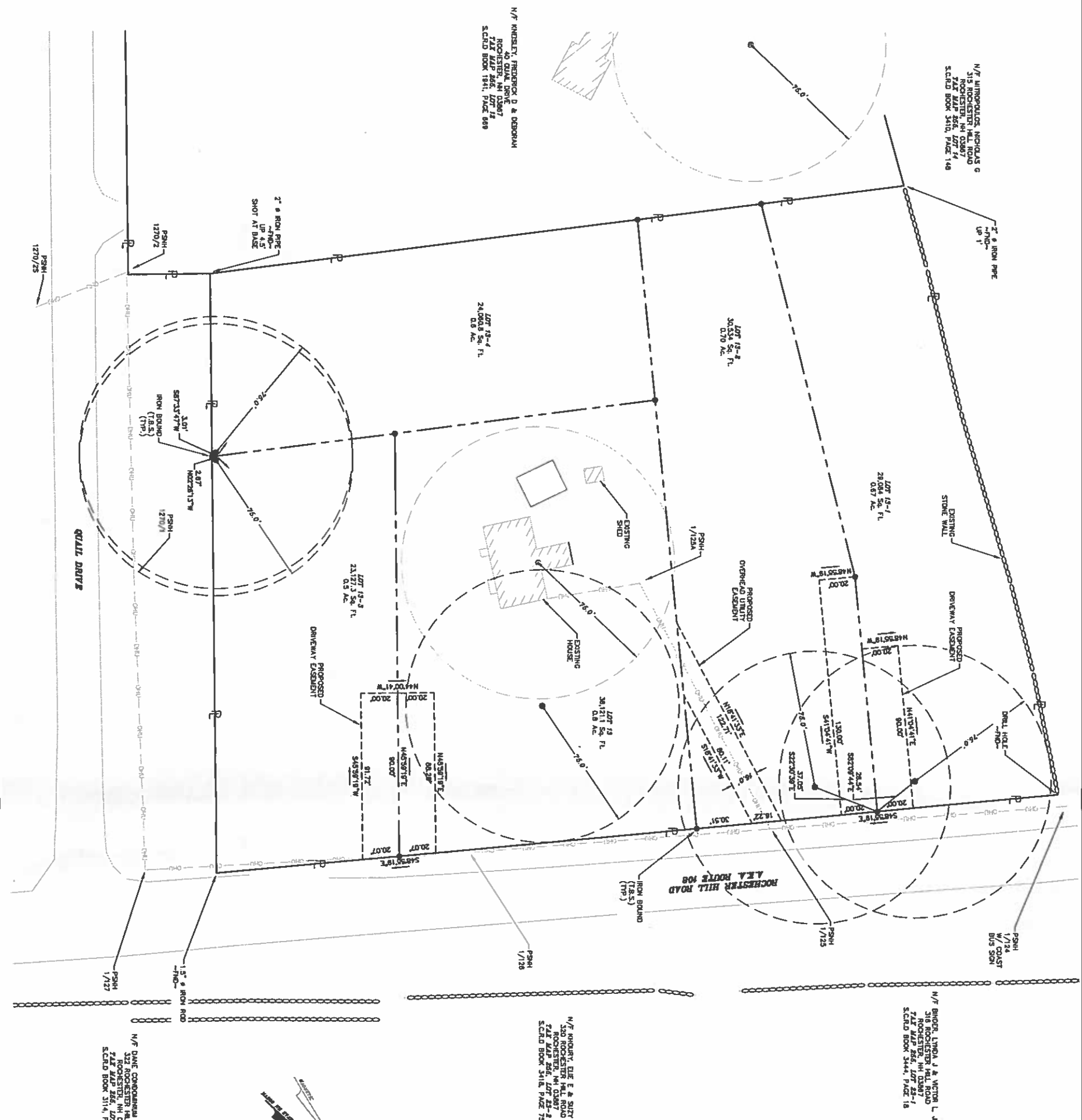
N/F DORSON, JUSTIN P
55 QUAIL DRIVE
ROCHESTER, NH 03607
TAX MAP 255, LOT 23
S.C.R.D. BOOK 1441, PAGE 834

N/F SLEIGH, CHANDRA
61 QUAIL DRIVE UNIT A
DOVER, NH 03820
TAX MAP 255, LOT 23-14
S.C.R.D. BOOK 4001, PAGE 437

N/F HENSLY, FREDERICK D & DEBORAH
40 QUAIL DRIVE
ROCHESTER, NH 03607
TAX MAP 255, LOT 23
S.C.R.D. BOOK 1441, PAGE 688

N/F LINTON, MICHAEL G
319 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 14
S.C.R.D. BOOK 3510, PAGE 148

N/F BRIDGE, LINDA J & VICTOR L JR
319 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 23-1
S.C.R.D. BOOK 3444, PAGE 18



- NOTES:**
- 1) OWNER: ROBERT DIBERTO, 319 ROCHESTER HILL ROAD, ROCHESTER, NH 03607
 - 2) TAX MAP 255, LOT 13
 - 3) LOT AREA: 142,927 Sq. Ft., 3.28 AC.
 - 4) S.C.R.D. BOOK 427A, PAGE 818
 - 5) ZONING: OC - OFFICE COMMERCIAL

- LEGEND:**
- BELL HOLE (T.M.)
 - IRON BOUND (T.M.)
 - IRON BOUND (T.M.)
 - UTILITY POLE
 - EDGE OF PAVEMENT
 - PROPOSED BOUNDARY LINE
 - PROPOSED WELL
- GRAPHIC SCALE**
1 inch = 30 ft.

FINAL APPROVAL
BY
ROCHESTER PLANNING BOARD
DATE: _____

N/F DANE CONDOMINIUM ASSOCIATION
322 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
S.C.R.D. BOOK 311A, PAGE 282

N/F KIMBLEY, FREDERICK D & DEBORAH
40 GUAL DRIVE
ROCHESTER, NH 03607
S.C.R.D. BOOK 181, PAGE 688

N/F LUNNPOULS, MICHAEL G
319 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 14
S.C.R.D. BOOK 341D, PAGE 148

N/F BRIDGES, LYNDIA J & VICTOR L JR
319 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 13
S.C.R.D. BOOK 344A, PAGE 18

N/F WINDLEY, EUE E & SUE J
320 ROCHESTER HILL ROAD
ROCHESTER, NH 03607
TAX MAP 255, LOT 13
S.C.R.D. BOOK 311A, PAGE 75

BERRY & ENGINEERING
335 SECOND CROWN POINT ROAD
BARRINGTON, N.H. (603) 332-2863
SCALE : 1 IN. EQUALS 30 FT.
DATE : NOVEMBER 9, 2015
FILE NO. : DB 2015-17

PROPOSED EASEMENT PLAN
FOR
ROBERT DIBERTO
319 ROCHESTER HILL ROAD
ROCHESTER, N.H.
TAX MAP 255, LOT 13

#1	REVISION	DATE	DESCRIPTION
6-27-16			FINAL PLAN REVISIONS
1-25-16			REVISED PER PB & NHDOT

